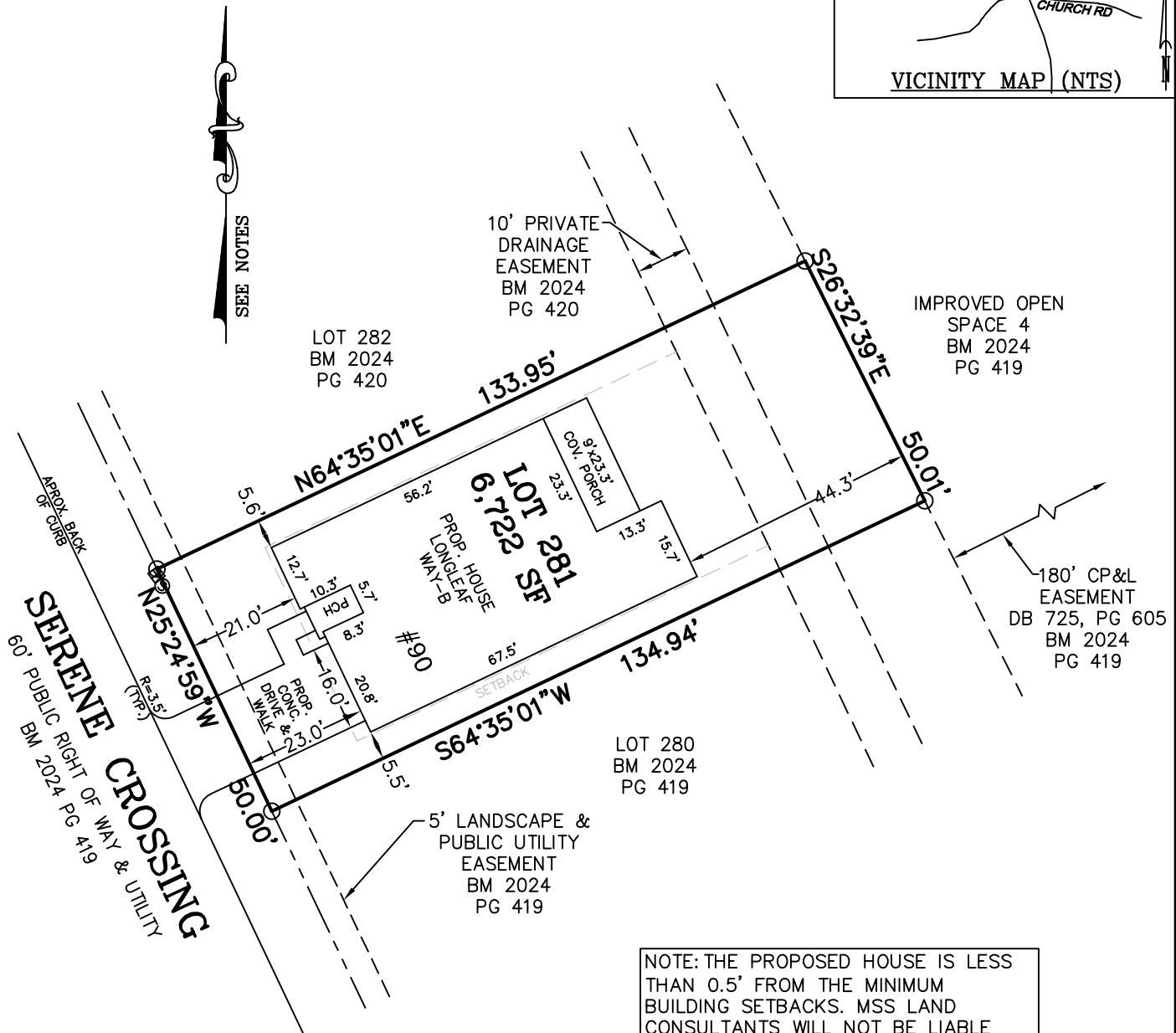
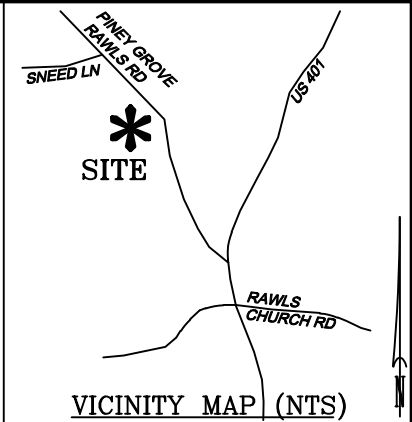
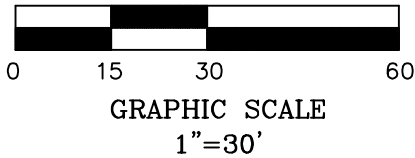


LEGEND

- MATHEMATICAL POINT
- CONTROL CORNER
- ▣ WATER METER
- ⊙ SEWER CLEAN OUT
- ⊗ FIRE HYDRANT



NOTE: THE PROPOSED HOUSE IS LESS THAN 0.5' FROM THE MINIMUM BUILDING SETBACKS. MSS LAND CONSULTANTS WILL NOT BE LIABLE FOR ANY OVERHANGS OR ERRORS DUE TO THE CONSTRUCTION PROCESS.

NOTES:

- REFERENCE HARNETT CO. BM 2024, PG 417-424 FOR BOUNDARY INFORMATION, NORTH INDEX & TIE LINES TO SUBDIVISION CONTROL CORNERS.
- ZONED: RA-30, RA-40, & CONSERVATION.
- SETBACKS, PER BM 2024 PG 417:
 - >43' LOT WIDTH: FRONT YARD-20', SIDE YARD-5', REAR YARD-20', CORNER YARD-12'.
 - <=43' LOT WIDTH: FRONT YARD-20', SIDE YARD- 4' & 4' OR 0' & 8', REAR YARD-20', CORNER YARD 12'.
- PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SCALED FROM THE NFIP FIRM No. 3720065500L (EFFECTIVE DATE: JULY 19, 2022) AND/OR 3720064500J (EFFECTIVE DATE: 10/3/2006), AND/OR 3720064400J (EFFECTIVE DATE: 10/3/2006).

MAXIMUM ALLOWABLE IMPERVIOUS-3,650 SF

TOTAL ESTIMATED IMPERVIOUS-2,987 SF	
SITE	SQ. FT.
HOUSE	2,355
DRIVEWAY	368
LEAD WALK	45
COV. PORCH	210
PATIO	0
A/C PAD	9

PERMIT PLAN LOT: 281

SERENITY SUBDIVISION, PHASE 6A
HECTORS CREEK TOWNSHIP, HARNETT COUNTY, NC

SURVEYED FOR
TRI POINTE HOMES HOLDINGS, INC.
5440 WADE PARK BLVD #400
RALEIGH, NC 27607

I HEREBY CERTIFY THAT THE BUILDING WILL LIE WHOLLY ON THE LOT. THIS PLAT IS OF AN EXISTING PARCEL OF LAND. THIS IS NOT A SURVEY AND NOT FOR RECORDATION PURPOSES.



MSS LAND CONSULTANTS, PC
"Committed to Total Quality Service"
Firm License: C-2070
EST. 1998

6118 St. Giles St Phone (919) 510-4464
(Suite E) Fax (919) 510-9102
Raleigh, NC 27612 Email: gowersw@mssland.com

PRELIMINARY PLAN

MATTHEW A. HAYES, PLS L-4516

DATE: 11/15/2024 SCALE: 1"=30' DRAWN:CKC CHECK: FILE: TPH-24-03
REV: 11/25/2024 CHG'D COV. PORCH REV: 12/26/2024 REMOVED PATIO
REV: 12/12/2024 ADDED MAI