

LONGLEAF WAY

ABBREVIATIONS					
ABV	ABOVE	HDR	HEADER	A.A.	PRESSURE TREATED WD
AFF	ABOVE FINISH FLOOR	HGT	HEIGHT	PWD	POWDER
C	CARPET	H.R.	HALF ROUND	R	RISER
CAB	CABINET	HS	HARD SURFACE	RAD	RADIUS
CL	CENTER LINE	HWD	HARDWOOD (FLOORS)	REF	REFRIGERATOR
CLG	CEILING	I.L.O.	IN LIEU OF	REV	REVISION
COL	COLUMN	ISUL	INSULATED(TION)	R&M	RANGE W/MICROWAVE
CONC	CONCRETE	INT	INTERIOR	RM	ROOM
CPT	CARPET	ITC	IN THE CLEAR	R.O.	ROUGH OPENING
DBL	DOUBLE	KIT	KITCHEN	R/S	ROD & SHELF(S)
DIM	DIMENSION	K/S	KNEE SPACE	SD	SMOKE DETECTOR
DN	DOWN (STAIRS)	LIV	LIVING	SEC	SECTION
DRY	DRYER MACHINE	LTL	LINTEL	SQ.FT.	SQUARE FOOTAGE
DTL	DETAIL	LVR	LOUVER	SH	SINGLE HUNG
EA	EACH	MAX	MAXIMUM	STD	STANDARD
EB	EYEBROW	MIN	MINIMUM	TEMP	TEMPERED (GLASS)
ELEV	ELEVATION	MISC	MISCELLANEOUS	TR	TRANSOM
ELEC	ELECTRIC(AL)	MULL	MULLION(ED)	TYP	TYPICAL
EQ	EQUAL	N/A	NOT APPLICABLE	UNF	UNFINISHED
EXT	EXTERIOR	OA	OVERALL	U.N.O.	UNLESS NOTED OTHERWISE
F.F.	FINISH FLOOR (LINE)	OBS	OBSOLETE (GLASS)	VB	VANITY BASE
FXD	FIXED GLASS	O.C.	ON CENTER	W	WASHER
FIN	FINISH	O.H.	OVERHANG	WD	WOOD
FLR	FLOOR(ING)	OPNG	OPENING	WH	WATER HEATER
FP	FIREPLACE	OPT	OPTIONAL	WC	WALK-IN CLOSET
FUR	FURRED(ING)	PED	PEDESTAL (SINK)	W/ W/O	WITH or WITHOUT
GFI	GROUND FAULT CIRCUIT INTERRUPT	OSB	ORIENTED STRAND BOARD	WP	WATERPROOF(ING)
HB	HOSE BIB	PL	PLATE (HEIGHT)		

GENERAL NOTES

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TRI POINTE HOMES ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TRI POINTE HOMES IS STRICTLY PROHIBITED.
- TRI POINTE HOMES DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF TRI POINTE HOMES BY CALLING (469)329-0470.
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY TRI POINTE HOMES
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPPROOFING MATERIALS.

3 - CONCRETE

- SLOPE ON GARAGE SLAB SHALL BE 1/8" PER FOOT TOWARDS VEHICLE DOOR. SLOPE ON PORCH AND PATIOS SHALL BE 1/8" PER FOOT AWAY FROM HOUSE.

4 - MASONRY

- ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ CORRUGATED METAL TIES IN ACCORDANCE WITH R703.7.4.1 - I.R.C. OR LOCAL CODE REQUIREMENTS
- WEEHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING PER R703.7.6 - I.R.C.

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

- FIRE STOPPING AND/ OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/300 th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY ROOF VENTS AND THE OTHER HALF BY SOFFIT VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- PROVIDE APPROVED TILE BACKER DRYWALL FOR ALL SHOWER AND BATH SPACE
- PROVIDE ATTIC VENTILATION PER IRC-R806.1

8 - DOORS AND WINDOWS

- REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- TEMPERED GLASS SHALL BE USED IN HAZARDOUS AREAS AS DESCRIBED IN SECTION R308.4 - I.R.C.
- FRONT DOOR WIDTH PER IRC-R311.3
- GARAGE DOOR PER IRC-R309.1
- EMERGENCY EGRESS SHALL MEET REQUIREMENTS OF SECTION R310 - I.R.C. 2018 - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

- WOOD BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION PER IRC SECTION R1002.1.
- EXTERIOR AIR INTAKE FOR COMBUSTION AIR PER IRC SECTION AS REQUIRED BY LOCAL MUNICIPALITY

16 - ELECTRICAL

- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- ALL SWITCHES SHALL BE INSTALLED AT 3'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AS NOTED ON PLANS.
- APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER IRC SECTION R317 (SEE SHEET B1.1 FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.
- CONDUCTORS SHALL BE OF COPPER.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES IN ACCORDANCE WITH SECTION I.R.C.
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS IN ACCORDANCE WITH SECTION R315.1 - I.R.C.
- HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED ACCORDING TO IRC.
- ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.
- SEPARATION BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE MAINTAINED BY INSTALLATION OF 1/2" GYPSUM BOARD ON ALL COMMON WALLS. 2-STORY HOMES REQUIRE 5/8" TYPE X GYPSUM BOARD AT GARAGE CEILINGS WHERE HABITABLE ROOMS ARE PRESENT ABOVE.

FLOORS:

- STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN IRC.
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED IN IRC.
- ALL DIMENSIONAL FLOOR JOISTS TO BE PER ENGINEER STRUCTURAL PLANS.

FRAMING:

- ALL FRAMING DIMENSIONS TO FACE OF MEMBER.
- ALL BEARING HEADERS TO BE PER ENGINEERING PLANS.
- FIRE STOPPING AND/ OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.

ROOF:

- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- REQUIRED VENTILATION AREAS CALCULATED AT 1/300 RATIO.

SQUARE FOOTAGE

Elevation "B"

(Slab S.F.)

Slab Area	Sq. Ft.
FIRST FLOOR	1867
SECOND FLOOR	633
2 BAY GARAGE	433
PORCH	55
COVERED OUTDOOR LIVING	210
Total Slab Area	3198

(Outside of Frame S.F.)

A/C Area	Sq. Ft.
FIRST FLOOR	1867
SECOND FLOOR	633
Total A/C Area	2500
Non-A/C Area	Sq. Ft.
2 BAY GARAGE	433
PORCH	55
COVERED OUTDOOR LIVING	210
Total Non-A/C Area	648

(Inside of Frame S.F.)

A/C Area	Sq. Ft.
FIRST FLOOR	1810
SECOND FLOOR	590
Total A/C Area	2400

NOTE: ALL OPTIONAL SQUARE FOOTAGES LISTED ARE INDEPENDENT OF AND IN ADDITION TO BASE SQUARE FOOTAGES.

BUILDING CODE COMPLIANCE

CONSTRUCTION PLANS DESIGNED TO MEET OR EXCEED MINIMUM CODE REQUIREMENTS OF 2018 I.R.C.
ELECTRICAL PLANS DESIGNED TO MEET OR EXCEED MINIMUM CODE REQUIREMENTS OF 2020 N.E.C.

TABLE OF CONTENTS

SHEET LEGEND	
SHEET NO.	TYPE OF SHEET/LAYOUT
"G0.01"	COVER SHEET & GEN. NOTES
"G0.11"	REVISIONS & SYMBOLS
"S1.10B"	BASE FOUNDATION PLAN - ELEVATION 'B'
"A1.10B"	FIRST FLOOR PLAN - ELEVATION 'B'
"01.A20"	2ND FLOOR PLAN OPTION
"A2.01B"	EXTERIOR ELEVATIONS - 'B'
"A2.02B"	EXTERIOR ELEVATIONS - 'B'
"A3.01B"	ROOF PLAN - ELEVATION 'B'
"A4.01"	INTERIOR DETAIL SHEET
"E1.10B"	1ST FLR. ELECTRICAL PLAN - ELEVATION 'B'
"E1.11B"	1ST FLR. ELECTRICAL PLAN UPGRADE OPTIONS - ELEVATION 'B'
"01.E11"	1ST FLR. ELECTRICAL PLAN UPGRADE OPTIONS
"01.E20"	2ND FLR. ELECTRICAL PLAN OPTION
"01.E21"	2ND FLR. ELECTRICAL PLAN UPGRADE OPTION
"D1.1"	DETAILS

SYMBOLS

	ELEVATION KEY OR SECTION KEY		TUB/SHOWER		PLYWOOD
	CENTERLINE		LAVATORY		INSULATING SHEATHING
	CEILING TRANSITION LINE		DBL SINK		BATT INSULATION
	HOSE BIB (FREEZE PROOF)		LAUNDRY SINK		RIGID INSULATION
	GAS LINE STUB		PEDESTAL SINK		CONCRETE
	TOWEL BAR		WATER CLOSET		SAND OR GRAVEL FILL
	PAPER HOLDER				STONE
	TOWEL RING				2x FRAME WALL
	SHOWER HEAD				BRICK VENEER
	SHOWER CONTROLS				STONE VENEER

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COVER SHEET & GENERAL NOTES

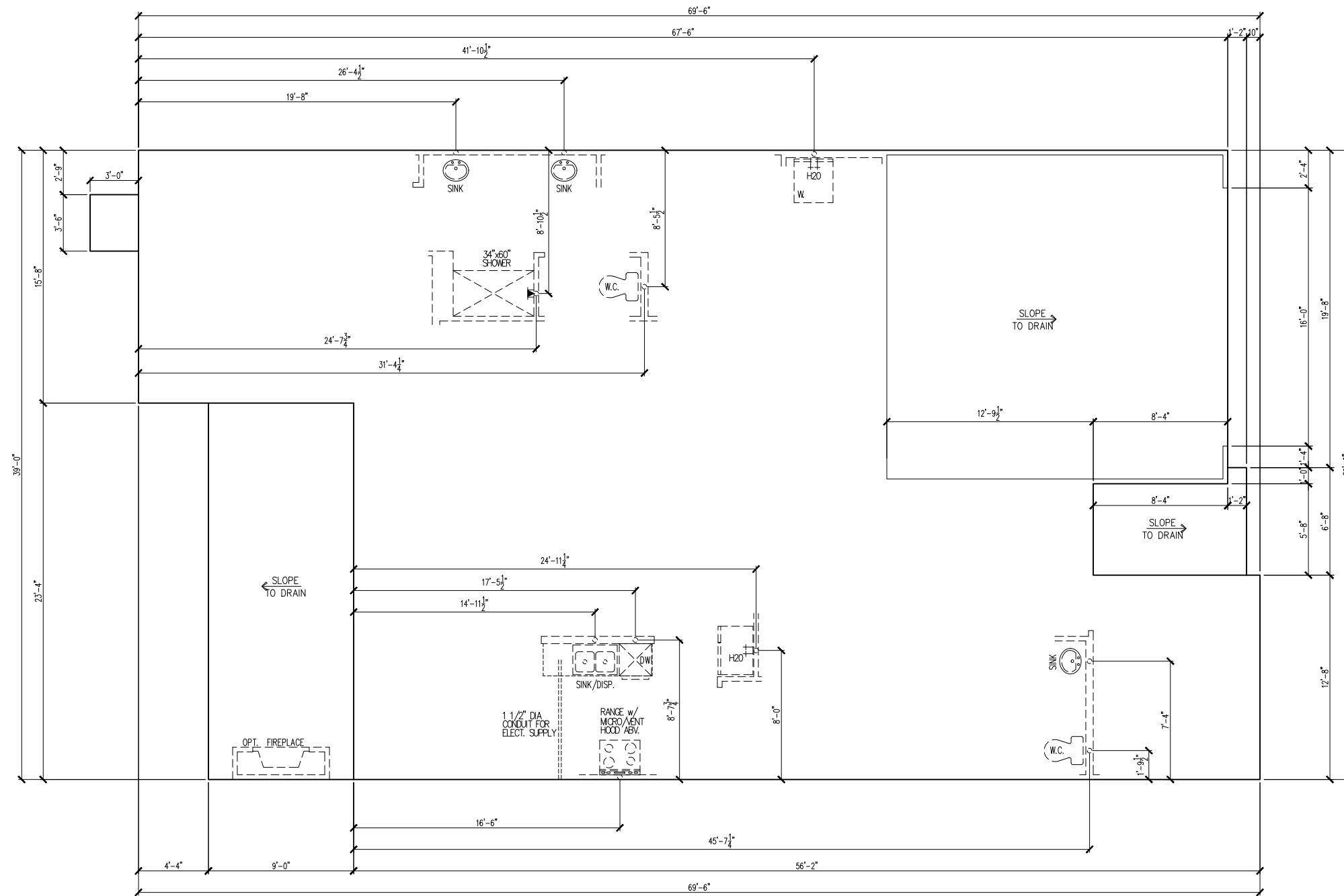
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ADDRESS: 90 SERENE XING
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Drawn By: ACC

PLAN #: 5920-05

PLAN NAME: LONGLEAF WAY

SHEET #: G0.01



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BASE FOUNDATION PLAN

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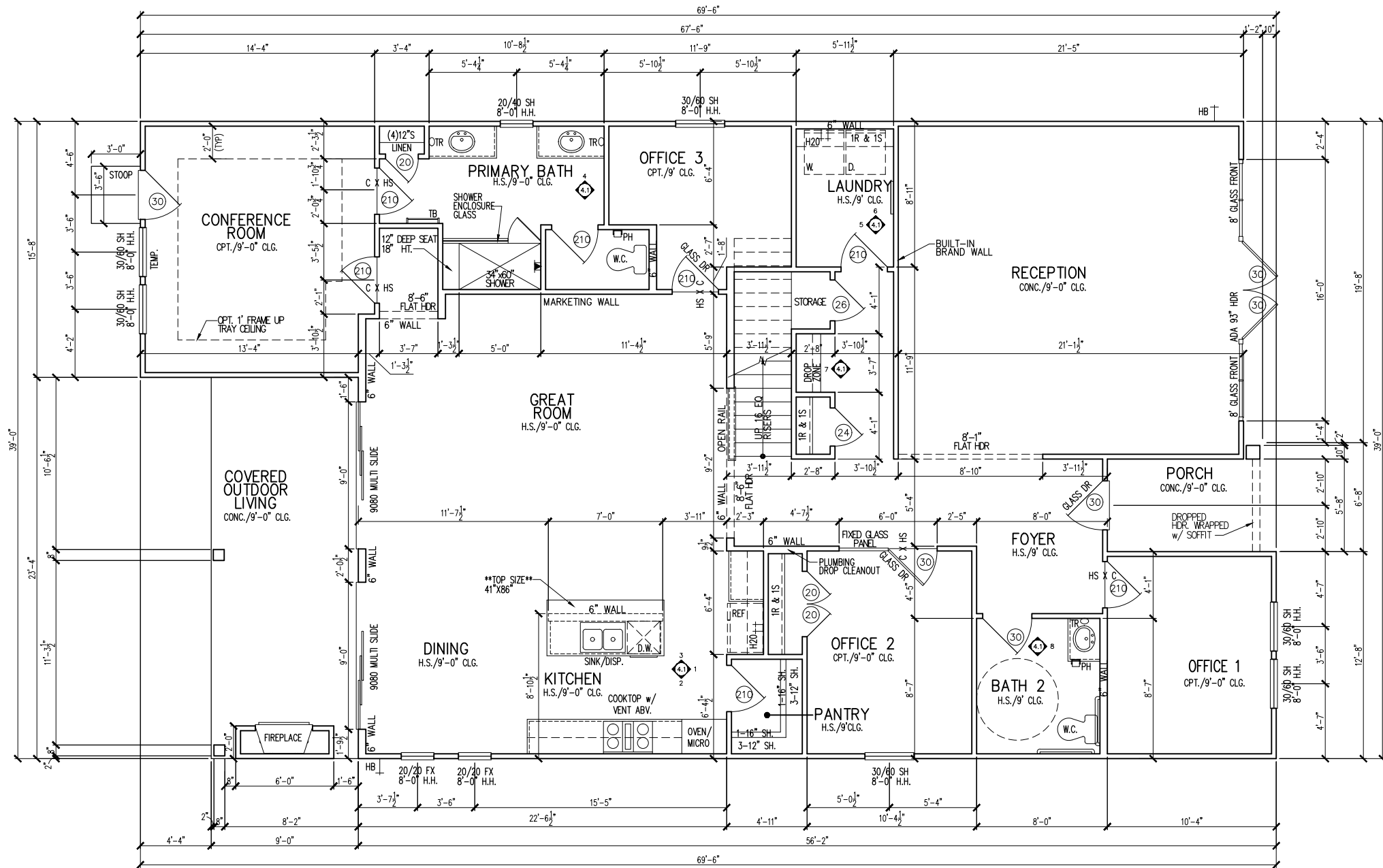
PLAN #: 5920-05

PLAN NAME: LONGLEAF WAY

SHEET #: S1.10B

MAIN FLOOR NOTES

#	EXPLANATION
1.	ALL NON-DIMENSIONED PARTITIONS ARE 3-1/2" ROUGH
2.	ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE (U.N.O.)
3.	PROVIDE MIN. 2-2x12's w/ 1/2" PLYWD. FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS & INTERIOR BEARING WALL OPENINGS U.N.O.
4.	ALL EXTERIOR DIM'S ARE TO FACE OF STUDS U.N.O.
5.	ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS U.N.O.
6.	TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES
7.	WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. w/ MIN DIM'S OF 24" IN HT AND 20" IN WIDTH; SILL HT NOT TO EXCEED 44" AFF
8.	ALL BALUSTER TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALUSTER
9.	ALL ELEC. & MECH. EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO VERIFY
10.	FOR ADDITIONAL NOTES, SEE GENERAL NOTES ON TITLE SHEET & DETAILS
11.	ALL TYP. WINDOWS 6'-0" IN HT AND SMALLER, THE HEAD HEIGHT SHALL BE 8'-10" ABOVE FINISHED FLOOR (U.N.O.)
12.	STRUCTURAL ENGINEERING PROVIDED BY OTHERS
13.	REFER TO INTERIOR ELEVATIONS SHEET TO VIEW BUBBLE CALLOUTS
14.	INTERIOR DOOR HEIGHTS ARE PER SPEC - FRONT & REAR PATIO DOOR TO BE 8'



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1st FLOOR PLAN

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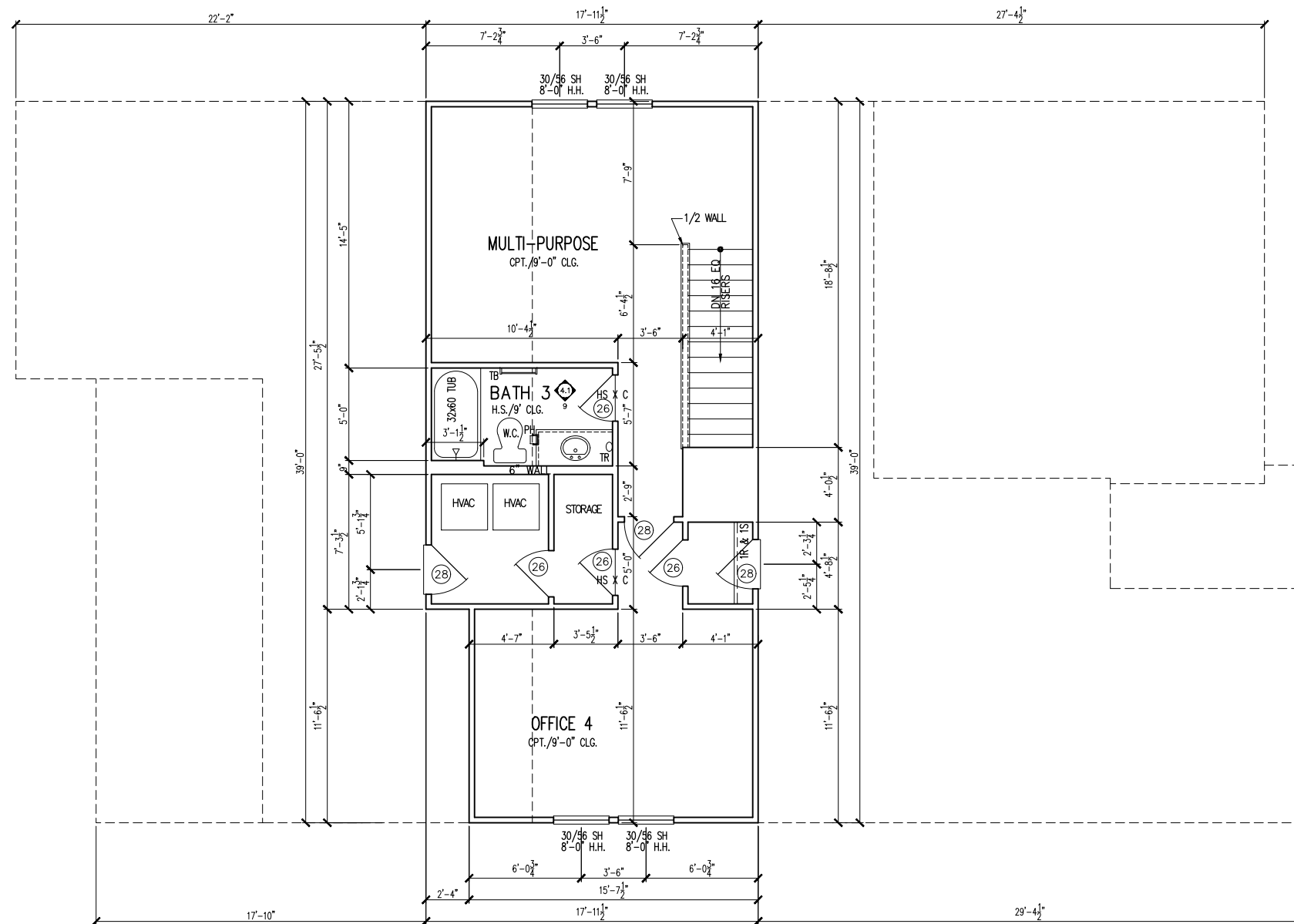
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PLAN NAME: LONGLEAF WAY

SHEET #: A1.10

MAIN FLOOR NOTES

#	EXPLANATION
1.	ALL NON-DIMENSIONED PARTITIONS ARE 3-1/2" ROUGH
2.	ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE (U.N.O.)
3.	PROVIDE MIN. 2-2x12's w/ 1/2" PLYWD. FITCH PLATE AT ALL EXTERIOR WALL OPENINGS & INTERIOR BEARING WALL OPENINGS U.N.O.
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14.	INTERIOR DOOR HEIGHTS ARE PER SPEC - FRONT & REAR PATIO DOOR TO BE 8'



SECOND FLOOR PLAN PARTIAL FLOOR PLAN

1/8" = 1'-0"

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2ND FLOOR PLAN - OPTION

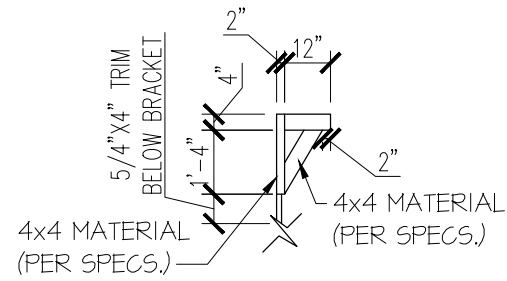
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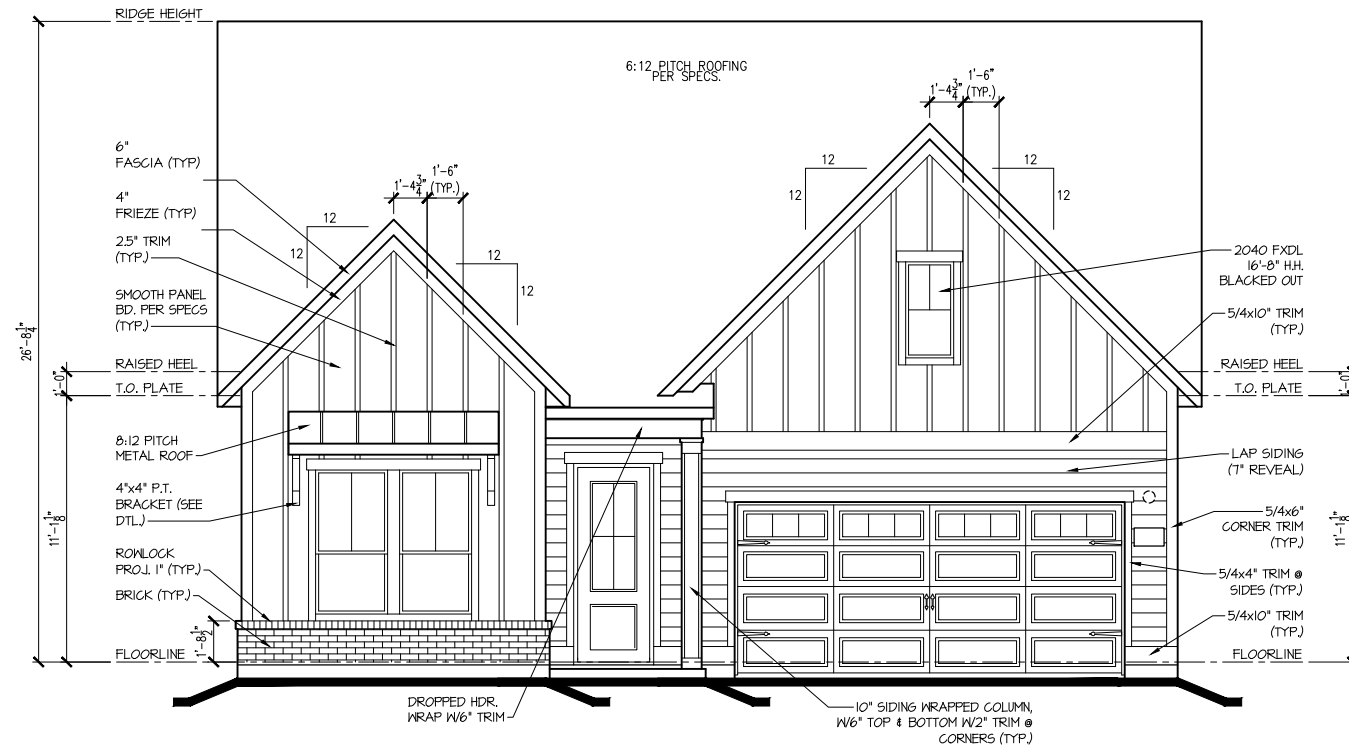
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PLAN NAME: LONGLEAF WAY

SHEET #: 01.A20



BRACKET DETAIL
N.T.S.



FRONT ELEV. "B"
1/8"=1'-0"



REAR ELEV. "B"
1/8"=1'-0"

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EXTERIOR ELEVATIONS

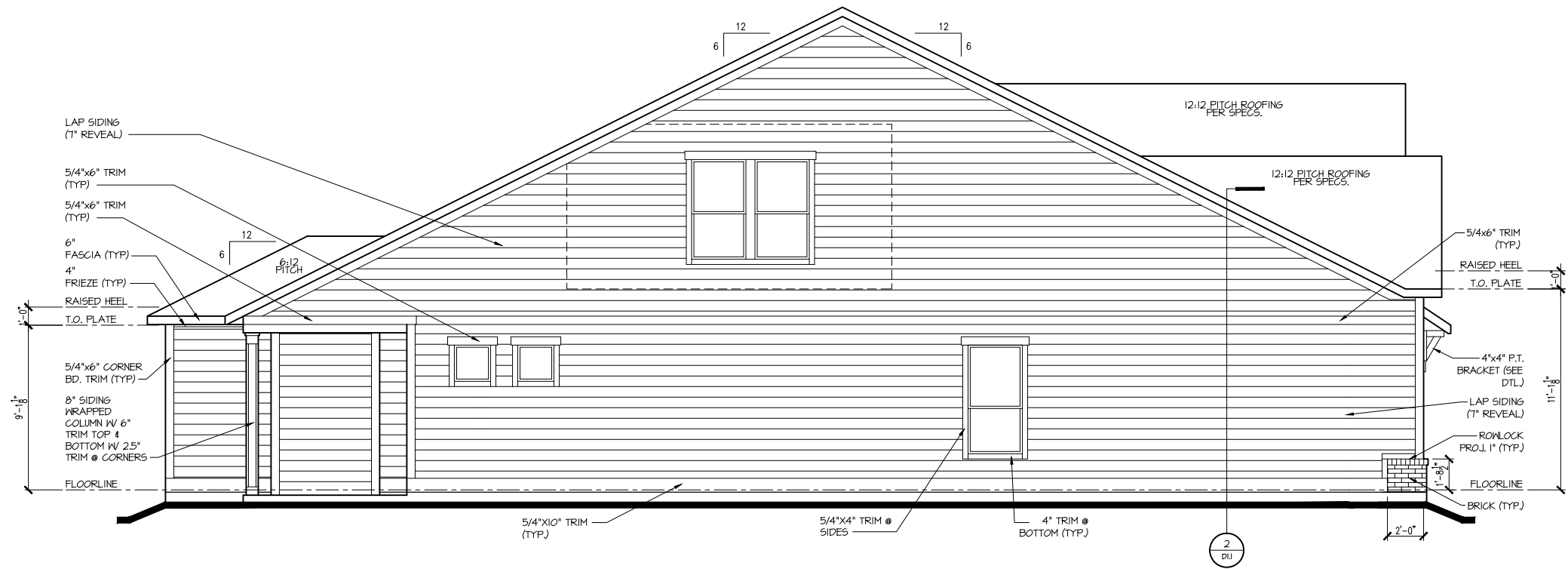
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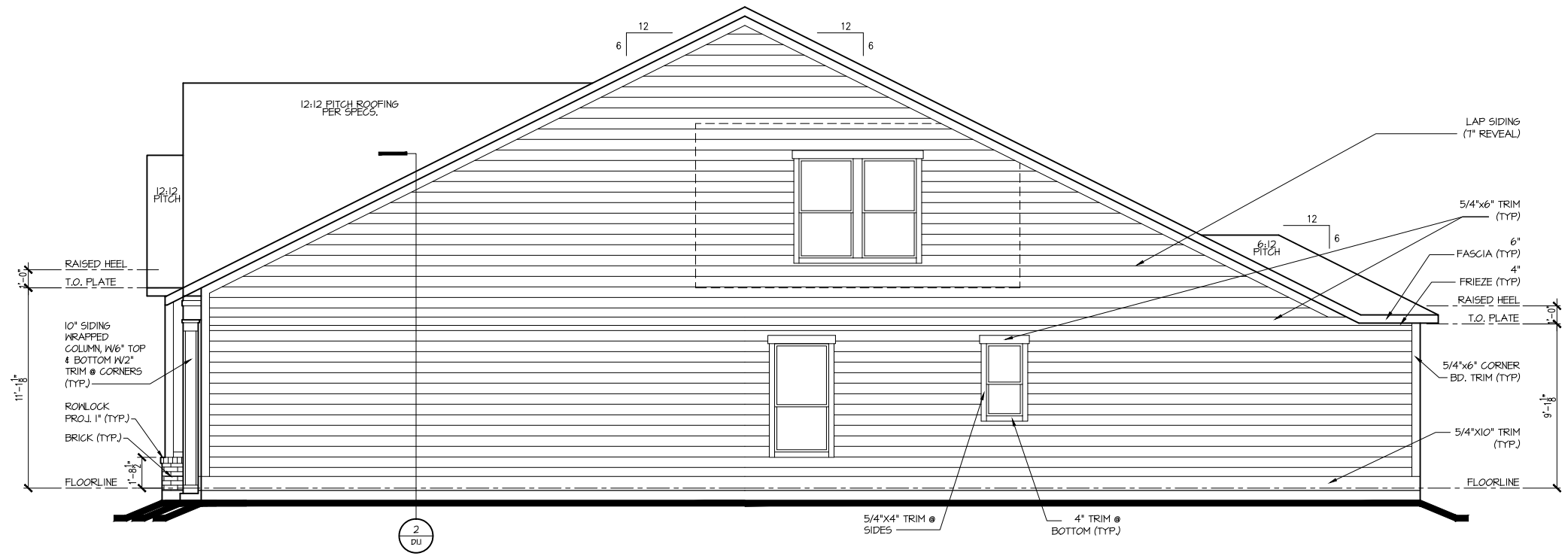
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PLAN NAME: LONGLEAF WAY

SHEET #: A2.01B



LEFT ELEV. "B"
1/8"=1'-0"



RIGHT ELEV. "B"
1/8"=1'-0"

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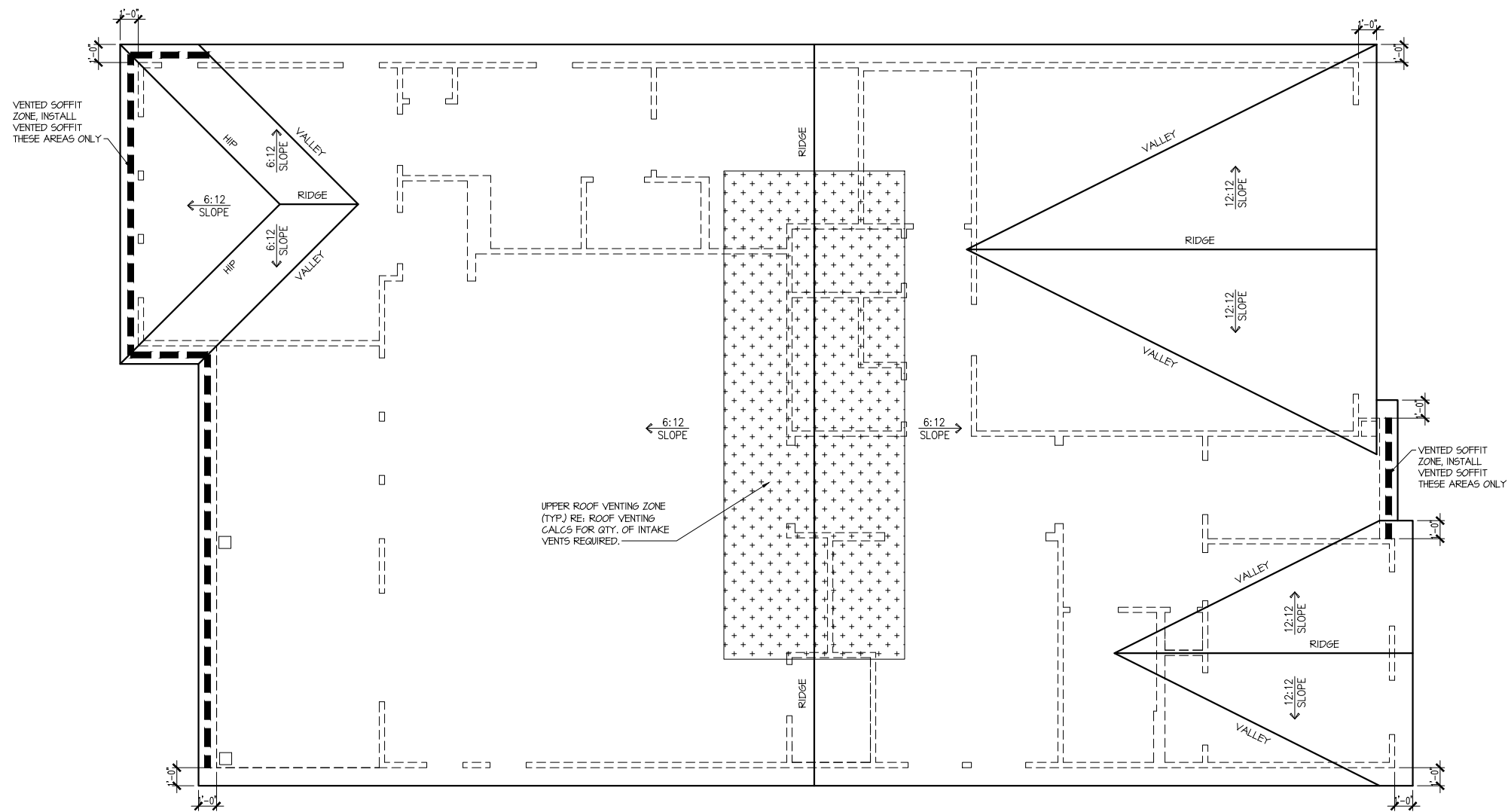
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PLAN #:
5920-05

PLAN NAME:
LONGLEAF WAY

SHEET #:
A2.02B



Attic Venting Calculations Elev. "B"	
ROOF INFORMATION	BASE
TOTAL SF ROOF AREA	2786
AVAILABLE L.F. ROOF SOFFIT	54
AVAILABLE L.F. ROOF RIDGE	71
VENT TYPES	QTY VENTS REQ'D
LOWER VENTS	
CONTINUOUS SOFFIT VENTING @ 5 S/LF	134 LF
UPPER VENTS	
SLANT 150 VENTS @ 150 S/LVENT	4
UPPER VENTS	
RIDGE VENTS @ 72 S/LVENT	9

NOTE:
QTY OF UPPER VENTS SHOWN COVERS 100% OF UPPER VENTING. NO MIXING OF VENT TYPES FOR UPPER VENTING IS FIGURED FOR IN THIS TABLE.

ROOF PLAN 'B'
SCALE: 1/8" = 1'-0"

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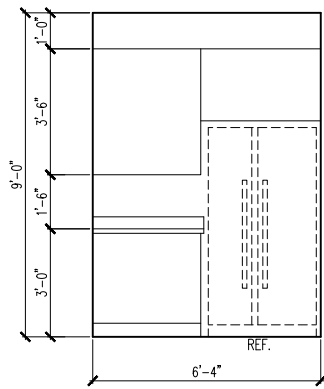
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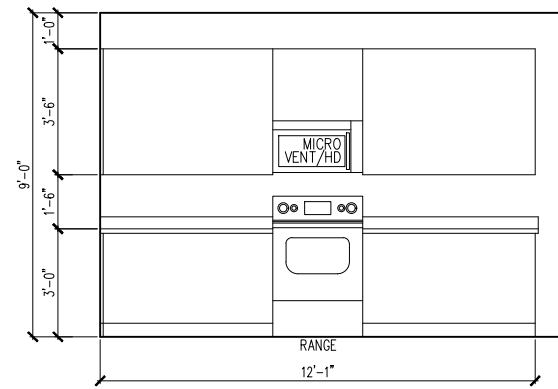
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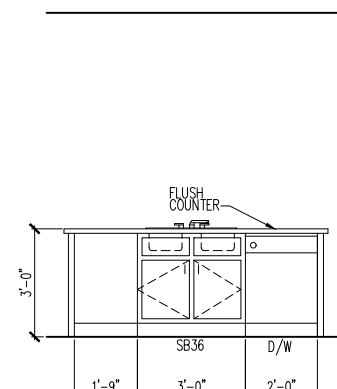
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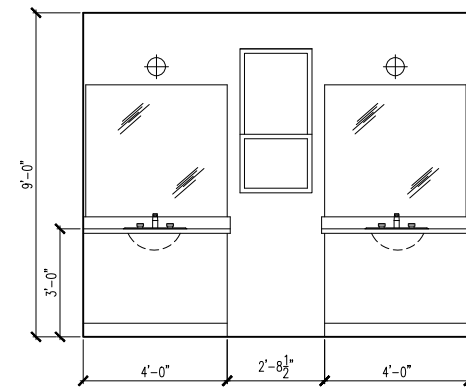
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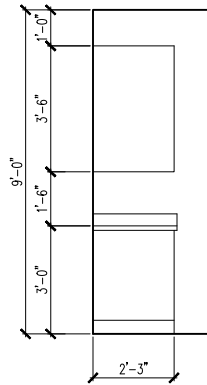
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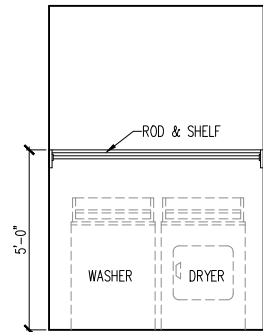
3 KITCHEN ISLAND



4 PRIMARY BATH

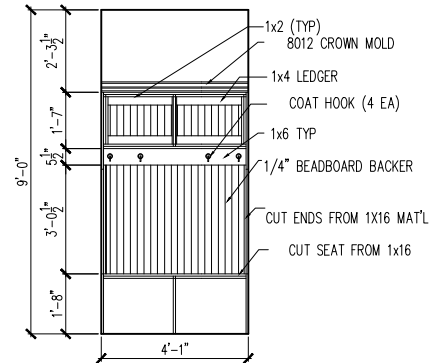


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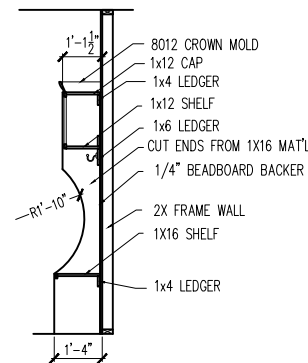


6 LAUNDRY ROOM

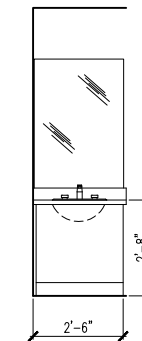
FRONT VIEW



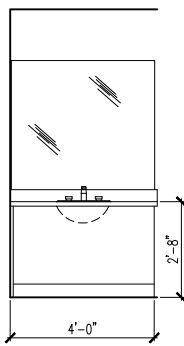
SIDE VIEW



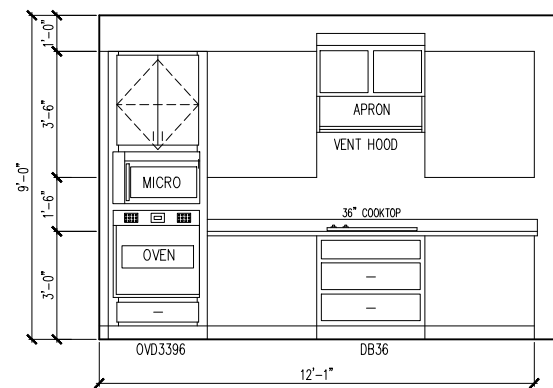
7 TYPICAL OPT. BENCH DETAIL (DROP ZONE)



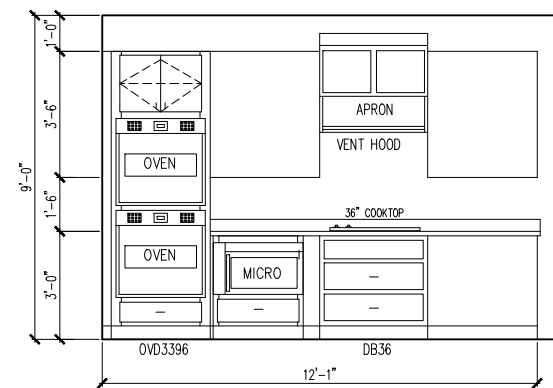
8 BATH 2



9 BATH 3
w/ OPT 2ND FLR



10 OPT. GOURMET KITCHEN
w/ OPT OVEN/MICRO



11 OPT. GOURMET KITCHEN
w/ OPT DBL OVEN

ELECTRICAL FIXTURE SCHEDULE	
DESCRIPTION	SYMBOL
110V OUTLET	⊕
220V OUTLET	⊕ 220
1/2 HOT OUTLET	⊕
GFI OUTLET	⊕ GFI
WP GFI OUTLET	⊕ WP/GFI
GARAGE DOOR OPENER OUTLET	⊕ GDO
SECURITY SYSTEM	⊕ SEC SYS
DISHWASHER	⊕ DW
JUNCTION BOX	⊕
CEILING MOUNTED LIGHT	⊕
CEILING FAN w/ LIGHT KIT	⊕ PROVIDE BRACING
RECESSED CEILING LIGHT	⊕
RECESSED WATER PROOF LIGHT	⊕ WP
WALL MOUNTED LIGHT	⊕
WALL MOUNTED PUSH BUTTON	⊕ PB
TWO WAY SWITCH	⊕
THREE WAY SWITCH	⊕
FOUR WAY SWITCH	⊕
DIMMER SWITCH	⊕ DIM
EXHAUST VENTS	⊕ VENT TO EXT
LOW VOLTAGE PANEL	⊕
PHONE OUTLET	⊕ PH
TV OUTLET	⊕ TV
DATA & RG6 COMBO BOX	⊕
SMOKE DETECTOR	⊕
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊕ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	⊕ EP
SURFACE MOUNT LED	⊕
EXTERIOR WALL MOUNT UPLIGHT	⊕
SOFFIT MOUNT FLOOD LIGHT	⊕
UNDER COUNTER LIGHTING	⊕ UCL
SMURF TUBE	⊕

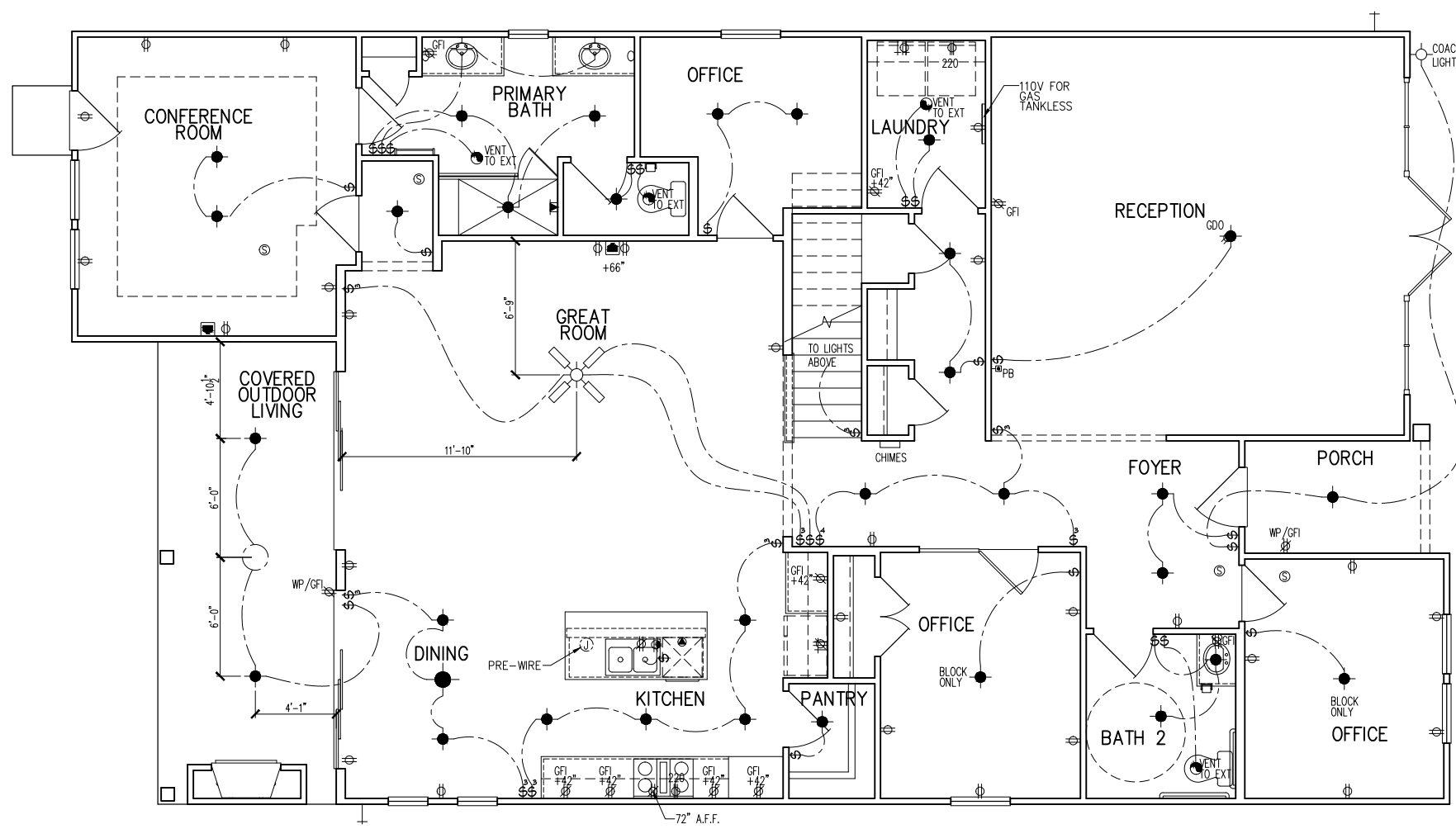
ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.

ELECTRICAL DEVICES: ABOVE FINISHED FLOOR:

SWITCHES OVER COUNTER	48" TO CL
WALL OUTLETS OVER COUNTER	42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER)
REMAINING SWITCHES	48" TO CL
WALL OUTLETS	12" TO CL
BATH VANITY BRACKET OUTLET	12" (1" ABOVE TOP OF VANITY)
WATER SOFTENER AND SUMP OUTLETS	48" TO CL
EXTERIOR GFI OUTLETS	12" TO CL
GARAGE GFI (ABOVE GARAGE FLOOR)	48" TO CL
FRONT DOOR COACH LIGHT	80" TO CL
GARAGE DOOR COACH LIGHT (ABOVE GARAGE FLOOR)	84" TO CL
THERMOSTAT	54" TO CL
DOORBELL CHIMES	84" TO CL
DOORBELL BUTTON	LEVEL W/ DR HANDLE
KITCHEN HOOD FAN "WHIP"	66" TO CL
KITCHEN WALL HUNG MICROWAVE OUTLET	72" TO CL
KITCHEN DISHWASHER RECEPTACLE	UNDER SINK
KITCHEN RANGE	24" TO CL
KITCHEN REFRIGERATOR	48" TO CL
WASHER/DRYER OUTLET	48" TO CL

CL = CENTER LINE
1 = FIELD VERIFY
2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



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1st FLOOR ELECTRICAL PLAN
SUBDIVISION: ALTIS @ SERENITY
ADDRESS: 90 SERENE XING
LOT: 281 BLOCK:

Issue Date: 11-17-24
Drawn By: ACC

PLAN #: 5920-05

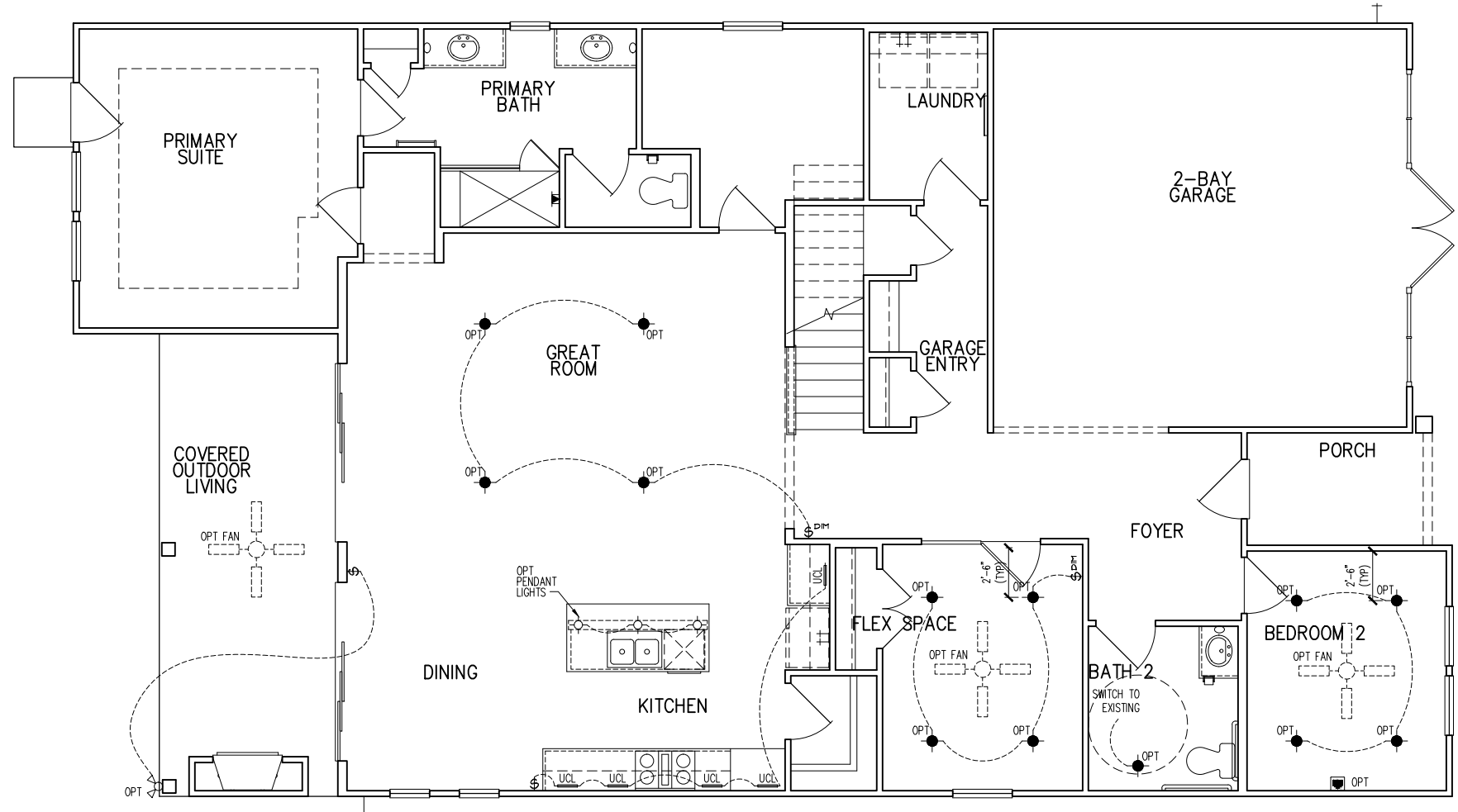
PLAN NAME: LONGLEAF WAY

SHEET #: E1.10B

ELECTRICAL FIXTURE SCHEDULE	
DESCRIPTION	SYMBOL
110V OUTLET	⊕
220V OUTLET	⊕220
1/2 HOT OUTLET	⊕
GFI OUTLET	⊕GFI
WP GFI OUTLET	⊕WP/GFI
GARAGE DOOR OPENER OUTLET	⊕GDO
SECURITY SYSTEM	⊕SEC SYS
DISHWASHER	⊕DW
JUNCTION BOX	⊕
CEILING MOUNTED LIGHT	⊕
CEILING FAN w/ LIGHT KIT	⊕ PROVIDE BRACING
RECESSED CEILING LIGHT	⊕
RECESSED WATER PROOF LIGHT	⊕WP
WALL MOUNTED LIGHT	⊕
WALL MOUNTED PUSH BUTTON	⊕PB
TWO WAY SWITCH	⊕
THREE WAY SWITCH	⊕
FOUR WAY SWITCH	⊕
DIMMER SWITCH	⊕DIM
EXHAUST VENTS	⊕VENT TO EXT
LOW VOLTAGE PANEL	⊕
PHONE OUTLET	⊕PH
TV OUTLET	⊕TV
DATA & RG6 COMBO BOX	⊕
SMOKE DETECTOR	⊕
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊕ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	⊕EP
SURFACE MOUNT LED	⊕
EXTERIOR WALL MOUNT UP LIGHT	⊕
SOFFIT MOUNT FLOOD LIGHT	⊕
UNDER COUNTER LIGHTING	⊕UCL
SMURF TUBE	-----

ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
 - HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
 - ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- ELECTRICAL DEVICES:** ABOVE FINISHED FLOOR:
 SWITCHES OVER COUNTER 48" TO CL
 WALL OUTLETS OVER COUNTER 42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. ⊕ COUNTER)
 REMAINING SWITCHES 48" TO CL
 WALL OUTLETS 12" TO CL
 BATH VANITY BRACKET OUTLET 1,2 (1" ABOVE TOP OF VANITY)
 WATER SOFTENER AND SUMP OUTLETS 48" TO CL
 EXTERIOR GFI OUTLETS 12" TO CL
 GARAGE GFI (ABOVE GARAGE FLOOR) 48" TO CL
 FRONT DOOR COACH LIGHT 80" TO CL
 GARAGE DOOR COACH LIGHT (ABOVE GARAGE FLOOR) 84" TO CL
 THERMOSTAT 54" TO CL
 DOORBELL CHIMES 84" TO CL
 DOORBELL BUTTON LEVEL W/ DR. HANDLE
 KITCHEN HOOD FAN "WHIP" 66" TO CL
 KITCHEN WALL HUNG MICROWAVE OUTLET 72" TO CL
 KITCHEN DISHWASHER RECEPTACLE UNDER SINK
 KITCHEN RANGE 24" TO CL
 KITCHEN REFRIGERATOR 48" TO CL
 WASHER/DRYER OUTLET 48" TO CL
- CL = CENTER LINE
 1 = FIELD VERIFY
 2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



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1st FLOOR ELEC. PLAN - OPITONS
 SUBDIVISION: ALTIS @ SERENITY
 ADDRESS: 90 SERENE XING
 LOT: 281 BLOCK:

Issue Date: 11-17-24
 Drawn By: ACC

PLAN #:
 5920-05

PLAN NAME:
 LONGLEAF WAY

SHEET #:
 E1.11B

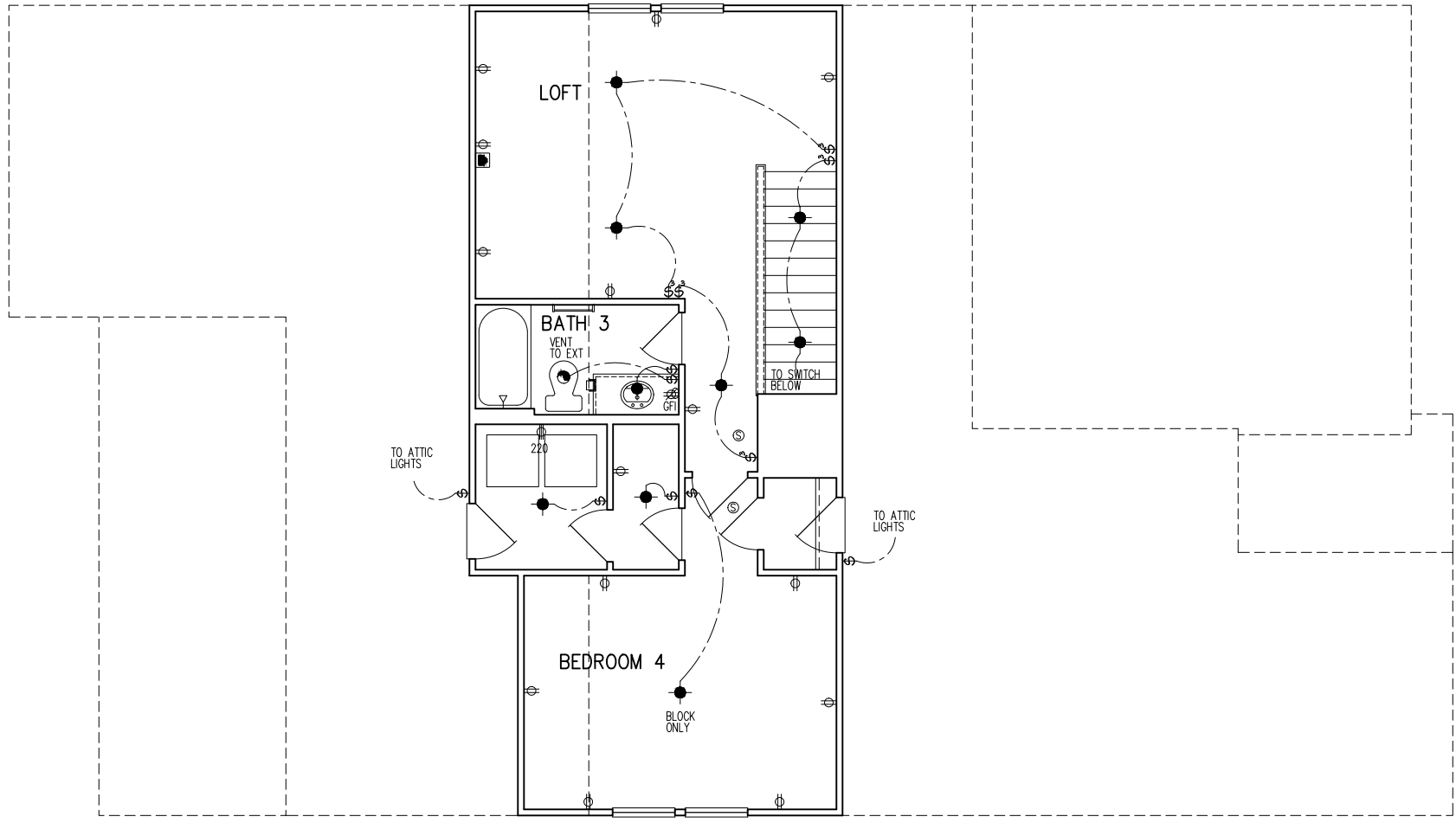
ELECTRICAL FIXTURE SCHEDULE	
DESCRIPTION	SYMBOL
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GFI OUTLET	⊕ GFI
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GARAGE DOOR OPENER OUTLET	⊕ GDO
SECURITY SYSTEM	⊕ SEC SYS
DISHWASHER	⊕ DW
JUNCTION BOX	⊕
CEILING MOUNTED LIGHT	⊕
CEILING FAN w/ LIGHT KIT	⊕ PROVIDE BRACING
RECESSED CEILING LIGHT	⊕
RECESSED WATER PROOF LIGHT	⊕ WP
WALL MOUNTED LIGHT	⊕
WALL MOUNTED PUSH BUTTON	⊕ PB
TWO WAY SWITCH	⊕
THREE WAY SWITCH	⊕
FOUR WAY SWITCH	⊕
DIMMER SWITCH	⊕ DIM
EXHAUST VENTS	⊕ VENT TO EXT
LOW VOLTAGE PANEL	⊕
PHONE OUTLET	⊕ PH
TV OUTLET	⊕ TV
DATA & RG6 COMBO BOX	⊕
SMOKE DETECTOR	⊕
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊕ CM/SD
DOOR CHIMES	⊕ CHIMES
ELECTRICAL PANEL	⊕ EP
SURFACE MOUNT LED	⊕
EXTERIOR WALL MOUNT UPLIGHT	⊕
SOFFIT MOUNT FLOOD LIGHT	⊕
UNDER COUNTER LIGHTING	⊕ UCL
SMURF TUBE	⊕

ELECTRICAL NOTES:

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KITCHEN RANGE	.24" TO CL
KITCHEN REFRIGERATOR	.48" TO CL
WASHER/DRYER OUTLET	.48" TO CL

CL = CENTER LINE
 1 = FIELD VERIFY
 2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



**SECOND FLOOR PLAN
 PARTIAL ELECTRICAL PLAN**

1/8"=1'-0"

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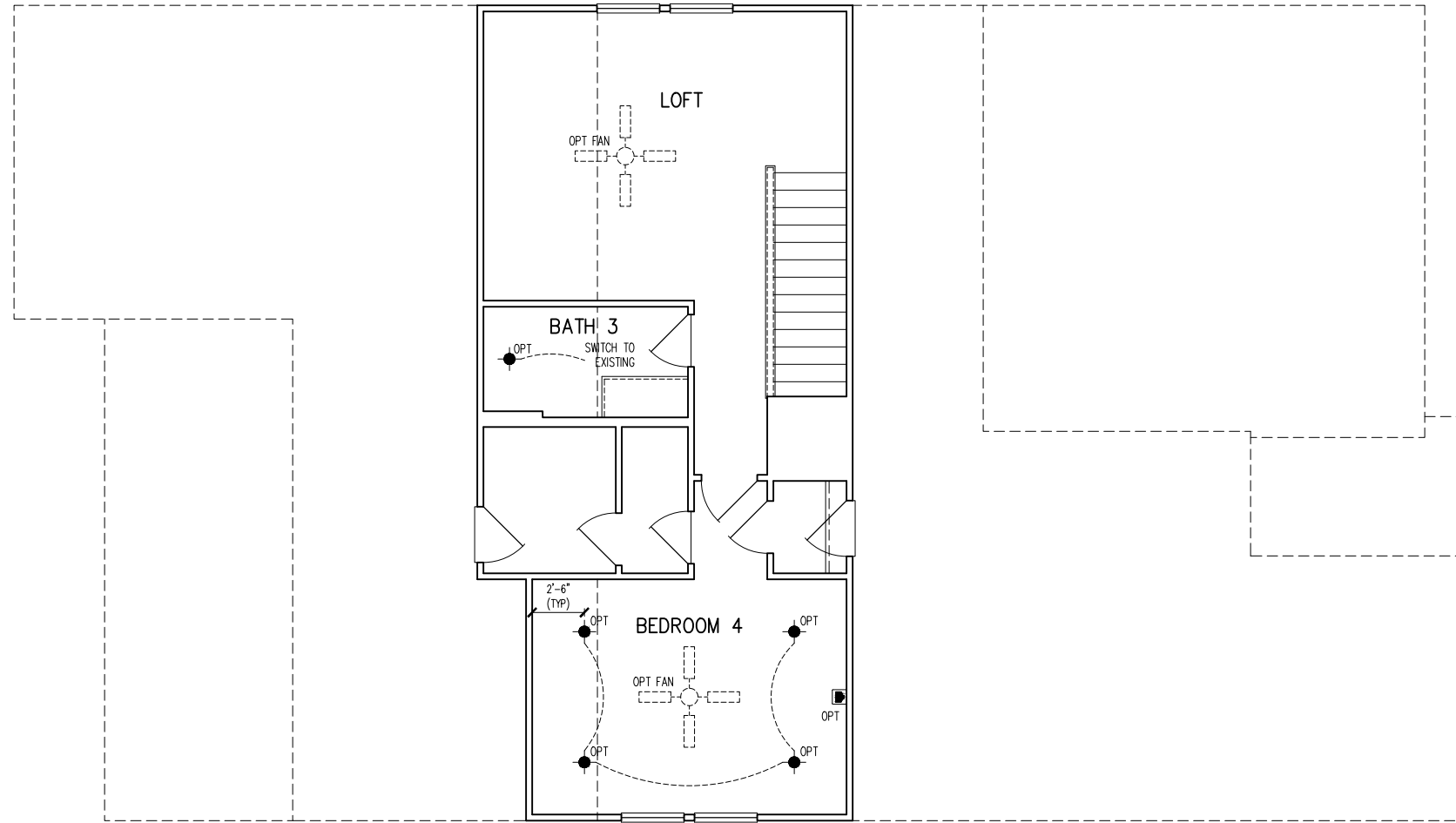
2ND FLR ELEC. PLAN - OPTION
 SUBDIVISION: ALTIS @ SERENITY
 ADDRESS: 90 SERENE XING
 LOT: 281 BLOCK:

Issue Date: 11-17-24
 Drawn By: ACC

PLAN #: 5920-05

PLAN NAME: LONGLEAF WAY

SHEET #: 01.E20



**SECOND FLOOR PLAN
PARTIAL ELECTRICAL PLAN**

1/8"=1'-0"

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2ND FLOOR ELEC. PLAN - OPTION

SUBDIVISION: ALTIS @ SERENITY
ADDRESS: 90 SERENE XING
LOT: 281 BLOCK:

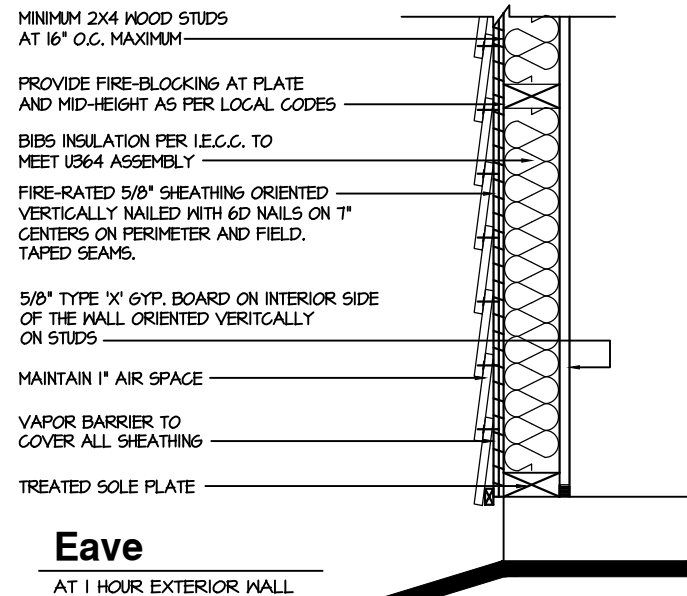
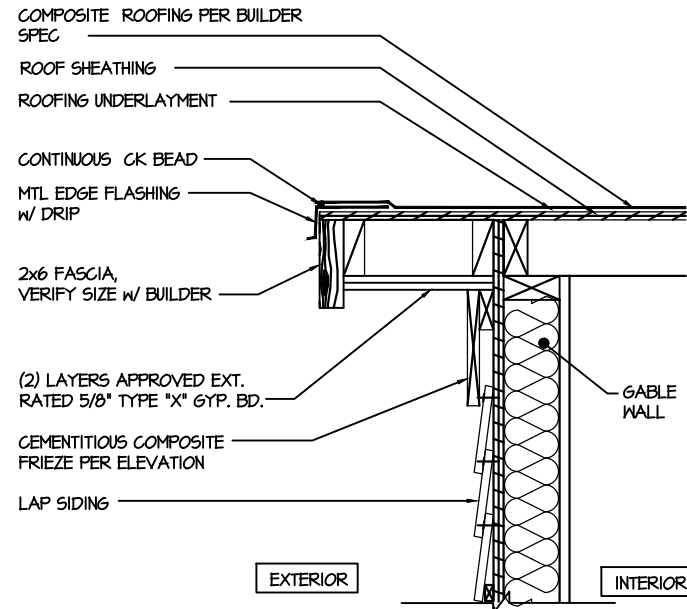
Issue Date: 11-17-24
Drawn By: ACC

PLAN #: 5920-05

PLAN NAME: LONGLEAF WAY

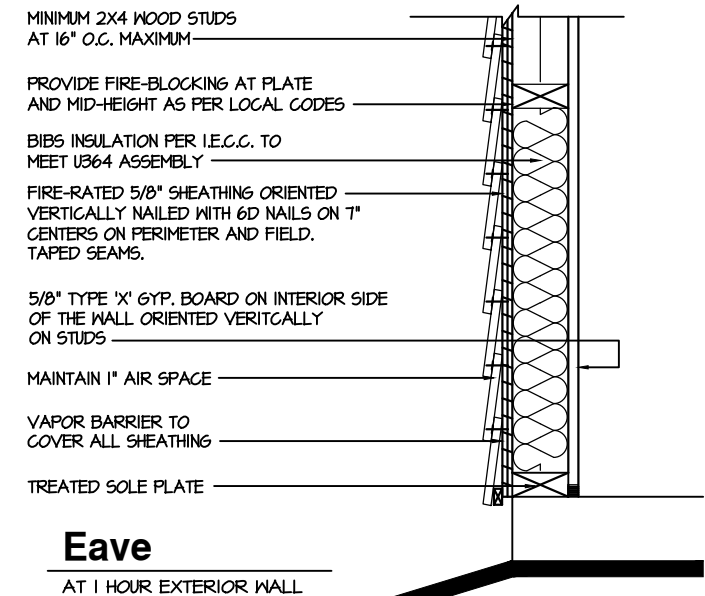
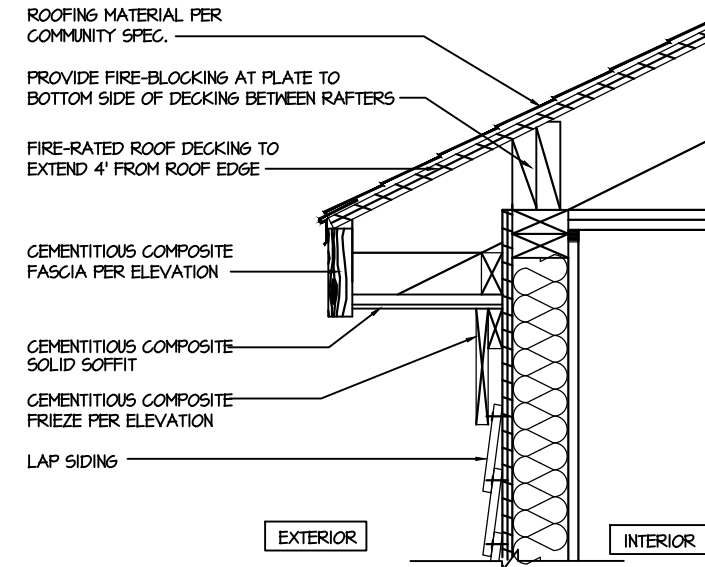
SHEET #: 01.E21

NOTE:
 1. FIREWALL COMPIES WITH UL DESIGN #U364 FOR 1 HR. FIREWALL ASSEMBLY
 GLASS BLOCK IS NOT TO EXCEED 100 SQ. FT.
 60 MIN. FIRE-RATED GLASS BLOCK ONLY



2 1 Hour Wall
 AT EXTERIOR WALL 1 HOUR FIRE-RESISTIVE CONSTRUCTION (PROPERTY LINE)

NOTE:
 1. FIREWALL COMPIES WITH UL DESIGN #U364 FOR 1 HR. FIREWALL ASSEMBLY
 GLASS BLOCK IS NOT TO EXCEED 100 SQ. FT.
 60 MIN. FIRE-RATED GLASS BLOCK ONLY



1 1 Hour Wall
 AT EXTERIOR WALL 1 HOUR FIRE-RESISTIVE CONSTRUCTION (PROPERTY LINE)

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DETAILS
 SUBDIVISION: ALTIS @ SERENITY
 ADDRESS: 90 SERENE XING
 LOT: 281 BLOCK:

Issue Date: 11-17-24
 Drawn By: ACC

PLAN #:
 5920-05

PLAN NAME:
 LONGLEAF WAY

SHEET #:
 D1.1