



Erwin Mill - Suite 302 - Area 3

200 North 13th St. Suite 302
Erwin, NC

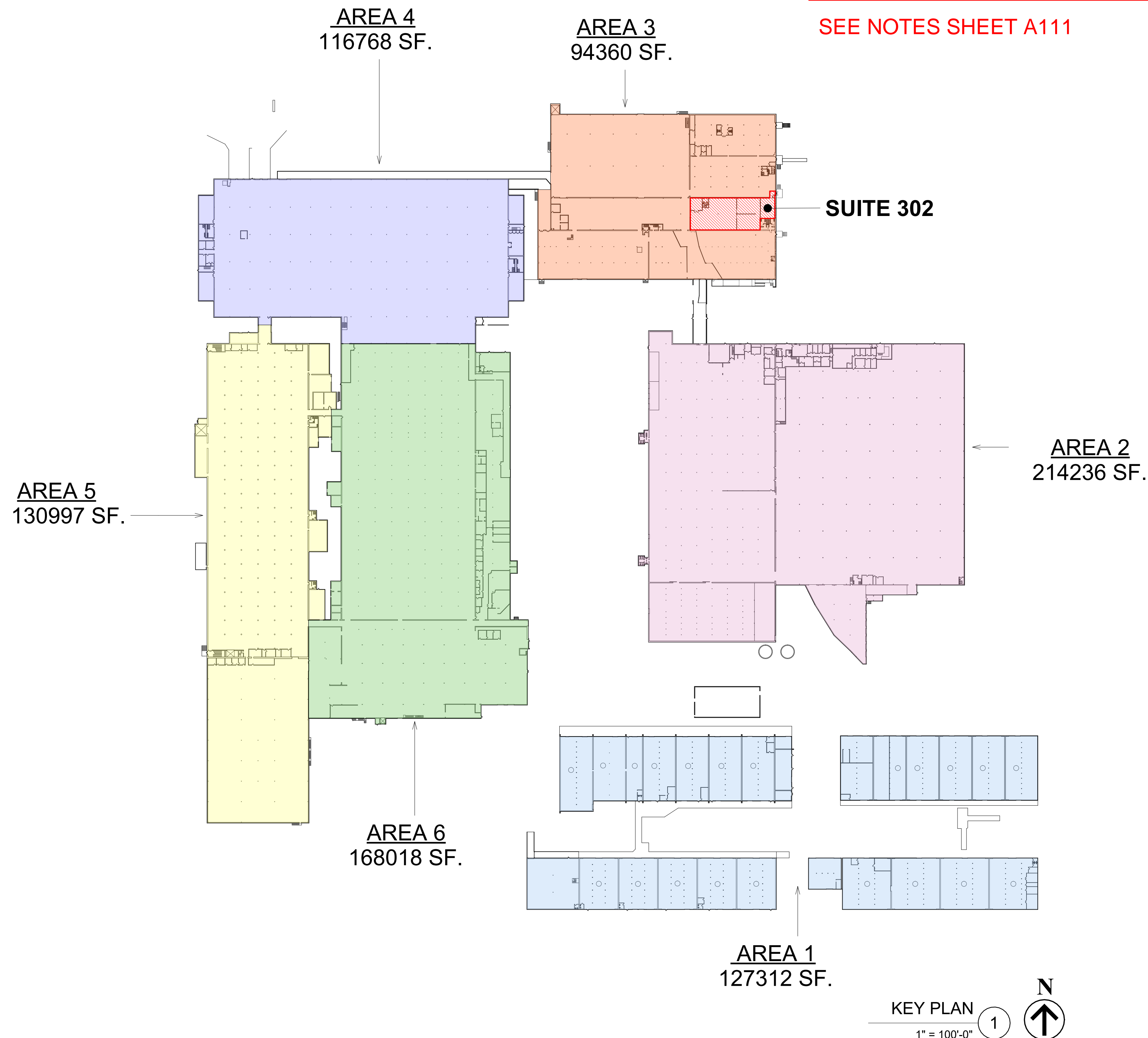
NOTICE TO CONTRACTOR:
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

Reviewed for Code Compliance

08/05/2024

SEE NOTES SHEET A111



GENERAL	
G000	COVER SHEET
G001	CODE SUMMARY
G104	ABBREVIATIONS
G200	LIFE SAFETY
CIVIL	
C000	
LANDSCAPE	
L000	
ARCHITECTURAL	
A111	FLOOR PLAN
A200	RAMP PLAN & ELEVATIONS
A400	ENLARGED BATHROOM PLANS
STRUCTURAL	
S000	
PLUMBING	
P000	
MECHANICAL	
M000	
ELECTRICAL	
E000	
FIRE ALARM	
FA000	
FIRE PROTECTION	
FP000	

OWNER
200 NORTH 13 LLC
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Phone: 718-637-9568

ARCHITECT
Olive Architecture
436 N. Harrington St. Suite 140
Raleigh, NC 27603
E-Mail: andy@Olive-Arch.com
Phone: (919) 838-9934
Fax: (919) 838-9995

FIRE ALARM
Asheboro Fire and Security

F.P ENGINEER
J & D SPRINKLER CO, INC
315 W. Main Street
Clayton, NC 27520
Contact: Bob Weaver
E-Mail: bob@jdsprinkler.com
Phone: 919-553-2356
Fax:

JOB SITE SUPERINTENDENT
1064 Wilkes Rd.
Fayetteville NC. 28306

Contact: Prince Raymond Betts
E-Mail: tbd
Phone: 919.999.6966
Fax:

Contact:
E-Mail:
Phone:

Contact:
E-Mail:
Phone:
Fax:

Contact:
E-Mail:
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Fax:

VICINITY MAP



NARRATIVE

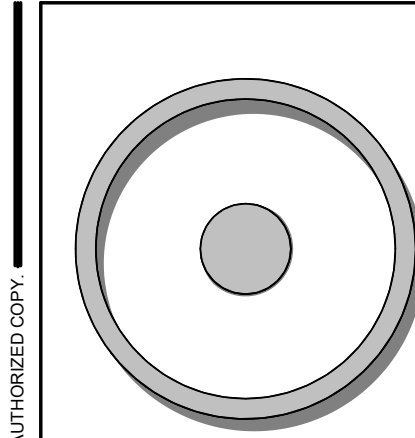
THE PROJECT IS THE INTERIOR IMPROVEMENTS TO THE EXISTING SUITE 302 IN AREA 3 OF ERWIN MILL.

THE TENANT WILL BE THE FABRICATOR AND DISTRIBUTOR OF GOLF SIMULATORS AND SOME FABRICATION INVOLVING TEXTILE CUTTING AND SEWING WILL BE PERFORMED IN THIS SUITE.

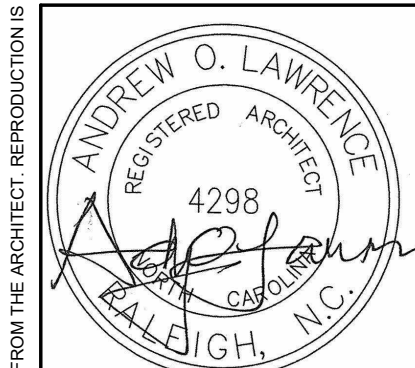
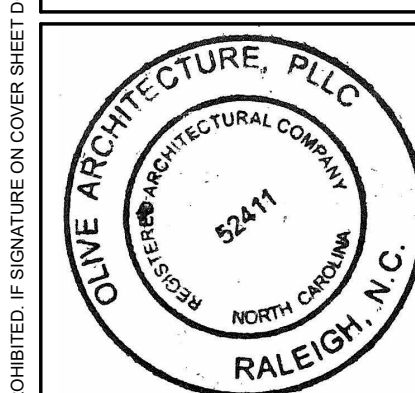
THIS SET OF CONSTRUCTION DOCUMENTS IS FOR THE GENERAL CONSTRUCTION OF NEW PARTITIONS, CEILING AND FINISHES ADDRESSING LIFE SAFETY AND OTHER GENERAL REQUIREMENTS.

FIRE SPRINKLERS ARE BEING ADDED IN A DROPPED CEILING AREA AND SPRINKLER DESIGN DRAWINGS WILL BE SUBMITTED SEPARATELY BY J&D SPRINKLERS.

ELECTRICAL IMPROVEMENTS WILL BE UNDER A SEPARATE PERMIT



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PERMIT SET

Erwin Mill - Suite 302 - Area 3

200 North 13th St. Suite 302
Erwin, NC

issue date:

ISSUE	NAME	DATE
1ST	PERMIT SET	07/25/2024

revisions:

Revision	Date	Description

drawn by:
ASL

checked by:
AOL

project no:
24-115

COVER SHEET

G000

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2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: Erwin Mill - Suite 302 - Area 3
Address: 200 North 13th St, Suite 302 Erwin, NC
Owner/Authorized Agent: Andy Lawrence

CONTACT: ELECTRICAL FIRE ALARM SPRINKLER WILL PULL SEPARATE PERMITS. Table with columns: DESIGNER, FIRM, NAME, LICENSE #, TELEPHONE #, E-MAIL.

2018 NC BUILDING CODE: [] New Building [] Addition [x] Renovation
[] 1st Time Interior Completion
[] Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: [] Prescriptive [] Repair [] Chapter 14
Alteration: [] Level I [] Level II [] Level III
[] Historic Property [] Change of Use

CONSTRUCTED: (date) 1976 CURRENT OCCUPANCY(S) (Ch. 3): S1
RENOVATED: (date) 2024 PROPOSED OCCUPANCY(S) (Ch. 3): F1
OCCUPANCY CATEGORY (Table 1604.5): Current: [x] I [] II [] III [] IV Proposed: [x] I [] II [] III [] IV

BASIC BUILDING DATA
Construction Type: [] I-A [] II-A [] III-A [] IV [] V-A
[] I-B [] II-B [] III-B [] V-B
Sprinklers: [] No [] Partial [x] Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: [] No [x] Yes Class I II III Wet Dry
Fire District: [] No [x] Yes Flood Hazard Area: [] No [x] Yes
Special Inspections Required: [] No [] Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

Gross Building Area Table
Table with columns: FLOOR, EXISTING (SQ FT), NEW (SQ FT), SUB-TOTAL
8th Floor, 7th Floor, 6th Floor, 5th Floor, 4th Floor, 3rd Floor, 2nd Floor, 1st Floor, Basement, TOTAL: 94,360 SF

ALLOWABLE AREA
Primary Occupancy Classification(s): Select one Select one Select one Select one Select one Select one
Assembly [] A-1 [] A-2 [] A-3 [] A-4 [] A-5
Business []
Educational []
Factory [x] F-1 Moderate [] F-2 Low
Hazardous [] H-1 Detonate [] H-2 De/Ingrate [] H-3 Combust [] H-4 Health [] H-5 HPM
Institutional []
[] I-1 Condition [] 1 [] 2
[] I-2 Condition [] 1 [] 2
[] I-3 Condition [] 1 [] 2 [] 3 [] 4 [] 5
[] I-4
Mercantile []
Residential [] R-1 [] R-2 [] R-3 [] R-4
Storage [] S-1 Moderate [] S-2 Low [] High-piled
[] Parking Garage [] Open [] Enclosed [] Repair Garage
Utility and Miscellaneous []

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions: (Chapter 5 - List Code Sections):
Mixed Occupancy: [] No [] Yes Separation: Hr. Exception:
EXISTING [x] Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
[] Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
Actual Area of Occupancy A + Actual Area of Occupancy B / Allowable Area of Occupancy A + Allowable Area of Occupancy B <= 1
+ + + + + <= 1.00

Table with columns: STORY NO., DESCRIPTION AND USE, (A) BLDG AREA PER STORY (ACTUAL), (B) TABLE 506.2 AREA, (C) AREA FOR FRONTAGE INCREASES, (D) ALLOWABLE AREA PER STORY OR UNLIMITED.

1 Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (P/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase I_f = 100[F/P - 0.25] x W/30 = (%)
2 Unlimited area applicable under conditions of Section 507.
3 Maximum Building Area = total number of stories in the building x D (maximum stories) (506.2).
4 The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
5 Frontage increase is based on the un sprinklered area value in Table 506.2.

ALLOWABLE HEIGHT
Table with columns: ALLOWABLE, SHOWN ON PLANS, CODE REFERENCE
Building Height in Feet (Table 504.3): 75'-0" 22'-6" 504.3
Building Height in Stories (Table 504.4): 4 1 504.4

FIRE PROTECTION REQUIREMENTS
Table with columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE (FEET), RATING REQ'D, RATING PROVIDED (W/REDUCTION), DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, SHEET # FOR RATED PENETRATION, SHEET # FOR RATED JOINTS.

PERCENTAGE OF WALL OPENING CALCULATIONS
Table with columns: FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES, DEGREE OF OPENINGS PROTECTION (TABLE 705.5), ALLOWABLE AREA (%), ACTUAL SHOWN ON PLANS (%).

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: [] No [x] Yes
Exit Signs: [] No [x] Yes
Fire Alarm: [] No [x] Yes LIMITED TO FIRE FLOW OF SPRINKLER SYSTEM
Smoke Detection Systems: [] No [] Yes [] Partial
Panic Hardware: [] No [] Yes

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: G-200 LIFE SAFETY PLAN
[] Fire and/or smoke rated wall locations (Chapter 7)
[] Assumed and real property line locations (if not on the site plan)
[] Exterior wall opening area with respect to distance to assumed property lines (705.8)
[] Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
[] Occupant loads for each area
[] Exit access travel distances (1017)
[] Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
[] Dead end lengths (1020.4)
[] Clear exit widths for each exit door
[] Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
[] Actual occupant load for each exit door
[] A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
[] Location of doors with panic hardware (1010.1.10)
[] Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
[] Location of doors with electromagnetic egress locks (1010.1.9.9)
[] Location of doors equipped with hold-open devices
[] Location of emergency escape windows (1030)
[] The square footage of each fire area (202)
[] The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
[] Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107) N/A
Table with columns: TOTAL UNITS, ACCESSIBLE UNITS REQUIRED, ACCESSIBLE UNITS PROVIDED, TYPE A UNITS REQUIRED, TYPE A UNITS PROVIDED, TYPE B UNITS REQUIRED, TYPE B UNITS PROVIDED, TOTAL ACCESSIBLE UNITS PROVIDED.

ACCESSIBLE PARKING (SECTION 1106) N/A
Table with columns: LOT OR PARKING AREA, TOTAL # OF PARKING SPACES REQUIRED, # OF ACCESSIBLE SPACES PROVIDED (REGULAR WITH 5' ACCESS AISLE, 132" ACCESS AISLE, 8' ACCESS AISLE), TOTAL # ACCESSIBLE PROVIDED.

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)
Table with columns: USE, WATERCLOSETS (MALE, FEMALE, UNSEX), URINALS, LAVATORIES (MALE, FEMALE, UNSEX), SINKS, DRINKING FOUNTAINS (REGULAR, ACCESSIBLE).

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: [] No [] Yes (The remainder of this section is not applicable)
Exempt Building: [] No [] Yes (Provide code or statutory reference):
Climate Zone: [] 3A [] 4A [] 5A
Method of Compliance: Energy Code [] Performance [] Prescriptive
ASHRAE 90.1 [] Performance [] Prescriptive
(IF "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)
Roof/ceiling Assembly (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Skylights in each assembly:
U-Value of skylight:
total square footage of skylights in each assembly:
Exterior Walls (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing)
U-Value of assembly:
Solar heat gain coefficient:
projection factor:
Door R-Values:
Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors slab on grade
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated.

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS STRUCTURAL DESIGN (PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:
Importance Factors: Snow (I_s) Seismic (I_e)
Live Loads: Roof Mezzanine Floor
Ground Snow Load:
Wind Load: Basic Wind Speed Exposure Category

SEISMIC DESIGN CATEGORY:
Risk Category (Table 1604.5)
Spectral Response Acceleration S_s %g S_1 %g
Site Classification (ASCE 7) A B C D E F
Data Source: [] Field Test [] Presumptive [] Historical Data
Basic structural system: [] Bearing Wall [] Building Frame [] Moment Frame [] Simplified
Analysis Procedure: [] Equivalent Lateral Force [] Dynamic
Architectural, Mechanical, Components anchored? [] Yes [] No

LATERAL DESIGN CONTROL: Earthquake [] Wind []
SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) psf
Presumptive Bearing capacity psf
Pile size, type, and capacity

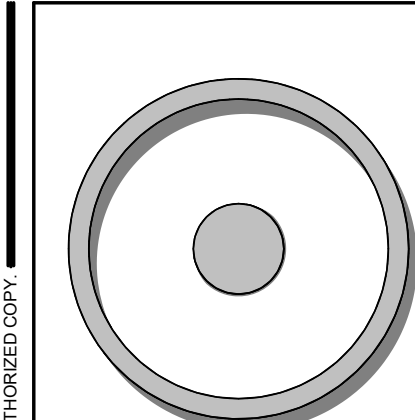
2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL DESIGN (PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
Thermal Zone
winter dry bulb:
summer dry bulb:
Interior design conditions
winter dry bulb:
summer dry bulb:
relative humidity:
Building heating load:
Building cooling load:
Mechanical Spacing Conditioning System
Unitary
description of unit:
heating efficiency:
cooling efficiency:
size category of unit:
Boiler
Size category: If oversized, state reason:
Chiller
Size category: If oversized, state reason:
List equipment efficiencies:

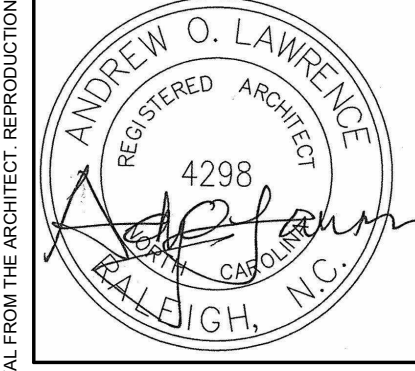
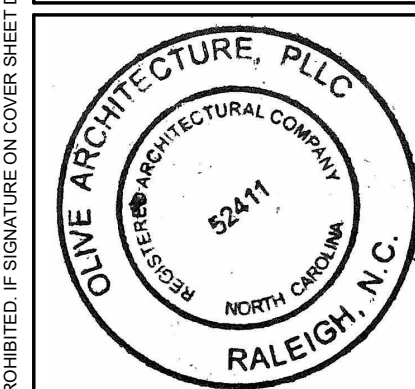
2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SYSTEM AND EQUIPMENT
Method of Compliance: Energy Code [] Performance [] Prescriptive
ASHRAE 90.1 [] Performance [] Prescriptive
Lighting schedule (each fixture)
lamp type required in fixture
number of fixture
ballast type used in the fixture
or ballasts in fixture
wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed
Additional Efficiency Package Options (When using the 2018 NCECC; not required for ASHRAE 90.1)
[] C406.2 More Efficient HVAC Equipment Performance
[] C406.3 Reduced Lighting Power Density
[] C406.4 Enhanced Digital Lighting Controls
[] C406.5 On-Site Renewable Energy
[] C406.6 Dedicated Outdoor Air System
[] C406.7 Reduced Energy Use in Service Water Heating

drawn by:
checked by:
project no: 24-115
CODE SUMMARY
G001



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2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL DESIGN (PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)
MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
Thermal Zone
winter dry bulb:
summer dry bulb:
Interior design conditions
winter dry bulb:
summer dry bulb:
relative humidity:
Building heating load:
Building cooling load:
Mechanical Spacing Conditioning System
Unitary
description of unit:
heating efficiency:
cooling efficiency:
size category of unit:
Boiler
Size category: If oversized, state reason:
Chiller
Size category: If oversized, state reason:
List equipment efficiencies:
PERMIT SET
Erwin Mill - Suite 302 - Area 3
200 North 13th St, Suite 302 Erwin, NC

issue date:
Table with columns: ISSUE, NAME, DATE
1ST PERMIT SET 07/25/2024

revisions:
Table with columns: Revision, Date, Description

drawn by:
checked by:
project no: 24-115

CODE SUMMARY
G001

GENERAL NOTES

1. THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, ANY ADDENDA, MODIFICATIONS, THE CONDITIONS OF THE CONSTRUCTION CONTRACT, AND SPECIFICATIONS AS NOTED ON THE DRAWINGS.

2. THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE OWNER. THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS ARE NOT TO BE USED BY THE OWNER FOR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

3. THE WORK WILL CONFORM WITH THE REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION.

4. 'FURNISH' MEANS SUPPLY ONLY FOR OTHERS TO PUT IN PLACE.

5. 'PROVIDE' MEANS FURNISH AND INSTALL, COMPLETE AND IN PLACE.

6. 'SIMILAR' MEANS COMPATIBLE CHARACTERISTICS FOR CONDITIONS NOTED. CONTRACTOR TO VERIFY DIMENSIONS AND ORIENTATION.

7. 'TYPICAL' MEANS IDENTICAL FOR CONDITIONS NOTED.

8. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.

9. HORIZONTAL DIMENSIONS INDICATED ARE TO AND FROM FACE OF STUD/STRUCTURE, EXCEPT AS NOTED.

10. VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB OR DECK, EXCEPT WHERE NOTED TO BE ABOVE FINISH FLOOR (A.F.F.).

11. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS NOTED.

12. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT.

13. COORDINATE AND PROVIDE BLOCKING/BACKING IN PARTITIONS BEHIND ALL WALL-MOUNTED ITEMS.

14. MAKE ALL NECESSARY PROVISIONS FOR ITEMS TO BE FURNISHED OR INSTALLED BY TENANT. PROVIDE PROTECTION FOR THESE PROVISIONS UNTIL COMPLETION OF THE PROJECT. GENERAL CONTRACTOR TO COORDINATE N.I.C. ITEMS WITH APPROPRIATE TRADES.

15. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE ACHIEVED BEFORE RELATED WORK IS STARTED.

16. GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING, AND SPRINKLING EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED OR CONCEALED SHALL BE DETERMINED AND REVIEWED WITH ARCHITECT IN THE FIELD PRIOR TO CONSTRUCTION PROCEEDING.

17. GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF PARTITIONS, DOORS, ELECTRICAL/TELEPHONE OUTLETS AND LIGHT SWITCHES WITH ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.

18. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATIONS INSTALLATION INSTRUCTIONS, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS AND METHODS TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK.

19. EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK TO MINIMIZE DISTURBANCES TO ADJACENT STRUCTURES AND THEIR OCCUPANTS, PROPERTY, PUBLIC HIGHWAYS, ETC. CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES.

20. WITHIN FIVE (5) DAYS FROM CONTRACT DATE, PREPARE AND SUBMIT AN ESTIMATED PROGRESS SCHEDULE FOR THE WORK, WITH SUB SCHEDULES OF RELATED ACTIVITIES SUCH AS DATA/TELEPHONE CABLING AND FURNITURE INSTALLATION.

21. ALL WORK SHALL COMPLY WITH APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. REQUIREMENTS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE CURRENT APPLICABLE EDITIONS OF PUBLICATIONS OF THE FOLLOWING:
NORTH CAROLINA BUILDING CODE 2018
NATIONAL FIRE PROTECTION ASSOCIATION, AND
AMERICAN NATIONAL STANDARDS INSTITUTE.

22. ABBREVIATIONS USED IN REFERRING TO STANDARDS THAT APPLY TO THE WORK INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
AMERICAN SOCIETY OF TESTING MATERIALS - ASTM;
AMERICAN INSTITUTE OF STEEL CONSTRUCTION - AISC;
AMERICAN WELDING SOCIETY - AWS;
AMERICAN CONCRETE INSTITUTE - ACI;
AMERICAN NATIONAL STANDARDS INSTITUTE - ANSI;
ARCHITECTURAL ALUMINUM MANUFACTURER'S ASSOCIATION - AAMA;
ALUMINUM ASSOCIATION, INC. - AA;
CONCRETE REINFORCING STEEL INSTITUTE - CRSI;
NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURERS - NAAMM;
NATIONAL FIRE PROTECTION ASSOCIATION - NFPA;
NATIONAL WOODWORK MANUFACTURER'S ASSOCIATION - NWMA; AND
AMERICAN WOODWORK INSTITUTE - AWW.

23. IN THE EVENT OF CONFLICTS BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN ON THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION, OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS OR DRAWINGS, AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE SHALL NOT PROCEED WITH THE AFFECTED WORK UNTIL CLARIFICATION HAS BEEN MADE.

24. ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, FREE FROM DEFECTS WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND BE REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED ITEMS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE CONTRACT.

25. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE, WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS OR DISCOLOR. JOINTS SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL HAVE NO EXPOSED, UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS OR UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISIONS FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING, AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.

26. ATTACHMENTS, CONNECTIONS, OR FASTENERS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDINGLY AND TO THESE CONDITIONS. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST CONTRACTOR; THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.

27. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS AT THE SITE. THE CONTRACTOR AND SUB-CONTRACTORS SHALL COORDINATE THE LAYOUT AND EXACT LOCATIONS OF ALL PARTITIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS, LIGHT SWITCHES AND THERMOSTATS WITH THE OWNER/AGENT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.

28. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION; NOR WILL PRESENCE OF INSPECTORS ON WORK SITE RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY OF WORK AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REPAIRED WITHIN REQUIRED TIME GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

29. MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER, SYMBOL, TITLE OF SPECIFICATION SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATIONS, TRADE ASSOCIATION STANDARD OR OTHER SIMILAR STANDARD, SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT THEREIN IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARDS, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE EFFECTS AS THOUGH PRINTED IN CONTRACT DOCUMENTS.

30. CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, ORDINANCES, ETC. REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE.

31. CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY TO ALLOW ARCHITECT A REASONABLE AMOUNT OF TIME TO SELECT A SUITABLE SUBSTITUTION.

32. IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROGRESS THEREOF, CONTRACTOR'S METHODS, EQUIPMENT, OR APPLIANCES ARE INAPPROPRIATE FOR SECURING QUALITY OF WORK OR RATE OF PROGRESS INTENDED BY CONTRACT DOCUMENTS, OWNER MAY ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE EFFICIENCY. THIS WILL NOT RELIEVE CONTRACTOR OF HIS SURETIES FROM THEIR OBLIGATIONS TO SECURE QUALITY OF WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.

33. WITH REFERENCE TO CEILINGS, CONTRACTOR SHALL COORDINATE WITH ALL TRADES INVOLVED TO INSURE THAT CONFLICTS DO NOT OCCUR BETWEEN LIGHT FIXTURES, DUCTWORK, DIFFUSERS, ETC., AND THAT THE CEILING HEIGHTS INDICATED ON DRAWINGS ARE ACHIEVED.

34. REFERENCE TO MAKES, BRANDS, ETC. IS TO ESTABLISH TYPE AND QUALITY DESIRED; SUBSTITUTIONS OF ACCEPTABLE EQUALS WILL BE PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE WHEN MADE ACCORDING TO PROCEDURES FOR SUBSTITUTIONS.

35. CONTRACTOR SHALL APPLY FOR, PAY FOR, AND OBTAIN ALL REQUIRED PERMITS FOR CONSTRUCTION AND OCCUPANCY.

36. PROVIDE SHOP AND/OR SUBMITTALS FOR THE FOLLOWING ITEMS:
MILLWORK, CASEWORK, AND HARDWARE
FINISH CARPENTRY
GLAZING
FLOOR FINISHES
ACOUSTICAL CEILING TILE AND GRID
WALL FINISHES
ALUMINUM FRAMES
DOORS, DOOR HARDWARE AND HOLLOW METAL FRAMES
LIGHTING, EXIT SIGNAGE, AND EMERGENCY DEVICES
ELECTRICAL DEVICES
MECHANICAL EQUIPMENT

37. PRIOR TO SUBMITTING A QUOTATION FOR THIS WORK, THE CONTRACTOR SHALL REVIEW THESE DRAWINGS AND SPECIFICATIONS AND SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF (THEMSELVES) WITH EXISTING CONDITIONS AND LIMITATIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.

38. WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH APPLICABLE FIRE, HEALTH, SAFETY AND BUILDING CODES OF THE LOCAL AND STATE IN WHICH THE PREMISES ARE SITUATED. WORKING CONDITIONS TO COMPLY WITH FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT GUIDELINES. CONTRACTORS SHALL REMOVE OR REPAIR ALL CONDITIONS NOT IN ACCORDANCE WITH STATE AND LOCAL CODES.

39. ALL WORK SHALL BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION. ALL SUCH DEFECTS SHALL BE CORRECTED BY THIS CONTRACTOR(S) AT NO EXPENSE TO THE OWNER.

40. THE CONTRACTOR SHALL PROVIDE ALL LABOR, GOODS AND SERVICES REQUIRED TO COMPLETE THE WORK IN GOOD ORDER AND ON TIME, IN ACCORDANCE WITH THE CONSTRUCTION SCHEDULE SUBMITTED BEFORE COMMENCING WORK.

41. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEBRIS REMOVAL. DO NOT ALLOW DEBRIS TO ACCUMULATE. PROVIDE ADEQUATE DUST AND NOISE BARRIERS. ALL AREAS SHALL BE LEFT BROOM CLEAN DAILY. WASH AND CLEAN ALL WORK AFFECTED BY CONSTRUCTION AT COMPLETION OF PROJECT. PROVIDE WEATHER BARRIERS AS REQUIRED. ALL COMPLETED OR ADJACENT WORK SHALL BE PROTECTED. ALL RUBBISH AND DEBRIS REMOVED ON A DAILY BASIS, AND THE PREMISES DELIVERED TO THE LANDLORD, READY FOR TENANT. CLEAN ALL EXPOSED SURFACES, INCLUDING GLAZING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRASH REMOVAL. COORDINATE WITH LANDLORD FOR SOURCE OF WATER DURING CONSTRUCTION.

42. CONTRACTOR SHALL BE RESPONSIBLE FOR KEYING ALL REQUIRED LOCK SETS AND COORDINATING WITH OWNER TO ENSURE THAT CYLINDERS ARE KEYS TO BUILDING MASTER KEY SYSTEM AND THAT SUFFICIENT NUMBER OF KEYS ARE SUPPLIED AT TIME OF SUBSTANTIAL COMPLETION.

43. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE FIRE EXTINGUISHERS IN HIS WORK SPACE TO COMPLY WITH ALL FIRE REGULATIONS THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTORS SHALL COMPLY WITH ALL FEDERAL AND LOCAL SAFETY REGULATIONS IN THE EXECUTION OF THEIR WORK.

44. THESE DRAWINGS ARE TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND MAY NOT BE USED ON ANY OTHER PROJECT.

45. ALL SURPLUS MATERIAL IS THE PROPERTY OF THE OWNER AND SHALL BE LABELED AND TURNED OVER TO MANAGEMENT.

46. FIELD INVESTIGATIONS SHALL BE MADE TO THE EXTENT NECESSARY TO INSURE NO BUILDING OR ADJACENT TENANT SERVICES ARE DISTURBED OR INTERRUPTED WITHOUT PRIOR PERMISSION OF THE OWNER.

47. ALL DRAWINGS INCLUDED IN THIS SET OF CONSTRUCTION DOCUMENTS SHALL BE CONSIDERED PART OF THE CONTRACT DOCUMENTS. ALL WORK INDICATED ON ALL SHEETS IS TO BE PERFORMED EVEN IF INDICATED ON ONLY ONE DRAWING.

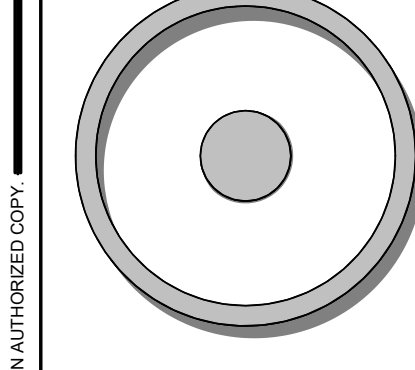
48. THE EXIT AND EMERGENCY LIGHTS SHOWN ARE FOR GUIDANCE. THE CONTRACTOR SHALL COORDINATE WITH LOCAL INSPECTOR FOR EXACT QUANTITY AND LOCATIONS.

49. CONTRACTOR SHALL INSPECT ALL SUBSTRATES PRIOR TO INSTALLING FINISH MATERIALS. INSTALLATION OF FINISH MATERIALS BY SUBCONTRACTORS INDICATES ACCEPTANCE OF SUBSTRATE AND THAT THE SUBSTRATE IS ACCEPTABLE FOR THAT SPECIFIC FINISH.

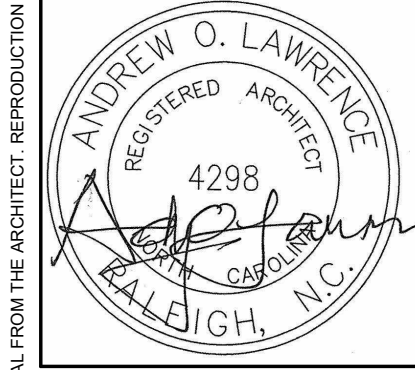
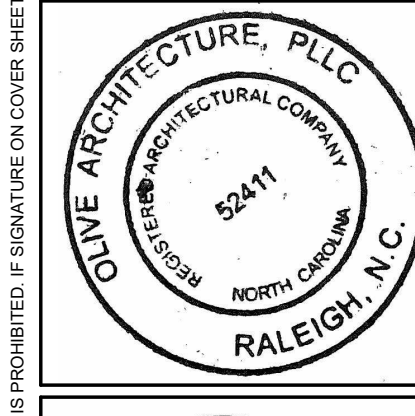
ALL WORK SHALL CONFORM TO ALL ADOPTED CODES THAT INCLUDE BUT ARE NOT LIMITED TO:
- NORTH CAROLINA ACCESSIBILITY CODE
- 2018 NORTH CAROLINA BUILDING CODE
- 2018 ENERGY CONSERVATION CODE
- 2018 FIRE CODE
- 2018 FUEL GAS CODE
- 2018 MECHANICAL CODE
- 2018 PLUMBING CODE
- 2018 ELECTRICAL CODE

ABBREVIATIONS

A		F		N		T	
AB	ANCHOR BOLT	FA	FIRE ALARM	N/A	NOT APPLICABLE	T&B	TOP AND BOTTOM
AC	AIR CONDITIONING	FACP	FIRE ALARM CONTROL PANEL	NEC	NATIONAL ELECTRIC CODE	T.O.F.	TOP OF FOOTING
AC	ALTERNATING CURRENT	FCO	FLOOR CLEAN OUT	NEMA	NATIONAL ELEC. L. MANUFACTURERS ASSOCIATION	THICK.	THICKNESS
ACI	AMERICAN CONCRETE INSTITUTE	FD	FIRE DAMPER, FLOOR DRAIN	NF	NEAR FACE	T.O.J.	TOP OF JOIST
ADJ	ADJUSTABLE	FIN.	FINISH (ED)	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION	T.O.S.	TOP OF STEELTHRU THROUGH
AFF	ABOVE FINISHED FLOOR	FIXT.	FIXTURE	N.I.C	NOT IN CONTRACT	T	THERMOSTAT
ALUM.	ALUMINUM	FDN	FOUNDATION	NL	NIGHT LIGHT	TYP	TYPICAL
AMP.	AMPERE, AMPS	FLG	FLANGE	NO.	NUMBER	TS	TEMPERATURE SENSOR
ARCH.	ARCHITECT, ARCHITECTURAL	FTG.	FOOTING	NOM.	NOMINAL	TB	THIN BRICK - INTERIOR FINISH
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATION AND A/C ENGINEERS	FS	FAR SIDE	NTS	NOT TO SCALE	U	
		F.F	FINISHED FLOOR				
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS	FLUOR.	FLUORESCENT	O		UL	UNDERWRITERS LABORATORIES
AVG	AVERAGE	FRP	FIBERGLASS REINFORCED PANEL			OA	OUTSIDE AIR
		FT	FOOT, FEET	OC	ON CENTER	UPS	UNINTERRUPTED POWER SUPPLY
B		G		V		W	
BC	BUILDING CONTRACTOR	GA	GAUGE				
BLDG.	BUILDING	GALV.	GALVANIZED	OH	OPPOSITE HAND	VA	VOLT-AMPERE
BM	BEAM	GC	GENERAL CONTRACTOR	OPNG	OPENING	VERT.	VERTICAL
BOT.	BOTTOM	GB	GRADE BEAM	OSHA ADMIN.	OCCUPATIONAL SAFETY AND HEALTH	VGB	VINYL FACED GYPSUM BOARD
BTU	BRITISH THERMAL UNIT	GWB	GYPSUM WALL BOARD	P		VTR	VENT THROUGH ROOF
						PAR	PARALLEL
CF	CUBIC FEET	H		PIC	PRECAST CONCRETE	W/	WITH
CFM	CUBIC FEET PER MINUTE	HGT	HEIGHT	PC	PIECE	W/O	WITHOUT
CKT	CIRCUIT	HORIZ.	HORIZONTAL	PDU	POWER DISTRIBUTION UNIT	WCO	WALL CLEANOUT
CL	CENTER LINE	HP	HORSEPOWER, HIGH POINT	PER	PERPENDICULAR	W.C.	WATER CLOSET
CLG	CEILING	HTR	HEATER	PH	PHASE	WS	WAINSCOT
CLR	CLEAR, CLEARANCE	HVAC	HEATING, VENTILATING AND AIR CONDITIONING	PT	PAINT	WP	WEATHER PROOFING
CMU	CONCRETE MASONRY UNIT	HVU	HEATING AND VENTILATING UNIT	PTD	PAINTED	W.O.	WALL OPENING
CNTR.	COUNTER	HVY	HEAVY	PL	PLATE	WWF	WELDED WIRE FABRIC
CO	CLEAN OUT	I		PLBG	PLUMBING	Y	
COL.	COLUMN	I.D.	INSIDE DIAMETER	PNL	PANEL		
CONC.	CONCRETE, CONCENTRIC	IE	INVERT ELEVATION	PIV	POST INDICATOR VALVE	XFMR	TRANSFORMER
CONT.	CONTINUOUS, CONTINUATION	INT	INTERIOR	PSF	POUNDS PER SQUARE FOOT	Z	
COORD.	COORDINATE	INTER.	INTERMEDIATE	PVC	POLYVINYL CHLORIDE		
CR	CONDENSATE RETURN	IN	INCH (ES)	Q		YD	
CJ	CONSTRUCTION JOINT	INSUL.	INSULATION				
CTR	CENTER	J		QTY.	QUANTITY	R	
CM	CORRUGATED METAL	J.B.	JUNCTION BOX	RA	RETURN AIR		
CW	COLD WATER	JT	JOINT	RAD	RADIUS	S	
		K	KIPS (1000 LBS)	RCP	REFLECTED CEILING PLAN		
DC	DIRECT CURRENT	KV	KILOVOLT	RD	ROOF DRAIN	ARCH. SYMBOLS	
DL	DEAD LOAD	KVA	KILOVOLT-AMP	REF	REFERENCE, REFER		
DP.	DEEP	KW	KILOWATT	REINF.	REINFORCING	100	DOOR NUMBER
DEG	DEGREE (S)	KWH	KILOWATT-HOUR	REQD	REQUIRED	ROOM	ROOM NUMBER
DTL	DETAIL	L		RM	ROOM	(A)	WINDOW TYPES
DIA	DIAMETER	LB	POUNDS	RPM	REVOLUTIONS PER MINUTE	△	REVISION
DIM	DIMENSION	LL	LIVE LOAD, LANDLORD	RTU	ROOFTOP UNIT	1.11	KEYNOTE
DN	DOWN	LLH	LONG LEG HORIZONTAL	SC	SITE CONTRACTOR	(8'-0")	CEILING HEIGHT
DBL	DOUBLE	LLV	LONG LEG VERTICAL	SCHED.	SCHEDULE (D)	SMGT	WALL TYPE
DS	DOWNSPOUT	LONG.	LONGITUDINAL	SCHR	SECONDARY CHILLED WATER RETURN	1	SECTION MARK
DWG	DRAWING	LT	LIGHT	SD	SMOKE DAMPER, SMOKE DETECTOR	1	ENLARGED PLAN/DETAIL REFERENCE
		L.P.	LOW POINT	SECT.	SECTION	1	ELEVATION KEY
EA	EACH	LTG	LIGHTING	S	SENSOR	1	COLUMN CENTERLINE
EC	ELECTRICAL CONTRACTOR	LTG	LIGHTING	S.F.	SQUARE FEET	1	(ALL SYMBOLS SHOWN ARE NOT NECESSARILY USED ON THE DWGS)
EF	EXHAUST FAN	LWC	LIGHT WEIGHT CONCRETE	SHT	SHEET		
E.J.	EXPANSION JOINT	LVL	LAMINATED VENEER LUMBER	SIM	SIMILAR		
EL	ELEVATION	M		SHT. MTL.	SHEET METAL		
ELEC.	ELECTRICAL	MAX	MAXIMUM	SPEC.	SPECIFICATION		
EMP.	EMPLOYEE	MDP	MAIN DISTRIBUTION PANEL	SQ	SQUARE		
EMS	ENERGY MANAGEMENT SYSTEM	MECH	MECHANICAL	SS	STAINLESS STEEL, SANITARY SEWER		
ENCL.	ENCLOSURE	MANUF.	MANUFACTURER	STD	STANDARD		
ENT.	ENTRY, ENTRANCE	MH	MANHOLE, METAL HALIDE	STL	STEEL		
E.O.D.	EMERGENCY OVERFLOW DRAIN	MIN	MINIMUM	STIFF.	STIFFENER		
EQ	EQUAL	MLO	MAIN LUGS ONLY	STIRR.	STIRRUPS		
EW	EACH WAY	MSB	MAIN SWITCHBOARD	SUSP.	SUSPENDED		
EXP	EXPANSION	MTD	MOUNTED	SYMM.	SYMMETRICAL		
EQUIP.	EQUIPMENT	MTL	METAL				
EWC	ELECTRIC WATER COOLER						
EXH	EXHAUST						
EXIST.	EXISTING						
EXT.	EXTERNAL, EXTERIOR						



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1ST	PERMIT SET	07/25/2024

revisions:

Revision	Date	Description

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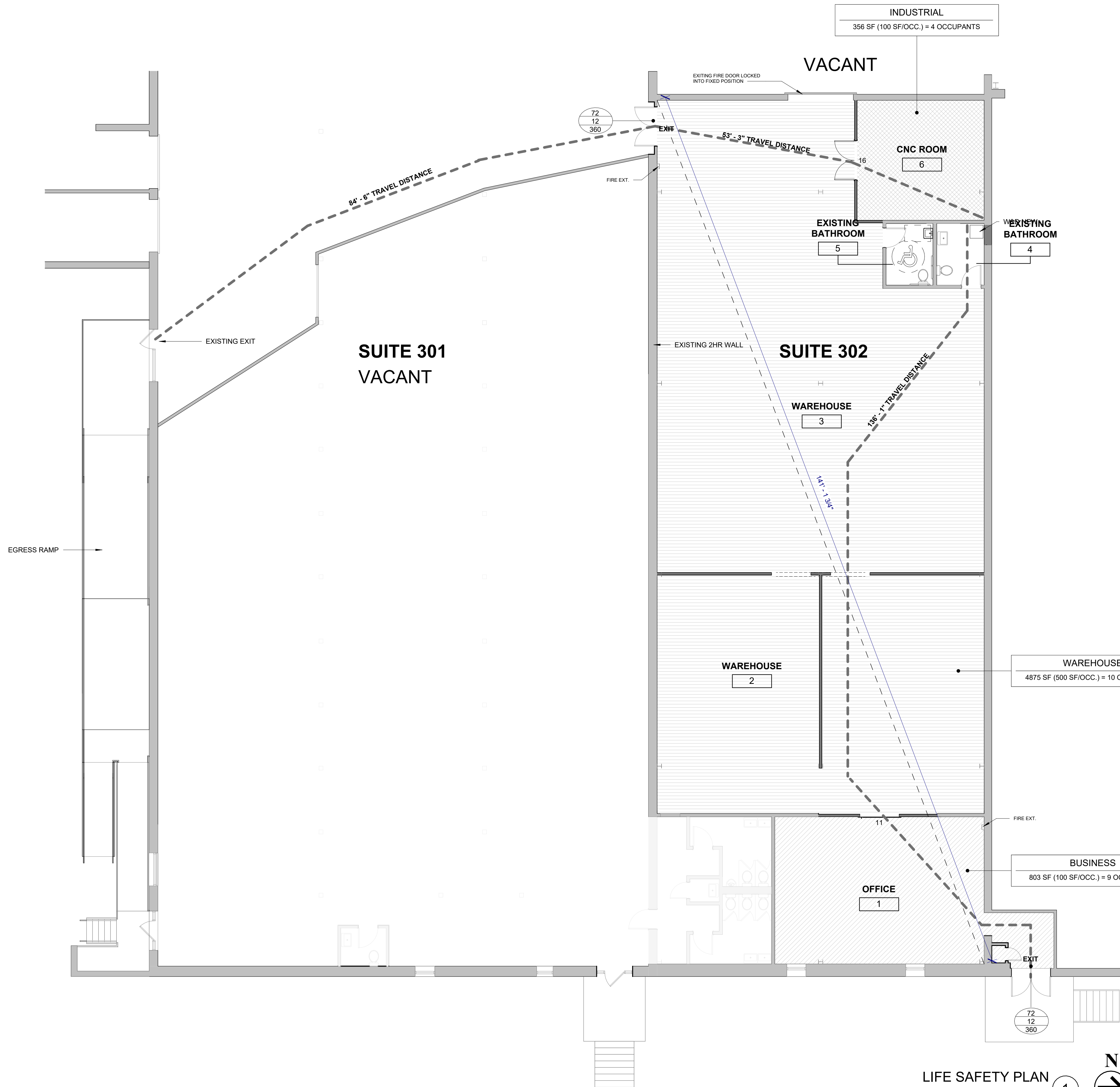
checked by:

project no:
24-115

ABBREVIATIONS

G104

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WALL RATING LEGEND

-----	30 MINUTE EXIT ACCESS CORRIDOR
----	1 HOUR FIRE PARTITION
-----	2 HOUR FIRE PARTITION
-----	1 HOUR FIRE BARRIER
-----	2 HOUR SHAFT ENCLOSURE/STRUCTURE PROTECTION
⊗	EXIT SIGN
F.E.C.	FIRE EXTINGUISHER CABINET
⚕	"STAR OF LIFE" DECAL AT ELEVATOR ENTRANCE FOR STRETCHER CAPABILITY
#	EXIT WIDTH (inches)
##	EXIT LOAD
###	EXIT CAPACITY
---	EXIT PATH

LIFE SAFETY NOTES

1. ALL RATED WALLS ABOVE CEILING TILE TO BE LABELED BY STENCIL OR PLACARD INDICATING THEIR FIRE RATING.
2. THIS BUILDING IS SPRINKLERED BUILDING.
3. MAXIMUM TRAVEL LENGTH ALLOWED= 250 FEET (IBC); 200 FEET (NFPA)
4. FIRE BARRIERS SHALL EXTEND FROM THE FLOOR TO THE UNDERSIDE OF THE FIRE-RESISTANCE-RATED ROOF/FLOOR/CEILING ASSEMBLY. DOORS MUST BE SELF-CLOSING.

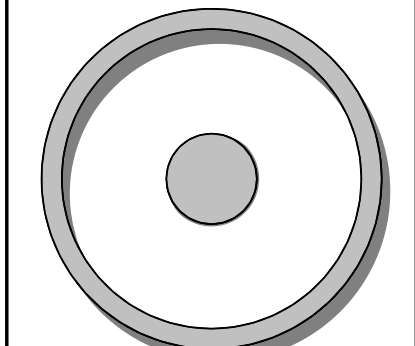
DOOR RATING LEGEND

	WALL RATING	DOOR RATING
EXTERIOR	1 HR	45 MIN
	2 HR	90 MIN
	3 HR	90 MIN
INTERIOR	1 HR (SHAFTS & EXITS)	60 MIN
	1 HR (OTHER)	45 MIN
	1.5 HR	90 MIN
	2 HR	90 MIN

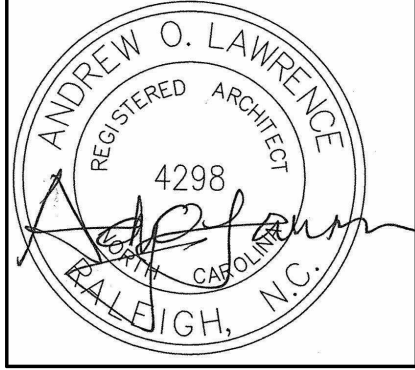
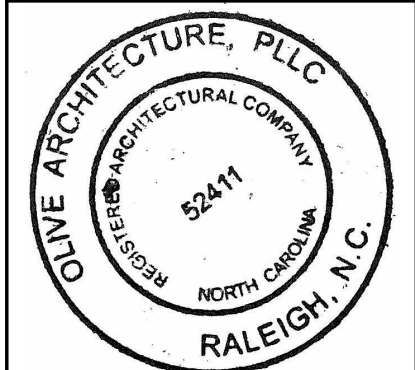
OCCUPANT LOAD (LEVEL 100)

Occupancy Type	Area	Occupancy Factor	Occupant Count
BUSINESS	803 SF	100	9
WAREHOUSE	4875 SF	500	10
INDUSTRIAL	356 SF	100	4
TOTAL			23

ACTUAL PLANNED OCCUPANCY IS LESS THAN CALCULATED ABOVE.



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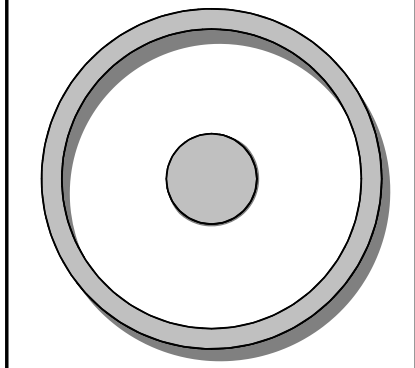
revisions:

Revision	Date	Description

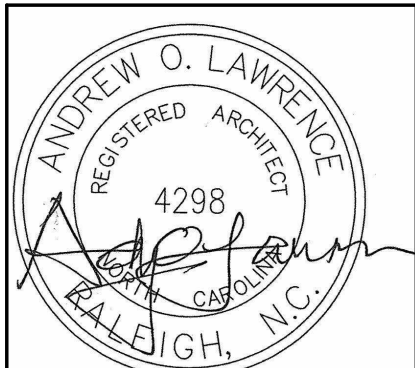
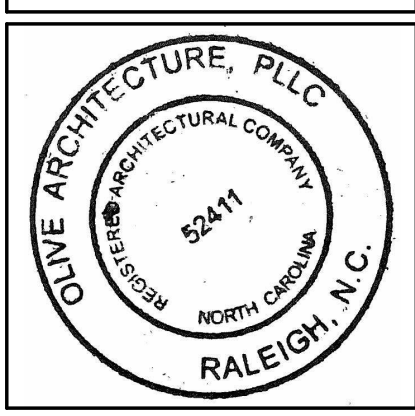
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LIFE SAFETY
G200

LIFE SAFETY PLAN 1
1/8" = 1'-0"



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1	7/30/2024	CEILING FRAMING PLAN

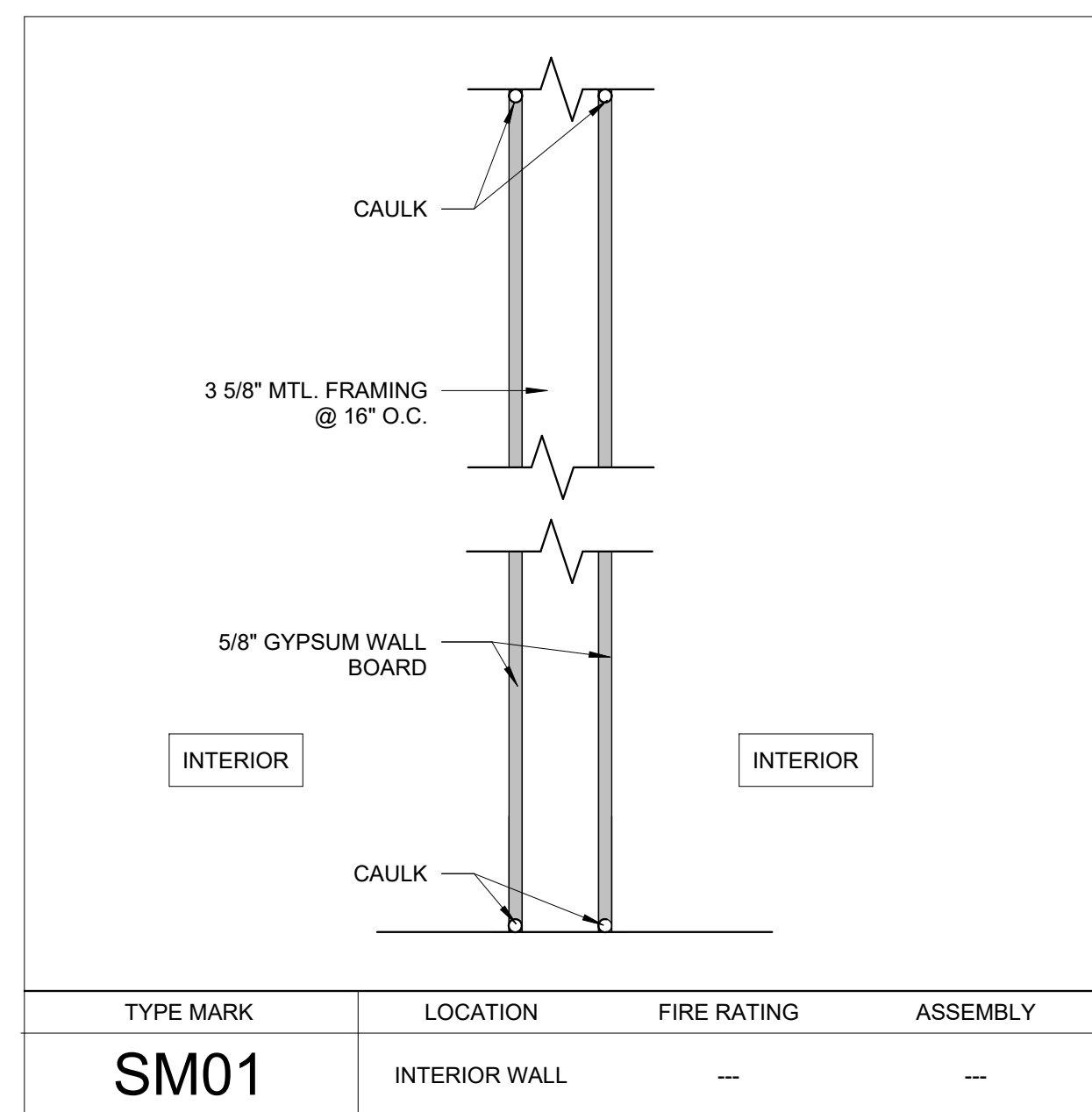
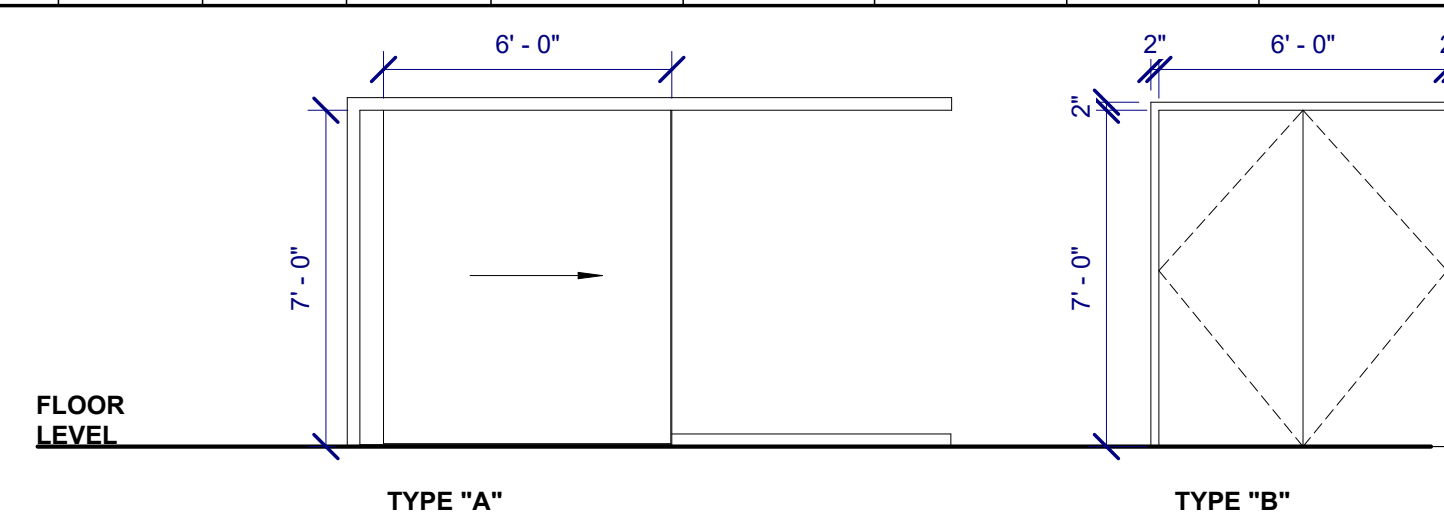
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24-115

FLOOR PLAN
1/8" = 1'-0" **1** **6,273 HSF.**
A111

7/31/2024 10:12:38 AM

Provide sprinkler drops inside new rooms from existing system per code

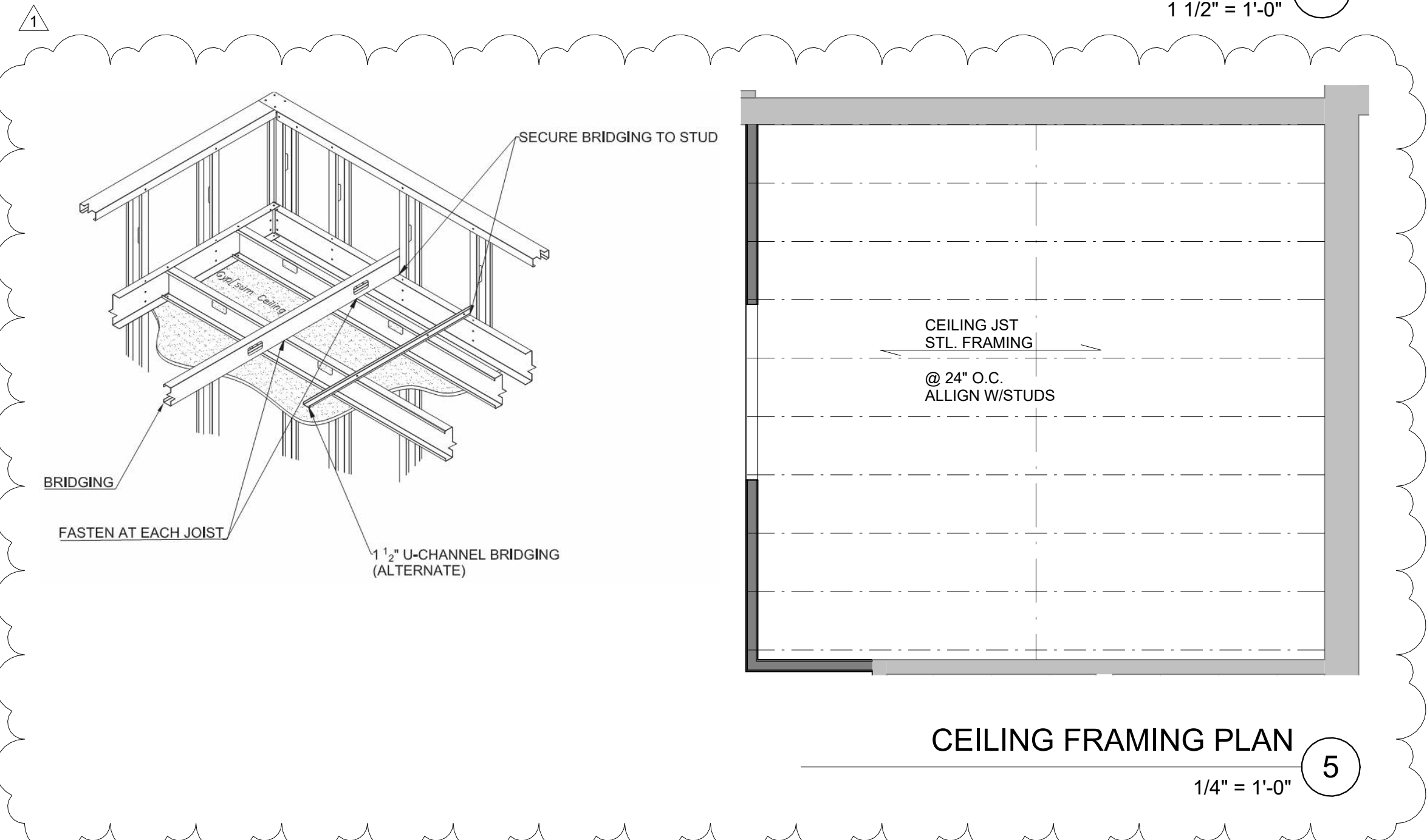
Door Schedule										
Mark	To Room	Type	Width	Height	Thk.	Door Material	Frame Material	Fire Rating	Hardware Set	Comments
16	CNC ROOM	B	6'-0"	7'-0"	1 3/4"	SCW	HOLLOW MTL			
11	OFFICE	A	6'-0"	7'-0"	1 1/4"	SCW	HOLLOW MTL			



WALL TYPE
1 1/2" = 1'-0" **4**

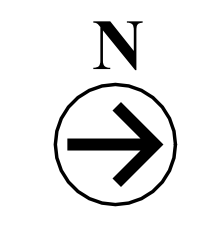


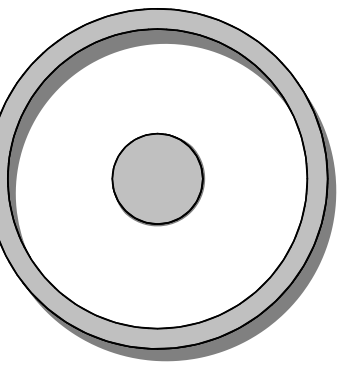
RCP
1/8" = 1'-0" **2**



CEILING FRAMING PLAN
1/4" = 1'-0" **5**

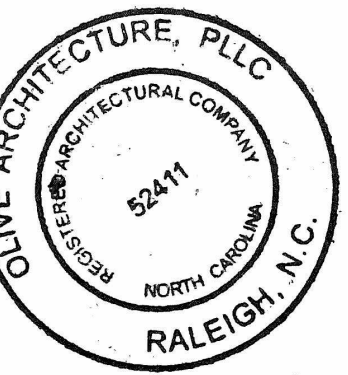
FLOOR PLAN
1/8" = 1'-0" **1** **6,273 HSF.**





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ENLARGED
BATHROOM PLANS

A400

7/31/2024 10:12:41 AM

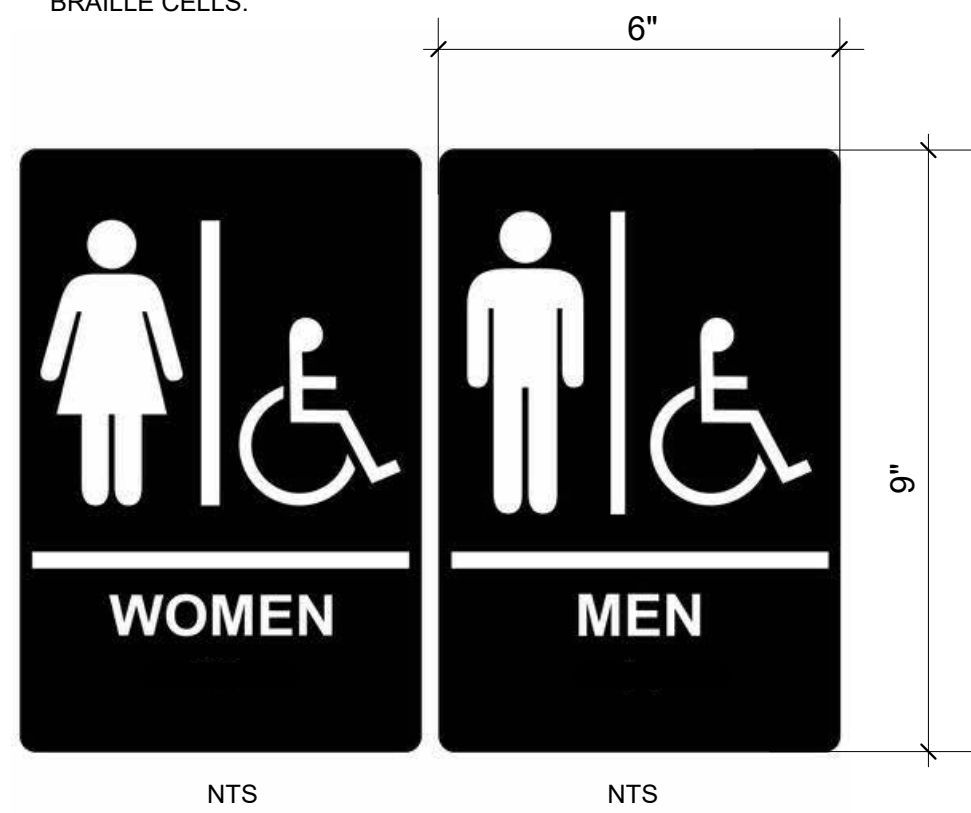
(TA) GENERAL NOTES

1. PROVIDE BLOCKING, OR DIRECT STUD SUPPORT, FOR ALL TOILET ACCESSORIES THIS LIST
2. APPROVED METAL FINISHES: POLISHED OR BRUSHED CHROME, BRUSHED NICKEL OR STAINLESS STEEL AND FYI PERFORMANCE STANDARDS
3. WALL MOUNTED EQUIPMENT, FIXTURE, ETC. BETWEEN 27" AND 80" A.F.F. SHALL NOT PROTRUDE FURTHER THAN 4" FROM WALL PER ACCESSIBILITY STANDARDS.
4. ALL CONTROLS MUST BE MOUNTED BETWEEN 15" AFF AND 48" AFF AND PROVIDE A 30"x48" CLEAR FLOOR AREA IN COMPLIANCE WITH ACCESSIBILITY STANDARDS.
OPERABLE CONTROLS LOCATED OVER AN OBSTRUCTION DEEPER THAN 10" MUST BE MOUNTED NO HIGHER THAN 48" AFF. ACCESSIBLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
5. LIGHTS IN PUBLIC AREA MUST BE ON KEYED SWITCHES OR MOTION SENSORS. THE MOTION SENSOR MUST HAVE A DELAY OF THIRTY MINUTES FROM THE LAST DETECTION OF MOVEMENT IN THE DEFINED AREA PRIOR TO SHUT DOWN. ENTRY LIGHT IN PUBLIC RESTROOMS MUST REMAIN ON AT ALL TIMES IN MULTI-STALL RESTROOM.
6. A GFCI/ELCB/RCCB OR EQUAL DUPLEX OUTLET MUST BE LOCATED ON A SIDEWALL OF THE WATER BASIN.

ADA BATHROOM SIGNAGE REQUIREMENTS:

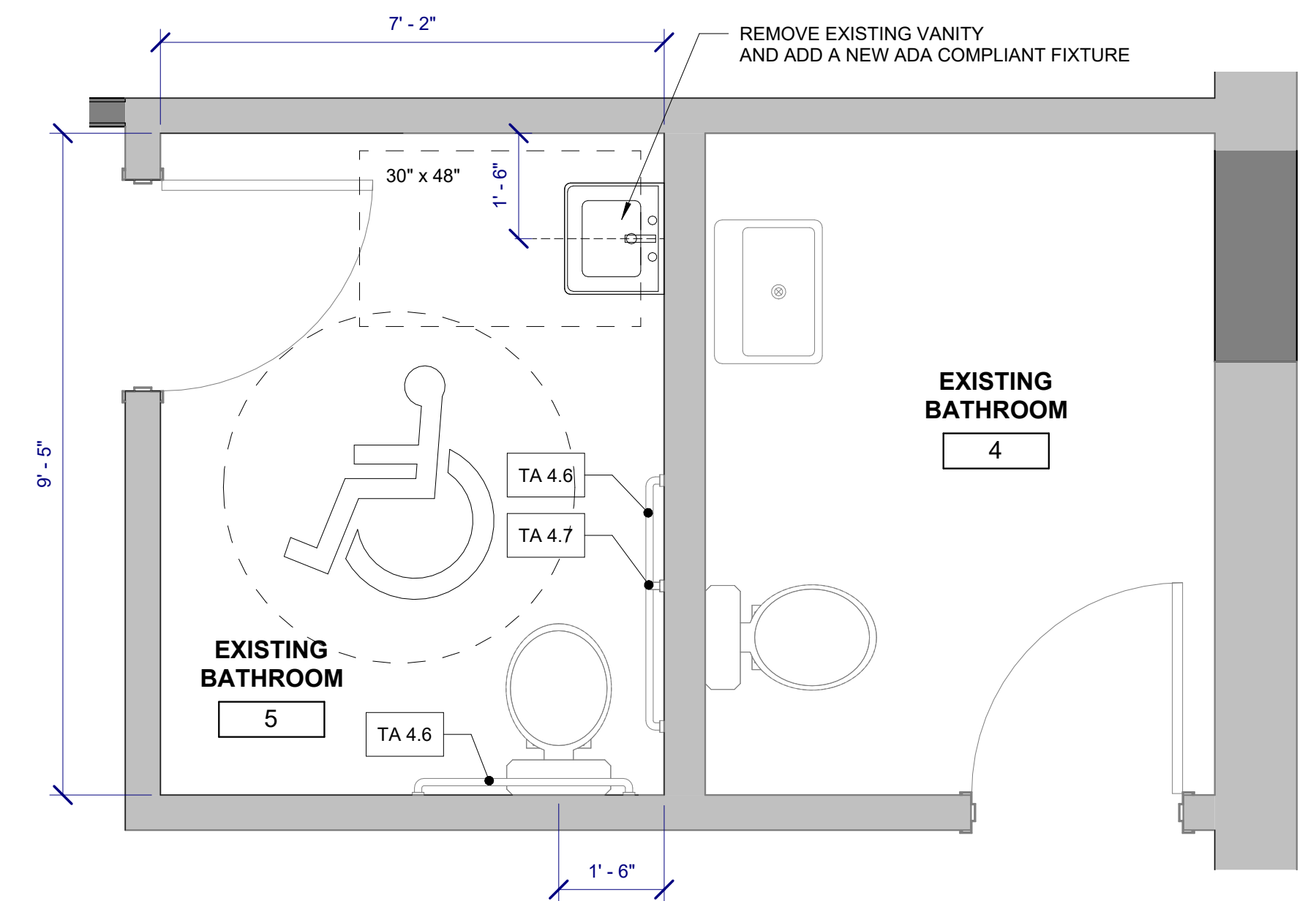
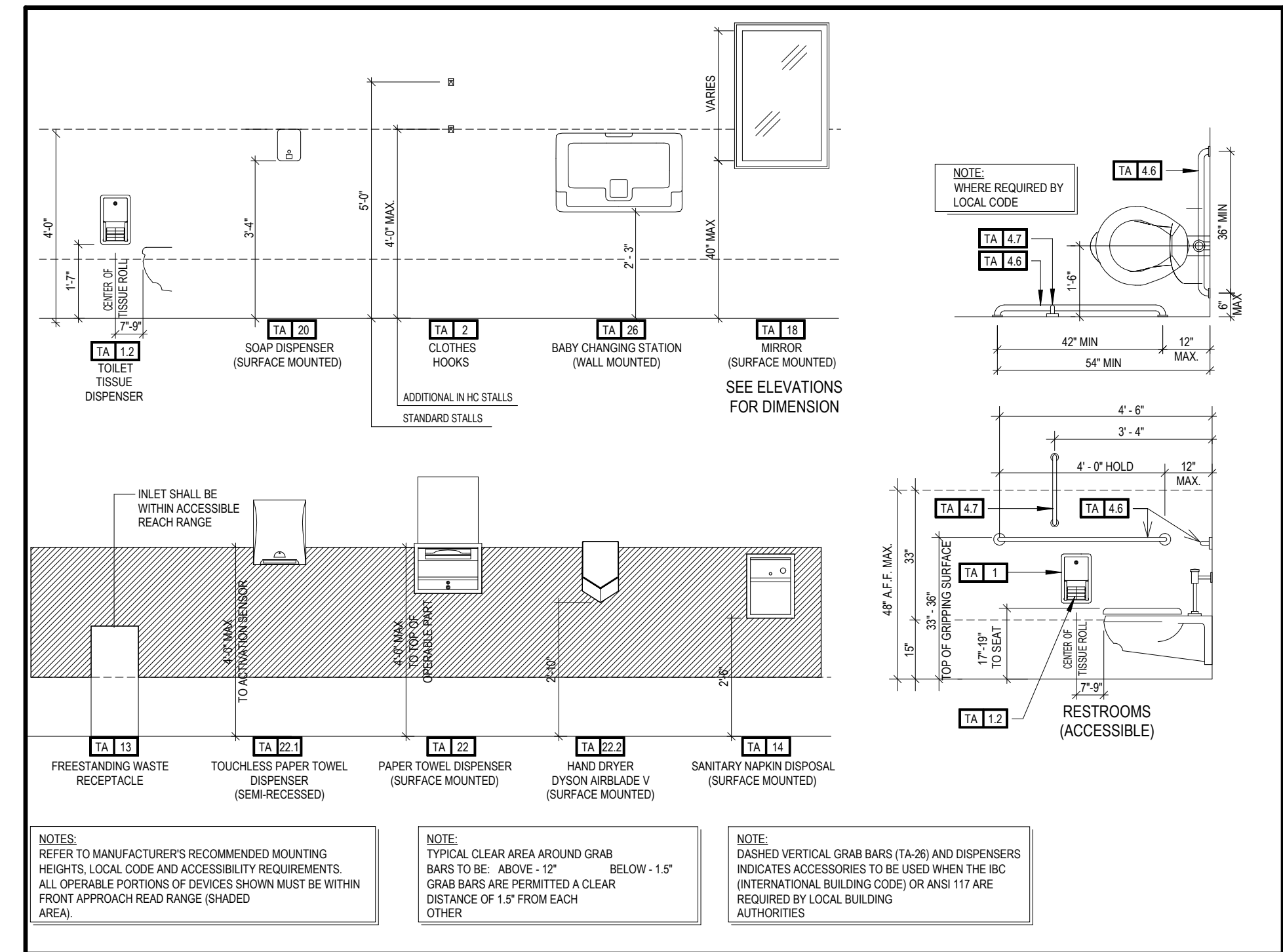
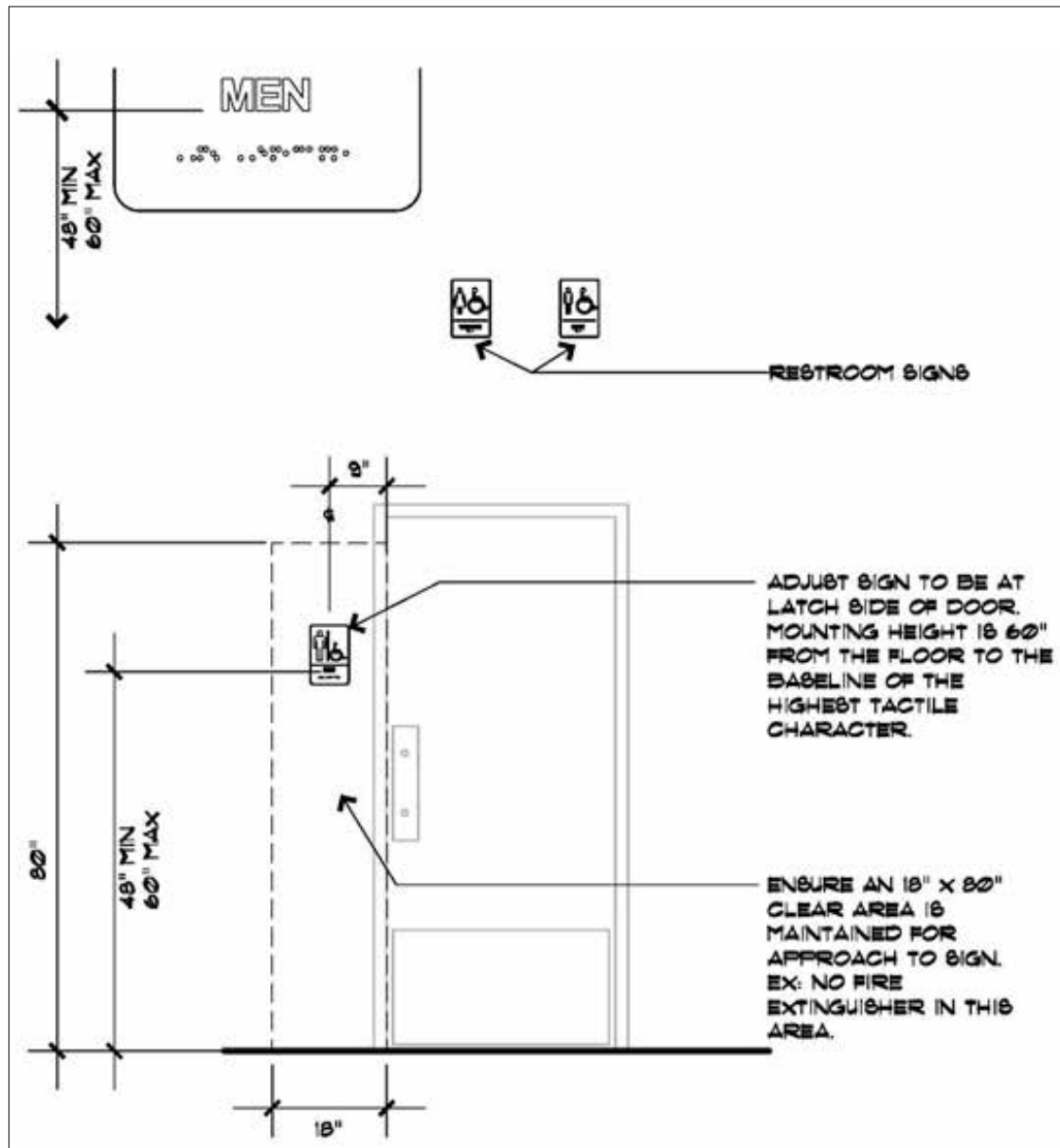
ADA COMPLIANT SIGNS IN PUBLIC SPACES MUST INCLUDE A PICTOGRAM, TACTILE TEXT, BRAILLE, OR A COMBINATION OF THESE TO ENSURE THAT PEOPLE WITH DISABILITY CAN NAVIGATE THE AREA EASILY AND SAFELY.

PER THE ADA, STANDARD RESTROOM SIGNS MUST BE LOCATED BETWEEN 48 AND 60 INCHES ABOVE THE FINISHED FLOOR OR GROUND SURFACE MEASURED TO THE BASE OF THE LOWEST BRAILLE CELLS.



GENERAL NOTES

1. LIGHT SWITCH AND G.F.I. OUTLETS CAN BE MOUNTED IN A COMMON 4x4 BOX WITH COVER PLATE. COORDINATE CLEARANCES AS REQUIRED.
2. THE HEIGHT OF ALL SWITCHES, OUTLETS, ETC., TO MEET ACCESSIBILITY REQUIREMENTS AND/OR LOCAL CODES, WHICHEVER IS MORE STRINGENT. SWITCHES ON LAMPS MUST BE TOGGLE TYPE, AS REQUIRED.
3. SLOPE OR DISH FLOORS TO DRAIN, SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION.
4. ANY LIGHT FIXTURES OVER WET AREAS TO BE DAMP LOCATION RATED W/ SHATTERPROOF LENS.
5. WALL MOUNTED EQUIPMENT, FIXTURES, ETC. BETWEEN 27" AND 80" A.F.F. SHALL NOT PROTRUDE FURTHER THAN 4" FROM THE WALL PER ACCESSIBILITY REQUIREMENTS.
6. ALL CONTROLS FOR USE BY GUESTS, MUST BE MOUNTED BETWEEN 15" AFF AND 48" AFF. ACCESSIBLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.
7. THE BOTTOM OF THE REFLECTIVE SURFACE OF MIRRORS IN ALL A.D.A. BATHROOMS MUST BE NO HIGHER THAN 40" A.F.F.



ENLARGED BATHROOM PLAN
1/2" = 1'-0" 2