



*Each section below must be filled out by whoever is performing the work. Must be owner or licensed contractor. Address, company name & phone must match information on state license.

Application # BCM 2407-0007

Harnett County Central Permitting

PO Box 65 Lillington, NC 27546
910-893-7525 Fax 910-893-2793 www.harnett.org/permits

COMMERCIAL

Application for Building and Trades Permit

Owner's Name: Town of Coats Date: 7/17/2024
Site Address: 222 E. Lemon St Phone: 910-263-1399
Description of Proposed Work: Build Storage Building

General Contractor Information: Building Cost \$ 10,500

Wesley Blount Telephone 910-263-1399
Building Contractor's Company Name
50 N. Isabella St Coats, NC 27521 Email Address wblount@coatsnc.org
Address
[Signature] License # 21481931
Signature of Owner/Contractor/Officer(s) of Corporation

Electrical Contractor Information: Electrical Cost \$ _____

Description of Work _____ Service Size: _____ Amps #T-Poles _____
Electrical Contractor's Company Name _____ Telephone _____
Address _____ Email Address _____
Signature of Owner/Contractor/Officer(s) of Corporation _____ License # _____

Mechanical Contractor Information: Mechanical Cost \$ _____

Description of Work _____ # Units _____
Mechanical Contractor's Company Name _____ Telephone _____
Address _____ Email Address _____
Signature of Owner/Contractor/Officer(s) of Corporation _____ License # _____

Plumbing Contractor Information: Plumbing Cost \$ _____

Description of Work _____ # Baths _____
Plumbing Contractor's Company Name _____ Telephone _____
Address _____ Email Address _____
Signature of Owner/Contractor/Officer(s) of Corporation _____ License # _____

Insulation Contractor Information

Insulation Contractor's Company Name & Address _____ Telephone _____

*NOTE: General Contractor must fill out and sign the second page of this application



Sprinkler Contractor Information

Sprinkler Contractor's Company Name _____ Telephone _____
Address _____ Email Address _____
Signature of Officer(s) of Corporation _____ License # _____

Fire Alarm Contractor Information

Fire Alarm Contractor's Company Name _____ Telephone _____
Address _____ Email Address _____
Signature of Officer(s) of Corporation _____ License # _____

Driveway Access - NC Department of Transportation Driveway Access/Permit? Yes No

I hereby certify that I have the authority to make necessary application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes, and the Harnett County Zoning Ordinance. I state the information on the above contractors is correct as known to me and if **any** changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of any and all changes.

Expired Permit Fees - 6 months to 2 years permit re-issue fee is \$150.00. After 2 years re-issue fee is charged at full price per current fee schedule.

Signature of Owner/Contractor/Officer(s) of Corporation _____ Date 7/17/2024

Affidavit for Worker's Compensation N.C.G.S. 87-14

The undersigned applicant being the:

General Contractor Owner Officer/Agent of the Contractor or Owner

Do hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:

Has three (3) or more employees and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) who has their own policy of workers' compensation insurance covering themselves.

Has no more than two (2) employees and no subcontractors.

While working on the project for which this permit is sought it is understood that the Central Permitting Department issuing the permit may require certificates of coverage of worker's compensation insurance prior to issuance of the permit and at any time during the permitted work from any person, firm or corporation carrying out the work.

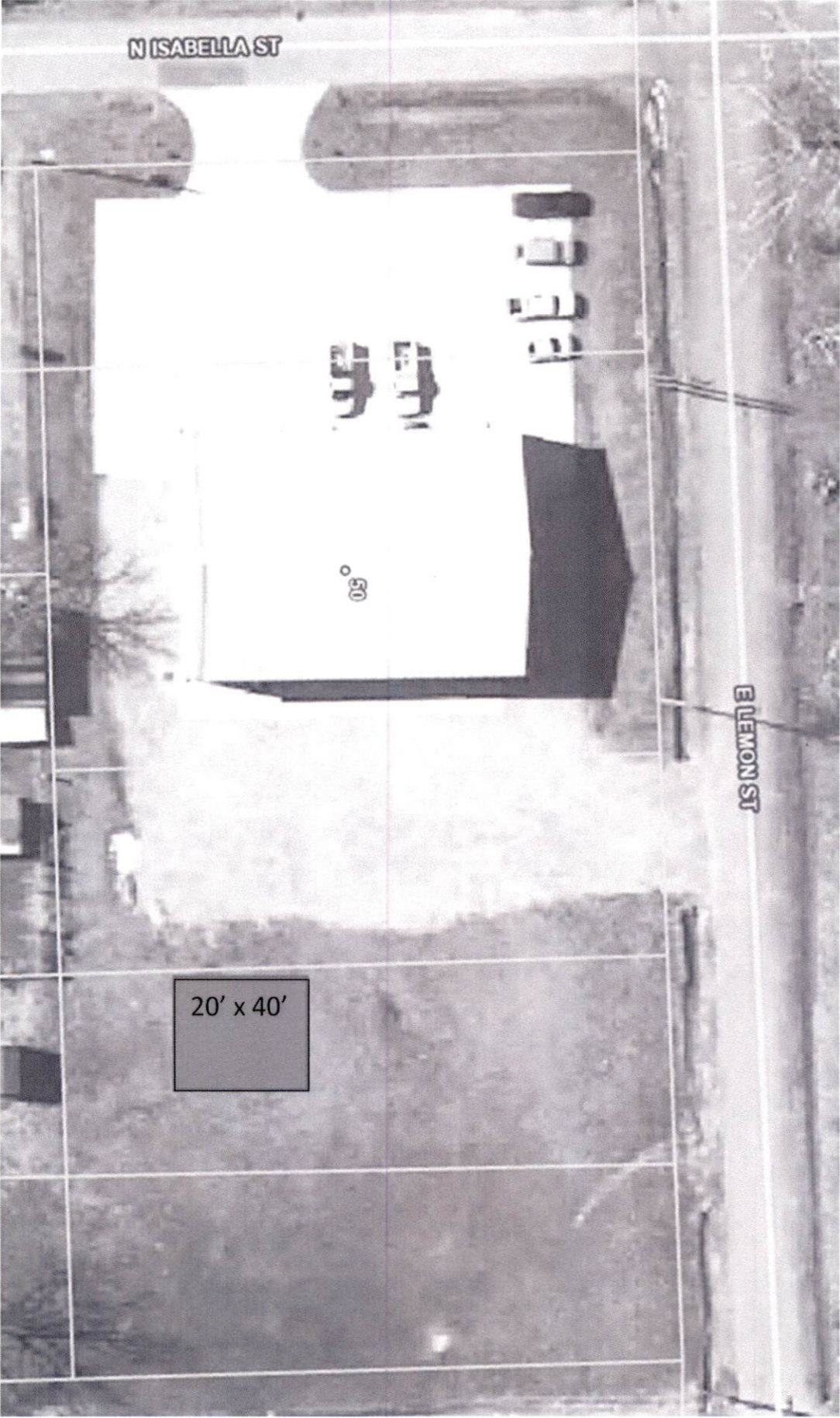
Sign w/Title: _____ Date: 7/17/2024

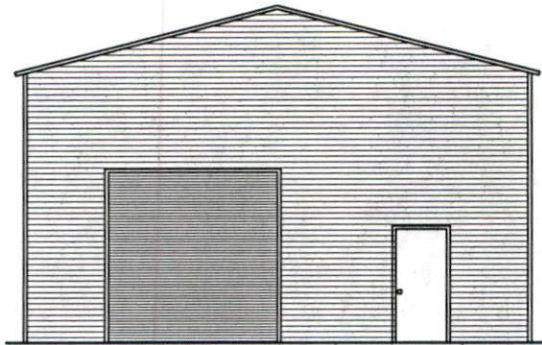
N ISABELLA ST

E LEMON ST

30

20' x 40'





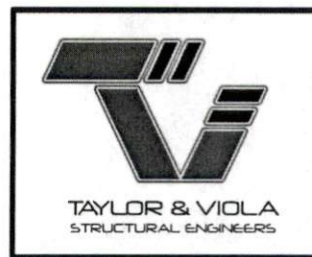
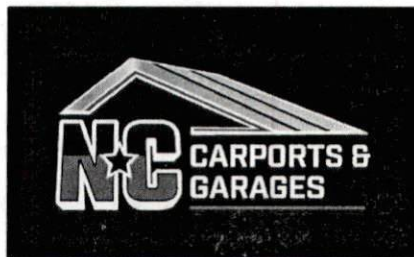
ENCLOSED GABLE END BUILDING

MAXIMUM 30'-0" WIDE X 16'-0" EAVE HEIGHT WITH BOX FRAME / (UP TO) 145 M.P.H. WIND ZONE - 35 P.S.F. SNOW LOAD

FOR:

NC CARPORTS & GARAGE
116 EAST MARKET STREET
ELKIN, NORTH CAROLINA
TELE: 336-368-0668

ISSUE DATE: 01.23.24

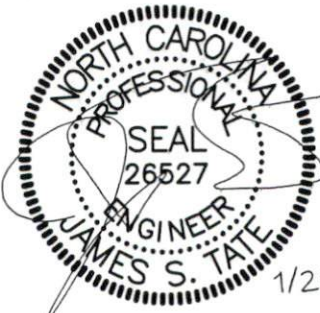


JCMT Associates, PLLC

211 Stone Drive / Pilot Mountain, NC 27041
336-399-6277

Town of Coats

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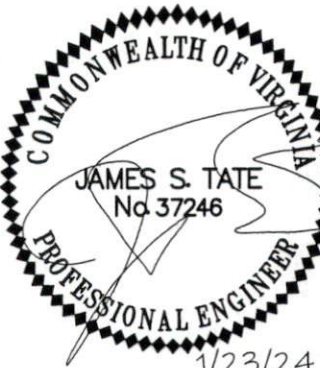
1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2018 NC BUILDING CODE (2015 IBC)



1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2021 SC BUILDING CODE (2021 IBC)



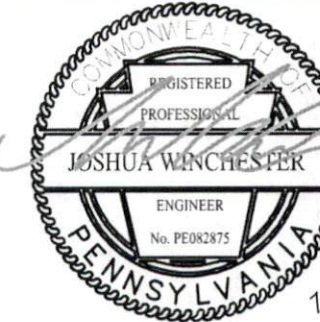
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1/23/24

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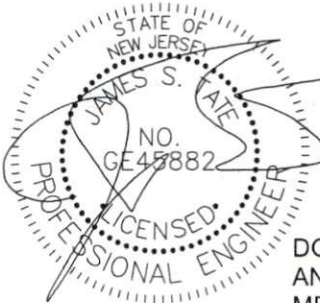
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DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2018 IBC



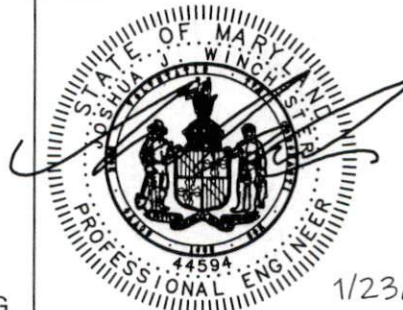
1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2020 BUILDING CODE OF NEW YORK STATE (2018 IBC)



1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE 20210 BUILDING CODENEW JERSEY EDITION (2021 IBC)



1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2018 IBC

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TELE: 336-368-0668

DRAWN BY:
BKS

PROJECT NO:
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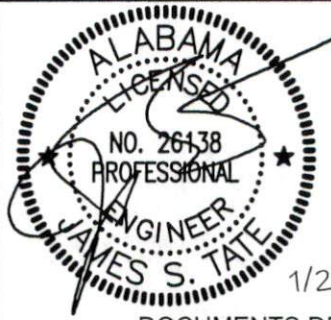
SHEET NO:
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1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2018 IBC



1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2021 BUILDING CODE OF ALABAMA (2021 IBC)



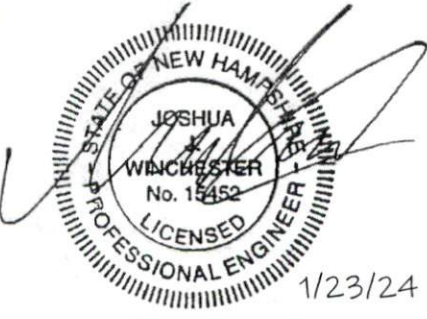
1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2018 IBC



1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE NINTH EDITION OF THE MA STATE BUILDING CODE



1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2018 IBC



1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2017 IBC



1/23/24

DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2018 KENTUCKY BUILDING CODE (2015 IBC)

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SHEET NO:
S1

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SHEET INDEX

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S1A	P.E. SEALS SHEET
S2	DRAWING INDEX
S3	GENERAL NOTES AND SPECIFICATIONS
S4	SIDE AND END ELEVATIONS
S5	TYPICAL RAFTER / COLUMN FRAME SECTIONS
S5A	TYPICAL RAFTER / COLUMN FRAME SECTIONS
S5B	TYPICAL RAFTER / COLUMN FRAME AND SIDE FRAMING SECTION
S6	COLUMN CONNECTION DETAILS (LACED COLUMN)
S6A	COLUMN CONNECTION DETAILS (DOUBLE AND SINGLE COLUMN)
S6B	COLUMN CONNECTION DETAILS (LACED COLUMN)
S6C	COLUMN CONNECTION DETAILS (DOUBLE AND SINGLE COLUMN)
S7	BASE RAIL ANCHORAGE
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S7B	BASE RAIL ANCHORAGE
S7C	BASE RAIL ANCHORAGE
S7D	BASE RAIL ANCHORAGE
S7E	BASE RAIL ANCHORAGE
S7F	BASE RAIL ANCHORAGE
S7G	BASE RAIL ANCHORAGE
S8	BASE RAIL ANCHORAGE
S8A	BASE RAIL ANCHORAGE
S9	TYPICAL END WALL OPENINGS FRAMING SECTIONS
S9A	TYPICAL SIDE WALL OPENINGS FRAMING SECTIONS
S10	CONNECTION DETAILS
S11	CONNECTION DETAILS
S12	CONNECTION DETAILS
S13	CONNECTION DETAILS
S14	CONNECTION DETAILS
S15	LEAN-TO OPTIONS
S15A	LEAN-TO CONNECTION DETAILS
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S16	VERTICAL ROOF / SIDING OPTION END AND SIDE ELEVATION
S16A	VERTICAL ROOF / SIDING OPTION END SECTION
S16B	VERTICAL ROOF / SIDING OPTION SIDE SECTION
S17	SIDE WALL HEADER OPTIONS
S17A	END WALL HEADER OPTIONS


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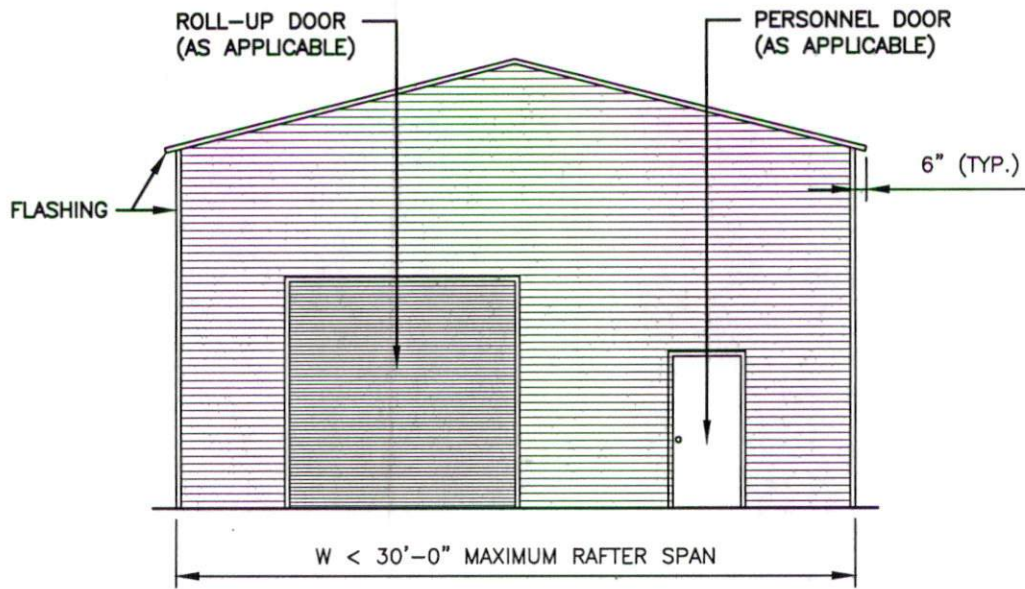
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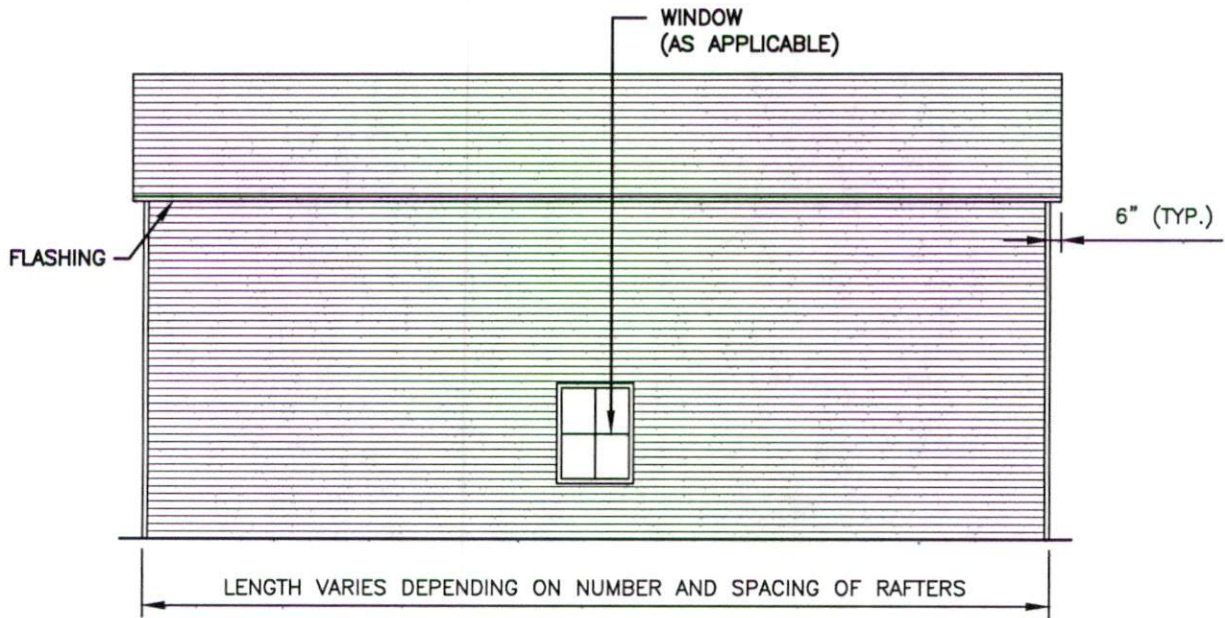
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S2

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

BOX EVE FRAME RAFTER STURCTURE



TYPICAL END ELEVATION



TYPICAL SIDE ELEVATION


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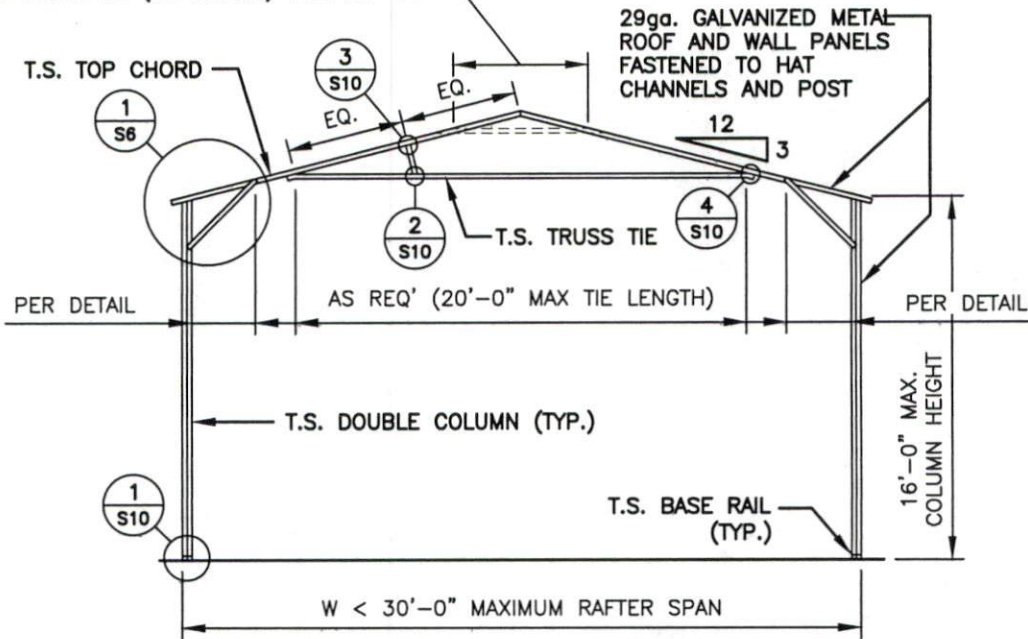
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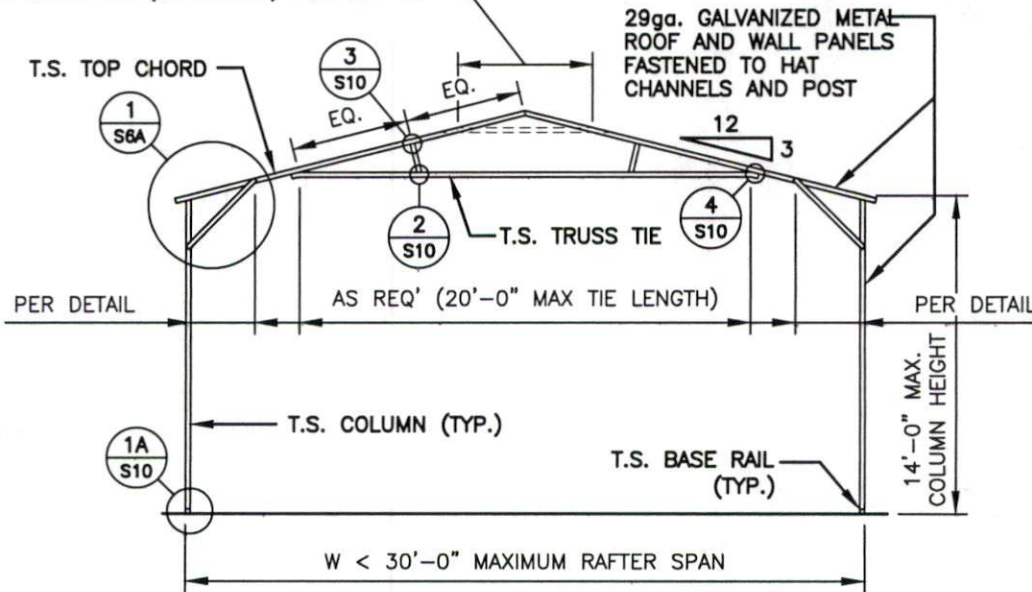
'U' BRACE TRUSS TIE - NOTE:
 6'-0" BRACE FOR 21'-24' BUILDING WIDTH
 20' TUBE TRUSS TIE (AS SHOWN) FOR 25'-30'



TYPICAL RAFTER / COLUMN FRAME SECTION

'U' BRACE TRUSS TIE - NOTE:
 6'-0" BRACE FOR 21'-24' BUILDING WIDTH
 20' TUBE TRUSS TIE (AS SHOWN) FOR 25'-30'

NOTE:
 H.S.S. 2-1/2"x2-1/2"x14ga. OR 2-1/4"x2-1/4"x14ga.
 MATERIAL MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

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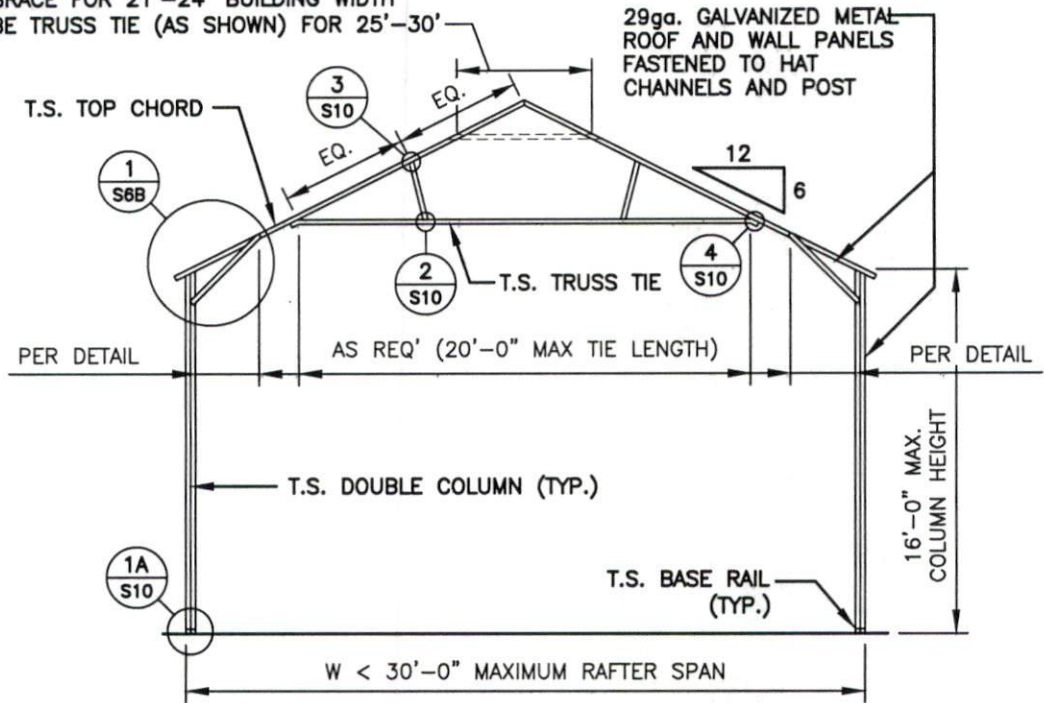
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 MISC

DATE:
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SHEET NO:
S5

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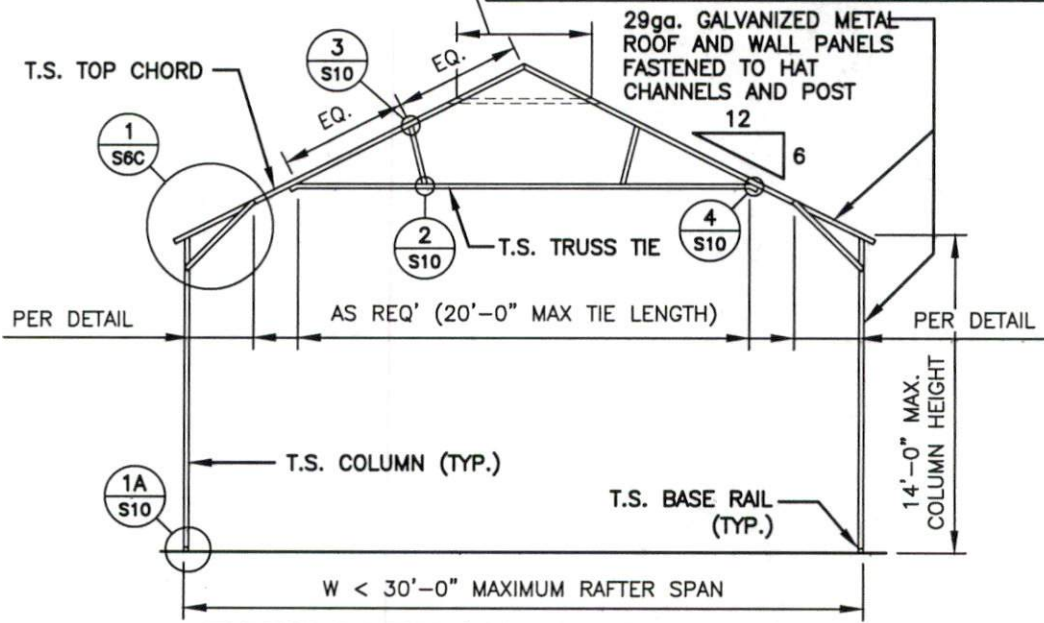
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NOTE:
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 MATERIAL MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

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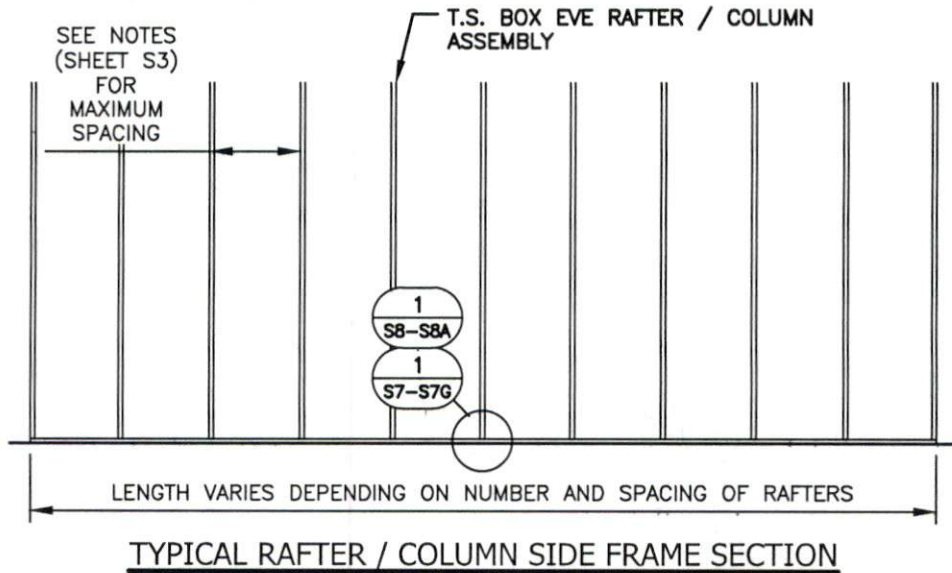
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 TELE: 336-368-0668

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DATE: 01.23.24	SHEET NO: S5A

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NOTE:
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 MAY BE USED FOR TRUSS METAL



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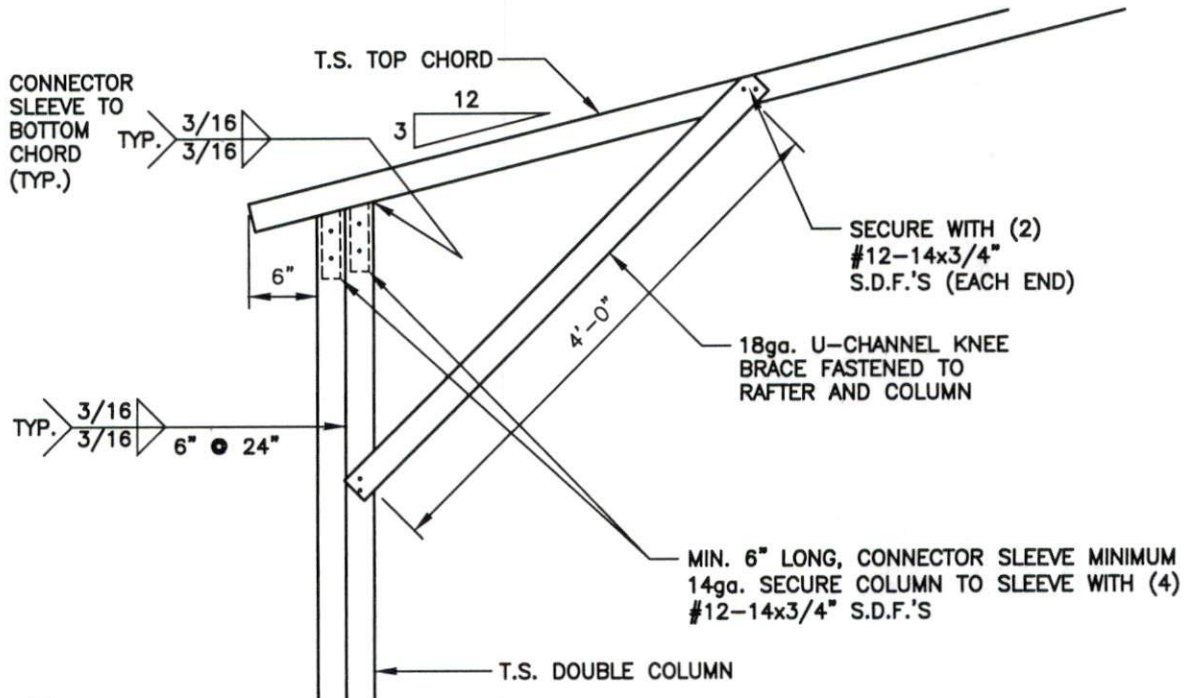
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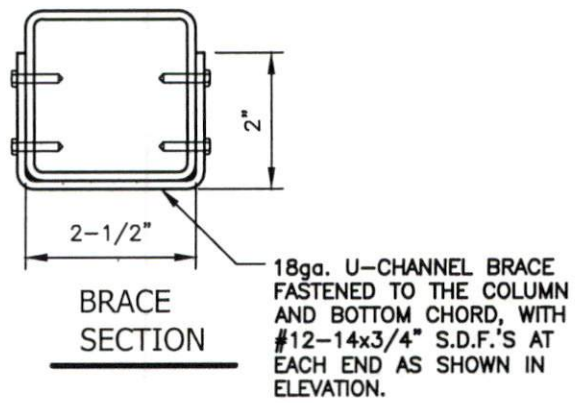
DATE:
 01.23.24

SHEET NO:
S58

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1 BOX EAVE / CORNER POST CONNECTION DETAIL FOR HEIGHT.S. 14'-1" < TO
 S6 SCALE: 1/8" = 1'-0"

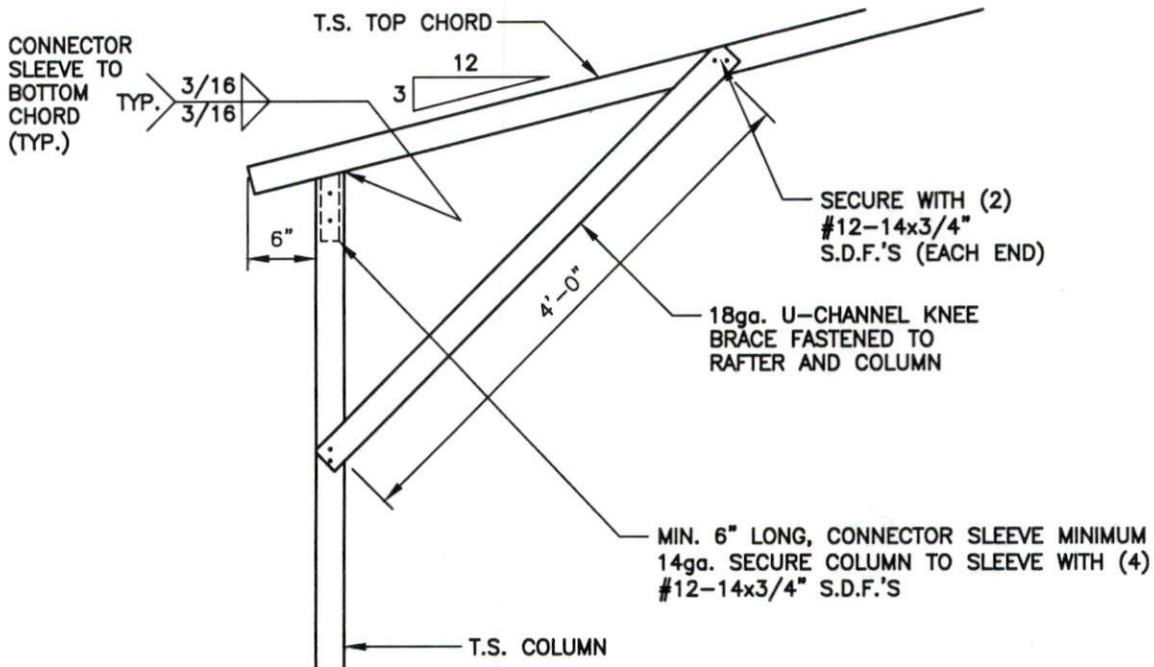


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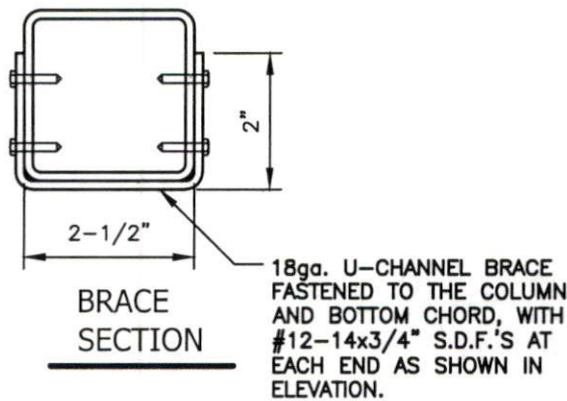
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1 BOX EAVE / CORNER POST CONNECTION DETAIL FOR HEIGHT.S. < 14'-0"

S6A

SCALE: 3/4" = 1'-0"



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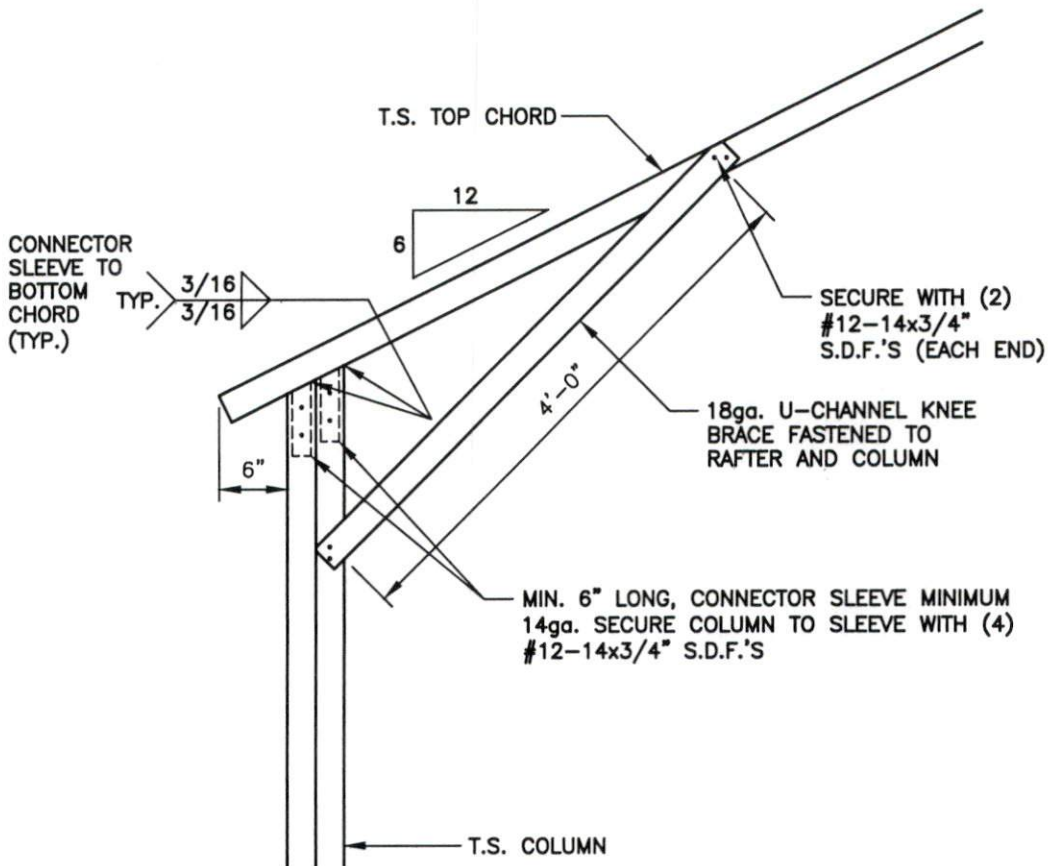
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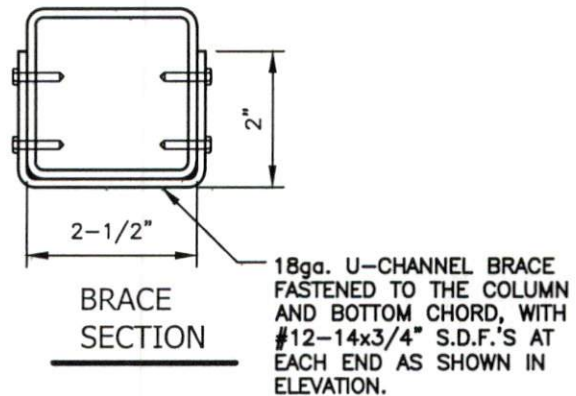
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1 BOX EAVE / CORNER POST CONNECTION DETAIL FOR HEIGHT.S. 14'-1" < TO
 S6C SCALE: 1/16" = 1'-0"

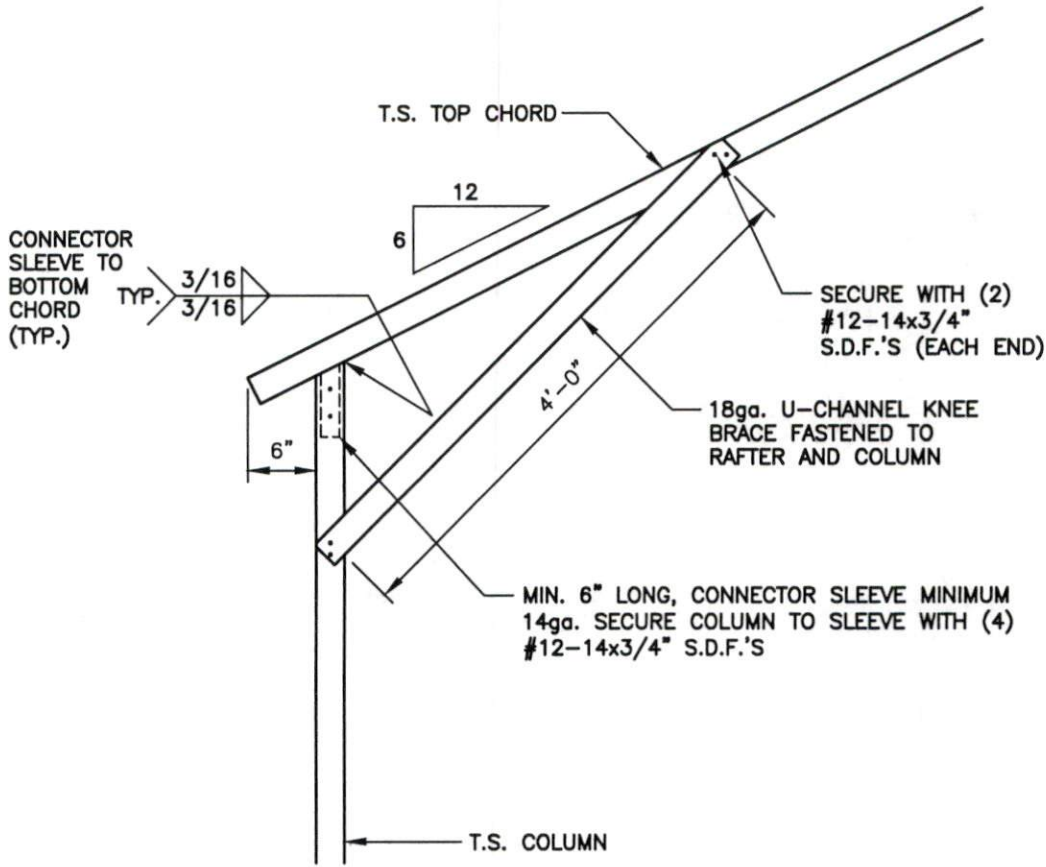


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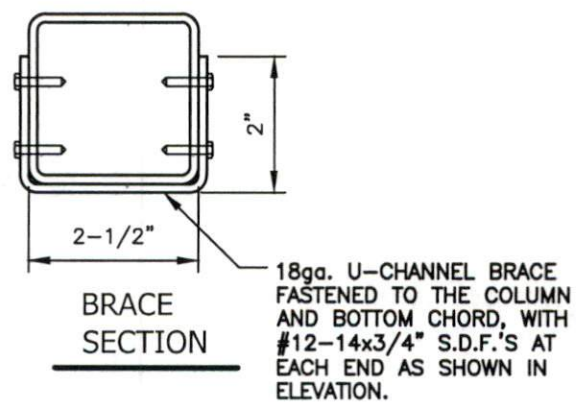
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1 BOX EAVE / CORNER POST CONNECTION DETAIL FOR HEIGHT.S. < 14'-0"
 S6C SCALE: 3/4" = 1'-0"



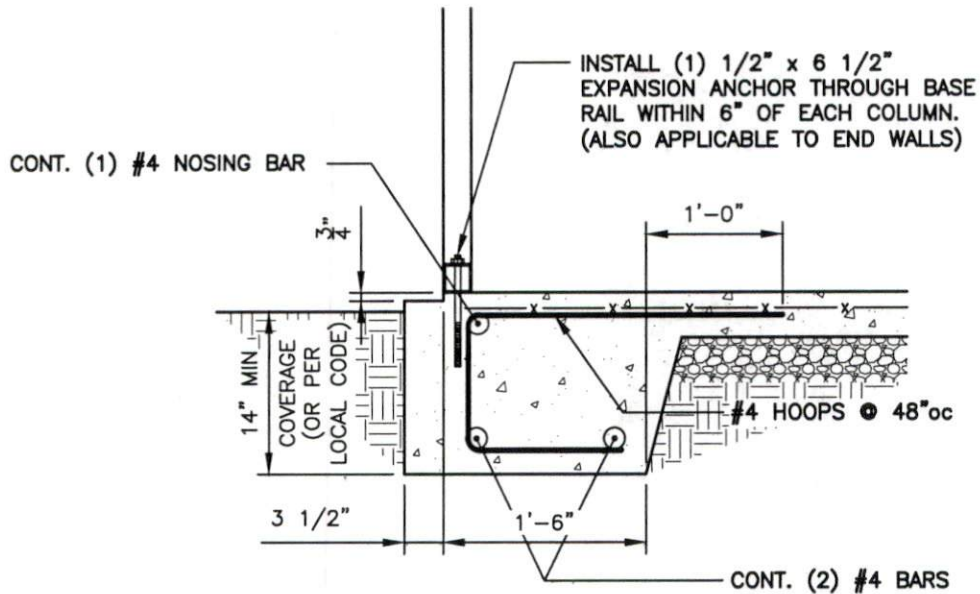
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CONCRETE BASE RAIL ANCHORAGE



1
S7

BASE RAIL ANCHORAGE DETAIL
 SCALE: 3/4" = 1'-0"

GENERAL NOTES:

ALL CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE
EARTH OR EXPOSED TO THE EARTH AND WEATHER AND 1-1/2" ELSEWHERE.

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT
SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAT BE BENT IN THE SHOP OF THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT
LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

TAYLOR & VIOLA
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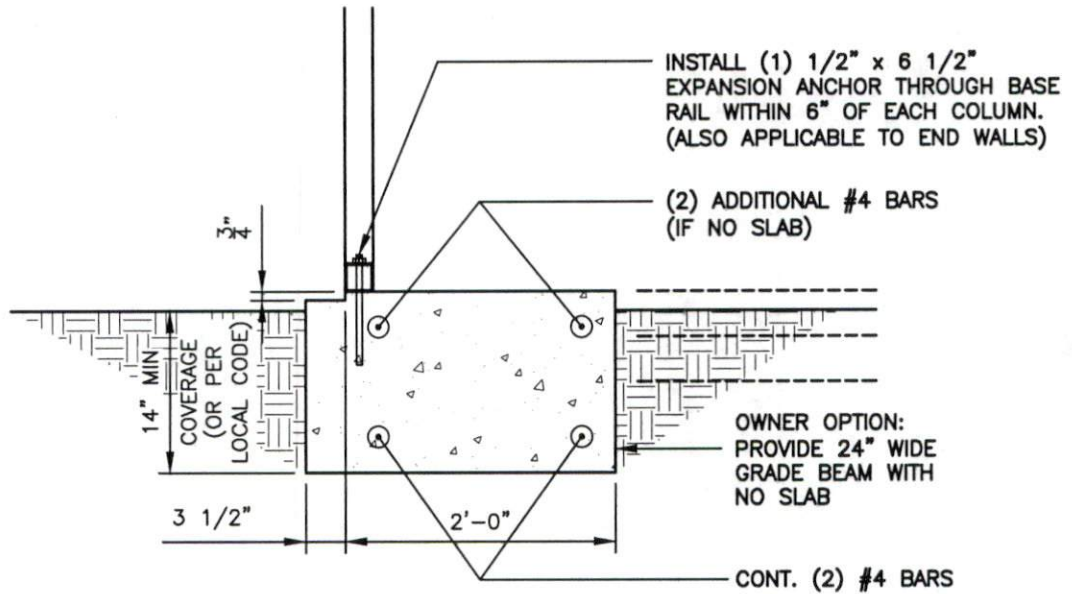
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CONCRETE BASE RAIL ANCHORAGE (NO SLAB)



1
S7A
BASE RAIL ANCHORAGE DETAIL
 SCALE: 3/4" = 1'-0"

GENERAL NOTES:

ALL CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318: 3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH AND WEATHER AND 1-1/2" ELSEWHERE.

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAT BE BENT IN THE SHOP OF THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.


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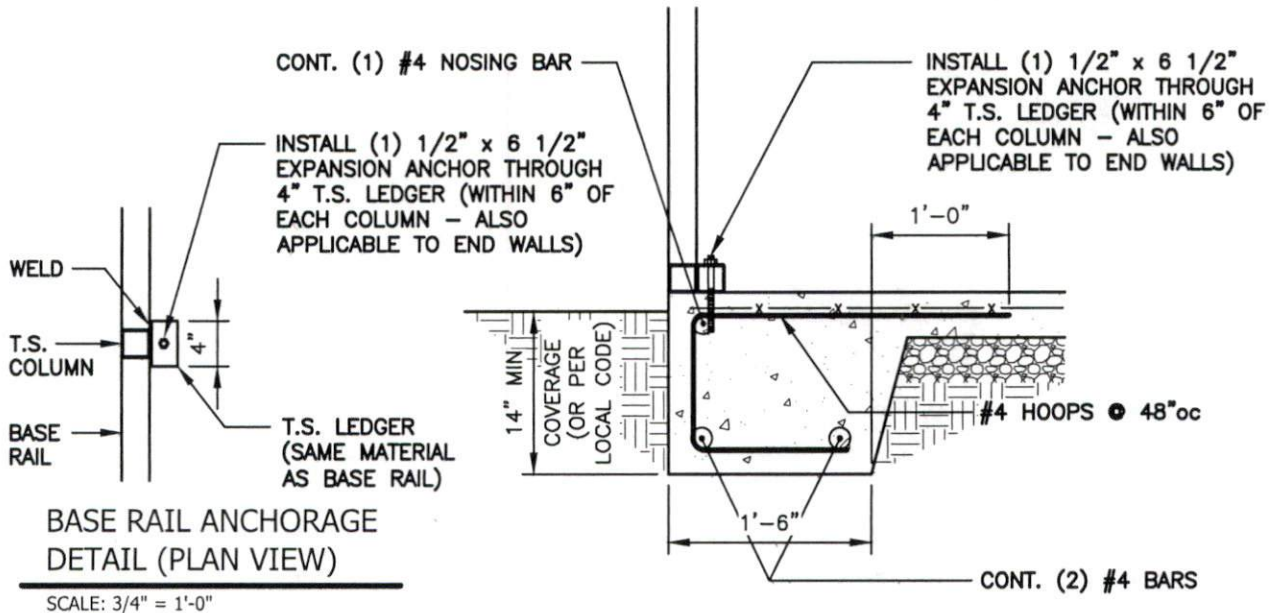
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CONCRETE BASE RAIL ANCHORAGE



1 BASE RAIL ANCHORAGE DETAIL

SCALE: 3/4" = 1'-0"

GENERAL NOTES:

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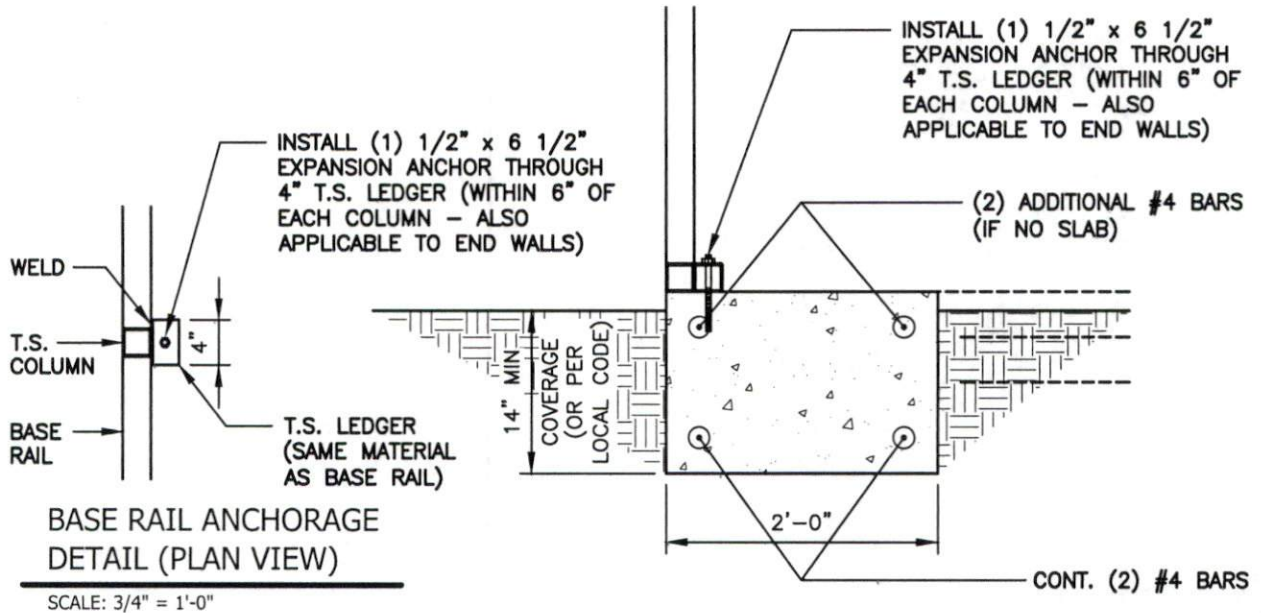
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CONCRETE BASE RAIL ANCHORAGE (NO SLAB)



1
S7C
BASE RAIL ANCHORAGE DETAIL
 SCALE: 3/4" = 1'-0"

GENERAL NOTES:

ALL CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.

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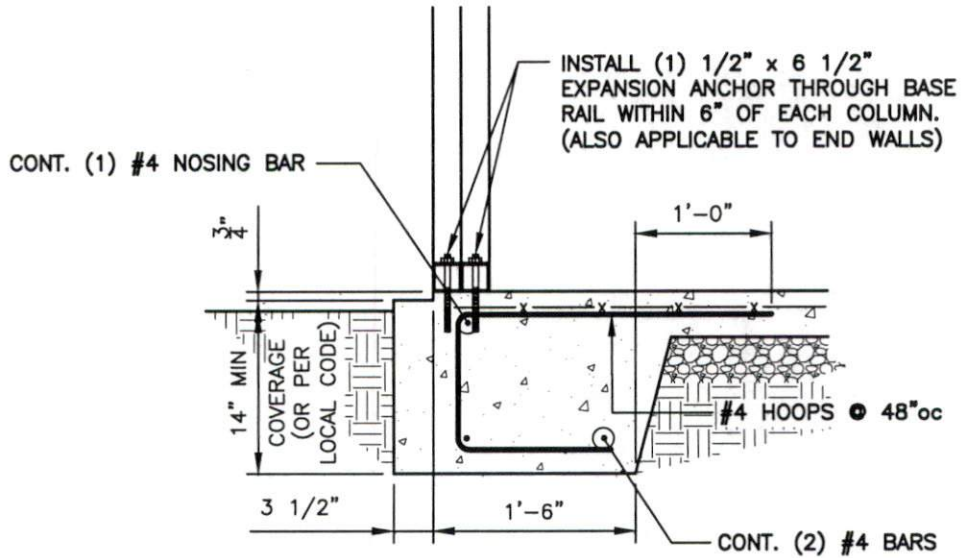
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CONCRETE BASE RAIL ANCHORAGE



BASE RAIL ANCHORAGE DETAIL

SCALE: 3/4" = 1'-0"

GENERAL NOTES:

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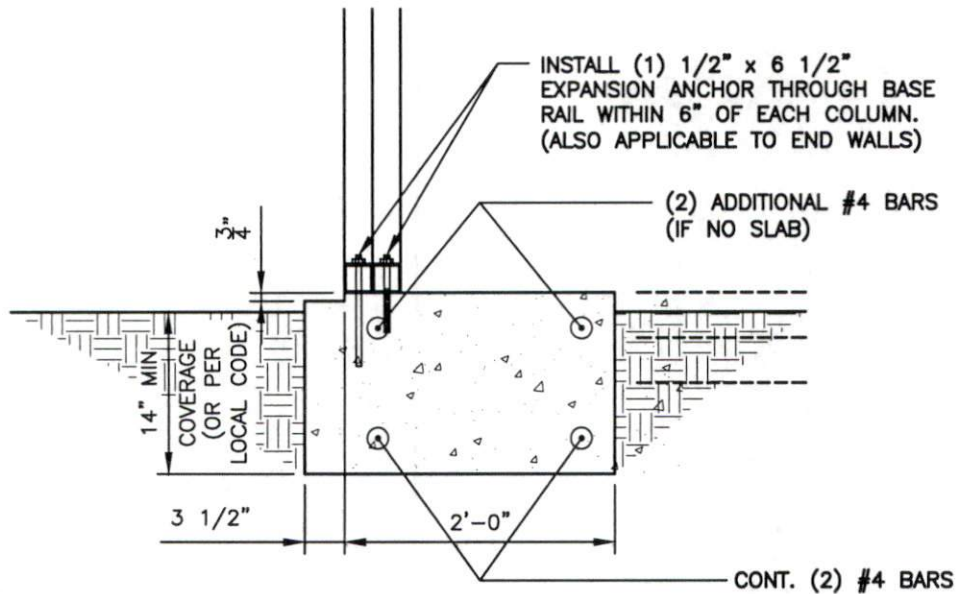
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CONCRETE BASE RAIL ANCHORAGE (NO SLAB)



1
S7E
BASE RAIL ANCHORAGE DETAIL
 SCALE: 3/4" = 1'-0"

GENERAL NOTES:

ALL CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.

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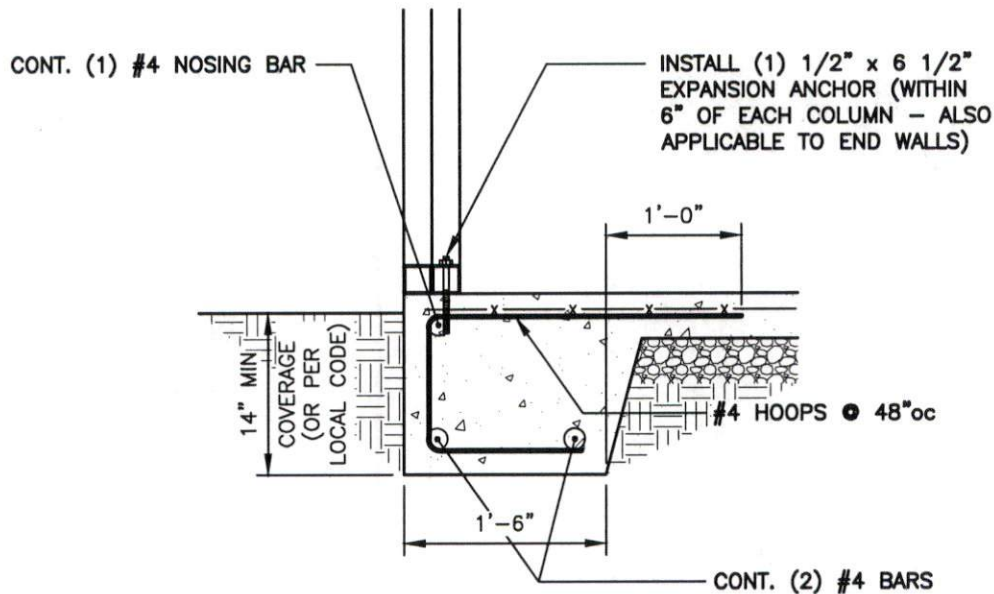
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CONCRETE BASE RAIL ANCHORAGE



BASE RAIL ANCHORAGE DETAIL

SCALE: 3/4" = 1'-0"

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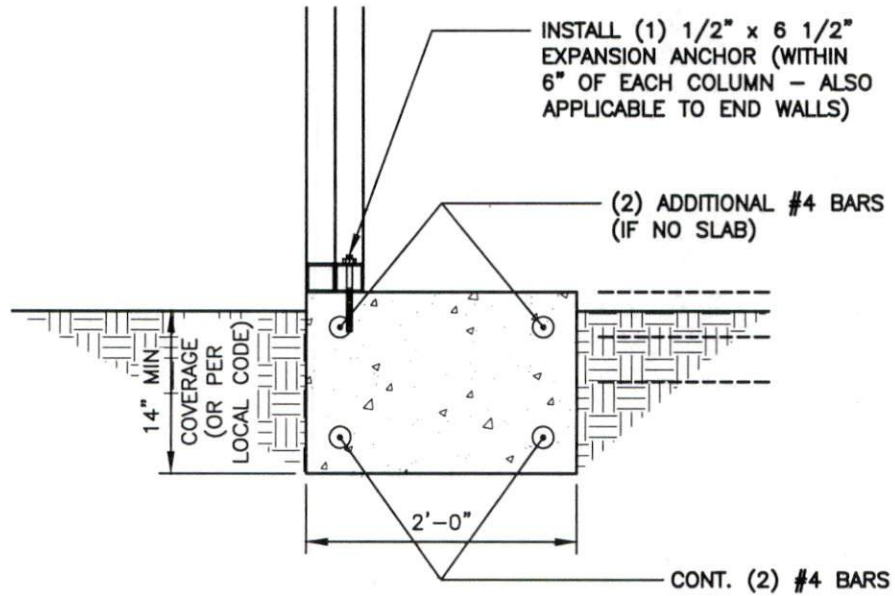
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CONCRETE BASE RAIL ANCHORAGE (NO SLAB)



1 BASE RAIL ANCHORAGE DETAIL
 S7G SCALE: 3/4" = 1'-0"

GENERAL NOTES:

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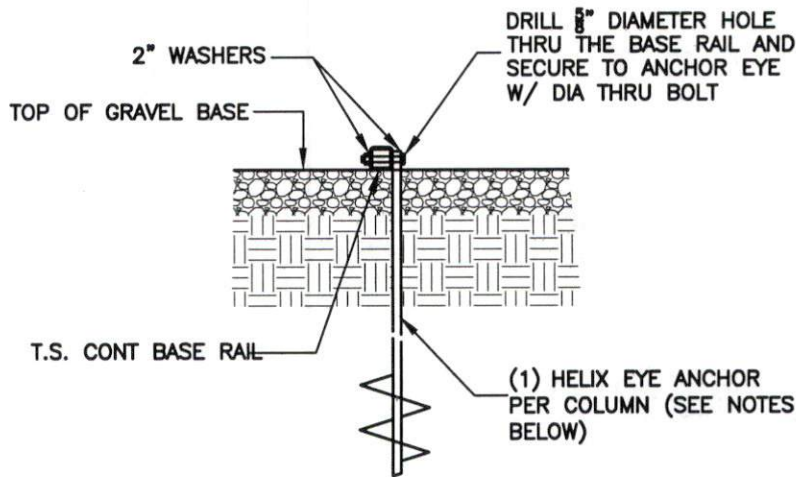
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SOIL NAIL BASE RAIL ANCHORAGE



1
S8
BASE RAIL ANCHORAGE DETAIL
 SCALE: 3/4" = 1'-0"

HELIX EMBEDMENT INFORMATION:

FOR VERY DENSE OR CEMETED SANDS, COARSE GRAVEL, COBBLES, CALICHE, PRELOADED SILT.S. AND CLAYS, USE MIN. (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH 50" EMBEDMENT - ONE EACH END BASE RAIL AND 20'-0"oc MAX. WITH #4 REBAR AT 5'-0"oc BETWEEN.

FOR CORAL, USE MIN (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH 50" EMBEDMENT - ONE EACH END BASE RAIL AND 20'-0"oc MAX. WITH #4 REBAR AT 5'-0"oc BETWEEN.

FOR MED DENSE COARSE SANDS, SANDY GRAVEL, VERY STIFF SILT.S., AND CLAYS, USE MIN (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH 50" EMBEDMENT - ONE EACH END BASE RAIL AND 20'-0"oc MAX. WITH #4 REBAR AT 5'-0"oc BETWEEN.

FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILT.S., USE MIN (2) 6" HELICES WITH MINIMUM 50" EMBEDMENT - ONE EACH END BASE RAIL AND 20'-0"oc MAX. WITH #4 REBAR AT 5'-0"oc BETWEEN.

FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILT.S. AND ALLUVIAL FILL, USE MIN (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT - ONE EACH END BASE RAIL AND 20'-0"oc MAX. WITH #4 REBAR AT 5'-0"oc BETWEEN.

NOTE:

IN ALL CASES, IF FROST DEPTH EXCEEDS STATED DEPTH, ANCHOR SHOULD EXTEND A MIN. OF 12" BELOW FROST LINE.

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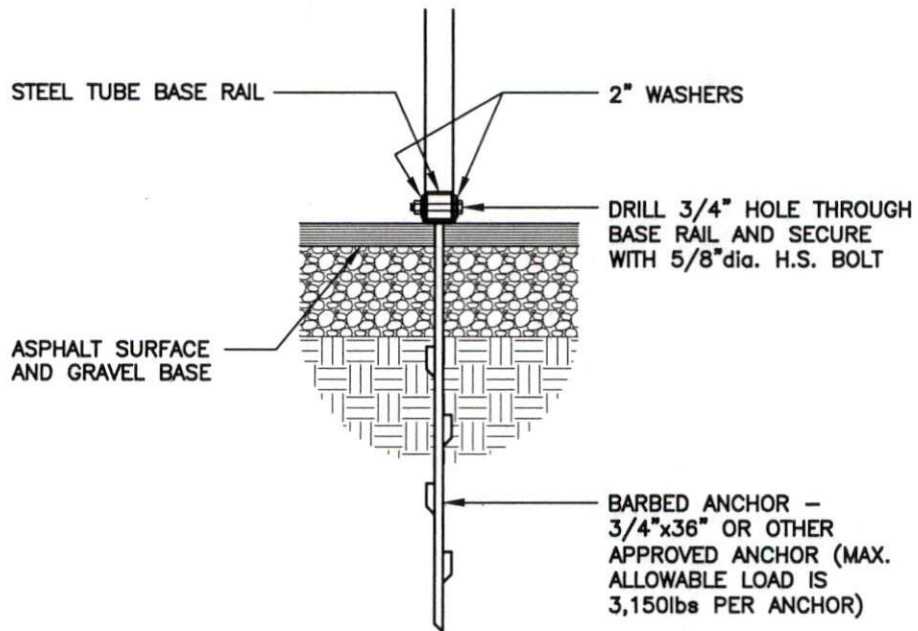
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ASPHALT ANCHOR BASE RAIL ANCHORAGE



1
SBA
 ASPHALT / BASE RAIL ANCHORAGE DETAIL
 SCALE: 3/4" = 1'-0"


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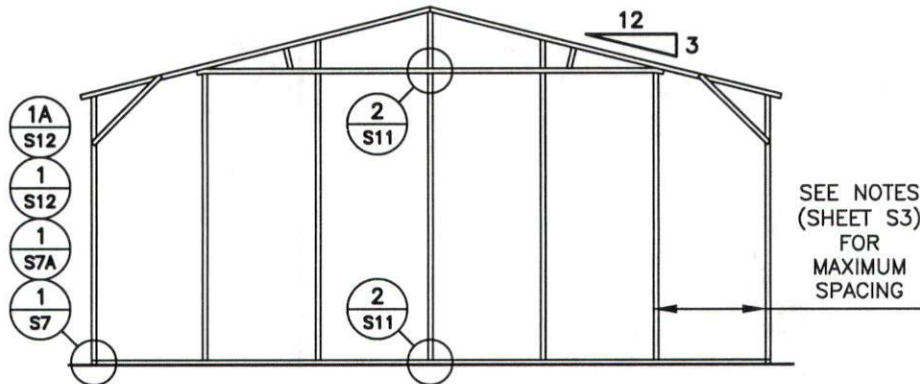
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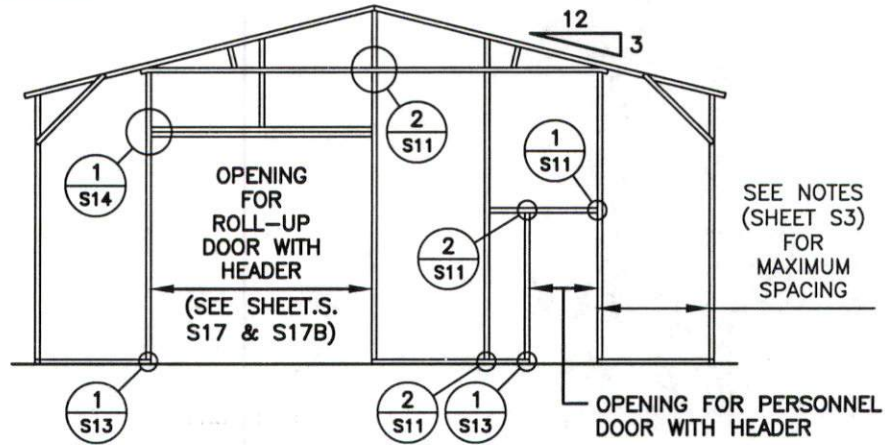
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BOX EVE RAFTER END WALL OPENINGS



TYPICAL BOX EVE RAFTER / END WALL COLUMN FRAME SECTION

NOTE:
 ROLL UP DOORS SHALL
 HAVE ONE JAMB EACH
 SIDE + ONE FRAME
 COLUMN BETWEEN OR SITE
 SPECIFIC SHALL BE REQ'D.



TYPICAL BOX EVE RAFTER END WALL OPENINGS FRAMING SECTION

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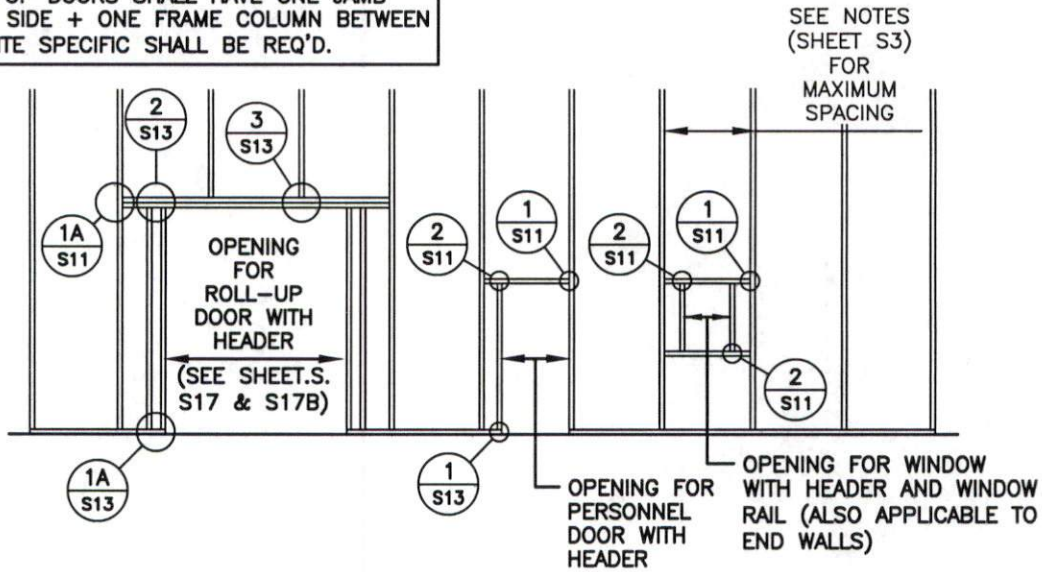
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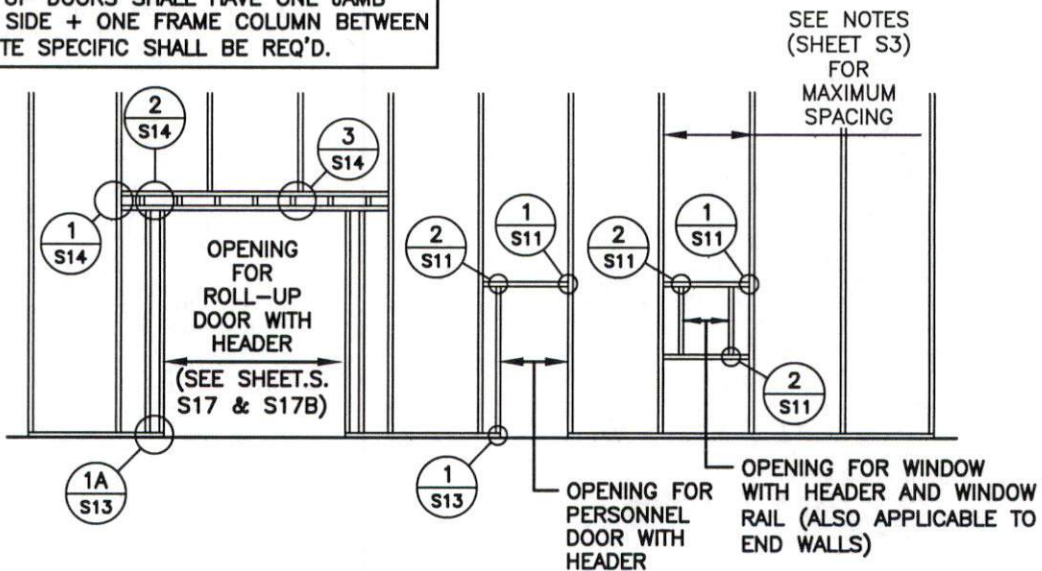
BOX EVE RAFTER END WALL AND SIDE WALL OPENINGS

NOTE:
 ROLL UP DOORS SHALL HAVE ONE JAMB
 EACH SIDE + ONE FRAME COLUMN BETWEEN
 OR SITE SPECIFIC SHALL BE REQ'D.



TYPICAL END WALL OPENING FRAMING SECTION

NOTE:
 ROLL UP DOORS SHALL HAVE ONE JAMB
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TYPICAL SIDE WALL OPENING FRAMING SECTION

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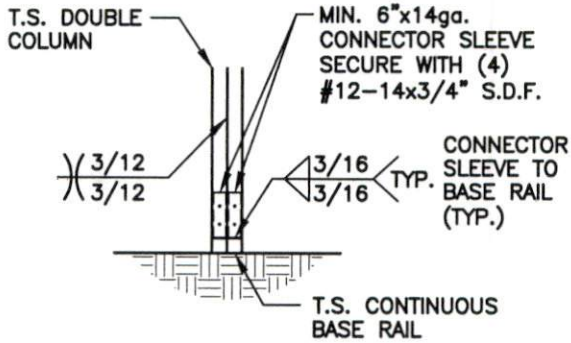
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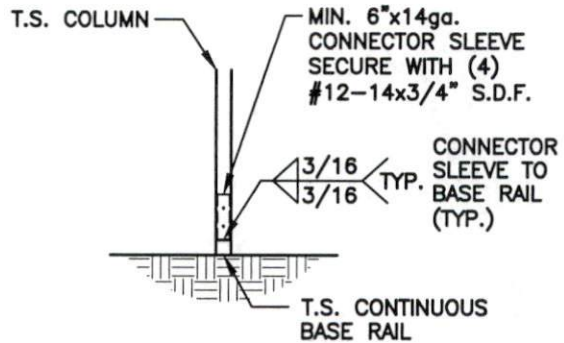
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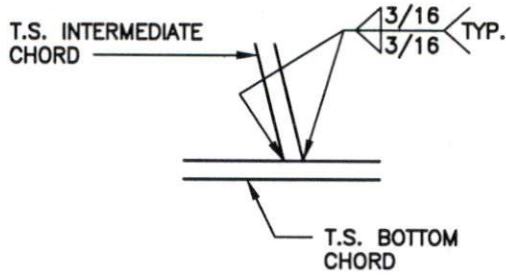
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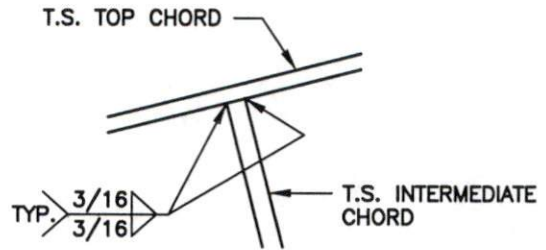
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S10 SCALE: 1/2" = 1'-0"



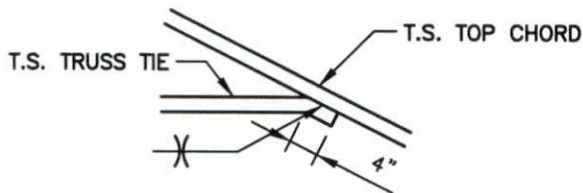
1A
S10 SCALE: 1/2" = 1'-0"



2
S10 SCALE: 1/2" = 1'-0"



3
S10 SCALE: 1/2" = 1'-0"



4
S10 SCALE: 1/2" = 1'-0"

Taylor & Viola
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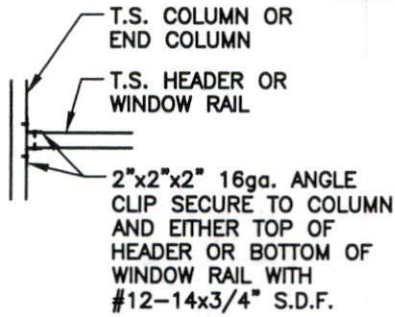
PROJECT NO:
MISC

DATE:
01.23.24

SHEET NO:
S10

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

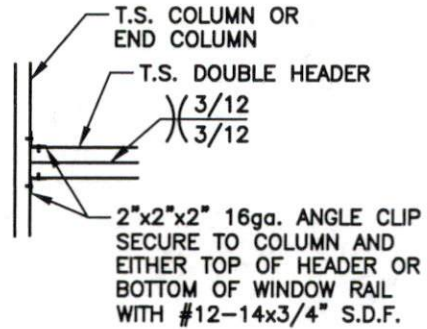
CONNECTION DETAILS



COLUMN OR WINDOW
RAIL / WALL GIRT TO POST
CONNECTION DETAIL

1
S11

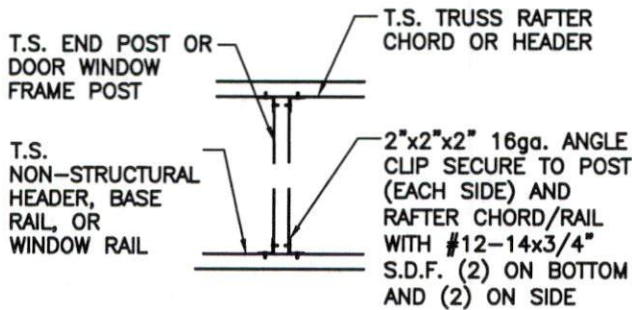
SCALE: 1/2" = 1'-0"



COLUMN / DOUBLE HEADER
CONNECTION DETAIL

1A
S11

SCALE: 1/2" = 1'-0"



DOOR OR WINDOW HEADER
RAIL TO POST CONNECTION
DETAIL

2
S11

SCALE: 1/2" = 1'-0"

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Telephone: (336) 399-6277

NC CARPORTS
& GARAGES
116 EAST MARKET STREET
ELKIN, NORTH CAROLINA 28621
TELE: 336-368-0668

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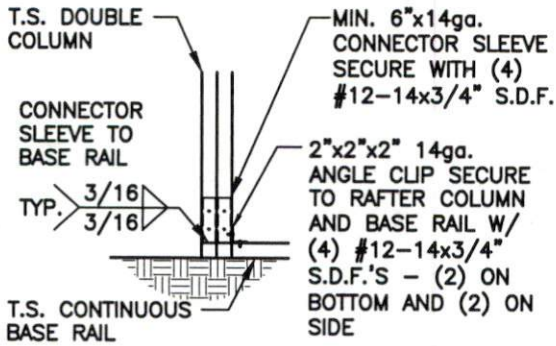
PROJECT NO:
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S11

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

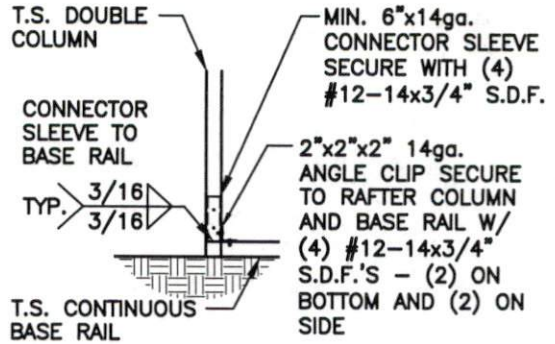
CONNECTION DETAILS



END COLUMN / BASE RAIL
CONNECTION DETAIL

1
S12

SCALE: 1/2" = 1'-0"



END COLUMN / BASE RAIL
CONNECTION DETAIL

1A
S12

SCALE: 1/2" = 1'-0"



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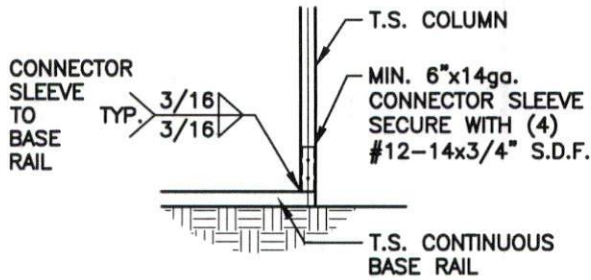
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MISC

DATE:
01.23.24

SHEET NO:
S12

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

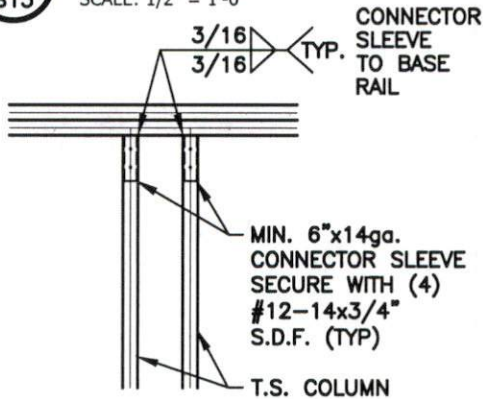
CONNECTION DETAILS



1
COLUMN / BASE RAIL CONNECTION DETAIL

S13

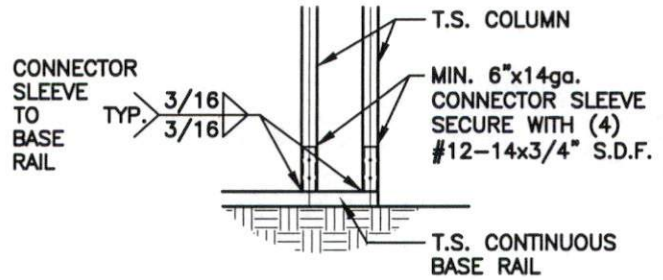
SCALE: 1/2" = 1'-0"



2
DOUBLE HEADER / COLUMN CONNECTION DETAIL

S13

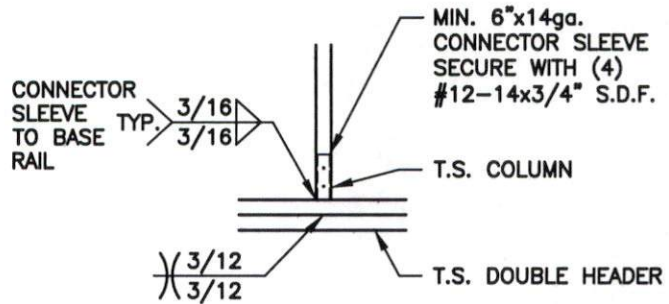
SCALE: 1/2" = 1'-0"



1A
COLUMN / BASE RAIL CONNECTION DETAIL

S13

SCALE: 1/2" = 1'-0"



3
COLUMN / DOUBLE HEADER CONNECTION DETAIL

S13

SCALE: 1/2" = 1'-0"

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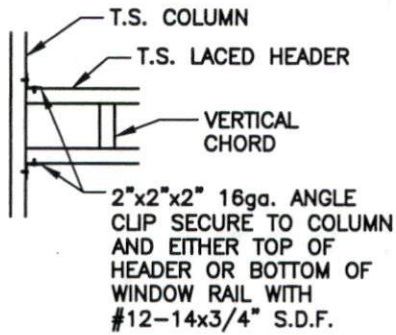
PROJECT NO:
MISC

DATE:
01.23.24

SHEET NO:
S13

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

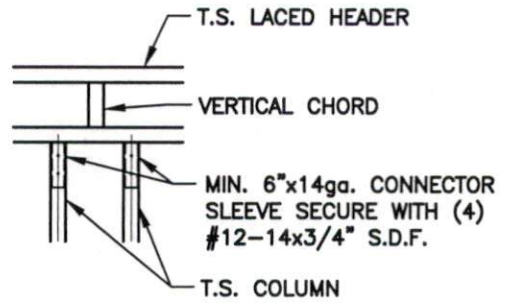
CONNECTION DETAILS



COLUMN / LACED HEADER
CONNECTION DETAIL

1
S14

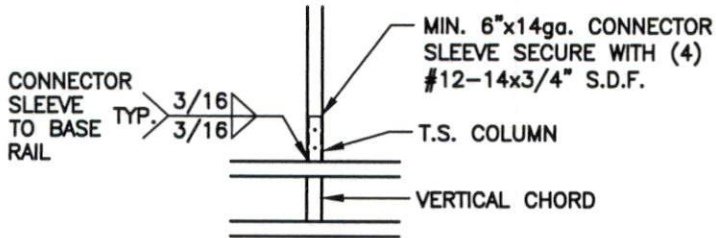
SCALE: 1/2" = 1'-0"



LACED HEADER / COLUMN
CONNECTION DETAIL

2
S14

SCALE: 1/2" = 1'-0"



COLUMN / LACED HEADER
CONNECTION DETAIL

3
S14

SCALE: 1/2" = 1'-0"

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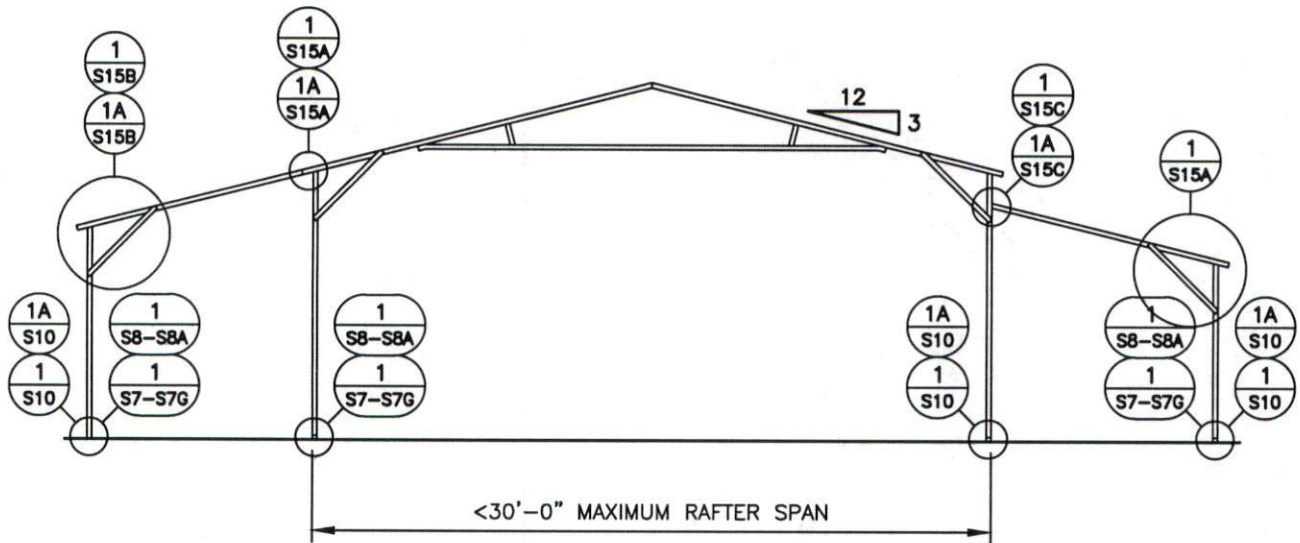
PROJECT NO:
MISC

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01.23.24

SHEET NO:
S14

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

BOX EVE RAFTER LEAN-TO OPTIONS



TYPICAL LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

MAXIMUM WIDTH OF SINGLE MEMBER ROOF EXTENSION AND LEAN-TO OPTION IS 12'-0"
 MAXIMUM WIDTH OF DOUBLE MEMBER ROOF EXTENSION AND LEAN-TO IS 15'-0"
 12'-0" MAX. LEAN-TO HEIGHT WITH SINGLE COLUMN
 16'-0" MAX. LEAN-TO HEIGHT WITH DOUBLE COLUMN



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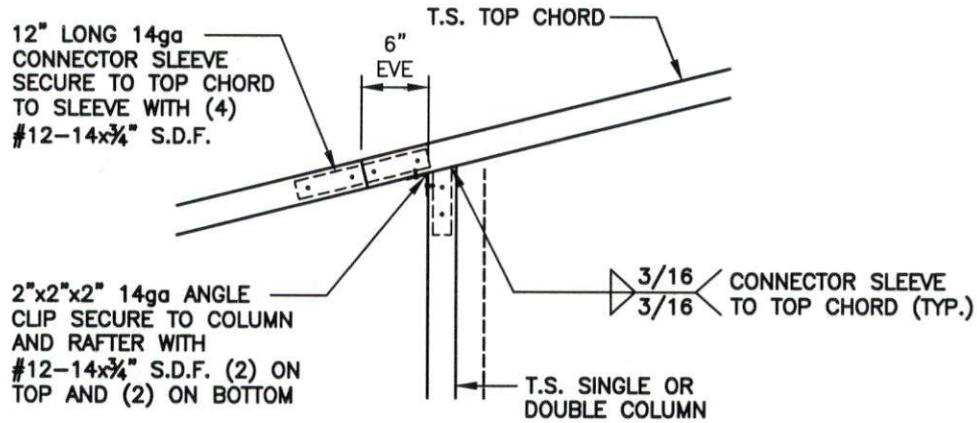
PROJECT NO:
 MISC

DATE:
 01.23.24

SHEET NO:
S15

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

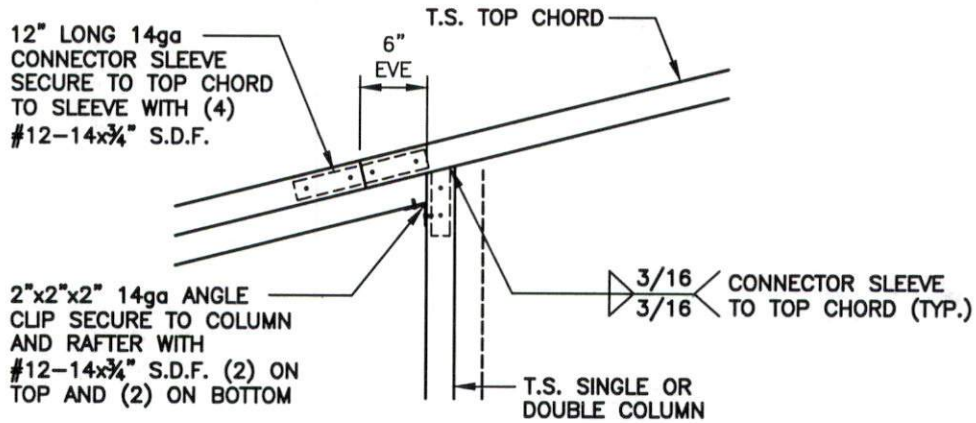
LEAN-TO CONNECTION DETAILS



ROOF EXTENSION RAFTER / CORNER POST
DETAIL FOR WIDTHS < 12'-0"

1
S15A

SCALE: 3/4" = 1'-0"



ROOF EXTENSION RAFTER / CORNER POST
DETAIL FOR WIDTHS < 15'-0"

1A
S15A

SCALE: 3/4" = 1'-0"



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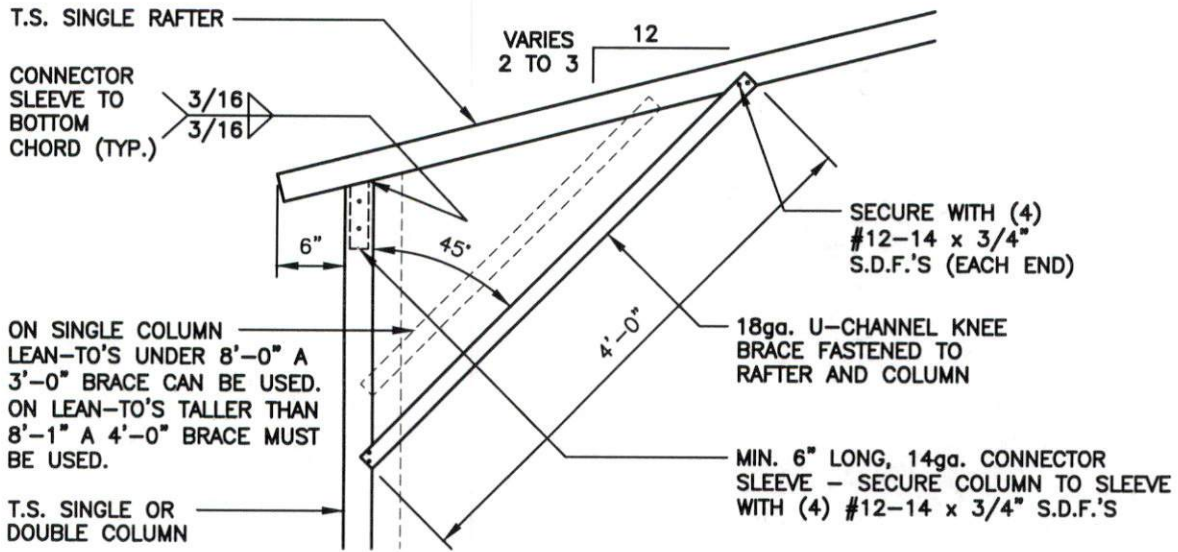
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BKS

PROJECT NO:
MISC

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01.23.24

SHEET NO:
S15A

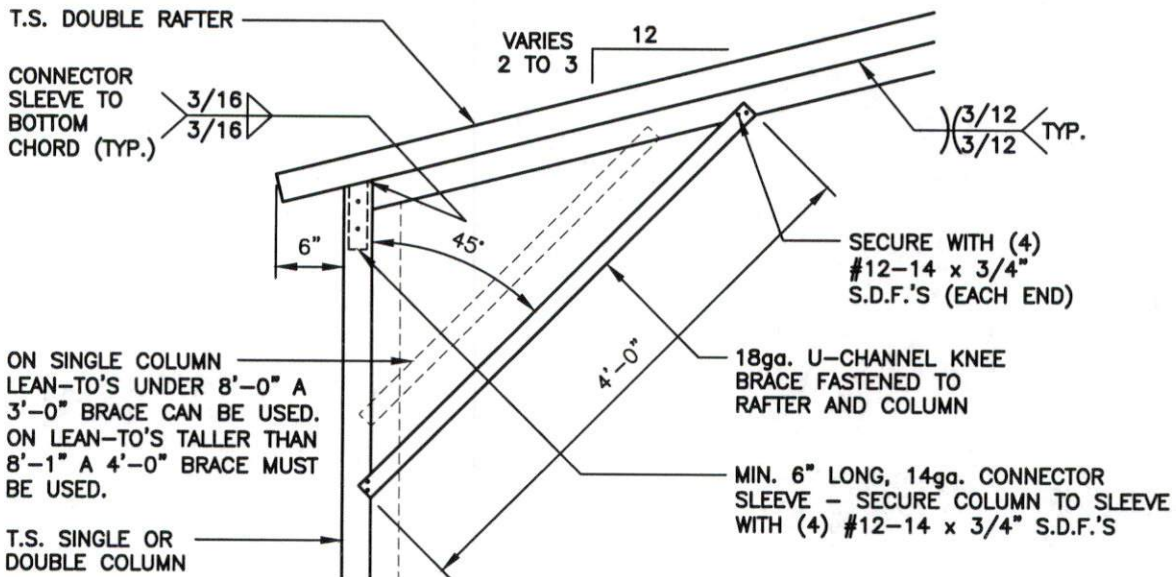
LEAN-TO CONNECTION DETAILS - SINGLE COLUMN



LEAN-TO SINGLE RAFTER / SINGLE COLUMN CONNECTION DETAIL

1
S15B

SCALE: 3/4" = 1'-0"



LEAN-TO DOUBLE RAFTER / SINGLE COLUMN CONNECTION DETAIL

1A
S15B

SCALE: 3/4" = 1'-0"

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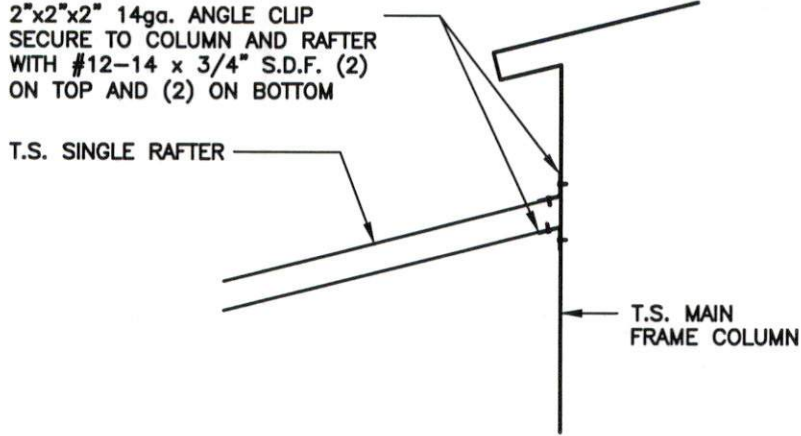
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MISC

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01.23.24

SHEET NO:
S15B

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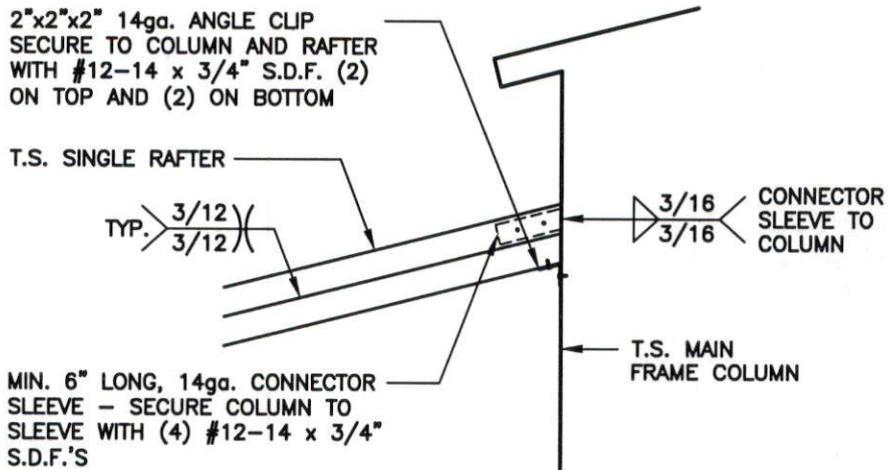
LEAN-TO / MAIN FRAME CONNECTION DETAILS



LEAN-TO SINGLE RAFTER / BUILDING FRAME
CONNECTION DETAIL

1
S15C

SCALE: 3/4" = 1'-0"



LEAN-TO DOUBLE RAFTER / BUILDING FRAME
CONNECTION DETAIL

1A
S15C

SCALE: 3/4" = 1'-0"

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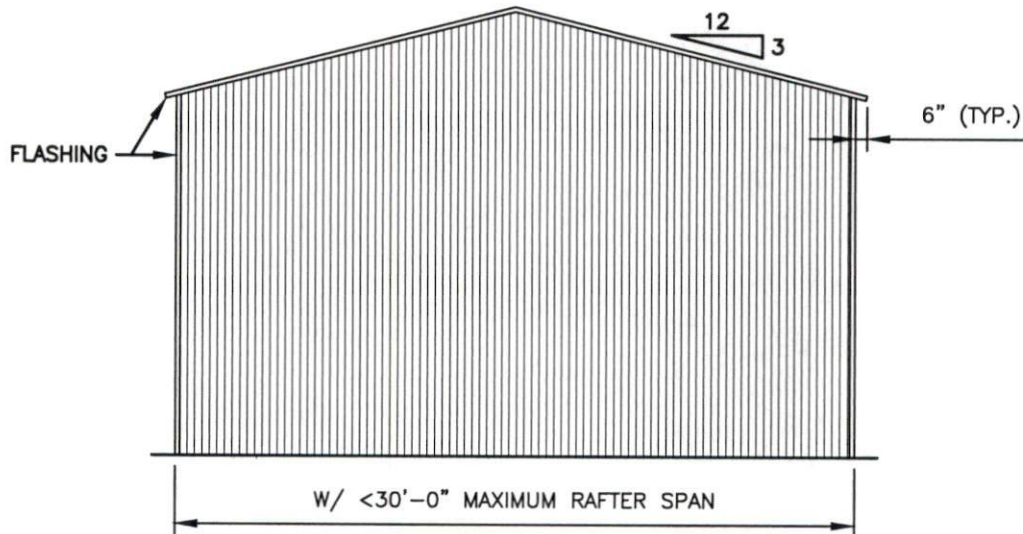
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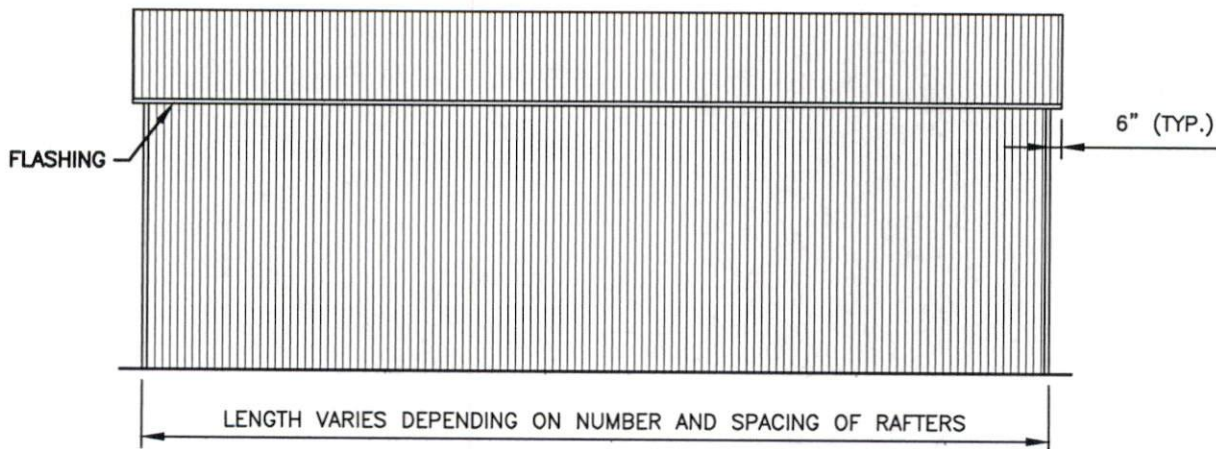
SHEET NO:
S15C

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VERTICAL ROOF / SIDING OPTION



TYPICAL END ELEVATION - VERTICAL ROOF / SIDING



TYPICAL SIDE ELEVATION - VERTICAL ROOF / SIDING



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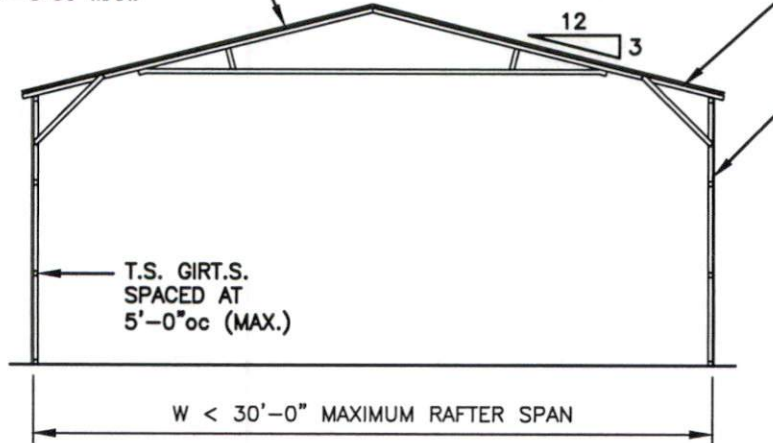
SHEET NO:
S16

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

VERTICAL ROOF / SIDING OPTION

1.125"-18ga. HAT CHANNELS
FASTENED TO EACH RAFTER
WITH (2) #12-14x $\frac{3}{4}$ " S.D.F.
SPACED AT 4'-0"oc MAX.

29ga. GALVANIZED METAL
ROOF AND WALL PANELS
FASTENED TO HAT
CHANNELS AND GIRT.S.



TYPICAL SECTION VERTICAL ROOF / SIDING OPTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.

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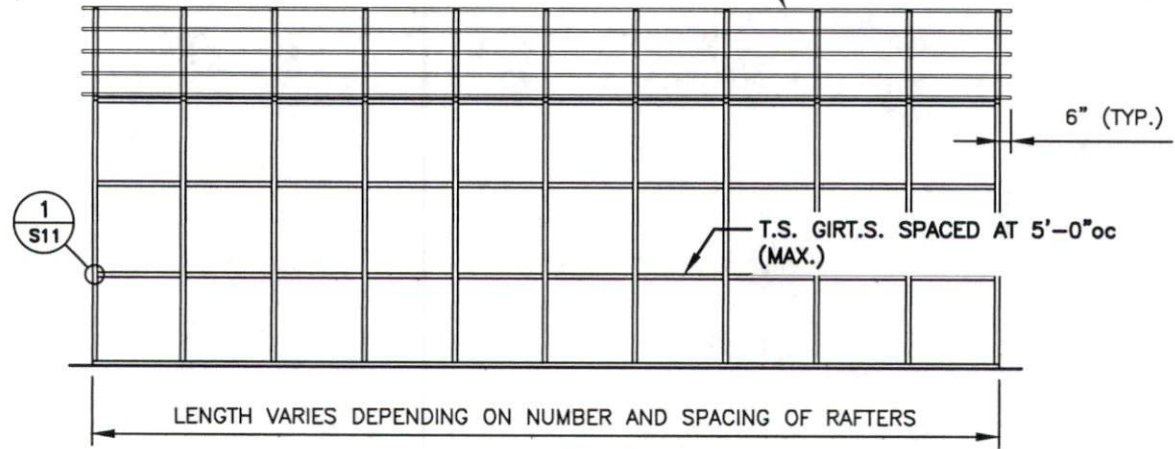
SHEET NO:
S16A

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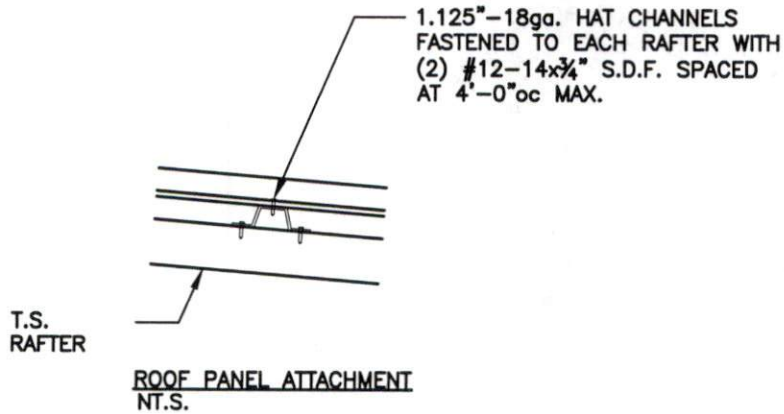
VERTICAL ROOF / SIDING OPTION

SEE NOTES
(SHEET S3)
FOR MAXIMUM
SPACING

1.125"-18ga. HAT CHANNELS
FASTENED TO EACH RAFTER
WITH (2) #12-14x $\frac{3}{4}$ " S.D.F.
SPACED AT 4'-0"oc MAX.



TYPICAL SIDE FRAMING SECTION VERTICAL ROOF / SIDING OPTION



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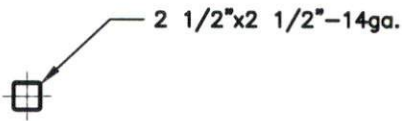
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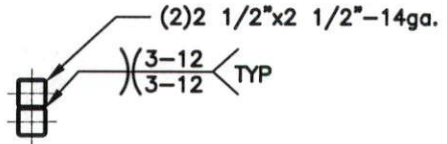
SHEET NO:
S168

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

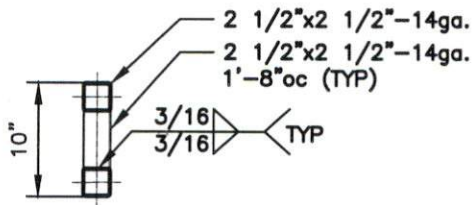
SIDE WALL HEADER OPTIONS



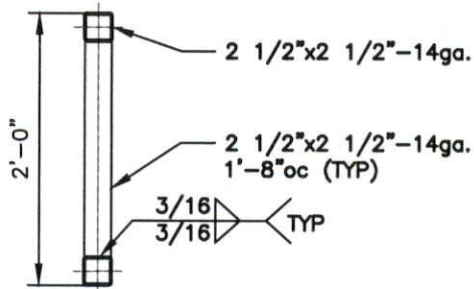
HEADER DETAIL FOR DOOR
OPENINGS < 4'-0"
 NT.S.



HEADER DETAIL FOR DOOR
OPENINGS 4'-1" < TO < 12'-0"
 NT.S.



LACED HEADER DETAIL FOR DOOR
OPENINGS 12'-1" < TO < 15'-0"
 NT.S.



LACED HEADER DETAIL FOR DOOR
OPENINGS 15'-1" < TO < 20'-0"

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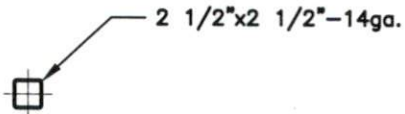
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DATE:
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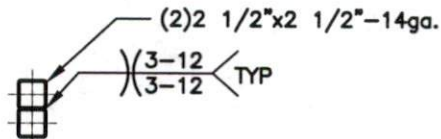
SHEET NO:
S17

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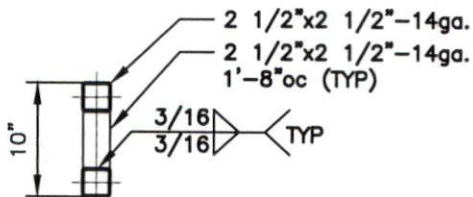
END WALL HEADER OPTIONS



HEADER DETAIL FOR DOOR
OPENINGS < 7'-0"
 NT.S.



HEADER DETAIL FOR DOOR
OPENINGS 7'-1" < TO < 16'-0"
 NT.S.



LACED HEADER DETAIL FOR DOOR
OPENINGS 16'-1" < TO < 20'-0"
 NT.S.



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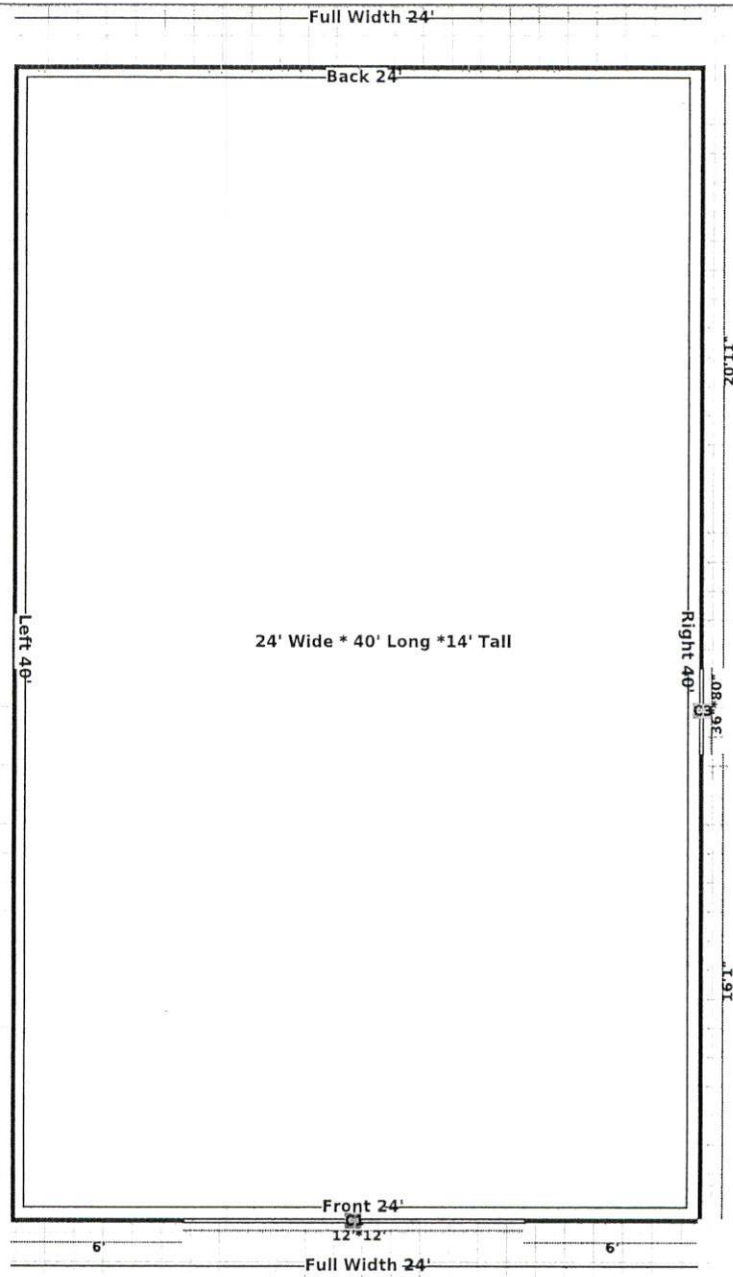
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DATE: 01.23.24	SHEET NO: S17A

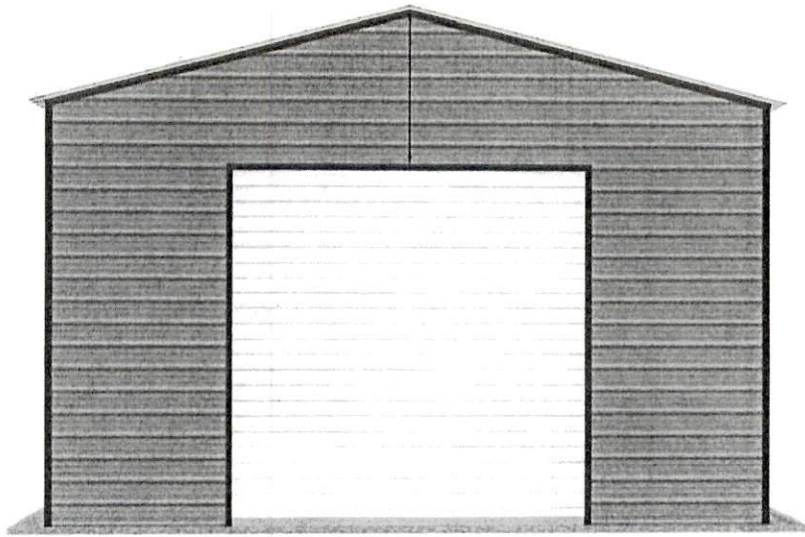
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LEGENDS

- C1 Garage Door
- C2 Garage Door Frameout
- C3 Walk in Door
- C4 Walk in Door Frameout
- C5 Windows
- C6 Windows Frameout
- C7 Open Wall
- C8 Close Wall
- C9 Distance
- C10 Storage Length (Utility)
- C Cupola

BUILDING VIEW



FRONT



TOWN OF COATS

ZONING PERMIT APPLICATION

NOTE: Attach a site plan that includes property lines (front, side, and rear), location of proposed structures (including driveways, decks, etc.), and existing structures. This plan should be drawn to scale. Also, in order to receive a Privilege License from the Town of Coats to open a business, you must have a valid Zoning Permit, along with all applicable inspections from Harnett County.

Permit No.: 6-28-24-1 Date: 6/28/24 Fee: 0

Parcel ID*: 07069016200003 Area Zoned As: Civic

50 N. Esabella St.
APPLICANT:

PROPERTY OWNER:

Name (Print) Town of Coats Name Town of Coats

Address 25 E. Marsh Address _____

City, State _____ City, State _____

Zip Code _____ Zip Code _____

Phone # 910-591-4135 Phone # _____

Location of Property: IN-TOWN ETJ ETJ (contiguous)

Present Use of Property: Public Works Facility

PROPOSED USE OF PROPERTY:

- Single Family Dwelling: # Rooms: _____ # Bedrooms: _____ Square Feet: _____
- Multi Family Dwelling: # of Units: _____ #Bedrooms (per unit): _____ Square Feet (per unit) _____
- Mobile Home (single lot): Single wide: _____ Double Wide: _____
- Mobile Home Park: Section 16, Zoning Ordinance must apply
- Business: Total # of employees per day _____ Type of business _____
- Others (specify): Town owned civic, storage of water inventory. 24'x40'
- Existing structure: Renovate: _____ Addition: _____ Demolish: _____

WATER AND SEWER SUPPLY:

Water: Private Public Proposed Existing
 Sewer: Private Public Proposed Existing

Applicant: I certify that all of the information presented in this application is true, complete, and accurate to the best of my knowledge. False information is grounds for rejection of the application.

Signature: [Signature] Date: 6/28/24

ZONING ADMINISTRATOR USE ONLY

Notes: 24' x 40' storage bldg.

APPROVED

TOWN OF COATS ZONING
VALID FOR 12 MONTHS

Approved: Denied:

Zoning Administrator: [Signature] Date: 6/28/24



Initial Application Date: 7/17/2024

Application # BCML2407.0007
DRB # _____ CU # _____

COMMERCIAL

COUNTY OF HARNETT LAND USE APPLICATION

Central Permitting (Physical) 108 E. Front Street, Lillington, NC 27546 (Mailing) PO Box 65 Lillington NC 27546 Phone: (910) 893-7525 opt # 2 Fax: (910) 893-2793 www.harnett.org/permits

LANDOWNER: Town of Coats Mailing Address: P.O. Box 675 #

City: Coats State: NC Zip: 27521 Contact # _____ Email: _____

APPLICANT*: Wesley Blount Mailing Address: _____

City: Coats State: NC Zip: 27521 Contact # 910-263-1399 Email: wblount@coatsnc.org

*Please fill out applicant information if different than landowner

CONTACT NAME APPLYING IN OFFICE: Wesley Blount Phone # 910-263-1399

Address: 227 E Wm m St. PIN: 0690.83.8803

Deed Book Page: 3498 0264

PROPOSED USE:

- Multi-Family Dwelling No. Units: _____ No. Bedrooms/Unit: _____
- Business Sq. Ft. Retail Space: _____ Type: _____ # Employees: _____ Hours of Operation: _____
- Daycare # Preschoolers: _____ # Afterschoolers: _____ # Employees: _____ Hours of Operation: _____
- Industry Sq. Ft: _____ Type: _____ # Employees: _____ Hours of Operation: _____
- Church Seating Capacity: _____ # Bathrooms: _____ Kitchen: _____

Accessory/Addition/Other (Size 24' x 40') Use: Storage Building

Water Supply: County Existing Well New Well (# of dwellings using well _____) ***Must have operable water before final (Need to Complete New Well Application at the same time as New Tank)**

Sewage Supply: New Septic Tank Expansion Relocation Existing Septic Tank County Sewer
(Complete Environmental Health Checklist on other side of application if Septic)

Comments: _____

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

Wesley Blount
Signature of Owner or Owner's Agent

7/17/2024
Date

****This application expires 6 months from the initial date if permits have not been issued****

RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION

*****It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.*****

This application expires 6 months from the initial date if permits have not been issued



APPLICATION CONTINUES ON BACK

****This application expires 6 months from the initial date if permits have not been issued****

This application to be filled out when applying for a septic system inspection.

County Health Department Application for Improvement Permit and/or Authorization to Construct

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration)

Environmental Health New Septic System

- **All property irons must be made visible.** Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the **undergrowth** to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**

Environmental Health Existing Tank Inspections

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over **outlet end** of tank as diagram indicates, and lift lid straight up (if possible) and then **put lid back in place.** (Unless inspection is for a septic tank in a mobile home park)
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**

"MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION"

SEPTIC

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

- Accepted Innovative Conventional Any
 Alternative Other _____

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant **MUST ATTACH SUPPORTING DOCUMENTATION**:

- YES NO Does the site contain any Jurisdictional Wetlands?
 YES NO Do you plan to have an irrigation system now or in the future?
 YES NO Does or will the building contain any drains? Please explain. _____
 YES NO Are there any existing wells, springs, waterlines or Wastewater Systems on this property?
 YES NO Is any wastewater going to be generated on the site other than domestic sewage?
 YES NO Is the site subject to approval by any other Public Agency?
 YES NO Are there any Easements or Right of Ways on this property?
 YES NO Does the site contain any existing water, cable, phone or underground electric lines?

If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.

DO NOT REMOVE!

Details: Appointment of Lien Agent

Entry #: 2190597

Filed on: 07/17/2024

Initially filed by: wblount

Designated Lien Agent

North American Title Insurance Company

Online: www.liensnc.com (<http://www.liensnc.com>)

Address: 223 S. West Street, Suite 900 /
Raleigh, NC 27603

Phone: 888-690-7384

Fax: 913-489-5231

Email: support@liensnc.com (<mailto:support@liensnc.com>)

Project Property

222 E Lemon St
COATS, NC 27521
NC County

Property Type

Other

Print & Post



Contractors:

Please post this notice on the job site.

Suppliers and Subcontractors:

Scan this image with your smart phone to view this filing. You can then file a Notice to Lien Agent for this project.

Owner Information

Wesley Blount
50 N. Isabella St Coats NC 27521
COATS, NC 27521
United States
Email: wblount@coatsnc.org
Phone: 910-263-1399

Date of First Furnishing

07/17/2024

[View Comments \(0\)](#)

Technical Support Hotline: (888) 690-7384