

**NOTICE TO CONTRACTOR**  
 All construction must comply with current NC Building Codes and is subject to field inspection and verification.

Reviewed for Code Compliance  
 07/15/2024

**Harnett COUNTY**  
 NORTH CAROLINA

\* DENOTES 10' STREET TREE & HARNETT REGIONAL WATER ESM'T.

5' CONC. SIDEWALK

DENOTES PRIVATE DRAINAGE ESM'T.

SEWER CLEANOUT

WATER METER

ELEC. METER

A/C UNIT

BUILDING SETBACK CHART	
FRONT	25' MIN.
SIDE	10' MIN.
REAR	20' MIN.
PROP. IMPERVIOUS	2,640 S.F.
MAX. IMPERVIOUS	3,534 S.F.

PLAT REFERENCE BK: 2024 PG: 297



**MORRIS & RITCHIE ASSOCIATES OF NC, PC**

ENGINEERS, ARCHITECTS, PLANNERS,  
 SURVEYORS & LANDSCAPE ARCHITECTS  
 530 HINTON POND ROAD, SUITE 104  
 KNIGHTDALE, NC 27545  
 (984) 200-2103  
 FIRM LICENSES C-4182 & G-492  
 www.mragta.com

SITE PLAN FOR  
**KIPLING VILLAGE PHASE 1A**

LOTS 1 & 2  
 #36 & #57  
**SOUTH BREEZE WAY**

FURQUAY-VARINA  
 HARNETT COUNTY, NC

DATE	REVISION

**BUILDER**  
 RYAN HOMES  
 5734 TRINITY ROAD, SUITE 200  
 RALEIGH, NC 27607  
 PHONE: 919-233-0793

AREA CALCULATIONS	
DRIVEWAY	420 SF
LEADWALK	77 SF
PUBLIC WALK	360 SF
SOD	4,377 SF
WHC	57 LF
SHC	55 LF
HSE FACING	WEST

Project No.: 21103  
 Date: July 2, 2024  
 Drawn By: Daryn A.  
 Checked By: Daryn A.  
 Scale: 1" = 30'

ITEMS BY QUEST	QTY
1 Logo Partition	1
2 Clear Partition	
48" x 1	
36" x 2	
3a Graphic Partition 36"w	1
3b Graphic Partition 48"w	1
4 Around Town Wall Display & Panel	1
5 Community/Site Plan Wall Display & Panel	1
6 Floorplan Display & Panel	4
7 Equal Housing	2
8 Warranty Disclaimer (OPTIONAL)	1
9 Model Disclaimer (OPTIONAL)	1
10 Broker Policy (OPTIONAL)	1
11 No Public Restroom (OPTIONAL)	1
12a Maryland Registration (OPTIONAL)	1
12b Watch Your Step (OPTIONAL)	1
16 Adjustable Posts	3

ITEMS BY CLIENT

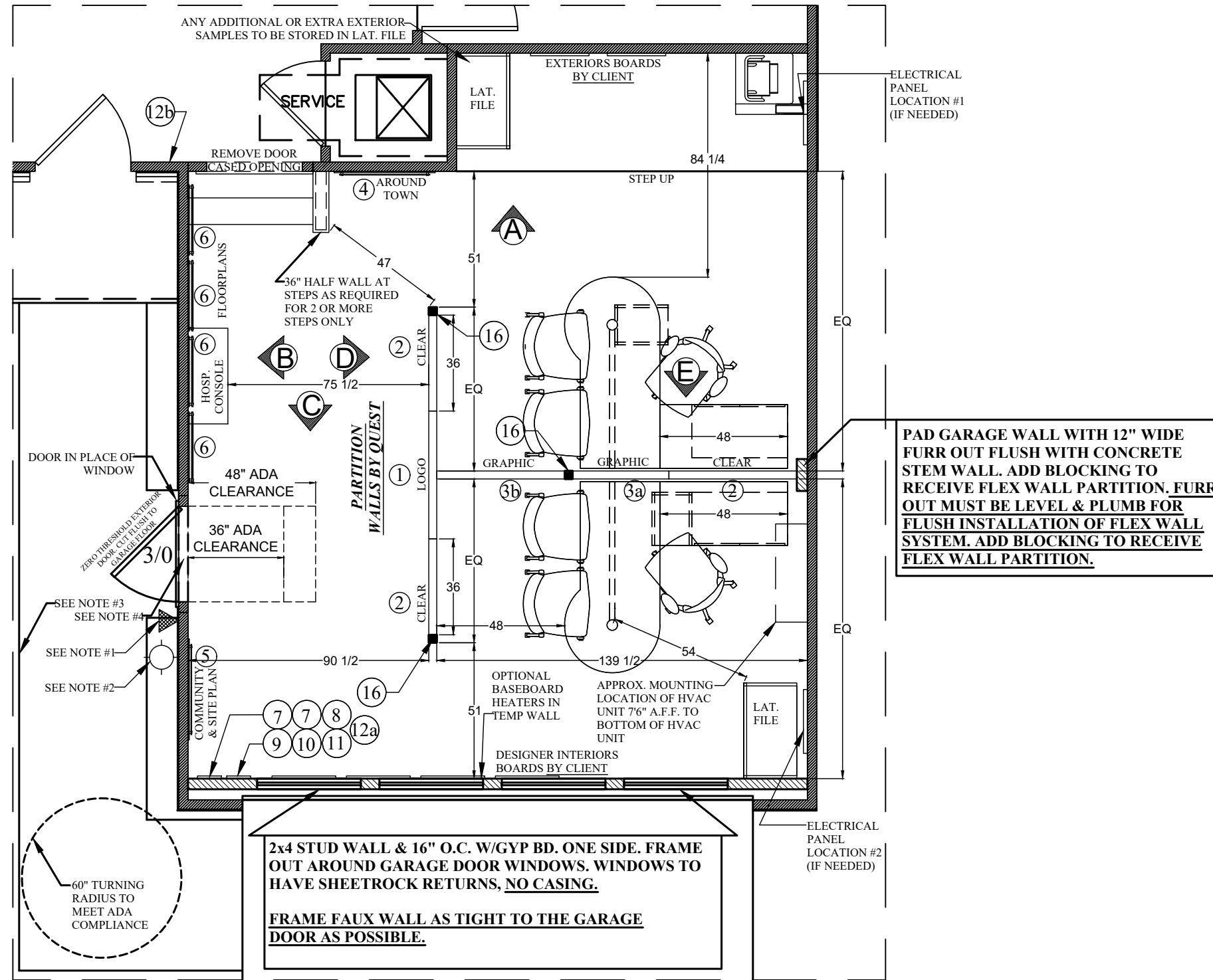
Copier	1
Floorplan Books (Order From Merrill)	
NEW 48" L Shaped Desk Setup w/NO Hutch	2
Executive Chair	2
Guest Chairs	4
Hospitality Console- 36"	1
Lateral File	2
Interior Designer Boards	4
Exterior Sample Boards	6

FOLLOW THIS LEGEND TO ORDER YOUR SALES CENTER FURNITURE ON COUPA.  
(APX.4 WEEKS LEAD TIME)

GENERAL NOTES:

1. ADA COMPLIANT DOORBELL (MOUNT 30" ABOVE FINISHED EXTERIOR SLAB) AND SIGNAGE LOCATION
2. EXTERIOR LIGHT LOCATION
3. LOCATION OF RETAINING WALL IF REQUIRED TO MAINTAIN LEVEL WALKWAY TO MEET ADA COMPLIANCE. PROVIDE ADDITIONAL RAILING IF REQUIRED.
4. 3/0 ZERO THRESHOLD EXTERIOR DOOR. CUT FLUSH TO GARAGE FLOOR.

NOTE:  
36" FLEX WALL REQUIRED

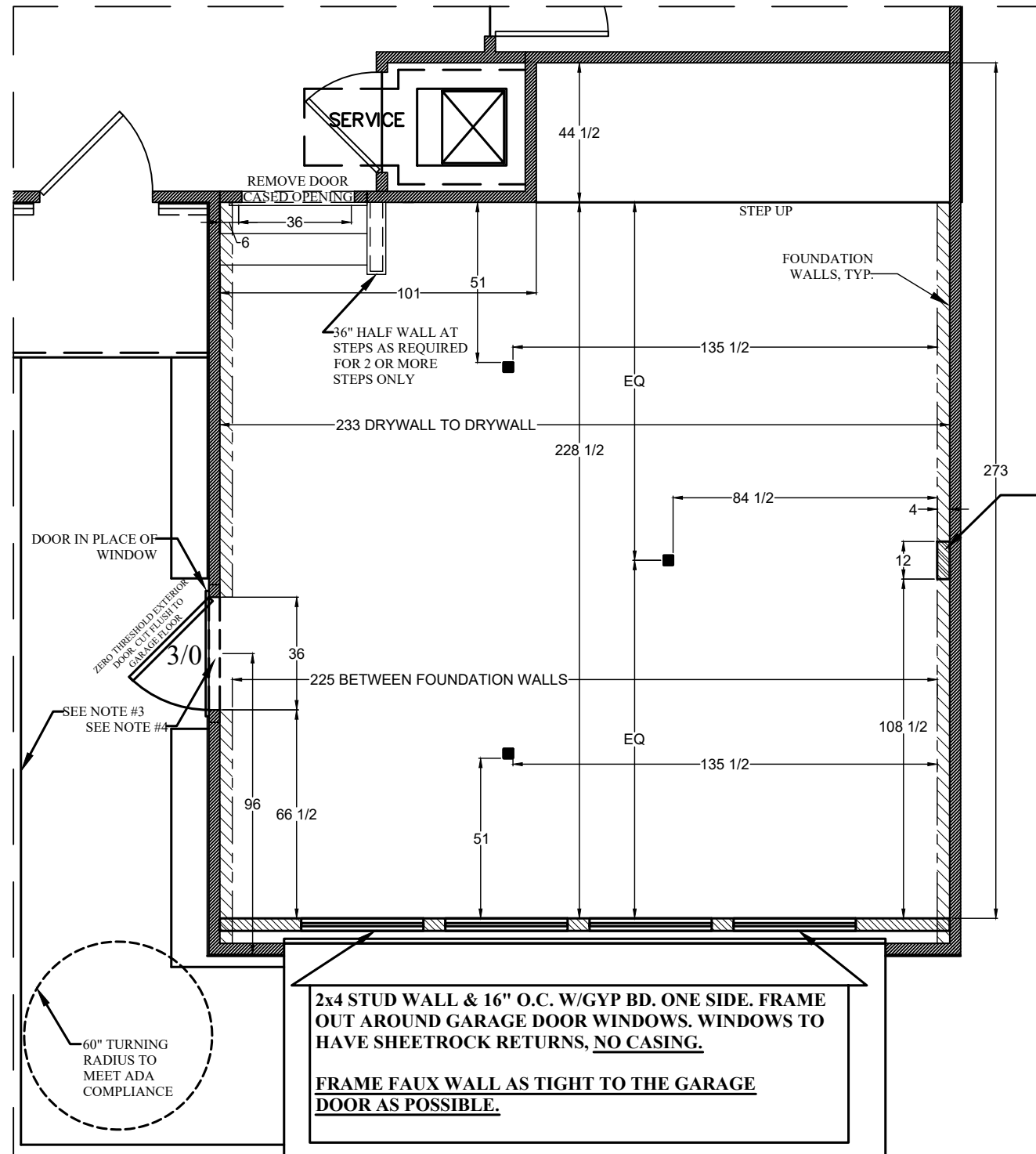


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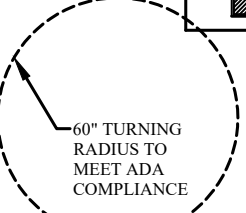
BUILDER: LIFESTYLE BY RYAN HOMES	FLOORPLAN: GRAND CAYMAN	VERSION: GCM00-01
DATE OF LAST REVISION: 03/2021	LOAD/HANDING: FRONT/PERPLAN	SLAB/CRAWL
1 OF 6 SHEETS	SCALE: 1/4"=1'	ENTRY TYPE: ADA
	DRAWING BY: BW	DESIGNER: Ashmita Roy aroy@questdisplays.com
	PROJECT PIECE: DISPLAY POSITION LAYOUT	© Quest Design & Fabrication, LLC

**GENERAL NOTES:**

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**PAD GARAGE WALL WITH 12" WIDE FURR OUT FLUSH WITH CONCRETE STEM WALL. ADD BLOCKING TO RECEIVE FLEX WALL PARTITION. FURR OUT MUST BE LEVEL & PLUMB FOR FLUSH INSTALLATION OF FLEX WALL SYSTEM. ADD BLOCKING TO RECEIVE FLEX WALL PARTITION.**



**2x4 STUD WALL & 16" O.C. W/GYP BD. ONE SIDE. FRAME OUT AROUND GARAGE DOOR WINDOWS. WINDOWS TO HAVE SHEETROCK RETURNS, NO CASING.**

**FRAME FAUX WALL AS TIGHT TO THE GARAGE DOOR AS POSSIBLE.**



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BUILDER: <b>LIFESTYLE BY RYAN HOMES</b>	FLOORPLAN: <b>GRAND CAYMAN</b>	VERSION: <b>GCM00-01</b>
	LOAD/HANDLING: <b>FRONT/PERPLAN</b>	SLAB/CRAWL ENTRY TYPE: <b>ADA</b>
DATE OF LAST REVISION: <b>03/2021</b>	SCALE: <b>1/4"=1'</b>	DESIGNER: <b>Ashmita Roy</b> aroy@questdisplays.com
PROJECT PIECE: <b>2 OF 6</b> SHEETS	DIMENSION PLAN	© Quest Design & Fabrication, LLC

## LIGHTING LEGEND

### MANUFACTURER: PROGRESS

- 7" LED WHITE FLUSH MOUNT  
P8222-28/30K9-AC1-L10
- S LIGHT SWITCH  
MOUNT @ 42" AFF
- ⌀ OUTLET

### LOCATION A (SEE PLAN FOR PLACEMENT)

- CAT-6 DROP WITH RJ-45 WALL PLATE @ STANDARD HEIGHT.
- DUPLEX RECEPTACLE @ STANDARD HEIGHT [100V, 15AMP]

### LOCATION B (SEE PLAN FOR PLACEMENT)

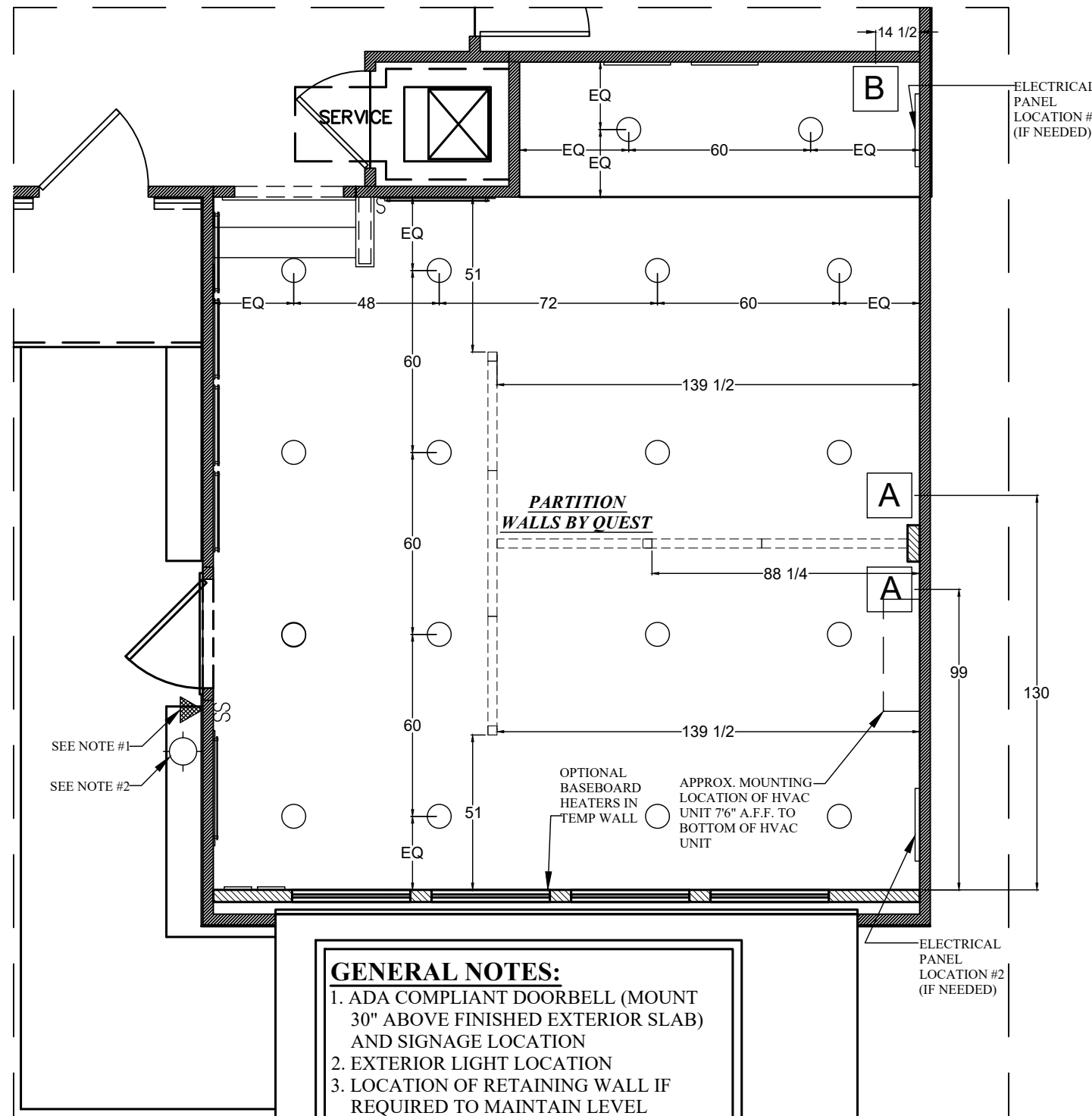
- CAT-6 DROPS WITH A THREE PORT RJ-45 WALL PLATE @ STANDARD HEIGHT.
- DEDICATED DUPLEX RECEPTACLE @ STANDARD HEIGHT [100V, 20AMP]-*COPIER*
- DUPLEX RECEPTACLE @ STANDARD HEIGHT [100V, 15 AMP]-*IT EQUIP.*
- DUPLEX RECEPTACLE @ 72" AFF [100V, 15AMP]-*SECURITY MONITORS*

### FROM DMARC TO LOCATION A&B

- ALL CAT-6 DROPS AT LOCATION A+B ARE "HOMERUNS" TO A SINGLE DMARC LOCATION
- DMARC SHOULD BE A PANEL THAT HOUSES ALL INCOMING CONNECTIONS
- ALL CABLES TO HAVE RJ-45 TERMINATIONS AT DMARC (NO PUNCH DOWNS)
- THESE CABLES TO BE LABELED "SALES OFFICE"
- NO COAX CABLES GOING INTO THE SALES OFFICE

### CRITICAL NOTES:

1. FOLLOW LIGHTING LAYOUT EXACTLY TO ENSURE PROPER INSTALLATION OF QUEST FLEX WALLS & POSTS.
2. DO NOT PLACE ELEVATED OUTLETS OR SWITCHES IN ANY DISPLAY LOCATIONS SHOWN ON PAGE 1 AND/OR 6.
3. SWITCHES & HVAC UNIT TO BE PLACED AT SPECIFIED HEIGHT.
4. ANY OUTLETS PLACED PER LOCAL CODE TO BE AT STANDARD HEIGHT.
5. IF ELECTRICAL PANEL IS PRESENT IT IS TO BE PAINTED TO MATCH WALL COLOR
6. PROJECT MANAGER, NVR FIELD ENGINEER, AND WIRING INSTALLER MUST SET UP A PRE-WIRING CONFERENCE CALL/ MEETING TO REVIEW WIRING PLAN FOR PROPER PLACEMENT & WIRING METHOD.



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VERSION: GCM00-01

SLAB/CRAWL

ENTRY TYPE: ADA

DESIGNER: Ashmita Roy  
aroy@questdisplays.com

FLOORPLAN: GRAND CAYMAN

LOAD/HANDLING: FRONT/PERPLAN

DRAWING BY: BW

SCALE: 1/4"=1'

PROJECT PIECE:

BUILDER: LIFESTYLE BY RYAN Homes

DATE OF LAST REVISION: 03/2021

3 OF 6 SHEETS

LIGHTING/ ELECTRICAL PLAN

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## PAINT LEGEND

### INSTALLATION:

GYPHUM BOARD TO RECEIVE ONE COAT OF COMMERCIAL GRADE PRIMER PRIOR TO RECEIVING TWO COATS OF PAINT. PAINT ALL WIRES, RETURN AIR GRILLES, ELECTRICAL PANEL COVERS AND SUPPLY AIR GRILLS TO MATCH ADJACENT AREAS

**P1** **BASE PAINT:**  
SW 7015 REPOSE GRAY  
LO SHEEN EGG SHELL LATEX

**P2** **CEILING:**  
SW 7631 CITY LOFT  
FLAT LATEX  
**OR**  
MATCH CEILING IN MODEL IF WHITE

### NOTE:

IF ELECTRICAL PANEL IS PRESENT IT IS TO BE PAINTED TO MATCH WALL COLOR

## TRIM LEGEND

### INSTALLATION:

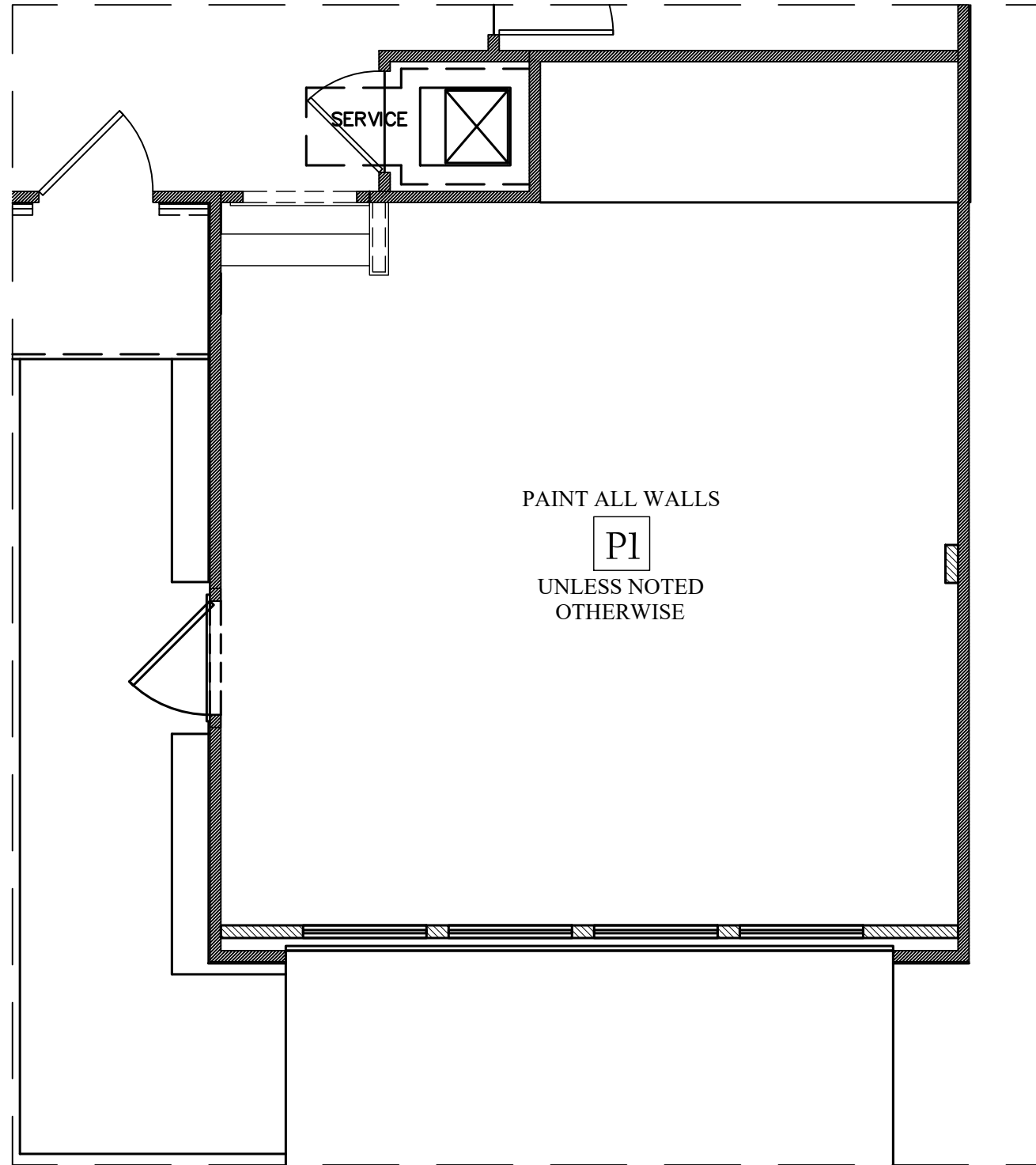
INSTALLED BY CARPENTER & PAINTED BY PAINTER COLOR TO MATCH TRIM IN MODEL

**BASE BOARDS, DOORWAYS:**  
1"x4"x16' PRIMED & PAINTED 1x4  
PART# A0035367 1"x4"x16'

**SHOE MOLDING:**  
PAINT GRADE QUARTER ROUND

### NOTE:

REFER TO ASD DETAIL REGARDING FOUNDATION WALL CAP AT EXTERIOR FOUNDATION WALLS.



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VERSION: GCM00-01

SLAB/CRAWL

ENTRY TYPE:

ADA

DESIGNER: Ashmita Roy  
aroy@questdisplays.com

FLOORPLAN: GRAND CAYMAN

LOAD/HANDLING: FRONT/PERPLAN

DRAWING BY: BW

SCALE: 1/4"=1'

PROJECT PIECE:

PAINT PLAN

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BUILDER: LIFESTYLE  
BY RYAN  
HOMES

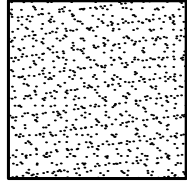
DATE OF LAST REVISION:  
03/2021

4 OF 6 SHEETS

# FLOORING LEGEND

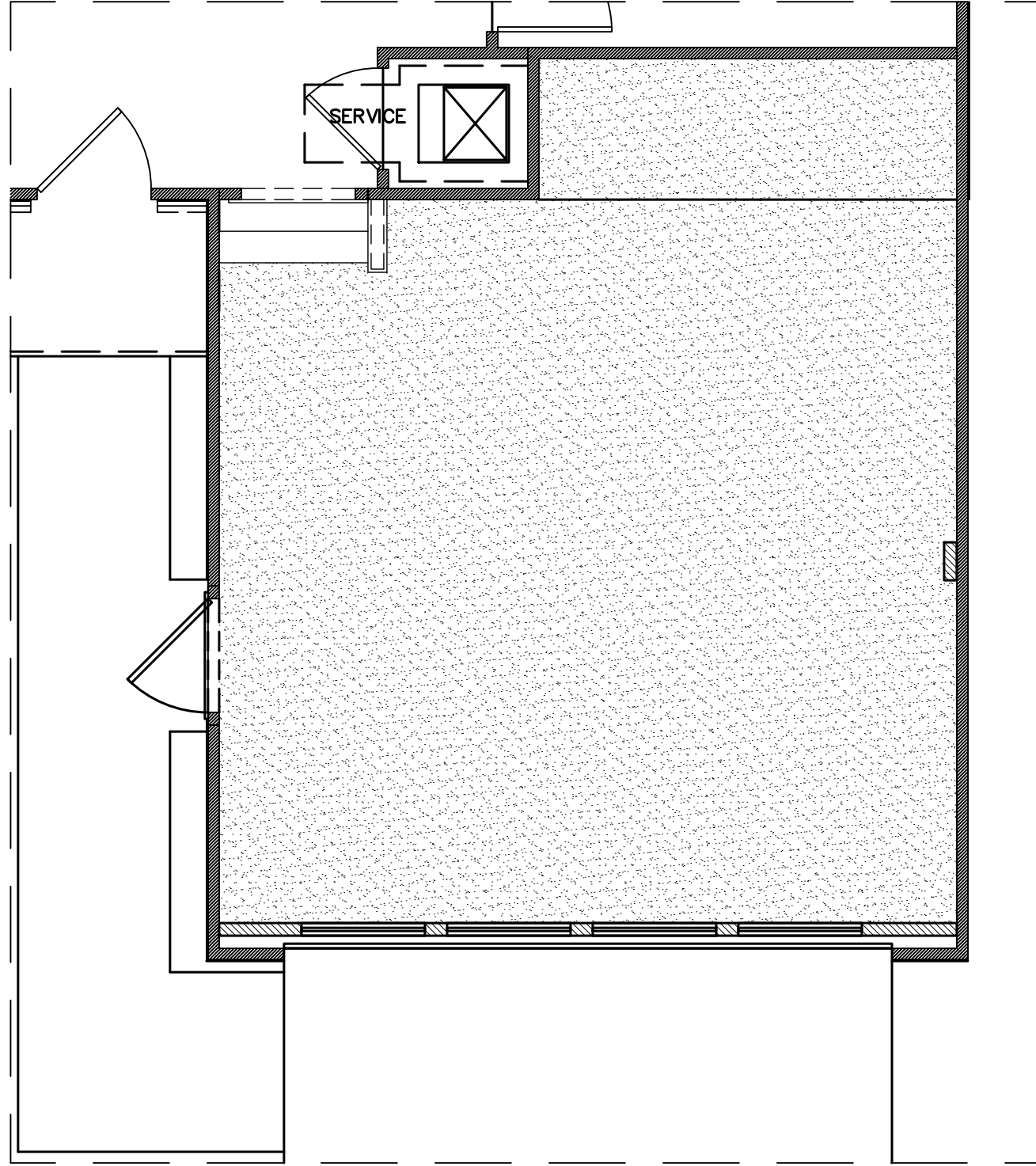
## CARPET TILE:

MFR.: SHAW  
 STYLE: 54734 LUCKY BREAK  
 COLOR: 34510 RANDOM ODDS  
 SIZE: 24" SQUARES



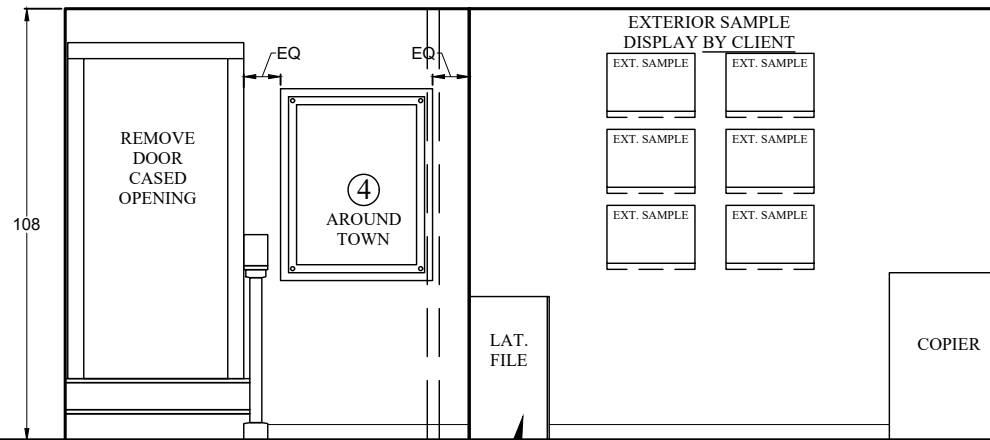
## NOTES:

1. INCLUDE ADDITIONAL STAIR MATERIAL IF NEEDED.
2. OAK TREADS WITH WHITE RISERS.
3. STAIN OAK TREADS TO MATCH HOUSE HARDWOOD/LVP OR "DEEP JAVA" IF NO HWD/LVP PRESENT



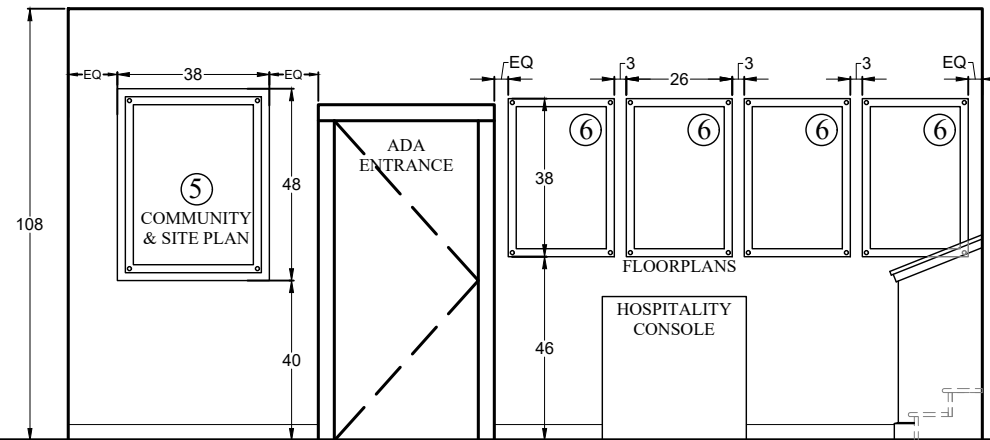
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BUILDER: <b>LIFESTYLE</b> BY <b>Ryan</b> Homes	FLOORPLAN: <b>GRAND CAYMAN</b>	VERSION: <b>GCM00-01</b>
	LOAD/HANDING: <b>FRONT/PERPLAN</b>	ENTRY TYPE: <b>SLAB/CRAWL</b>
DATE OF LAST REVISION: <b>03/2021</b>	SCALE: <b>1/4"=1'</b>	DESIGNER: <b>Ashmita Roy</b> aroy@questdisplays.com
PROJECT PIECE: <b>5 OF 6</b> SHEETS		<b>FLOORING PLAN</b>
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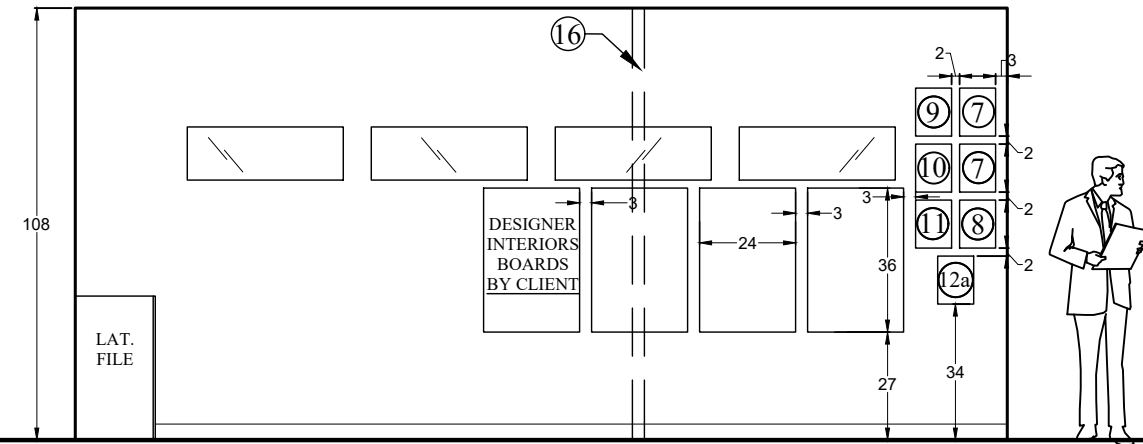


**A** Gallery Elevation

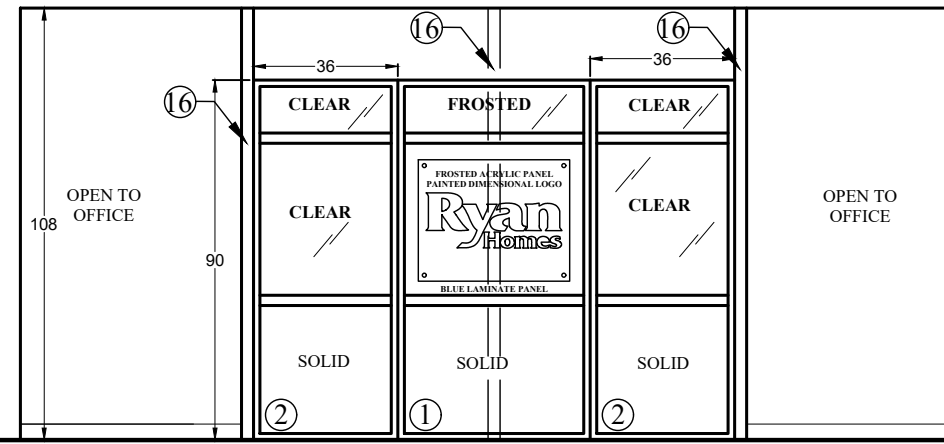
ANY ADDITIONAL OR EXTRA EXTERIOR SAMPLES TO BE STORED IN LAT. FILE



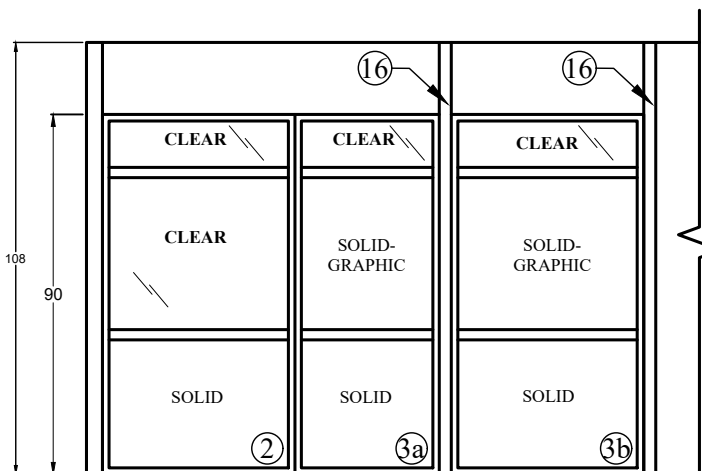
**B** Gallery Elevation



**C** Gallery/Office Elevation



**D** Office Elevation



**E** Office/Gallery Elevation



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SLAB/CRAWL

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 aroy@questdisplays.com

FLOORPLAN: GRAND CAYMAN

LOAD/HANDLING: FRONT/PERPLAN

DRAWING BY: BW  
 SCALE: 1/4"=1'

PROJECT PIECE:

**WALL ELEVATIONS**

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BUILDER: LIFESTYLE BY RYAN HOMES

DATE OF LAST REVISION: 03/2021

**6 OF 6**  
 SHEETS