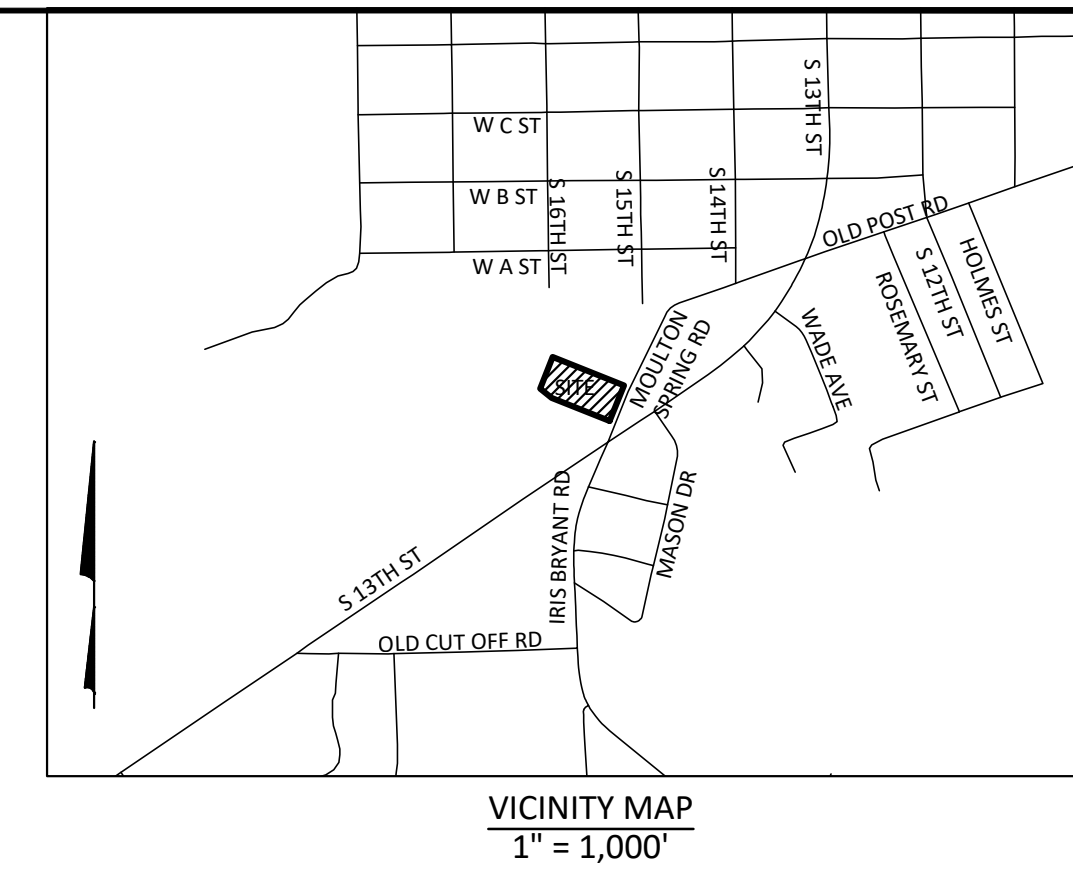
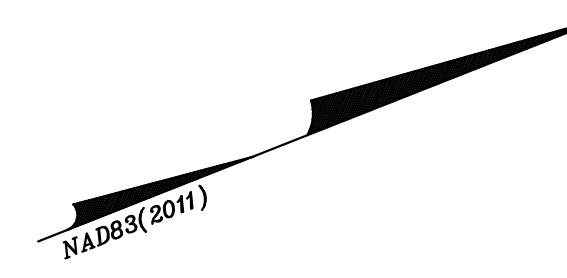


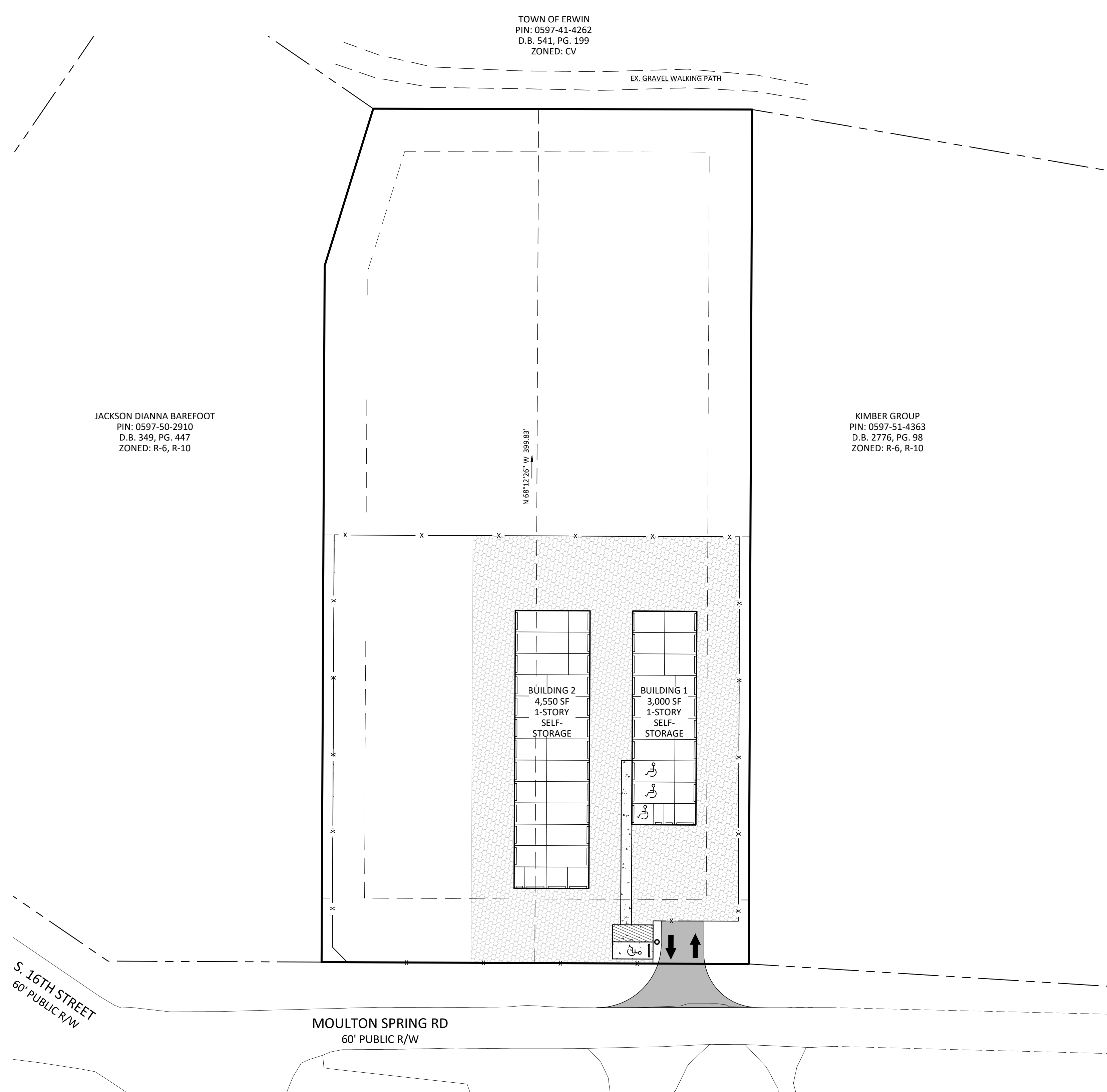
STORE-IT-SAFE SELF-STORAGE

TOWN OF ERWIN HARNETT COUNTY, NORTH CAROLINA



Aden R. Stoltzfus, PE C-3812
aden@seiengineering.com
336-904-0207
683 Gralin Street
Kernersville, NC 27284

Stoltzfus Engineering Inc.
Civil Engineering Consultants



NOTES:
THIS MAP DOES NOT MEET G.S. 47-30 AND IS NOT FOR RECORDING.
THIS PROPERTY IS SUBJECT TO ANY EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY OF RECORD PRIOR TO THE DATE OF THIS MAP AND WHICH WERE NOT VISIBLE AT THE TIME OF INSPECTION.
THIS MAP WAS PREPARED WITH OUT THE BENEFIT OF A TITLE REPORT AND DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES UPON THIS PROPERTY.
BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY FOR AIKEN KEPPLER, BY VANDERHOOF SURVEYING, PLLC.
NO SURVEYING OR SUBSURFACE INVESTIGATIONS PERFORMED BY STOLTZFUS ENGINEERING, INC.

PARCEL DATA:
TOTAL ACREAGE: 1.816 AC. +/-
PIN: 0597-51-3059
DEED REF: DB 4181 PG. 2640
PLAT REF: PB 2023 PG. 387
EXISTING ZONING: B-2
EXISTING USE: RESIDENTIAL
PROPOSED USE: COMMERCIAL, SELF-STORAGE

BUILDING SETBACKS:
FRONT: 30'
SIDE: 20' WHERE LOT ABUTS RESIDENTIALLY ZONED LOT
REAR: 20'
SIDE STREET: N/A

PARKING INFORMATION:
1 ADA SPACE REQUIRED, 1 ADA SPACE PROVIDED

WATERSHED INFORMATION:
THIS PROPERTY IS NOT LOCATED IN A WATER SUPPLY WATERSHED PER NCDEQ.

FLOOD INFORMATION:
THIS PROPERTY IS NOT LOCATED IN A FLOOD RISK ZONE PER NCFRIS.NC.GOV, MAP # 3720059700, PANEL 0597, DATED 10-03-2006.

BUA:
EXISTING BUA WAS PULLED FROM AERIAL PRIOR TO 2007 (1993)
DIGITAL ORTHO QUARTER-QUAD IMAGERY (USGS).

EX. BUILDINGS: 6,137 S.F. (7.76%)
EX. GRAVEL: 1,601 S.F. (2.02%)
EX. CONC.: 73 S.F. (0.09%)
TOTAL EX. IMPERVIOUS: 7,811 S.F. (9.87%)

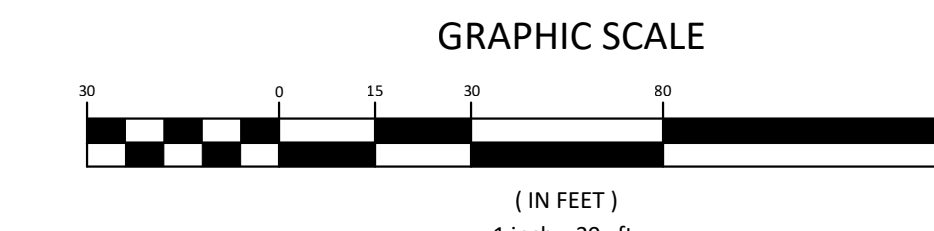
PROP. BUILDINGS: 7,550 S.F. (9.54%)
PROP. GRAVEL: 29,501 S.F. (37.28%)
PROP. ASPHALT: 410 S.F. (0.52%)
TOTAL PROP. IMPERVIOUS: 37,461 S.F. (47.34%)

DRAWING INDEX:

COVER SHEET	C1
EXISTING CONDITIONS AND CLEARING PLAN	C2
SITE, UTILITY & LANDSCAPING PLAN	C3
GRADING, DRAINAGE & EROSION CONTROL PLAN	C4
DETAILS	C5

LEGEND

WATER METER BOX (WM)	FIRE HYDRANT (HYD)
WATER VALVE (WV)	SANITARY SEWER MANHOLE (SSMH)
STORM MANHOLE (STMH)	CLEAN OUT
UTILITY POLE	DB DEED BOOK
LIGHT POLE	PB PLAT BOOK
GROUND LIGHT	PG PAGE
GUY WIRE	R/W RIGHT-OF-WAY
YARD INLET (YI)	E/P EDGE OF PAVEMENT
GAS VALVE	E/GS EDGE OF GRAVEL
OVERHEAD POWER LINE	CONC CONCRETE
GAS LINE	RCP REINFORCED CONCRETE PIPE
WATER LINE	DI DROP INLET
UNDERGROUND ELECTRICAL	CI CURB INLET
FENCE LINE	FFE FINISH FLOOR ELEVATION
WOODSLINE (TYP.)	BSMT BASEMENT
	TYPED TELEPHONE PEDESTAL
	THH TELEPHONE HAND HOLD
	DMUE DRAINAGE MAINTENANCE & UTILITY EASEMENT
	FOUND IRON PIPE
	SET IRON PIN
	COMPLETED POINT
	CONCRETE MONUMENT
	CH = CHORD
	R/W = RIGHT OF WAY
	P.B. = PLAT BOOK
	D.B. = DEED BOOK
	PG. = PAGE
	DE = DRAINAGE ESMT.
	CE = COMMON ELEMENTS



STORE-IT-SAFE SELF-STORAGE, ERWIN, NC

COVER PAGE

OWNER & DEVELOPER INFORMATION:
AIKEN & WALKER KEPLER
721 ANCIENT OAKS DR.
HOLLY SPRINGS, NC 27540-8350

PROJECT LOCATION:
STATE: NORTH CAROLINA
COUNTY: HARNETT
TOWNSHIP: ERWIN

NO.	DATE	REVISION NOTE
1	08-28-24	ARCHITECTURAL & GRADING REVISION

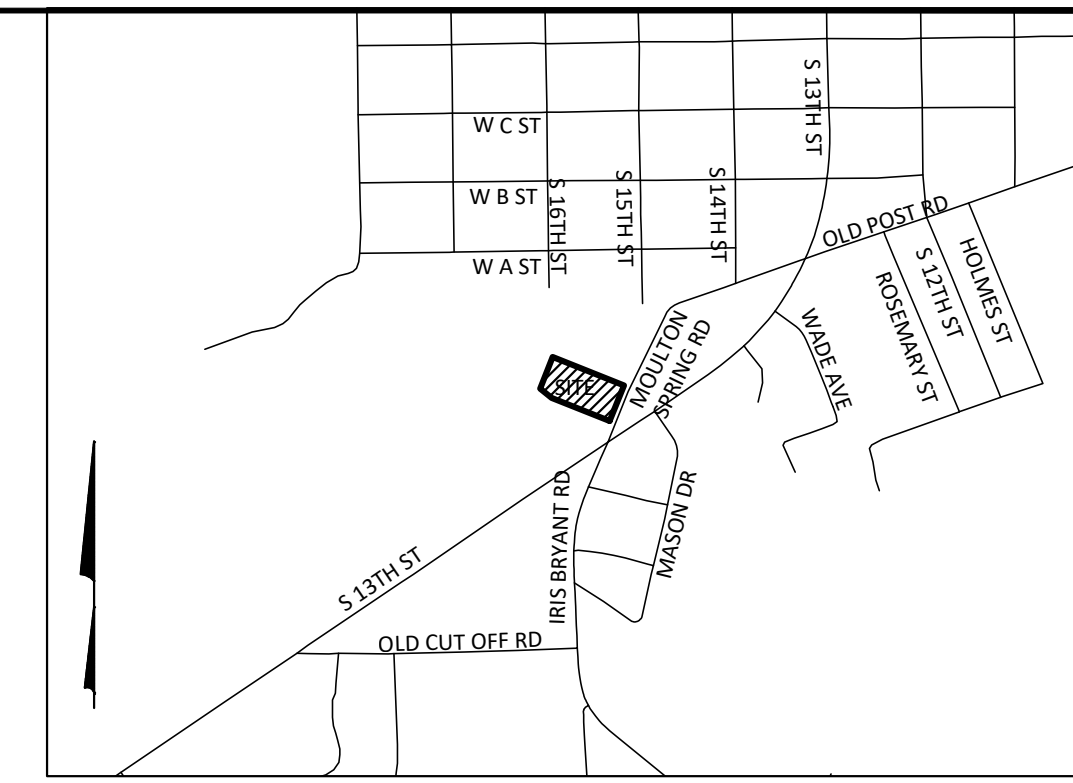
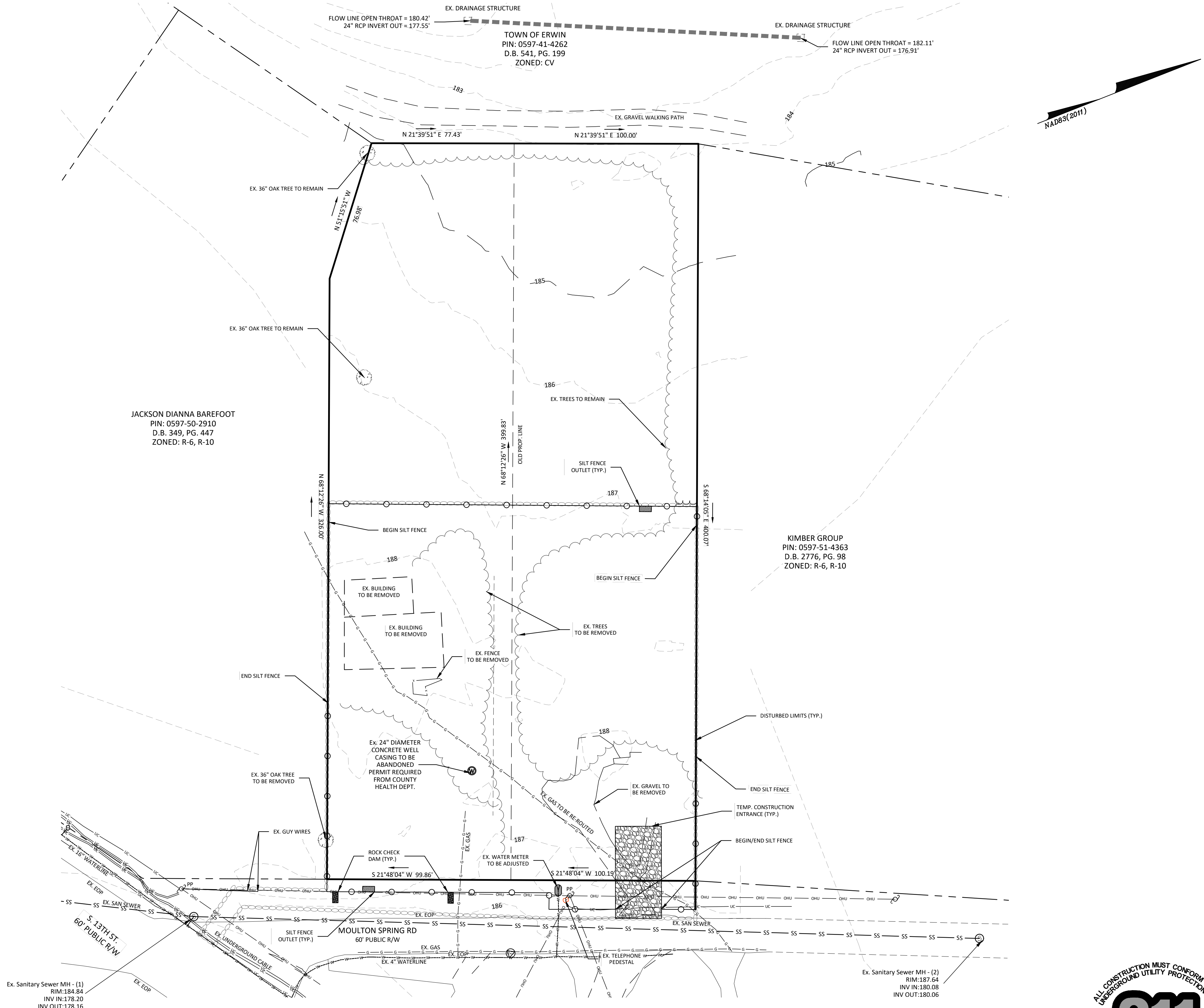
DRAWN BY: WVC
CHECKED BY: ARS
DATE: 04-23-2024
PROJECT NO.: 1104-02
REF. NO.:
SCALE: 1"=30'

C1
1 OF 5

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DRAWINGS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE SPECIFIC WRITTEN CONSENT OF THE ENGINEER.



CONSTRUCTION SEQUENCE:
 INSTALL CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE. INGRESS AND EGRESS TO THE DISTURBED SITE WILL ONLY BE OVER APPROVED CONSTRUCTION ENTRANCE.
 CLEAR AND GRUB EXISTING TREES NEAR PROPERTY LINE.
 GRADE SITE IN MANNER WHERE RUNOFF IS CONTINUALLY DIRECTED INTO SILT FENCE OUTLETS.



NOTES:
 THIS MAP DOES NOT MEET G.S. 47-30 AND IS NOT FOR RECORDING.
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 NO SURVEYING OR SUBSURFACE INVESTIGATIONS PERFORMED BY STOLTZFUS ENGINEERING, INC.

PARCEL DATA:
 TOTAL ACREAGE: 1.816 AC. +/-
 PIN: 0597-51-3059
 DEED REF: DB 4181 PG. 2640
 PLAT REF: PB 2023 PG. 387
 EXISTING ZONING: R-2
 EXISTING USE: RESIDENTIAL
 PROPOSED USE: COMMERCIAL, SELF-STORAGE

BUILDING SETBACKS:
 FRONT: 30'
 SIDE: 20' WHERE LOT ABUTS RESIDENTIALLY ZONED LOT
 REAR: 20'
 SIDE STREET: N/A

PARKING INFORMATION:
 1 ADA SPACE REQUIRED, 1 ADA SPACE PROVIDED

WATERSHED INFORMATION:
 THIS PROPERTY IS NOT LOCATED IN A WATER SUPPLY WATERSHED PER NCDEQ.

FLOOD INFORMATION:
 THIS PROPERTY IS NOT LOCATED IN A FLOOD RISK ZONE PER NCFRIS.NC.GOV, MAP # 37200597001, PANEL 0597, DATED 10-03-2006.

BLA:
 EXISTING BUA WAS PULLED FROM AERIAL PRIOR TO 2007 (1993 DIGITAL ORTHO QUARTER-QUAD IMAGERY (USGS)).

EX. BUILDINGS: 6,137 S.F. (7.76%)
EX. GRAVEL: 1,601 S.F. (2.02%)
EX. CONC.: 73 S.F. (0.09%)
TOTAL EX. IMPERVIOUS: 7,811 S.F. (9.87%)

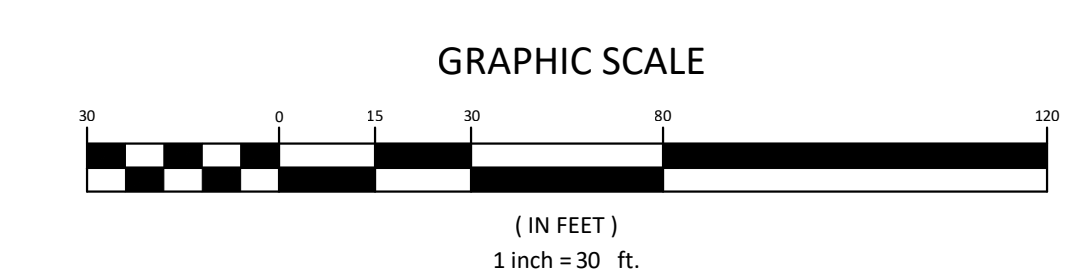
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PROP. GRAVEL: 29,501 S.F. (37.28%)
PROP. ASPHALT: 410 S.F. (0.52%)
TOTAL PROP. IMPERVIOUS: 37,461 S.F. (47.34%)

EROSION CONTROL NOTES: (ALSO SEE DETAIL SHEETS)

- PROPOSED DISTURBED AREA: 0.93 AC
- THE EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHOWN ON THE DRAWINGS ARE INTENDED AS A GUIDE. AS GRADING PROGRESSES, MEASURES MAY BE ADDED OR DELETED BY THE EROSION CONTROL OFFICER AS DEEMED NECESSARY TO CONTROL EROSION AND SEDIMENTATION. IF GRADING CONTRACTOR FEELS THAT ADDITIONAL MEASURES ARE NEEDED OTHER THAN THOSE INDICATED, GRADING CONTRACTOR SHOULD CONTACT THE OWNER AND ENGINEER IMMEDIATELY FOR APPROVAL OF THE CHANGES.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NCDER - LAND QUALITY SECTIONS 'EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL'.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE NPDES GROUND COVER REQUIREMENTS AS SHOWN ON DETAIL SHEETS.
- ROUGHEN SLOPE SURFACES TO MINIMIZE EROSION DURING VEGETATION ESTABLISHMENT.
- STRUCTURAL FILL COMPACTION NOTE: AREAS OUTSIDE OF PUBLIC RIGHT OF WAY (REFER TO NCDOT OR TOWN OF ERWIN STANDARDS FOR AREA WITHIN PUBLIC RIGHT OF WAY) THE CONTRACTOR SHALL REMOVE AND OR UNDERCUT UNSUITABLE SOILS AT THE DIRECTION OF A CERTIFIED TESTING FIRM PAID BY THE OWNER FOR ALL STRUCTURAL FILL/TRENCH AREAS. ALL STRUCTURAL FILL AND UNDERGROUND TRENCH AREAS SHALL BE FILLED IN LAYERS SIX INCHES (6") DEEP AND THOROUGHLY COMPACTED WITH MECHANICAL COMPACTORS TO ATTAIN 95% STANDARD PROCTER. COMPACTION TESTING OF THE BACKFILL SHALL BE PROVIDED BY A CERTIFIED TESTING FIRM AND PAID FOR BY THE OWNER FOR EACH FILL LOT AND OR TRENCH AREA.

LEGEND

○ WATER METER BOX (WM)	⚡ FIRE HYDRANT (HYD)
⊕ WATER VALVE (WV)	⊕ SANITARY SEWER MANHOLE (SSMH)
⊕ STORM MANHOLE (STMH)	○ CLEAN OUT
○ UTILITY POLE	○ DEED BOOK
○ LIGHT POLE	○ PLAT BOOK
○ GROUND LIGHT	PS PAGE
○ GUY WIRE	R/W RIGHT-OF-WAY
○ YARD INLET (YI)	E/P EDGE OF PAVEMENT
○ GAS VALVE	E/G EDGE OF GRAVEL
○ OVERHEAD POWER LINE	CONC CONCRETE
○ GAS LINE	RCF REINFORCED CONCRETE PIPE
○ WATER LINE	CI CURB INLET
○ UNDERGROUND ELECTRICAL	FIE FINISH FLOOR ELEVATION
○ FENCE LINE	BSMT BASEMENT
○ WOODSLINE (TYP.)	TPED TELEPHONE PEDESTAL
	THH TELEPHONE HAND HOLD
	DMUE DRAINAGE MAINTENANCE & UTILITY EASEMENT
	○ PROP. DISTURBED LIMITS
	← TEMP. DIVERSION BEAM



Aden R. Stoltzfus, PE C-3812
 aden@seengineering.com
 336-904-0207
 683 Gralin Street
 Kernersville, NC 27284



STORE-IT-SAFE SELF-STORAGE, ERWIN, NC
EXISTING CONDITIONS & CLEARING PLAN

OWNER & DEVELOPER INFORMATION:
 AIKEN & CHARLOTTE KEPPLER
 721 ANCIENT OAKS DR.
 HOLLY SPRINGS, NC 27540-8330

PROJECT LOCATION:
 STATE: NORTH CAROLINA
 COUNTY: HARNETT
 TOWNSHIP: ERWIN

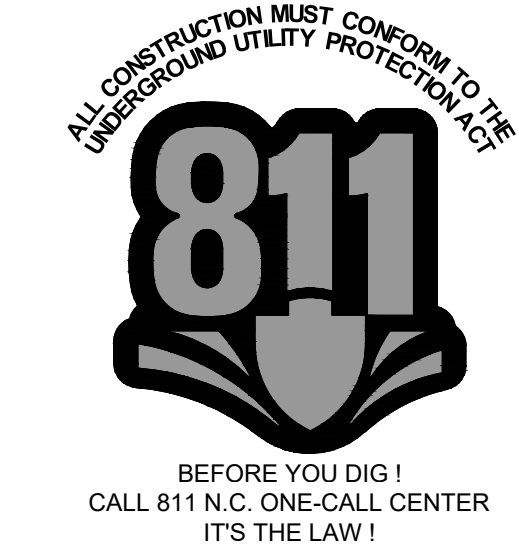
NO.	DATE	REVISION NOTE
1	08-28-24	ARCHITECTURAL & GRADING REVISION

DRAWN BY: WVC
 CHECKED BY: ARS
 DATE: 04-23-2024
 PROJECT NO.: 1104-02
 REF. NO.:
 SCALE: 1"=30'



C2
2 OF 5

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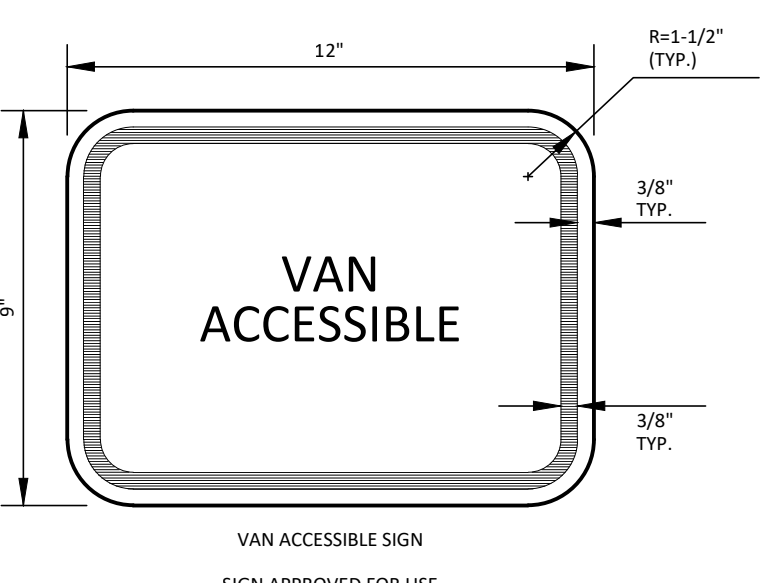




R 7-8A
SIGN APPROVED FOR USE UNDER GENERAL STATUTE 20-37.6

COLORS:
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

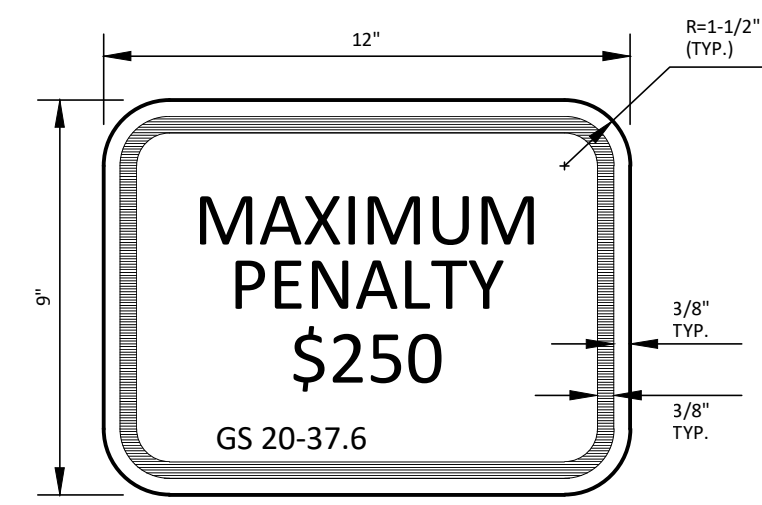
NOTE:
BEGINNING JANUARY 1, 1989, ALL ACCESSIBLE PARKING SPACES (INCLUDING THOSE SPACES EXISTING PRIOR TO JULY 1, 1979) SHALL BE REQUIRED BY GENERAL STATUTE TO BE IDENTIFIED BY AN R7-8 OR R7-8A SIGN.



VAN ACCESSIBLE SIGN
SIGN APPROVED FOR USE UNDER GENERAL STATUTE 20-37.6

COLORS:
LEGEND AND BORDER - GREEN
BACKGROUND - WHITE

NOTE:
R7-8D PENALTY SIGNS ARE REQUIRED TO ACCOMPANY ALL R7-8 OR R7-8A PARKING SIGNS ERECTED AFTER DECEMBER 31, 1990.



R 7-8D
SIGN APPROVED FOR USE UNDER GENERAL STATUTE 20-37.6

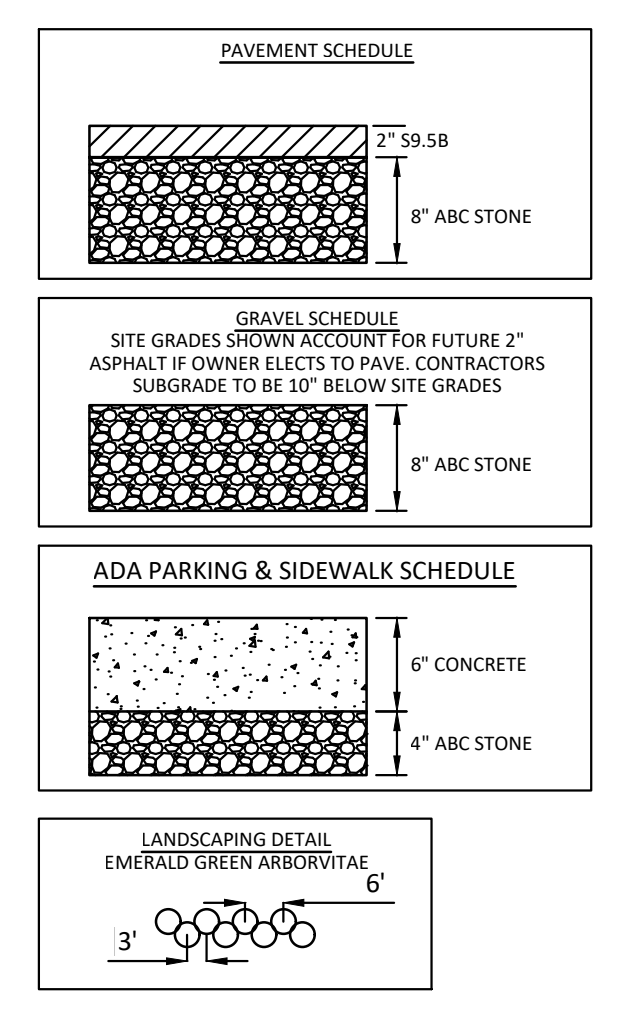
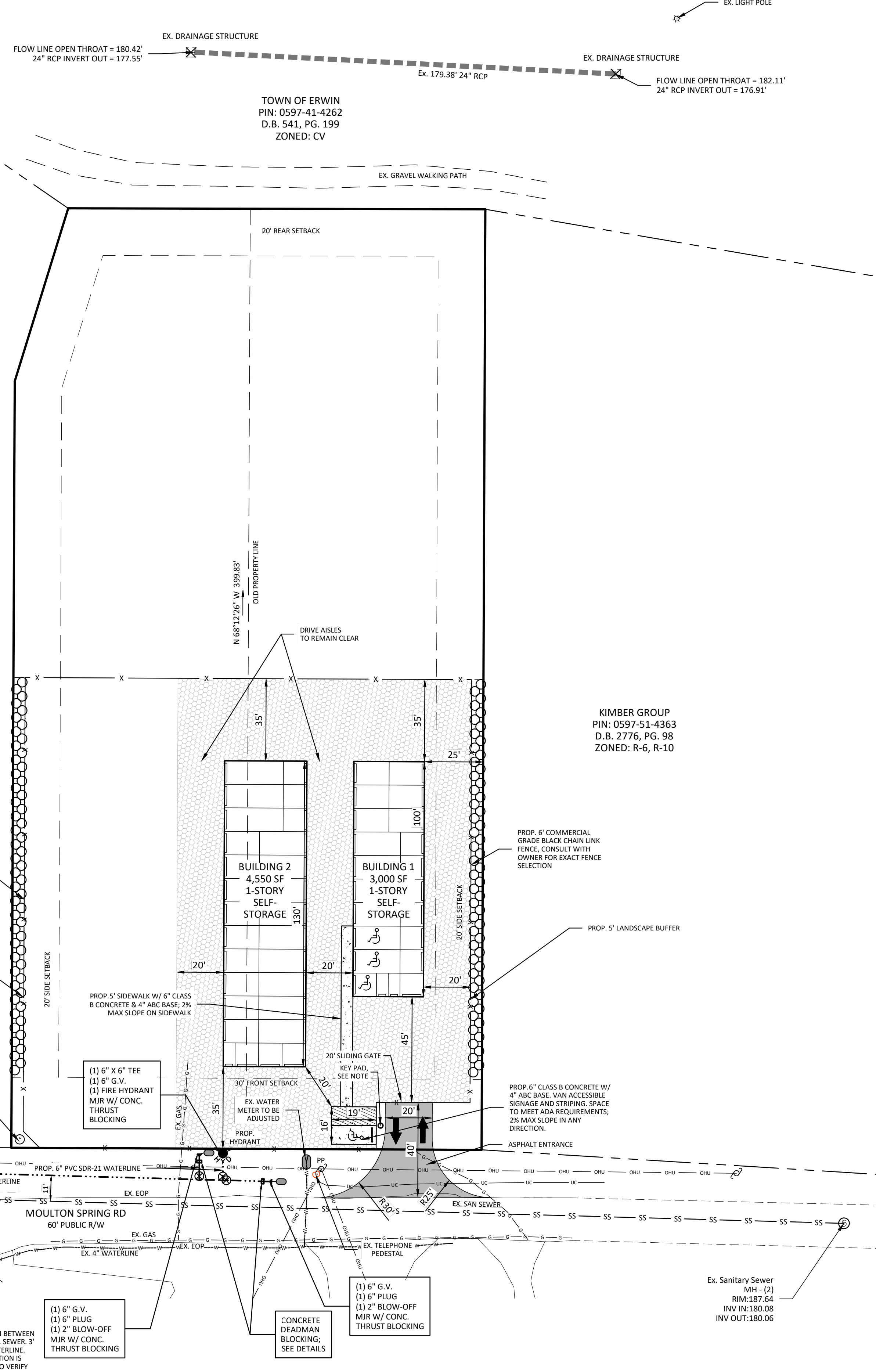
COLORS:
LEGEND AND BORDER - GREEN
BACKGROUND - WHITE

NOTE:
R7-8D PENALTY SIGNS ARE REQUIRED TO ACCOMPANY ALL R7-8 OR R7-8A PARKING SIGNS ERECTED AFTER DECEMBER 31, 1990.

ADA PARKING SIGN

JACKSON DIANNA BAREFOOT
PIN: 0597-50-2910
D.B. 349, PG. 447
ZONED: R-6, R-10

KIMBER GROUP
PIN: 0597-51-4363
D.B. 2776, PG. 98
ZONED: R-6, R-10



NOTES:
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BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY FOR AIKEN KEPLER, BY VANDERHOOF SURVEYING, PLLC.
NO SURVEYING OR SUBSURFACE INVESTIGATIONS PERFORMED BY STOLTZBUS ENGINEERING, INC.
KEY PAD NOTE:
KNOX BOX WILL BE PROVIDED TO ALLOW FOR EMERGENCY SERVICE OPERATION OF THE GATE. OWNER TO COORDINATE WITH HARNETT COUNTY FIRE ON GATE OPERATION.
GRADING NOTE:
GRADES FOR DRIVE AISLES ADJACENT TO BUILDINGS TO BE A MIN. 1.5\"/>

BUILDING SETBACKS:
FRONT: 30'
SIDE: 20' WHERE LOT ABUTS RESIDENTIALLY ZONED LOT
REAR: 20'
SIDE STREET: N/A

PARKING INFORMATION:
1 ADA SPACE REQUIRED, 1 ADA SPACE PROVIDED

WATERSHED INFORMATION:
THIS PROPERTY IS NOT LOCATED IN A WATER SUPPLY WATERSHED PER NCDEQ.

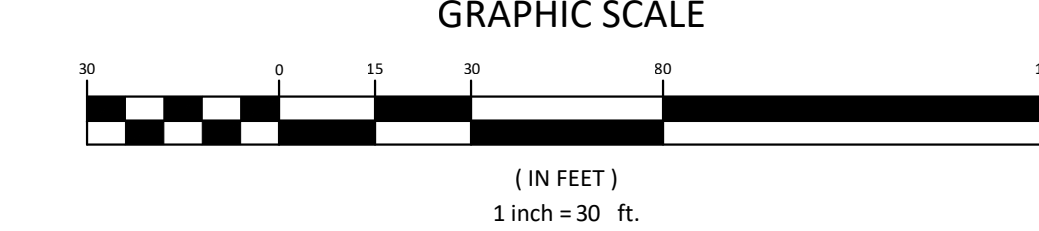
FLOOD INFORMATION:
THIS PROPERTY IS NOT LOCATED IN A FLOOD RISK ZONE PER NCFRIS.NC.GOV, MAP # 3720059700, PANEL 0597, DATED 10-03-2006.

BUA:
EXISTING BUA WAS PULLED FROM AERIAL PRIOR TO 2007 (1993 DIGITAL ORTHO QUARTER-QUAD IMAGERY (USGS)).

EX. BUILDINGS:	6,137 S.F. (7.76%)
EX. GRAVEL:	1,601 S.F. (2.02%)
EX. CONC.:	73 S.F. (0.09%)
TOTAL EX. IMPERVIOUS:	7,811 S.F. (9.87%)
PROP. BUILDINGS:	7,550 S.F. (9.54%)
PROP. GRAVEL:	15,952 S.F. (20.16%)
PROP. ASPHALT:	405 S.F. (0.51%)
PROP. CONCRETE:	687 S.F. (0.87%)
TOTAL PROP. IMPERVIOUS:	24,594 S.F. (47.34%)

LEGEND

Water Meter Box (WMB)	Fire Hydrant (HYD)
Water Valve (WV)	Sanitary Sewer Manhole (SSMH)
Storm Manhole (STMH)	Clean Out
Utility Pole	Deed Book
Light Pole	Plat Book
Ground Light	Page
Guy Wire	Right-of-Way
Yard Inlet (YI)	E/P
Gas Valve	E/G
Overhead Power Line	Edge of Gravel
Gas Line	CONC
Water Line	Reinforced Concrete Pipe
Underground Electrical	Drop Inlet
Fence Line	CI
Woodslue (TYP.)	Finish Floor Elevation
	BSMT
	Base
	TPED
	Telephone Pedestal
	THH
	Telephone Hand Hold
	DMUE
	Drainage Maintenance & Utility Easement



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aden@stolzbusengineering.com
336-904-0207
683 Gralin Street
Kernersville, NC 27284

Stoltzfus Engineering Inc.
Civil Engineering Consultants

STORE-IT-SAFE SELF-STORAGE, ERWIN, NC

SITE, UTILITY & LANDSCAPING PLAN

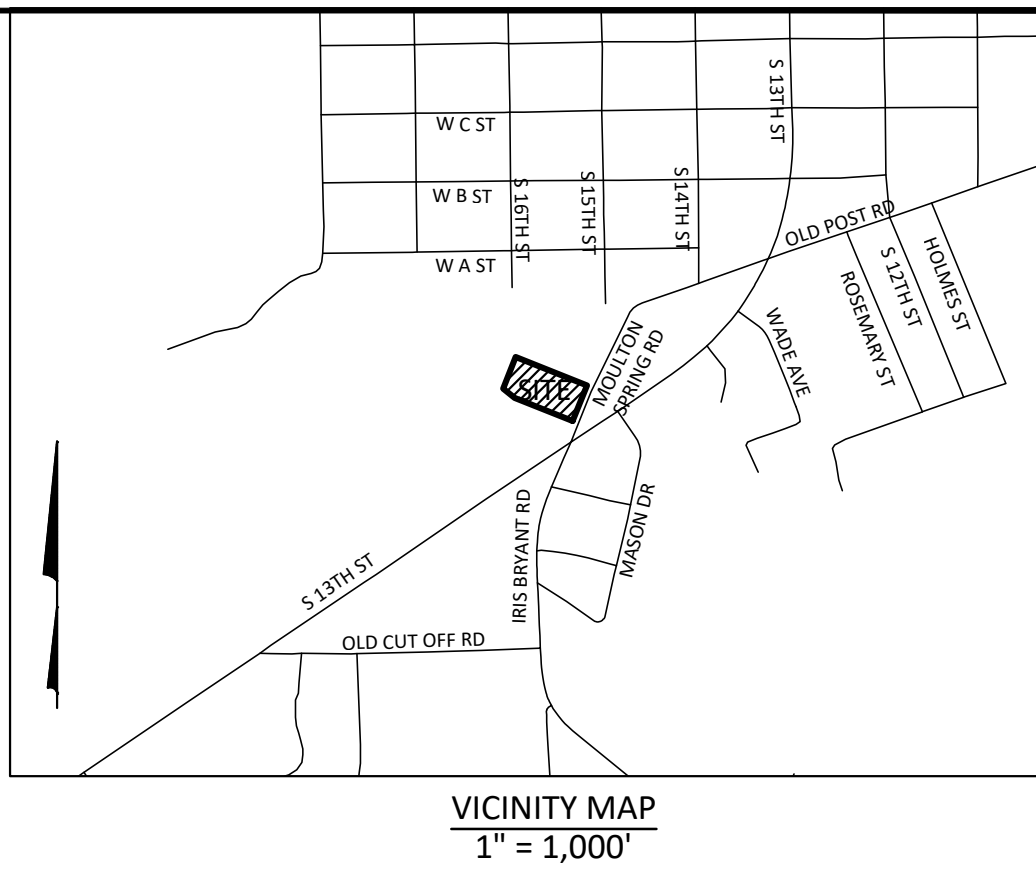
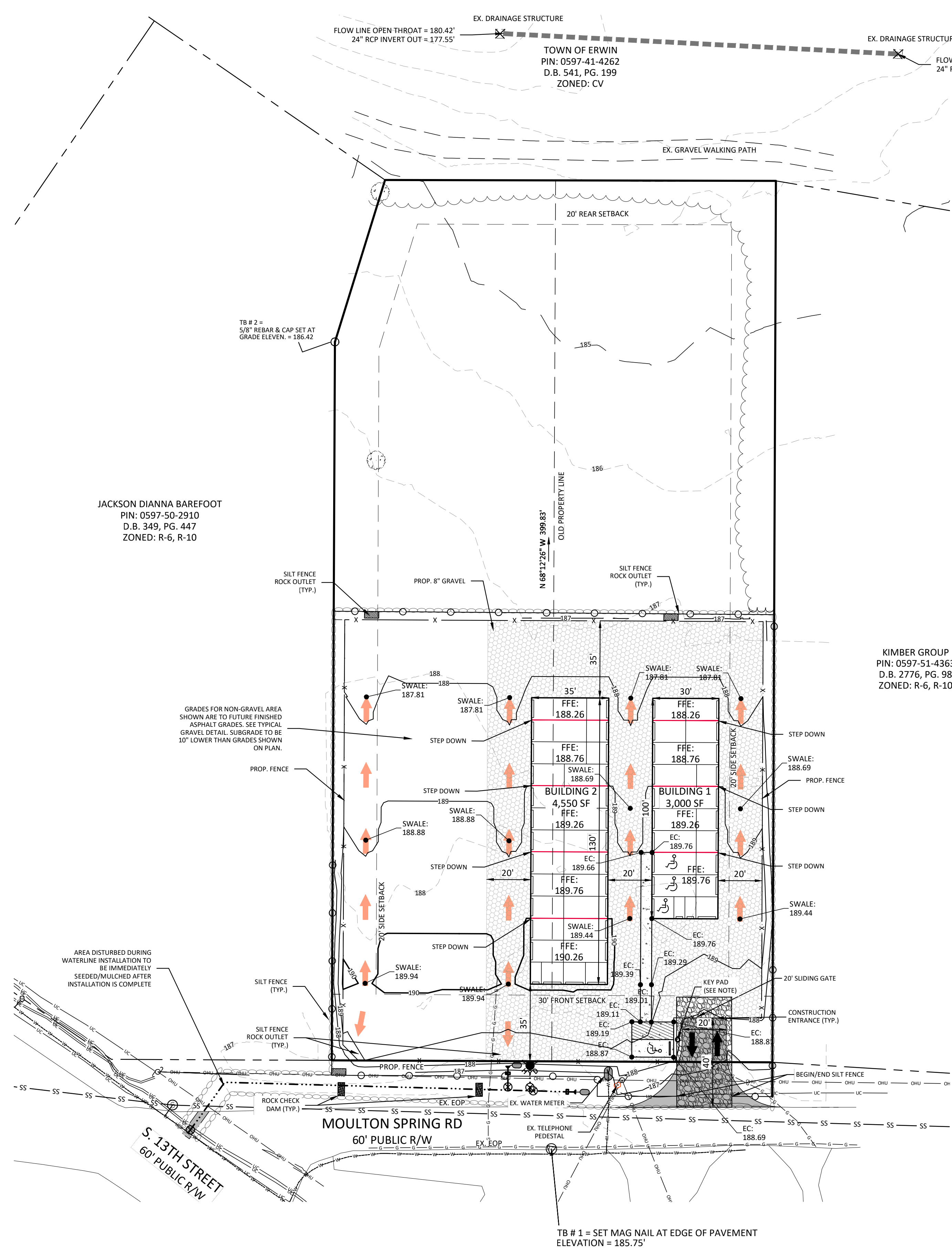
OWNER & DEVELOPER INFORMATION:
AIKEN KEPLER
721 ANCIENT OAKS DR.
HOLLY SPRINGS, NC 27540-8330

PROJECT LOCATION:
STATE: NORTH CAROLINA
COUNTY: HARNETT
TOWNSHIP: ERWIN

NO.	DATE	REVISION NOTE
1	08-28-24	ARCHITECTURAL & GRADING REVISION

DRAWN BY: WVC
CHECKED BY: ARS
DATE: 04-23-2024
PROJECT NO.: 1104-02
REF. NO.:
SCALE: 1"=30'

C3
3 OF 5



- EROSION CONTROL NOTES:** (ALSO SEE DETAIL SHEETS)
- PROPOSED DISTURBED AREA: 0.93 AC
 - THE EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHOWN ON THE DRAWINGS ARE INTENDED AS A GUIDE. AS GRADING PROGRESSES, MEASURES MAY BE ADDED OR DELETED BY THE EROSION CONTROL OFFICER AS DEEMED NECESSARY TO CONTROL EROSION AND SEDIMENTATION. IF GRADING CONTRACTOR FEELS THAT ADDITIONAL MEASURES ARE NEEDED OTHER THAN THOSE INDICATED, GRADING CONTRACTOR SHOULD CONTACT THE OWNER AND ENGINEER IMMEDIATELY FOR APPROVAL OF THE CHANGES.
 - ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NCDOT - LAND QUALITY SECTIONS 'EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL.'
 - ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE NPDES GROUND COVER REQUIREMENTS AS SHOWN ON DETAIL SHEETS.
 - ROUGHEN SLOPE SURFACES TO MINIMIZE EROSION DURING VEGETATION ESTABLISHMENT.
 - STRUCTURAL FILL COMPACTION NOTE-AREAS OUTSIDE OF PUBLIC RIGHT OF WAY (REFER TO NCDOT OR TOWN OF ERWIN STANDARDS FOR AREA WITHIN PUBLIC RIGHT OF WAY) THE CONTRACTOR SHALL REMOVE AND OR UNDERCUT UNSUITABLE SOILS AT THE DIRECTION OF A CERTIFIED TESTING FIRM PAID BY THE OWNER FOR ALL STRUCTURAL FILL/TRENCH AREAS. ALL STRUCTURAL FILL AND UNDERGROUND TRENCH AREAS SHALL BE FILLED IN LAYERS SIX INCHES (6") DEEP AND THOROUGHLY COMPACTED WITH MECHANICAL COMPACTORS TO ATTAIN 90% STANDARD PROCTER. COMPACTION TESTING OF THE BACKFILL SHALL BE PROVIDED BY A CERTIFIED TESTING FIRM AND PAID FOR BY THE OWNER FOR EACH FILL LOT AND OR TRENCH AREA.
- KEY PAD NOTE:**
KNOX BOX WILL BE PROVIDED TO ALLOW FOR EMERGENCY SERVICE OPERATION OF THE GATE. OWNER TO COORDINATE WITH HARNETT COUNTY FIRE ON GATE OPERATION.
- GRADING NOTE:**
GRADES FOR DRIVE AISLES ADJACENT TO BUILDINGS TO BE A MIN. 1.5" LOWER THAN FFE TO ACCOUNT FOR WEATHER NOTCH AT ALL ROLL-UP DOORS.

NOTES:
THIS MAP DOES NOT MEET G.S. 47-30 AND IS NOT FOR RECORDING.
THIS PROPERTY IS SUBJECT TO ANY EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY OF RECORD PRIOR TO THE DATE OF THIS MAP AND WHICH WERE NOT VISIBLE AT THE TIME OF INSPECTION.
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BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY FOR AIKEN KEPPLER, BY VANDEHOOD SURVEYING, P.L.C. DATED: 08/02/2023.
NO SURVEYING OR SUBSURFACE INVESTIGATIONS PERFORMED BY STOLTZBUS ENGINEERING, INC.

PARCEL DATA:
TOTAL ACREAGE: 1.816 AC +/-
PIN: 0597-51-3059
DEED REF: DB: 4181 PG. 2640
PLAT REF: PB: 2023 PG. 387
EXISTING ZONING: B-2
EXISTING USE: RESIDENTIAL
PROPOSED USE: COMMERCIAL, SELF-STORAGE

BUILDING SETBACKS:
FRONT: 30'
SIDE: 20' WHERE LOT ABUTS RESIDENTIALLY ZONED LOT
REAR: 20'
SIDE STREET: N/A

PARKING INFORMATION:
1 ADA SPACE REQUIRED, 1 ADA SPACE PROVIDED

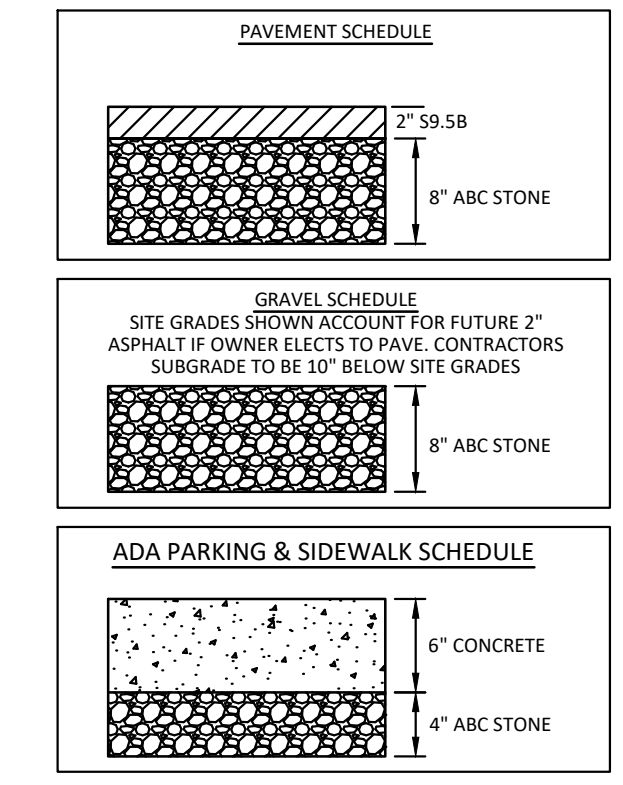
WATERSHED INFORMATION:
THIS PROPERTY IS NOT LOCATED IN A WATER SUPPLY WATERSHED PER NCDEQ.

FLOOD INFORMATION:
THIS PROPERTY IS NOT LOCATED IN A FLOOD RISK ZONE PER NCFRIS.NC.GOV, MAP # 3720059700, PANEL 0597, DATED 10-03-2006.

BLA:
EXISTING BUA WAS PULLED FROM AERIAL PRIOR TO 2007 [1993 DIGITAL ORTHO QUARTER-QUAD IMAGERY (USGS)].

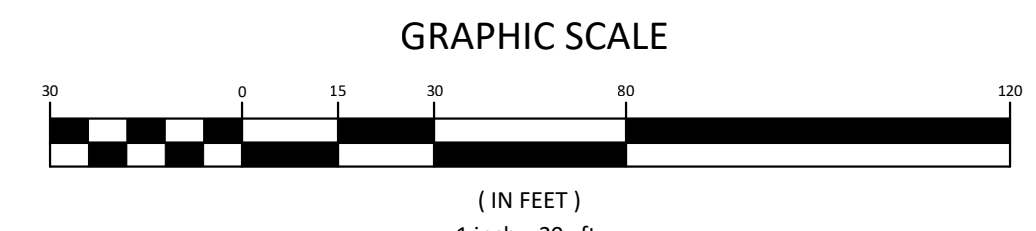
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EX. GRAVEL: 1,601 S.F. (2.02%)
EX. CONC.: 73 S.F. (0.09%)
TOTAL EX. IMPERVIOUS: 7,811 S.F. (9.87%)

PROP. BUILDINGS: 7,550 S.F. (9.54%)
PROP. ASPHALT: 405 S.F. (0.51%)
PROP. CONCRETE: 587 S.F. (0.87%)
TOTAL PROP. IMPERVIOUS: 24,594 S.F. (47.34%)



LEGEND

	WATER METER BOX (WM)		FIRE HYDRANT (HYD)
	WATER VALVE (WV)		SANITARY SEWER MANHOLE (SSMH)
	STORM MANHOLE (STMH)		CLEAN OUT
	UTILITY POLE		DEED BOOK
	LIGHT POLE		PLAT BOOK
	GROUND LIGHT		PAGE
	GUY WIRE		RIGHT-OF-WAY
	YARD INLET (YI)		EDGE OF PAVEMENT
	GAS VALVE		EDGE OF GRAVEL
	OVERHEAD POWER LINE		CONCRETE
	GAS LINE		REINFORCED CONCRETE PIPE
	WATER LINE		DROP INLET
	UNDERGROUND ELECTRICAL		CURB INLET
	FENCE LINE		FINISH FLOOR ELEVATION
	WOODSOIL LINE (TYP.)		BASEMENT
			TELEPHONE PEDESTAL
			TELEPHONE HAND HOLD
			DRAINAGE MAINTENANCE & UTILITY EASEMENT
			PROP. DISTURBED LIMITS
			TEMP. DIVERSION BERM
			DRAINAGE SWALE



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Civil Engineering Consultants

STORE-IT-SAFE SELF-STORAGE, ERWIN, NC

GRADING & EROSION PLAN

OWNER & REVIEWER INFORMATION:
AIKEN KEPPLER
721 ANCIENT OAKS DR.
HOLLY SPRINGS, NC 27540-8330

PROJECT LOCATION:
STATE: NORTH CAROLINA
COUNTY: HARNETT
TOWNSHIP: ERWIN

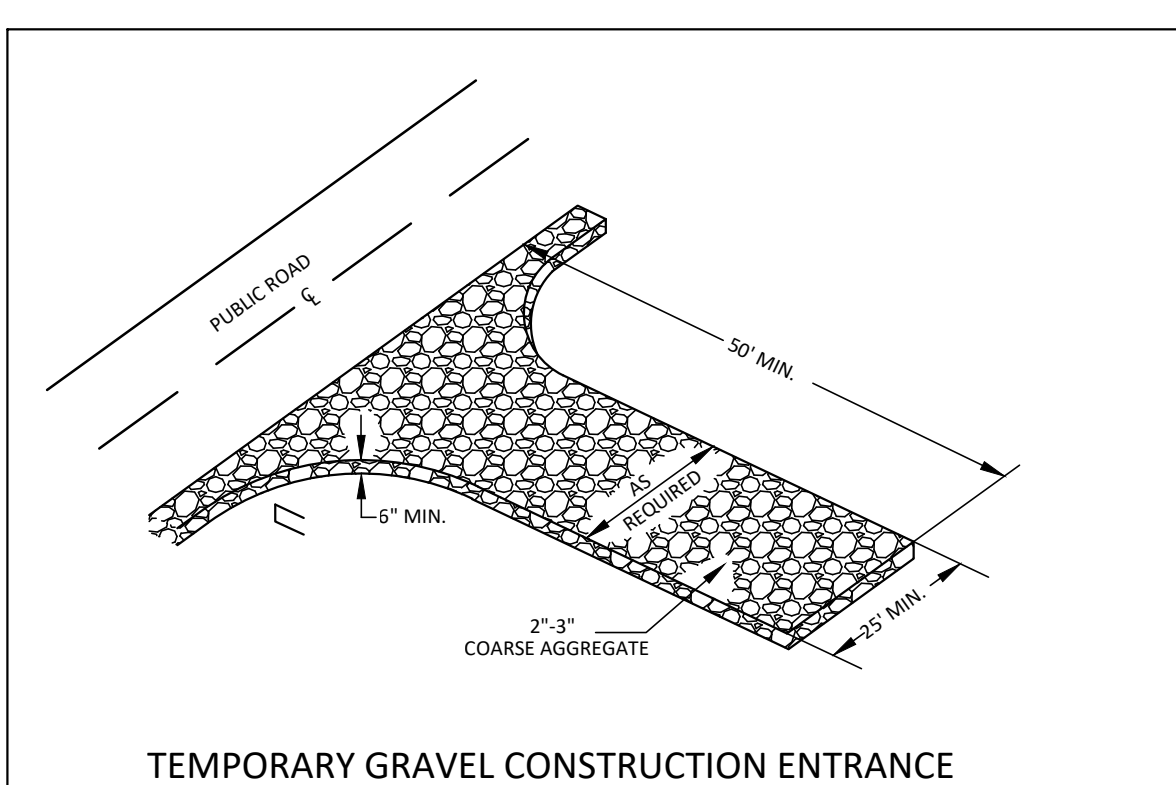
NO.	DATE	REVISION NOTE
1	08-28-24	ARCHITECTURAL & GRADING REVISION

DRAWN BY: VVC
CHECKED BY: ARS
DATE: 04-23-2024
PROJECT NO.: 1104-02
REF. NO.:
SCALE: 1"=30'

C4
4 OF 5

PROJECT FILE PATH: \\SEI-Projects\1104-02\Grading\Store-It-Safe.dwg

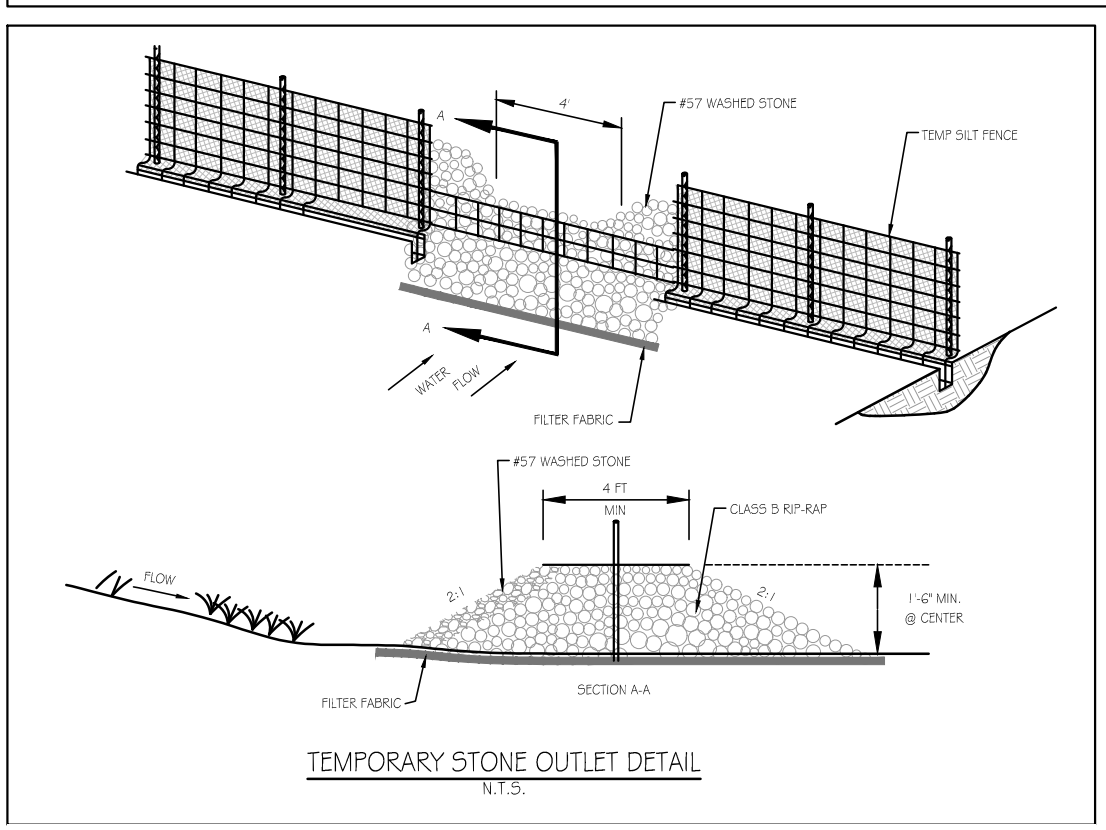
ADEN R. STOLTZBUS
Professional Engineer
08/28/2024



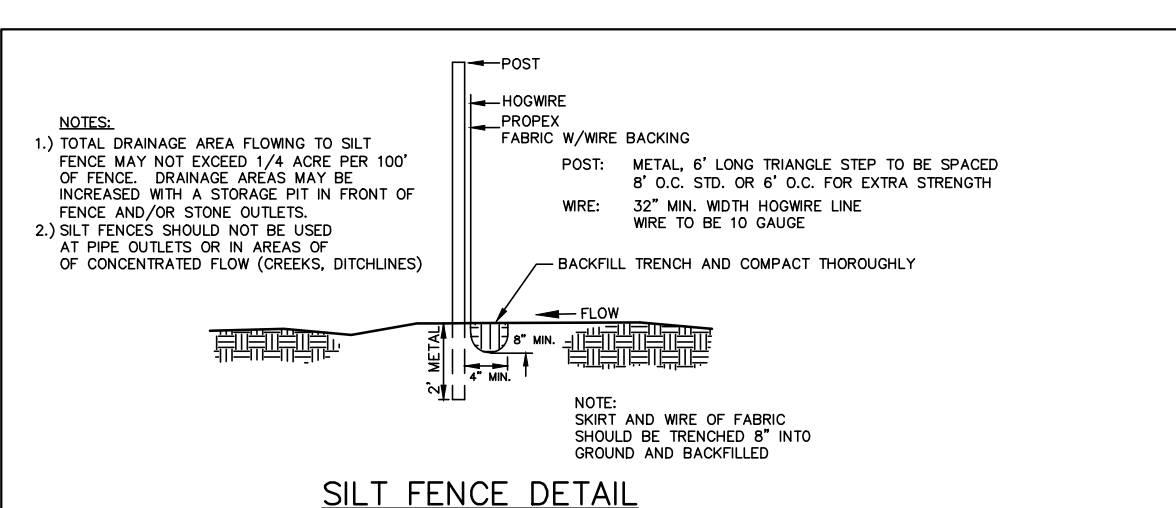
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
N.T.S.

- CONSTRUCTION SPECIFICATIONS:**
1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND PROPERLY GRADE IT.
 2. PLACE THE GRAVEL TO THE SPECIFIED GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.
 3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
 4. USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

MAINTENANCE
MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 1/2 INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED OR TRACKED ONTO PUBLIC ROADWAYS.



TEMPORARY STONE OUTLET DETAIL
N.T.S.



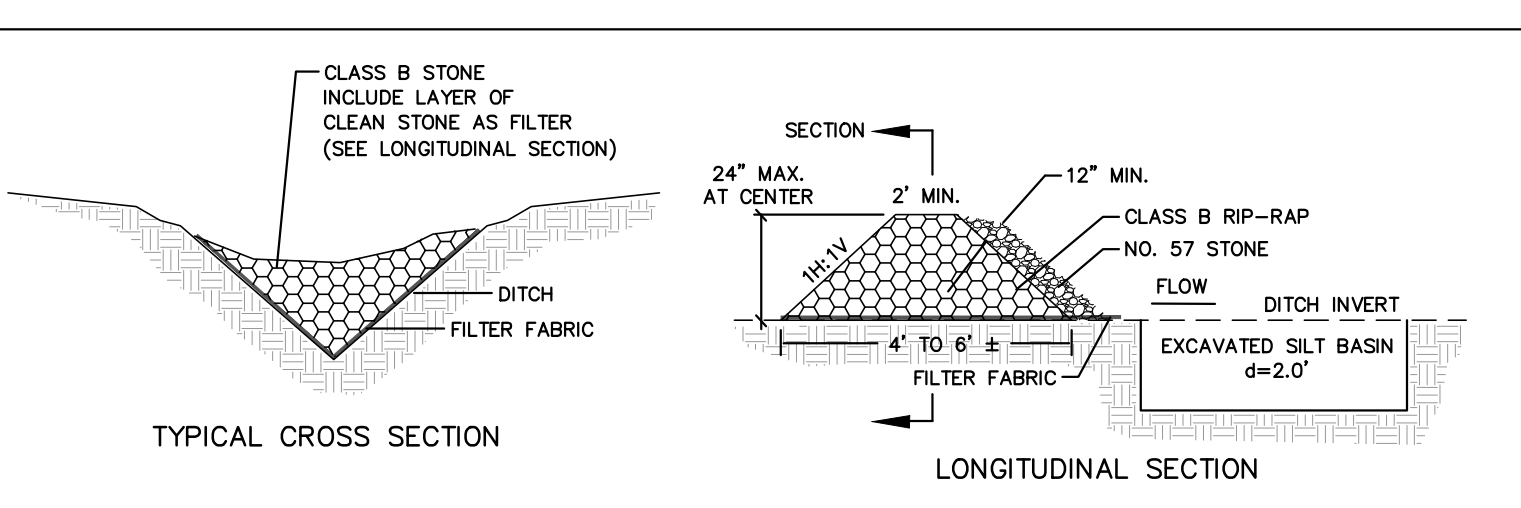
SILT FENCE DETAIL
N.T.S.

MAINTENANCE
RESPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

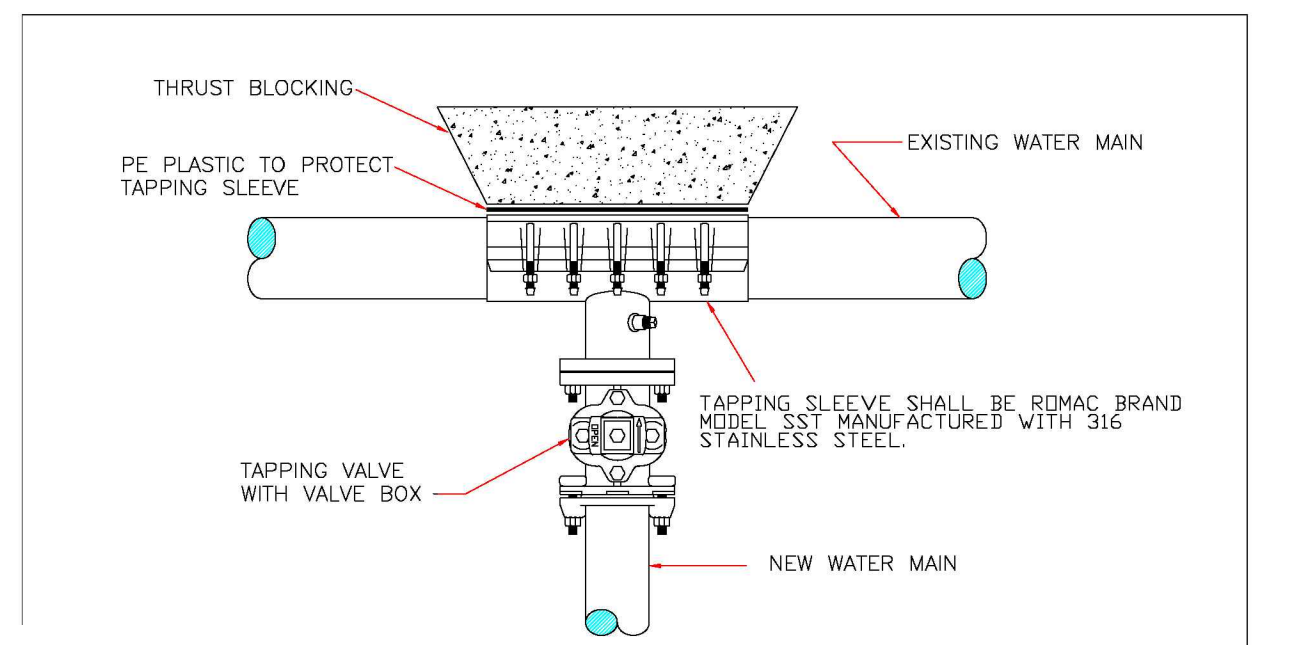
REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

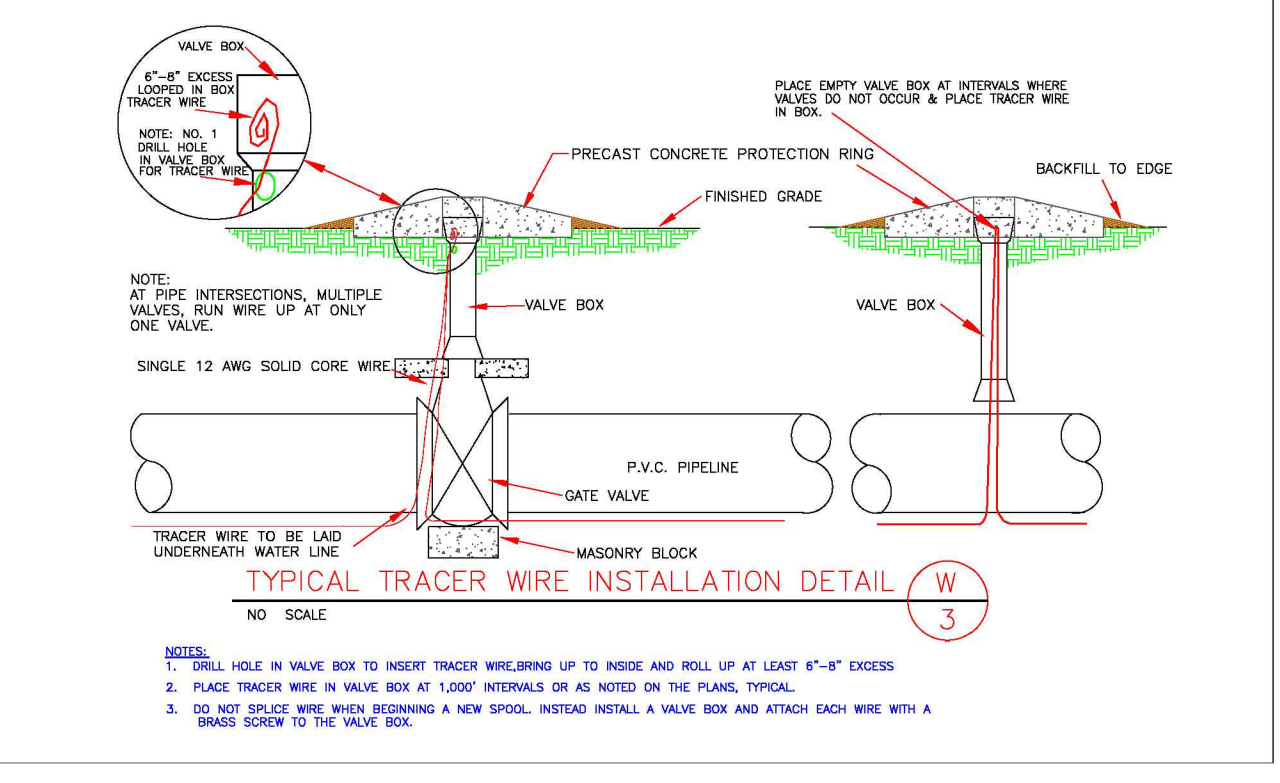
Silt Fence Materials
Use a synthetic filter fabric of at least 95% by weight of polyolefins or polyester, which is certified by the manufacturer or supplier as conforming to the requirements in ASTM D 6461.
Synthetic filter fabric should contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0 degrees to 120 degrees Fahrenheit.
Ensure that posts for sediment fences are 1.33 lb/linear ft minimum steel with a minimum length of 5 feet. Make sure that steel posts have projections to facilitate fastening the fabric.
For reinforcement of standard strength filter fabric, use wire fence with a minimum 14 gauge and a maximum mesh spacing of 6 inches.



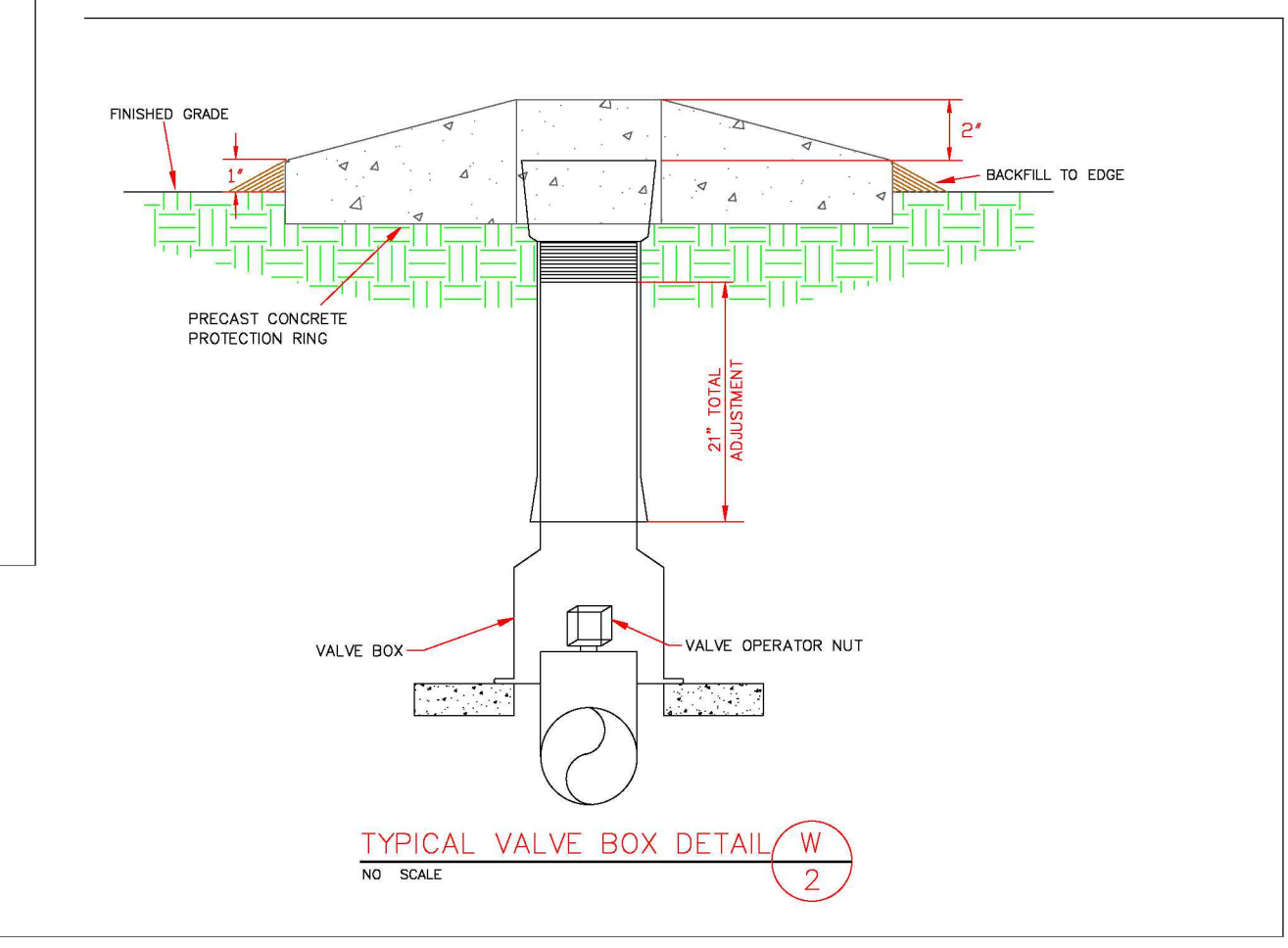
TEMPORARY ROCK CHECK DAM DETAIL AS (REQUIRED)
N.T.S.



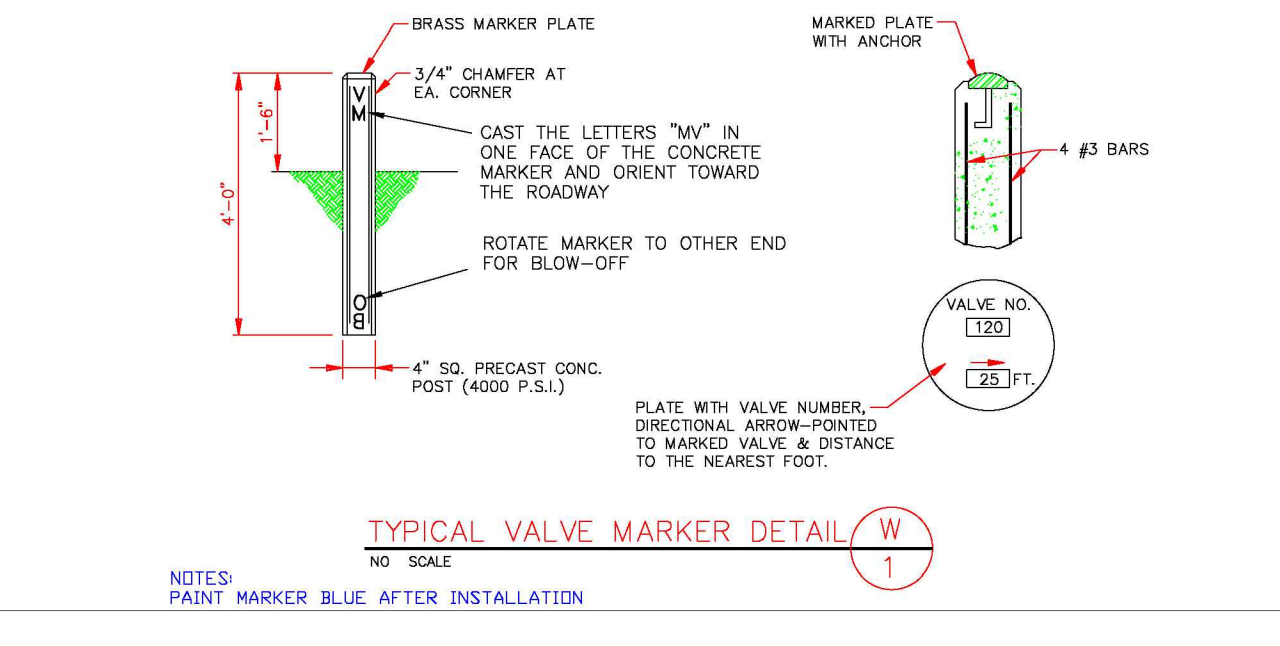
TYPICAL TAPPING SLEEVE AND VALVE ASSEMBLY DETAIL W
NO SCALE



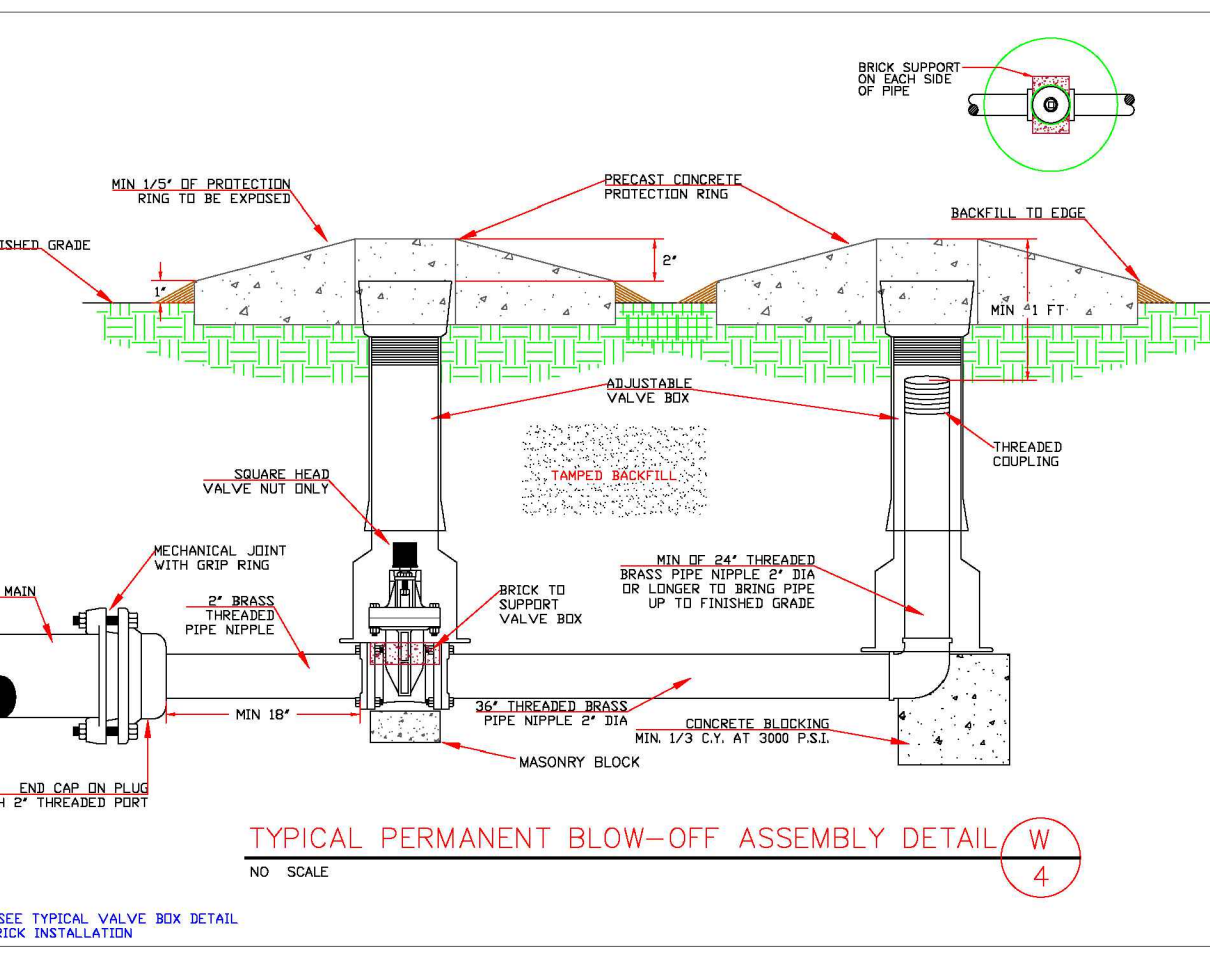
TYPICAL TRACER WIRE INSTALLATION DETAIL W
NO SCALE



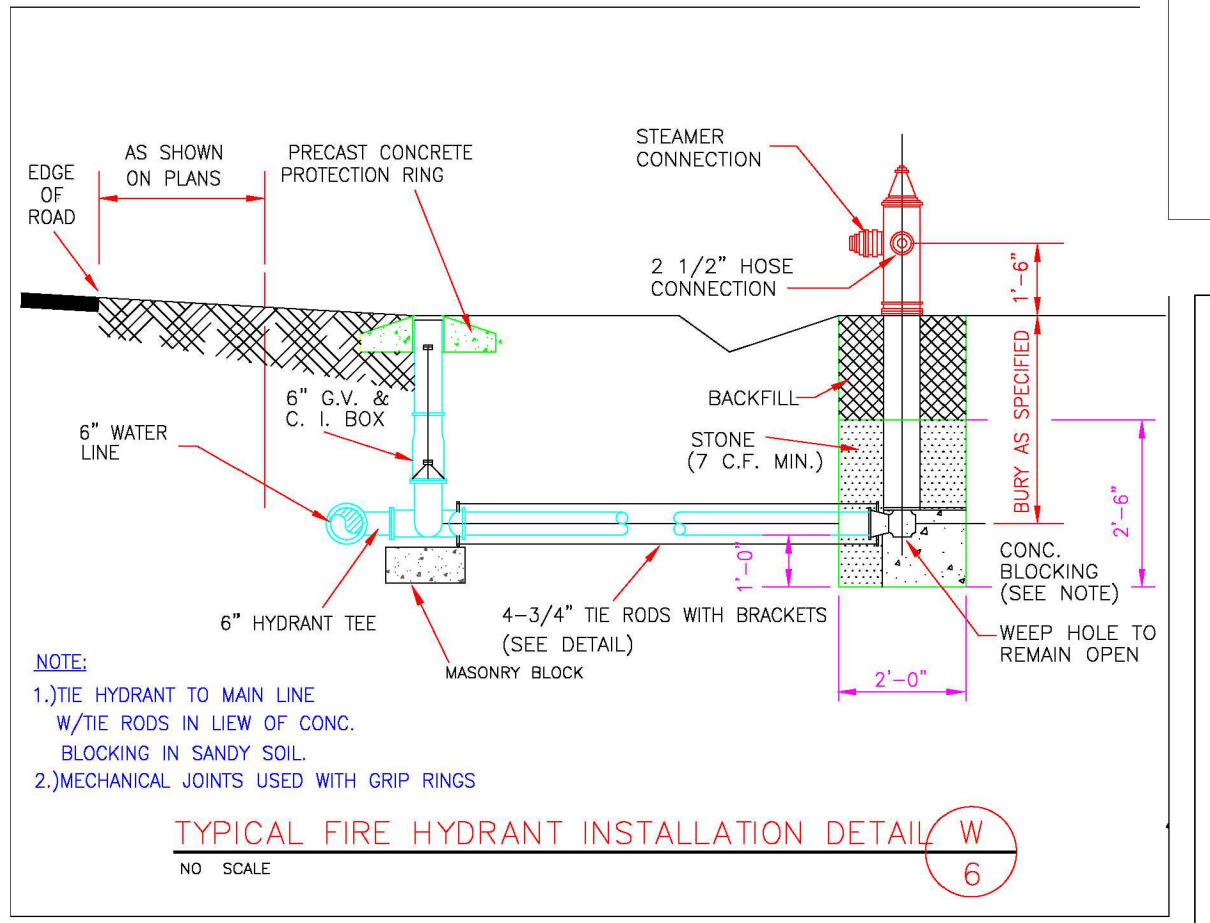
TYPICAL VALVE BOX DETAIL W
NO SCALE



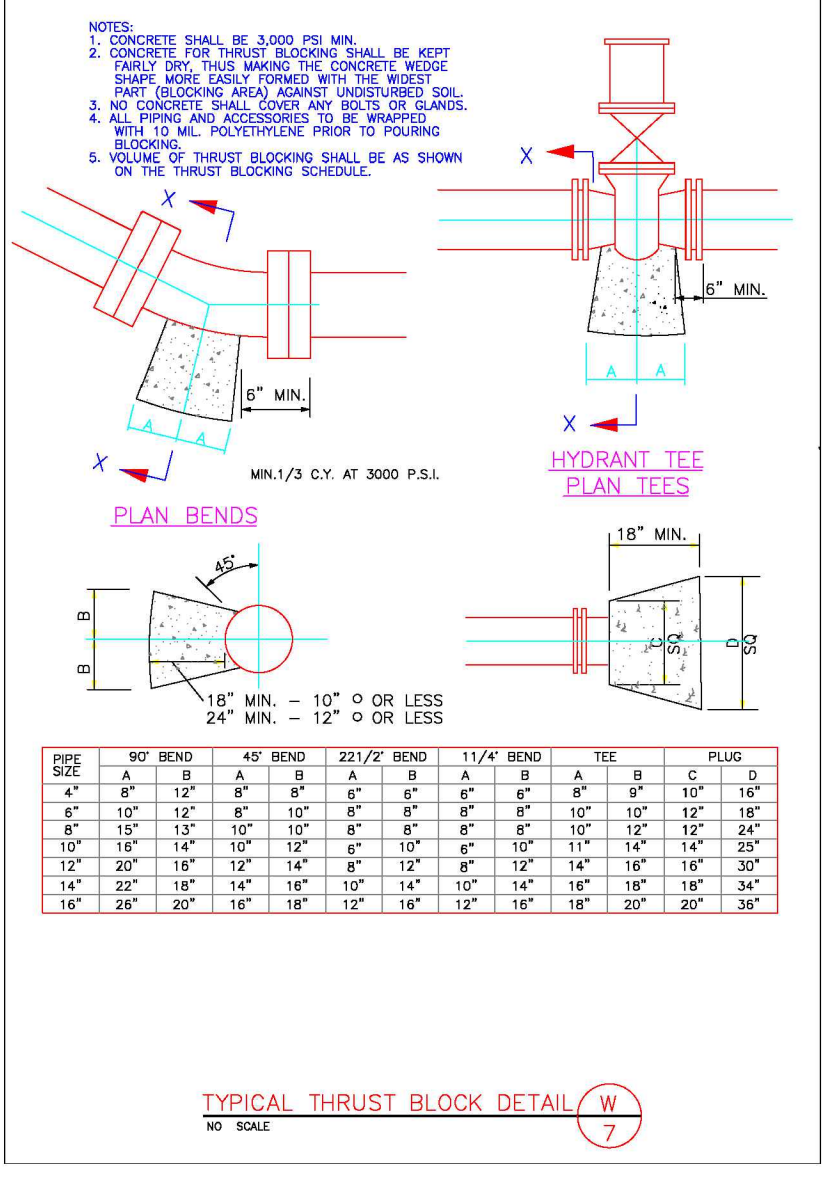
TYPICAL VALVE MARKER DETAIL W
NO SCALE



TYPICAL PERMANENT BLOW-OFF ASSEMBLY DETAIL W
NO SCALE



TYPICAL FIRE HYDRANT INSTALLATION DETAIL W
NO SCALE



TYPICAL THRUST BLOCK DETAIL W
NO SCALE

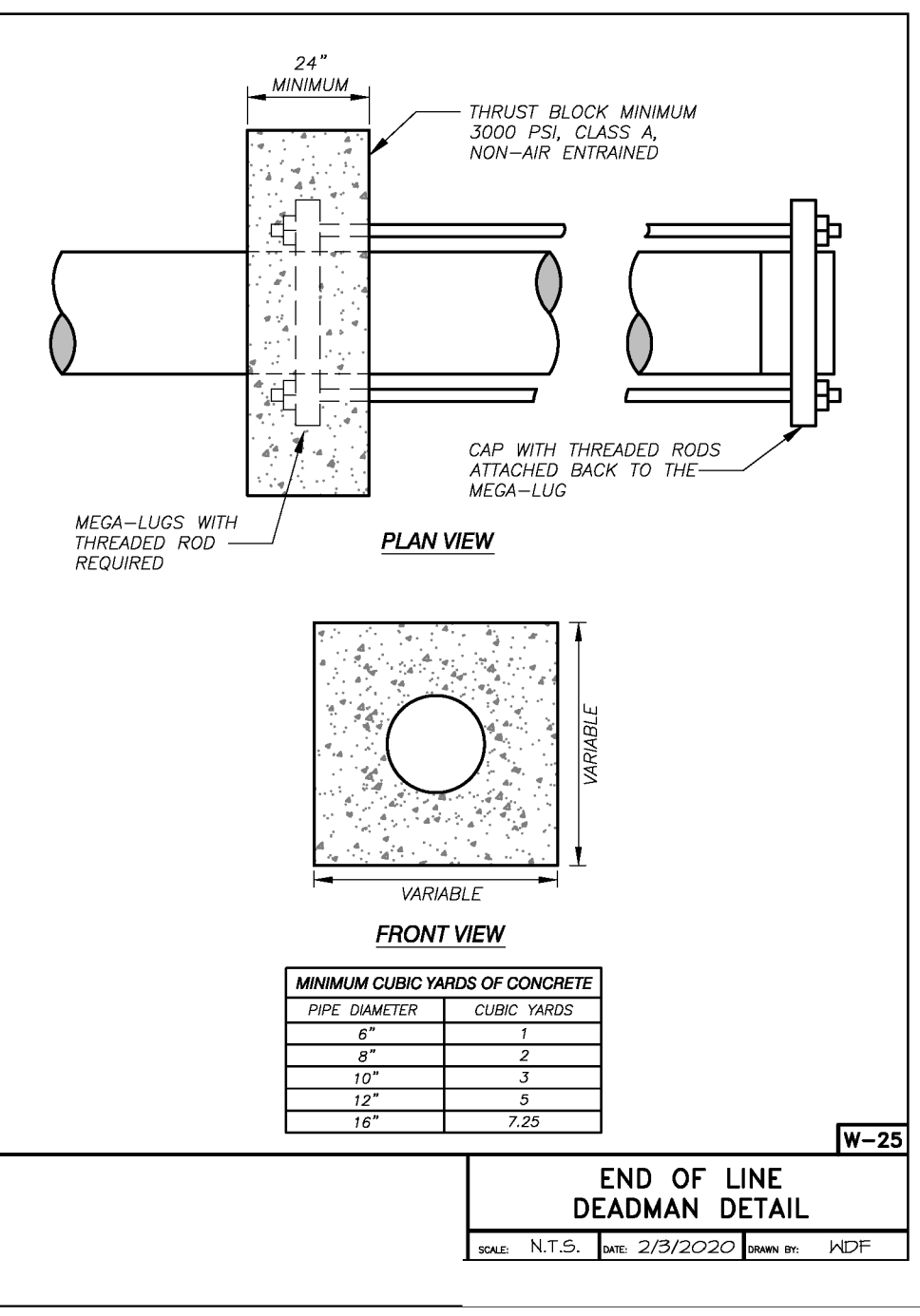
EROSION CONTROL
Products
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EVANSVILLE, IN 47725
800-772-2040
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SLOPE INSTALLATION

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECP'S EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.
3. ROLL THE RECP'S (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.
5. CONSECUTIVE RECP'S SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.

NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.



TEMPORARY SEEDING RECOMMENDATIONS FOR SUMMER

SEEDING MIXTURE
SPECIES: GERMAN MILLET, PLEASANT MOUNTAIN, SMALL-STEMMED SUDAGRASS
RATE (LB/ACRE): 40

SEEDING DATES
MOUNTAINS: MAY 15 - AUGUST 15
PLEASANT: MAY 1 - AUGUST 15
COASTAL PLAIN: APRIL 15 - AUGUST 15

SOIL AMENDMENTS
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER

MULCH
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

SEEDING FOR GRASS-LINED SWALES

SEEDING MIXTURE
SPECIES: TALL FESCUE
RATE (LB/ACRE): 200 (4-5 LB/1,000 SQ. FT.)

NURSE PLANTS
BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE SUDAGRASS OR 10 LB/ACRE GERMAN MILLET. PRIOR TO MAY 1, OR AFTER AUGUST 15, ADD 40 LB/ACRE RYE (GRAIN).

SEEDING DATES
BEST: AUGUST 25 - OCTOBER
POSSIBLE: FEBRUARY - APRIL 15
AVOID SEEDING FROM NOVEMBER TO JANUARY. IF SEEDING MUST BE DONE AT THIS TIME, ADD 40 LB/ACRE RYE GRAIN AND USE A CHANNEL LINING THAT OFFERS MAXIMUM PROTECTION.

SOIL AMENDMENTS
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER. OPERATE TILLAGE EQUIPMENT ACROSS THE WATERWAY.

MULCH
USE A ROLLED EROSION CONTROL PRODUCT TO COVER THE BOTTOM OF CHANNELS AND DITCHES, AND STAPLE SECURELY. THE LINING SHOULD EXTEND ABOVE THE HIGHEST CALCULATED DEPTH OF FLOW. ON CHANNEL SLOPES ABOVE THIS HEIGHT, AND IN DRAINAGES NOT REQUIRING TEMPORARY LININGS, APPLY 4,000 LB/ACRE GRAIN STRAW AND ANCHOR STRAW BY STAPLING NETTING OVER THE TOP. MULCH AND ANCHORING MATERIALS MUST NOT BE ALLOWED TO WASH DOWN SLOPES WHERE THEY CAN CAUSE DAMAGE DEVICES.

MAINTENANCE
INSPECT AND REPAIR MULCH FREQUENTLY. RE-FERTILIZE IN LATE WINTER OF THE FOLLOWING YEAR. USE SOIL TESTS OR APPLY 150 LB/ACRE 10-10-10. MOW REGULARLY TO A HEIGHT OF 2-4 INCHES.

PERMANENT SEEDING FOR GENTLE SLOPES, AVERAGE SOIL, LOW MAINTENANCE

SEEDING MIXTURE
SPECIES: TALL FESCUE, SERICEA LESPEDEZA, KOBE LESPEDEZA
RATE (LB/ACRE): 80, 30, 10

SEEDING NOTES
1. AFTER AUGUST 15 USE UNCAIRBRED SERICEA SEED.
2. WHERE PERIODIC MOWING IS PLANNED OR A MOW APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE LESPEDEZA TO 40 LB/ACRE.
3. TO EXTEND SPRING SEEDING DATES INTO WINTER, ADD 15 LB/ACRE HULLED BERMAUDGRASS. HOWEVER, AFTER MID-APRIL IT IS PREFERABLE TO SEED TEMPORARY COVER.

NURSE PLANTS
BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE GERMAN MILLET OR 15 LB/ACRE SUDAGRASS. PRIOR TO MAY 1 OR AFTER AUGUST 15, ADD 40 LB/ACRE RYE (GRAIN).

SEEDING DATES
FALL: AUGUST 25 - SEPTEMBER 15
LATER WINTER: FEBRUARY 15 - MARCH 21
FALL IS BEST FOR TALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVERSEEDING OF KOBE LESPEDEZA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE.

SOIL AMENDMENTS
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH
APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCHING MATERIAL. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROLLING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

PERMANENT SEEDING FOR STEEP SLOPES OR POOR SOILS, LOW MAINTENANCE

SEEDING MIXTURE
SPECIES: TALL FESCUE, SERICEA LESPEDEZA, KOBE LESPEDEZA
RATE (LB/ACRE): 100, 30, 10

SEEDING NOTES
1. IN EASTERN PIEDMONT ADD 25 LB/ACRE PENSACOLA BAHIAGRASS OR 10 LB/ACRE COMMON BERMAUDGRASS. USE COMMON BERMAUDGRASS ONLY WHERE IT IS UNLIKELY TO BECOME A PEST.
2. AFTER AUGUST 15, USE UNCAIRBRED SERICEA SEED.
3. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND SUBSTITUTE 40 LB/ACRE BAHIAGRASS OR 15 LB/ACRE BERMAUDGRASS.
4. TO EXTEND SPRING SEEDING DATES INTO WINTER, ADD 15 LB/ACRE HULLED BERMAUDGRASS. HOWEVER, IT IS PREFERABLE TO SEED TEMPORARY COVER AND SEED FESCUE IN SEPTEMBER.

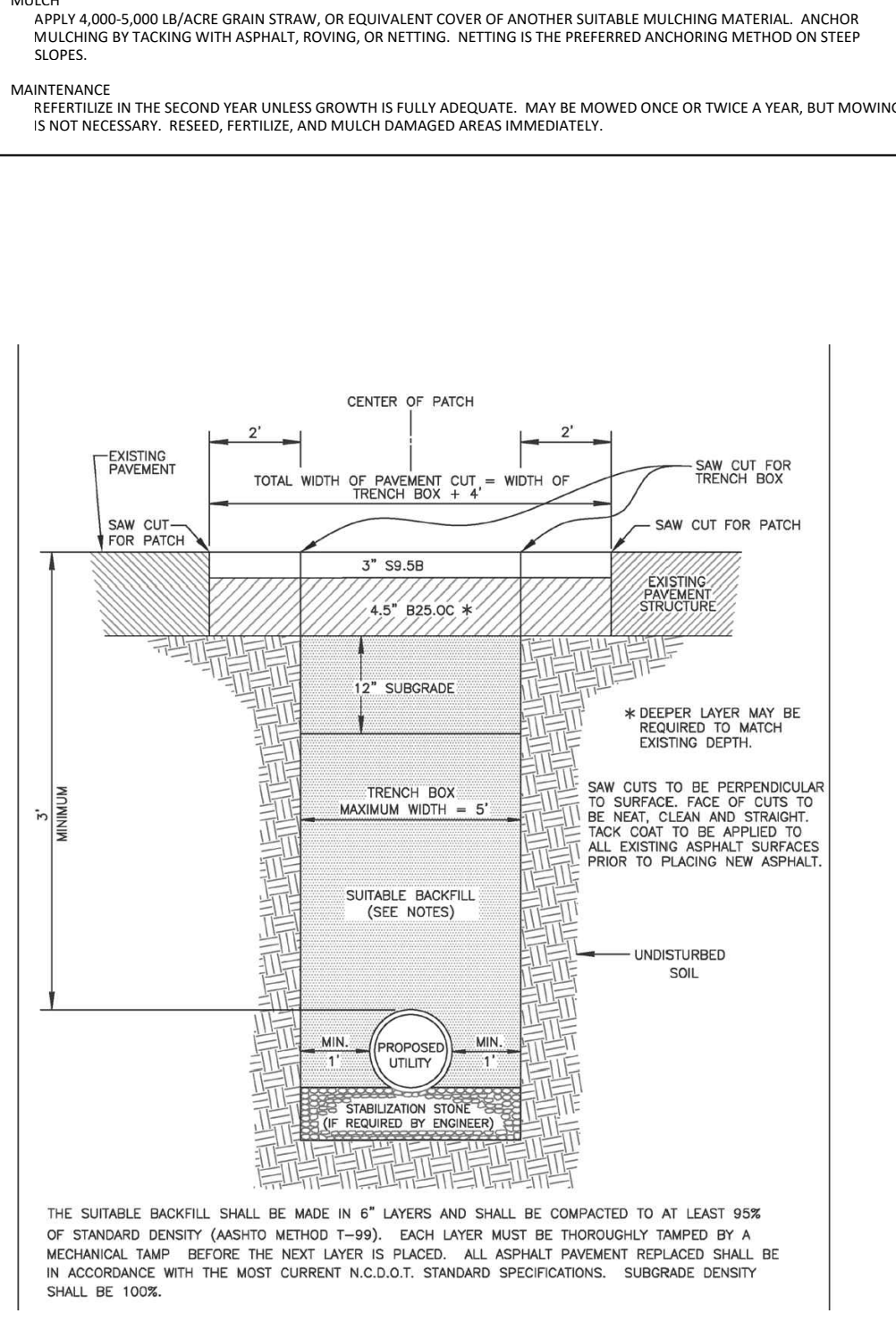
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SEEDING DATES
FALL: AUGUST 25 - SEPTEMBER 15
LATER WINTER: FEBRUARY 15 - MARCH 21
FALL IS BEST FOR TALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVERSEEDING OF KOBE LESPEDEZA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE. USE UNHULLED BERMAUDGRASS SEED IN FALL.

SOIL AMENDMENTS
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH
APPLY 4,000-5,000 LB/ACRE GRAIN STRAW, OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCHING MATERIAL. ANCHOR MULCHING BY TACKING WITH ASPHALT, ROLLING, OR NETTING. NETTING IS THE PREFERRED ANCHORING METHOD ON STEEP SLOPES.

MAINTENANCE
REFERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.



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Civil Engineering Consultants

STORE-IT-SAFE SELF-STORAGE, ERWIN, NC

DETAILS

OWNER & DESIGNER INFORMATION:
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721 ANCIENT OAKS DR.
HOLLY SPRINGS, NC 27540-8330

PROJECT LOCATION:
STATE ST. & W. 10TH AVE
COUNTY: HARRETT
TOWNSHIP: ERWIN

REVISION NOTE

NO.	DATE	REVISION
1	08-28-24	ARCHITECTURAL & GRADING REVISION

DRAWN BY: WVC
CHECKED BY: ARS
DATE: 04-23-2024
PROJECT NO.: 1104-02
REF. NO.:
SCALE: NTS

C5
5 OF 5