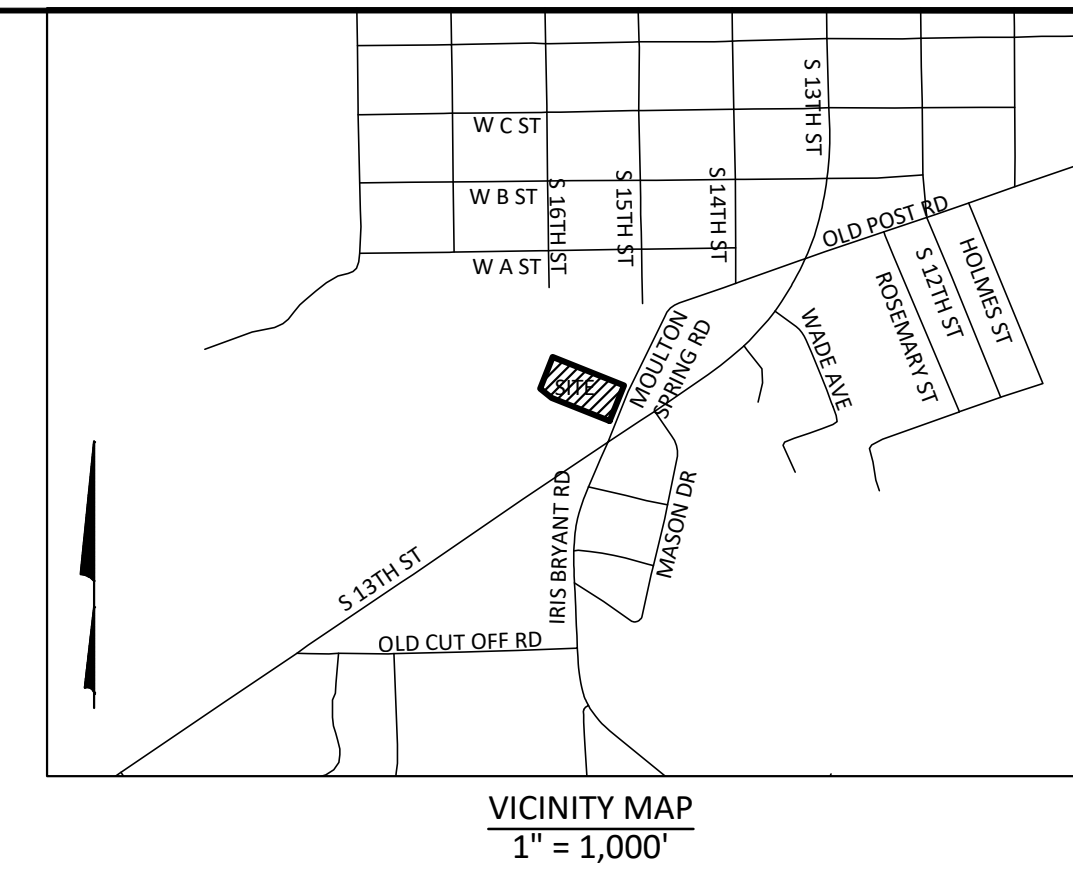
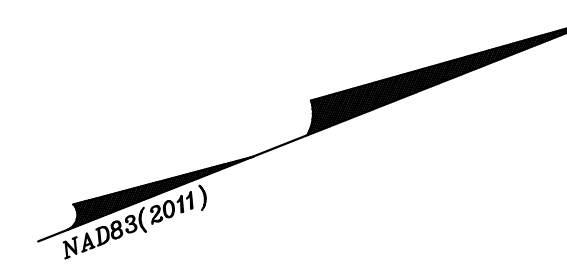


STORE-IT-SAFE SELF-STORAGE

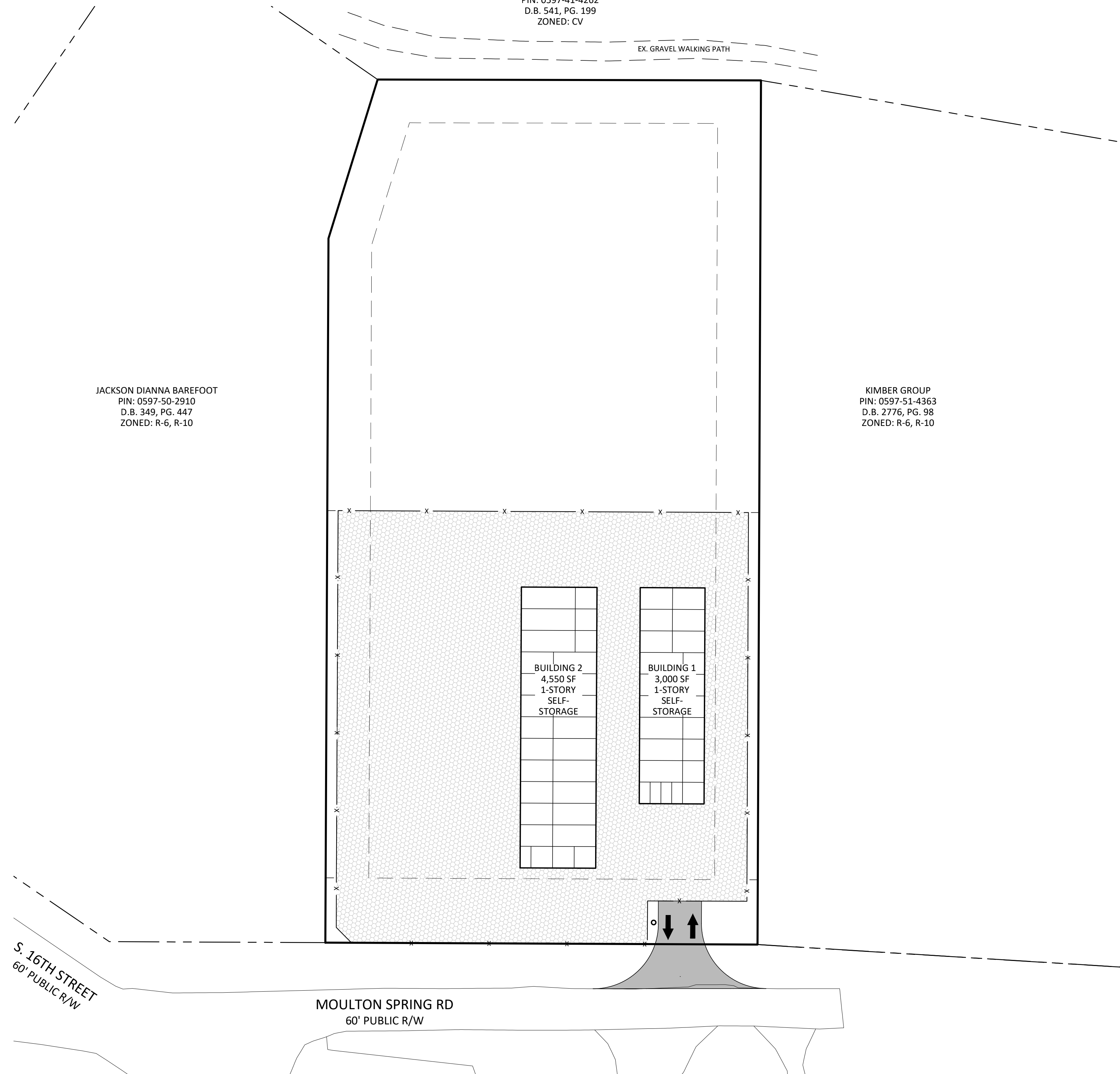
TOWN OF ERWIN HARNETT COUNTY, NORTH CAROLINA



Aden R. Stoltzfus, PE C-3812
 aden@seiengineering.com
 336-904-0207
 683 Gralin Street
 Kernersville, NC 27284



TOWN OF ERWIN
 PIN: 0597-41-4262
 D.B. 541, PG. 199
 ZONED: CV



NOTES:
 THIS MAP DOES NOT MEET G.S. 47-30 AND IS NOT FOR RECORDING.
 THIS PROPERTY IS SUBJECT TO ANY EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY OF RECORD PRIOR TO THE DATE OF THIS MAP AND WHICH WERE NOT VISIBLE AT THE TIME OF INSPECTION.
 THIS MAP WAS PREPARED WITH OUT THE BENEFIT OF A TITLE REPORT AND DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES UPON THIS PROPERTY.
 BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY FOR AKEN KEPPLER, BY VANDERHOOF SURVEYING, PLLC.
 NO SURVEYING OR SUBSURFACE INVESTIGATIONS PERFORMED BY STOLTZFUS ENGINEERING, INC.

PARCEL DATA:
 TOTAL ACREAGE: 1.816 AC. +/-
 PIN: 0597-51-3059
 DEED REF: DB. 4181 PG. 2640
 PLAT REF: PG. 2023 PG. 387
 EXISTING ZONING: B-2
 EXISTING USE: RESIDENTIAL
 PROPOSED USE: COMMERCIAL, SELF-STORAGE

BUILDING SETBACKS:
 FRONT: 30'
 SIDE: 20' WHERE LOT ABUTS RESIDENTIALLY ZONED LOT
 REAR: 20'
 SIDE STREET: N/A

WATERSHED INFORMATION:
 THIS PROPERTY IS NOT LOCATED IN A WATER SUPPLY WATERSHED PER NCDEQ.

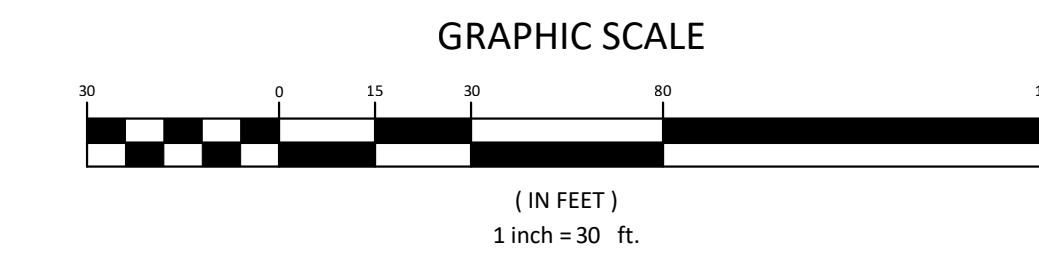
FLOOD INFORMATION:
 THIS PROPERTY IS NOT LOCATED IN A FLOOD RISK ZONE PER NCFRIS.NC.GOV, MAP # 3720059700, PANEL 0597, DATED 10-03-2006.

DRAWING INDEX:

COVER SHEET	C1
EXISTING CONDITIONS AND CLEARING PLAN	C2
SITE, UTILITY & LANDSCAPING PLAN	C3
GRADING, DRAINAGE & EROSION CONTROL PLAN	C4
DETAILS	C5

LEGEND

WATER METER BOX (WM)	FIRE HYDRANT (HYD)
WATER VALVE (WV)	SANITARY SEWER MANHOLE (SSMH)
STORM MANHOLE (STMH)	CLEAN OUT
UTILITY POLE	DEED BOOK
LIGHT POLE	PLAT BOOK
GROUND LIGHT	PAGE
GUY WIRE	R/W RIGHT-OF-WAY
YARD VALVE (YV)	E/P EDGE OF PAVEMENT
GAS VALVE	E/GS EDGE OF GRAVEL
OVERHEAD POWER LINE	CONC CONCRETE
GAS LINE	RCP REINFORCED CONCRETE PIPE
WATER LINE	DI DROP INLET
UNDERGROUND ELECTRICAL	CI CURB INLET
FENCE LINE	FFE FINISH FLOOR ELEVATION
WOODSLOPE (TYP.)	BSMT BASEMENT
	TYPED TELEPHONE PREDESTAL
	THH TELEPHONE HAND HOLD
	DMUE DRAINAGE MAINTENANCE & UTILITY EASEMENT
	FOUND IRON PIPE
	SET IRON PIN
	COMPLETED POINT
	CONCRETE MONUMENT
	CH = CHORD
	R/W = RIGHT OF WAY
	P.B. = PLAT BOOK
	D.B. = DEED BOOK
	PG. = PAGE
	DE = DRAINAGE ESMT.
	CE = COMMON ELEMENTS



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DRAWINGS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE SPECIFIC WRITTEN CONSENT OF THE ENGINEER.

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STORE-IT-SAFE SELF-STORAGE, ERWIN, NC
 COVER PAGE

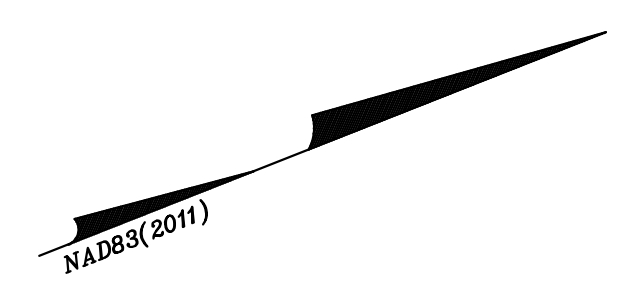
REVISION NOTE

NO.	DATE	REVISION

DRAWN BY: WVC
 CHECKED BY: ARS
 DATE: 04-23-2024
 PROJECT NO.: 1104-02
 REF. NO.:
 SCALE: 1"=30'



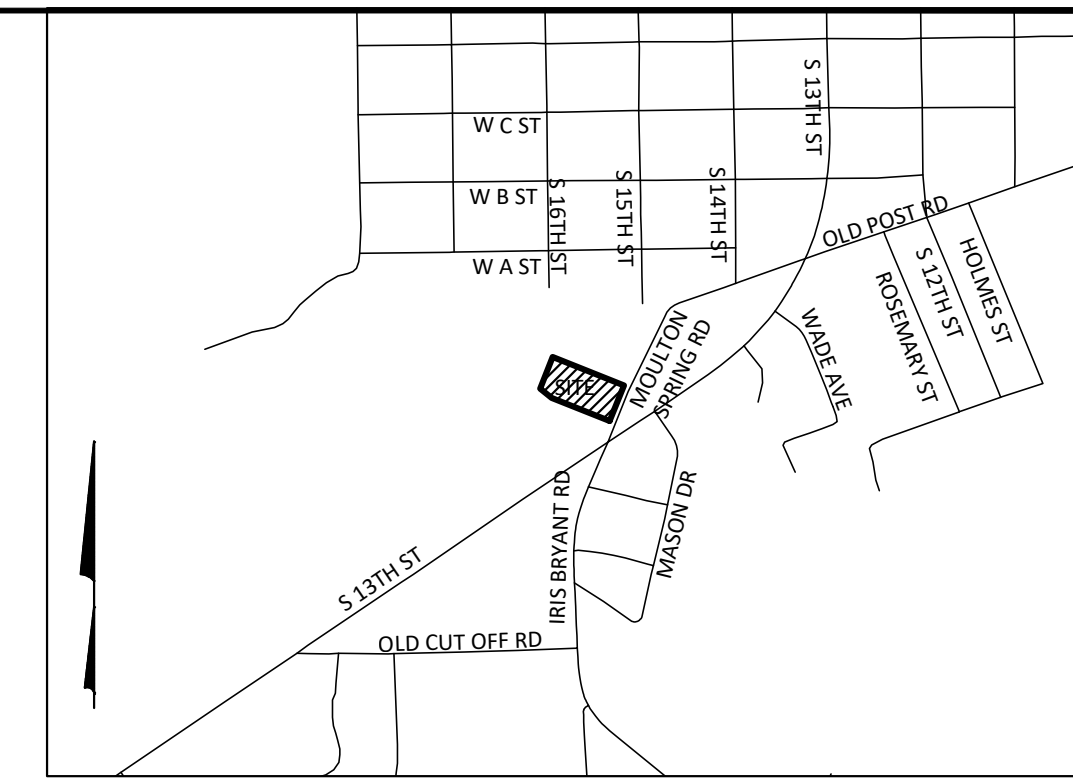
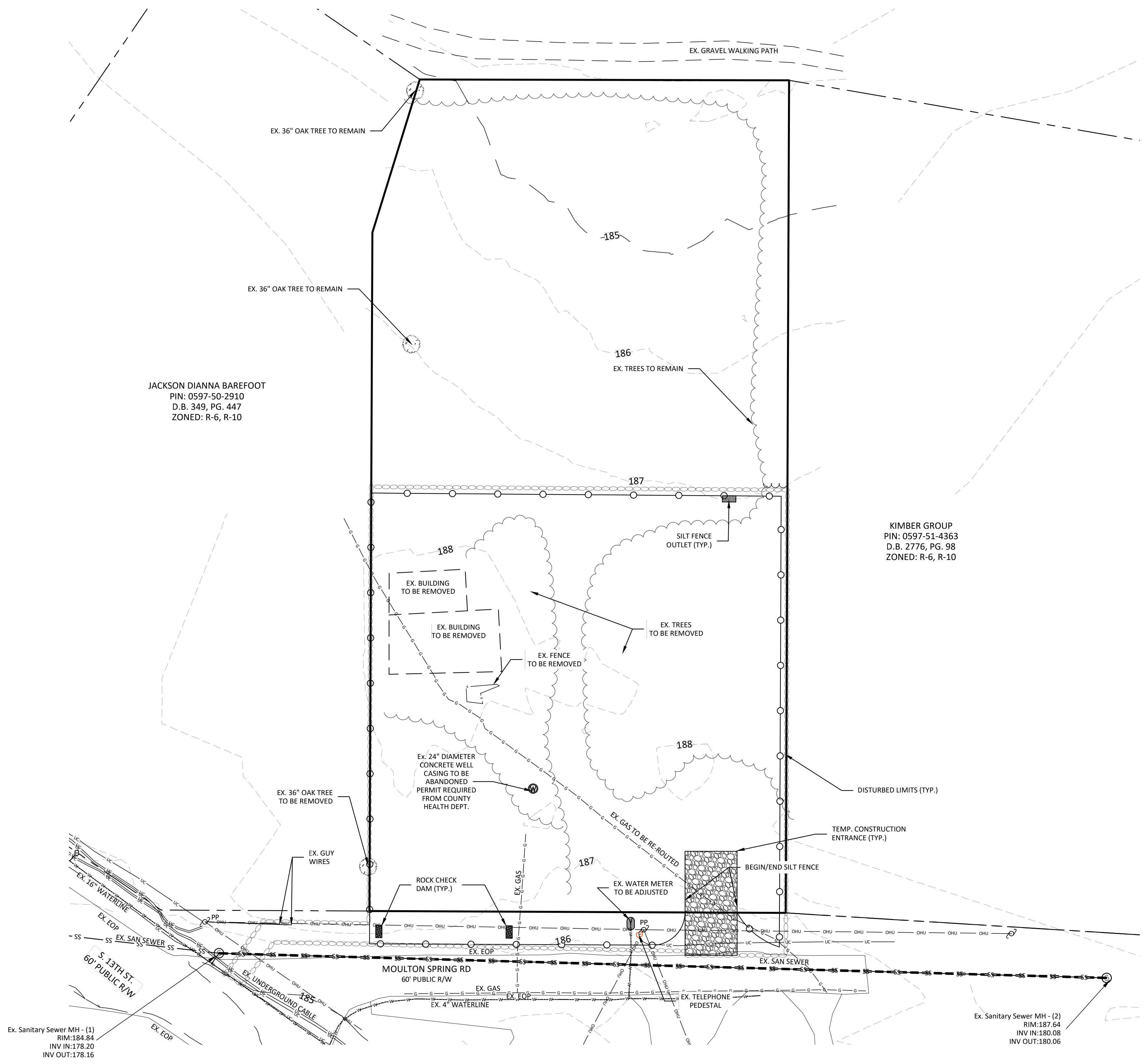
C1
 1 OF 5



TOWN OF ERWIN
PIN: 0597-41-4262
D.B. 541, PG. 199
ZONED: CV

JACKSON DIANNA BAREFOOT
PIN: 0597-50-2910
D.B. 349, PG. 447
ZONED: R-6, R-10

KIMBER GROUP
PIN: 0597-51-4363
D.B. 2776, PG. 98
ZONED: R-6, R-10



VICINITY MAP
1" = 1,000'

NOTES:
THIS MAP DOES NOT MEET G.S. 47-30 AND IS NOT FOR RECORDING.
THIS PROPERTY IS SUBJECT TO ANY EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY OF RECORD PRIOR TO THE DATE OF THIS MAP AND WHICH WERE NOT VISIBLE AT THE TIME OF INSPECTION.
THIS MAP WAS PREPARED WITH OUT THE BENEFIT OF A TITLE REPORT AND DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES UPON THIS PROPERTY.
BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY FOR AKEN KEPPLER, BY VANDERHOOF SURVEYING, PLLC.
NO SURVEYING OR SUBSURFACE INVESTIGATIONS PERFORMED BY STOLTZBUS ENGINEERING, INC.

PARCEL DATA:
TOTAL ACREAGE: 1.816 AC. +/-
PIN: 0597-51-3059
DEED REF: DB 4181 PG. 2640
PLAT REF: PB 2023 PG. 387
EXISTING ZONING: R-2
EXISTING USE: RESIDENTIAL
PROPOSED USE: COMMERCIAL, SELF-STORAGE

BUILDING SETBACKS:
FRONT: 30'
SIDE: 20' WHERE LOT ABUTS RESIDENTIALLY ZONED LOT
REAR: 20'
SIDE STREET: N/A

WATERSHED INFORMATION:
THIS PROPERTY IS NOT LOCATED IN A WATER SUPPLY WATERSHED PER NCDEQ.

FLOOD INFORMATION:
THIS PROPERTY IS NOT LOCATED IN A FLOOD RISK ZONE PER NCFRIS.NC.GOV, MAP # 3720059700, PANEL 0597, DATED 10-03-2006.

SOIL INFORMATION:
LOAMY SAND, 2 TO 6% SLOPES; 44.8%
NORFOLK-URBAN LAND COMPLEX, 0 TO 6% SLOPES; 55.2%

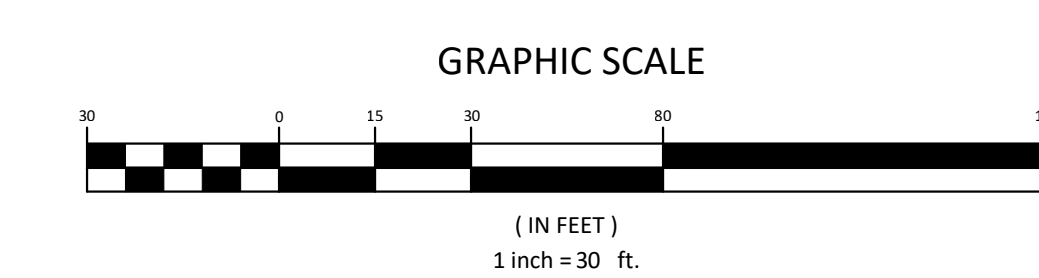
- EROSION CONTROL NOTES: (ALSO SEE DETAIL SHEETS)**
- PROPOSED DISTURBED AREA: 0.93 AC.
 - THE EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHOWN ON THE DRAWINGS ARE INTENDED AS A GUIDE. AS GRADING PROGRESSES, MEASURES MAY BE ADDED OR DELETED BY THE EROSION CONTROL OFFICER AS DEEMED NECESSARY TO CONTROL EROSION AND SEDIMENTATION. IF GRADING CONTRACTOR FEELS THAT ADDITIONAL MEASURES ARE NEEDED OTHER THAN THOSE INDICATED, GRADING CONTRACTOR SHOULD CONTACT THE OWNER AND ENGINEER IMMEDIATELY FOR APPROVAL OF THE CHANGES.
 - ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NCDER - LAND QUALITY SECTIONS 'EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL.'
 - ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE NPDES GROUND COVER REQUIREMENTS AS SHOWN ON DETAIL SHEETS.
 - ROUGHEN SLOPE SURFACES TO MINIMIZE EROSION DURING VEGETATION ESTABLISHMENT.
 - STRUCTURAL FILL COMPACTION NOTE: AREAS OUTSIDE OF PUBLIC RIGHT OF WAY (REFER TO NCDDOT OR TOWN OF ERWIN STANDARDS FOR AREA WITHIN PUBLIC RIGHT OF WAY) THE CONTRACTOR SHALL REMOVE AND OR UNDERLIT UNSUITABLE SOILS AT THE DIRECTION OF A CERTIFIED TESTING FIRM PAID BY THE OWNER FOR ALL STRUCTURAL FILL/TRENCH AREAS. ALL STRUCTURAL FILL AND UNDERGROUND TRENCH AREAS SHALL BE FILLED IN LAYERS SIX INCHES (6") DEEP AND THOROUGHLY COMPACTED WITH MECHANICAL COMPACTORS TO ATTAIN 95% STANDARD PROCTER. COMPACTION TESTING OF THE BACKFILL SHALL BE PROVIDED BY A CERTIFIED TESTING FIRM AND PAID FOR BY THE OWNER FOR EACH FILL LOT AND OR TRENCH AREA.

CONSTRUCTION SEQUENCE:
INSTALL CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE. INGRESS AND EGRESS TO THE DISTURBED SITE WILL ONLY BE OVER APPROVED CONSTRUCTION ENTRANCE.

CLEAR AND GRUB EXISTING TREES NEAR PROPERTY LINE.
GRADE SITE IN MANNER WHERE RUNOFF IS CONTINUALLY DIRECTED INTO SILT FENCE OUTLETS.

LEGEND

Water Meter Box (WM)	Fire Hydrant (HYD)
Water Valve (WV)	Sanitary Sewer Manhole (SSMH)
Storm Manhole (STMH)	Clean Out
Utility Pole	Deed Book
Light Pole	Plat Book
Ground Light	Page
Guy Wire	R/W
Gas Valve	Right-of-Way
Overhead Power Line	E/P
Water Line	Edge of Pavement
Underground Electrical	E/G
Fence Line	Edge of Gravel
Woodsline (TYP.)	CONC
	Concrete
	RCF
	Reinforced Concrete Pipe
	DI
	Drop Inlet
	CI
	Curb Inlet
	FIE
	Finish Floor Elevation
	BSMT
	Basement
	TPED
	Telephone Pedestal
	THH
	Telephone Hand Hold
	DMUE
	Drainage Maintenance & Utility Easement
	PROP. DISTURBED LIMITS
	TEMP. DIVERSION BEAM



Aden R. Stoltzfus, PE C-3812
aden@seieengineering.com
336-904-0207
683 Gralin Street
Kernersville, NC 27284

Stoltzfus Engineering Inc.
Civil Engineering Consultants

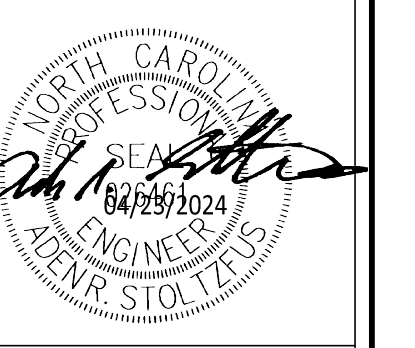
STORE-IT-SAFE SELF-STORAGE, ERWIN, NC
EXISTING CONDITIONS & CLEARING PLAN

OWNER & DEVELOPER INFORMATION:
AKEN KEPPLER
721 ANCIENT OAKS DR.
HOLLY SPRINGS, NC 27540-8350

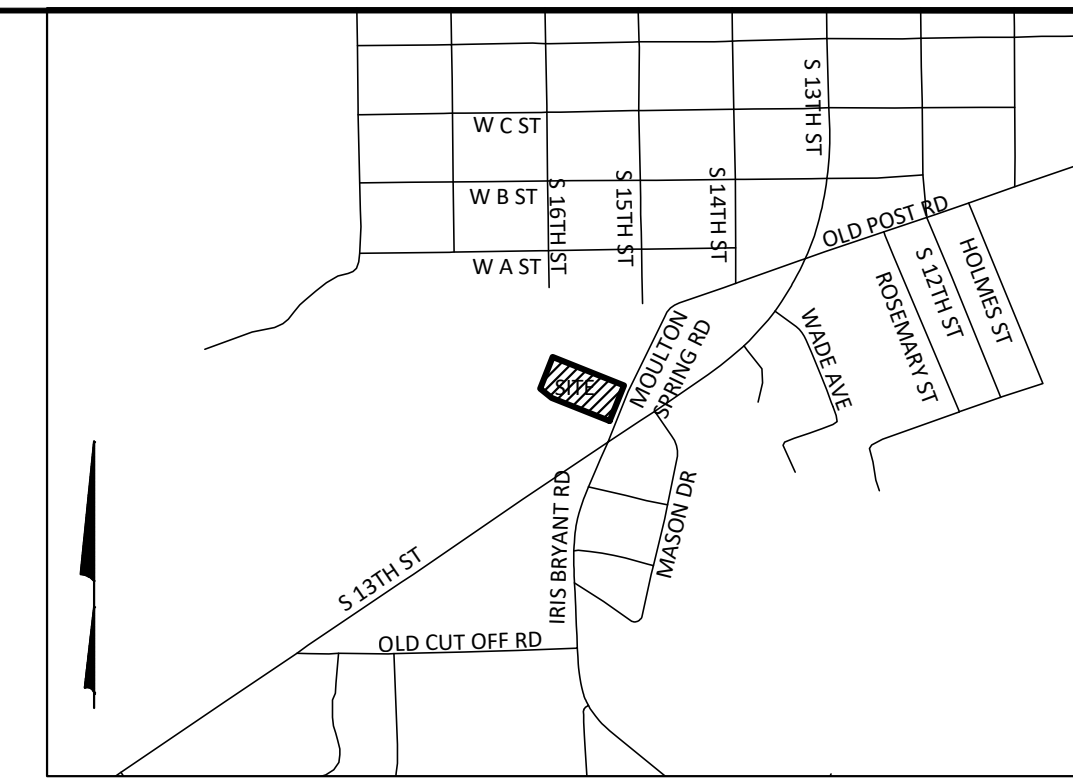
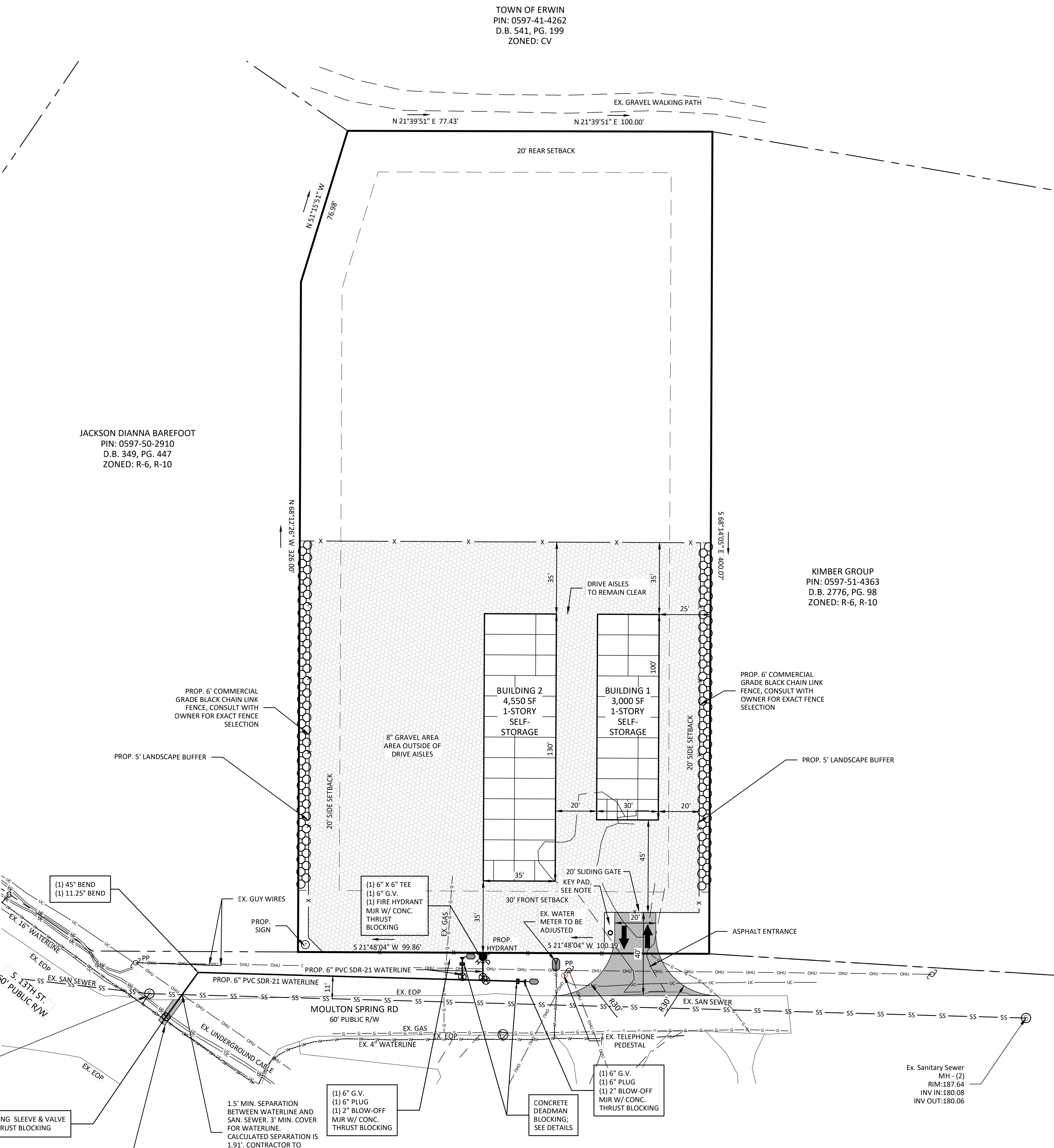
PROJECT LOCATION:
STATE: NORTH CAROLINA
COUNTY: HARNETT
TOWNSHIP: ERWIN

NO.	DATE	REVISION NOTE

DRAWN BY: WVC
CHECKED BY: ARS
DATE: 04-23-2024
PROJECT NO.: 1104-02
REF. NO.:
SCALE: 1"=30'



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NOTES:
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 BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY FOR AIKEN KEPPLER, BY VANDERHOOF SURVEYING, PLLC.
 NO SURVEYING OR SUBSURFACE INVESTIGATIONS PERFORMED BY STOLTZUS ENGINEERING, INC.

KEY PAD NOTE:
 KNOX BOX WILL BE PROVIDED TO ALLOW FOR EMERGENCY SERVICE OPERATION OF THE GATE. OWNER TO COORDINATE WITH HARNETT COUNTY FIRE ON GATE OPERATION.

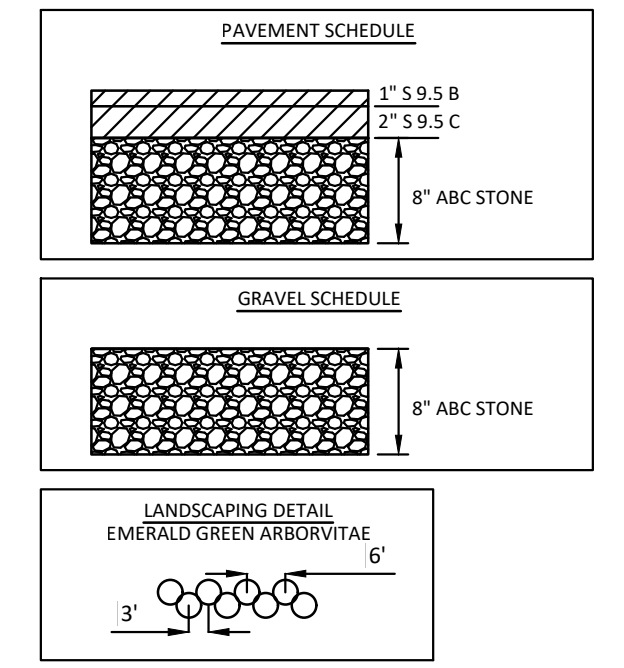
PARCEL DATA:
 TOTAL ACREAGE: 1.816 AC. +/-
 PIN: 0597-51-3059
 DEED REF: DB 4181 PG. 2640
 PLAT REF: PB 2023 PG. 387
 EXISTING ZONING: S-2
 EXISTING USE: RESIDENTIAL
 PROPOSED USE: COMMERCIAL, SELF-STORAGE

BUILDING SETBACKS:
 FRONT: 30'
 SIDE: 20' WHERE LOT ABUTS RESIDENTIALLY ZONED LOT
 REAR: 20'
 SIDE STREET: N/A

WATERSHED INFORMATION:
 THIS PROPERTY IS NOT LOCATED IN A WATER SUPPLY WATERSHED PER NCDEQ.

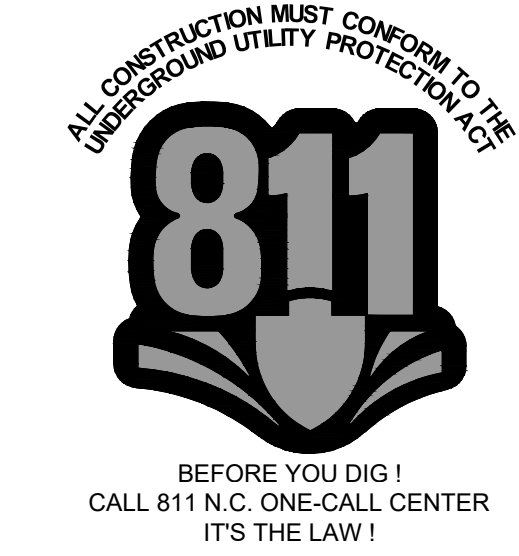
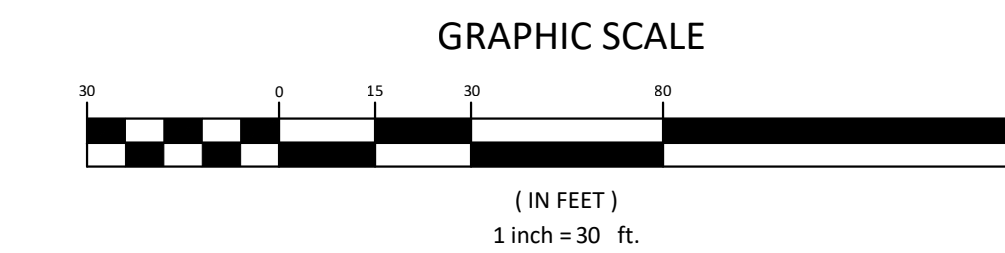
FLOOD INFORMATION:
 THIS PROPERTY IS NOT LOCATED IN A FLOOD RISK ZONE PER NCFRIS.NC.GOV, MAP # 3720059700, PANEL 0597, DATED 10-03-2006.

BLU:
 EX. BUILDINGS: 6,137 S.F. (7.76%)
 EX. GRAVEL: 1,601 S.F. (2.02%)
 EX. CONC.: 73 S.F. (0.09%)
 TOTAL EX. IMPERVIOUS: 7,811 S.F. (9.87%)
 PROP. BUILDINGS: 7,550 S.F. (9.54%)
 PROP. GRAVEL: 29,501 S.F. (37.28%)
 PROP. ASPHALT: 410 S.F. (0.52%)
 TOTAL PROP. IMPERVIOUS: 37,461 S.F. (47.34%)



LEGEND

(Symbol)	WATER METER BOX (WM)	(Symbol)	FIRE HYDRANT (HYD)
(Symbol)	WATER VALVE (WV)	(Symbol)	SANITARY SEWER MANHOLE (SSMH)
(Symbol)	STORM MANHOLE (STMH)	(Symbol)	CLEAN OUT
(Symbol)	UTILITY POLE	(Symbol)	DEED BOOK
(Symbol)	LIGHT POLE	(Symbol)	PLAT BOOK
(Symbol)	GROUND LIGHT	(Symbol)	PAGE
(Symbol)	GUY WIRE	(Symbol)	R/W
(Symbol)	YARD INLET (YI)	(Symbol)	RIGHT-OF-WAY
(Symbol)	GAS VALVE	(Symbol)	EDGE OF PAVEMENT
(Symbol)	OVERHEAD POWER LINE	(Symbol)	EDGE OF GRAVEL
(Symbol)	GAS LINE	(Symbol)	CONCRETE
(Symbol)	WATER LINE	(Symbol)	RCP
(Symbol)	UNDERGROUND ELECTRICAL	(Symbol)	REINFORCED CONCRETE PIPE
(Symbol)	FENCE LINE	(Symbol)	DI
(Symbol)	WOODS LINE (TYP.)	(Symbol)	DROP INLET
(Symbol)		(Symbol)	CURB INLET
(Symbol)		(Symbol)	FFE
(Symbol)		(Symbol)	FINISH FLOOR ELEVATION
(Symbol)		(Symbol)	BSMT
(Symbol)		(Symbol)	BASEMENT
(Symbol)		(Symbol)	TYPED TELEPHONE PEDESTAL
(Symbol)		(Symbol)	THH
(Symbol)		(Symbol)	TELEPHONE HAND HOLD
(Symbol)		(Symbol)	DMUE
(Symbol)		(Symbol)	DRAINAGE MAINTENANCE & UTILITY EASEMENT



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 aden@seieengineering.com
 336-904-0207
 683 Gralin Street
 Kernersville, NC 27284



STORE-IT-SAFE SELF-STORAGE, ERWIN, NC
SITE, UTILITY & LANDSCAPING PLAN

OWNER & DEVELOPER INFORMATION:
 AIKEN & WALTER KEPLER
 721 ANCIENT OAKS DR.
 HOLLY SPRINGS, NC 27540-8350

NO.	DATE	REVISION NOTE
1		
2		
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7		
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9		
10		

DRAWN BY: WVC
 CHECKED BY: ARS
 DATE: 04/23/2024
 PROJECT NO.: 1104-02
 REF. NO.:
 SCALE: 1"=30'



C3
3 OF 5

Aden R. Stoltzfus, PE C-3812
 aden@seieengineering.com
 336-904-0207
 683 Gralin Street
 Kernersville, NC 27284



STORE-IT-SAFE SELF-STORAGE, ERWIN, NC

GRADING & EROSION PLAN

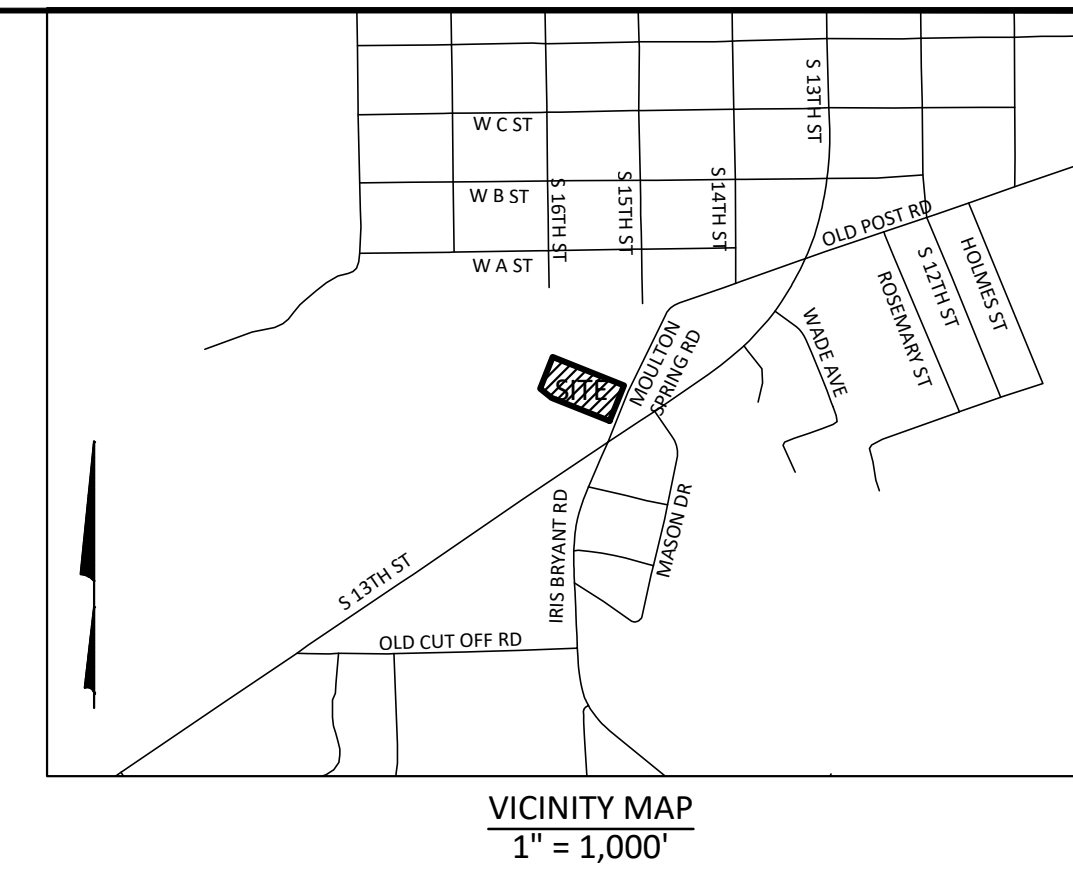
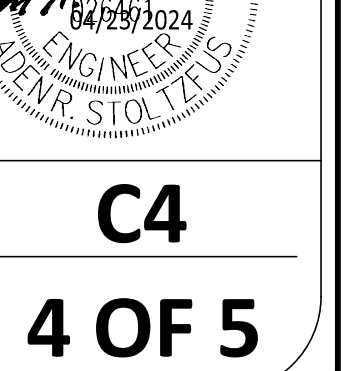
OWNER & DEVELOPER INFORMATION:
 ADEN R. STOLTZFUS
 721 ANCIENT OAKS DR.
 HOLLY SPRINGS, NC 27540-8330

PROJECT LOCATION:
 STATE: NORTH CAROLINA
 COUNTY: HARNETT
 TOWNSHIP: ERWIN

REVISION NOTE

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DRAWN BY: WVC
 CHECKED BY: ARS
 DATE: 04-23-2024
 PROJECT NO.: 1104-02
 REF. NO.:
 SCALE: 1"=30'



NOTES:
 THIS MAP DOES NOT MEET G.S. 47-30 AND IS NOT FOR RECORDING.
 THIS PROPERTY IS SUBJECT TO ANY EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY OF RECORD PRIOR TO THE DATE OF THIS MAP AND WHICH WERE NOT VISIBLE AT THE TIME OF INSPECTION.
 THIS MAP WAS PREPARED WITH OUT THE BENEFIT OF A TITLE REPORT AND DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES UPON THIS PROPERTY.
 BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY FOR AKEN KEPLER, BY VANDERHOOF SURVEYING, PLLC. DATED: 08/02/2023.
 NO SURVEYING OR SUBSURFACE INVESTIGATIONS PERFORMED BY STOLTZFUS ENGINEERING, INC.

PARCEL DATA:
 TOTAL ACREAGE: 1.816 AC. +/-
 PIN: 0597-51-3059
 DEED REF: DB: 4181 PG. 2640
 PLAT REF: PB: 2023 PG. 387
 EXISTING ZONING: R-2
 EXISTING USE: RESIDENTIAL
 PROPOSED USE: COMMERCIAL SELF-STORAGE

BUILDING SETBACKS:
 FRONT: 30'
 SIDE: 20' WHERE LOT ABUTS RESIDENTIALLY ZONED LOT
 REAR: 20'
 SIDE STREET: N/A

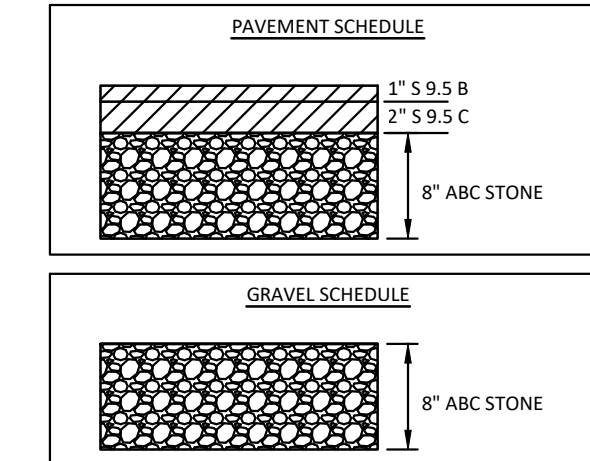
WATERSHED INFORMATION:
 THIS PROPERTY IS NOT LOCATED IN A WATER SUPPLY WATERSHED PER NCDEQ.

FLOOD INFORMATION:
 THIS PROPERTY IS NOT LOCATED IN A FLOOD RISK ZONE PER NCFRIS.NC.GOV, MAP # 3720053700, PANEL 0597, DATED 10-03-2006.

BUA:
 EXISTING BUA WAS PULLED FROM AERIAL PRIOR TO 2007.

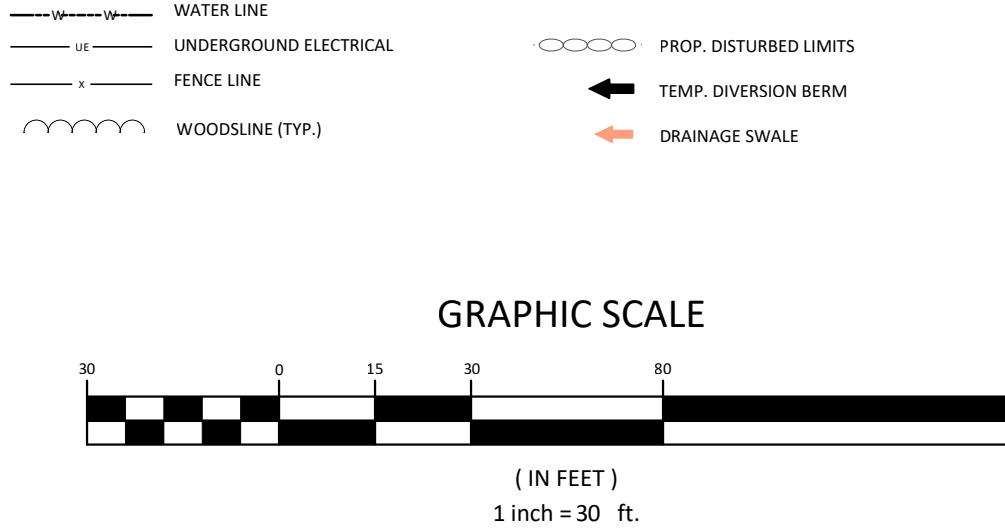
EX. BUILDINGS: 6,137 S.F. (7.76%)
EX. GRAVEL: 1,603 S.F. (2.02%)
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TOTAL EX. IMPERVIOUS: 7,813 S.F. (9.87%)

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PROP. ASPHALT: 410 S.F. (0.52%)
TOTAL PROP. IMPERVIOUS: 37,461 S.F. (47.34%)



LEGEND

WATER METER BOX (WM)	FIRE HYDRANT (HYD)
WATER VALVE (WV)	SANITARY SEWER MANHOLE (SSMH)
STORM MANHOLE (STMH)	CLEAN OUT
UTILITY POLE	DEED BOOK
LIGHT POLE	PAGE BOOK
GROUND LIGHT	RIGHT-OF-WAY
GUY WIRE	EDGE OF PAVEMENT
YARD INLET (YI)	EDGE OF GRAVEL
GAS VALVE	CONCRETE
OVERHEAD POWER LINE	REINFORCED CONCRETE PIPE
GAS LINE	DROP INLET
WATER LINE	CURB INLET
UNDERGROUND ELECTRICAL	FINISH FLOOR ELEVATION
FENCE LINE	BASEMENT
WOODSTOCK (TYP.)	TELEPHONE PEDESTAL
	TELEPHONE HAND HOLD
	DRAINAGE MAINTENANCE & UTILITY EASEMENT
	PROP. DISTURBED LIMITS
	TEMP. DIVERSION BERM
	DRAINAGE SWALE



- NOTES:**
- CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - THIS MAP DOES NOT MEET G.S. 47-30 AND IS NOT FOR RECORDING.
 - THIS PROPERTY IS SUBJECT TO ANY EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY OF RECORD PRIOR TO THE DATE OF THIS MAP AND WHICH WERE NOT VISIBLE AT THE TIME OF INSPECTION.
 - THIS MAP WAS PREPARED WITH OUT THE BENEFIT OF A TITLE REPORT AND DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES UPON THIS PROPERTY.
 - BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY ALLRED LAND SURVEYING
 - NO SURVEYING OR SUBSURFACE INVESTIGATIONS PERFORMED BY STOLTZFUS ENGINEERING, INC.
 - THIS PROPERTY IS NOT LOCATED IN A FLOODPLAIN PER MAPS NUMBER 3710889400K, PANEL 8894; 3710889500K, PANEL 8895, BOTH DATED 2017-11-17
 - THE DEVELOPMENT SHALL COMPLY WITH PHASE 2 STORMWATER RULES (POST CONSTRUCTION ORDINANCE) AND JORDAN LAKE BUFFER RULES AS APPLICABLE.
 - THIS SITE IS NOT LOCATED IN A WATER SUPPLY WATERSHED.

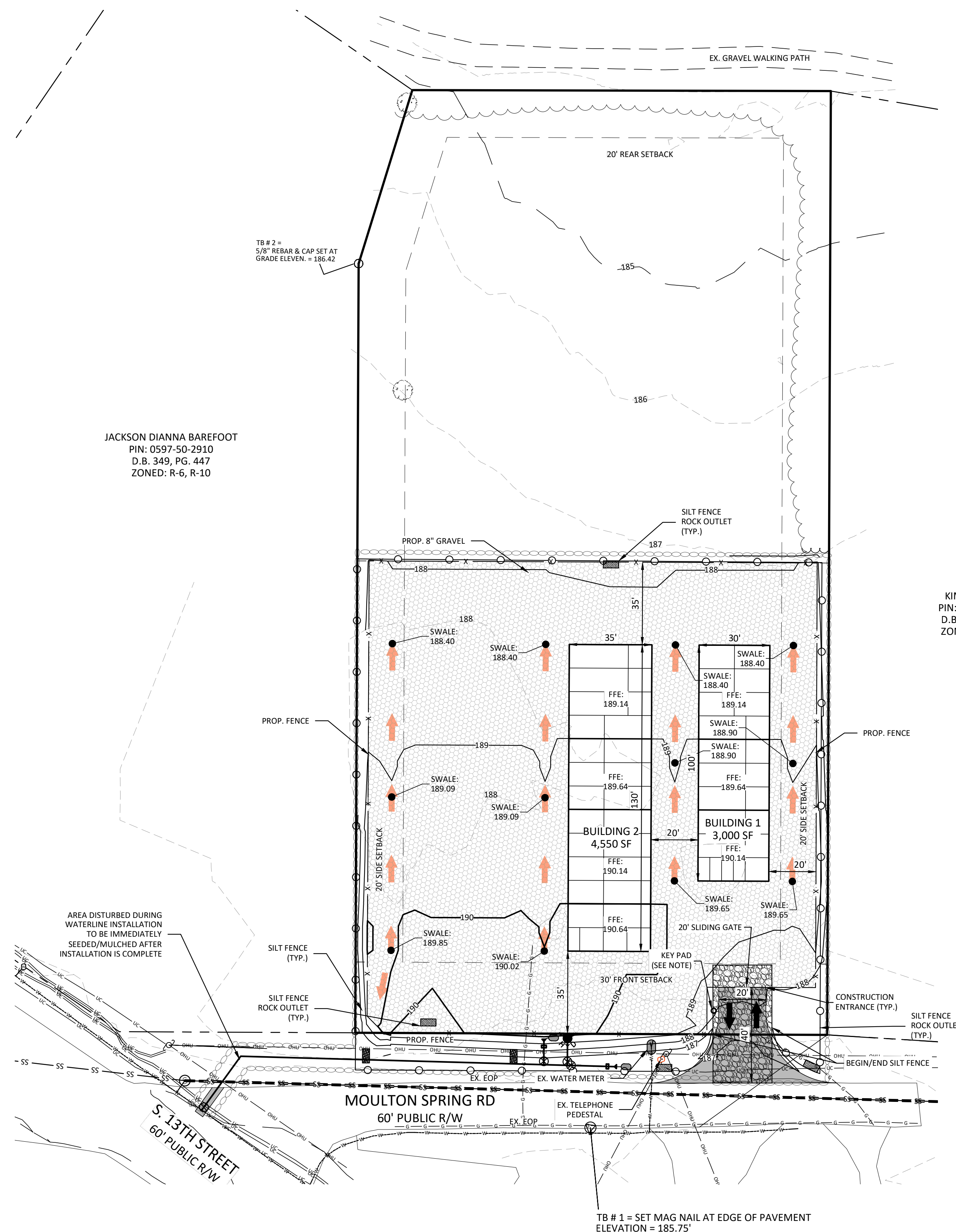
- EROSION CONTROL NOTES: (ALSO SEE DETAIL SHEETS)**
- PROPOSED DISTURBED AREA: 0.93 AC
 - THE EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHOWN ON THE DRAWINGS ARE INTENDED AS A GUIDE. AS GRADING PROGRESSES, MEASURES MAY BE ADDED OR DELETED BY THE EROSION CONTROL OFFICER AS DEEMED NECESSARY TO CONTROL EROSION AND SEDIMENTATION. IF GRADING CONTRACTOR FEELS THAT ADDITIONAL MEASURES ARE NEEDED OTHER THAN THOSE INDICATED, GRADING CONTRACTOR SHOULD CONTACT THE OWNER AND ENGINEER IMMEDIATELY FOR APPROVAL OF THE CHANGES.
 - ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NCDCR - LAND QUALITY SECTIONS 'EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL.'
 - ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE NPDES GROUND COVER REQUIREMENTS AS SHOWN ON DETAIL SHEETS.
 - ROUGHEN SLOPE SURFACES TO MINIMIZE EROSION DURING VEGETATION ESTABLISHMENT.
 - STRUCTURAL FILL COMPACTION NOTE-AREAS OUTSIDE OF PUBLIC RIGHT OF WAY (REFER TO NC DOT OR TOWN OF ERWIN STANDARDS FOR AREA WITHIN PUBLIC RIGHT OF WAY) THE CONTRACTOR SHALL REMOVE AND OR UNDERCUT UNSUITABLE SOILS AT THE DIRECTION OF A CERTIFIED TESTING FIRM PAID BY THE OWNER FOR ALL STRUCTURAL FILL/TRENCH AREAS. ALL STRUCTURAL FILL AND UNDERGROUND TRENCH AREAS SHALL BE FILLED IN LAYERS SIX INCHES (6") DEEP AND THOROUGHLY COMPACTED WITH MECHANICAL COMPACTORS TO ATTAIN 95% STANDARD PROCTER. COMPACTION TESTING OF THE BACKFILL SHALL BE PROVIDED BY A CERTIFIED TESTING FIRM AND PAID FOR BY THE OWNER FOR EACH FILL LOT AND OR TRENCH AREA.

KEY PAD NOTE:
 KNOX BOX WILL BE PROVIDED TO ALLOW FOR EMERGENCY SERVICE OPERATION OF THE GATE. OWNER TO COORDINATE WITH HARNETT COUNTY FIRE ON GATE OPERATION.

TOWN OF ERWIN
 PIN: 0597-41-4262
 D.B. 541, PG. 199
 ZONED: CV

JACKSON DIANNA BAREFOOT
 PIN: 0597-50-2910
 D.B. 349, PG. 447
 ZONED: R-6, R-10

KIMBER GROUP
 PIN: 0597-51-4363
 D.B. 2776, PG. 98
 ZONED: R-6, R-10



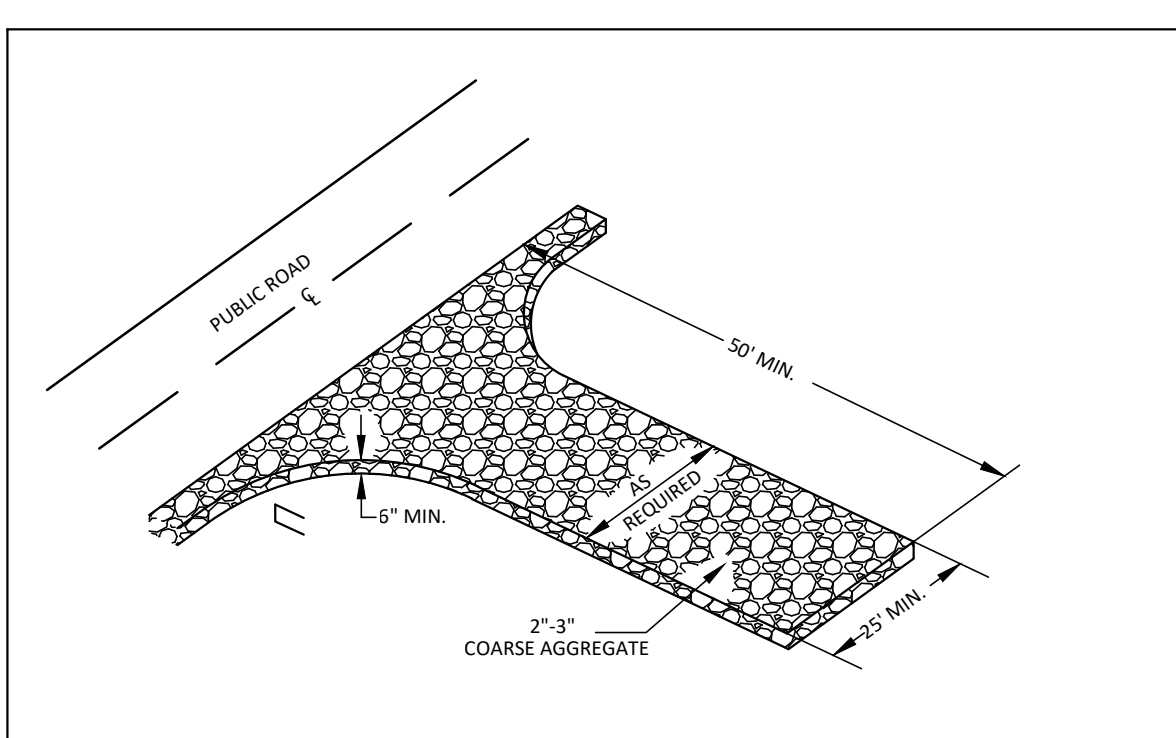
AREA DISTURBED DURING WATERLINE INSTALLATION TO BE IMMEDIATELY SEEDED/MULCHED AFTER INSTALLATION IS COMPLETE

S-13TH STREET
 60' PUBLIC R/W

MOULTON SPRING RD
 60' PUBLIC R/W

TB # 1 = SET MAG NAIL AT EDGE OF PAVEMENT ELEVATION = 185.75'

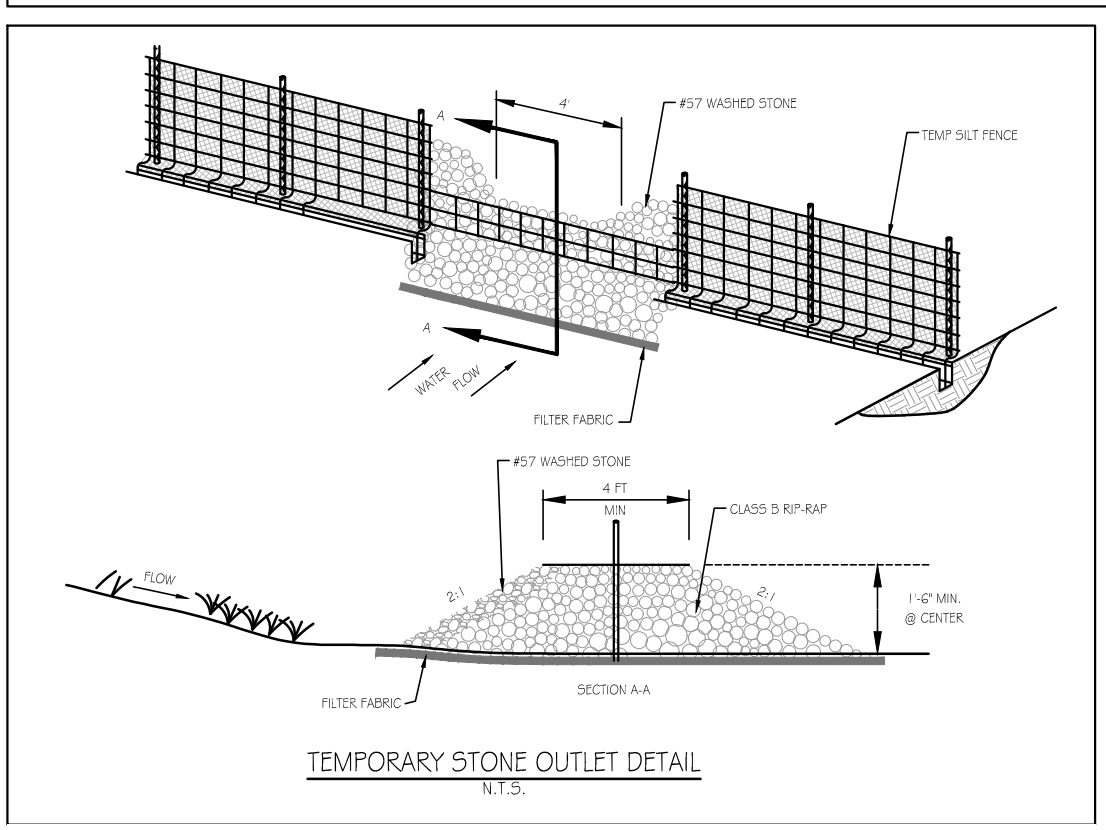




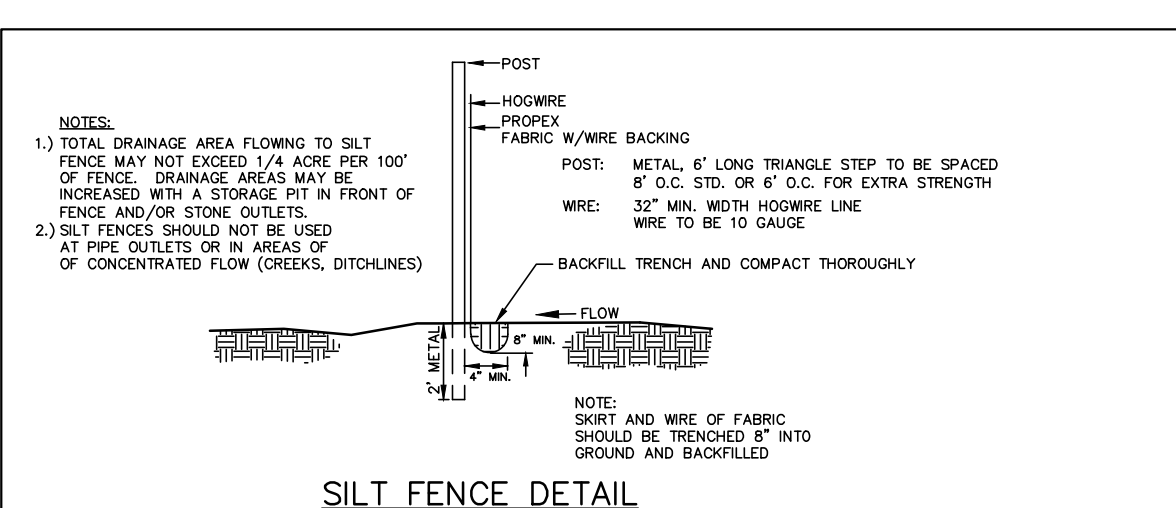
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

- CONSTRUCTION SPECIFICATIONS:**
1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND PROPERLY GRADE IT.
 2. PLACE THE GRAVEL TO THE SPECIFIED GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.
 3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
 4. USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

MAINTENANCE
 MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 2 INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED OR TRACKED ONTO PUBLIC ROADWAYS.



TEMPORARY STONE OUTLET DETAIL

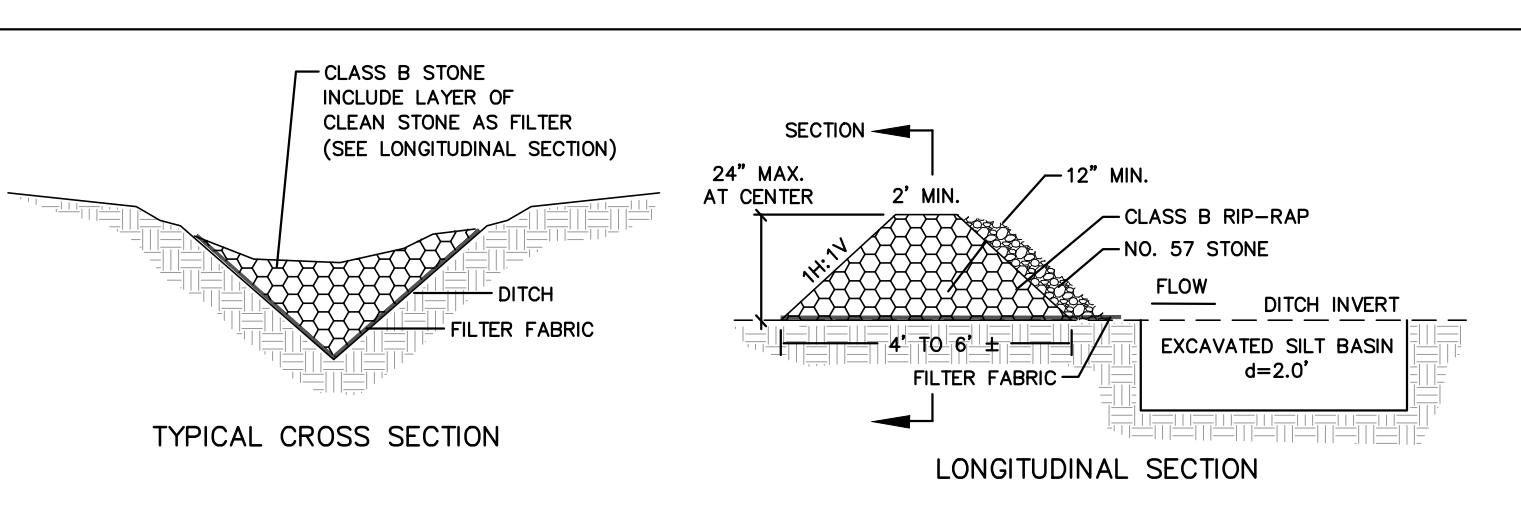


SILT FENCE DETAIL

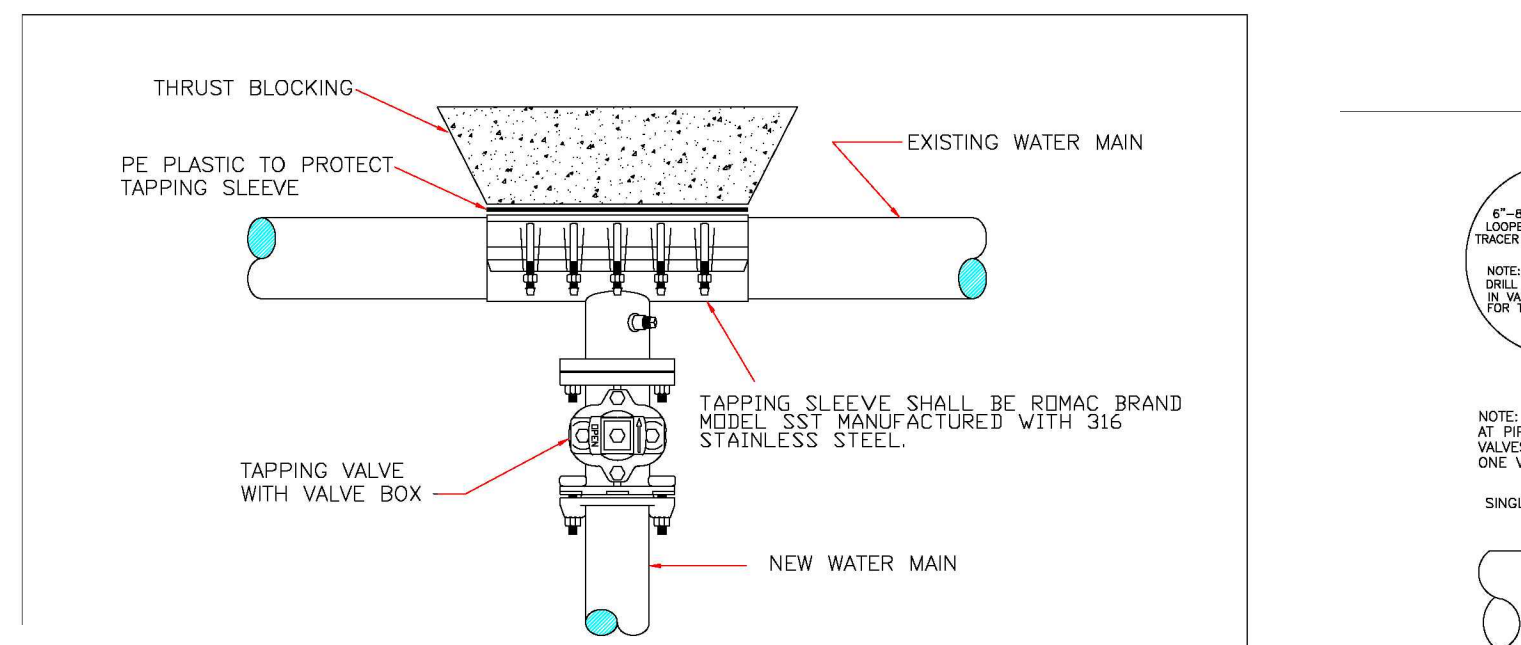
MAINTENANCE
 RESPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

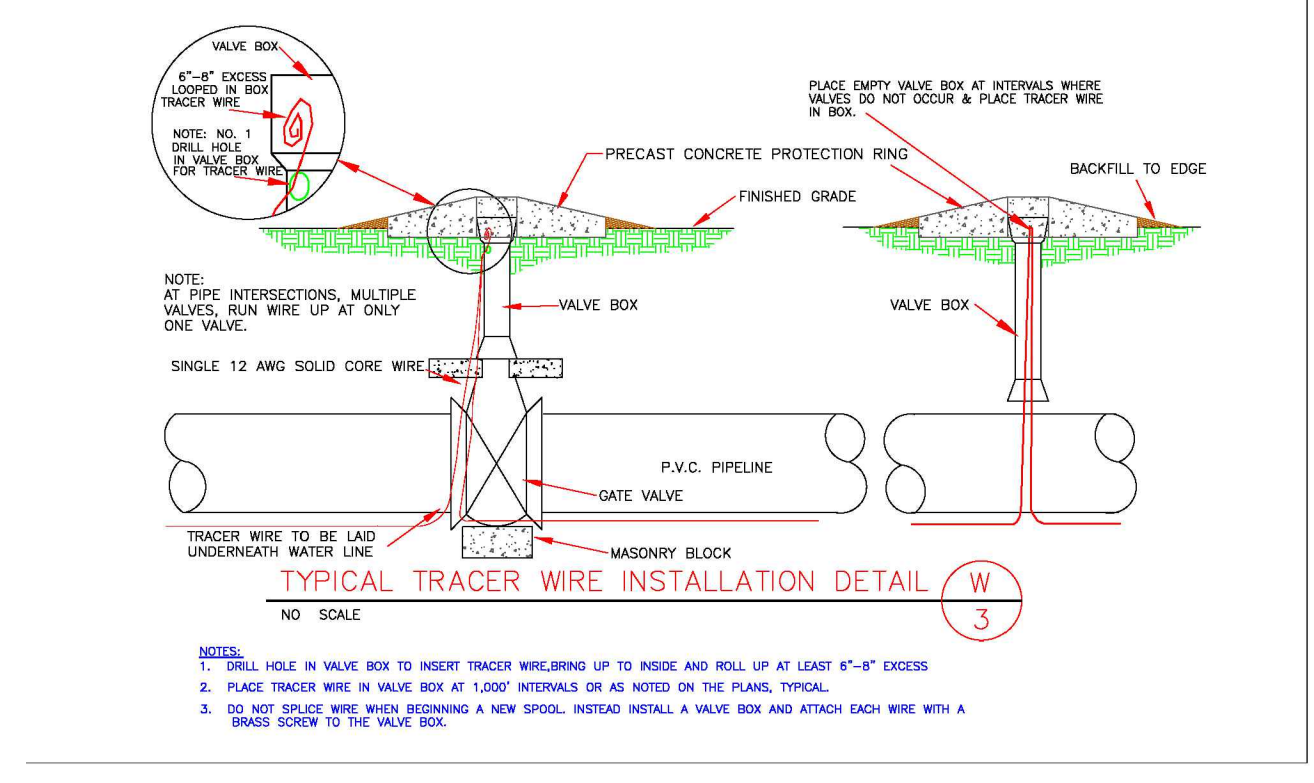
Silt Fence Materials
 Use a synthetic filter fabric of at least 95% by weight of polyolefins or polyester, which is certified by the manufacturer or supplier as conforming to the requirements in ASTM D 6461.
 Synthetic filter fabric should contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0 degrees to 120 degrees Fahrenheit.
 Ensure that posts for sediment fences are 1.33 lb/linear ft minimum steel with a minimum length of 5 feet. Make sure that steel posts have projections to facilitate fastening the fabric.
 For reinforcement of standard strength filter fabric, use wire fence with a minimum 14 gauge and a maximum mesh spacing of 6 inches.



TEMPORARY ROCK CHECK DAM DETAIL AS (REQUIRED)

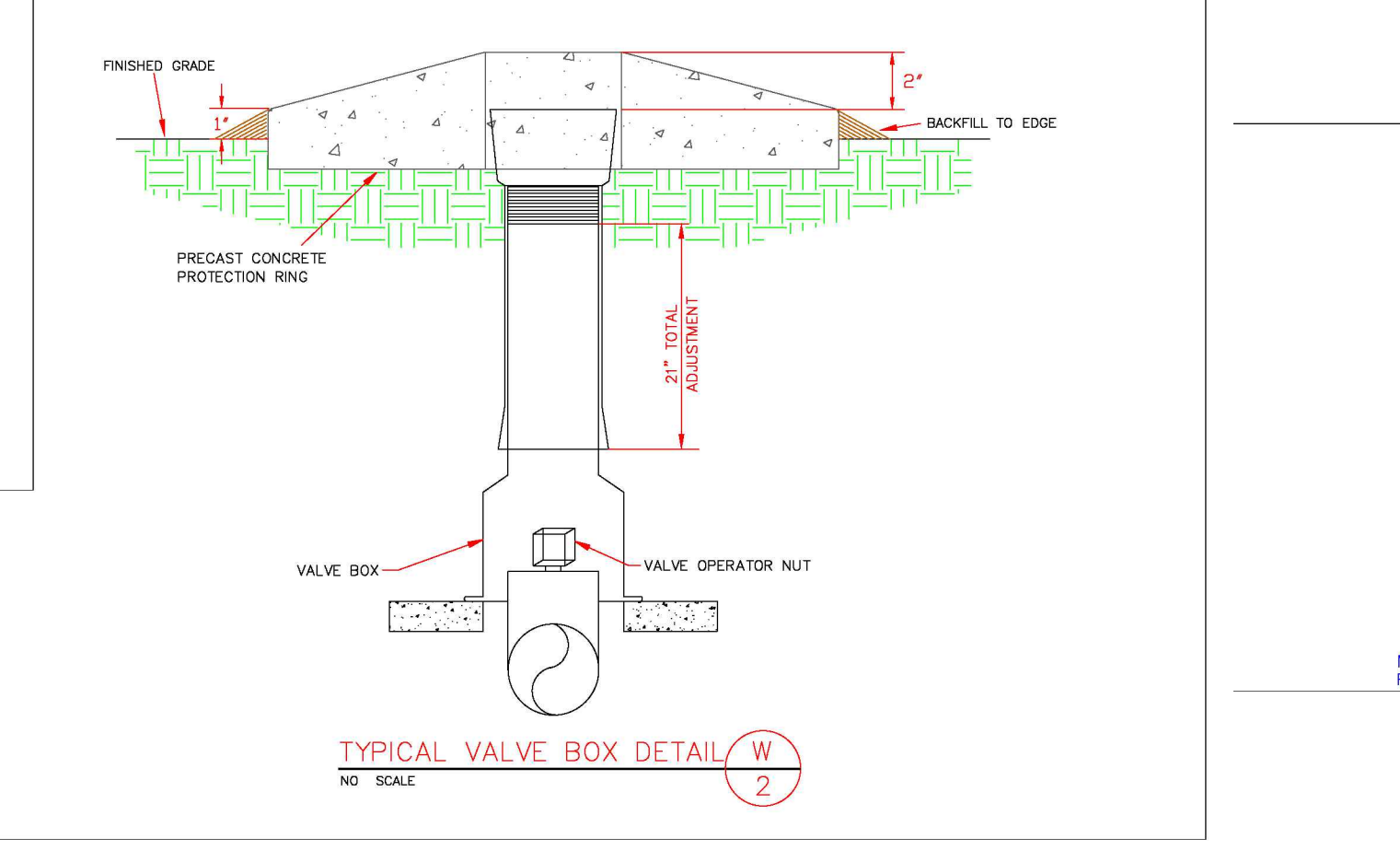


TYPICAL TAPPING SLEEVE AND VALVE ASSEMBLY DETAIL

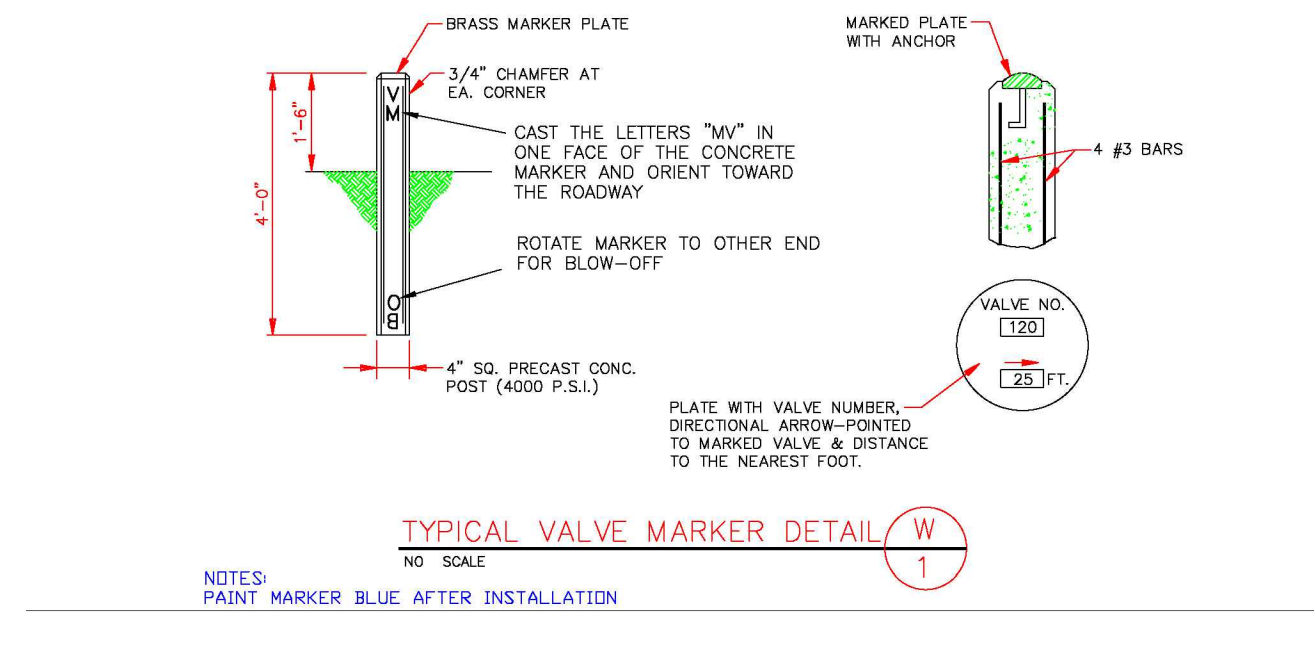


TYPICAL TRACER WIRE INSTALLATION DETAIL

NOTES:
 1. SHALL HOLD A VALVE BOX TO SIGHT TRACER WIRELINE UP TO INSIDE AND ROLL UP AT LEAST 8\"/>

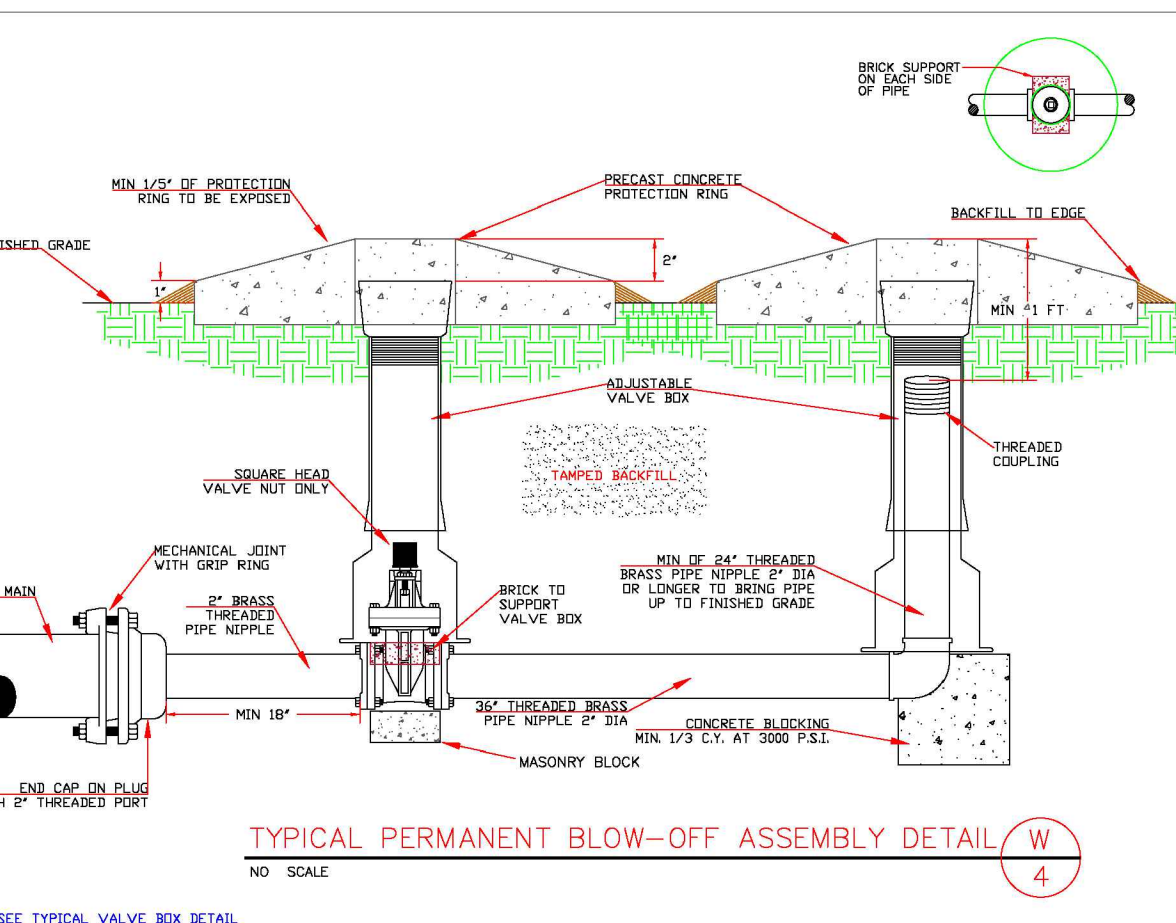


TYPICAL VALVE BOX DETAIL



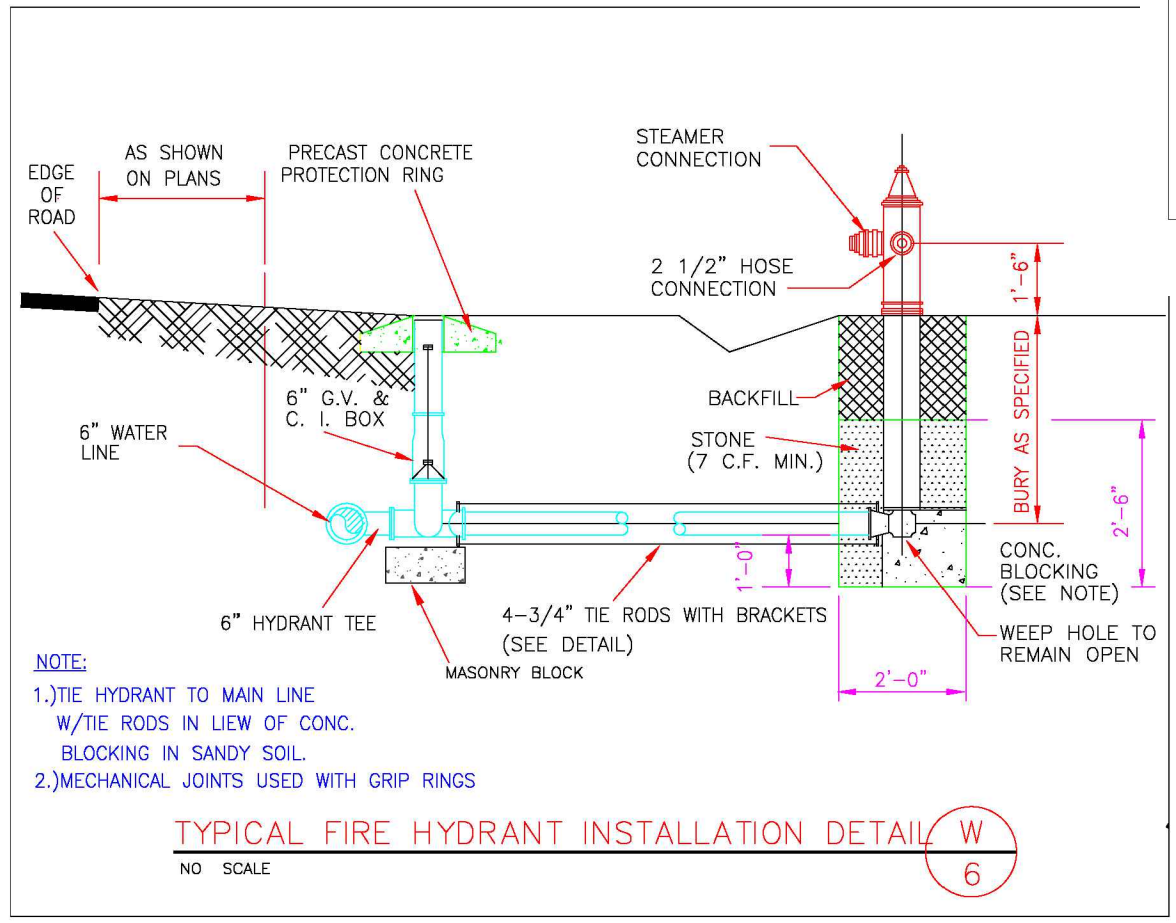
TYPICAL VALVE MARKER DETAIL

NOTES:
 PAINT MARKER BLUE AFTER INSTALLATION



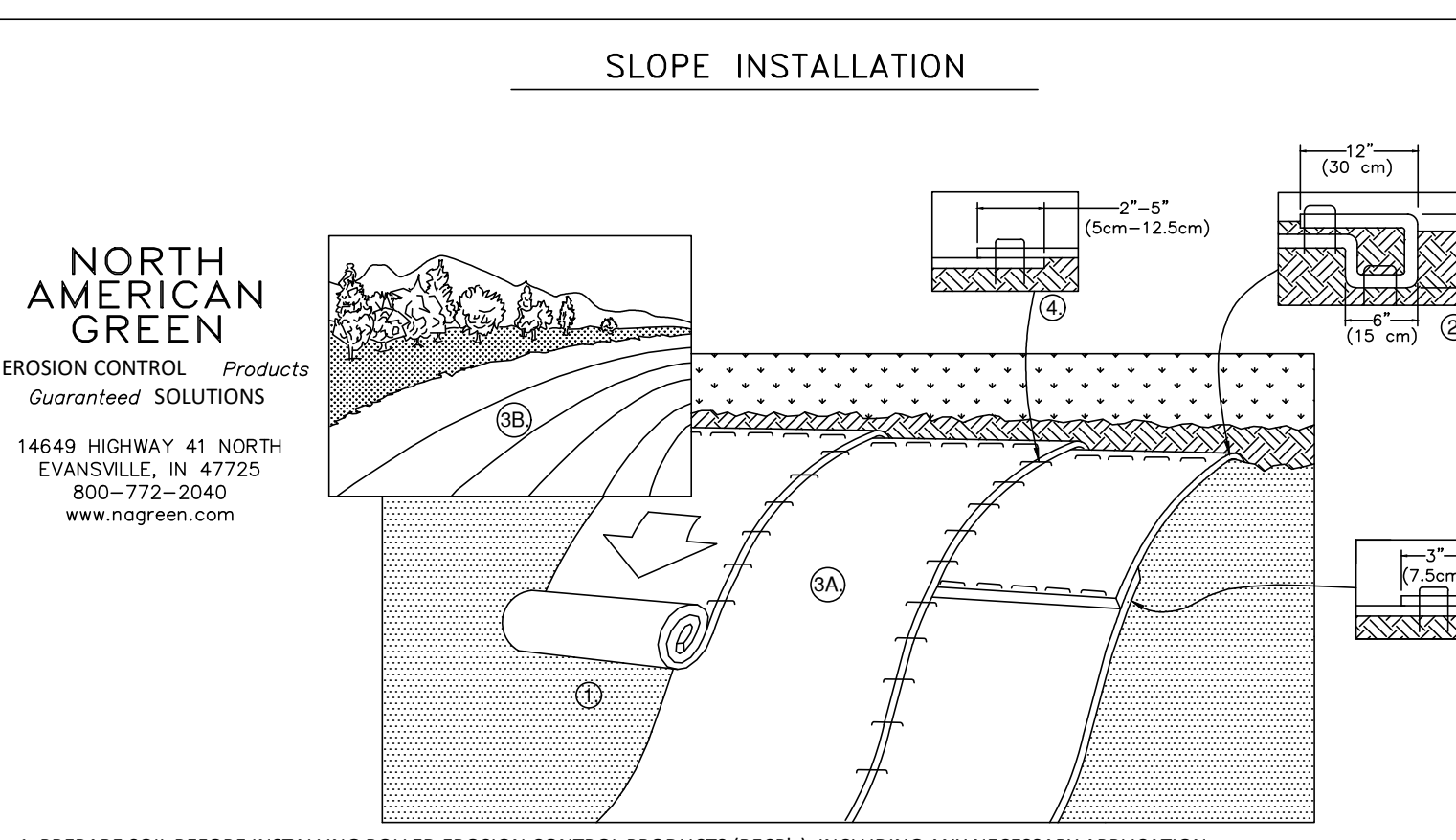
TYPICAL PERMANENT BLOW-OFF ASSEMBLY DETAIL

NOTE: SEE TYPICAL VALVE BOX DETAIL FOR BLOW INSTALLATION



TYPICAL FIRE HYDRANT INSTALLATION DETAIL

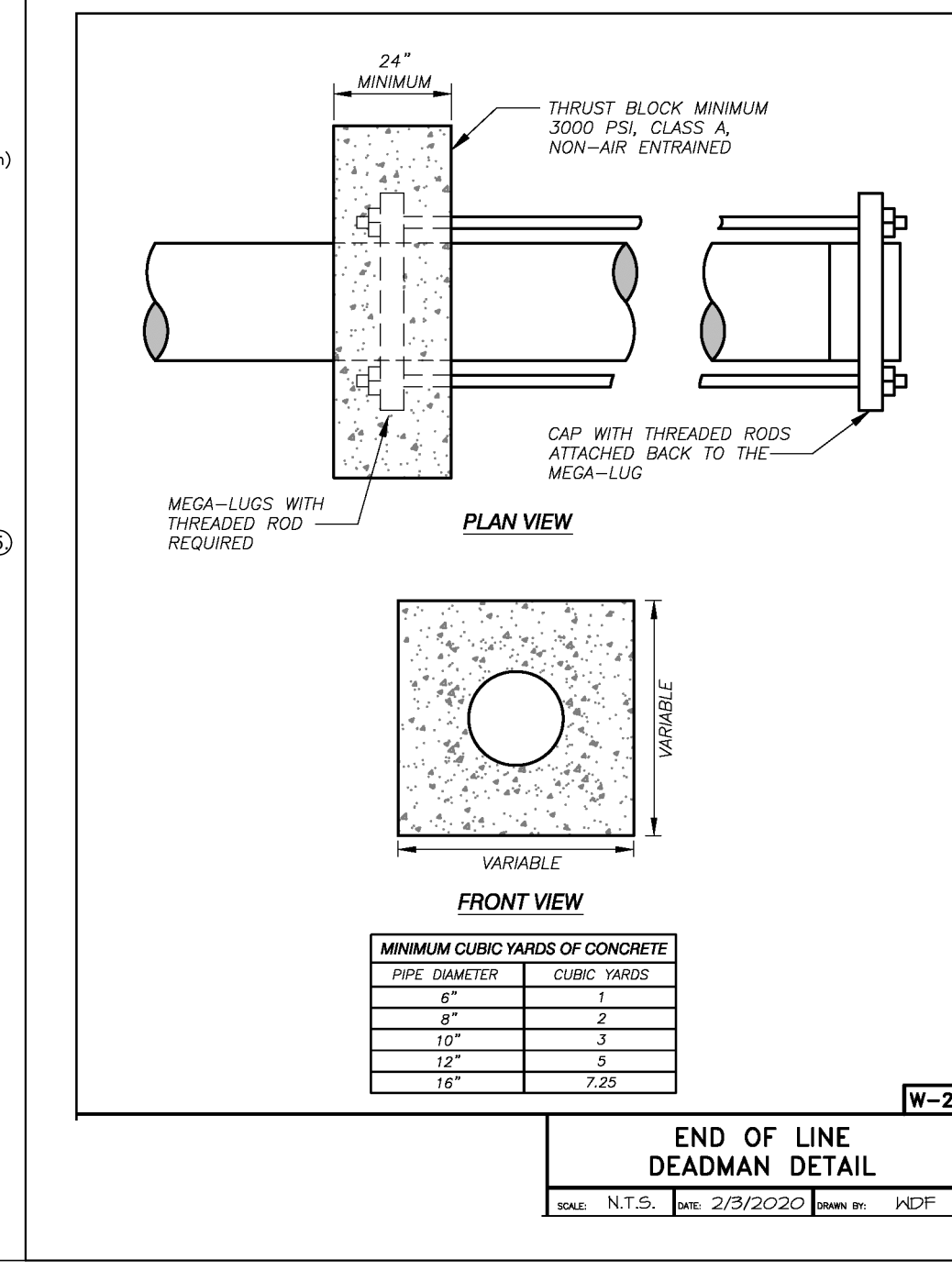
NOTE:
 1. TIE HYDRANT TO MAIN LINE
 W/TIE RODS IN LIEU OF CONC. BLOCKING (SEE NOTE)
 2. MECHANICAL JOINTS USED WITH GRIP RINGS



SLOPE INSTALLATION

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6\"/>
3. ROLL THE RECP'S (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2\"/>
5. CONSECUTIVE RECP'S SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3\"/>

NOTE:
 *IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6\"/>



PIPE DIAMETER	CUBIC YARDS
8"	2
10"	3
12"	5
16"	7.25

END OF LINE DEADMAN DETAIL

DATE: N.T.S. DATE: 2/3/2020 DRAWN BY: WVC

TEMPORARY SEEDING RECOMMENDATIONS FOR SUMMER

SEEDING MIXTURE
 SPECIES: GERMAN MILLET, PLEASANT MOUNTAIN, MAY 15 - AUGUST 15, FREEDOM, MAY 1 - AUGUST 15, COASTAL PLAIN, APRIL 15 - AUGUST 15
 RATE (LB/ACRE): 40

SEEDING DATES
 MOUNTAINS: MAY 15 - AUGUST 15
 FREEDOM: MAY 1 - AUGUST 15
 COASTAL PLAIN: APRIL 15 - AUGUST 15

SOIL AMENDMENTS
 FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER

MULCH
 APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
 RE-FERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, RE-FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

SEEDING FOR GRASS-LINED SWALES

SEEDING MIXTURE
 SPECIES: TALL FESCUE
 RATE (LB/ACRE): 200 (4-5 LB/1,000 SQ. FT.)

NURSE PLANTS
 BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE SUDANGRASS OR 10 LB/ACRE GERMAN MILLET. PRIOR TO MAY 1, OR AFTER AUGUST 15, ADD 40 LB/ACRE RYE (GRAIN).

SEEDING DATES
 BEST: AUGUST 25 - OCTOBER
 POSSIBLE: FEBRUARY - APRIL 15
 AVOID SEEDING FROM NOVEMBER TO JANUARY. IF SEEDING MUST BE DONE AT THIS TIME, ADD 40 LB/ACRE RYE GRAIN AND USE A CHANNEL LINING THAT OFFERS MAXIMUM PROTECTION.

SOIL AMENDMENTS
 APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER. OPERATE TILAGE EQUIPMENT ACROSS THE WATERWAY.

MULCH
 USE A ROLLED EROSION CONTROL PRODUCT TO COVER THE BOTTOM OF CHANNELS AND DITCHES, AND STAPLE SECURELY. THE LINING SHOULD EXTEND ABOVE THE HIGHEST CALCULATED DEPTH OF FLOW. ON CHANNEL SIDE SLOPES ABOVE THIS HEIGHT, AND IN DRAINAGES NOT REQUIRING TEMPORARY LININGS, APPLY 4,000 LB/ACRE GRASS STRAW AND ANCHOR STRAW BY STAPLING NETTING OVER THE TOP. MULCH AND ANCHORING MATERIALS MUST NOT BE ALLOWED TO WASH DOWN SLOPES WHERE THEY CAN CAUSE DAMAGE DEVICES.

MAINTENANCE
 INSPECT AND REPAIR MULCH FREQUENTLY. RE-FERTILIZE IN LATE WINTER OF THE FOLLOWING YEAR. USE SOIL TESTS OR APPLY 150 LB/ACRE 10-10-10. MOW REGULARLY TO A HEIGHT OF 2-4 INCHES.

PERMANENT SEEDING FOR GENTLE SLOPES, AVERAGE SOIL; LOW MAINTENANCE

SEEDING MIXTURE
 SPECIES: TALL FESCUE, SERICEA LESPEDEZA, KOBE LESPEDEZA
 RATE (LB/ACRE): 80, 30, 10

SEEDING NOTES
 1. AFTER AUGUST 15 USE UNCAERIFIED SERICEA SEED.
 2. WHERE PERIODIC MOWING IS PLANNED OR A MOW APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE LESPEDEZA TO 40 LB/ACRE.
 3. TO EXTEND SPRING SEEDING DATES INTO WINTER, ADD 15 LB/ACRE HULLED BERMAUDGRASS. HOWEVER, AFTER MID-APRIL IT IS PREFERABLE TO SEED TEMPORARY COVER.

NURSE PLANTS
 BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE GERMAN MILLET OR 15 LB/ACRE SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUGUST 15, ADD 40 LB/ACRE RYE (GRAIN).

SEEDING DATES
 FALL: AUGUST 25 - SEPTEMBER 15
 LATER WINTER: FEBRUARY 15 - MARCH 21
 POSSIBLE: AUGUST 20 - OCTOBER 25
 FEBRUARY 1 - APRIL 15
 FALL IS BEST FOR TALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVERSEEDING OF KOBE LESPEDEZA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE.

SOIL AMENDMENTS
 APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH
 APPLY 4,000 LB/ACRE GRASS STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCHING MATERIAL. ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING, OR ROLLING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
 RE-FERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

PERMANENT SEEDING FOR STEEP SLOPES OR POOR SOILS; LOW MAINTENANCE

SEEDING MIXTURE
 SPECIES: TALL FESCUE, SERICEA LESPEDEZA, KOBE LESPEDEZA
 RATE (LB/ACRE): 100, 30, 10

SEEDING NOTES
 1. IN EASTERN PREDMONT ADD 25 LB/ACRE PENSACOLA BAHIAGRASS OR 10 LB/ACRE COMMON BERMAUDGRASS. USE COMMON BERMAUDGRASS ONLY WHERE IT IS UNLIKELY TO BECOME A PEST.
 2. AFTER AUGUST 15, USE UNCAERIFIED SERICEA SEED.
 3. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND SUBSTITUTE 40 LB/ACRE BAHIAGRASS OR 15 LB/ACRE BERMAUDGRASS.
 4. TO EXTEND SPRING SEEDING DATES INTO WINTER, ADD 15 LB/ACRE HULLED BERMAUDGRASS. HOWEVER, IT IS PREFERABLE TO SEED TEMPORARY COVER AND SEED FESCUE IN SEPTEMBER.

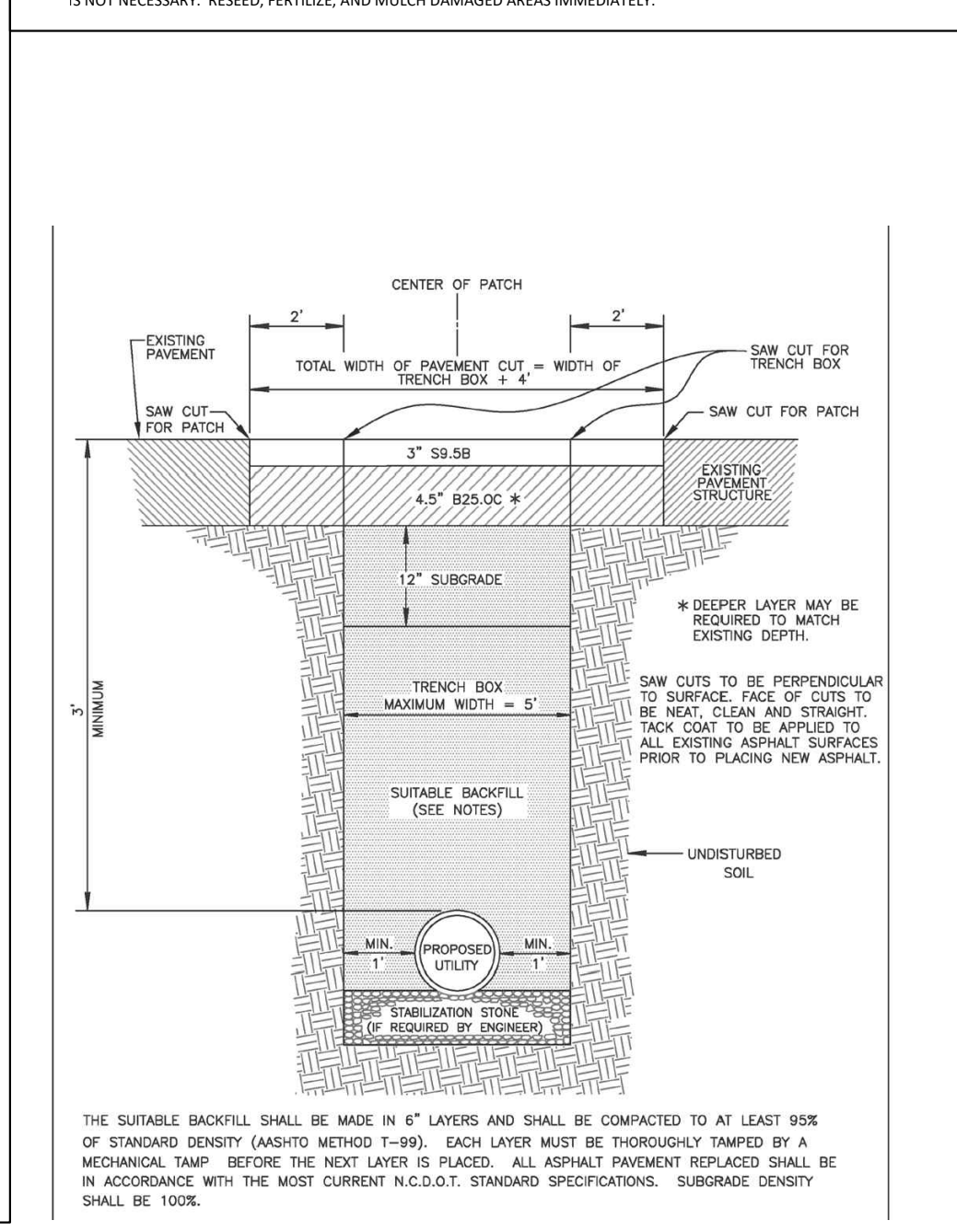
NURSE PLANTS
 BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE GERMAN MILLET OR 15 LB/ACRE SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUGUST 15, ADD 40 LB/ACRE RYE (GRAIN).

SEEDING DATES
 FALL: AUGUST 25 - SEPTEMBER 15
 LATER WINTER: FEBRUARY 15 - MARCH 21
 POSSIBLE: AUGUST 20 - OCTOBER 25
 FEBRUARY 1 - APRIL 15
 FALL IS BEST FOR TALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVERSEEDING OF KOBE LESPEDEZA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE. USE UNHULLED BERMAUDGRASS SEED IN FALL.

SOIL AMENDMENTS
 APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH
 APPLY 4,000-5,000 LB/ACRE GRASS STRAW, OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCHING MATERIAL. ANCHOR MULCHING BY TACKLING WITH ASPHALT, ROLLING, OR NETTING. NETTING IS THE PREFERRED ANCHORING METHOD ON STEEP SLOPES.

MAINTENANCE
 RE-FERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.



THE SUITABLE BACKFILL SHALL BE MADE IN 6\"/>

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 aden@seengineering.com
 336-904-0207
 683 Gralin Street
 Kernersville, NC 27284

SEI
 Stoltzfus Engineering Inc.
 Civil Engineering Consultants

STORE-IT-SAFE SELF-STORAGE, ERWIN, NC

DETAILS

OWNER & DESIGNER INFORMATION:
 STEVEN K. WALKER, PROJECT MANAGER
 721 ANCIENT OAKS DR.
 HOLLY SPRINGS, NC 27540-8330

PROJECT LOCATION:
 STATE ROUTE 104
 COUNTY: HARNETT
 TOWNSHIP: ERWIN

NO. DATE REVISION NOTE

DRAWN BY: WVC
 CHECKED BY: ARS
 DATE: 04-23-2024
 PROJECT NO.: 1104-02
 REF. NO.:
 SCALE: NTS

C5
5 OF 5