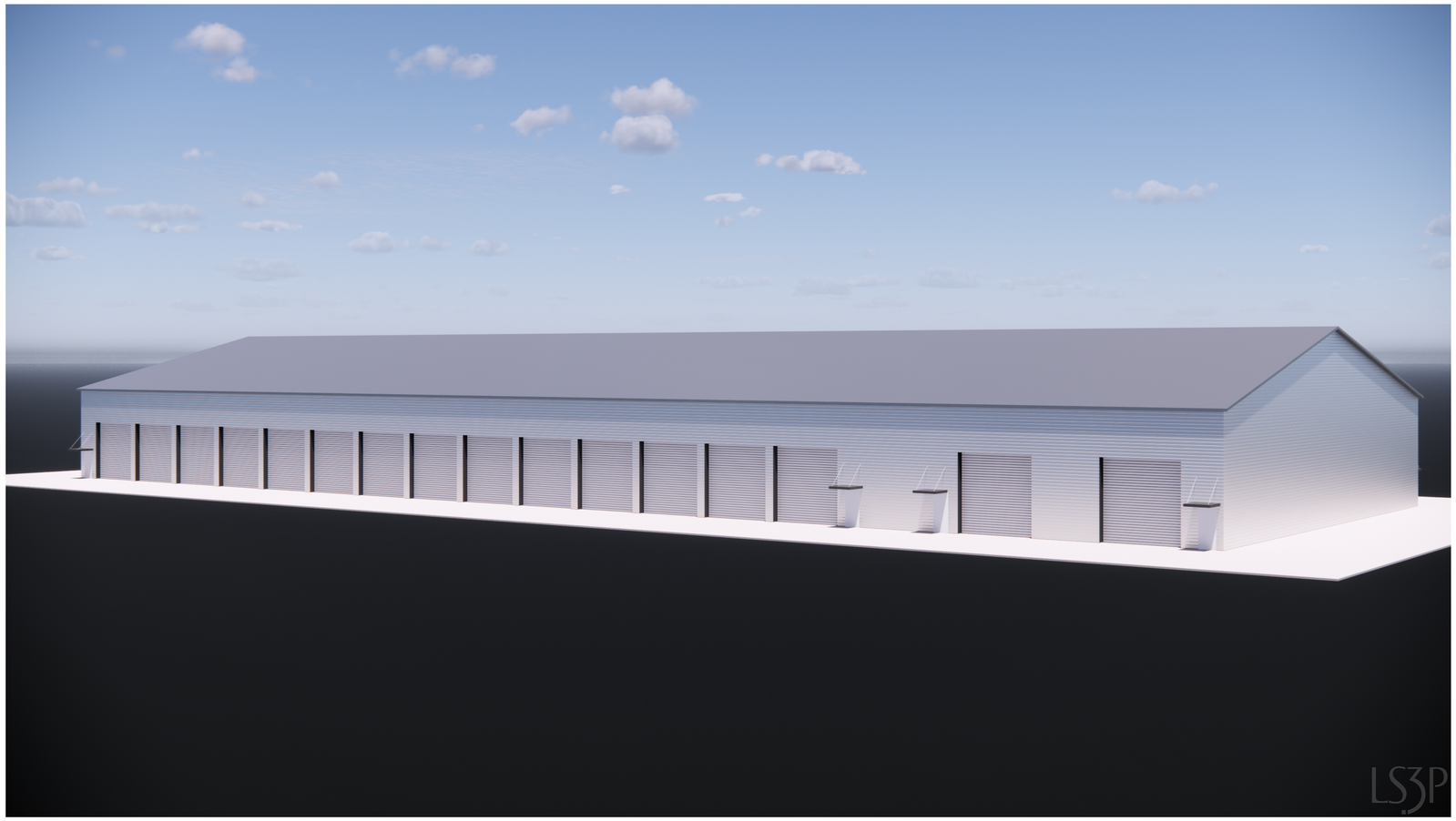
DUKE ENERGY
DUNN MOBILE SUBSTATION STORAGE

1269 Jonesboro Rd
Harnett County, NC 28334

ISSUED FOR CONSTRUCTION
2023.05.24
9101-223870

LS3P ASSOCIATES LTD
CERT. NO. 6047
CHARLOTTE, NORTH CAROLINA
NORTH CAROLINA REGISTERED 15665 ARCHITECT
TYLER KINKAID COLE
2023.05.24



CIVIL
LANDSCAPE

McADAMS
2905 Meridian Parkway,
Durham, NC 27713
tel: 919.287.0892
email: finch@mcadamsco.com

STRUCTURAL

MMSA INC
30 Patewood Dr. Suite 100
Greenville, SC 29615
tel: 864.331.1201
fax: 864.331.1201
email: msimpson@mmsainc.com

LS3P

ARCHITECTURAL

LS3P ASSOCIATES LTD.
227 W Trade St. Ste 700
Charlotte, NC 28202
tel: 704.333.6686
fax: 704.333.2926
email: tylercole@ls3p.com

FIRE PROTECTION
PLUMBING
MECHANICAL
ELECTRICAL

BARRETT WOODYARD ASSOCIATES
420 Minuet Ln
Charlotte, NC 28208
tel: 704.357.9333
email: slowery@barrettwoodyard.com

SECURITY

PAYNTER
3434 Edwards Mill Rd
suite 112-345
Raleigh, NC 27612
tel: 919.995.0462
email: bpaynter@paynterconsulting.com

G-000

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES) (Reproduce the following data on the building plans sheet 1 or 2) (UPDATED 12-6-18)

Name of Project: Duke Energy Mobile Substation Storage
Address: 1269 Jonesboro Road Zip Code 28334
Owner / Authorized Agent: John Jacobs, JLL Phone #: 984-233-3298 E-Mail John.Jacobs@jll.com
Owned By: ☐ City/ County ■ Private ☐ State
Code Enforcement Jurisdiction: ■ City Dunn ☐ County Harnett ☐ State NC

CONTACT:

DESIGNER	FIRM	NAME	LICENSE#	TELEPHONE#	E-MAIL
Architectural	LS3P	Tyler Cole	15565	704.371.7854	tylercole@ls3p.com
Civil	McADAMS	Patrick Covil	034365	919.287.0795	covil@mcadamsco.com
Electrical	BW&A, Inc	Scott Lowery	29517	704.357.9333	slowery@barrettwoodyard.com
Fire Alarm	BW&A, Inc	Scott Lowery	29517	704.357.9333	slowery@barrettwoodyard.com
Plumbing	BW&A, Inc	David Condon	041129	704.357.9333	dcondon@barrettwoodyard.com
Mechanical	BW&A, Inc	David Condon	041129	704.357.9333	dcondon@barrettwoodyard.com
Sprinkler	BW&A, Inc	David Condon	041129	704.357.9333	dcondon@barrettwoodyard.com
Structural	MMSA INC	Michael Simpson	25843	864.331.1201	msimpson@mmsainc.com
Security	PSCG	Bill Paynter	N/A	919.995.0462	bpaynter@paynterconsulting.com

2018 NC BUILDING CODE: ■ New Building ☐ Addition ☐ 1st Time Interior Completion
☐ Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
☐ Phased Construction-Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: ■ N/A ☐ Prescriptive ☐ Repair ☐ Chapter 14
☐ Alteration Level I ☐ Alteration Level II ☐ Alteration Level III
☐ Historic Property ☐ Change of Use

CONSTRUCTED: (date) N/A **CURRENT UCCUPANCY (S)** (Ch. 3): ______
RENOVATED: (date) ______ **PROPOSED UCCUPANCY (S)** (Ch. 3): ______

OCCUPANCY CATEGORY (Table 1604.5):
Current: ■ N\A ☐ I ☐ II ☐ III ☐ IV
Proposed: ☐ N\A ☐ I ■ II ☐ III ☐ IV

BASIC BUILDING DATA
Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A ☐
☐ I-B ■ II-B ☐ III-B ☐ V-B
Sprinklers: ☐ N\A ■ Yes ☐ No ☐ Partial ■ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☐ N\A ■ No Class: ☐ I-Wet ☐ I-Dry ☐ II-Wet ☐ II-Dry ☐ III-Wet ☐ III-Dry
Primary Fire District: ☐ Yes ■ No **Flood Hazard Area:** ☐ Yes ■ No
Special Inspections Required: ■ No ☐ Yes (Contact the local inspection jurisdiction for possible additional procedures and requirements)

Gross Building Area Table

FLOOR	NEW (HEATED SF)	NEW (UNHEATED SF)	NEW (COVEREDEXTERIOR SF)	SUB-TOTAL
3rd Floor				
2nd Floor				
Mezzanine				
1st Floor				44,875 SF
Basement				
TOTAL				44,875 SF

ALLOWABLE AREA

Primary Occupancy Classification(s):
Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business ☐ B
Educational ☐ E
Factory ☐ F-1 ☐ F-2
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional ☐ I-1 Condition 1 ☐ I-1 Condition 2 ☐ I-2 Condition 1 ☐ I-2 Condition 2
☐ I-3 Condition 1 ☐ I-3 Condition 2 ☐ I-3 Condition 3 ☐ I-3 Condition 4 ☐ I-3 Condition 5
Mercantile ☐ M
Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage ☐ S-1 ☐ S-1 High-Piled ■ S-2 ☐ S-2 High-piled
☐ Parking Garage (Open) ☐ Parking Garage (Enclosed) ☐ Repair Garage
Utility and Miscellaneous ☐ U

Accessory Occupancy Classification(s):
Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business 1 ☐ B **B IS < 10%**
Educational ☐ E
Factory ☐ F-1 ☐ F-2
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional ☐ I-1 Condition 1 ☐ I-1 Condition 2 ☐ I-2 Condition 1 ☐ I-2 Condition 2
☐ I-3 Condition 1 ☐ I-3 Condition 2 ☐ I-3 Condition 3 ☐ I-3 Condition 4 ☐ I-3 Condition 5
Mercantile ☐ M
Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage ☐ S-1 ☐ S-1 High-Piled ☐ S-2 ☐ S-2 High-piled
☐ Parking Garage (Open) ☐ Parking Garage (Enclosed) ☐ Repair Garage
Utility and Miscellaneous ☐ U

Incidental Uses (Table 509): ______
Special Uses (Chapter 4 - List Code Sections): ______
Special Provisions (Chapter 5 - List Code Sections): ______
Mixed Occupancy: ☐ Yes ■ No ☐ Non-Separated Use (508.3)
☐ Separated Use (508.4) - See below for area calculations for each story. The area of the occupancy shall be such that the sums of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
Separation: ☐ 1 HR ☐ 2 HR ☐ 3 HR ☐ 4 HR **Exception:** ______

$$\frac{\text{Actual Area of Occupancy S-2}}{\text{Allowable Area of Occupancy S-2}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

______ + ______ = ___ + ___ = ___ < 1.00

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2[4] AREA	(C) AREA FOR FRONTAGE INCREASE[1,5]	(E) ALLOWABLE AREA PER STORY OR UNLIMITED[2,3]
1st	S-2 GARAGE/STOR	44,875	104,000	.63 x 26,000= 16,380	120,380

[1] Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width. 867 (F).
b. Total Building Perimeter = 981 (P).
c. Ratio (F/P) = .63 (F/P).
d. W = Minimum width of public way = 30 (W).
[2] Unlimited area applicable under conditions of Section 507.
[3] Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2)
[4] The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
[5] Frontage increase is based on the unsprinklered area value in Table 506.2

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet	75'-0"	29'-8"	
Building Height in Stories	4	1	

[1] Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING Req'd	RATING Provided (w/___* Reduction)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural frame, including columns, girders, trusses		0					
Bearing Walls							
Exterior							
North	> 30'	0					
East	> 30'	0					
West	> 10' x < 30'	0					
South	> 30'	0					
Interior	NA						
Nonbearing Walls and Partitions							
Exterior walls							
North	> 30'	0					
East	> 30'	0					
West	> 10' x < 30'	0					
South	> 30'	0					
Interior walls and partitions							
Floor Construction Including supporting beams and joists		0					
Floor Ceiling Assembly	NA	0					
Columns Supporting Floors	NA	0					
Roof construction Including supporting beams and joists		0					
Roof Ceiling Assembly	NA	0					
Columns Supporting Roof		0					
Shaft Enclosures-Exit	NA						
Shaft Enclosures-Other	NA						
Corridor Separation	NA						
Occupancy/Fire Barrier Separation	NA						
Party/Fire Wall Separation	NA						
Smoke Barrier Separation	NA						
Smoke Partition	NA						
Tenant/Dwelling Unit/ Sleeping Unit Separation	NA						
Incidental Use Separation	NA						

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
NORTH / SOUTH	UP, NS	NO LIMIT	47%
EAST / WEST	UP, NS	NO LIMIT / 15% (WEST)	0%

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ☐ No ■ Yes
Exit Signs: ☐ No ■ Yes
Fire Alarm: ☐ No ■ Yes
Smoke Detection Systems: ☐ No ■ Yes ☐ Partial ______
Carbon Monoxide Detection: ■ No ☐ Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: G-003
☐ Fire and/or smoke rated wall locations (Chapter 7)
■ Assumed and real property line locations (if not on the site plan)
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
■ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
■ Occupant loads for each area
■ Exit access travel distances (1017)
■ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
☐ Dead end lengths (1020.4)
■ Clear exit widths for each exit door
■ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
■ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each fire area (202)
☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS
(SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

ACCESSIBLE PARKING
(SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	TOTAL # OF PARKING SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED: REGULAR WITH NO ACCESS AISLE	VAN SPACES WITH 5' ACCESS AISLE	VAN SPACES WITH 8' ACCESS AISLE	TOTAL # ACCESSIBLE PROVIDED
	25	69	2	1		3
TOTAL	25	69	2	1		3

PLUMBING FIXTURE REQUIREMENTS
(TABLE 2902.1)

USE		WATERCLOSETS MALE	WATERCLOSETS FEMALE	WATERCLOSETS UNI SEX	URINALS	LAVATORIES MALE	LAVATORIES FEMALE	LAVATORIES UNI SEX	SHOWERS / TUBS	DRINKING FOUNTAINS REGULAR	DRINKING FOUNTAINS ACCESSIBLE
SPACE	NEW	0	0	2	0	0	0	2	N/A	1	1
	REQ'D	1	1	0	0	1	1	0	N/A	0	0

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.
Existing building envelope complies with code: ☐ No ☐ Yes (the remainder of this section is not applicable
Exempt Building: ☐ No ■ Yes (C402.1.1 Low Energy Buildings)
Climate Zone: ☐ N/A ☐ 3A ■ 4A ☐ 5A
Method of Compliance:
☐ Energy Code - Prescriptive
☐ Energy Code - Performance
☐ ASHRAE 90.1 - Prescriptive
☐ ASHRAE 90.1 - Performance
☐ Other - Performance, If "Other" specify source here ______

THERMAL ENVELOPE: (Prescriptive Method Only)
Roof/Ceiling Assembly (each assembly)
Description of assembly: SEE DETAIL R2 ON A-002
U-Value of total assembly: ______
R-Value of insulation: R19 + R11 LS
Skylights in each assembly N/A
U-Value of skylight: N/A
Total square footage of skylights in each assembly N/A
Exterior Walls (each assembly)
Description of assembly: SEE DETAIL W1 ON A-002
U-Value of total assembly: 0.060
R-Value of insulation: R15.8CI
Openings (windows or doors with glazing)
U-Value of assembly: 0.45
Solar heat gain coefficient: 0.25
Projection Factor: 0
Door R-values: 1.30
Walls below grade (each assembly)
Description of assembly: N/A
U-Value of total assembly: N/A
R-Value of insulation: N/A
Floors over unconditioned space (each assembly)
Description of assembly: N/A
U-Value of total assembly: N/A
R-Value of insulation: N/A
Floor slabs on grade (each assembly)
Description of assembly: SEE DETAIL S1 ON A-002
U-Value of total assembly: N/A
R-Value of insulation: R-15 FOR 24"
Horizontal/Vertical requirement: N/A
Slab Heated: N/A

STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE

DESIGN LOADS:
Importance Factors: Wind (Iw) ■ 1.0
Snow (Is) ☐ 0.8 ■ 1.0 ☐ 1.1 ☐ 1.2
Seismic (Ie) ■ 1.0 ☐ 1.25 ☐ 1.5
Live Loads: Roof 20 psf
Office Floor 100 psf
Mobile Storage Floor 800 psf
Ground Snow Load: 10 psf
Wind Load: Basic Wind Speed 119 mph (ASCE-7)
Exposure Category: ☐ N/A ☐ B ■ C ☐ D

SEISMIC DESIGN CATEGORY ☐ N/A ☐ A ☐ B ■ C ☐ D
Provide the following Seismic Design Parameters:
Occupancy Category (Table 1604.5) ☐ N/A ☐ I ■ II ☐ III ☐ IV
Spectral Response Acceleration: S_S 17.9 %g S_1 8.4 %g
Site Classification (ASCE 7) ☐ N/A ☐ A ☐ B ☐ C ■ D ☐ E ☐ F
Data Source: ☐ N/A ■ Field Test ☐ Presumptive ☐ Historical Data
Basic structural system (check one) ☐ N/A
☐ Bearing Wall ☐ Dual w/ Special Moment Frame
☐ Building Frame ☐ Dual w/ Intermediate R/C or Special Steel
■ Moment Frame ☐ Inverted Pendulum
Analysis Procedure: ☐ Simplified ■ Equivalent Lateral Force ☐ Dynamic
Architectural, Mechanical, Components anchored? ☐ N/A ■ Yes ☐ No

LATERAL DESIGN CONTROL: ☐ N/A ☐ Earthquake ■ Wind

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) 2500 psf
Presumptive Bearing Capacity N/A psf
Pile size, type, and capacity N/A

MECHANICAL DESIGN
(PROVIDE ON MECHANICAL SHEETS IF APPLICABLE)
MECHANICAL SUMMARY

Thermal Zone 3A
winter dry bulb: 18 deg F
summer dry bulb: 94 deg F
Interior design conditions
winter dry bulb: 70 deg F
summer dry bulb: 75 deg F
relative humidity: 50%
Building heating load: OO
Building cooling load: OO
Mechanical Spacing Conditioning System
Unitary
description of unit: OO
heating efficiency: OO
cooling efficiency: OO
size category of unit: OO
Boiler
Size category. If oversized, state reason.: OO
Chiller
Size category. If oversized, state reason.: OO
List equipment efficiencies: OO

ELECTRICAL DESIGN
(PROVIDE ON ELECTRICAL SHEETS IF APPLICABLE)
ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT
Method of Compliance:
Energy Code: ■ Prescriptive ☐ Performance
ASHRAE 90.1: ☐ Prescriptive ☐ Performance
Lighting schedule (each fixture type)
lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed
Additional Required Prescriptive Compliance
☐ 406.2 More Efficient Mechanical Equipment
☐ 406.3 Reduced Lighting Power Density
☐ 406.4 Energy Recovery Ventilation Systems
☐ 406.5 Higher Efficiency Service Water Heating
☐ 406.6 On-Site Supply of Renewable Energy
☐ 406.7 Automatic Daylighting Control Systems

NOTES TO PLAN REVIEWER

This is a new pre-engineered metal building warehouse for truck storage and maintanence. The primary occupancy is S-2 Warehouse / Storage with a minor B Business accessory occupancy. This building will be constructed at the same time as the Operations Center building (permitted separately) which will include the completed parking lot for the entire site, see Civil for reference of complete site work scope.

The Truck Bays will be used for storing vehicles and no repair work will be done in that portion of the building. The Service Bays will have repair work performed on vehicles and equipment, all bays will be equipped with aerial floor drains and tied into an oil inteceptor, see Plumbing drawings for reference.

The entire building will be fully accessible.

The thermal envelope of the building is exempt per section C402.1.1 Low Energy Buildings of the 2018 NC Energy Building Code, however we will be providing insulation for occupant comfort and energy reduction purposes per client standards. The Thermal Energy section of the Appendix B has been filled out for contractor scoping and construction purposes only.

LIST OF SHEETS

GENERAL

CIVIL

McADAMS
2905 Meridian Parkway, Durham, NC 27713
tel: 919.287.0892
email: covil@mcadamsco.com

STRUCTURAL

MMSA INC
30 Patewood Dr. Suite 100
Greenville, SC 29615
tel: 864.331.1201
fax: 864.331.1201
email: msimpson@mmsainc.com

ARCHITECTURAL

LS3P ASSOCIATES LTD.
227 W Trade St. Ste 700
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tel: 704.333.6686
fax: 704.333.2926
email: tylercole@ls3p.com

FIRE PROTECTION

BARRETT WOODYARD ASSOCIATES
420 Minuet Ln
Charlotte, NC 28208
tel: 704.357.9333
email: slowery@barrettwoodyard.com

PLUMBING

BARRETT WOODYARD ASSOCIATES
420 Minuet Ln
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tel: 704.357.9333
email: slowery@barrettwoodyard.com

MECHANICAL

BARRETT WOODYARD ASSOCIATES
420 Minuet Ln
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ELECTRICAL

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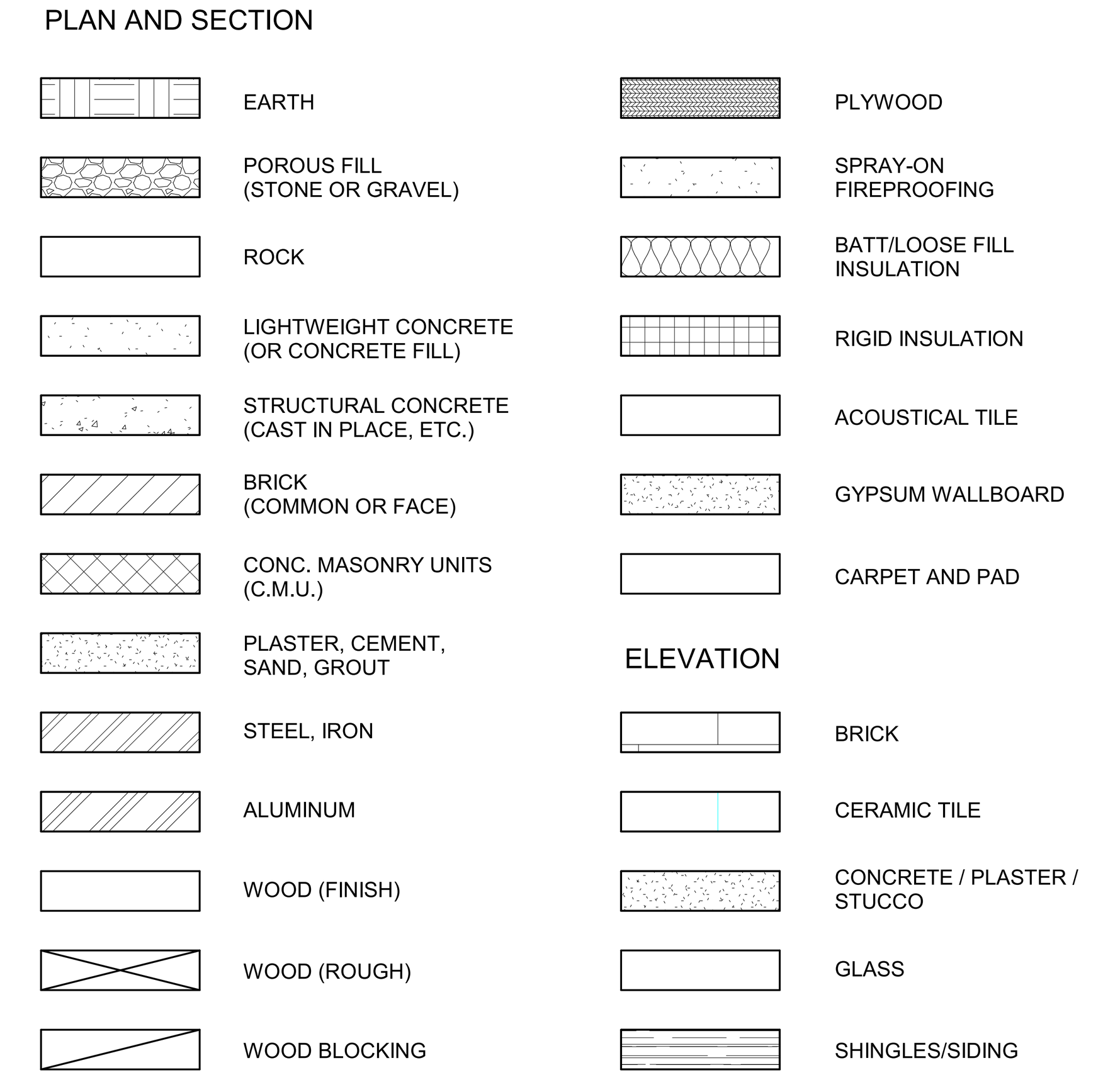
SECURITY

PAYNTER
3434 Edwards Mill Rd
suite 112-345
Raleigh, NC 27612
tel: 919.995.0462
email: bpaynter@paynterconsulting.com

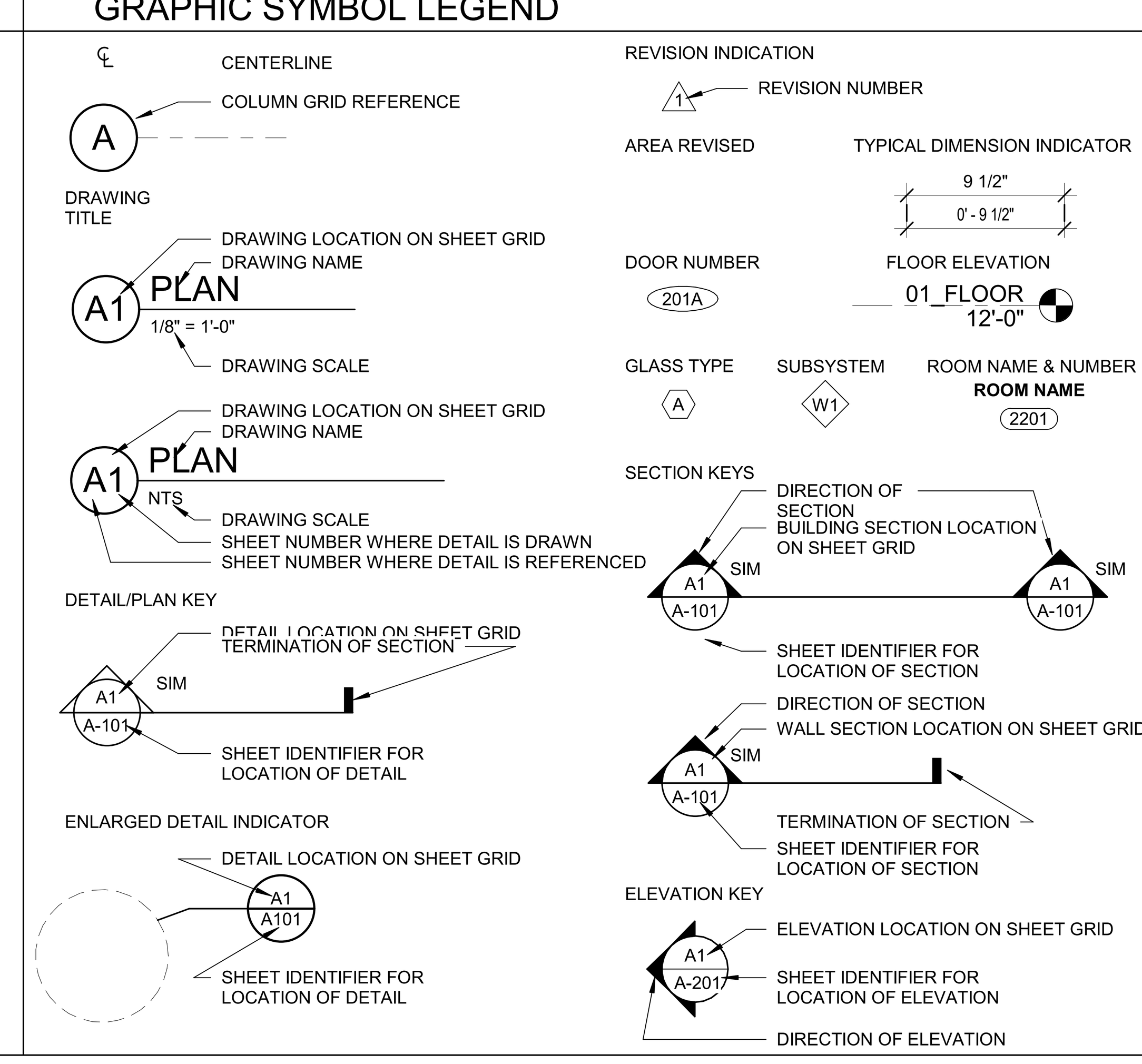
MATERIAL LEGEND

(NOT ALL MATERIALS APPLICABLE)



PLAN AND SECTION
EARTH
POROUS FILL (STONE OR GRAVEL)
ROCK
LIGHTWEIGHT CONCRETE (OR CONCRETE FILL)
STRUCTURAL CONCRETE (CAST IN PLACE, ETC.)
BRICK (COMMON OR FACE)
CONC. MASONRY UNITS (C.M.U.)
PLASTER, CEMENT, SAND, GROUT
STEEL, IRON
ALUMINUM
WOOD (FINISH)
WOOD (ROUGH)
WOOD BLOCKING
PLYWOOD
SPRAY-ON FIREPROOFING
BATT/LOOSE FILL INSULATION
RIGID INSULATION
ACOUSTICAL TILE
GYPSUM WALLBOARD
CARPET AND PAD
ELEVATION
BRICK
CERAMIC TILE
CONCRETE / PLASTER / STUCCO
GLASS
SHINGLES/SIDING

GRAPHIC SYMBOL LEGEND



CENTERLINE
COLUMN GRID REFERENCE
DRAWING TITLE
DRAWING LOCATION ON SHEET GRID
DRAWING NAME
PLAN
DRAWING SCALE
SHEET NUMBER WHERE DETAIL IS DRAWN
SHEET NUMBER WHERE DETAIL IS REFERENCED
DETAIL/PLAN KEY
DETAIL LOCATION ON SHEET GRID
TERMINATION OF SECTION
SHEET IDENTIFIER FOR LOCATION OF DETAIL
ENLARGED DETAIL INDICATOR
REVISION INDICATION
REVISION NUMBER
AREA REVISED
TYPICAL DIMENSION INDICATOR
DOOR NUMBER
FLOOR ELEVATION
01_FLOOR 12'-0"
GLASS TYPE
SUBSYSTEM
ROOM NAME & NUMBER
ROOM NAME
SECTION KEYS
DIRECTION OF SECTION
BUILDING SECTION LOCATION ON SHEET GRID
SHEET IDENTIFIER FOR LOCATION OF SECTION
WALL SECTION LOCATION ON SHEET GRID
ELEVATION KEY
ELEVATION LOCATION ON SHEET GRID
SHEET IDENTIFIER FOR LOCATION OF ELEVATION
DIRECTION OF ELEVATION

UDS SHEET DESIGNATORS AND SHEET ORDER

LEVEL 1 - DISCIPLINE DESIGNATORS

G	GENERAL	F	FIRE PROTECTION
H	HAZARDOUS MATERIALS	P	PLUMBING
V	SURVEY / MAPPING	M	MECHANICAL
B	GEOTECHNICAL	E	ELECTRICAL
C	CIVIL	T	TELECOMMUNICATIONS
L	LANDSCAPE	R	RESOURCE
S	STRUCTURAL		
A	ARCHITECTURAL		
I	INTERIORS		
Q	EQUIPMENT		

	LEVEL 3 - SHEET TYPE DESIGNATORS	LEVEL 4 - PLAN TYPE DESIGNATORS
0	GENERAL / OVERALL	DEMOLITION PLAN
1	PLANS	CONSTRUCTION PLAN
2	ELEVATIONS	REFLECTED CEILING
3	SECTIONS	FINISH PLAN
4	LARGE SCALE VIEWS	FURNITURE PLAN
5	DETAILS	OUTLET LOCATION PLAN
6	SCHEDULES & DIAGRAMS	USER DEFINED
7	USER DEFINED	FINISH PLAN
8	USER DEFINED	ACCESS FLOOR GRID PLAN
9	3D REPRESENTATIONS	BUILDING AUTOMATION PLAN

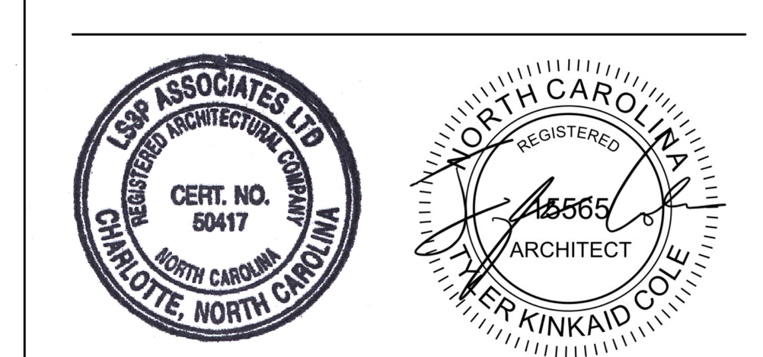
A-121
LEVEL 1 LEVEL 2 LEVEL 3 LEVEL 4 SEQUENCE

DRAWING NO.
CFD-####-G-0001-41CC2B

MAILING ADDRESS:
P.O. BOX 1007
CHARLOTTE, NC 28201

Safety Expectations:
Reduce Risk
Remove Exposures to Hazards
Reinforce Safe Behavior

227 W. Trade St. Suite 700
Charlotte, NC 28202



SEAL 2023.05.24

DUNN OPERATIONS CENTER

1269 Jonesboro Rd
Harnett County, NC 28334

MOBILE SUB. STORAGE

MARK	DATE	DRN BY	REVISION
9			
8			
7			
6			
5			
4			
3			
2			
1	06.29.23		OWNER CHANGES
0	05.24.23		ISSUED FOR CONSTRUCTION

PROJECT NO: 9101-223870
DRAWING NUMBER
CFD-####-G-0001-41CC2B
ELECTRONIC FILE NAME:
DRAWN BY: TKC
CHK'D BY: RA DATE: 2023.05.24
E-MAIL: tylercole@ls3p.com

SHEET TITLE:
PROJECT INFORMATION SHEET_NC

SHEET NO.
G-001

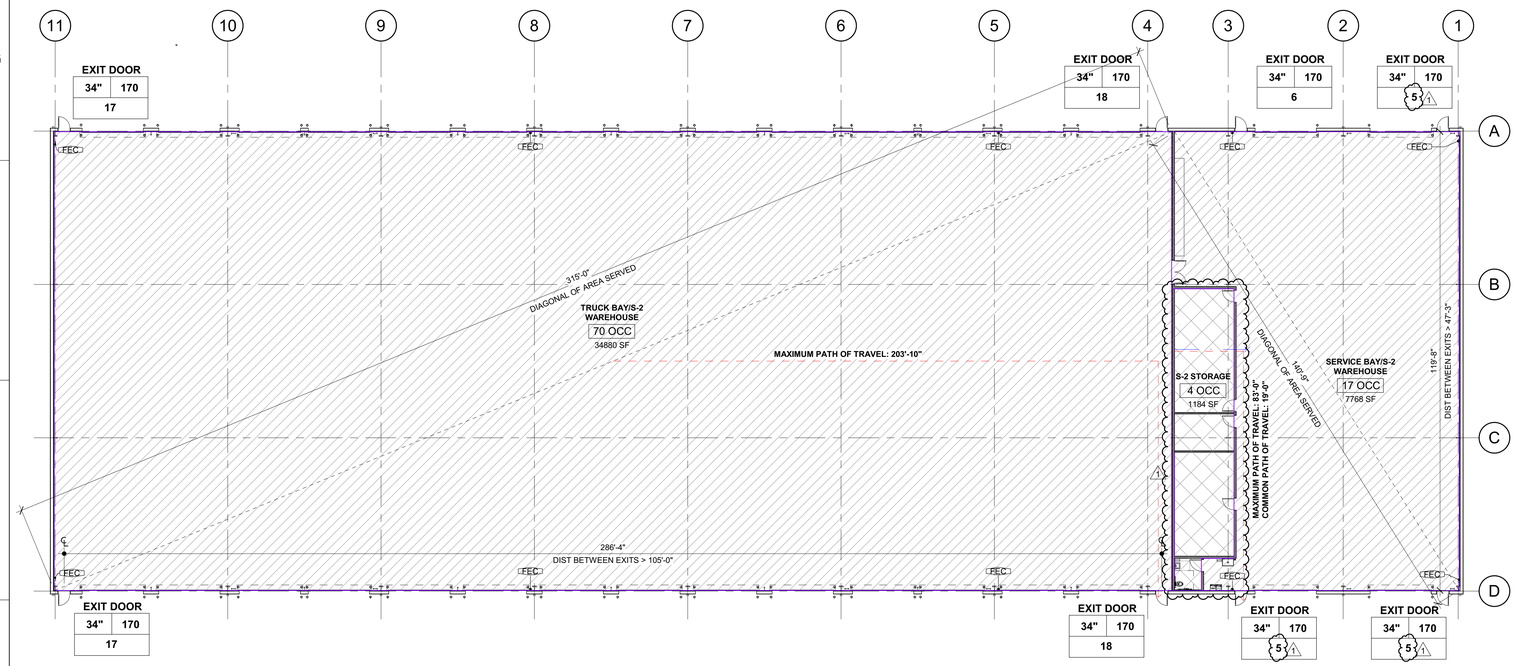
ISSUED FOR CONSTRUCTION

LIFE SAFETY AREA OCCUPANCY SCHEDULE

SCHEDULE	AREA	AREA PER OCCUPANT	OCCUPANCY LOAD PER AREA
TRUCK BAY/S-2 WAREHOUSE	34880 SF	500 SF	70
SERVICE BAY/S-2 WAREHOUSE	7768 SF	500 SF	17
S-2 STORAGE	1184 SF	300 SF	4
			91

PLUMBING FIXTURES REQUIRED BY OCCUPANCY TYPE

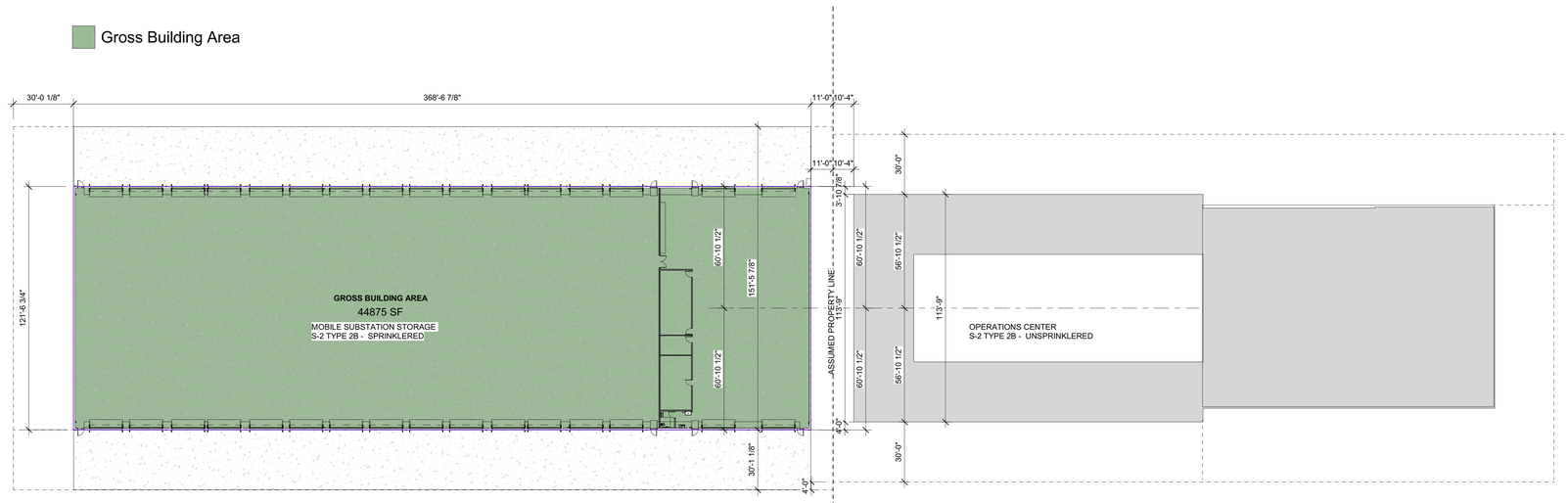
PLUMBING OCCUPANCY KEY	OCCUPANTS	MALE OCCUPANTS	FEMALE OCCUPANTS	WATER CLOSETS		LAVATORIES		BATHING	DRINKING FOUNTAINS
				MALE	FEMALE	MALE	FEMALE		
S-2 / STORAGE / WAREHOUSE	91	46	45	.45	.45	.45	.45	-	0
TOTALS	**91**	**46**	**45**	.45	.45	.45	.45	-	0



A1 1ST FLOOR - LIFE SAFETY PLAN
1/16" = 1'-0"

- OFFICE/ BUSINESS
- S-2 STORAGE
- SERVICE BAY/S-2 WAREHOUSE
- TRUCK BAY/S-2 WAREHOUSE

Gross Building Area



BUILDING PERIMETER
121'-9"+ 121'-9"+368'-7"+121'-9"+ 368'-7" = 980'-8" RD OFF 981'
980'-8"- (121'-9" - 8" = 113'-9") = 866'-11" RD OFF 867'
PERIMETER INCREASE PER 506.3
IF= (867/981' - .25)30/30
IF= (.88-.25)1 = .63 = 63% PERIMETER INCREASE

TOTAL BUILDING OCCUPANCY

44,875 SF

1 1ST FLOOR - GROSS BUILDING AREA
1" = 30'-0"

CODE COMPLIANCE LEGEND

- DISTANCE - EGRESS PATH
- DISTANCE - COMMON PATH OF TRAVEL
- DISTANCE - BETWEEN FIRE EXTINGUISHERS
- 19'-7" PATH DISTANCE
- PATH NUMBER
- PATH

ROOM NAME
1 OCC — OCCUPANCY LOAD
150 SF — ROOM AREA
OCC Type / SF per OCC — OCCUPANCY LOAD FACTOR AND METHOD
OCCUPANCY GROUP

EXIT DOOR
35" 175 — EXIT CAPACITY (DOOR EGRESS WIDTH / .2)
100 — ANTICIPATED LOAD
EGRESS WIDTH

EXIT STAIR
48" 160 — EXIT CAPACITY (STAIR EGRESS WIDTH / .30)
100 — ANTICIPATED LOAD
EGRESS WIDTH

FEC — FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER

PARTITION LEGEND

1. ALL EXTERIOR WALLS TO BE W1 U.N.O.
2. ALL INTERIOR METAL STUD PARTITIONS TO BE TYPE A6SX U.N.O.

- NON-RATED PARTITION TO 6" ABOVE CEILING, U.N.O.
- NON-RATED PARTITION TO DECK

NOTE: SEE SHEET A002 FOR CONSTRUCTION OF PARTITION TYPES

LIFE SAFETY ROOM OCCUPANCY KEY

Occupancy Type	Area per Occupant
Assembly - Concentrated	7 SF
Assembly - Standing Space	5 SF
assembly - Unconcentrated	15 SF
Business	100 SF
Courtrooms	40 SF
Dormitories	50 SF
Educational - Classroom	20 SF
Educational - Vocational	50 SF
Exercise Rooms	50 SF
Institutional - Inpatient	240 SF
Institutional - Outpatient	100 SF
Institutional - Sleeping	120 SF
Kitchens - Commercial	200 SF
Library - Reading	50 SF
Library - Stack	100 SF
Locker Rooms	50 SF
Mechanical Rooms	300 SF
Parking Garages	200 SF
Residential	200 SF
Stages and Platforms	15 SF
Storage Areas	300 SF

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DUKE ENERGY®

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Safety Expectations:

ILLNESS ZERO INJURY

- Reduce Risk
- Remove Exposures to Hazards
- Reinforce Safe Behavior

LS3P

227 W. Trade St. Suite 700
Charlotte, NC 28202

LS3P ASSOCIATES LTD. CERT. NO. 5017 CHARLOTTE, NORTH CAROLINA

NORTH CAROLINA REGISTERED 5665 ARCHITECT TYLER KINKAID COLE

SEAL

2023.05.24

DUNN OPERATIONS CENTER

1269 Jonesboro Rd
Harnett County, NC 28334

MOBILE SUB. STORAGE

MARK	DATE	DRN BY	REVISION
A	05.24.23		ISSUED FOR CONSTRUCTION
B	06.29.23		OWNER CHANGES

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SHEET TITLE:

LIFE SAFETY PLAN

SHEET NO.

G-003

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