





**GENERAL SURVEY NOTES**

- THE PURPOSE OF THIS PLAT IS TO PERFORM A TOPOGRAPHIC SURVEY ON THE PROPERTY OF CHATHAM CAPITAL GROUP, LLC & EQUITY TRUST COMPANY, WITH A PIN REFERENCE OF PIN: 0651-32-9794 & 0651-62-4761, WITH A DEED REFERENCE OF BOOK 4158 PAGE 108 & BOOK 4158 PAGE 312, AND WITH A PLAT REFERENCE OF BOOK 2022 PAGE 245 & BOOK 2022 PAGE 246 OF THE HARNETT COUNTY REGISTRY AND BEING LOCATED ON MATTHEWS ROAD IN LILLINGTON NORTH CAROLINA.
- THIS SURVEYOR DOES NOT CERTIFY TO THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITIES THAT MAY OR MAY NOT EXIST WITHIN THE BOUNDARIES AS SHOWN HEREON.
- NO NCGS MONUMENT WAS FOUND WITHIN 2000 FEET OF THIS SITE. COORDINATES DERIVED BY VRS/GPS.
- UNIT OF MEASUREMENT IS U.S. SURVEY FEET (FT) UNLESS SPECIFICALLY NOTED AS METERS (m).
- ALL DISTANCES AND COORDINATES SHOWN HEREON ARE BASED ON REFERENCES SHOWN HEREON.
- AREA(S) CALCULATED BY THE COORDINATE METHOD.
- NO BURIAL GROUNDS FOUND DURING THE SURVEY.

**SURVEY REFERENCES**

- DEED BOOK 262 PAGE 864
- DEED BOOK 776 PAGE 382
- DEED BOOK 932 PAGE 47
- DEED BOOK 1061 PAGE 397
- DEED BOOK 2026 PAGE 667
- DEED BOOK 2636 PAGE 418
- DEED BOOK 2979 PAGE 419
- DEED BOOK 3375 PAGE 524
- DEED BOOK 4158 PAGE 108 (CURRENT)
- DEED BOOK 4158 PAGE 312 (CURRENT)
- PLAT CABINET 2 PAGE 350
- PLAT BOOK 2003 PAGE 875
- PLAT BOOK 2021 PAGE 337
- PLAT BOOK 2022 PAGE 245 (CURRENT)
- PLAT BOOK 2022 PAGE 246 (CURRENT)
- VAL MAP 12 PG 3-4
- OTHERS SHOWN HEREON

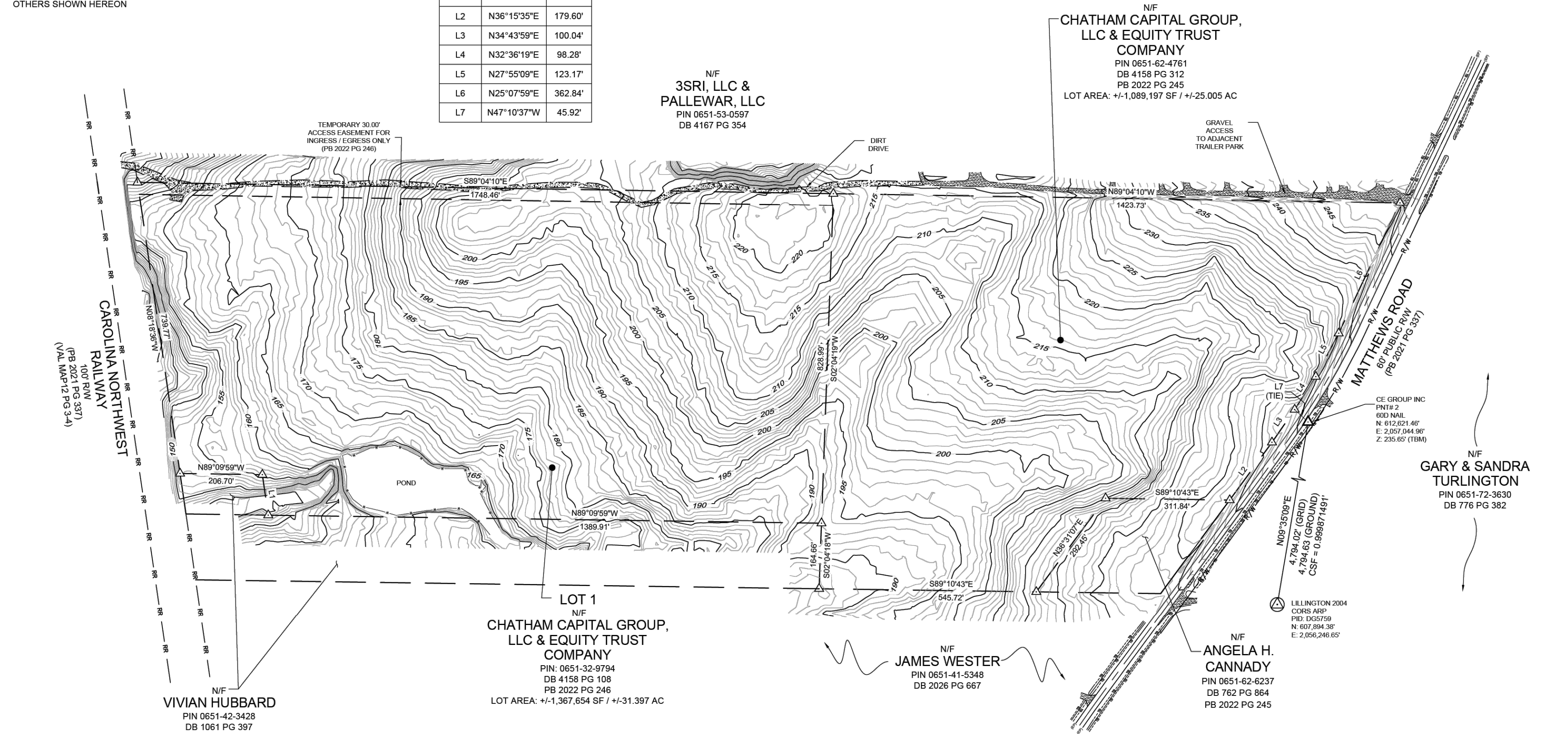
**ABBREVIATIONS**

- AC ACRES
- AG ABOVE GROUND
- BG BELOW GROUND
- GAT GAP & TACK
- CP CALCULATED POINT
- CSF COMBINED SCALE FACTOR
- DB DEED BOOK
- IPF IRON PIPE FOUND
- IPS IRON PIPE SET
- IRF IRON REBAR FOUND
- NF NOW OR FORMERLY
- PB PLAT BOOK
- PC PLAT CABINET
- PG PAGE
- R/R RAILROAD
- R/W RIGHT-OF-WAY
- SF SQUARE FEET
- TBM TEMPORARY BENCH MARK
- TYP TYPICAL
- W/ WITH

**LEGEND**

- PL NOT SURVEYED
- R/W RIGHT-OF-WAY LINE
- EASEMENT
- POND
- TOP OF BANK
- CENTERLINE OF ROAD
- CENTERLINE OF DITCH
- EDGE OF GRAVEL
- EDGE OF DIRT TRAVEL WAY
- MAJOR CONTOUR
- MINOR CONTOUR
- RAILROAD RIGHT OF WAY
- GRAVEL TRAVEL WAY
- DIRT TRAVEL WAY
- COMPUTED POINT
- DATUM CONTROL POINT

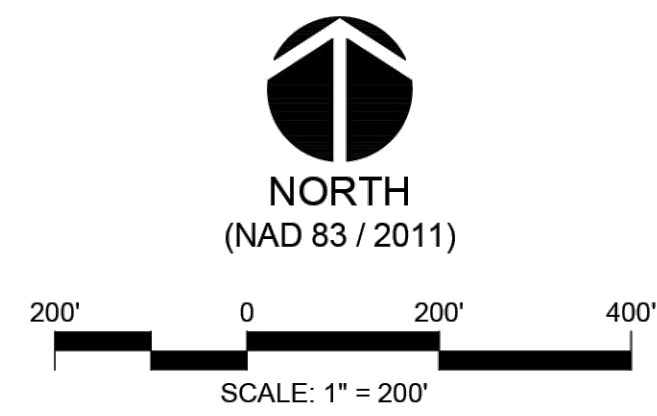
Line #	Direction	Length
L1	N08°20'32"W	102.71'
L2	N36°15'35"E	179.60'
L3	N34°43'59"E	100.04'
L4	N32°36'19"E	98.28'
L5	N27°55'09"E	123.17'
L6	N25°07'59"E	362.84'
L7	N47°10'37"W	45.92'



I, JAMIE SHANE STRICKLAND, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION, FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, THAT THE ELEVATION REPRESENTED BY ANY CONTOUR LINE AS PLOTTED ON THIS PLAT SHALL NOT HAVE A VERTICAL ERROR GREATER THAN ONE-HALF OF THE INTERVAL OF THE PLATTED CONTOURS OVER 90% OF THE AREA COVERED; THAT THE LOCATION OF SIGNIFICANT ITEMS SUCH AS HORIZONTAL CONTROL LINES, BUILDINGS, UTILITIES, ROADS, TREES, ETC., SHALL BE SHOWN WITHIN SCALING ACCURACY OF AND IN RELATIONSHIP TO THE HORIZONTAL CONTROL LINE OR CONTROL POINTS TO EACH OTHER; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, AS AMENDED; WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 1ST DAY OF DECEMBER, A.D., 2022.



Digitized by:  
J. Shane Strickland PLS  
FE447A2088642  
JAMIE SHANE STRICKLAND, PLS N.C. REG. NO.: L-4669



**PROPERTY DATA**  
CURRENT OWNER: CHATHAM CAPITAL GROUP, LLC & EQUITY TRUST COMPANY  
SITE ADDRESS: MATTHEWS ROAD, LILLINGTON, NC  
PIN: 0651-32-9794 & 0651-62-4761  
PARCEL AREA: +/-25.005 AC (PER PB 2022 PG 245)  
+/-31.397 AC (PER PB 2022 PG 246)  
WATERSHED: WS-14-9A  
ZONING: RR (RURAL RESIDENTIAL)

NO.	REVISIONS	DATE

**CE GROUP**  
301 GLENWOOD AVE. 220  
RALEIGH, NC 27603  
PHONE: 919-367-8790  
FAX: 919-235-0032  
www.cegroupinc.com  
License # C-1739

**TOPOGRAPHIC SURVEY**  
PROPERTY OF  
**CHATHAM CAPITAL GROUP, LLC & EQUITY TRUST COMPANY**  
NEILLS CREEK TOWNSHIP - COUNTY OF HARNETT - NORTH CAROLINA

Date: 11/03/2022  
Scale: 1" = 200'  
Drawn: WEM  
Checked: JSS  
Project No: 147-03  
Computer Dwg. Name: 147-03\_TopoCert.dwg  
Sheet No: 1 Of 1

NO.	REVISIONS	DATE

**CE GROUP**  
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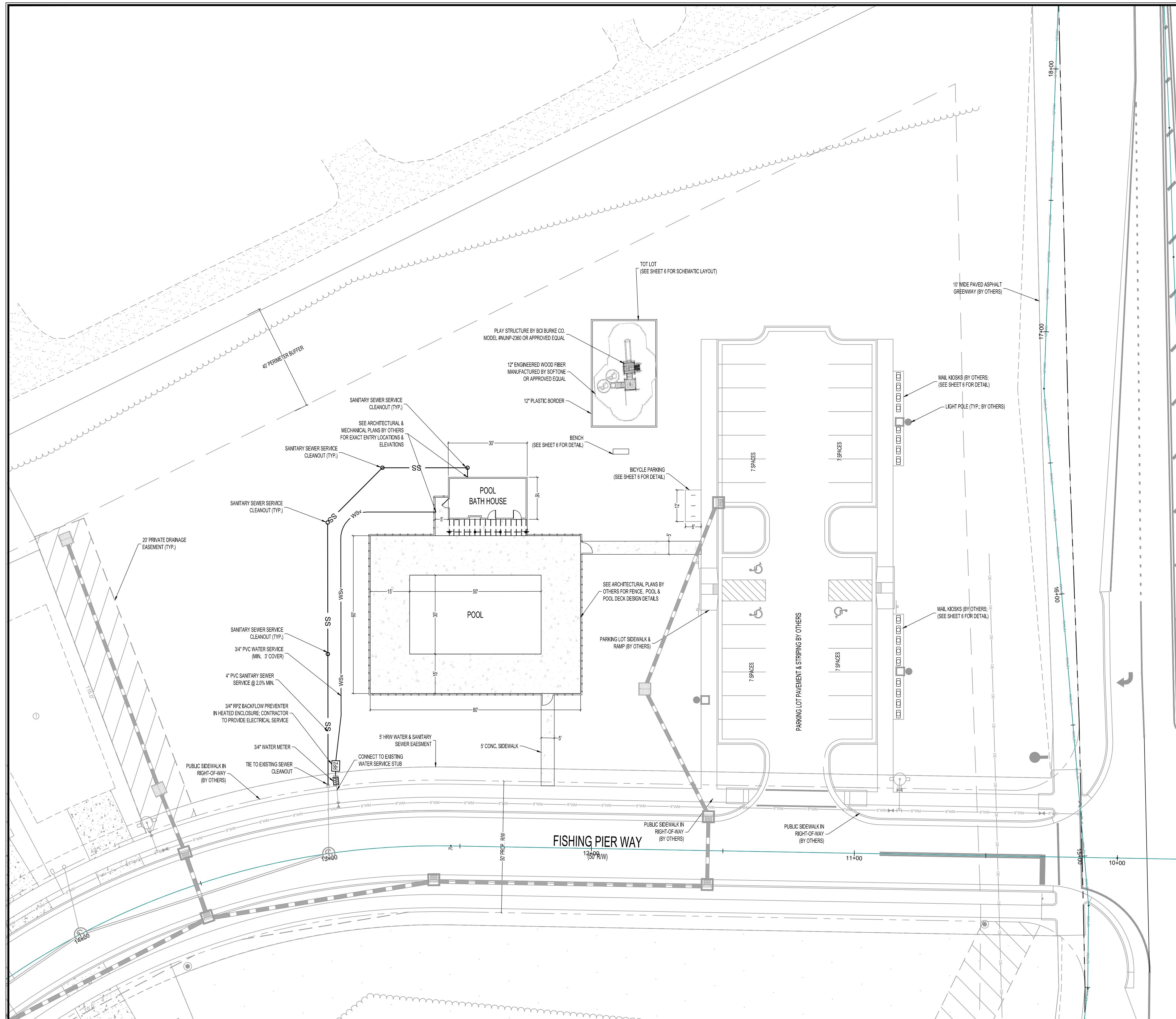
**CAITLIN CROSSING  
AMENITY CENTER  
CERTIFIED SURVEY**

**LILLINGTON, NORTH CAROLINA**

Date: JANUARY 29, 2024  
Scale: #####  
Drawn: AJF  
Checked: AJF  
Project No: 147-03  
Computer Dwg. Name: 147-03 certified survey

Sheet No: 2 Of 8





**CAITLIN CROSSING AMENITY CENTER  
OVERALL SITE DATA TABLE**

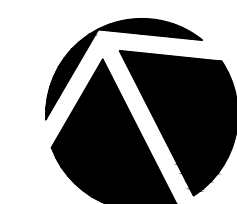
<b>SITE ADDRESS</b>	MATHEWS ROAD, LILLINGTON, NC	
<b>TOWNSHIP</b>	NIELLS CREEK	
<b>CURRENT SITE OWNER (AREA / PIN / DB &amp; PG)</b>	CHATHAM CAPITAL GROUP LLC & EQUITY TRUST CO. (25.00 AC / 0651-62-4761 / DB 4158 PG 312) CHATHAM CAPITAL GROUP LLC & EQUITY TRUST CO. (31.387 AC / 0651-32-0754 / DB 4158 PG 102)	
<b>TOTAL SUBDIVISION AREA</b>	56.40 AC	
<b>TOTAL PROJECT AREA</b>	2.11 AC	
<b>DEVELOPER</b>	CAROLINA LAND GROUP, LLC	
<b>DEVELOPER ADDRESS</b>	341 KILMAYNE DRIVE, SUITE 201, CARY, NC 27511	
<b>WATERSHED</b>	CAPE FEAR RIVER BASIN	
<b>SUBWATERSHED</b>	NIELLS CREEK-BUIES CREEK	
<b>WATERSUPPLY CLASSIFICATION</b>	WSIV-FA	
<b>FEMA MAP NO.</b>	372006400J	
<b>FEMA PANEL EFFECTIVE DATE</b>	October 3, 2006	
<b>AUTHORITY HAVING JURISDICTION</b>	TOWN OF LILLINGTON	
<b>CURRENT ZONING</b>	CONDITIONAL ZONING RS10 CLUSTER	
<b>PROPOSED ZONING</b>	CONDITIONAL ZONING RS10 CLUSTER	
<b>SETBACKS (PER ZONING CONDITIONS)</b>	TOWNHOMES	SINGLE FAMILY
	FRONT	30
	SIDE	0
	SIDE STREET	0
	REAR	10
<b>PROPOSED DWELLING UNITS</b>	TOWNHOMES	SINGLE FAMILY
	PROJECT TOTAL	100
		138
<b>PROPOSED DENSITY</b>	238 DU's / 56.4 AC = 4.22 DU/AC	
<b>AMENITY PARKING</b>	DESIGNATION	OUTDOOR AMUSEMENT
		NO REQUIREMENT
	PROVIDED ACCESSIBLE PARKING	3 SPACES
	PROVIDED TOTAL PARKING	28 SPACES
<b>BICYCLE PARKING</b>	DESIGNATION	1 PER 50 LOTS
	TOTAL NEIGHBORHOOD LOTS	238
	REQUIRED BICYCLE PARKING	5 SPACES
	PROVIDED BICYCLE PARKING	6 SPACES
<b>PARKING LANDSCAPING</b>	LANDSCAPING REQUIRED	1 LARGE TREE OR 2 SMALL TREES + 8 SHRUBS PER 20 PARKING SPACES
		OR 1 LARGE TREE AND 3 SMALL TREES AND 11 SHRUBS

**GENERAL UTILITY NOTES**

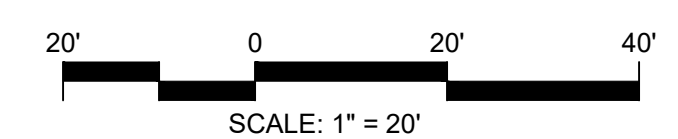
- EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES PRIOR TO BEGINNING ANY DEMOLITION OR CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE TOWN OF LILLINGTON, HARNETT REGIONAL WATER (HRW) AND NCDOT.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN AND/OR PROFILE BY THE TOWN OF LILLINGTON AND HRW PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO HRW.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES AND/OR STRUCTURES AS SHOWN ON THE PLANS OR AS NEEDED FOR CONSTRUCTION. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT SHALL BE RELOCATED AT THE EXPENSE OF THE APPLICANT UPON APPROVAL.
- CONTRACTOR IS RESPONSIBLE FOR ANY TRAFFIC CONTROL FOR WORK WITHIN NCDOT RIGHT-OF-WAY. BEFORE DOING WORK WITHIN RIGHT-OF-WAY, CONTACT NCDOT DISTRICT OFFICE AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- CONTRACTOR TO COORDINATE UTILITY PLAN WITH ELECTRICAL PLANS, BY OTHERS, FOR ELECTRICAL AND TELECOMMUNICATIONS ROUTING AND CONNECTION INFORMATION.
- CONTRACTOR TO FIELD ADJUST VALVE BOXES, CLEAN-OUTS, AND MANHOLE RIMS TO MATCH FINAL GRADES.
- SEE HARNETT REGIONAL WATER DETAIL W-12 ON SHEET 8 FOR WATER SERVICE INSTALLATION.

**GENERAL NOTES**

- BOUNDARY, TOPOGRAPHIC AND EXISTING CONDITIONS SURVEY PERFORMED BY CE GROUP, INC. AND BASED ON A SURVEY ENTITLED "TOPOGRAPHIC SURVEY" AND DATED DECEMBER 1, 2022.
- WETLAND AND STREAM INFORMATION PROVIDED BY TERRACON.
- PROPERTIES SHOWN HEREON ARE SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD THAT WOULD BE REVEALED BY A THOROUGH TITLE SEARCH. THIS MAP SHOULD NOT BE RELIED UPON AS A COMPLETE RECORD OF ALL SUCH EASEMENTS THAT MAY EFFECT THESE PROPERTIES.
- EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED UPON FIELD SURVEYS AND AVAILABLE RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CONTACT 811 AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ALL WATER & SEWER MAINS CONSTRUCTION SHALL BE IN CONFORMANCE TO HARNETT REGIONAL WATER AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN CONFORMANCE TO THE TOWN OF LILLINGTON AND NCDOT STANDARDS AND SPECIFICATIONS.
- FOR ALL WATER MAINS, AT LEAST TWO FULL JOINTS OF RESTRAINED JOINT PIPE SHALL BE INSTALLED PRIOR TO END OF PHASE LINE OR LINE TERMINUS.
- ALL CONSTRUCTION WITHIN THE NCDOT RW SHALL BE IN CONFORMANCE TO THE NCDOT STANDARDS AND SPECIFICATIONS.
- PORTIONS OF THE SUBJECT PROPERTY ARE NOT LOCATED IN A 1% ANNUAL FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 372006400J AND DATED OCTOBER 3, 2006.
- NO WETLAND AREA ALLOWED WITHIN INDIVIDUAL LOT AREA.
- INDIVIDUAL LOT PLANS WILL NEED TO BE OBTAINED AND PERMITTED SEPARATELY.



NORTH

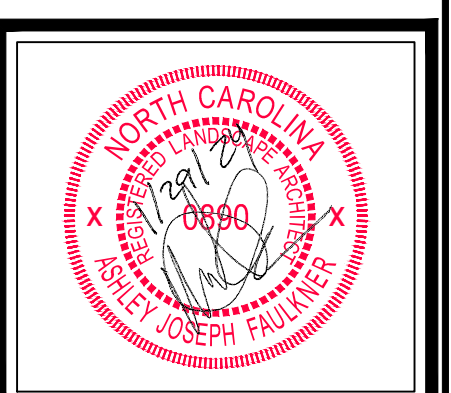


NO.	REVISIONS	DATE

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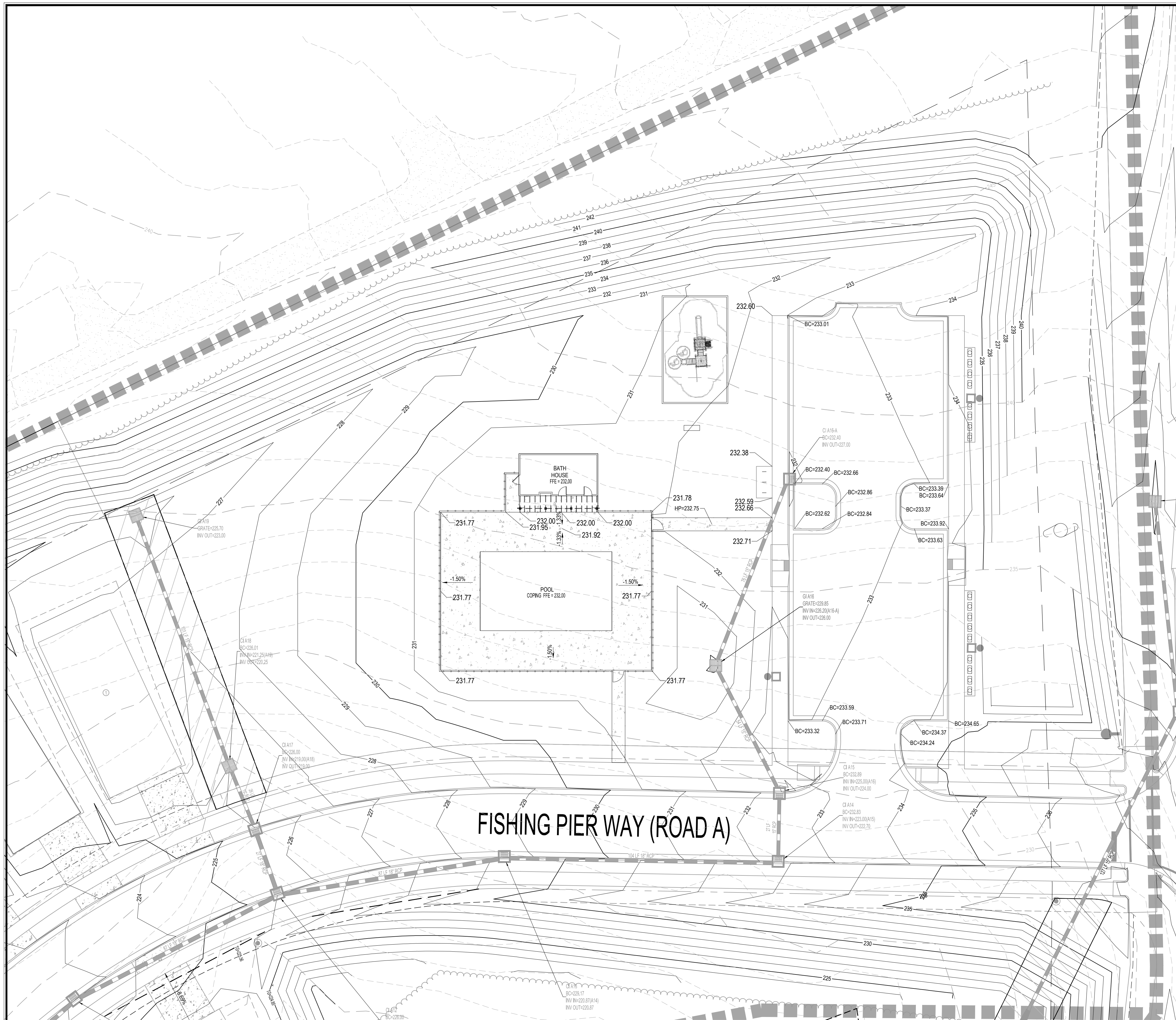
**CAITLIN CROSSING  
AMENITY CENTER  
SITE & UTILITY PLAN**

LILLINGTON, NORTH CAROLINA

Date:	JANUARY 29, 2024
Scale:	1" = 20'
Drawn:	RJH
Checked:	AJF
Project No.:	147-03
Computer Dwg. Name:	147-03 amenity site plan

Sheet No:  
**3**  
Of 8





**GENERAL GRADING NOTES**

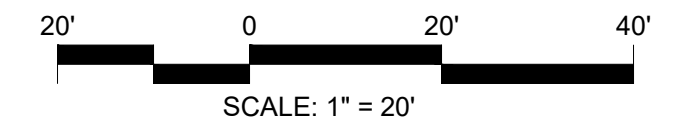
1. STORM DRAINAGE SHOWN TO BE INSTALLED DURING SUBDIVISION CONSTRUCTION. ENSURE POSITIVE DRAINAGE TO ALL STRUCTURES.
2. POOL HOUSE DOWNSPOUTS TO SURFACE DRAIN. ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
3. PARKING LOT AND MAIL KIOSKS TO BE INSTALLED DURING SUBDIVISION CONSTRUCTION.
4. SEE PLAYGROUND MANUFACTURER SPECIFICATIONS FOR SURFACE MATERIAL AND DRAINAGE REQUIREMENTS.

**GENERAL NOTES**

1. BOUNDARY, TOPOGRAPHIC AND EXISTING CONDITIONS SURVEY PERFORMED BY CE GROUP, INC. AND BASED ON A SURVEY ENTITLED "TOPOGRAPHIC SURVEY" AND DATED DECEMBER 1, 2022.
2. WETLAND AND STREAM INFORMATION PROVIDED BY TERRACON.
3. PROPERTIES SHOWN HEREON ARE SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD THAT WOULD BE REVEALED BY A THOROUGH TITLE SEARCH. THIS MAP SHOULD NOT BE RELIED UPON AS A COMPLETE RECORD OF ALL SUCH EASEMENTS THAT MAY AFFECT THESE PROPERTIES.
4. EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED UPON FIELD SURVEYS AND AVAILABLE RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. THE CONTRACTOR SHALL CONTACT 811 AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
6. ALL WATER & SEWER MAINS CONSTRUCTION SHALL BE IN CONFORMANCE TO HARNETT REGIONAL WATER AND NCEG STANDARDS AND SPECIFICATIONS.
7. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN CONFORMANCE TO THE TOWN OF LILLINGTON AND NCEG STANDARDS AND SPECIFICATIONS.
8. FOR ALL WATER MAINS, AT LEAST TWO FULL JOINTS OF RESTRAINED JOINT PIPE SHALL BE INSTALLED PRIOR TO END OF PHASE LINE OR LINE TERMINUS.
9. ALL CONSTRUCTION WITHIN THE NCDOT ROW SHALL BE IN CONFORMANCE TO THE NCDOT STANDARDS AND SPECIFICATIONS.
10. PORTIONS OF THE SUBJECT PROPERTY ARE NOT LOCATED IN A 1% ANNUAL FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 372064000 AND DATED OCTOBER 3, 2006.
11. NO WETLAND AREA ALLOWED WITHIN INDIVIDUAL LOT AREA.
12. INDIVIDUAL LOT PLANS WILL NEED TO BE OBTAINED AND PERMITTED SEPARATELY.

**LEGEND**

- BC BACK OF CURB ELEVATION
- CI CURB INLET
- GI GRATE INLET
- TC TOP OF CONCRETE
- TG TOP OF GROUND ELEVATION
- VC VALLEY CURB
- PRIVATE DRAINAGE EASEMENT



NO.	REVISIONS	DATE

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**CAITLIN CROSSING  
AMENITY CENTER  
GRADING PLAN**

LILLINGTON, NORTH CAROLINA

Date: JANUARY 29, 2024

Scale: 1" = 20'

Drawn: R.J.H.

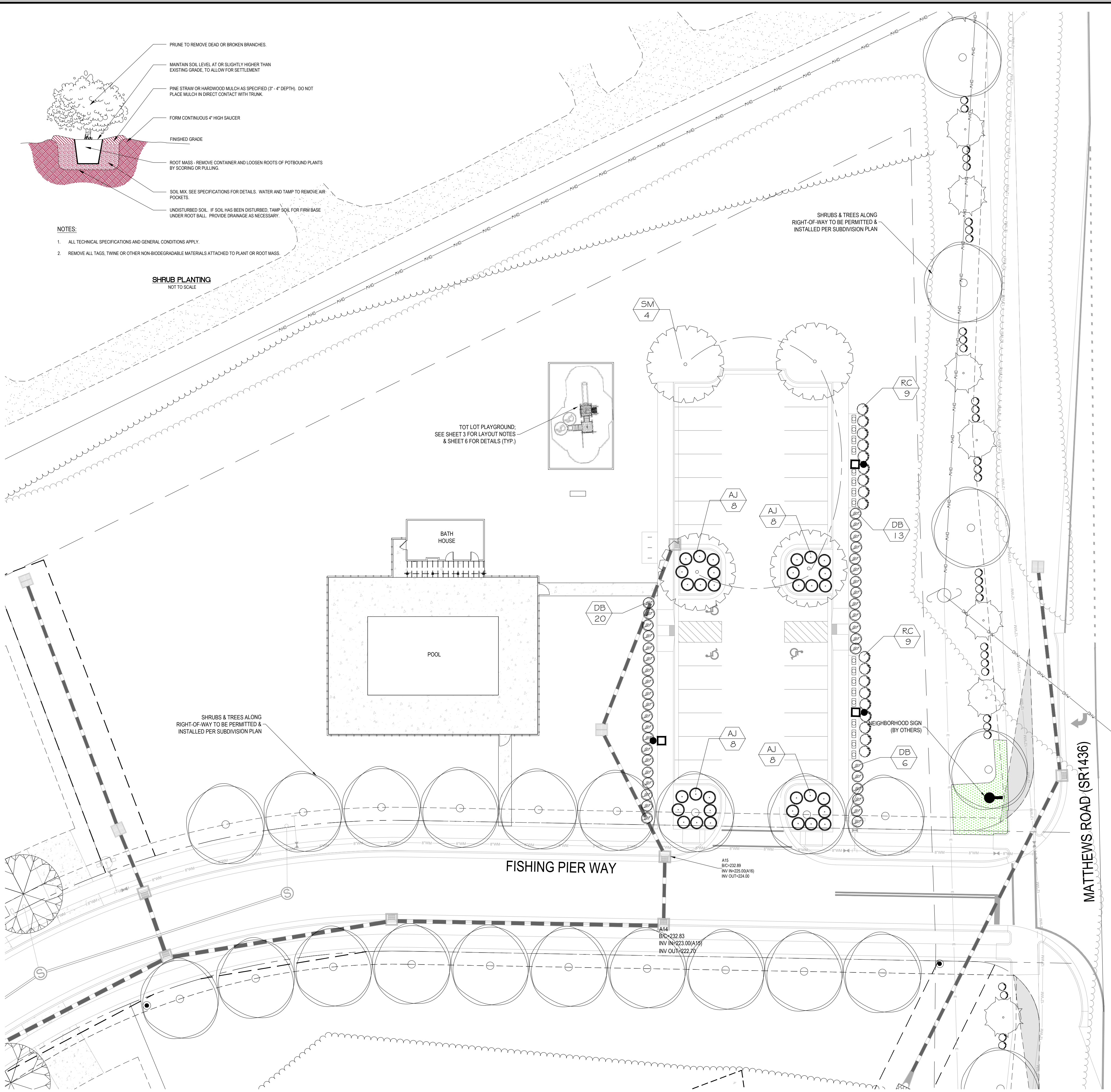
Checked: A.J.F.

Project No. 147-03

Computer Dwg. Name 147-03 amenity grading plan

Sheet No: 4 Of 8





### PLANT LIST

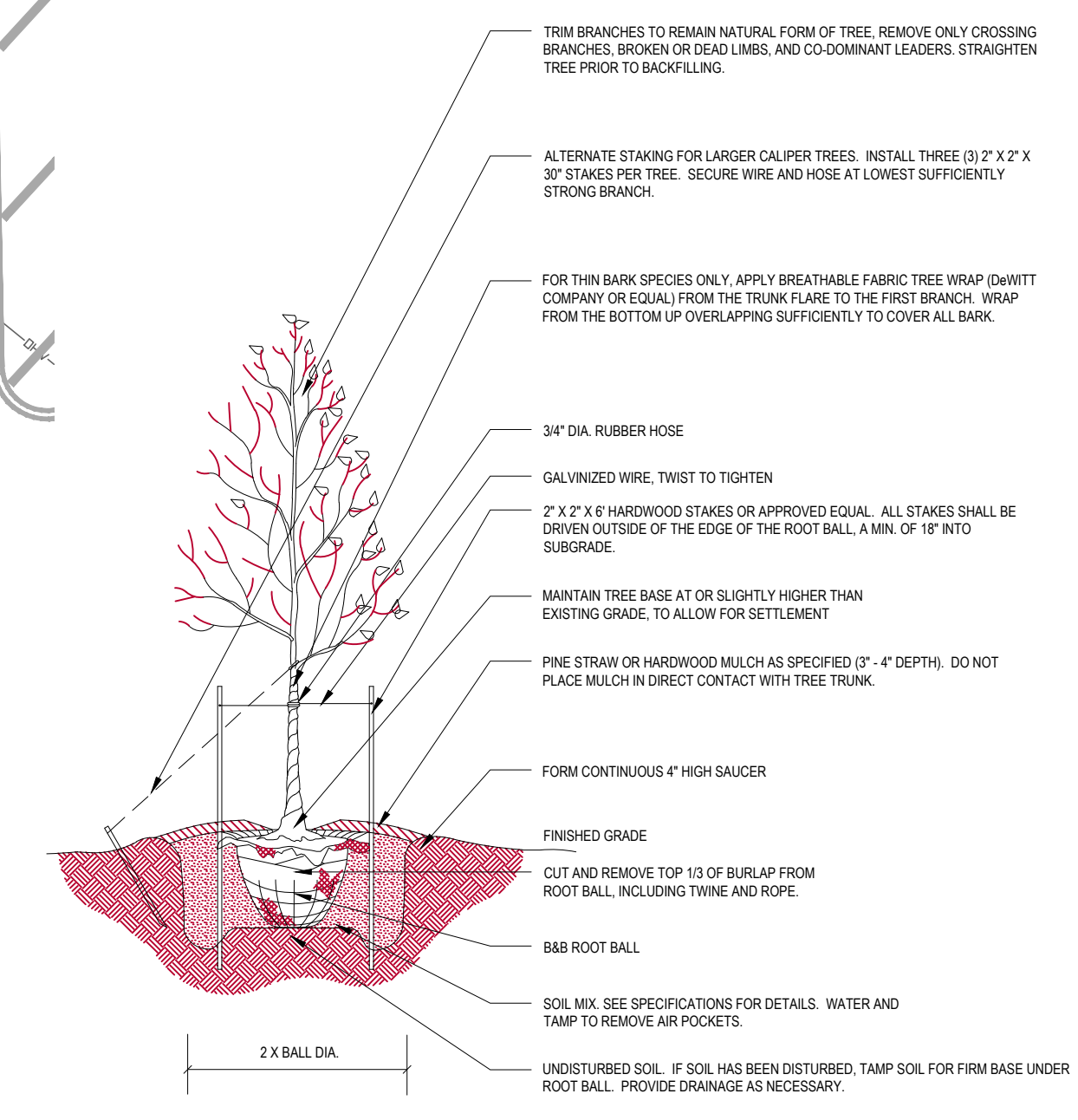
KEY	QUAN.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	REMARKS
SM	4	<i>Acer saccharum</i> 'Legacy'	Legacy Sugar Maple	Cal 3"	2'-14" ht.	B 4 B	STREET TREES ON LOT
UNDERSTORY TREES							
SHRUBS							
AJ	32	<i>Juniperus Horizontalis</i> Youngstown	Angora Juniper		2'-15" ht.	3 gal.	
DB	39	<i>Ilex cornuta</i> 'Burfordii' Nana	Dwarf Burford Holly		8'-24" ht.	3 gal.	
RC	18	<i>Loropetalum chinense</i> 'Red Chocolate'	Red Chocolate Loropetalum		18'-24" ht.	7 gal.	

**NOTE:**  
 CONTRACTOR TO BID PLANT MATERIAL AND SIZES SHOWN. WHEN THE BID IS SUBMITTED, CONTRACTOR SHOULD SUPPLY SUGGESTED PLANT SUBSTITUTIONS (WITH COST SAVINGS) FOR OWNER TO CONSIDER.

- NOTES:**
- LANDSCAPE CONTRACTOR TO INCLUDE SOD/SEED ONLY WHERE SHOWN ON PLANS. ALL OTHER SEEDING BY SITE CONTRACTOR.
  - MULCH IN BUFFER IS THE AROUND EACH INDIVIDUAL PLANT. MASS MULCHING OR SEEDING IN THE BUFFER IS NOT REQUIRED TO BE BID BY THE LANDSCAPE CONTRACTOR.
  - LANDSCAPE BED REQUIREMENTS:
    - CONTRACTOR TO PROVIDE 6" DIAMETER BEDS AROUND SINGLE TREES/ SHRUBS THAT ARE NOT WITHIN 4' OF ANY OTHER TREE/ SHRUB
    - MAINTAIN MIN. 3" OF MULCHED BED OUTSIDE ALL TREE/ SHRUB CLUSTERS
    - LANDSCAPE BED MULCH TO BE MIN. DEPTH OF 3" - 4"

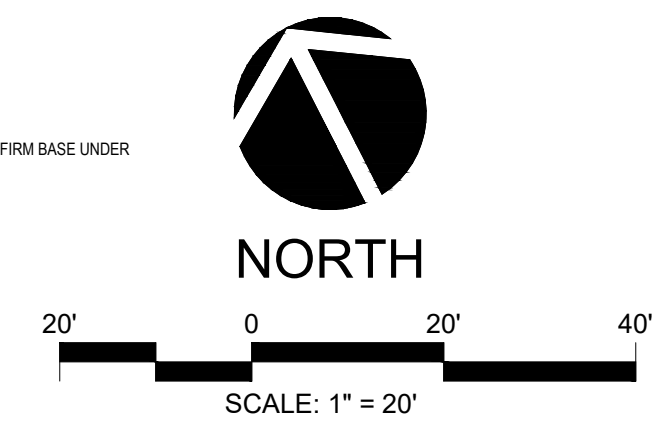
**LANDSCAPE PLANTING NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITY TAKE-OFFS AND VERIFICATION OF MATERIALS AS SHOWN ON THESE PLANS AND IN WRITTEN SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING AND PROPOSED UNDERGROUND UTILITIES PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- ALL LANDSCAPE MATERIALS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- PRIOR TO THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL PROPERLY BACKFILL ALL PLANT MATERIAL THAT HAS BEEN PLACED IN PREPARED HOLES, AND PROPERLY WATER AND MULCH ALL PREPARED GROUNDCOVER, PERENNIAL AND ANNUAL BEDS.
- ALL TREES AND SHRUBS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
- LANDSCAPE ARCHITECT OR OWNER SHALL APPROVE ANY ON-SITE PLANT STORAGE AREA.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED BY HAND PRIOR TO PLACEMENT AND BACK FILLING WITH PREPARED SOILS. HAND TOOLS ARE NOT TO BE USED TO SCARIFY ROOT BALLS.
- ALL ROPE AND WRAPPING TWINE SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PARTS OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM PLANT BALLS PRIOR TO BACKFILLING.
- ALL PLANTING AREAS SHALL BE EDGED WITH SMOOTH, CONTINUOUS CURVES. PINE STRAW MULCH, IF SPECIFIED, SHALL BE ROLLED AND TUCKED ALONG PLANT BED EDGE.
- ALL PLANT MATERIAL SHALL BE PLANTED AT HEIGHTS AS ILLUSTRATED IN THE PLANTING DETAILS & PLANT LIST.
- TREE STAKING AND GUYING, IF NECESSARY, SHALL BE PERFORMED WITHIN A WEEK OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE STAKING MATERIAL AFTER THE FIRST FULL GROWING SEASON OR ONE YEAR, WHICHEVER COMES FIRST.
- B & B AS LISTED UNDER "ROOT" IN THE PLANT LIST INDICATES BALLED AND BURLAPPED.
- ALL PLANT BEDS AND RAISED SAUCER RINGS SHALL BE GRADED TO PROVIDE ADEQUATE DRAINAGE AND SHALL BE MULCHED AS SPECIFIED.
- ALL MATERIALS, PLANTING AND LANDSCAPE WORK SHALL CONFORM TO THE LOCAL OR COUNTY JURISDICTIONAL AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS.
- ALL LANDSCAPING SHALL BE MAINTAINED IN PERPETUITY.



- NOTES:**
- ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY.
  - IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT WIRE BASKET IN SEVERAL PLACES AND FOLD DOWN A MINIMUM OF 8" INTO PLANTING HOLE. REMOVE ALL SYNTHETIC BURLAP FROM ROOT BALL PRIOR TO BACKFILLING.
  - FOR CONTAINER GROWN TREES, SUFFICIENTLY SCARIFY ROOT BALL PRIOR TO PLANTING.

**DECIDUOUS TREE PLANTING**  
 NOT TO SCALE

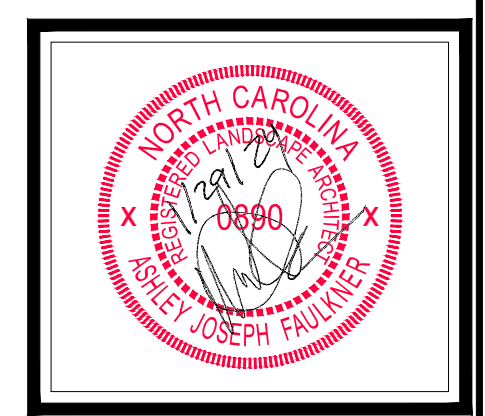


NO.	REVISIONS	DATE

**CE GROUP**

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**CAITLIN CROSSING  
 AMENITY CENTER  
 LANDSCAPE PLAN**

LILLINGTON, NORTH CAROLINA

Date: JANUARY 29, 2024  
 Scale: 1" = 20'  
 Drawn: RJH  
 Checked: AJF  
 Project No: 147-03  
 Computer Dwg. Name: 147-03\_amenity landscape plan

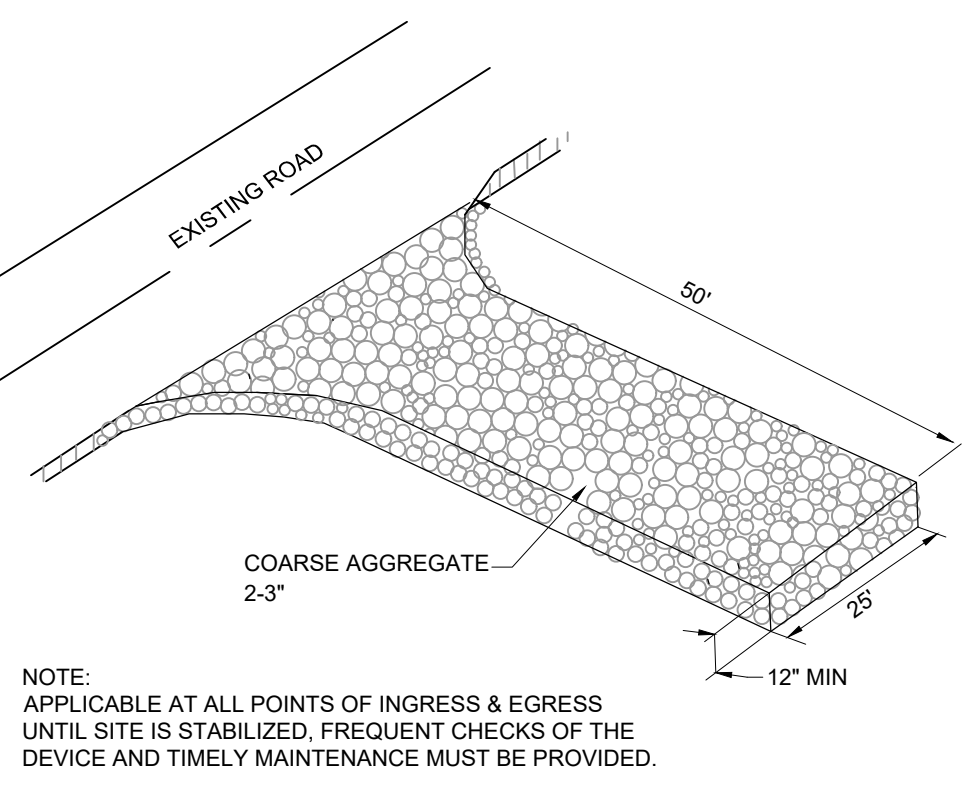
Sheet No:  
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 Of 8



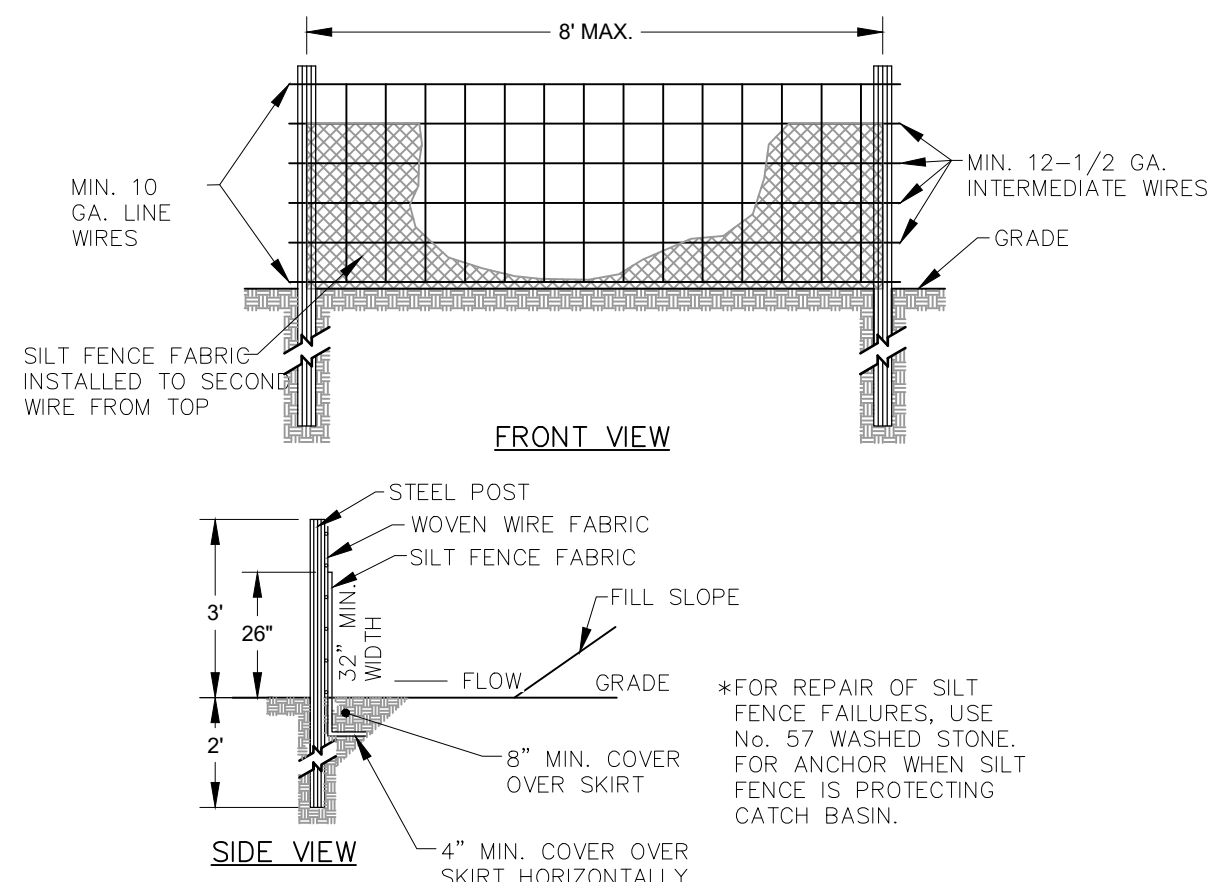




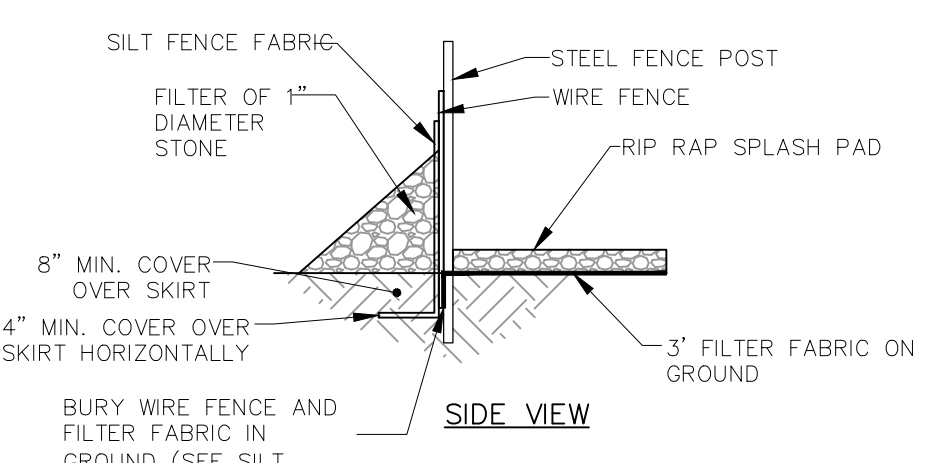
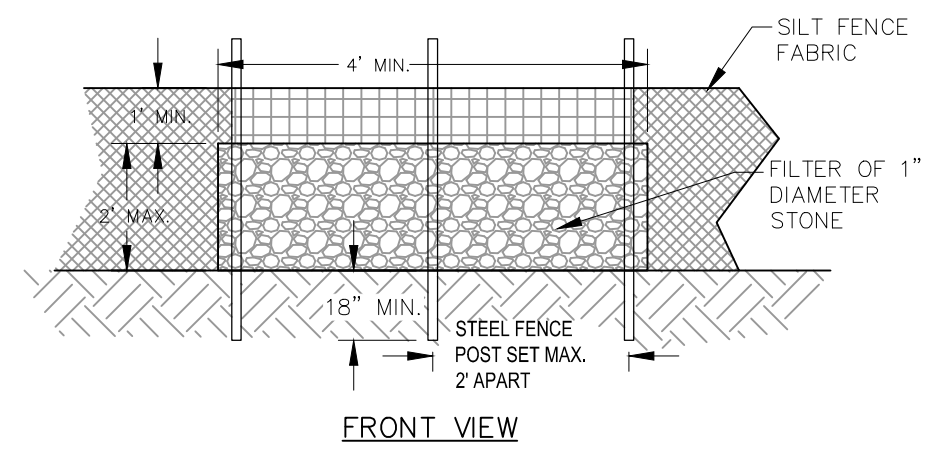
- GRAVEL PAD TO BE 25' x 100' AND 12" THICK MINIMUM.
- TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS IS TO BE PROVIDED.
- ENTRANCE(S) SHOULD BE LOCATED TO PROVIDE FOR MAXIMUM UTILIZATION BY ALL CONSTRUCTION VEHICLES.
- MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO STREETS. PERIODIC TOPDRESSING WITH STONE MAY BE NECESSARY; KEEP SOME HANDY.
- ANY MATERIAL WHICH STILL MAKES IT ONTO THE ROAD MUST BE CLEANED UP IMMEDIATELY.
- IF CONSTRUCTION ON THE SITE IS SUCH THAT MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLE MUST BE WASHED BEFORE ENTERING THE EXISTING ROAD.



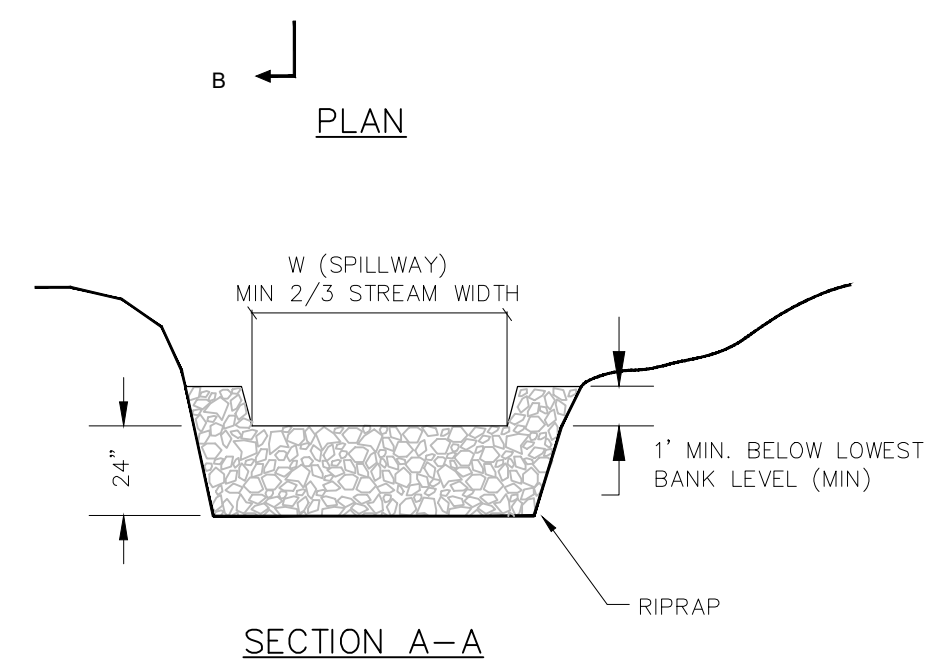
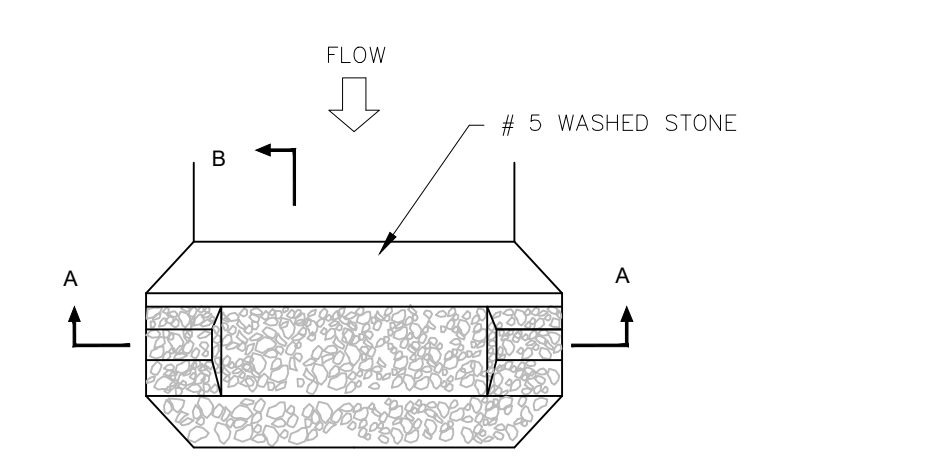
**TEMPORARY CONSTRUCTION ENTRANCE**  
N.T.S.



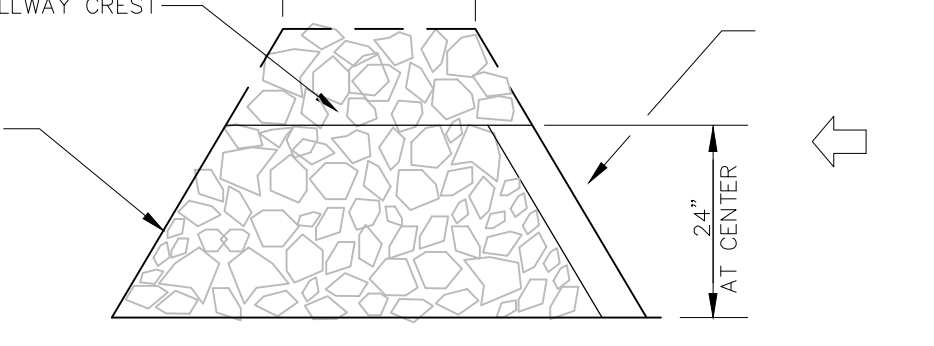
**TEMPORARY SILT FENCE**  
N.T.S.



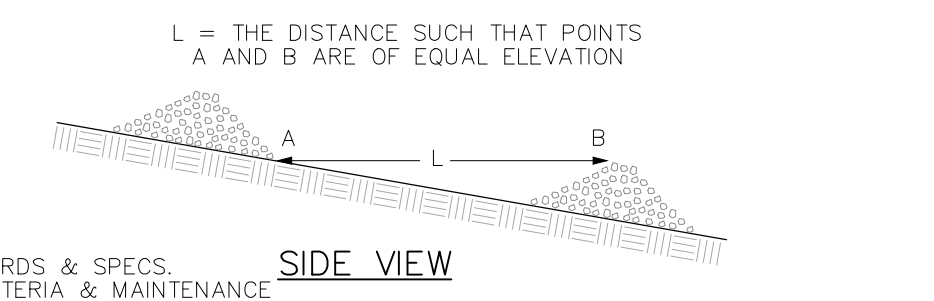
**SILT FENCE OUTLET**  
N.T.S.



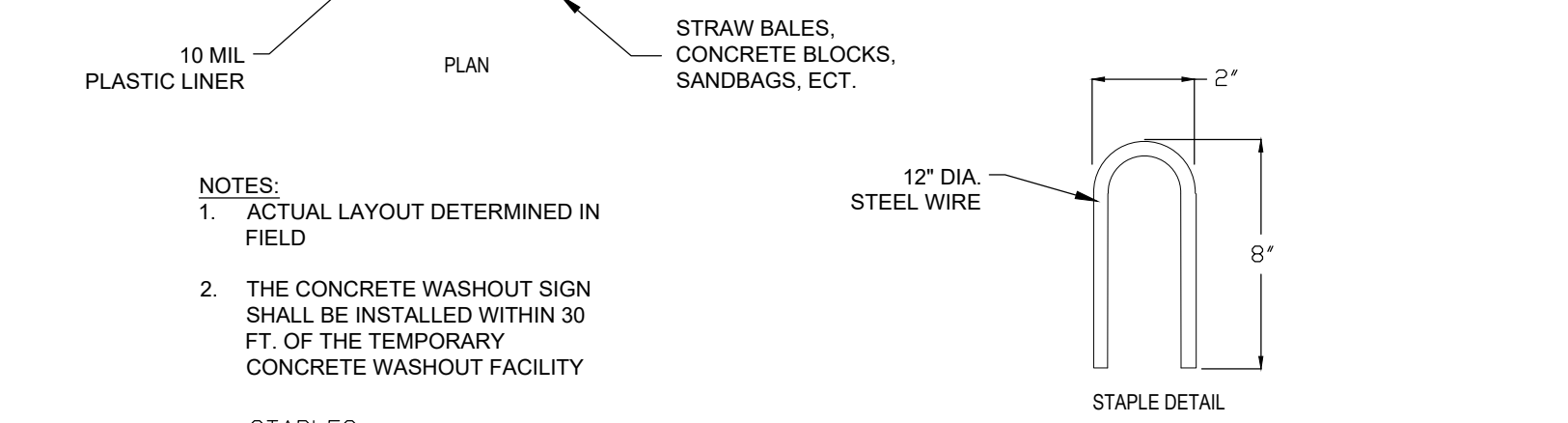
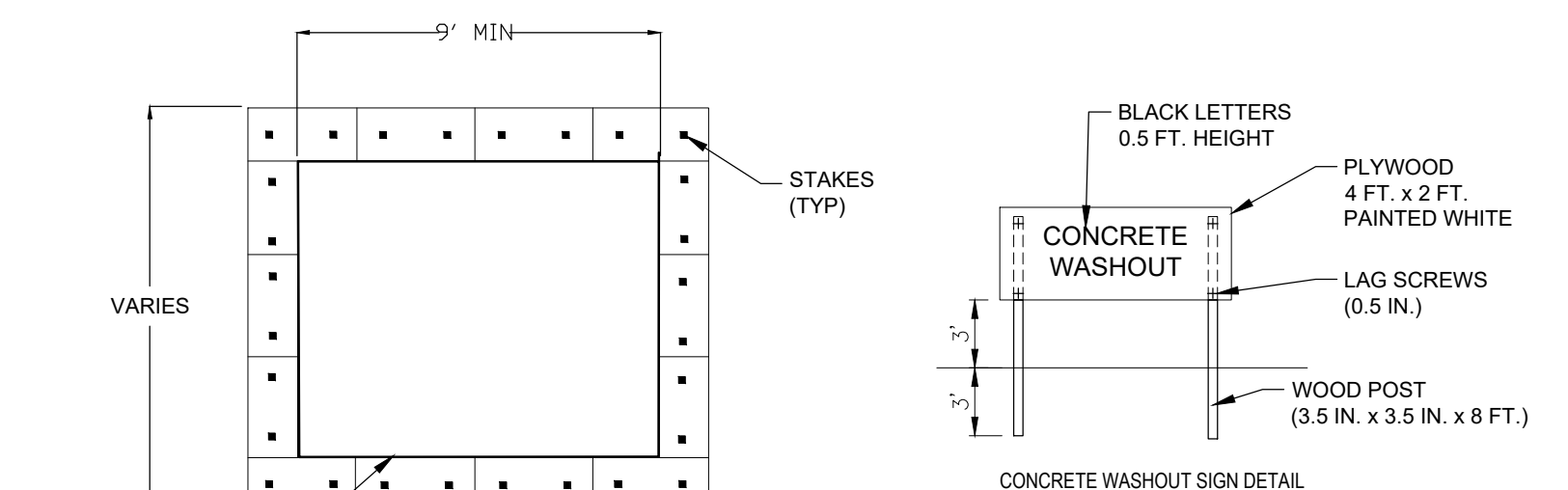
**SECTION A-A**



**SECTION B-B**



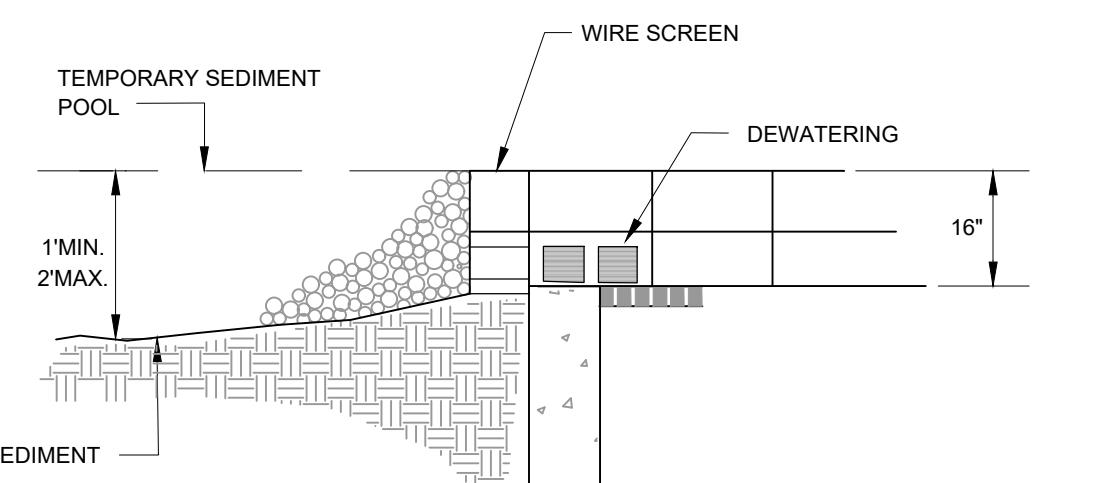
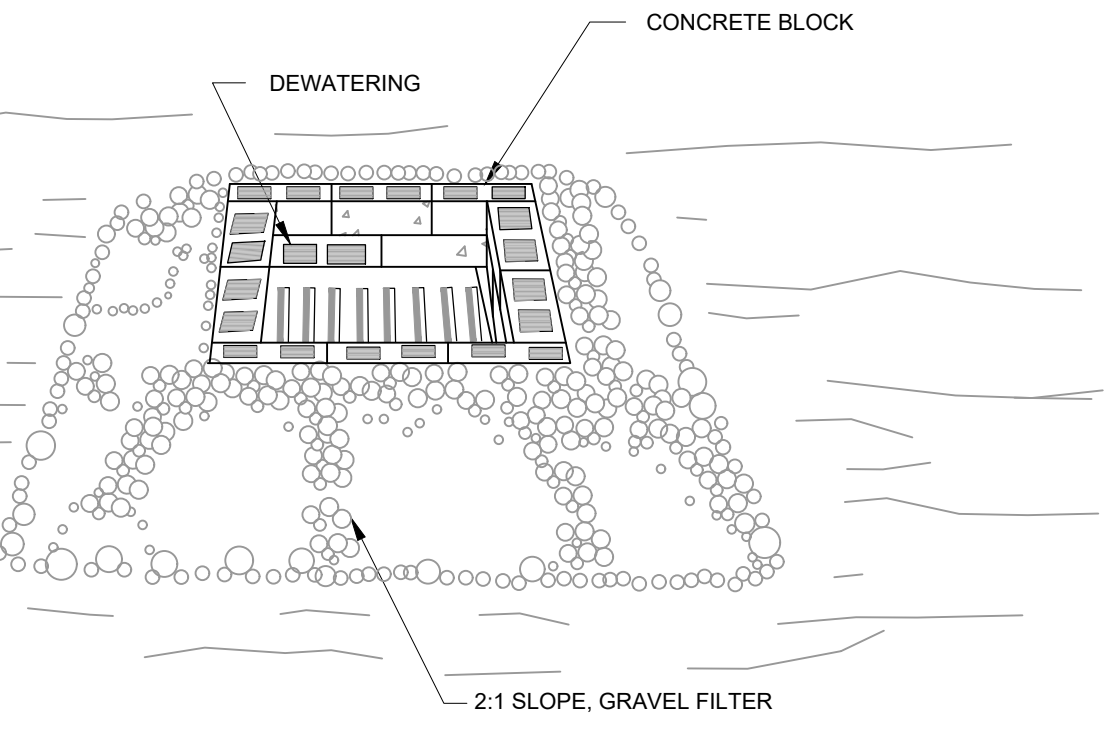
**TEMPORARY STONE CHECK DAM**  
N.T.S.



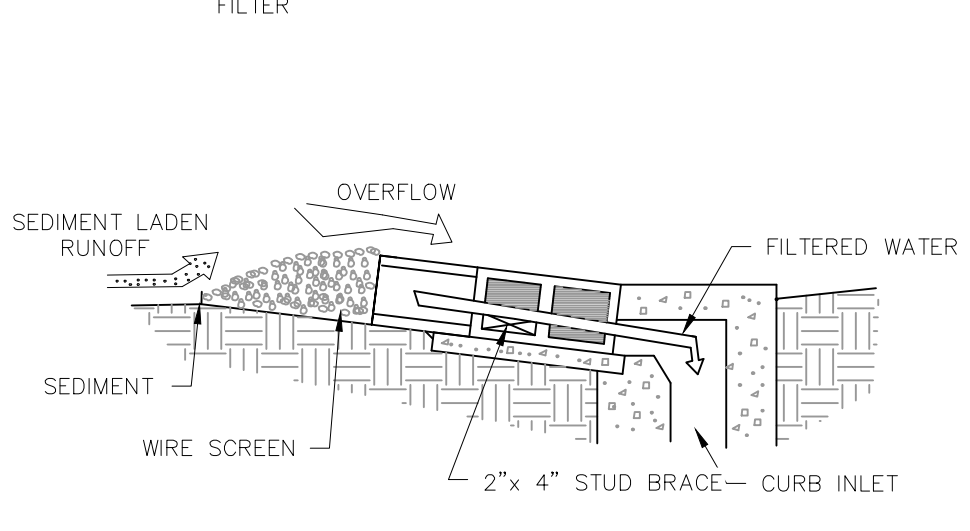
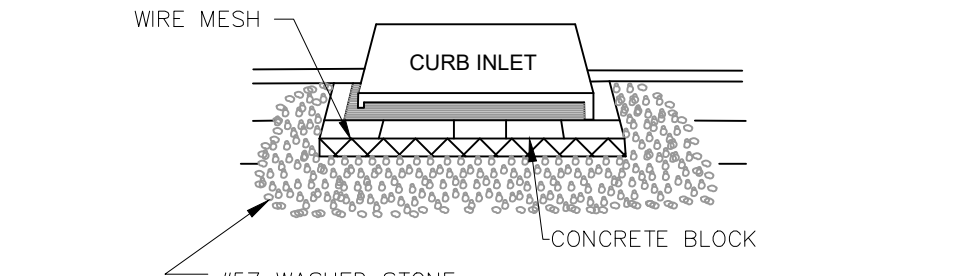
**CONCRETE WASHOUT-ABOVE GRADE**  
N.T.S.

**CONSTRUCTION SPECIFICATIONS**

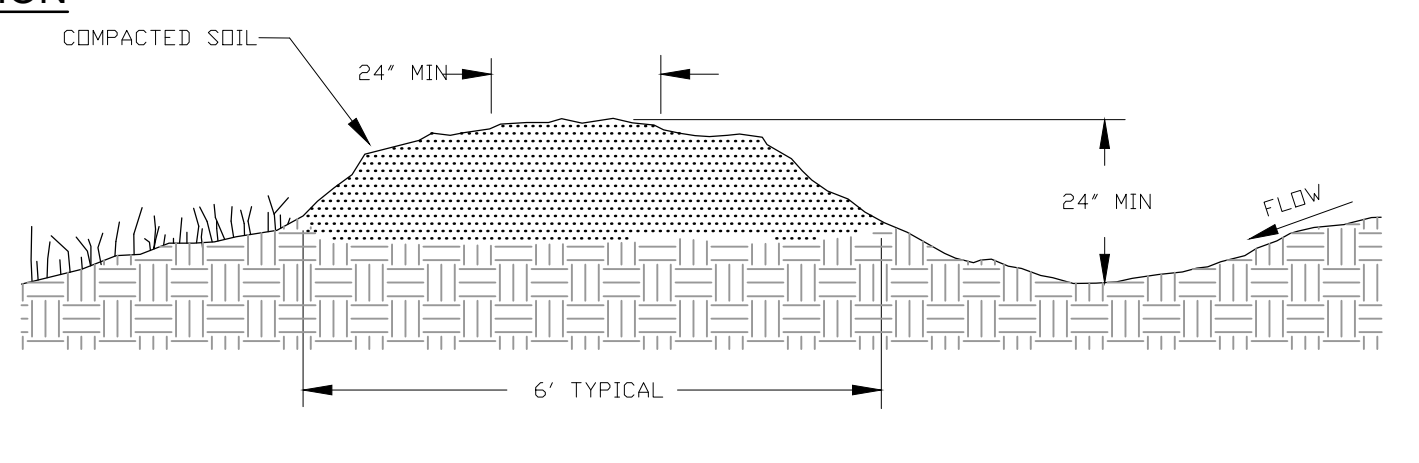
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE ON THE BOTTOM ROW TO ALLOW POOL DRAINAGE. THE FOUNDATION SHOULD BE EXCAVATED AT LEAST 2 INCH BELOW THE CREST OF THE STORM DRAIN. PLACE THE BOTTOM ROW OF THE BLOCK AGAINST THE EDGE OF THE STORM DRAIN FOR LATERAL SUPPORT AND TO AVOID WASHOUTS WHEN OVERFLOW OCCURS. IF NEEDED, GIVE LATERAL SUPPORT TO SUBSEQUENT ROWS BY PLACING 2x4 WOOD STUDS THROUGH BLOCK OPENINGS.
- CAREFULLY FIT HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENING OVER ALL BLOCK OPENING TO HOLD GRAVEL IN PLACE.
- USE CLEAN GRAVEL 3/4- TO 1/2-INCH IN DIAMETER, PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER AND SMOOTH IT TO AN EVEN GRADE. DOT #57 WASHED STONE IS RECOMMENDED.



**BLOCK AND GRAVEL INLET PROTECTION**  
N.T.S.



**BLOCK AND GRAVEL CURB INLET PROTECTION**  
N.T.S.



**TEMPORARY DIVERSION BERM/SWALE**  
N.T.S.

**MAINTENANCE NOTES:**

- NPDES PERMIT COMPLIANCE REQUIRES INSPECTIONS EVERY 7 CALENDAR DAYS BY A NPDES QUALIFIED INSPECTOR AND PERIODIC INSPECTIONS WITHIN 24 HOURS OF ANY RAINFALL EVENT OF 0.5 INCHES OR GREATER. THESE INSPECTIONS MAY RESULT IN RECOMMENDATIONS FOR ROUTINE MAINTENANCE OF THE SOIL EROSION CONTROL DEVICES, AS WELL AS FURTHER MAINTENANCE AS OUTLINED BELOW.
- THROUGHOUT THE CONSTRUCTION PERIOD, ALL MUD/SILT TRACKED ONTO EXISTING TOWN/STATE ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
  - TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT
    - MAINTAIN THE GRAVEL PAD (CONSTRUCTION ENTRANCE/EXIT) IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH 2-INCH STONE.
    - AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.
  - SEDIMENT FENCE (SILT FENCE)
    - INSPECT SEDIMENT FENCES (SILT FENCE) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
    - REMOVE SEDIMENT DEPOSITS ONCE ACCUMULATION HAS REACHED HALF OF THE HEIGHT OF THE SILT FENCE TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
    - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
  - SEDIMENT FENCE (SILT FENCE) OUTLETS
    - INSPECT SILT FENCE OUTLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE WIRE FENCE AND HARDWARE CLOTH OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH OR HARDWARE CLOTH DURING SEDIMENT REMOVAL.
    - REPLACE STONE AS NEEDED.
  - TEMPORARY DIVERSION DITCH
    - INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE.
    - CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED.
    - WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.
  - TEMPORARY SEEDING:
 

RE-FERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RE-SEED, RE-FERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.
  - EXCAVATED DROP INLET PROTECTION
    - INSPECT, CLEAN, AND PROPERLY MAINTAIN THE EXCAVATED BASIN AFTER EVERY STORM UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED. TO PROVIDE SATISFACTORY BASIN EFFICIENCY, REMOVE SEDIMENT WHEN THE VOLUME OF THE BASIN HAS BEEN REDUCED BY HALF.
    - SPREAD ALL EXCAVATED MATERIAL EVENLY OVER THE SURROUNDING LAND AREA OR STOCKPILE AND STABILIZE IT PROPERLY.
  - HARDWARE CLOTH AND GRAVEL INLET PROTECTION
    - INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 IN. OR GREATER) RAINFALL EVENT.
    - CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL.
    - REPLACE STONE AS NEEDED.

- BLOCK AND GRAVEL INLET PROTECTION
  - INSPECT SKIMMER SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 IN. OR GREATER) RAINFALL EVENT AND MAKE REPAIRS AS NECESSARY.
  - REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS.
  - WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSUITABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.
- SKIMMER BASINS
  - INSPECT SKIMMER SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ONE-HALF INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE HEIGHT OF THE FIRST BAFFLE. PULL THE SKIMMER TO ONE SIDE SO THAT THE SEDIMENT UNDERNEATH IT CAN BE EXCAVATED. EXCAVATE THE SEDIMENT FROM THE ENTIRE BASIN, NOT JUST AROUND THE SKIMMER OR THE FIRST CELL. MAKE SURE VEGETATION GROWING IN THE BOTTOM OF THE BASIN DOES NOT HOLD DOWN THE SKIMMER.
  - REPAIR THE BAFFLES IF THEY ARE DAMAGED. RE-ANCHOR THE BAFFLES IF WATER IS FLOWING UNDERNEATH OR AROUND THEM.
  - IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DOWN AND DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED. IF SO REMOVE THE DEBRIS.
  - IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE ORIFICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SNAKE OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE ORIFICE BEFORE REPOSITIONING THE SKIMMER.
  - CHECK THE FABRIC LINED SPILLWAY FOR DAMAGE AND MAKE ANY REQUIRED REPAIRS WITH FABRIC THAT SPANS THE FULL WIDTH OF THE SPILLWAY. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPES AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND DEBRIS FROM THE SKIMMER AND POOL AREAS. FREEZING WEATHER CAN RESULT IN ICE FORMING IN THE BASIN. SOME SPECIAL PRECAUTIONS SHOULD BE TAKEN IN THE WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE. IF ICE IS PRESENT IN THE SKIMMER BASIN, REMOVE IMMEDIATELY.
- CHECK DAMS & WATERTIGHT SOCKS (AND WITH WEST RIVER)
  - INSPECT CHECK DAMS AND CHANNELS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ONE-HALF INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. CLEAN OUT SEDIMENT, STRAW LIMBS, OR OTHER DEBRIS THAT COULD CLOG THE CHANNEL WHEN NEEDED.
  - ANTICIPATE SUBMERGENCE AND DEPOSITION ABOVE THE CHECK DAM AND EROSION FROM HIGH FLOWS AROUND THE EDGES OF THE DAM. CORRECT ALL DAMAGE IMMEDIATELY. IF SIGNIFICANT EROSION OCCURS BETWEEN DAMS, ADDITIONAL MEASURES CAN BE TAKEN SUCH AS, INSTALLING A PROTECTIVE RIPRAP LINER IN THAT PORTION OF THE CHANNEL. (PRACTICE 6.31 RIPRAP LINED AND PAVED CHANNELS OF NPDES EROSION & SEDIMENTATION CONTROL MANUAL).
  - REMOVE SEDIMENT ACCUMULATED BEHIND THE DAMS AS NEEDED TO PREVENT DAMAGE TO CHANNEL VEGETATION. ALLOW THE CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM, AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. ADD STONES TO DAMS AS NEEDED TO MAINTAIN DESIGN HEIGHT AND CROSS SECTION.
- PERMANENT SEEDING:
  - INSPECT SEEDING AREAS FOR FAILURE AND MAKE NECESSARY REPAIRS AND RESEEDINGS WITHIN THE SAME SEASON, IF POSSIBLE.
  - RESEEDING - IF A STAND HAS INADEQUATE COVER, RE-EVALUATE CHOICE OF PLANT MATERIALS AND QUANTITIES OF LIME AND FERTILIZER. RE-ESTABLISH THE STAND AFTER SEEDBED PREPARATION OR OVER-SEED THE STAND. CONSIDER SEEDING TEMPORARY ANNUAL SPECIES IF THE TIME OF YEAR IS NOT APPROPRIATE FOR PERMANENT SEEDING.
  - IF VEGETATION FAILS TO GROW, SOIL MUST BE TESTED TO DETERMINE IF ACIDITY OR NUTRIENT IMBALANCE IS RESPONSIBLE.
  - FERTILIZATION - ON THE TYPICAL DISTURBED SITE, FULL ESTABLISHMENT USUALLY REQUIRES RE-FERTILIZATION IN THE SECOND GROWING SEASON. FINE TURF REQUIRES ANNUAL MAINTENANCE FERTILIZATION (TABLE 6.12B). USE SOIL TESTS IF POSSIBLE OR FOLLOW THE GUIDELINES GIVEN FOR THE SPECIFIC SEEDING MIXTURE.

- ROCK PIPE INLET PROTECTION
  - INSPECT ROCK PIPE INLET PROTECTION AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING.
  - AFTER ALL THE SEDIMENT-PRODUCING AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE THE STRUCTURE AND ALL THE UNSTABLE SEDIMENT. SMOOTH THE AREA TO BLEND WITH THE ADJOINING AREAS AND PROVIDE PERMANENT GROUND COVER (SURFACE STABILIZATION).
- DEWATERING DEVICE
  - INSPECT DEWATERING DEVICE AND STABILIZED OUTLET AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE ANY ACCUMULATED SEDIMENT WITHIN STONE PAD AND STABILIZED OUTLET.
  - CHECK THE STRUCTURE FOR DAMAGE, AND RIPRAP DISPLACED FROM THE STONE HORSESHOE MUST BE REPLACED IMMEDIATELY.
  - AFTER ALL THE SEDIMENT-PRODUCING AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE THE STRUCTURE AND ALL THE UNSTABLE SEDIMENT. SMOOTH THE AREA TO BLEND WITH THE ADJOINING AREAS AND PROVIDE PERMANENT GROUND COVER (SURFACE STABILIZATION).
- SEDIMENT PIT (FOR SILT FENCE OUTLET)
  - INSPECT SEDIMENT PIT AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE PIT. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE WATTLE AND STONE FOR SILT FENCE OUTLET IF NECESSARY.
  - AFTER ALL THE SEDIMENT-PRODUCING AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE THE STRUCTURE AND ALL THE UNSTABLE SEDIMENT. SMOOTH THE AREA TO BLEND WITH THE ADJOINING AREAS AND PROVIDE PERMANENT GROUND COVER (SURFACE STABILIZATION).
- RIPRAP OUTLET STRUCTURE
  - INSPECT WEEKLY AND AFTER SIGNIFICANT (1/2 OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.
- RIPRAP CHANNEL
  - INSPECT CHANNELS AT REGULAR INTERVALS AS WELL AS AFTER MAJOR RAINS, AND MAKE REPAIRS PROMPTLY. GIVE SPECIAL ATTENTION TO THE OUTLET AND INLET SECTIONS AND OTHER POINTS WHERE CONCENTRATED FLOW ENTERS. CAREFULLY CHECK STABILITY AT ROAD CROSSINGS, AND LOOK FOR INDICATIONS OF PIPING, SCOUR HOLES, OR BANK FAILURES. MAKE REPAIRS IMMEDIATELY. MAINTAIN ALL VEGETATION ADJACENT TO THE CHANNEL IN A HEALTHY, VIGOROUS CONDITION TO PROTECT THE AREA FROM EROSION AND SCOUR DURING OUT-OF-BANK FLOW.
- ROLLED EROSION CONTROL PRODUCTS
  - INSPECT WEEKLY AND AFTER SIGNIFICANT (1/2 OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE ROLLED EROSION CONTROL PRODUCT (RECP) HAS TAKEN PLACE, IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.
  - GOOD CONTACT WITH THE GROUND MUST BE MAINTAINED, AND EROSION MUST NOT OCCUR BENEATH THE RECP. ANY AREAS OF THE RECP THAT ARE DAMAGED OR NOT IN CLOSE CONTACT WITH THE GROUND SHALL BE REPAIRED AND STAPLED.
  - IF EROSION OCCURS DUE TO POORLY CONTROLLED DRAINAGE, THE PROBLEM SHALL BE FIXED AND THE ERODED AREA PROTECTED.
  - MONITOR AND REPAIR THE RECP AS NECESSARY UNTIL GROUND COVER IS ESTABLISHED.

1) GROUND STABILIZATION *			4) INSPECTIONS	
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS		
PERIMETER DICES, SWALES, DITCHES, AND SLOPES	7 DAYS	NONE	<ul style="list-style-type: none"> <li>SAME WEEKLY INSPECTION REQUIREMENTS</li> <li>SAME RAIN GAUGE &amp; INSPECTIONS AFTER 0.5\"/&gt; </li></ul>	
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE	<ul style="list-style-type: none"> <li>INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS HOURS"</li> <li>INSPECTION REPORTS MUST BE AVAILABLE ON-SITE DURING BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED</li> <li>REPORTS MUST BE KEPT FOR 3 YEARS AND AVAILABLE ON REQUEST</li> <li>ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.</li> </ul>	
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED	<b>5) IMPLEMENTATION OF NEW PERMIT CONDITIONS</b> <ul style="list-style-type: none"> <li>PROJECTS PERMITTED UNDER THE PREVIOUS PERMIT CAN CONTINUE TO FOLLOW THE PREVIOUSLY PERMITTED CONDITIONS.</li> <li>COMPLETE APPLICATIONS RECEIVED PRIOR TO AUGUST 3, 2011 CAN FOLLOW CONDITIONS OF APPROVED APPLICATION.</li> <li>APPLICATIONS RECEIVED AFTER AUGUST 2, 2011 MUST COMPLY WITH NEW PERMIT CONDITIONS.</li> </ul>	
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH	<b>6) CONDITIONS IN EROSION &amp; SEDIMENTATION CONTROL PLANS *</b> <ul style="list-style-type: none"> <li>DESIGNATION ON THE PLANS WHERE THE 7 AND 14 DAY GROUND STABILIZATION REQUIREMENTS OF THE NPDES PERMIT APPLY</li> <li>DESIGNATION ON THE PLANS WHERE BASINS THAT COMPLY WITH THE SURFACE WITHDRAWAL REQUIREMENTS OF THE NPDES PERMIT ARE LOCATED.</li> </ul>	
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)	<b>7) SEDIMENT BASINS</b> <ul style="list-style-type: none"> <li>OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACE UNLESS DRAINAGE AREA IS LESS THAN 1 ACRE.</li> <li>USE ONLY DVG-APPROVED FLOCCULANTS.</li> </ul>	

NO.	REVISIONS	DATE

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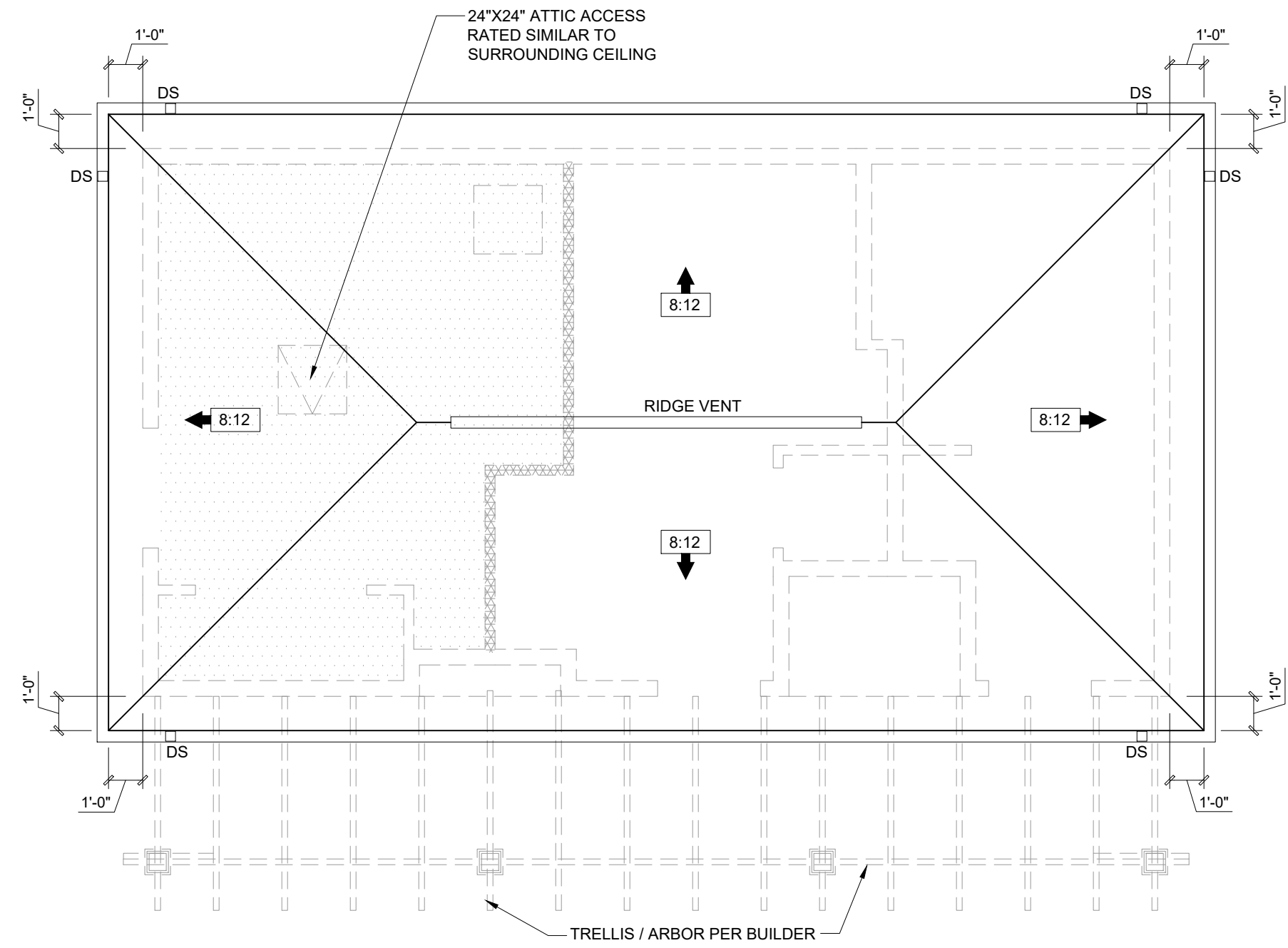
**CAITLIN CROSSING  
AMENITY CENTER  
EROSION CONTROL DETAILS**  
LILLINGTON, NORTH CAROLINA

Date: JANUARY 29, 2024  
Scale: N/A  
Drawn: R,JH  
Checked: A,JF  
Project No. 147-03  
Computer Dwg. Name 147-03 amenity details  
Sheet No. 7









**ROOF PLAN GENERAL NOTES**

- ALL DOWNSPOUTS ARE 6" AND TO TIE INTO STORM. SEE CIVIL
- APPLY ICE+WATER SHIELD TO ALL AREAS OF ROOF NOTED BELOW:
  - VALLEYS, MIN. 18" EACH SURFACE
  - ROOF SLOPES BELOW 4:12
  - ROOF/WALL INTERSECTIONS

D.S. = DOWNSPOUT  
T.R.B. = TO ROOF BELOW

**Pool House - Roof Ventilation**

A	Ceiling area (square footage)	576
B	Sqft. of ventilation required	1.9

Formulas:  $B = A / 300$

Notes:  
Builder to calculate quantities and types of vents to make up the minimum requirement. Attic ventilation shall be approximately 50% soffit, and 50% high (gable end or ridge vents).

**2 POOL HOUSE - ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**RATED WALL PLAN LEGEND**

NOTE: PROVIDE 1 HR. SEPARATION AT POOL EQUIPMENT/CHEM. STORAGE

- [Pattern] = 1 HOUR RATED WALL DESIGNATION SEE CHART FOR DESCRIPTION OF UL WALL SYSTEM.
- [Pattern] = 1 HOUR RATED CEILING DESIGNATION (P522)

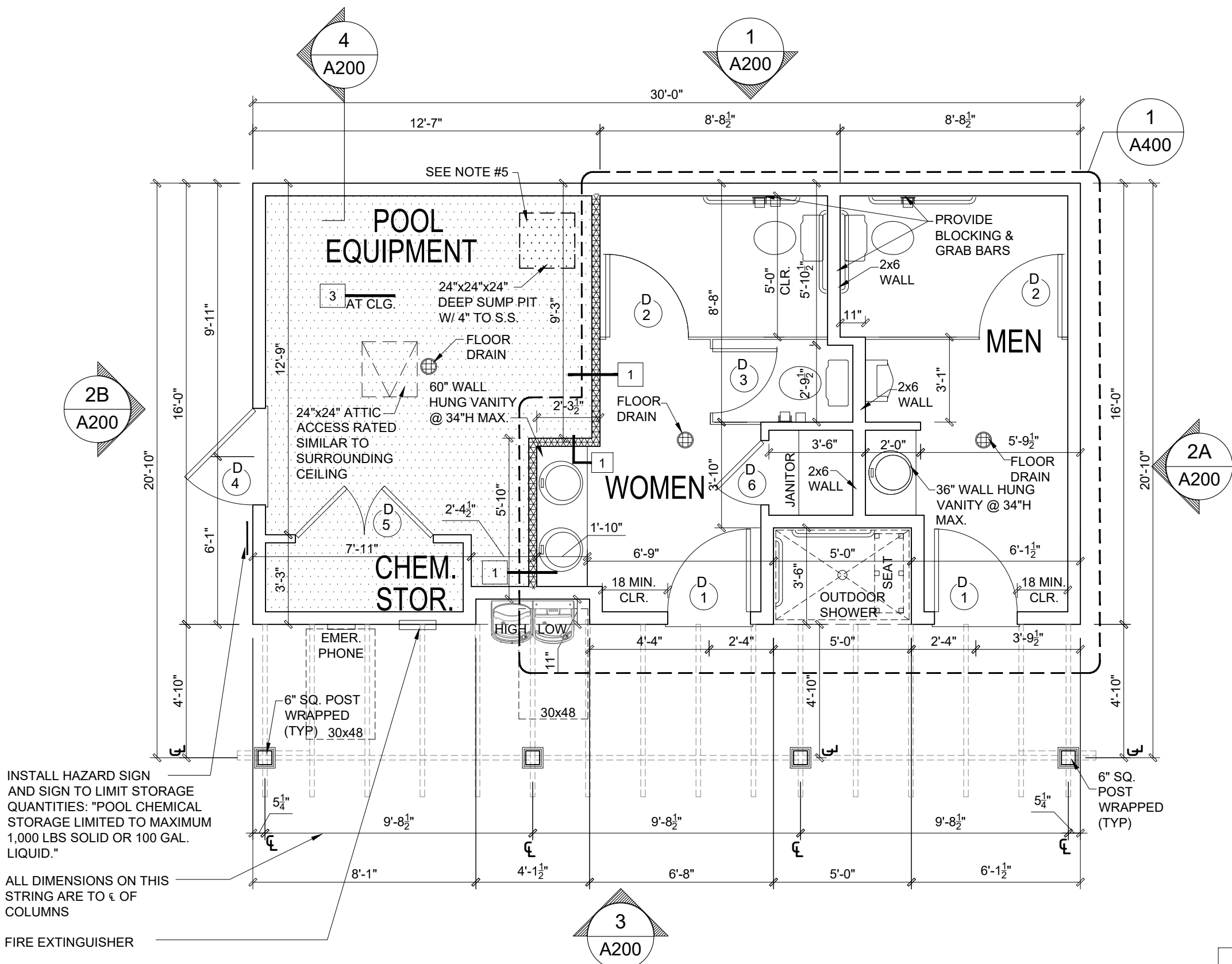
**ARCHITECTURAL PLANS WALL LEGEND**

- [Line] = STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- [Line] = HALF WALL WITH 1x CAP (42" HEIGHT UNLESS NOTED OTHERWISE ON PLANS)

**WALL LEGEND**

SEE SHEET G020 FOR ALL ASSOCIATED WALL TYPES.

MARK	UL WALL TYPE	DESCRIPTION
1	U305	SINGLE 1 HOUR RATED WALL
2	U356	1 HOUR RATED EXTERIOR WALL
3	P522	1 HOUR RATED CEILING / ROOF SEPARATION



**SQUARE FOOTAGE**

POOL EQUIPMENT ROOM =	154
CHEM. STORAGE =	26
BATHROOMS =	279
PORCH / SHOWER =	178
GROSS BLDG. SQ. FT. =	637

**POOL HOUSE FLOOR PLAN GENERAL NOTES**

**WALLS**

- ALL EXTERIOR WALLS ARE ASSEMBLY TYPE W8 AT EXTERIOR LOCATIONS INDICATED ON THE EXTERIOR ELEVATIONS (U.N.D). SEE G SERIES SHEETS FOR DETAILS.
- ALL EXTERIOR WALLS ARE 2X6 STUDS U.N.D AND DIMENSIONED TO EXTERIOR STUD EDGE. ALL INTERIOR WALLS ARE ASSEMBLY TYPE W1 (U.N.D)
- ALL GYPSUM BOARD TO BE MOISTURE RESISTANT

**ATTIC ACCESS**

ATTIC ACCESS SHALL BE PROVIDED BY BUILDER ACCORDING TO LOCAL CODE.

**WALL/CEILING HEIGHTS**

- WALL AND CEILING HEIGHTS NOTES ARE BASED ON NOMINAL WALL SIZE (I.E. A 10'-1 1/8" ACTUAL WALL HEIGHT IS LABELED 10'0" ON THE PLANS).

**GENERAL**

- ALL EXTERIOR THRESHOLDS TO BE BARRIER FREE DESIGN.
- SUMP PIT, POOL EQUIPMENT ROOM SIZE / LAYOUT, FLOOR DRAINS & HOSE BIBS TO BE VERIFIED BEFORE CONSTRUCTION BEGINS TO COORDINATE WITH POOL MANUFACTURERS SPECS & DRAWINGS BY OTHERS. IF NOT SUPPLIED PRIOR TO PERMITTING DRAWING RELEASE ARCHITECT HOLDS NO LIABILITY FOR FUTURE COORDINATION (TYP).
- ANY STRUCTURAL INFORMATION SHOWN IS FOR REFERENCE ONLY & TO BE CONFIRMED ON THE APPROPRIATE STRUCTURAL SHEETS. IF THERE ARE ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL SHEETS, THE INFORMATION SHOWN ON THE STRUCTURAL SHEETS WILL OVERRIDE ANY ARCHITECTURAL INFORMATION SHOWN AND SHOULD BE REPORTED TO PLANWORX ARCHITECTURE, P.A., FOR CONFIRMATION BEFORE CONSTRUCTION.
- MATERIALS STORED ARE CORROSIVE, IRRITANT, APPROX. 200 LBS. SOLID.
- 24"x24"x24" DEEP SUMP PIT W/ 6" TO S.S. VERIFY FINAL SIZE AND LOCATION WITH POOL ENGINEERS DRAWINGS.
10. CHEMICAL STORAGE SPACE BASED ON MIN. OF FIVE SQFT. FOR THE FIRST 10,000 GALLONS OF POOL WATER PLUS ONE ADDITIONAL SQFT. FOR EACH ADDITIONAL 3,000 GALLONS OR PORTION THEREOF UP TO A TOTAL AREA OF 100 SQFT. STORAGE SIZE TO BE FIELD VERIFIED.

**DOOR SCHEDULE**

DOOR NUMBER	SIZE		THICKNESS	INSUL. MTL. & PANEL	METAL STALL DOOR PERMANENT	FRAME OF DOORS	TEMPERED GLASS	INSTALL @ ACCESSIBLE LEVEL ONLY	ACCESSIBLE THRESHOLD @ 1/4" LEVEL	REMARKS	INSTRUCTIONS
	WIDTH	HEIGHT									
1	3'-0"	6'-8"	1 3/4"	●	●						PROVIDE CLOSER AND PUSH/PULL PLATES
2	3'-0"				●						DOOR HEIGHT PER MANF. SPECS.
3	2'-4"				●						DOOR HEIGHT PER MANF. SPECS.
4	3'-6"	6'-8"	1 3/4"	●	●						
5	2'-2'-6"	6'-8"	1 3/4"	●	●						
6	2'-4"	6'-8"	1 3/4"		●						

**1 POOL HOUSE - FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**3 POOL HOUSE - DOOR SCHEDULE**  
N.T.S.

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. 2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 3. Planworx Architecture, P.A. is not responsible for constructed variations from the information depicted. 4. Planworx Architecture, P.A. will not assume any liability for expenses associated with errors and omissions on these drawings unless offset by verified construction savings as a result of Planworx Architecture, P.A. Design. 5. Planworx Architecture, P.A. retains ownership of all of designs depicted and implied herein. 6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or regulating construction costs associated with these plans. © Copyright 2024 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION W/O APPROPRIATE PROFESSIONAL SEALS.