

2018 NORTH CAROLINA BUILDING CODE SUMMARY: APPENDIX B

Name of Project: NEW ADMINISTRATION BUILDING & INTERIOR RENOVATION Per/D / PIN: 0536-48-7346.000
 Address: FLAT BRANCH VOLUNTEER FIRE DEPARTMENT 2098 ELLIOTT BRIDGE RD Zip Code: 28323
 Proposed Use: _____
 Owner or Authorized Agent: MIKE BROWN Phone: _____ E-Mail: mbrownfrshiel@gmail.com
 Owned By: _____ City/County: _____ Private _____ State _____
 Code Enforcement Jurisdiction: _____ City: BUNNLEVEL _____ County: HARNETT _____ State: NORTH CAROLINA

CONTACT: KELLY J. DODSON

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	N/A	N/A	N/A	N/A	N/A
Civil	N/A	N/A	N/A	N/A	N/A
Electrical	JCE	DOUGLAS L. JENKINS	NC PE 28803	(910) 822-1724	buddy@jenkincopro.com
Fire Alarm	N/A	N/A	N/A	N/A	N/A
Plumbing	JCE	DOUGLAS L. JENKINS	NC PE 28803	(910) 822-1724	buddy@jenkincopro.com
Mechanical	JCE	DOUGLAS L. JENKINS	NC PE 28803	(910) 822-1724	buddy@jenkincopro.com
Sprinkler-Standard	N/A	N/A	N/A	N/A	N/A
Structural	N/A	N/A	N/A	N/A	N/A
INTERIOR WALLS	N/A	N/A	N/A	N/A	N/A
Retaining Walls >5' High	N/A	N/A	N/A	N/A	N/A
Building	JCE	KELLY J. DODSON	NC PE 42009	(910) 822-1724	kellyd@jenkincopro.com

2018 NORTH CAROLINA BUILDING CODE: New Building Shell / Core First Time Interior Completions
 Addition Phased Construction - Shell Core

2018 NORTH CAROLINA EXISTING BUILDING CODE: Prescriptive Alteration Level I Historic Property
 Repair Alteration Level II Change of Use
 Chapter 14 Alteration Level III

CONSTRUCTED (date): 1999 CURRENT USE (S) (Ch. 3): BUSINESS
 RENOVATED (date): N/A PROPOSED USE (S) (Ch. 3): BUSINESS

OCCUPANCY RISK CATEGORY (Table 1604.5): Current: IV Proposed: IV

BASIC BUILDING DATA

Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B
 Check all that apply: I-C II-C III-C IV-C V-C
 Sprinklers: No Partial NFPA 13 NFPA 13R NFPA 13D
 Standpipes: No Class I Class II Class III Wet Dry
 Primary Fire District: No Yes (APPENDIX D) Flood Hazard Area: No Yes
 Special Inspections Required: No Yes

GROSS BUILDING AREA TABLE

FLOOR	EXISTING (sq ft)	NEW (sq ft)	SUBTOTAL
BLDG-1	7,654		7,654
BLDG-2		1,857	1,857
TOTAL BUILDING AREA	7,654	1,857	9,511

Primary Occupancy Classification(s):

Assembly A-1 A-2 A-3 A-4 A-5
 Business B-1 B-2 B-3 B-4 B-5
 Educational E-1 E-2 E-3 E-4 E-5
 Factory F-1 Moderate F-2 Low F-3 High F-4 Health F-5 HPM
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 I-2 I-3 I-4
 I-1 Condition 1 2
 I-2 Condition 1 2
 I-3 Condition 1 2 3 4 5
 Mercantile M-1 M-2 M-3 M-4 M-5
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low S-3 High-piled Repair Garage
 Utility and Miscellaneous U-1 U-2 U-3 U-4 U-5

Accessory Occupancy Classification(s):

Incidental Uses (Table 509): NONE
 This separation is not exempt as a Non-separated Use (see exceptions).
 Special Uses (Chapter 4): 402 403 404 405 406 407 408 409 410 411 412 413
 414 415 416 417 418 419 420 421 422 423 424 425
 426 427 428 429 430
 Special Provisions (Chapter 5): 510.2 510.3 510.4 510.5 510.6 510.7 510.8 510.9
 Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____
 Non-separated Use (508.3)
 Separated Use (508.4) --See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area of each use shall not exceed 1.

Separated Use Formula 508.4.2: $\frac{Actual\ Area\ of\ Occupancy\ A}{Allowable\ Area\ of\ Occupancy\ A} + \frac{Actual\ Area\ of\ Occupancy\ B}{Allowable\ Area\ of\ Occupancy\ B} \leq 1$

_____ + _____ = _____ ≤ 1.00

STORY NUMBER	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1, 5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2, 3}
1	BUSINESS	1,857	19,000	N/A	19,000

1 Frontage area increases from Section 506.3 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
 b. Total Building Perimeter = _____ (P)
 c. Ratio (F/P) = _____ (F/P)
 d. W = Minimum width (weighted average) of public way = _____ (W) where $W = (L_1 \times W_1 + L_2 \times W_2) / F$ (Equation 5-4)
 e. Percent of frontage increase = $I_f = 100 [(F/P) - 0.25] \times W/30 = _____ (\%)$ (Equation 5-5)

FRONTAGE INCREASE WORKSHEET FOR CALCULATIONS:

EXTERIOR WALL	(F) OPEN LENGTH (feet)	(P) TOTAL LENGTH (feet)	(W) (weighted average) WIDTH OF PUBLIC WAY OR OPEN SPACE (feet)	(%) FROM CALC. ABOVE	(B) FROM TABLE ABOVE	AREA INCREASE FOR COLUMN (C) ABOVE (% * TABLE AREA)
North						
South						
East						
West						
TOTAL						
EXAMPLE	75	100	25	42	23,500	(42*23,500 = 9,870)

2 Unlimited area applicable under conditions of Sections 507
 3 Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (Section 506.2)
 4 The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1
 5 Frontage increase is based on the unsprinklered area value in Table 506.2.

BUILDING CODE SUMMARY (continued)

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)			
Building Height in Stories (Table 504.4)			

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (feet)	RATING ** (TABLE 601) RECD II-B	PROVIDED (w/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses		0					
Bearing Walls		2					
Exterior							
North							
East							
West							
South							
Interior		0					
Nonbearing walls and partitions							
Exterior walls							
North							
East							
West							
South							
Interior Non-Bearing Walls		0					
Floor construction including supporting beams and joists		0					
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof construction including supporting beams and joists		0					
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy / Fire Barrier Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
OWNER/Dwelling Unit/ Sleeping Unit Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

EXTERIOR WALL	FIRE SEPARATION DISTANCE (feet) FROM PROPERTY LINE	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
North				
South				
East				
West				

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Yes No
 Exit Signs: Yes No
 Fire Alarms: Yes No
 Smoke Detection Systems: Yes No Bunk Rooms existing to remain
 Carbon Monoxide Detection: Yes No
 Life Safety Systems Generator: Yes No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: LS-1 & LS-2
 Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances [1006.2.1 & 1006.3.2(1)]
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (903)
 The square footage of each smoke compartment for Occupancy Classification I-II (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
NONE REQUIRED							

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 13'2" ACCESS AISLE / 96" ACCESS AISLE	
	EXISTING PARKING TO REMAIN				
BUSINESS	15	1			16
TOTAL					16

BUILDING CODE SUMMARY (continued)

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	WATER CLOSETS			URINALS		LAVATORIES		SHOWERS/TUBS		DRINKING FOUNTAINS		SERVICE SINK
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE		
BUSINESS EXISTING	1	2	2	1	1	1	2	2	1			1*
NEW FIXTURES	1	1	-	-	1	1	0	-	-	1	1	
TOTAL	2	3	2	1	2	2	2	2	2	2	1	1

*BOTH BUILDINGS 1 & 2 WILL SHARE SERVICE SINK LOCATED IN BUILDING 1

SPECIAL APPROVALS:

Special approval: (Local Jurisdiction, Department of Insurance, ODC, DPI, DHHS, ICC, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: (If checked, the remainder of this section is not applicable.)

Exempt Building: Provide code or statutory reference: _____

Climate Zone: 3A 4A 5A HARNETT COUNTY

Method of Compliance:

Energy Code: Performance Prescriptive

ASHRAE 90.1: Performance Prescriptive

Other: Performance (specify source)

Value of total assembly: _____

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)

Description of assembly: METAL ROOF PANEL

U-Value of total assembly: _____

R-Value of insulation: R-19+R11 LS

Skylights in each assembly: NONE

U-Value of skylight: _____

Total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)

Description of assembly: METAL WALL PANEL

U-Value of total assembly: _____

R-Value of insulation: R0+R-19 CI

Openings (windows or doors with glazing)

U-Value of assembly: _____

Solar heat gain coefficient: _____

Projection factor: _____

Door R-Values: _____

Walls below grade (each assembly)

Description of assembly: NONE

U-Value of total assembly: _____

R-Value of insulation: _____

Floors over unconditioned space (each assembly)

Description of assembly: _____

U-Value of total assembly: _____

R-Value of insulation: _____

Floors slab on grade

Description of assembly: 4" CONCRETE SLAB

U-Value of total assembly: _____

R-Value of insulation: _____

Horizontal/vertical requirement: _____

slab heated: _____

MECHANICAL SUMMARY (SEE DRAWING SHEET _____ M1)

ELECTRICAL SUMMARY (SEE DRAWING SHEET _____ E1)

SITE CLASSIFICATION: B

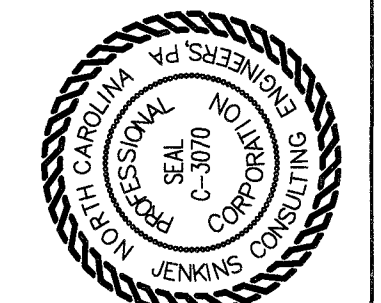
WIND SPEED: 130MPH

HARNETT COUNTY
 BUILDING CODE SUMMARY
 for:

NEW ADMINISTRATION BUILDING & INTERIOR
 RENOVATION

for
 FLAT BRANCH VOLUNTEER FIRE DEPT.

2098 ELLIOTT BRIDGE RD
 BUNNLEVEL, NC 28323



JENKINS
 CONSULTING ENGINEERS, PA
 OFFICE IN EUREKA SPRINGS, NORTH CAROLINA
 2098 ELLIOTT BRIDGE RD, BUNNLEVEL, NC 28323
 CORPORATE PHONE NUMBER: 910.822.1724
 FAX: 910.835.5507



15 NOVEMBER 2023

DESIGNED BY: K. DODSON
 DRAWN BY: JDL
 PROJECT #: 2023-05-19
 DATE: 15 NOVEMBER 2023

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION
 OWNER/TENANT:
 FLAT BRANCH FIRE DEPT.
 2098 ELLIOTT BRIDGE

Drawing File: H:\2023\Flat Branch VFD #2023-05-19\DWG\Flat Branch VFD 646c23-10.dwg 4" SCALE: 1/8" = 1'-0"
 Plotted by: Michaelu 2024-06-08 09:23:00
 Plotted Date: Jun 08, 2024 - 9:23:00

REINFORCING STEEL
 ALL REINFORCING STEEL SHALL BE DEFORMED STEEL BARS CONFORMING TO A.S.T.M. A615, GRADE 60.
 ALL REINFORCING STEEL SHALL BE MANUFACTURED, DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH A.C.I. 318R AND A.C.I. SP 66.
 WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A185, IN AS LONG A LENGTH AS IS PRACTICAL. WELDED WIRE FABRIC SHALL BE LAPPED AT LEAST ONE GRID WIDTH PLUS 2". REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.

SPLICES:
 REINFORCEMENT IN CONCRETE AND MASONRY SHALL HAVE LAP LENGTHS AS FOLLOWS, UNLESS OTHERWISE SPECIFIED ON DRAWINGS:
 BAR SIZE: IN CONCRETE: IN MASONRY:
 #3 1'-6" 2'-0"
 #4 2'-0" 2'-6"
 #5 2'-6" 3'-0"

PLACEMENT:
 REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL CHAIRS, SPACERS OR TIES, AND SECURED AGAINST DISPLACEMENT DURING CONCRETE OR GROUT PLACEMENT.

EXCEPT WHERE OTHERWISE NOTED, REINFORCEMENT SHALL HAVE CONCRETE COVER AS FOLLOWS:
 CONCRETE DEPOSITED AGAINST EARTH 3"
 FORMED CONCRETE AGAINST EARTH 2"
 EXTERIOR FACES OF WALLS 1"
 TO TOP OF SLABS-ON-GRADE 3/4"

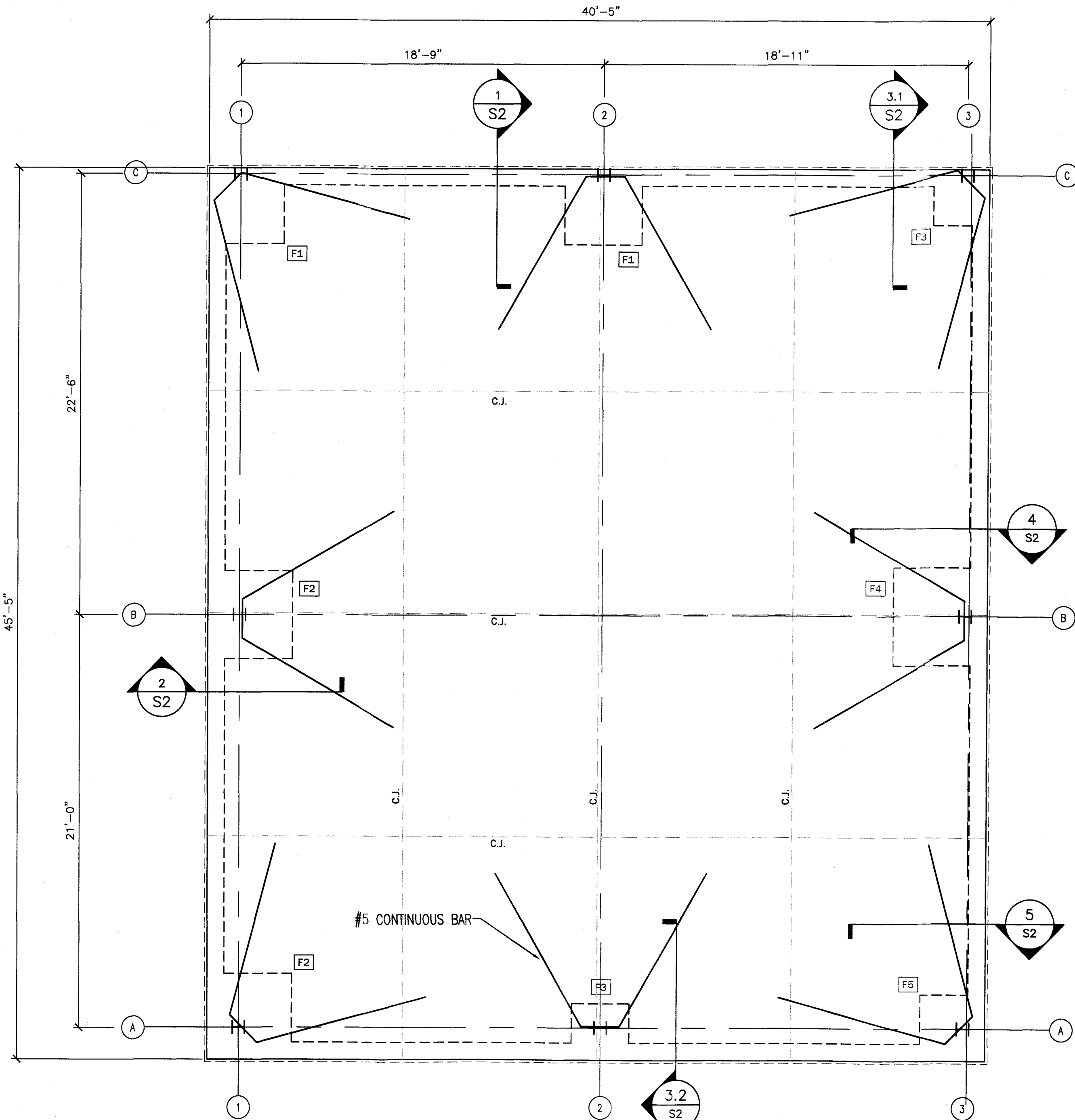
ALL SCALES, LOOSE RUST, GREASE OR DIRT SHALL BE REMOVED FROM THE REINFORCING BEFORE IT IS PLACED.
 PROVIDE #5 "HAIRPIN" X 20' LONG AT EXTERIOR COLUMN LINES.
 ANCHOR BOLTS SHALL BE (A-3077) HIGH STRENGTH.

SOIL TREATMENT:
 ADMINISTRATION AS ACCEPTABLE

GENERAL CONDITIONS
 THE GENERAL CONTRACTOR SHALL MAKE ADEQUATE SANITARY PROVISIONS.
 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY AND COMPLIANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT AS IT MAY REGARD ANY PHASE OF THE WORK ON THIS PROJECT.

SOIL COMPACTION AND TESTING
 THE GENERAL CONTRACTOR SHALL OBTAIN THE SERVICES OF A TESTING LABORATORY, SUCH AS SAME OR LAW ENGINEERING FOR THE PURPOSE OF DETERMINING THE SUITABILITY OF THE SUBSURFACE CONDITIONS AND THE BEARING CAPACITIES OF ALL AREAS BELOW CONCRETE (2000psf ASSUMED).. THE SOIL AND BEARING REPORT SHALL BE SUBMITTED PRIOR TO EXCAVATING, WHERE POSSIBLE, BUT PRIOR TO PLACEMENT OF ANY REINFORCING AND CONCRETE.

CONCRETE WORK
 1. ALL CONCRETE FOR THE PROJECT SHALL BE "READY MIX" AND SHALL COMPLY WITH ASTM C-94. ALL SECTIONS OF THE CONCRETE WORK SHALL COMPLY WITH ALL A.S.T.M. AND A.C.I. REQUIREMENTS.
 2. FORM WORK - ALL FORMS TO BE CAREFULLY BUILT AND SECURED IN PLACE IN SUCH A MANNER AS TO HAVE SUFFICIENT STRENGTH TO CARRY THE DEAD WEIGHT OF THE CONSTRUCTION AS A LIQUID, WITHOUT DEFLECTION OR VIBRATION. FORMS TO BE BUILT TIGHT, TRUE TO POSITION AND DIRECTION, THOROUGHLY BRACED, WIRED AND SPIKED OR OTHERWISE FASTENED TOGETHER.
 3. CONCRETE - MINIMUM OF 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, MINIMUM OF FIVE SACKS OF CEMENT PER CUBIC YARD OF CONCRETE, MAXIMUM OF 4" SLUMP.
 4. FINISHING - IN ACCORDANCE WITH THE LATEST A.C.I. CODE, PLUMB, LEVEL, TRUE IN LINE, FREE OF HONEYCOMB. BUILDING SLAB SHALL HAVE A HARD STEEL TROWEL FINISH. WALKS SHALL HAVE BROOMED FINISH AND EXPANSION JOINTS AT APPROXIMATELY 50'-0" O.C. AND DUMMY JOINTS AS SHOWN ON THE SITE PLAN.
 5. REMOVAL OF FORMS - FORMS SHALL BE CAREFULLY REMOVED SO AS NOT TO IMPAIR THE FACE OF THE CONCRETE. IMMEDIATELY AFTER THE FORMS ARE REMOVED ALL DAMAGE OF IMPERFECT WORK SHALL BE PATCHED IN A NEAT AND WORKMANLIKE MANNER OR IF BADLY DAMAGED, IN THE OPINION OF THE OWNER, THE WORK SHALL BE REBUILT. THE MINIMUM TIME BEFORE ANY FORMS CAN BE REMOVED IS SEVEN (7) DAYS FOR SUCH MEMBERS AS ARE SUBJECT TO BENDING STRESSES, SUCH AS SLABS.
 6. CURING - USE MEMBRANE CURING METHOD. USE MFG. RATE, SPRAY IMMEDIATELY FOLLOWING FINISHING. PROTECT FROM FREEZING WEATHER, CURE A TOTAL OF 28 DAYS USING A.C.I. METHODS.



PLAN NORTH
 TRUE NORTH
 2 FOUNDATION PLAN
 1/4" = 1'-0"

STRUCTURAL DESIGN
DESIGN LOADS:
 Importance Factors: Snow (Is) 1.20
 Seismic (Ie) 1.50
 Live Loads: Roof 20 psf
 Mezzanine (Equipment Platform) N/A psf
 Floor 100 psf
 Ground Snow Load: 10 psf
 Wind Load: Ultimate Wind Speed 132 mph (ASCE-7)
 Exposure Category B

SEISMIC DESIGN CATEGORY: A B C D
 Provide the following Seismic Design Parameters:
 Risk Category (Table 1604.5) I II III IV
 Spectral Response Acceleration SS 14 %g S1 6.70 %g
 Site Classification (ASCE 7) A B C D E F
 Data Source: Field Test Presumptive Historical Data
 Basic structural system: Bearing Wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum
 Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
 Architectural, Mechanical, Components anchored? Yes No

LATERAL DESIGN CONTROL: Earthquake Wind
SOIL BEARING CAPACITIES:
 Field Test (provide copy of test report) N/A psf
 Presumptive Bearing capacity 2,000 psf
 Pile size, type, and capacity N/A

PRE-ENGINEERED BUILDING:

1. MATERIALS

	ASTM DESIGNATION	
STRUCTURAL STEEL PLATE	A529 OR A572 OR A570 OR A607	GRADE 50
COLD FORMED LIGHT GA. SHAPES	A570 OR A607	GRADE 55
BRACE RODS	A572	GRADE 65 U.O.N.
HOT ROLLED MILL SHAPES	A36 OR A572	Fy=36KSI OR GRADE 50
ROOF AND WALL SHEETS	A653 OR A792	GRADE 50
BOLTS	A307 AND A325	A307,U.O.N.

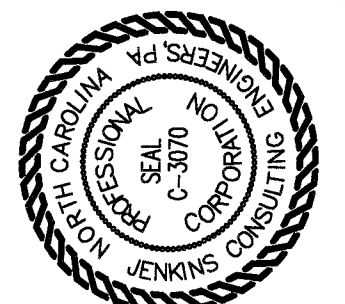
2. A325 BOLT TIGHTENING REQUIREMENTS:
 ALL HIGH STRENGTH BOLTS ARE A325-N UNLESS SPECIFICALLY NOTED OTHERWISE. STRUCTURAL BOLTS SHALL BE TIGHTENED TO THE TURN-OF-THE-NUT METHOD IN ACCORDANCE WITH THE NINTH EDITION, ASG USPECIFICATION FOR STRUCTURAL UNITS USING ASTM A325 OR A490 BOLTS. PER SECTION 4D.1, A325 BOLTS MAY BE INSTALLED HILTHOUT HASHERS INHEN TIGHTENED BY THE TURN-OF-THE-NUT METHOD. ALL HIGH STRENGTH BOLTS, EXCEPT AS NOTED OTHERWISE, ARE SUBJECT TO DIRECT TENSION AND MAY REQUIRE INSPECTION AS DEFINED BY THE APPLICABLE BUILDING CODE OR STANDARD. IT IS THE RESPONSIBILITY OF THE ERECTOR TO ASSURE PROPER TIGHTNESS.

- 3. FOUNDATION DESIGN AND CONSTRUCTION ARE NOT THE RESPONSIBILITY OF THE METAL BUILDING MANUFACTURER
- 4. THE BUILDING REACTION DATA REPORTS THE LOADS WHICH THIS BUILDING PLACES ON THE FOUNDATION.
- 5. ANCHOR BOLTS SHALL BE ACCURATELY SET TO A TOLERANCE OF ±1/8" IN BOTH ELEVATION AND LOCATION.
- 6. COLUMN BASE PLATES ARE DESIGNED NOT TO EXCEED A BEARING PRESSURE OF 1125 POUNDS PER SQUARE INCH.
- 7. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE DESIGN ENGINEER AT JENKINS CONSULTING ENGINEERS. THIS REVIEW IS FOR DESIGN CONTENT ONLY AND DOES NOT REMOVE RESPONSIBILITY FOR THE FABRICATOR OR THE ERECTOR TO PROVIDE MATERIAL IN ACCORDANCE WITH THESE PLANS.

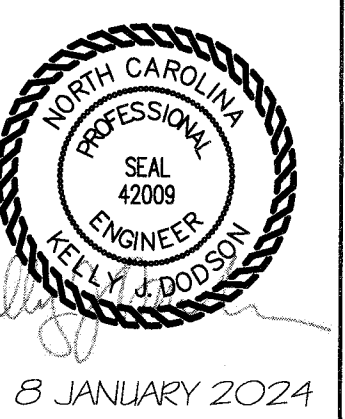
!!! IMPORTANT !!!
 THIS FOUNDATION PLAN IS FOR BIDDING AND ESTIMATING PURPOSE ONLY. SUCCESSFUL BIDDER SHALL SUBMIT METAL BUILDING SHOP DRAWINGS WITH REACTIONS FOR JENKINS CONSULTING ENGINEERS FOR FINAL FOUNDATION DESIGN PRIOR TO CONSTRUCTION.

ANCHOR BOLT EMBEDMENT SCHEDULE

FOOTING TAG	ANCHOR BOLT #"	MIN. EMBEDMENT DEPTH
F1	5/8"	10"
F2	3/4"	12"
F3	5/8"	10"
F4	3/4"	12"
F5	3/4"	12"



JENKINS CONSULTING ENGINEERS, PA.
 OFFICE: 1000 MARTIN RD., FAYETTEVILLE, NC 28311-1002
 PHONE: 810.838.8800 FAX: 810.838.8800
 BUSINESS NUMBER: C-3070



DESIGNED BY: K. DODSON
 DRAWN BY: JDL, MJ
 PROJECT #: 2023-05-19
 DATE: 8 JAN 2024

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION
 OWNER/TENANT: FLAT BRANCH FIRE DEPT.
 2098 ELLIOTT BRIDGE RD., BUNNLEVEL, NC 28523
 CONTRACTOR/BUILDER:

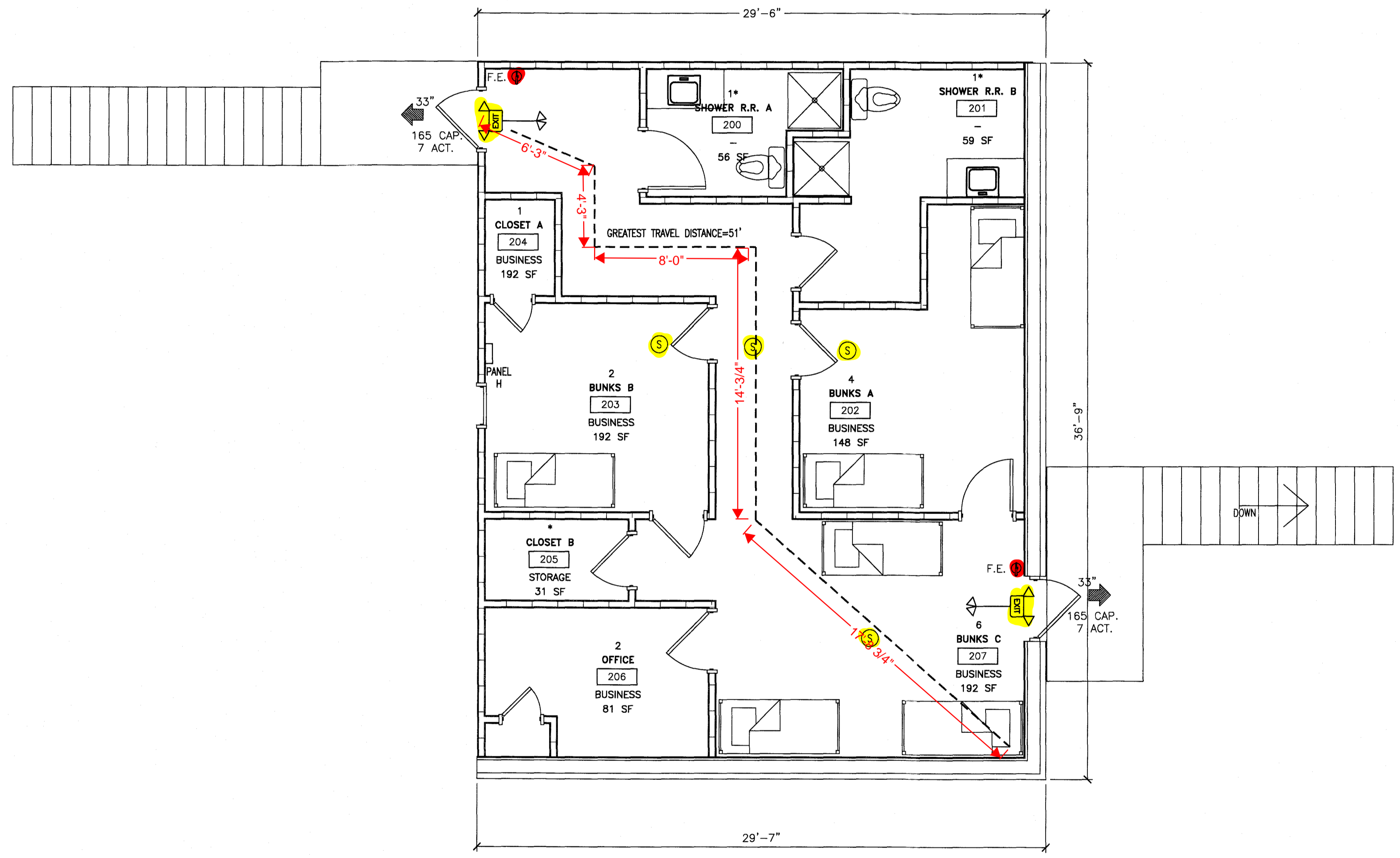
PROJECT: **NEW ADMIN BUILDING & INTERIOR RENOVATION**
 2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28523
 SHEET: **PRELIMINARY FOUNDATION PLAN**

S1

Drawing File: H:\2023\Flat Branch VFD #2023-05-19\DWG\Flat Branch VFD 15NOV23.dwg
 Plotted by: JoshL
 Plotted Date: Nov 15, 2023 - 3:45pm

OCCUPANCY CLASSIFICATION per TABLE 1004.1.2						
SPACE NUMBER	CURRENT SPACE USE	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	ROOM AREA (NET SF)	A CALCULATED EGRESS OCCUPANCY TOTAL (BY AREA)	B ACTUAL BUILDING OCCUPANT TOTAL (ANTICIPATED USE)
200	SHOWER R.R. A	-	-	56	1*	1*
201	SHOWER R.R. B	-	-	59	1*	1*
202	BUNKS A	SLEEPING AREA	120 GROSS	148	2	4
203	BUNKS B	SLEEPING AREA	120 GROSS	124	2	2
204	CLOSET A	STORAGE	100 GROSS	18	1*	1*
205	CLOSET B	STORAGE	100 GROSS	31	1*	1*
206	OFFICE	BUSINESS	100 GROSS	81	2	2
207	BUNKS C	SLEEPING AREA	120 GROSS	195	2	6
THE OCCUPANT COUNT FOR SPACE & EGRESS CAPACITY				712	8	14

THE EGRESS CAPACITY SHALL BE BASED UPON OCCUPANT LOAD OF 14 PERSONS
 (*) DENOTES OCCUPANT NUMBER ACCOUNTED FOR IN OCCUPANT TOTAL



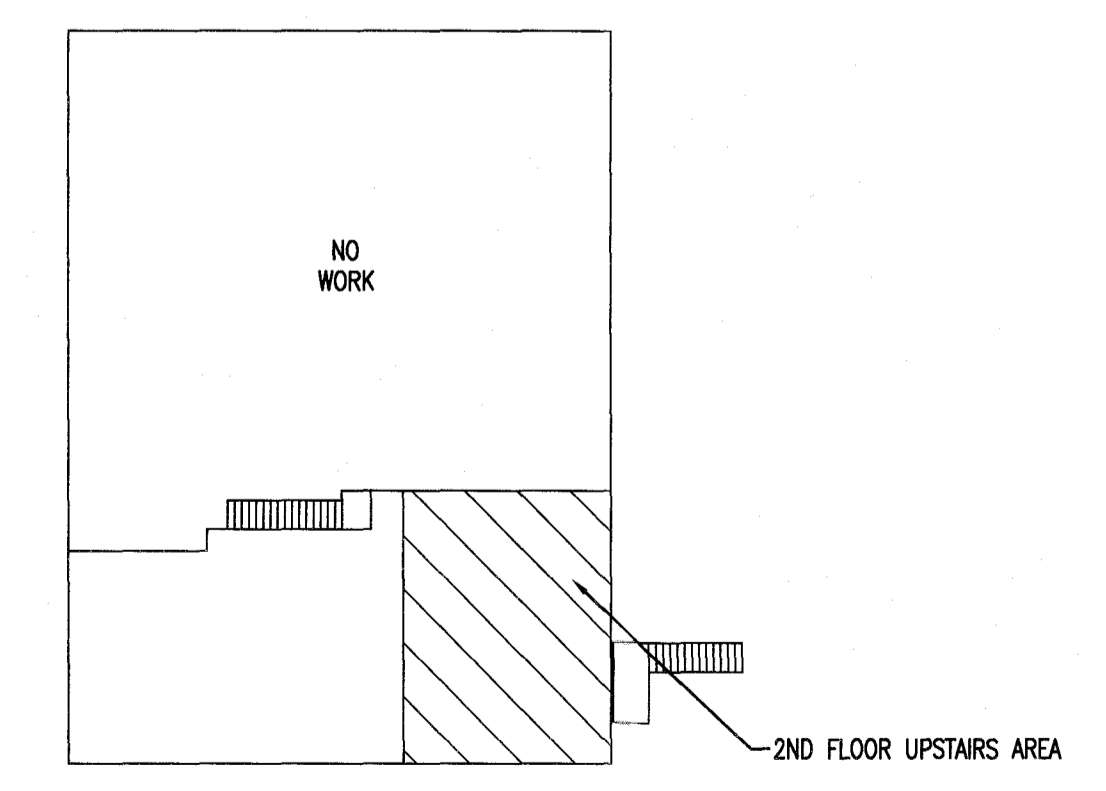
BUSINESS OCCUPANCY:
 GROSS SQUARE FOOTAGE OF SPACE 1087 SQ. FT.
 TYPE OF CONSTRUCTION: III-B
 SPACE IS TO BE USED AS A LOUNGE AREA FOR VOLUNTEER FIRE DEPARTMENT

OCCUPANT LOAD FOR CALCULATING EGRESS CAPACITY (USE WORST CASE):
 SPACE OCCUPANCY BY FUNCTION OF SPACE
 BUSINESS : 1087 GSF / 100 = 11
 TOTAL OCCUPANCY BY FUNCTION = 8
 TOTAL OCCUPANCY BY AREA (COLUMN A) = 8
 TOTAL OCCUPANCY BY ANTICIPATED USE (COLUMN B) = 14
 (SEE TABLE ON THIS SHEET FOR INDIVIDUAL SPACE TOTALS)
 CALCULATED EGRESS OCCUPANCY AREA TOTAL = 8 PERSONS
 ACTUAL OCCUPANT LOAD BY AREAS = 14 PERSONS

GREATEST TRAVEL DISTANCE SHOWN: 51 FEET. (PER 1017)
 MAXIMUM ALLOWABLE TRAVEL DISTANCE: 200 FEET (PER TABLE 1017.2)
 THE COMMON PATH OF TRAVEL IS LESS THAN 75 FEET. (PER 1029.8)
 THERE ARE NO DEAD END CORRIDORS OVER 20 FEET. (PER 1020.4)

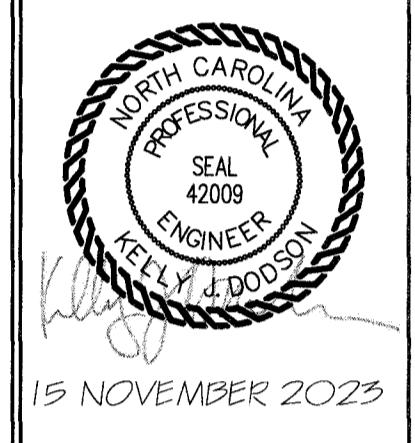
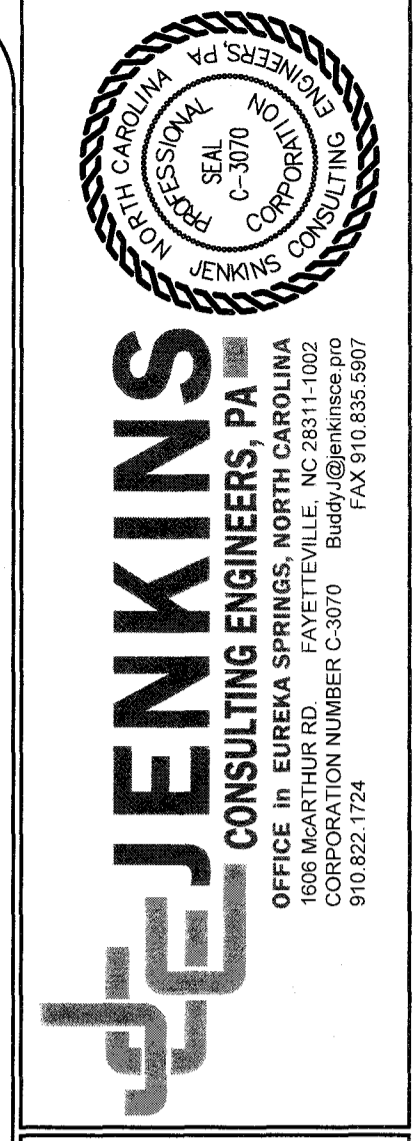
BUILDING EXIT WIDTH CALCULATIONS:
 14 PERSONS * 0.2' / OCCUPANT = 2.8' REQUIRED, 66 INCHES TOTAL PROVIDED. (PER 1005.1)
 MIN. NO. OF EXITS REQUIRED: ONE (1) (PER TABLES 1006.1 AND 1006.3.2)
 NUMBER OF EXITS PROVIDED: TWO (2)
 EGRESS DOORS DO NOT REQUIRE PANIC HARDWARE. (PER 1010.1.10)
 DOORS DO NOT HAVE DELAYED EGRESS LOCKS (PER 1010.1.9.7)
 DOORS DO NOT HAVE ELECTROMAGNETIC EGRESS LOCKS (PER 1010.1.9.9)
 DOORS DO NOT HAVE HOLD OPEN DEVICES.
 THERE ARE NO EMERGENCY ESCAPE WINDOWS (PER 1030)
 THE FIRE AREA SQUARE FOOTAGE IS: 712 SQUARE FEET (PER 902)
 THERE ARE BUNK/LOUNGE ROOMS (SMOKE COMPARTMENTS) (PER 408.6.1)
 THIS BUILDING IS NOT PROTECTED BY FIRE SPRINKLERS
 THERE IS NO FIRE ALARM SYSTEM.
 LOCK BOX FOR KEY IS INSTALLED AT FRONT ENTRANCE. (AS REQ'D.)
 DUCT DETECTORS ARE INSTALLED IN AHU. AN AUDIBLE AND VISIBLE DEVICE IS PROVIDED FOR UNIT. (AS REQ'D.)
 NO. OF FIRE EXTINGUISHERS PROVIDED: TWO (2) FIRE EXTINGUISHER:
 TWO (2) ABC FIRE EXTINGUISHERS
 FIRE EXTINGUISHER FOR CLASS A FIRE HAZARDS REQUIRE NO GREATER THAN 75 FT OF MAXIMUM TRAVEL DISTANCE IN LOW, ORDINARY AND EXTRA HAZARD OCCUPANCY.
 SMOKE DETECTORS ARE INSTALLED IN EACH BUNK/LOUNGE ROOM.

LEGEND	
SYMBOL	DESCRIPTION
F.E. (ABC)	ABC FIRE EXTINGUISHER SUGGESTED LOCATION
(Dashed line)	GREATEST TRAVEL DISTANCE
33"	EXIT WIDTH, 36" - 3 = 33" CLEAR WIDTH.
165 CAP. 7 ACT.	EXIT CAPACITY (NUMBER OF PERSONS) ACTUAL OCCUPANT LOAD FOR EXIT DOOR
EXIT	EXIT SIGN
S	SMOKE DETECTOR
36"	AISLE WIDTH WHERE SHOWN
(Exit sign with arrow)	EXIT SIGN WITH EMERGENCY LIGHTING
ROOM LABEL	DESCRIPTION
10	OCCUPANT TOTAL
RETAIL	ROOM NAME
1	ROOM NUMBER
MERCANTILE	FUNCTION TYPE
100 SF	SPACE AREA



EXISTING BUILDING AREA OF WORK-2ND FLOOR
 N.T.S.

PLAN NORTH
 TRUE NORTH
 1 LS-1
 LIFE SAFETY - BUILDING NO. 1 2ND FLOOR EGRESS PLAN
 1/4"=1'-0"



DESIGNED BY: K. DODDSON
 DRAWN BY: JDL
 PROJECT #: 2023-05-19
 DATE: 15 NOVEMBER 2023

FINAL DRAWING [] FOR REVIEW PURPOSES ONLY
 PRELIMINARY [] FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING [] FOR CONSTRUCTION

OWNER/TENANT:
 FLAT BRANCH FIRE DEPT.
 2098 ELLIOTT BRIDGE RD, BUNNLEVEL, NC 28523

CONTRACTOR/BUILDER:

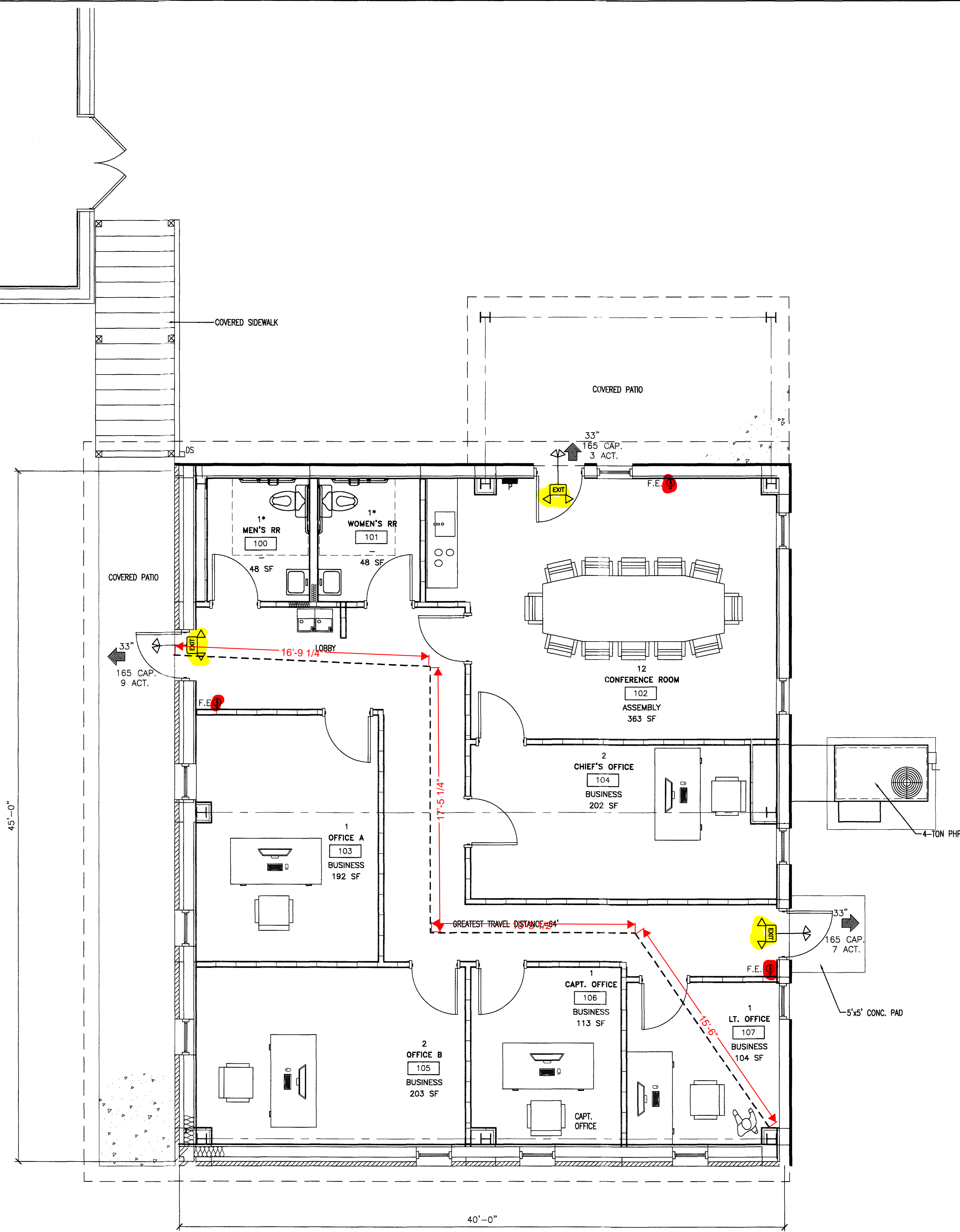
PROJECT:
 NEW ADMIN BUILDING & INTERIOR RENOVATION
 2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28523

SHEET:
 LIFE SAFETY & EGRESS PLAN-BLDG 1

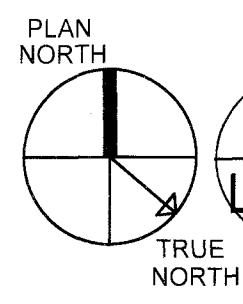
LS-1

Drawing File: H:\2023\Flat Branch VFD #2023-05-19\DWG\Flat Branch VFD 15NOV23.dwg 4' 3:46pm
 Plotted by: Joshi
 Plotted Date: Nov 15, 2023

EXISTING BUILDING



NOTE: FURNITURE IS SHOWN FOR ILLUSTRATION PURPOSES ONLY & PROVIDED BY OWNER



1 LIFE SAFETY - BUILDING 2 EGRESS PLAN
 LS-2 1/4"=1'-0"

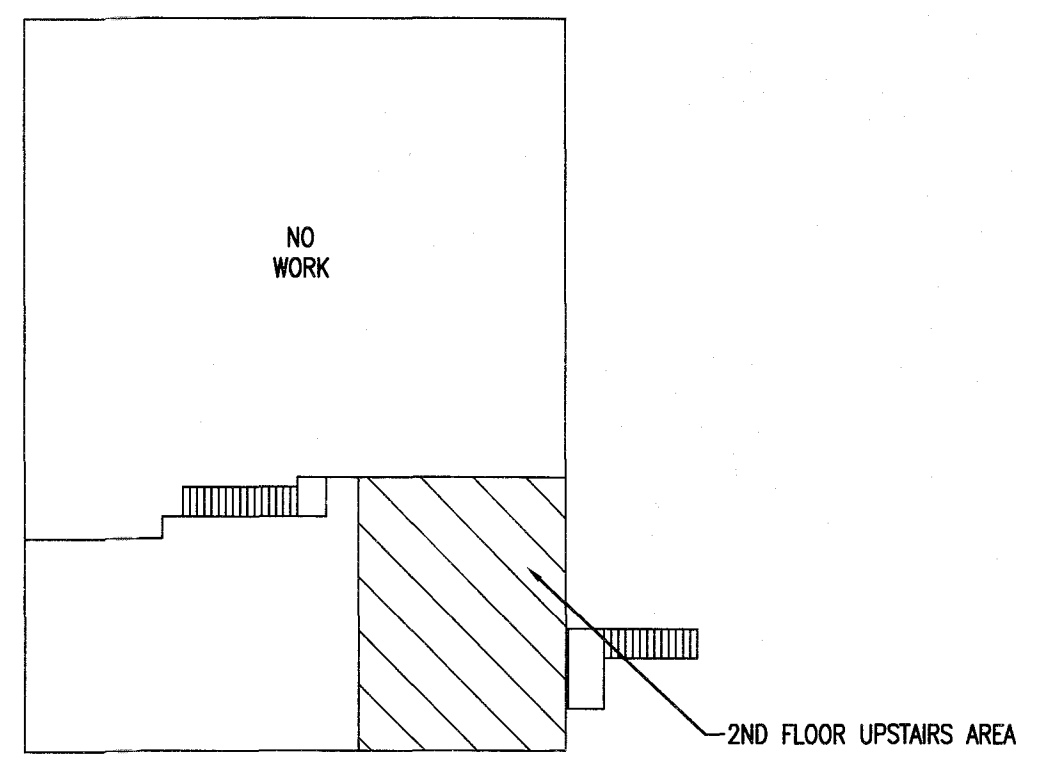
OCCUPANCY CLASSIFICATION per TABLE 1004.1.2						
SPACE NUMBER	CURRENT SPACE USE	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	ROOM AREA (GROSS SF)	A CALCULATED EGRESS OCCUPANCY TOTAL (BY AREA)	B ACTUAL BUILDING OCCUPANT TOTAL (ANTICIPATED USE)
100	MEN'S RR	-	-	48	1*	1*
101	WOMEN'S RR	-	-	48	1*	1*
102	CONFERENCE ROOM	BUSINESS	100 GROSS	363	4	12
103	OFFICE A	BUSINESS	100 GROSS	192	2	1
104	CHIEF'S OFFICE	BUSINESS	100 GROSS	202	3	1
105	OFFICE B	BUSINESS	100 GROSS	203	3	1
106	CAPT. OFFICE	BUSINESS	100 GROSS	113	2	1
107	LT. OFFICE	BUSINESS	100 GROSS	104	2	1
THE OCCUPANT COUNT FOR TENANT SPACE & EGRESS CAPACITY				1273	16	17

THE EGRESS CAPACITY SHALL BE BASED UPON OCCUPANT LOAD OF 19 PERSONS
 (*) DENOTES OCCUPANT NUMBER ACCOUNTED FOR IN OCCUPANT TOTAL

BUSINESS OCCUPANCY:
 GROSS SQUARE FOOTAGE OF SPACE 1,857 SQ. FT.
 TYPE OF CONSTRUCTION: III-B
 SPACE IS TO BE USED AS A BUSINESS OFFICE FOR VOLUNTEER FIRE DEPARTMENT

OCCUPANT LOAD FOR CALCULATING EGRESS CAPACITY:
 SPACE OCCUPANCY BY FUNCTION OF SPACE
 BUSINESS : 1,857 GSF / 100 = 19
 TOTAL OCCUPANCY BY FUNCTION = 19
 TOTAL OCCUPANCY BY AREA (COLUMN A) = 17
 TOTAL OCCUPANCY BY ANTICIPATED USE (COLUMN B) = 17
 (SEE TABLE ON THIS SHEET FOR INDIVIDUAL SPACE TOTALS)
 GREATEST TRAVEL DISTANCE SHOWN: 64 FEET. (PER 1017)
 MAXIMUM ALLOWABLE TRAVEL DISTANCE: 200 FEET (PER TABLE 1017.2)
 THE COMMON PATH OF TRAVEL IS LESS THAN 75 FEET. (PER 1029.8)
 THERE ARE NO DEAD END CORRIDORS OVER 20 FEET. (PER 1020.4)

BUILDING EXIT WIDTH CALCULATIONS:
 19 PERSONS * 0.2"/OCCUPANT = 3.8" REQUIRED, 99 INCHES TOTAL PROVIDED. (PER 1005.1)
 MIN. NO. OF EXITS REQUIRED: ONE (1) (PER TABLES 1006.1 AND 1006.3.2)
 NUMBER OF EXITS PROVIDED: THREE (3) ACCESSIBLE
 EGRESS DOORS DO NOT REQUIRE PANIC HARDWARE. (PER 1010.1.10)
 DOORS DO NOT HAVE DELAYED EGRESS LOCKS (PER 1010.1.9.7)
 DOORS DO NOT HAVE ELECTROMAGNETIC EGRESS LOCKS (PER 1010.1.9.9)
 DOORS DO NOT HAVE HOLD OPEN DEVICES.
 THERE ARE NO EMERGENCY ESCAPE WINDOWS (PER 1030)
 THE FIRE AREA SQUARE FOOTAGE IS: 1,800 SQUARE FEET (PER 902)
 THERE ARE NO SLEEPING AREAS (SMOKE COMPARTMENTS) (PER 407.2)
 THIS BUILDING IS NOT PROTECTED BY FIRE SPRINKLERS
 THERE IS NO FIRE ALARM SYSTEM.
 LOCK BOX FOR KEY IS INSTALLED AT FRONT ENTRANCE. (AS REQ'D.)
 DUCT DETECTORS ARE INSTALLED IN AHU. AN AUDIBLE AND VISIBLE DEVICE IS PROVIDED FOR UNIT. (AS REQ'D.)
 NO. OF FIRE EXTINGUISHERS PROVIDED: THREE (3) FIRE EXTINGUISHER:
 THREE (3) ABC FIRE EXTINGUISHERS
 FIRE EXTINGUISHER FOR CLASS A FIRE HAZARDS REQUIRE NO GREATER THAN 75 FT OF MAXIMUM TRAVEL DISTANCE IN LOW, ORDINARY AND EXTRA HAZARD OCCUPANCY.



EXISTING BUILDING AREA OF WORK-2ND FLOOR
 N.T.S.

LEGEND	
SYMBOL	DESCRIPTION
F.E. [Symbol]	ABC FIRE EXTINGUISHER SUGGESTED LOCATION
[Symbol]	GREATEST TRAVEL DISTANCE
33" [Symbol]	EXIT WIDTH, 36" - 3" = 33" CLEAR WIDTH.
165 CAP. 22 ACT. [Symbol]	EXIT CAPACITY (NUMBER OF PERSONS) ACTUAL OCCUPANT LOAD FOR EXIT DOOR
[Symbol]	EXIT SIGN
[Symbol]	SMOKE DETECTOR
36" [Symbol]	AISLE WIDTH WHERE SHOWN
[Symbol]	EXIT SIGN WITH EMERGENCY LIGHTING
ROOM LABEL	DESCRIPTION
10	OCCUPANT TOTAL
RETAIL	ROOM NAME
1	ROOM NUMBER
MERCANTILE	FUNCTION TYPE
100 SF	SPACE AREA



DESIGNED BY: K. DODSON
 DRAWN BY: JDL
 PROJECT #: 2023-05-19
 DATE: 15 NOVEMBER 2023

FINAL DRAWING [] FOR REVIEW PURPOSES ONLY
 PRELIMINARY [] FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING [] FOR CONSTRUCTION

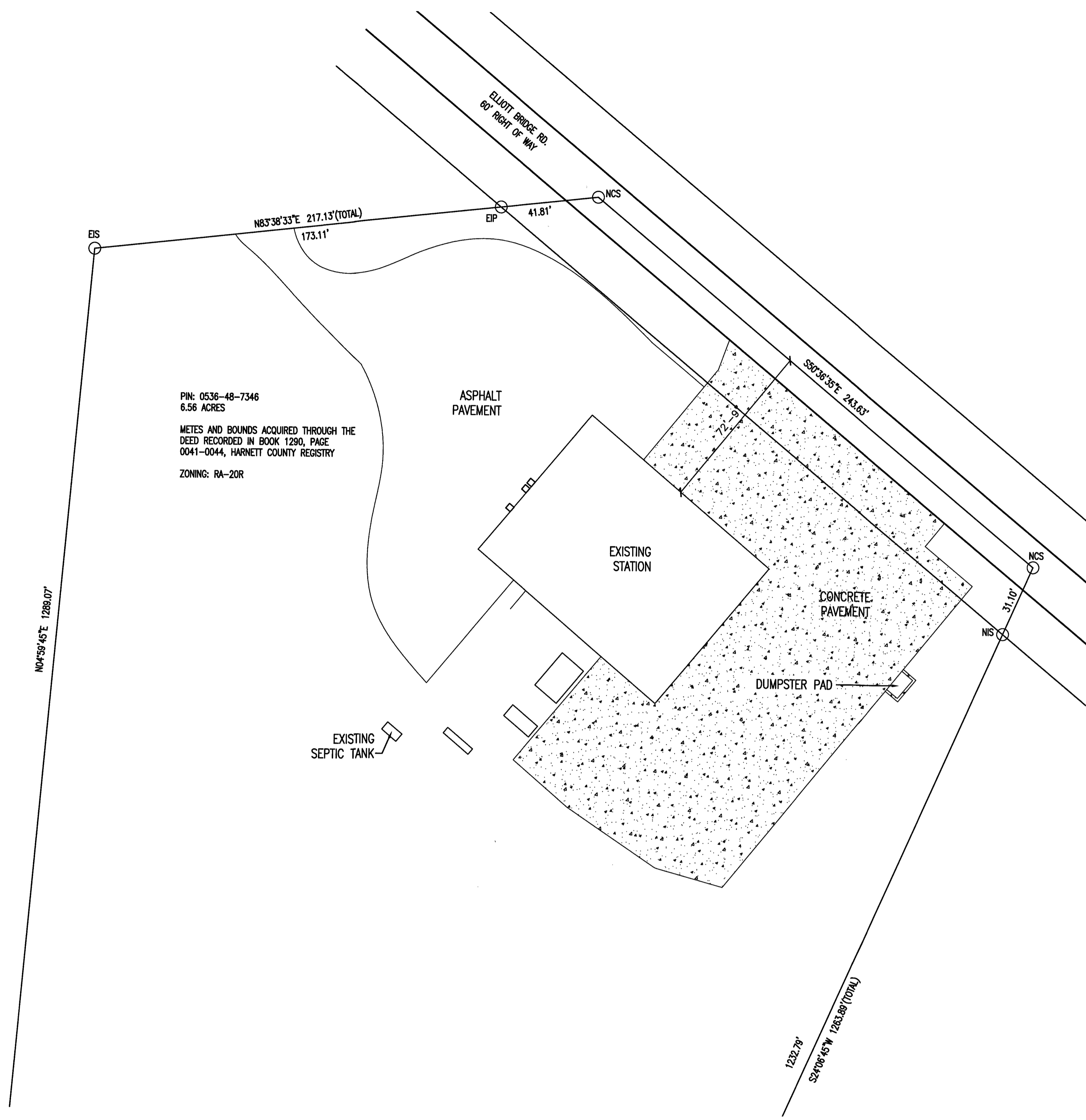
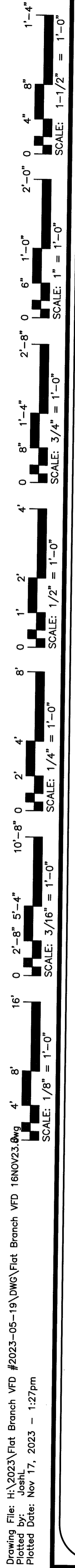
OWNER/TENANT: FLAT BRANCH FIRE DEPT.
 2098 ELLIOTT BRIDGE RD. BUNNLEVEL, NC 28323

CONTRACTOR/BUILDER:

PROJECT: NEW ADMIN BUILDING & INTERIOR RENOVATION
 2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28323

SHEET: LIFE SAFETY & EGRESS PLAN - BLDG 2

Drawing File: H:\2023\Flat Branch VFD #2023-05-19\DWG\Flat Branch VFD 16NOV23.dwg
 Plotted by: JoshL
 Plotted Date: Nov 17, 2023 - 1:27pm

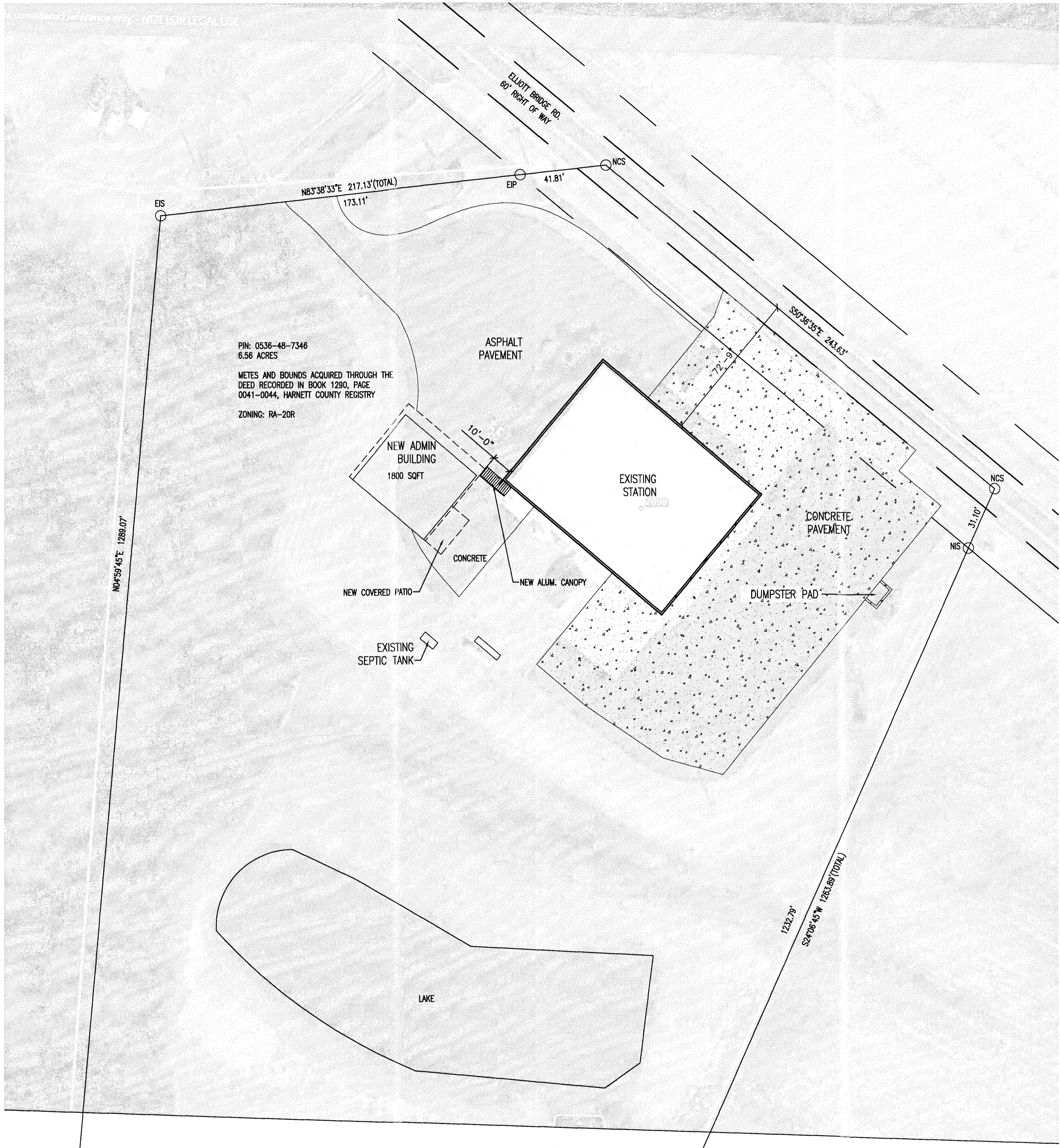


PIN: 0536-48-7346
 6.56 ACRES
 METES AND BOUNDS ACQUIRED THROUGH THE DEED RECORDED IN BOOK 1290, PAGE 0041-0044, HARNETT COUNTY REGISTRY
 ZONING: RA-20R

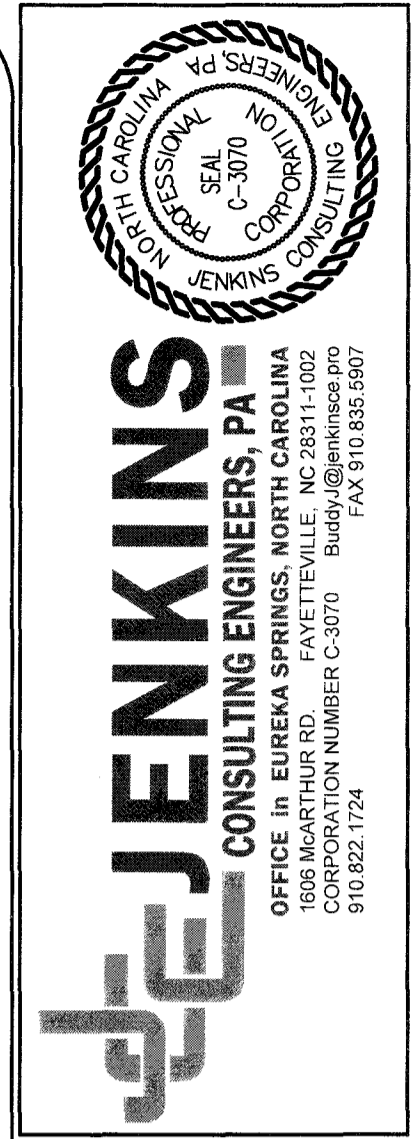
1 EXISTING SITE PLAN
 SP1 1"=30'

JE JENKINS CONSULTING ENGINEERS, PA OFFICE IN EUREKA SPRINGS, NORTH CAROLINA 500 MANTHORP RD. FAYETTEVILLE, NC 28511-1002 PHONE NUMBER: 910.822.1724 FAX: 910.822.8607	
15 NOVEMBER 2023	
DESIGNED BY: K. DODSON	DRAWN BY: JDL
PROJECT #: 2023-05-19	DATE: 15 NOVEMBER 2023
FINAL DRAWING <input type="checkbox"/> FOR REVIEW PURPOSES ONLY PRELIMINARY <input type="checkbox"/> FOR DESIGN DEVELOPMENT ONLY FINAL DRAWING <input checked="" type="checkbox"/> FOR CONSTRUCTION	OWNER/TENANT: FLAT BRANCH FIRE DEPT. 2098 ELLIOTT BRIDGE RD. BUNNLEVEL, NC 28323 CONTRACTOR/BUILDER:
PROJECT: NEW ADMIN BUILDING & INTERIOR RENOVATION 2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28323	SHEET: EXISTING SITE PLAN
SP1	

Drawing File: H:\2023\Flat Branch VFD #2023-05-19\DWG\Flat Branch VFD 16NOV23.dwg
 Plotted by: JoshL
 Plotted Date: Nov 17, 2023 - 1:29pm



1 ADDITION SITE PLAN
 SP2 1"=30'



15 NOVEMBER 2023

DESIGNED BY: K. DODSON	JDL
DRAWN BY:	
PROJECT #: 2023-05-19	
DATE: 15 NOVEMBER 2023	

FINAL DRAWING FOR REVIEW PURPOSES ONLY
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OWNER/TENANT:
FLAT BRANCH FIRE DEPT.
 2098 ELLIOTT BRIDGE RD. BUNNLEVEL, NC 28323

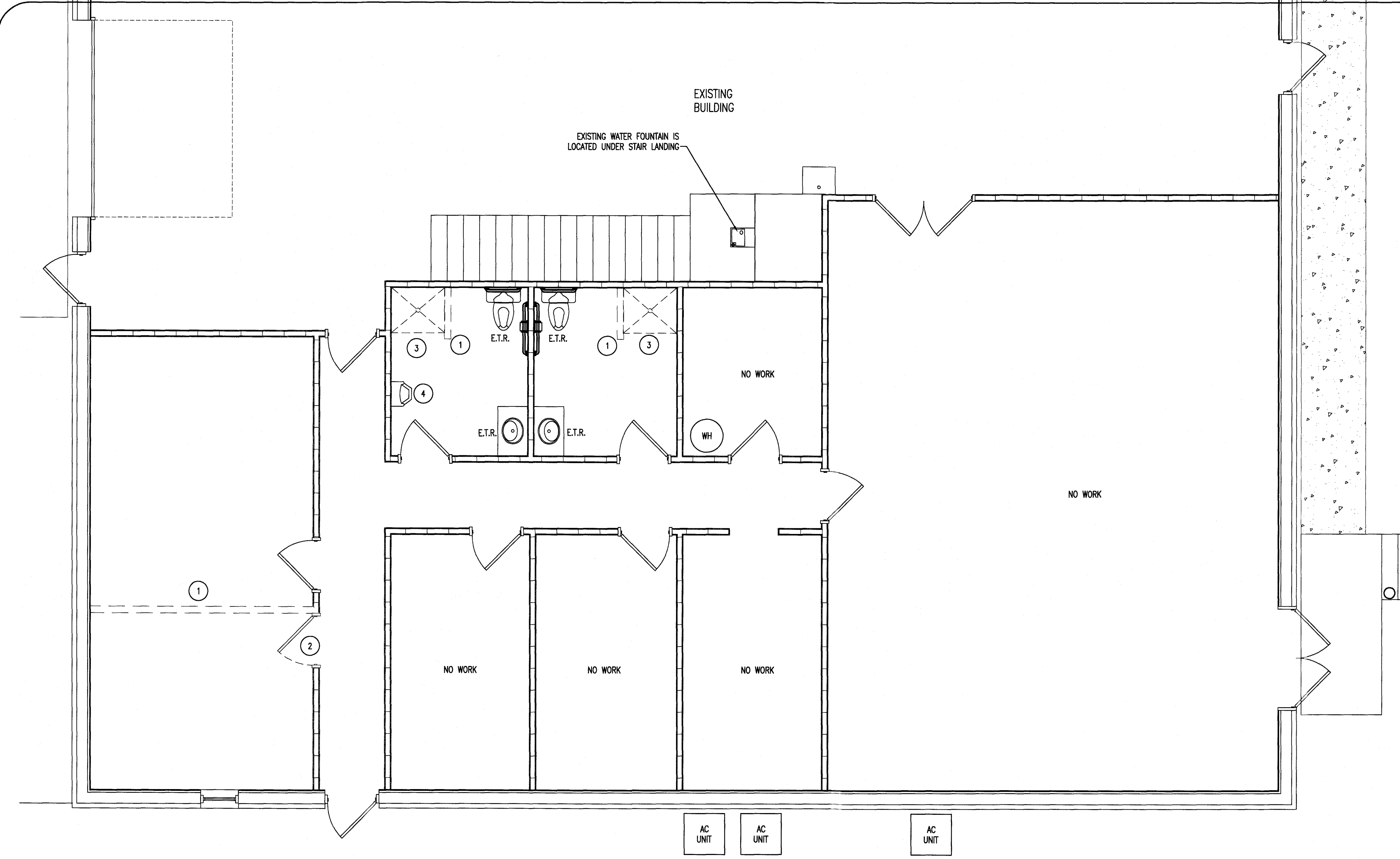
CONTRACTOR/BUILDER:

PROJECT:
NEW ADMIN BUILDING & INTERIOR RENOVATION
 2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28323

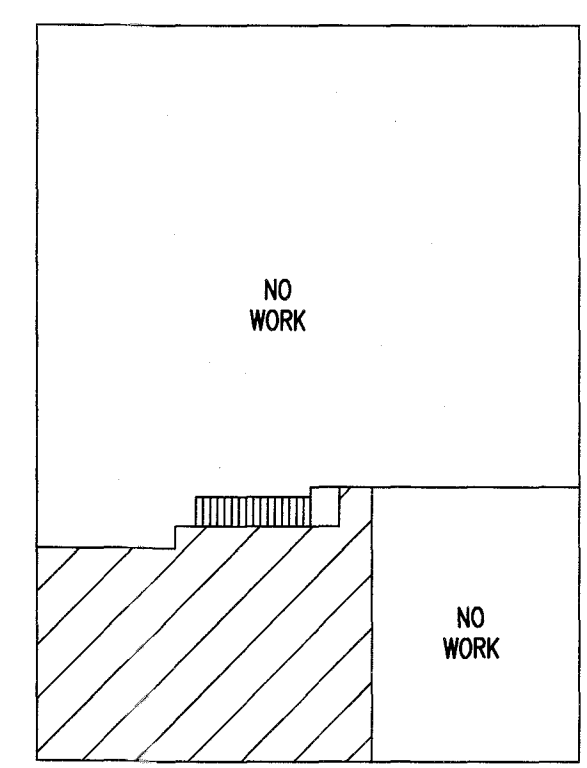
SHEET:
NEW SITE PLAN

SP2

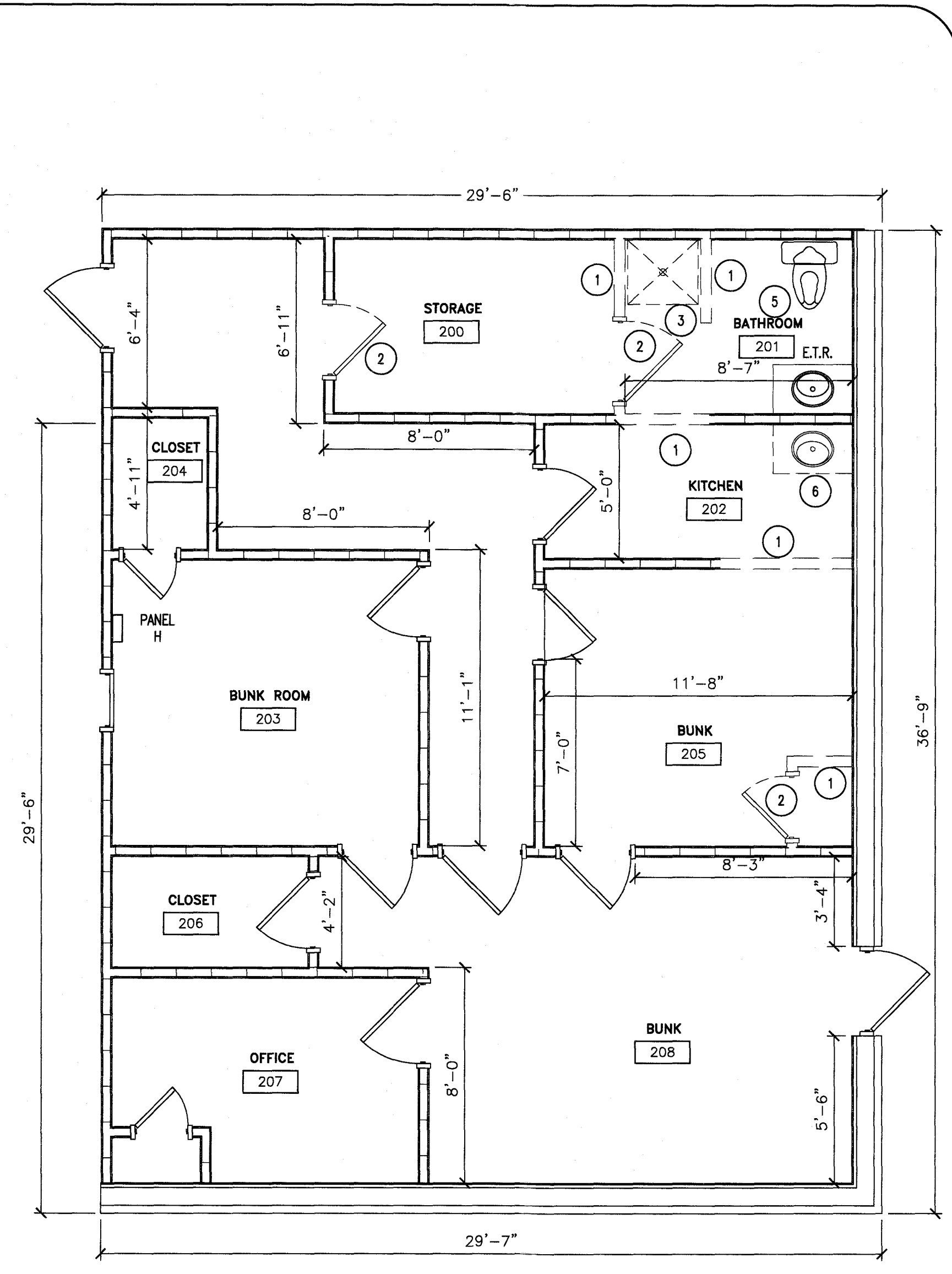
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 Plotted By: Josh
 Plotted Date: Nov 15, 2023 - 3:46pm



PLAN NORTH
 TRUE NORTH
1
G1 EXISTING BUILDING 1ST FLOOR
 1/4" = 1'

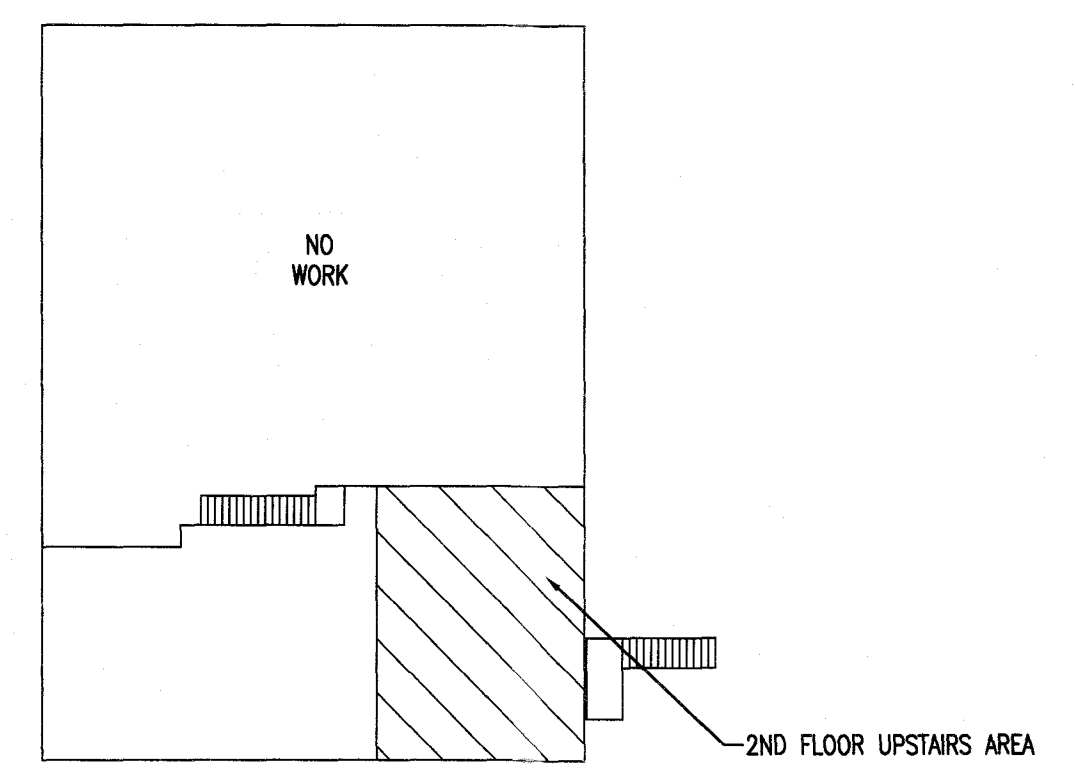


EXISTING BUILDING AREA OF WORK-1ST FLOOR
 N.T.S.



PLAN NORTH
 TRUE NORTH
2
G1 EXISTING BUILDING 2ND FLOOR
 1/4" = 1'-0"

- EXISTING FLOOR DEMOLITION KEYED NOTES:**
- 1 REMOVE EXISTING WALL
 - 2 REMOVE EXISTING DOOR
 - 3 REMOVE EXISTING SHOWER
 - 4 RELOCATE EXISTING URINAL
 - 5 RELOCATE EXISTING TOILET
 - 6 REMOVE EXISTING SINK/VANITY



EXISTING BUILDING AREA OF WORK-2ND FLOOR
 N.T.S.

J. JENKINS
 CONSULTING ENGINEERS, P.A.
 OFFICE IN EUREKA SPRINGS, NORTH CAROLINA
 505 W. HARRIS RD., EUREKA SPRINGS, NC 28311-1002
 PAVETTAVILLE, NC 28311-1002
 SEPARATION NUMBER C-5016 TEL: 910.832.5677 FAX: 910.832.5677

DESIGNED BY: **K. DODDSON**
 DRAWN BY: **JDL**
 PROJECT #: **2023-05-19**
 DATE: **15 NOVEMBER 2023**

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION

OWNER/TENANT:
FLAT BRANCH FIRE DEPT.
 2098 ELLIOTT BRIDGE RD., BUNNLEVEL, NC 28323

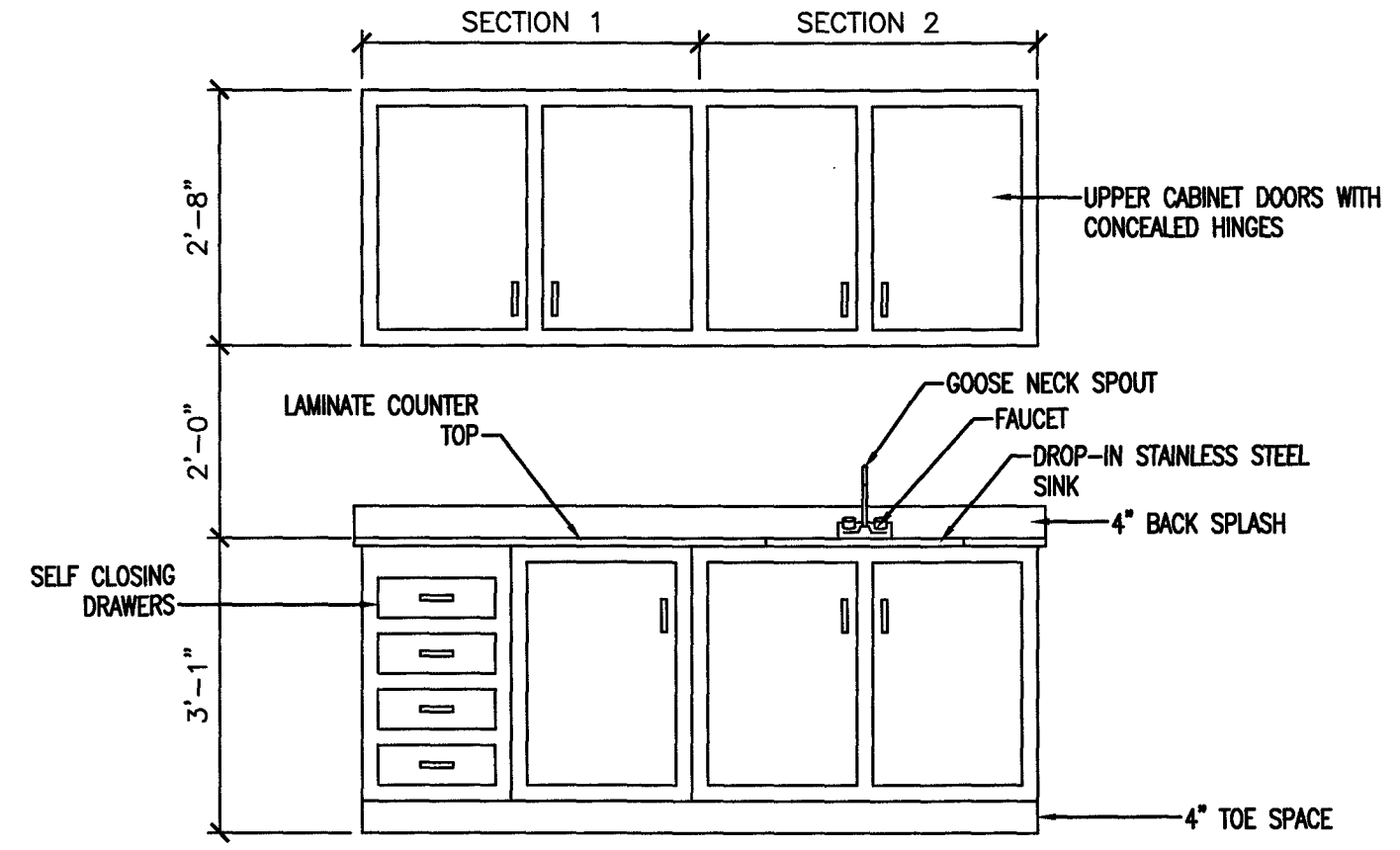
CONTRACTOR/BUILDER:

PROJECT: **NEW ADMIN BUILDING & INTERIOR RENOVATION**
 2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28323

SHEET: **EXISTING FLOOR PLAN AND DEMOLITION NOTES**

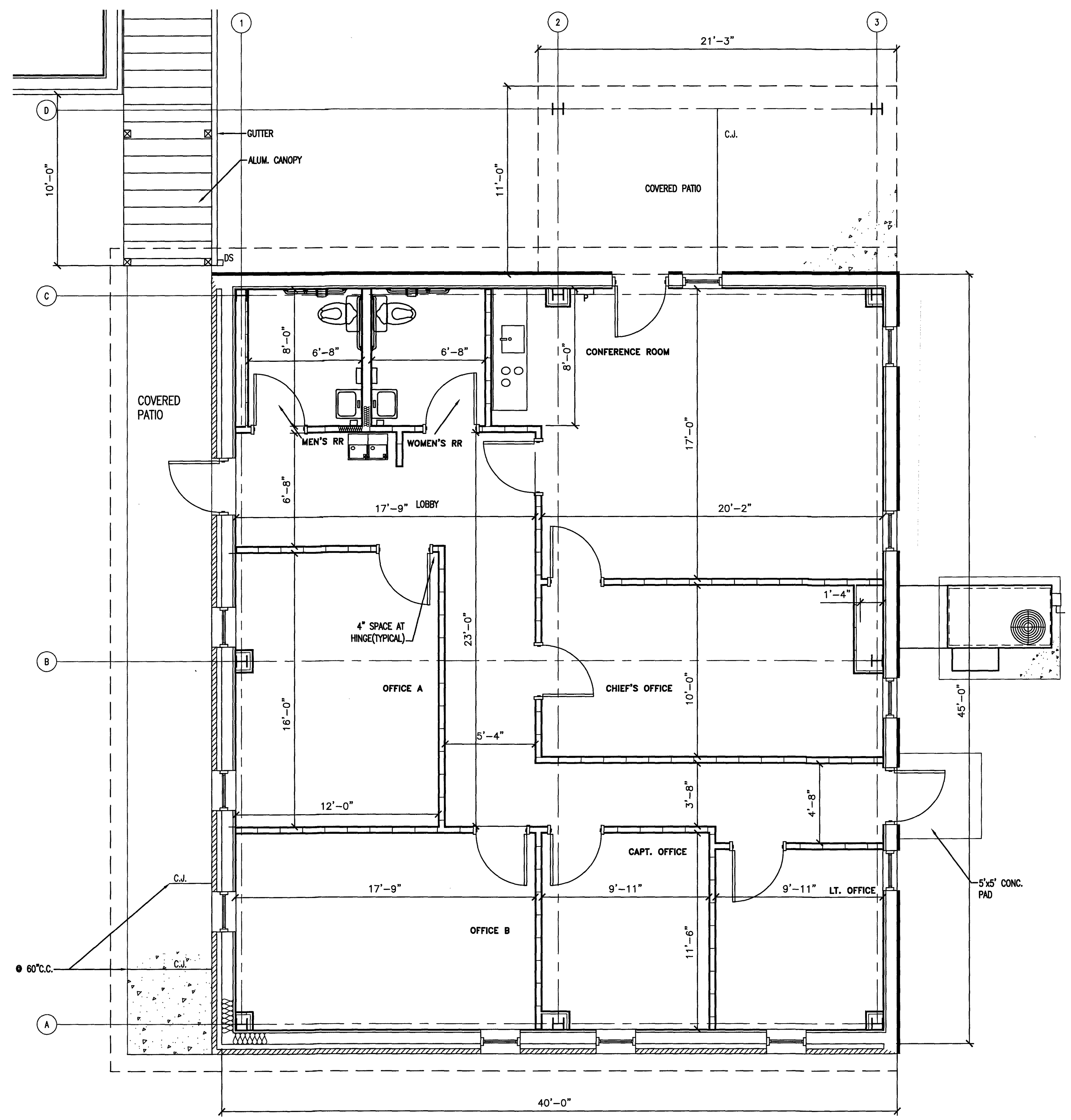
G1

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 Plotted Date: Nov 16, 2023 - 1:54pm



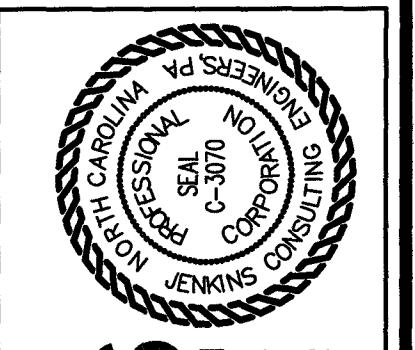
NOTE: CONTRACTOR SHOULD SUBMIT CABINET DETAILS PRIOR TO FABRICATION FOR APPROVAL.
 NOTE: CABINETS SHALL BE COMMERCIAL GRADE WITH LAMINATED INTERIOR & EXTERIOR FACES & LAMINATED COUNTERTOP & DOORS WITH CONCEALED HINGES.

PLAN NORTH
 TRUE NORTH
1 CABINET ELEVATION
 G3
 SCALE: 1/2" = 1'-0"



PLAN NORTH
 TRUE NORTH
2 BUILDING-2 DIMENSIONED PLAN
 G3
 SCALE: 1/4" = 1'-0"

SEE SHEETS G5 FOR CALLOUTS
 NOTE: COORDINATE WITH METAL BUILDING PLANS FOR LOCATIONS OF X-BRACING AND WALL GRITS



JE JENKINS
 CONSULTING ENGINEERS PA
 OFFICE IN EUREKA SPRINGS, NORTH CAROLINA
 1000 MARTIN RD. FAYETTEVILLE, NC 28511-1002
 CORPORATION NUMBER C-3070 Budy@jenkins.com
 P.O. BOX 1724



15 NOVEMBER 2023

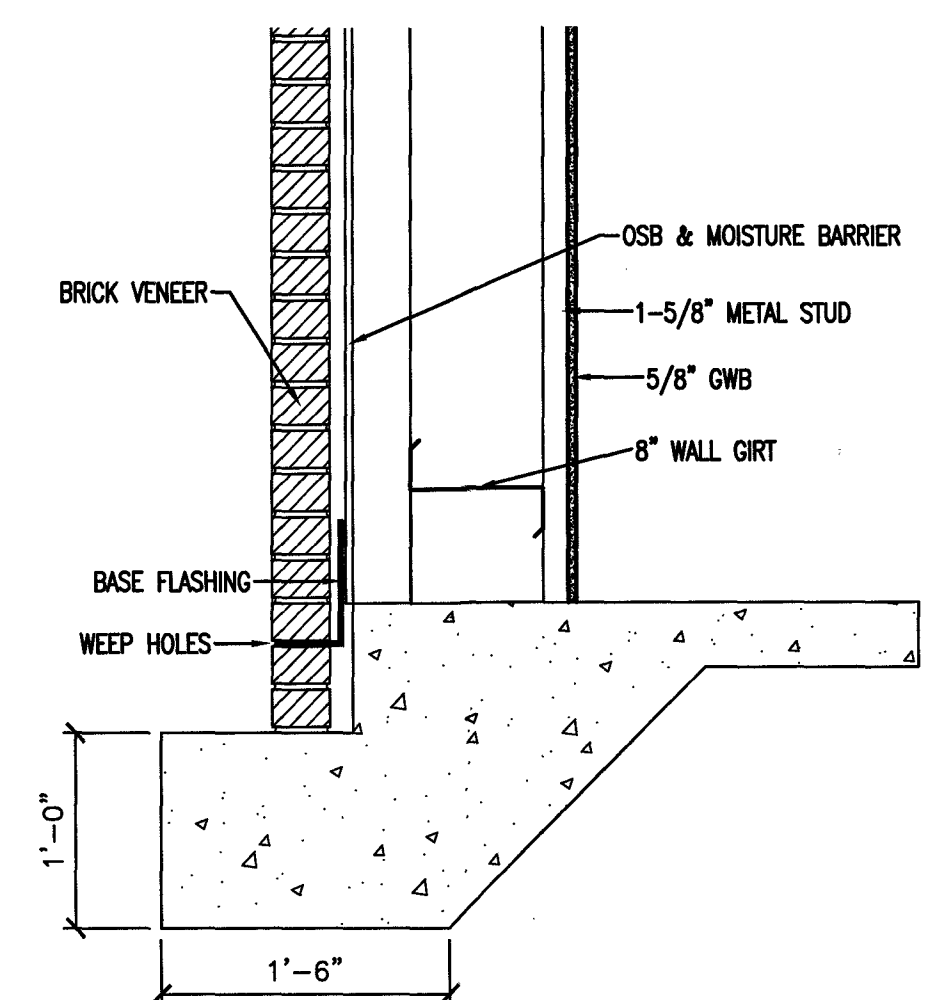
DESIGNED BY: K. DODSON
 DRAWN BY: JDL
 PROJECT #: 2023-05-19
 DATE: 15 NOVEMBER 2023

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION
 OWNER/TENANT:
 FLAT BRANCH FIRE DEPT.
 2098 ELLIOTT BRIDGE RD. BUNNLEVEL, NC 28323
 CONTRACTOR/BUILDER:

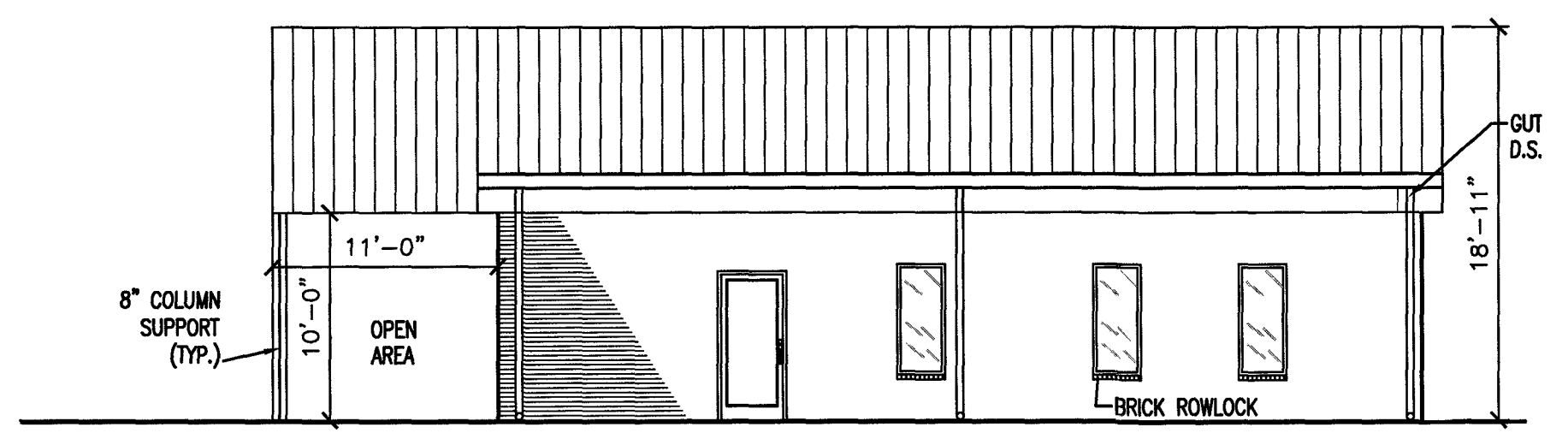
PROJECT:
NEW ADMIN BUILDING & INTERIOR RENOVATION
 2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28323
 SHEET:
BUILDING-2 DIMENSIONED PLAN

G3

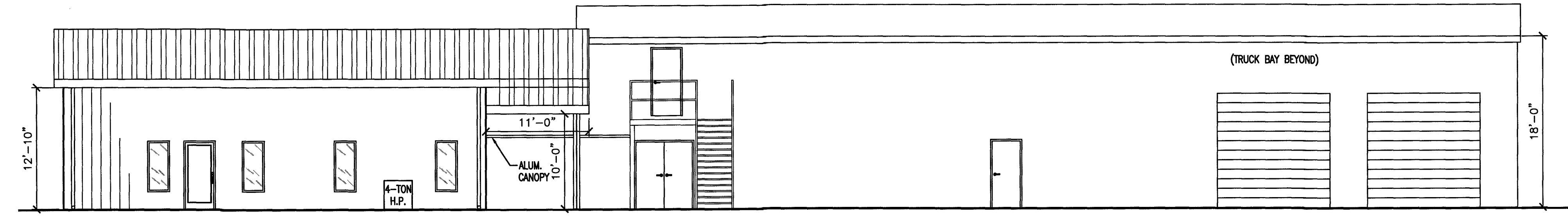
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 Plotter: JDL
 Plotter Date: Nov 15, 2023 - 3:51pm
 SCALE: 1/8" = 1'-0" (0, 2, 4, 6, 8, 10, 12, 14, 16)
 SCALE: 1/4" = 1'-0" (0, 2, 4, 6, 8, 10, 12, 14, 16)
 SCALE: 1/2" = 1'-0" (0, 2, 4, 6, 8, 10, 12, 14, 16)
 SCALE: 3/4" = 1'-0" (0, 2, 4, 6, 8, 10, 12, 14, 16)
 SCALE: 1" = 1'-0" (0, 2, 4, 6, 8, 10, 12, 14, 16)
 SCALE: 1-1/2" = 1'-0" (0, 2, 4, 6, 8, 10, 12, 14, 16)
 SCALE: 1-4" = 1'-0" (0, 2, 4, 6, 8, 10, 12, 14, 16)



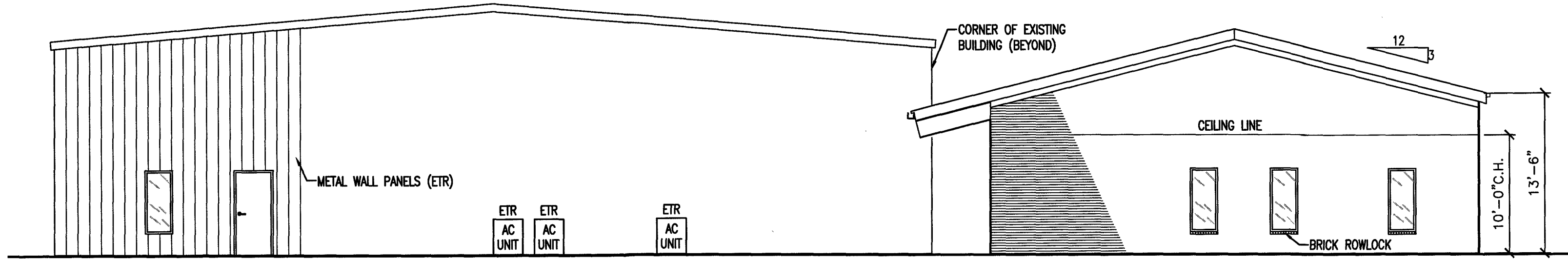
10 WALL SECTION
G6 1"=1'



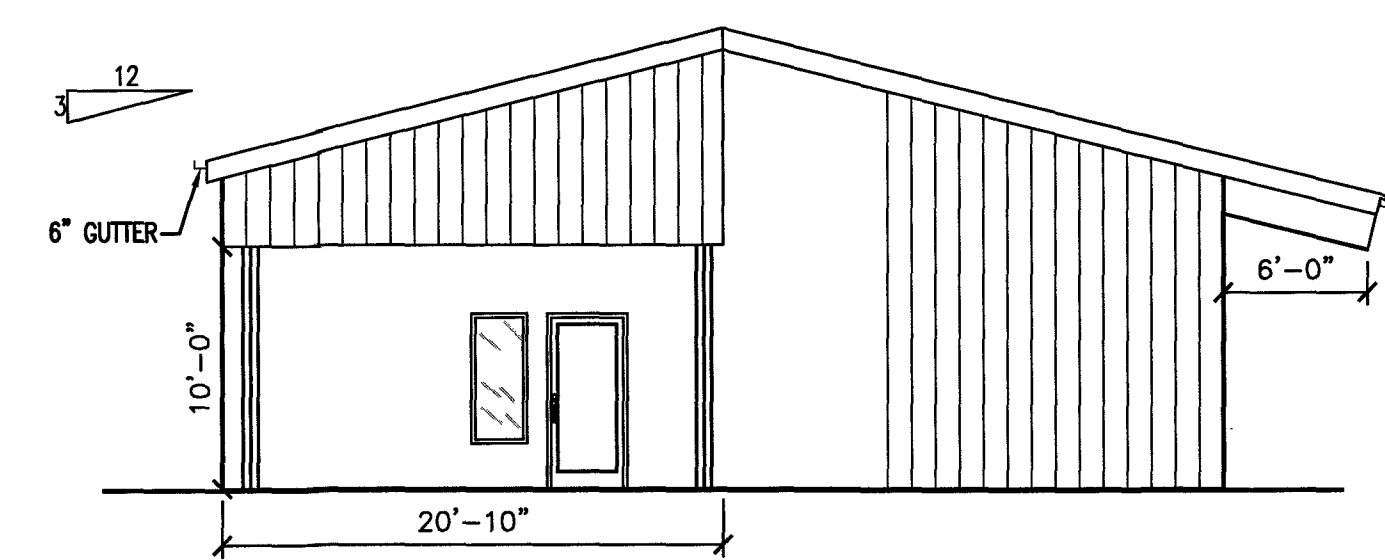
1 NEW BUILDING FRONT ELEVATION
G6 1/8"=1'



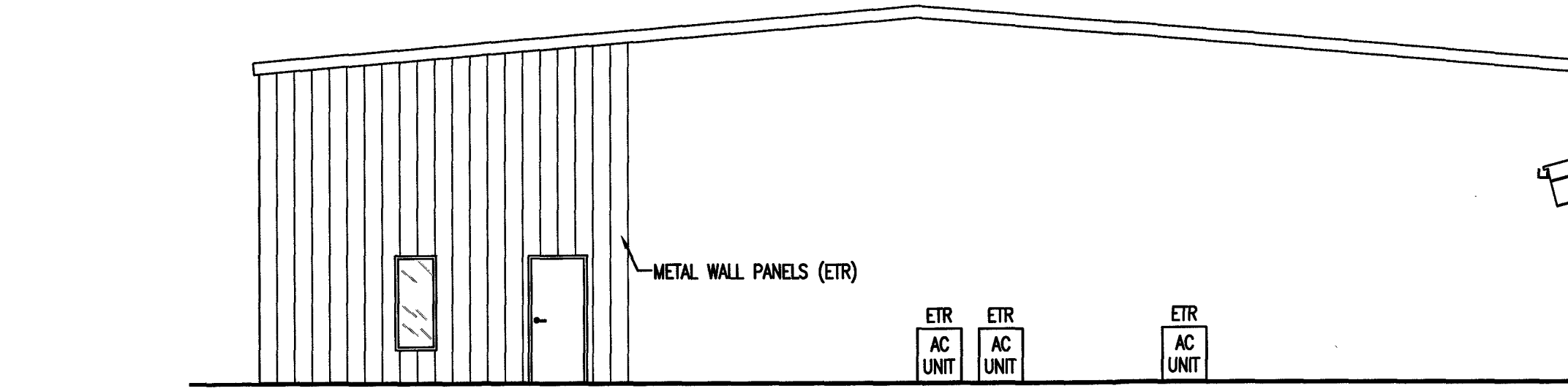
2 NEW BUILDING REAR ELEVATION
G6 1/8"=1'



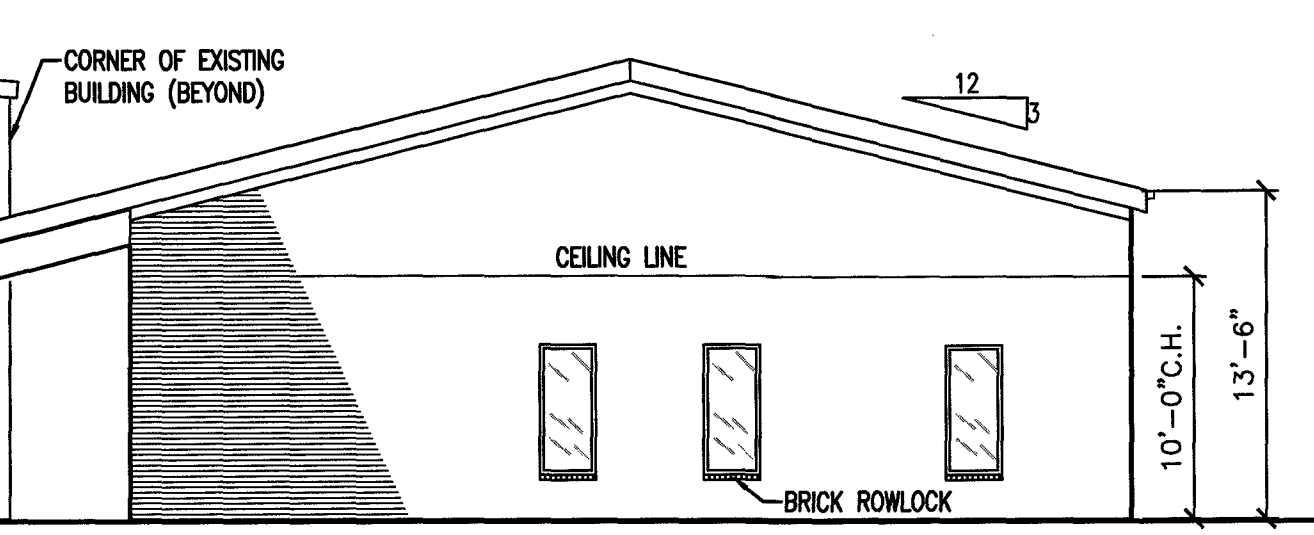
3 EXISTING BUILDING REAR ELEVATION
G6 1/8"=1'



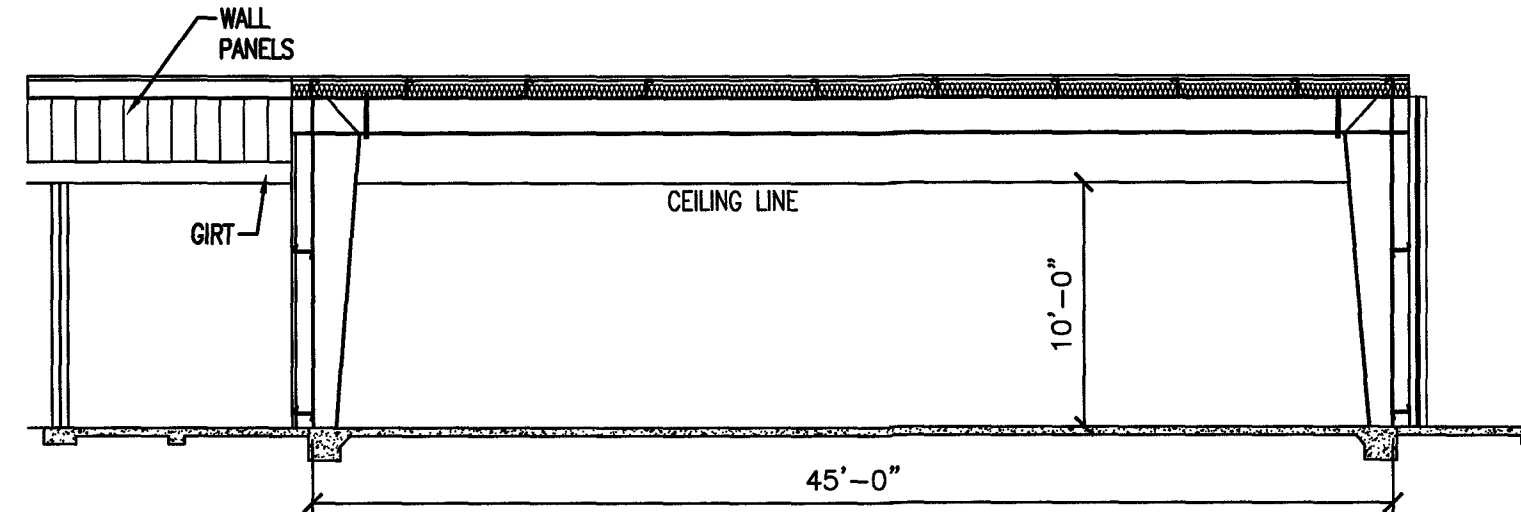
4 NEW BUILDING LEFT SIDE ELEVATION
G6 1/8"=1'



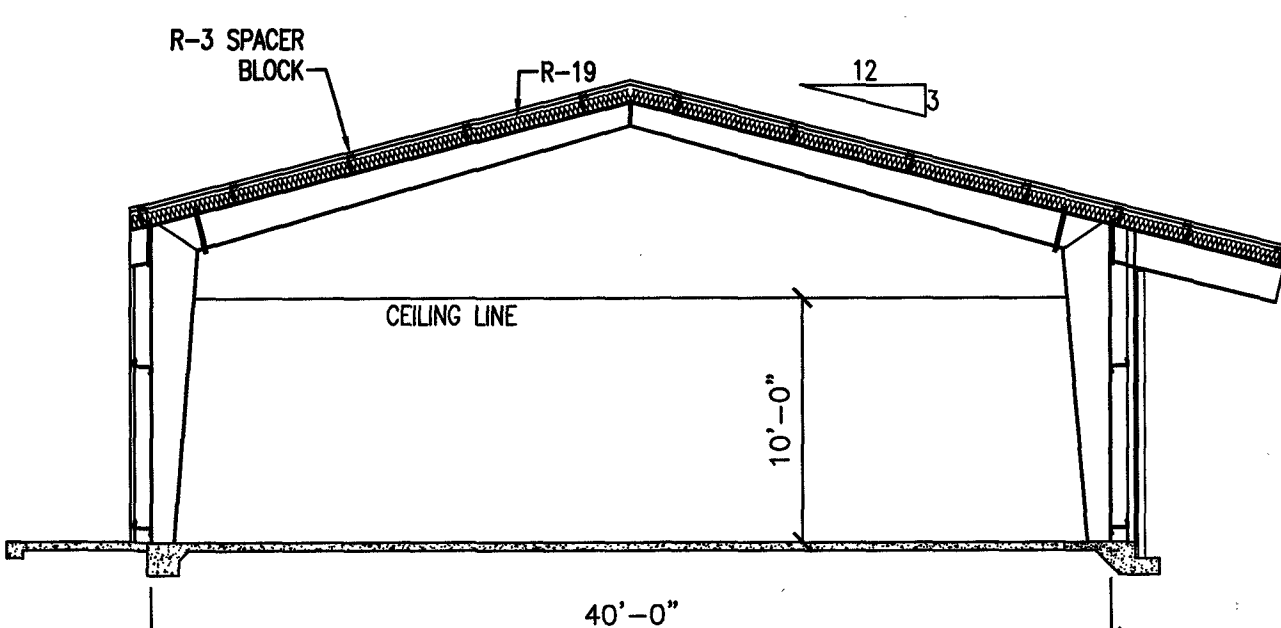
5 EXISTING BUILDING SIDE ELEVATION
G6 1/8"=1'



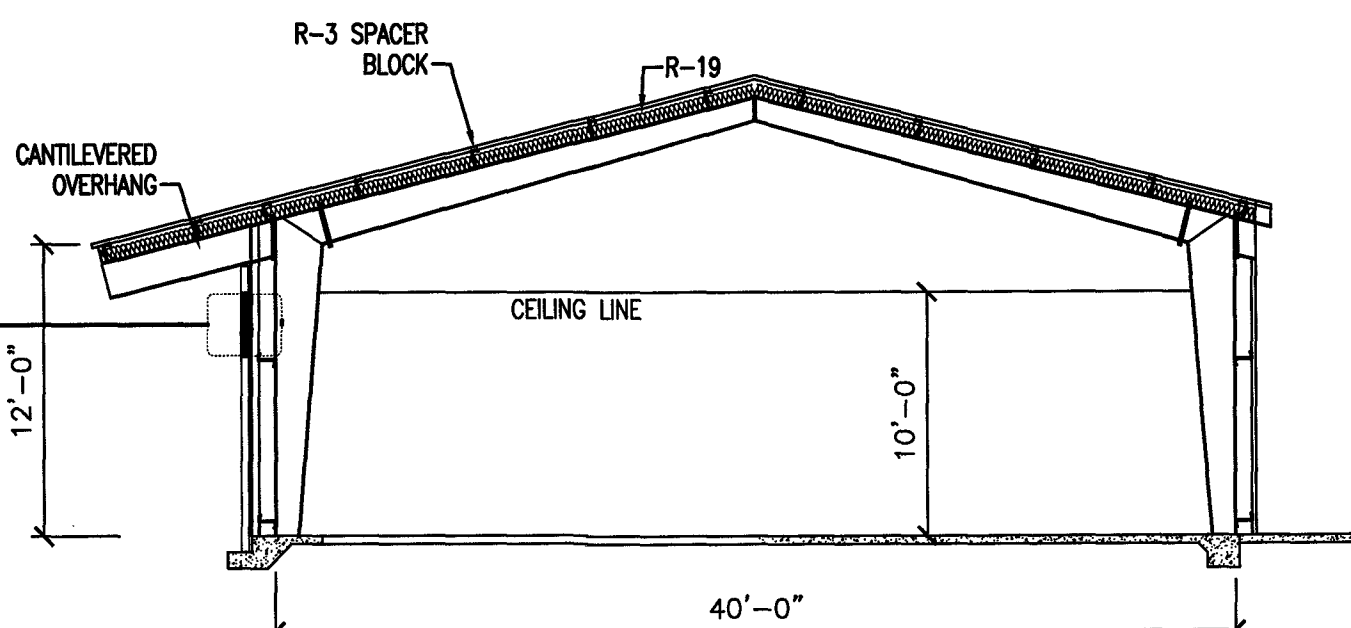
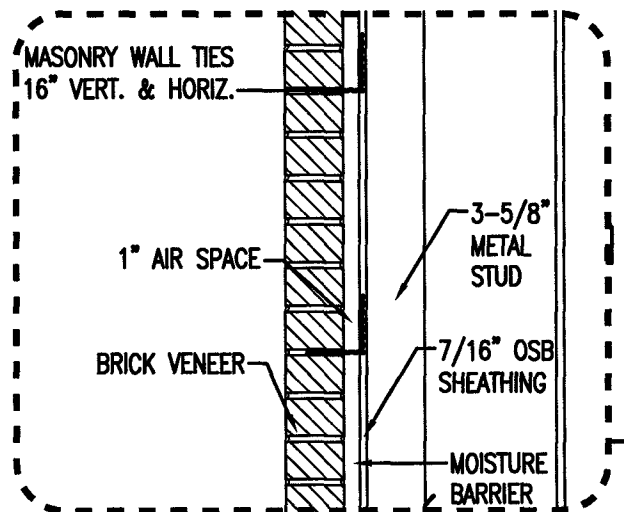
6 NEW BUILDING RIGHT SIDE ELEVATION
G6 1/8"=1'



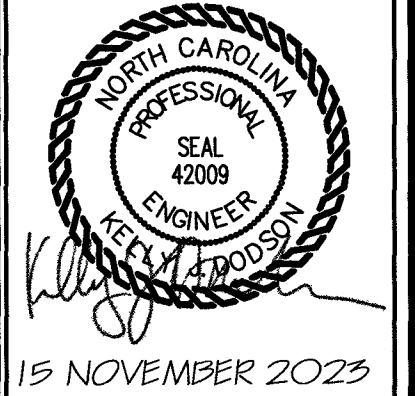
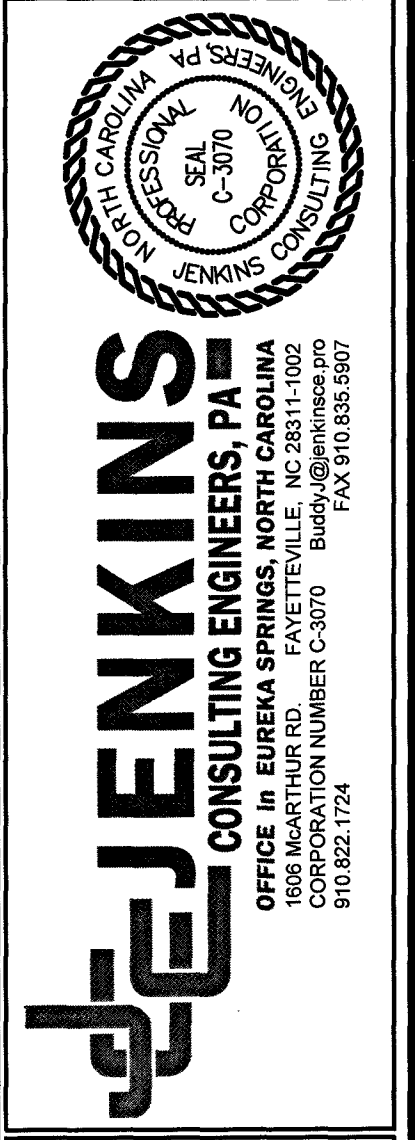
7 NEW BUILDING FRONT SECTION DETAIL
G6 1/8"=1'



8 NEW BUILDING LEFT SIDE SECTION DETAIL
G6 1/8"=1'



9 NEW BUILDING RIGHT SIDE SECTION DETAIL
G6 1/8"=1'



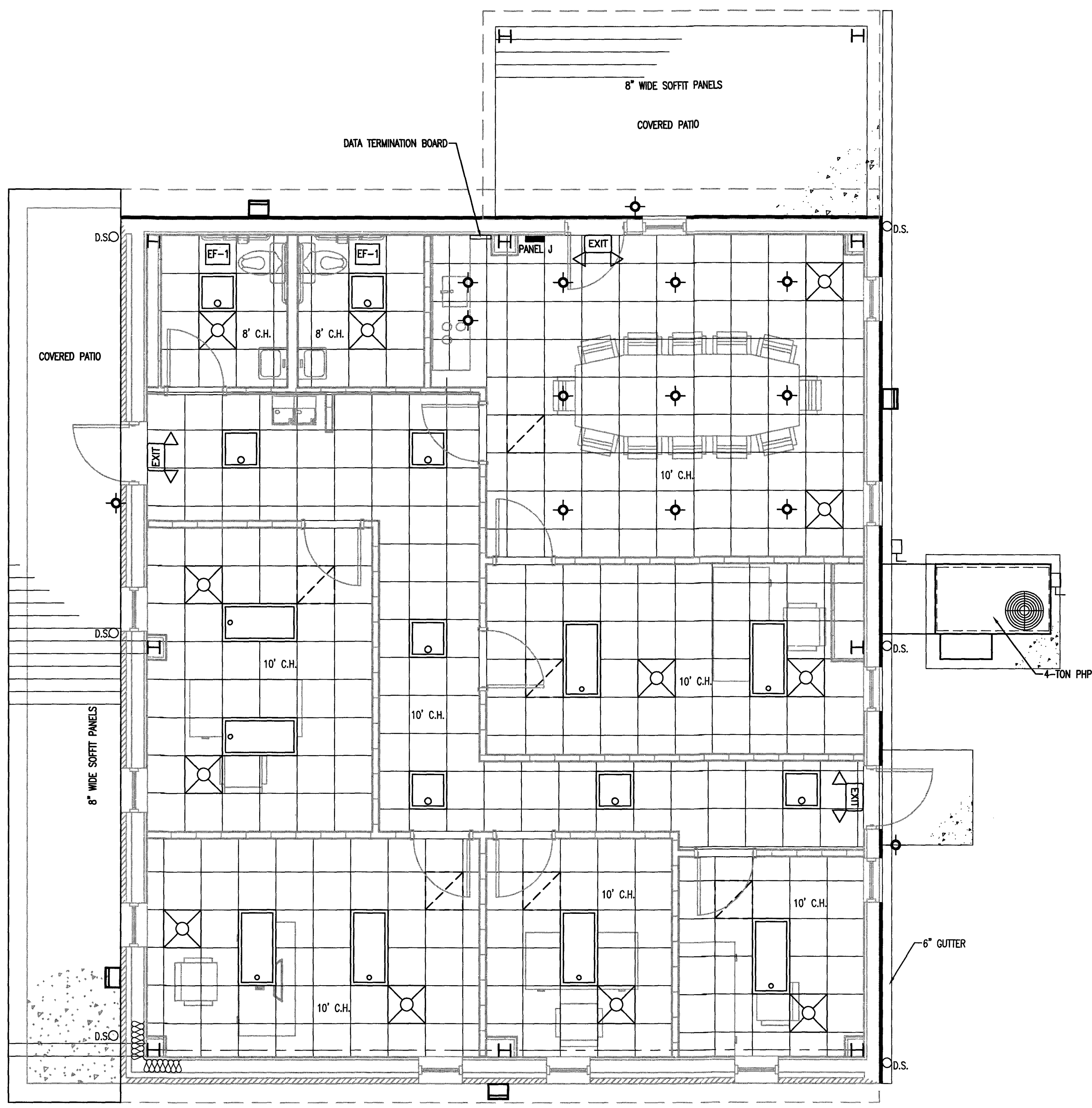
DESIGNED BY: K. DODSON
DRAWN BY: JDL
PROJECT #: 2023-05-19
DATE: 15 NOVEMBER 2023

FINAL DRAWING FOR REVIEW PURPOSES ONLY
PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
FINAL DRAWING FOR CONSTRUCTION
OWNER/TENANT: FLAT BRANCH FIRE DEPT.
2098 ELLIOTT BRIDGE RD, BUNNLEVEL, NC 28523
CONTRACTOR/BUILDER:

PROJECT: NEW ADMIN BUILDING & INTERIOR RENOVATION
2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28523
SHEET: EXISTING/ADDITION ELEVATIONS PLAN

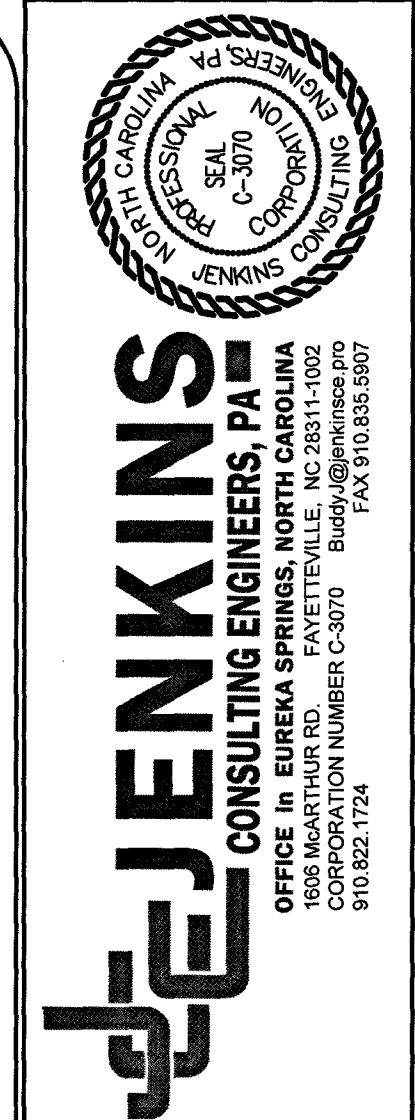
G6

Drawing File: H:\2023\Flat Branch VFD #2023-05-19\DWG\Flat Branch VFD 15NOV23.dwg
 Plotted by: JoshL
 Plotted Date: Nov 15, 2023 - 3:52pm
 SCALE: 1/8" = 1'-0" (0' to 16')
 SCALE: 3/16" = 1'-0" (0' to 10'-8")
 SCALE: 1/4" = 1'-0" (0' to 4')
 SCALE: 1/2" = 1'-0" (0' to 2')
 SCALE: 3/4" = 1'-0" (0' to 1'-4")
 SCALE: 1" = 1'-0" (0' to 2'-8")
 SCALE: 1-1/2" = 1'-0" (0' to 2'-0")
 SCALE: 1" = 1'-0" (0' to 1'-4")



PLAN NORTH
 TRUE NORTH
 1 BUILDING-2 REFLECTED CEILING PLAN
 G7 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	24 X 24 LAY-IN CEILING		EXTERIOR WALL PACK
	2X4 LAY-IN LIGHT FIXTURE 2X2 LAY-IN LIGHT FIXTURE		RECESSED CAN LIGHT
	SUPPLY AIR DIFFUSER		EGRESS LIGHT
	RETURN AIR GRILLE		8" SMOOTH CEILING PANELS



15 NOVEMBER 2023
 PROJECT #: 2023-05-19
 DATE: 15 NOVEMBER 2023

DESIGNED BY: K. DODSON
 DRAWN BY: JDL
 PROJECT #: 2023-05-19
 DATE: 15 NOVEMBER 2023

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION
 OWNER/TENANT:
 FLAT BRANCH FIRE DEPT.
 2098 ELLIOTT BRIDGE RD. BUNNLEVEL, NC 28323
 CONTRACTOR/BUILDER:

PROJECT: NEW ADMIN BUILDING & INTERIOR RENOVATION
 2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28323
 SHEET: REFLECTED CEILING PLAN

G7

Drawing File: H:\2023\Flat Branch VFD #2023-05-19\DWG\Flat Branch VFD 15NOV23.dwg
 Plotted by: JJoahL
 Plotted Date: Nov 15, 2023 - 3:54pm

ELECTRICAL LEGEND

	DUPLEX RECEPTACLE; MOUNT AT 18" A.F.F.
	DUPLEX RECEPTACLE; MOUNT AT 18" A.F.F.; TAMPER RESISTANT
	DUPLEX RECEPTACLE; GROUND FAULT CIRCUIT INTERRUPTER
	DUPLEX RECEPTACLE; WEATHERPROOF/GROUND FAULT CIRCUIT INTERRUPTER
	QUAD RECEPTACLE; MOUNT AT 18" A.F.F.
	2 POLE 208/240V RECEPTACLE
	CEILING MOUNTED DUPLEX RECEPTACLE
	FLOOR MOUNTED RECEPTACLE
	SINGLE POLE POWER/LIGHTING HOMERUN
	2-POLE POWER HOMERUN
	3-POLE POWER HOMERUN (3 PHASE)
	WALL MOUNTED DATA OUTLET
	WALL MOUNTED VOICE (TELEPHONE) OUTLET
	WALL MOUNTED VOICE/DATA OUTLET
	TIMECLOCK
	TELEVISION OUTLET
	DISCONNECT
	JUNCTION BOX
	POWER PANEL
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	OCCUPANCY SENSOR WITH MANUAL OVERRIDE
	LAY-IN/SURFACE MOUNTED LED LIGHT FIXTURE
	LAY-IN/SURFACE MOUNTED LED; NIGHT LIGHT; WITH TAG
	PENDANT LIGHT
	CAN LIGHT
	EMERGENCY LIGHT
	EXIT/EMERGENCY COMBO
	EXIT LIGHT
	REMOTE HEAD FOR EXIT LIGHTING
	EXTERIOR MOUNTED WALL PACK

ELECTRICAL NOTES:
 ALL WORK SHALL BE IN ACCORDANCE WITH 2020 NEC.

WIRE AND CABLE SHALL BE INSULATED, TYPE THHN, 600 VOLTS, WITH COPPER CONDUCTORS. CONDUCTOR SIZES NO. 8 AWG AND LARGER MAY BE STRANDED. CONDUCTOR SIZES NO. 10 AWG AND SMALLER MAY BE SOLID OR STRANDED. RMXC CANNOT BE USED IN THIS PROJECT.

EMT SHALL BE GALVANIZED STEEL TUBING 1/2-INCH MINIMUM SIZE, EQUAL TO ELECTRONIC BRAND OR APPROVED AND USED ONLY WITH HEXAGONAL ALL-STEEL COMPRESSION FITTINGS. NO CABLE MAY BE SUBSTITUTED FOR CONDUIT RACEWAYS WHERE PERMITTED BY THE CODE AND APPROVED BY OWNER.

PLASTIC CONDUIT SHALL BE RIGID, 3/4-INCH MINIMUM, NONMETALLIC, HEAVY DUTY, POLYVINYLCHLORIDE (PVC) TYPE I. IT WILL BE USED FOR CONCRETE ENCASUREMENT. FITTINGS SHALL BE THE SAME MATERIALS AND MANUFACTURER AS THE PLASTIC CONDUIT.

FLEXIBLE METAL CONDUIT SHALL BE 1/2-INCH MINIMUM SINGLE STRIP, STEEL, HOT DIPPED GALVANIZED INSIDE AND OUTSIDE. MAXIMUM LENGTH OF 72 INCHES FOR LIGHTING AND 36 INCHES FOR MOTORS. FLEXIBLE METAL CONDUIT SHALL BE LIQUID TIGHT OR WATER TIGHT WITH PVC JACKET WHERE USED IN DAMP, WET, OR OUTSIDE AREAS, AND LIQUID TIGHT OR WATER TIGHT CONNECTORS SHALL BE USED.

NO RECEPTACLES OR TELEPHONE OUTLETS ARE TO BE MOUNTED BACK TO BACK, KEEP AT LEAST 1 1/2 INCHES BETWEEN RECEPTACLES AND TELEPHONE OUTLETS. ALL CONDUCTORS SHALL BE COPPER WITH A MINIMUM SIZE OF #12 AWG EXCEPT FOR FIRE ALARMS. THESE CONDUCTORS SHOULD COMPLY WITH NFPA REQUIREMENTS.

THE ELECTRICAL CONTRACTOR SHALL ALIGN ALL FIXTURES, SMOKE DETECTORS, CEILING DEFUSERS, ETC. AS REQUIRED TO PROVIDE A UNIFORM PRESENTATION. FOLLOW THE REFLECTED CEILING PLAN IF PROVIDED.

CIRCUIT BREAKERS AND WIRE ARE SIZED FOR SPECIFIC EQUIPMENT. BEFORE ORDERING WIRE, BREAKERS, FIXTURES, CONDUIT, AND ETC. FOR THIS PROJECT, THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE OTHER CONTRACTORS ON THE JOB AND VERIFY THE ELECTRICAL DATA FOR THE EQUIPMENT THAT WILL BE ACTUALLY INSTALLED, RECOMPUTE WIRE AND BREAKER SIZES IF REQUIRED BY THE NEC.

THE MOUNTING HEIGHTS AND LOCATIONS OF ALL WALL MOUNTED OUTLETS AND JUNCTION BOXES SHALL BE REVIEWED AND COORDINATED WITH THE GENERAL CONTRACTOR AND OWNER PRIOR TO INSTALLATION FOR USE WITH ACTUAL EQUIPMENT.

ALL LIGHT SWITCHES, RECEPTACLES, WALL PLATES, TELEPHONE/COMPUTER OUTLET BOXES, AND CABLE OUTLET BOXES SHALL BE WHITE.

EACH CONTRACTOR WILL PROVIDE HIS OWN SUPPORT OF ALL DEVICES AND EQUIPMENT PROVIDED IN HIS CONTRACT AND SHALL SUPPORT SUCH EQUIPMENT PER APPROVED GOVERNING CODES. UNACCEPTABLE WORKMANSHIP OR MATERIALS SHALL BE REPLACED AT THE ELECTRICAL CONTRACTORS EXPENSE.

THE ELECTRICAL CONTRACTOR SHALL REFER TO THE DRAWINGS FOR FLOOR PLAN AND BUILDING ELEVATION DIMENSIONS.

THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE. THINK OF OTHER CONTRACTORS AND THEIR REQUIREMENTS IN VERTICAL CHASES AND WALL MOUNT SPACE. ALL CONTRACTORS TO FOLLOW THIS ORDER OF PRIORITY:

- STORM AND SANITARY SEWER LINES
- DUCTWORK AND HVAC SYSTEMS
- HOT AND COLD WATER LINES
- RIGID CONDUIT
- CABLE

THE ELECTRICAL CONTRACTOR TO ORGANIZE HIS CONDUIT, WIRE AND CABLE RUNS IN ATTIC SPACES AND ABOVE CEILINGS, MAKE RUNS PARALLEL, PERPENDICULAR AND GROUPED TOGETHER WHERE POSSIBLE. LOCATE MAJOR GROUPINGS OVER HALLWAYS AND AREAS OF PUBLIC ACCESS. FREE RUNS OF PHONE, TELEVISION, SECURITY, ALARM AND OTHER CABLES IS NOT ACCEPTABLE.

ALL DISCONNECT SWITCHES AND BREAKER SIZES SHOWN FOR MECHANICAL EQUIPMENT, KITCHEN EQUIPMENT, AND ETC. SHALL BE VERIFIED BEFORE PURCHASE AND INSTALLATION OF SAID EQUIPMENT WITH THE EQUIPMENT SUPPLIER AND MECHANICAL CONTRACTOR.

WHERE EQUIPMENT PENETRATES EXTERIOR WALLS OR ROOF, THEY SHALL BE PROPERLY SEALED. EXHAUST FANS ARE TO BE PROVIDED AND INSTALLED BY THE MECHANICAL CONTRACTOR AND ELECTRICAL WIRING BY THE ELECTRICAL CONTRACTOR.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE NAMEPLATES FOR IDENTIFICATION OF ALL EQUIPMENT, SWITCHES, PANELS, ETC. THE NAMEPLATES SHALL BE LAMINATED PHENOLIC PLASTIC, BLACK FRONT AND BACK WITH WHITE CORE. WHITE ENGRAVED LETTERS (1/4 INCH MINIMUM) ETCHED INTO THE WHITE CORE. NAME TAGS TO BE MOUNTED WITH SELF-TAPPING SHEET METAL SCREWS.

THE ELECTRICAL CONTRACTOR IS NOT TO SCALE THE DRAWINGS FOR RECEPTACLES AND LIGHT FIXTURES TO BE INSTALLED. THE DRAWINGS ARE FOR DIAGRAMMATIC PURPOSES ONLY TO SHOW GENERAL LOCATION. THE ELECTRICAL CONTRACTOR TO COORDINATE EXACT LOCATION OF RECEPTACLES AND LIGHT FIXTURES WITH THE GENERAL CONTRACTOR AND/OR CASWORK DRAWINGS.

ALL LIGHT SWITCHES AND RECEPTACLES SHALL BE RATED FOR 20 AMP UNLESS NOTED OTHERWISE.

APPENDIX B ELECTRICAL DESIGN 2018 BUILDING CODE SUMMARY

PROJECT NAME: **FLAT BRANCH VFD ADDITION & RENOVATION**

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT
 METHOD OF COMPLIANCE:
 ENERGY CODE: X PRESCRIPTIVE PERFORMANCE
 ASHRAE 90.1: PRESCRIPTIVE PERFORMANCE

LIGHTING SCHEDULE (EACH FIXTURE TYPE)
 LAMP TYPE REQUIRED IN FIXTURE LED
 NUMBER OF LAMPS IN FIXTURE (SEE FIXTURE SCHEDULE)
 BALLAST TYPE USED IN THE FIXTURE LED
 NUMBER OF BALLASTS IN FIXTURE 1
 TOTAL WATTAGE PER FIXTURE VARIES PER FIXTURE
 TOTAL INTERIOR WATTAGE SPECIFIED VERSUS ALLOWED (WHOLE BUILDING) 1,523 ALLOWED - 729 SPECIFIED
 TOTAL EXTERIOR WATTAGE SPECIFIED VERSUS ALLOWED (TABLE C405.1(2)) 500 ALLOWED - 237 SPECIFIED

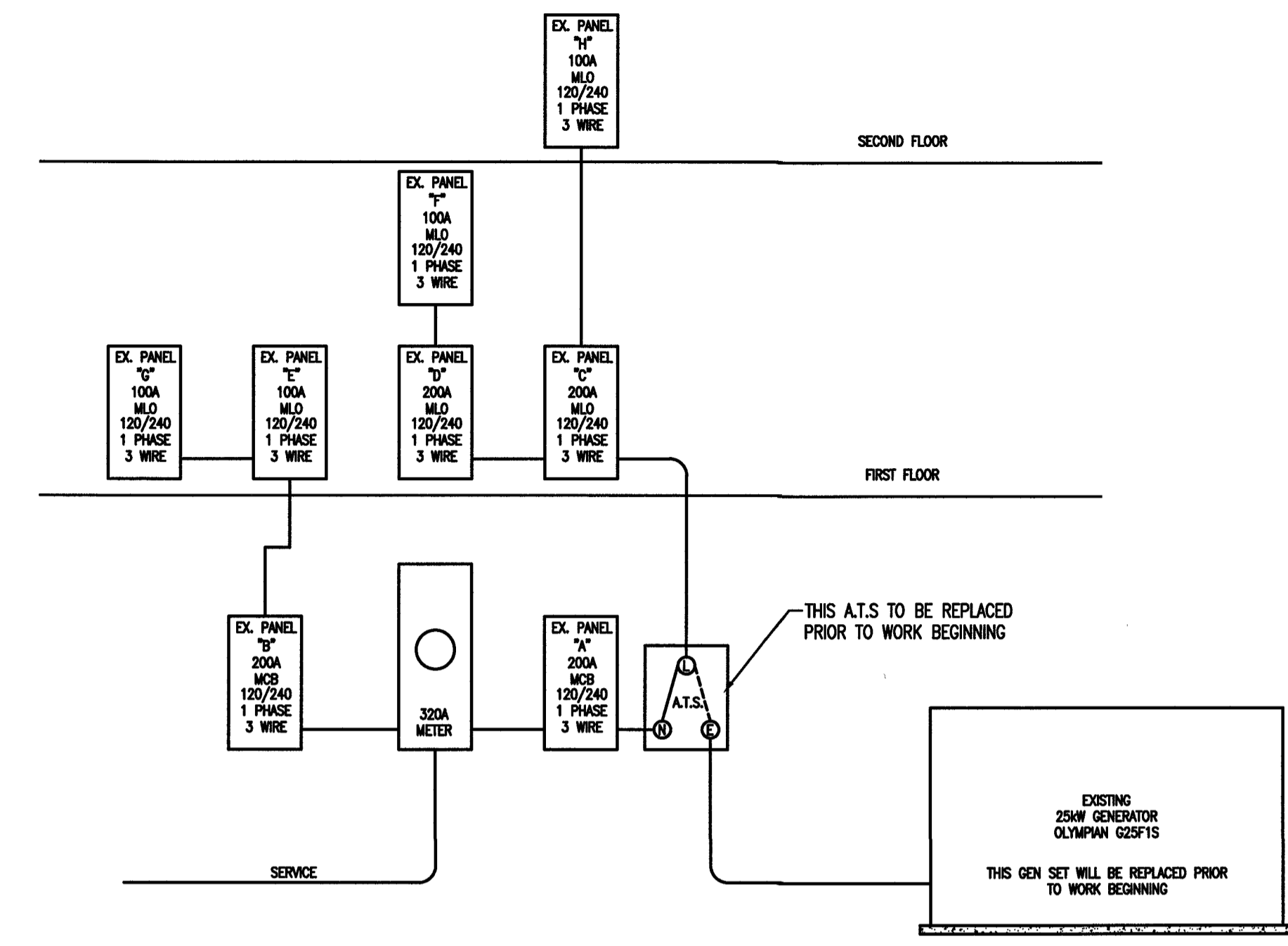
SECTION C406 ADDITIONAL EFFICIENCY PACKAGE OPTIONS

C406.1 BUILDINGS SHALL HAVE AT LEAST ONE OF THE FOLLOWING PRESCRIPTIVE COMPLIANCE (REQUIRED FOR NEW BUILDINGS, OPTIONAL FOR EXISTING BUILDINGS)

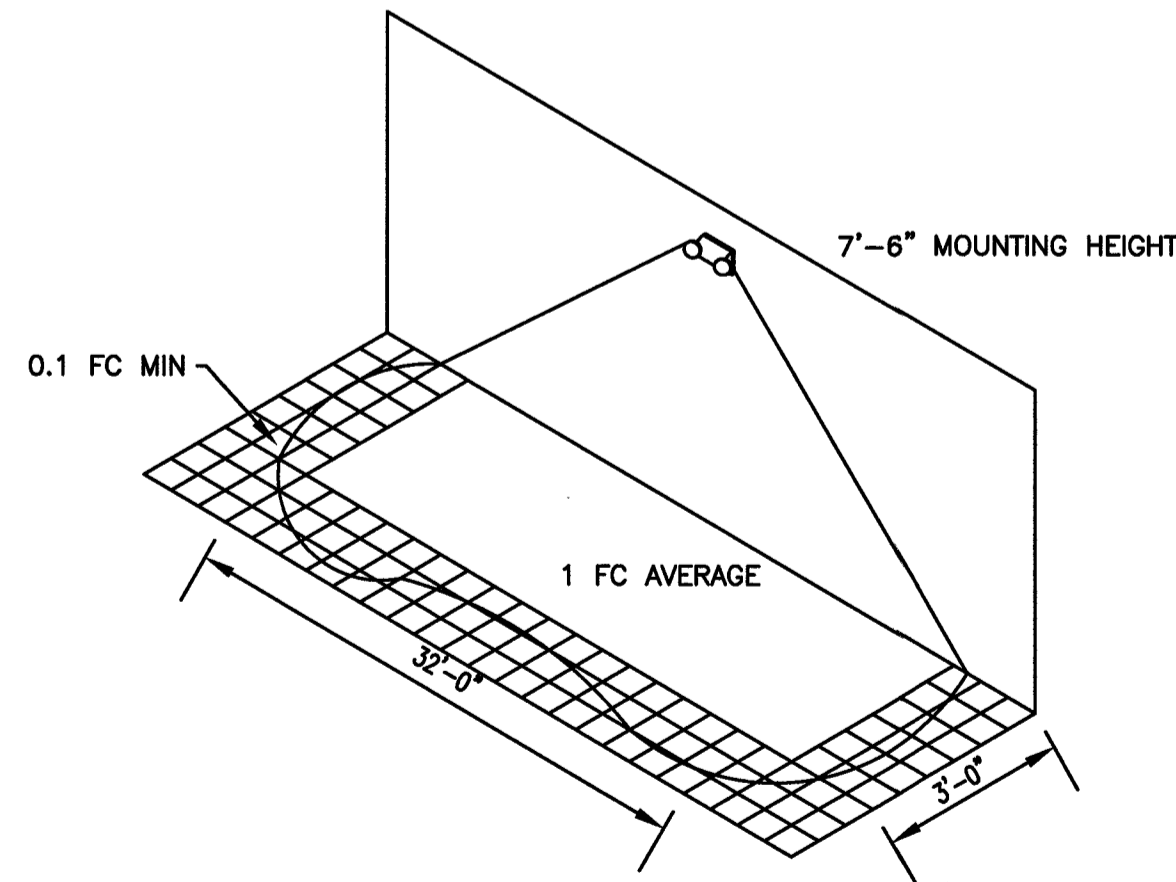
- MORE EFFICIENT MECHANICAL EQUIPMENT PER C406.2
- REDUCED LIGHTING POWER DENSITY PER C406.3
- ENHANCED LIGHTING CONTROL SYSTEMS PER C406.4
- ON-SITE SUPPLY OF RENEWABLE ENERGY PER C406.5
- DEDICATED OUTDOOR AIR SYSTEM PER C406.6
- HIGHER EFFICIENCY SERVICE WATER HEATING PER C406.7

DESIGNER STATEMENT:
 TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE ELECTRICAL SYSTEM AND EQUIPMENT REQUIREMENTS OF THE 2018 NC ENERGY CONSERVATION CODE.

SIGNED: *Buddy Jenkins*
 NAME: BUDDY JENKINS
 TITLE: PROFESSIONAL ENGINEER



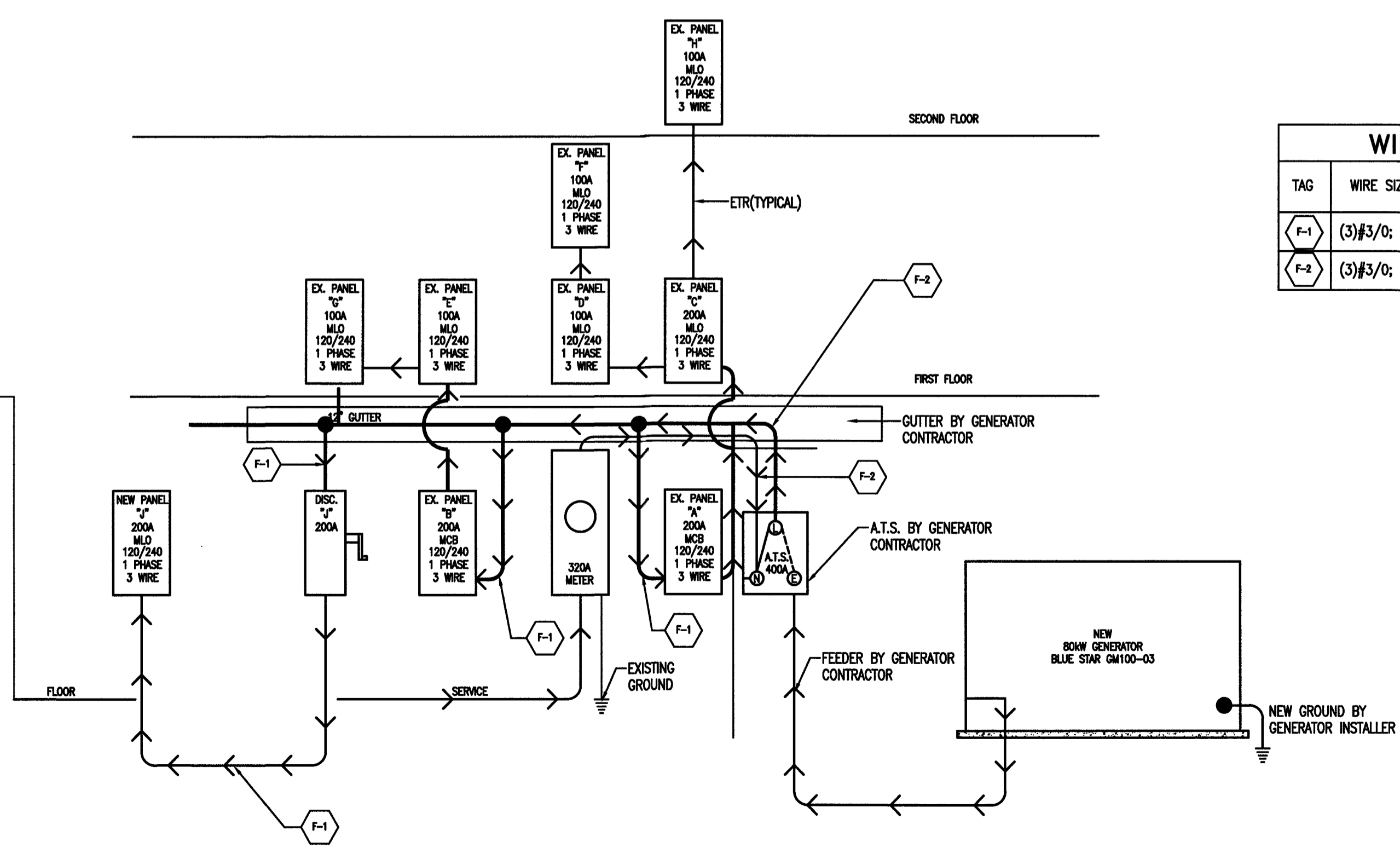
EXISTING POWER RISER DIAGRAM (BUILDING ONE)
NOT TO SCALE



ASSUMES OPEN SPACE WITH NO OBSTRUCTIONS, MOUNTING HEIGHT; 7'-6"; 9'-0" CEILING HEIGHT, AND REFLECTANCES 80/50/20

EMERGENCY LIGHT FIXTURE PERFORMANCE
 3'-0" WIDE PATH OF EGRESS
 CENTER TO CENTER SPACING (MULTIPLE FIXTURES) 35'-0"
 SINGLE UNIT COVERAGE 32'-0"

EMERGENCY LIGHT
NOT TO SCALE



NEW POWER RISER DIAGRAM (BUILDING ONE & TWO)
NOT TO SCALE

WIRE FEEDER SCHEDULE	
TAG	WIRE SIZE DESCRIPTION
F-1	(3)#3/0; (1)#6 GND IN 2" CONDUIT
F-2	(3)#3/0; (1)#3 GND IN EA OF 2(2)" CONDUIT



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 606 BARTHOLOMEW RD. PAVETTAVILLE, NC 28311-002
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 P.O. BOX 1724



DESIGNED BY: B. JENKINS
 DRAWN BY: JDL
 PROJECT #: 2023-05-19
 DATE: 15 NOVEMBER 2023

FINAL DRAWING [] FOR REVIEW PURPOSES ONLY
 PRELIMINARY [] FOR DESIGN DEVELOPMENT
 FINAL DRAWING [X] FOR CONSTRUCTION

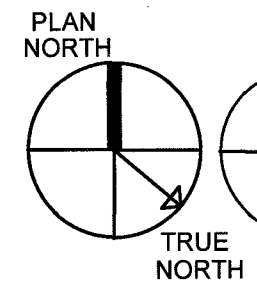
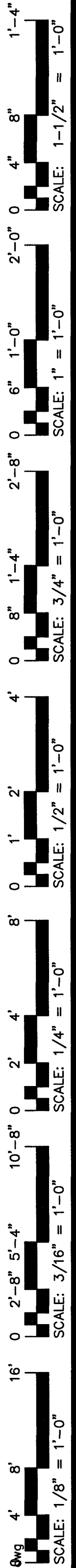
OWNER/TEENANT:
 FLAT BRANCH FIRE DEPT.
 2098 ELLIOTT BRIDGE RD, BUNNLEVEL, NC 28333

CONTRACTOR/BUILDER:

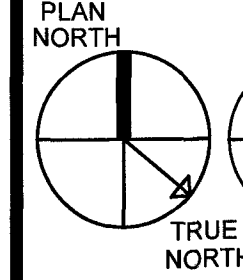
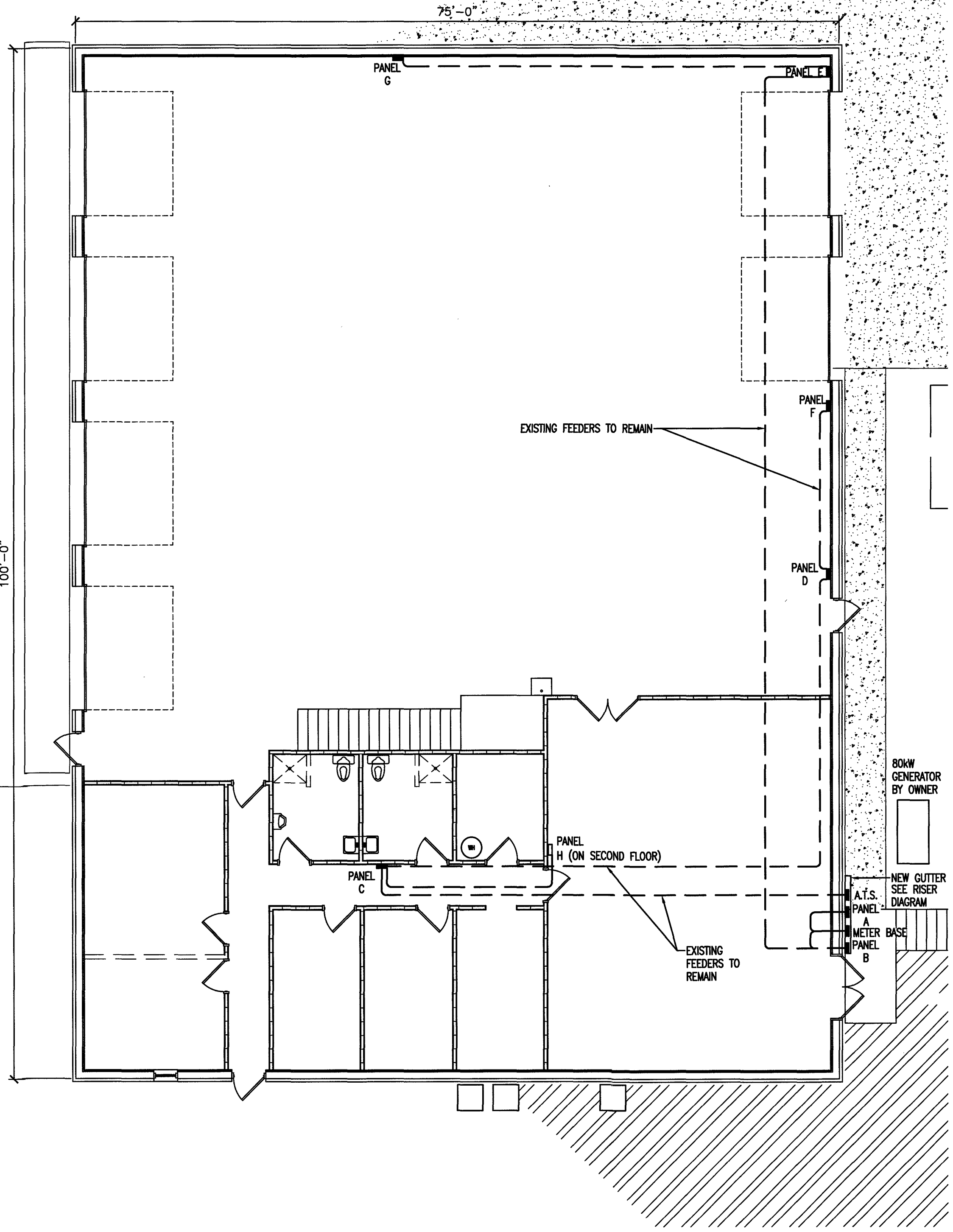
PROJECT:
NEW ADMIN BUILDING & INTERIOR RENOVATION
 2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28333

SHEET:
ELECTRICAL RISER & NOTES

Drawing File: H:\2023\Flat Branch VFD #2023-05-19\DWG\Flat Branch VFD 15NOV23.dwg
 Plotted Date: Nov 15, 2023 - 3:55pm
 Scale: 1" = 1'-0"

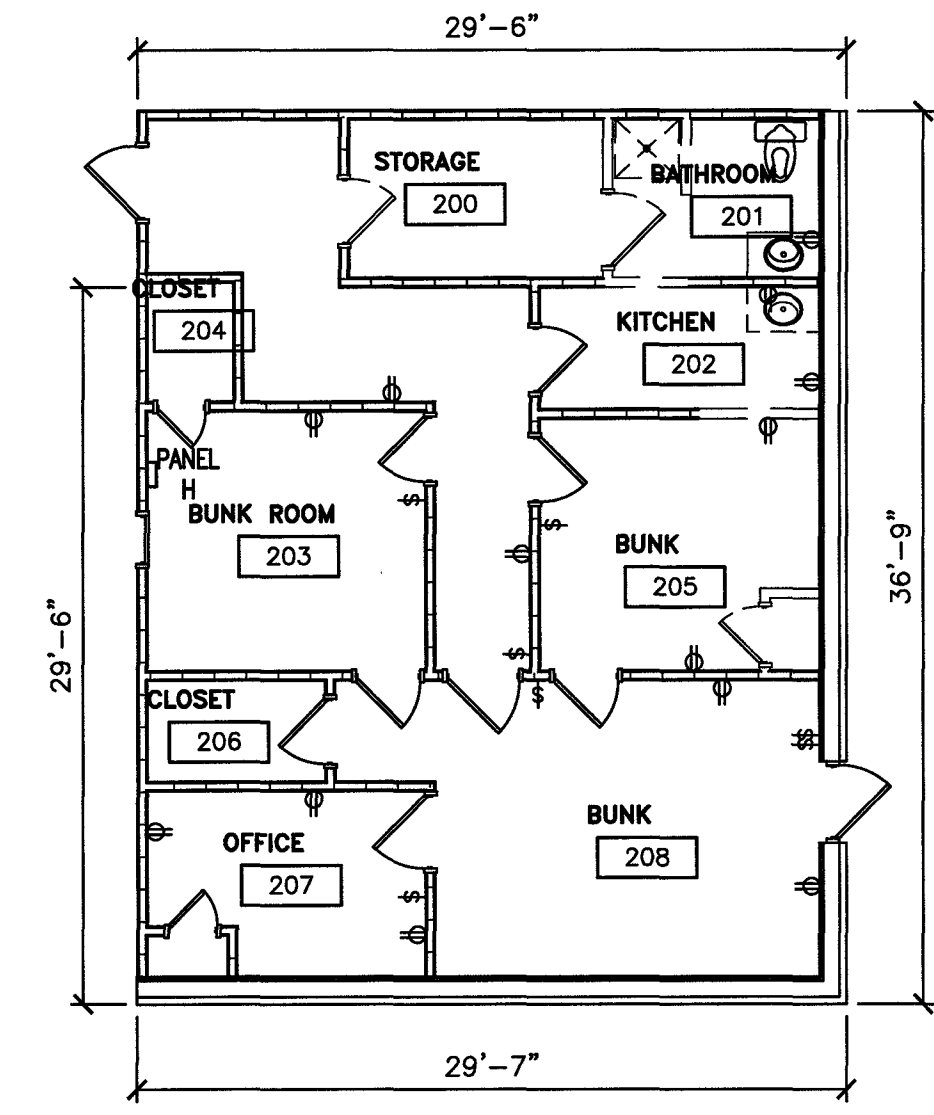


1 EXISTING BLDG. 1 1ST FLOOR - PARTIAL POWER PLAN



2 EXISTING BLDG. 1 2ND FLOOR - PARTIAL POWER PLAN

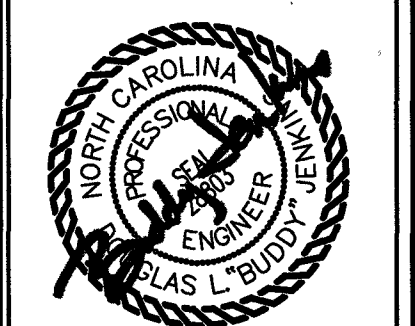
E3 1/8"=1'0"



NOTE: EXISTING BRANCH CIRCUITS SHALL REMAIN. RELOCATE EXISTING WIRING DEVICES WHERE REQUIRED FOR NEW RENOVATIONS



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15 NOVEMBER 2023

DESIGNED BY: B. JENKINS
 DRAWN BY: JDL
 PROJECT #: 2023-05-19
 DATE: 15 NOVEMBER 2023

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION
 OWNER/TEENANT: FLAT BRANCH FIRE DEPT
 2098 ELLIOTT BRIDGE RD. BUNNLEVEL, NC 28323
 CONTRACTOR/BUILDER:

PROJECT: NEW ADMIN BUILDING & INTERIOR RENOVATION
 2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28323
 SHEET: ELECTRICAL - EXISTING BLDG 1 POWER PLAN

E3

Drawing File: H:\2023\Flat Branch VFD #2023-05-19\DWG\Flat Branch VFD 15NOV23.dwg
 Plotted by: JnoHL
 Plotted Date: Nov 15, 2023 - 3:56pm
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12'-0" 17'-0" 1'-0" 65'-0" 0 66" 12'-4" 17'-4" 1'-0" 67'-0" 0 68" 12'-8" 17'-8" 1'-0" 69'-0" 0 70" 13'-0" 18'-0" 1'-0" 71'-0" 0 72" 13'-4" 18'-4" 1'-0" 73'-0" 0 74" 13'-8" 18'-8" 1'-0" 75'-0" 0 76" 14'-0" 19'-0" 1'-0" 77'-0" 0 78" 14'-4" 19'-4" 1'-0" 79'-0" 0 80" 14'-8" 19'-8" 1'-0" 81'-0" 0 82" 15'-0" 20'-0" 1'-0" 83'-0" 0 84" 15'-4" 20'-4" 1'-0" 85'-0" 0 86" 15'-8" 20'-8" 1'-0" 87'-0" 0 88" 16'-0" 21'-0" 1'-0" 89'-0" 0 90" 16'-4" 21'-4" 1'-0" 91'-0" 0 92" 16'-8" 21'-8" 1'-0" 93'-0" 0 94" 17'-0" 22'-0" 1'-0" 95'-0" 0 96" 17'-4" 22'-4" 1'-0" 97'-0" 0 98" 17'-8" 22'-8" 1'-0" 99'-0" 0 100" 18'-0" 23'-0" 1'-0" 101'-0" 0 102" 18'-4" 23'-4" 1'-0" 103'-0" 0 104" 18'-8" 23'-8" 1'-0" 105'-0" 0 106" 19'-0" 24'-0" 1'-0" 107'-0" 0 108" 19'-4" 24'-4" 1'-0" 109'-0" 0 110" 19'-8" 24'-8" 1'-0" 111'-0" 0 112" 20'-0" 25'-0" 1'-0" 113'-0" 0 114" 20'-4" 25'-4" 1'-0" 115'-0" 0 116" 20'-8" 25'-8" 1'-0" 117'-0" 0 118" 21'-0" 26'-0" 1'-0" 119'-0" 0 120" 21'-4" 26'-4" 1'-0" 121'-0" 0 122" 21'-8" 26'-8" 1'-0" 123'-0" 0 124" 22'-0" 27'-0" 1'-0" 125'-0" 0 126" 22'-4" 27'-4" 1'-0" 127'-0" 0 128" 22'-8" 27'-8" 1'-0" 129'-0" 0 130" 23'-0" 28'-0" 1'-0" 131'-0" 0 132" 23'-4" 28'-4" 1'-0" 133'-0" 0 134" 23'-8" 28'-8" 1'-0" 135'-0" 0 136" 24'-0" 29'-0" 1'-0" 137'-0" 0 138" 24'-4" 29'-4" 1'-0" 139'-0" 0 140" 24'-8" 29'-8" 1'-0" 141'-0" 0 142" 25'-0" 30'-0" 1'-0" 143'-0" 0 144" 25'-4" 30'-4" 1'-0" 145'-0" 0 146" 25'-8" 30'-8" 1'-0" 147'-0" 0 148" 26'-0" 31'-0" 1'-0" 149'-0" 0 150" 26'-4" 31'-4" 1'-0" 151'-0" 0 152" 26'-8" 31'-8" 1'-0" 153'-0" 0 154" 27'-0" 32'-0" 1'-0" 155'-0" 0 156" 27'-4" 32'-4" 1'-0" 157'-0" 0 158" 27'-8" 32'-8" 1'-0" 159'-0" 0 160" 28'-0" 33'-0" 1'-0" 161'-0" 0 162" 28'-4" 33'-4" 1'-0" 163'-0" 0 164" 28'-8" 33'-8" 1'-0" 165'-0" 0 166" 29'-0" 34'-0" 1'-0" 167'-0" 0 168" 29'-4" 34'-4" 1'-0" 169'-0" 0 170" 29'-8" 34'-8" 1'-0" 171'-0" 0 172" 30'-0" 35'-0" 1'-0" 173'-0" 0 174" 30'-4" 35'-4" 1'-0" 175'-0" 0 176" 30'-8" 35'-8" 1'-0" 177'-0" 0 178" 31'-0" 36'-0" 1'-0" 179'-0" 0 180" 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Drawing File: H:\2023\Flat Branch VFD #2023-05-19\DWG\Flat Branch VFD 15NOV23.dwg
 Plotted by: Joah
 Plotted Date: Nov 15, 2023 - 3:57pm

PLUMBING FIXTURE SCHEDULE

SYMBOL	MANUFACTURER	MODEL #	FIXTURE DESCRIPTION	FIXTURE MOUNTING	ACCESSORIES	SUPPLY	WASTE	VENT	ELECTRICAL	REMARKS
P1	AMERICAN STANDARD	CADET ADA/ 215AA.104	ELONGATED BOWL; FLUSH TANK TOILET	FLOOR MOUNTED	SEAT: AMERICAN STANDARD / 5901.100	3/4" C.W.	3"	2"		SUGGESTED MODEL # OR EQUAL
P2	AMERICAN STANDARD	LUCERNE/ 0355.012	LAVATORY	WALL MOUNTED	DELTA 501-WFHGMHDF FAUCET	1/2" C.W. & H.W.	2"	2"		SUGGESTED MODEL # OR EQUAL
P3	ELKAY	EZSTLBWSLK	2 STATION WATER COOLER (REFRIGERATED)	WALL MOUNTED	BI-LEVEL WATER COOLER	1/2" C.W.	2"	2"		SUGGESTED MODEL # OR EQUAL
P4	GLACIER BAY	HDSB252264	KITCHEN SINK SINGLE COMPARTMENT	COUNTER	KITCHEN FAUCET BY DELTA #	1/2" C.W. & H.W.	2"	1-1/2"		SUGGESTED MODEL # OR EQUAL
P5	AMERICAN STANDARD	2950SWT32.011	SHOWER	FLOOR MOUNTED	MIXING VALVE	3/4" C.W. & H.W.	3"	2"		SUGGESTED MODEL # OR EQUAL
WH	RHEEM	XE10P06PU2000	10 GALLON ELECTRICAL WATER HEATER	RESTROOM PLATFORM	EXPANSION TANK, DRAIN PAN	1" C.W. & H.W.			120V 2KW	EXTEND PRESSURE RELIEF DRAIN TO DRAIN PAN AND EXTEND DRAIN PAN DRAIN TO OUTSIDE BUILDING
	WATTS	WATT/ 909 RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTOR							SUGGESTED MODEL # OR EQUAL

PLUMBING GENERAL NOTES:

PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2018 EDITION AND LOCAL CODES.

ALL WORK SHALL BE COORDINATED AND PERFORMED WITH PRIOR APPROVAL FROM THE GENERAL CONTRACTOR AND OWNER TO SUIT THE OWNER'S OPERATING CONDITIONS.

PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE GENERAL CONTRACTOR OF ANY DEVIANCIES FROM THE CONTRACT DRAWINGS PRIOR TO STARTING ANY WORK.

THE PLUMBING CONTRACTOR SHALL COORDINATE WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE. THINK OF OTHER CONTRACTORS AND THEIR REQUIREMENTS IN VERTICAL CHASES AND WALL MOUNT SPACE. ALL CONTRACTORS TO FOLLOW THIS ORDER OF PRIORITY:

1. STORM AND SANITARY SEWER LINES
2. DUCTWORK AND HVAC SYSTEMS
3. HOT AND COLD WATER LINES
4. RIGID CONDUIT
5. CABLE

THE PLUMBING CONTRACTOR TO ORGANIZE HIS PIPING IN ATTIC SPACES, CRAWL SPACES, AND ABOVE CEILINGS. MAKE RUNS PARALLEL, PERPENDICULAR, AND GROUPED TOGETHER WHERE POSSIBLE. LOCATE MAJOR GROUPINGS OVER HALLWAYS AND AREAS OF PUBLIC ACCESS IF POSSIBLE. FREE RUNS OF PIPING IS NOT ACCEPTABLE.

THE PLUMBING CONTRACTOR SHALL LAY OUT AND INSTALL HIS WORK IN ADVANCE OF POURING CONCRETE FLOORS OR WALLS. HE SHALL FURNISH ALL SLEEVES TO THE GENERAL CONTRACTOR FOR OPENINGS THROUGH POURED MASONRY FLOORS, OR WALLS, ABOVE GRADE REQUIRED FOR PASSAGE OF ALL PIPES TO SUPPORT HIS EQUIPMENT.

HORIZONTAL DRAINAGE AND WASTE PIPE SHALL HAVE A MINIMUM SLOPE OR FALL OF 1/8 INCH PER FOOT. ALL CHANGE OF HORIZONTAL DIRECTIONS IN SOIL WASTE PIPE SHALL BE MADE WITH LONG RADIUS FITTINGS WITH Y" BRANCHES AND 1/8 OR 1/16 BENDS.

COLD AND HOT WATER PIPING ABOVE GRADE SHALL CAN BE CAN BE PEX PIPING (WITH OWNERS APPROVAL).

ALL HOT WATER PIPING SHALL BE INSULATED WITH 1 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.

ALL COLD WATER PIPING SHALL BE INSULATED WITH 1/2 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.

SANITARY HORIZONTAL WASTE, VENT PIPING, AND FITTINGS ABOVE GRADE SHALL BE SCHEDULE 40 PVC-DWV PIPE-CELLULAR CORE FROM CHARLOTTE PIPE AND FOUNDRY COMPANY OR APPROVED EQUAL, AND MUST MEET OR EXCEED THE REQUIREMENTS OF ASTM F-891, NSF STANDARD NO. 14, AND IAPMO UPC.

ALL WASTE STACK PIPING SHALL BE CAST IRON AND INSULATED FOR SOUND IN WALLS.

ALL WASTE AND STORM PIPING ABOVE CEILING, VERTICAL CHASES, WALLS SHALL BE INSULATED WITH 1/2 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE. NO INSULATION REQUIRED IN CRAWL SPACE OR BELOW FLOOR SLAB OF ANY WASTE AND STORM PIPING.

IN LIEU OF FIBERGLASS INSULATION, THE PLUMBING CONTRACTOR IS ALLOWED TO USE CLOSED CELL INSULATION, 1/2 INCH THICK ARMSTRONG/ARMAFLEX II ON ALL COLD WATER PIPES. RIGID URETHANE FOAM INSULATION, 1 INCH THICK ARMSTRONG/ARMAKOK II ON ALL HOT WATER PIPING.

ALL PLUMBING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

ALL FIXTURES, DRAINS, TRAPS, ETC. SHALL BE SET PLUMB AND LEVEL.

ALL HANDICAPPED FIXTURES AND TRIM SHALL BE INSTALLED IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2018 EDITION.

CHROME PLATED ESCUTCHEONS SHALL BE PROVIDED AT EACH WALL PENETRATION.

ESCUTCHEONS SHALL BE CHROME PLATED, SPRING TYPE, ON ALL PIPES PASSING THROUGH WALLS AND CEILINGS IN FINISHED AREAS. FLOOR ESCUTCHEONS SHALL BE CAST BRASS, CHROME PLATED, WITH SET SCREW.

ESCUTCHEONS SHALL BE OF SUFFICIENT SIZE TO COVER OUTSIDE DIAMETER OF THE PIPE OR THE INSULATION OF THE PIPE.

FLASHING FOR VENTS THROUGH THE ROOF SHALL BE TWO-PIECE TYPE, 16 OUNCE COPPER COUNTER FLASHING AND BASE FLASHING, OR A TWO-PIECE TYPE, 4 POUND LEAD COUNTER FLASHING AND BASE FLASHING. THE BASE FLASHING SHALL BE INSTALLED BY THE GENERAL CONTRACTOR WITH THE ROOF SYSTEM.

VENT FLASHING SHALL EXTEND DOWN AT LEAST 4 INCHES FROM THE TOP OF THE PIPE. FLASHING SHALL EXTEND AT LEAST 12 INCHES IN ALL DIRECTIONS FROM THE PIPE AND SHALL BE PARALLEL TO THE ROOF LINE.

ALL EQUIPMENT AND INSTALLED MATERIALS SHALL BE THOROUGHLY CLEAN AND FREE OF ALL DIRT, OIL, GRIT, GREASE, AND ETC.

ALL PLUMBING SYSTEMS AND EQUIPMENT SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE BUILDING FROM THE OWNER.

WATER CALCULATIONS

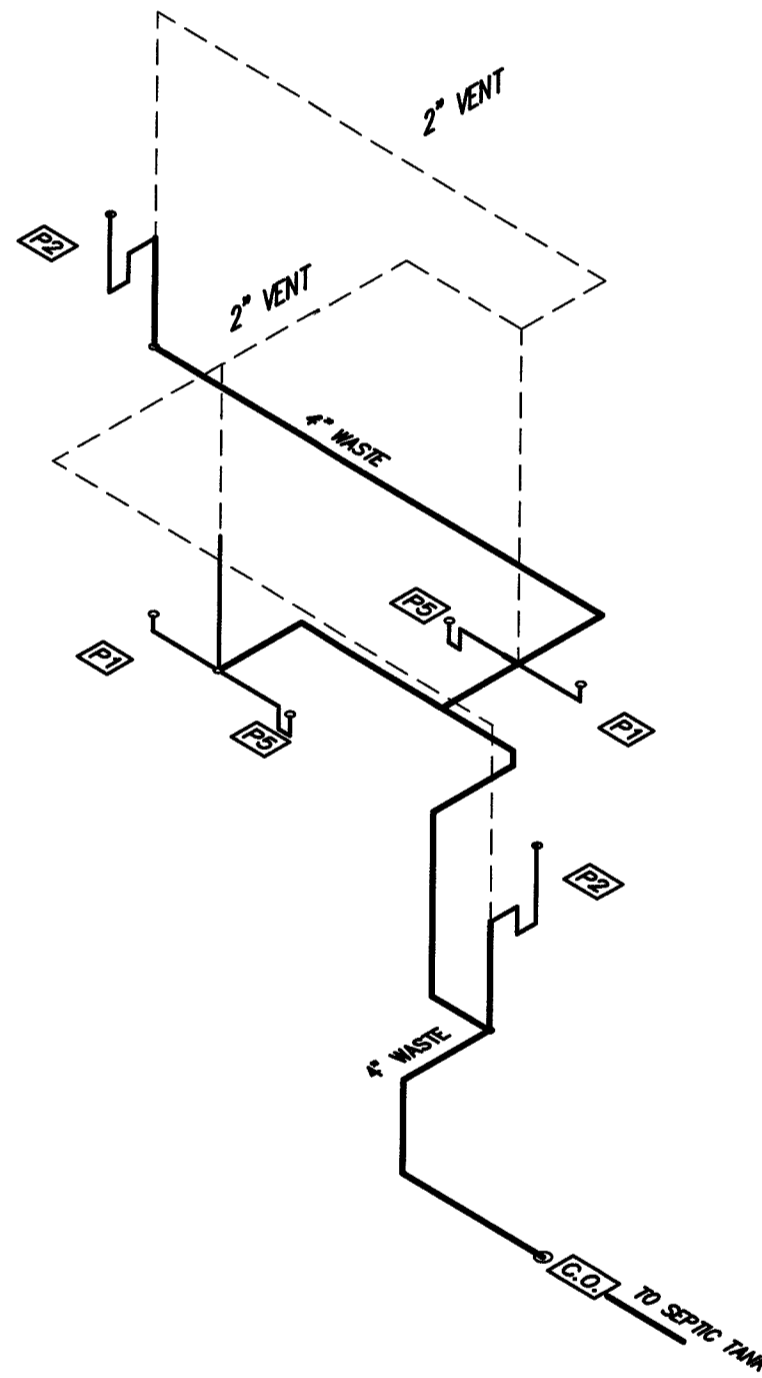
QTY.	ITEM	C.W. FIXTURE UNITS	WATER SUPPLY FIXTURE UNITS EACH	WATER SUPPLY FIXTURE UNITS TOTAL
1	SINK	-	-	-
8	WATER CLOSET	5.0	5.0	40.0
6	LAVATORY	1.5	2.0	12.0
3	DRINKING FOUNTAIN	0.25	0.25	0.75
1	UTILITY SINK	0.25	0.25	0.25
2	SHOWER	-	-	-
TOTAL WATER SUPPLY FIXTURE UNITS				17.5

DRAINAGE CALCULATIONS

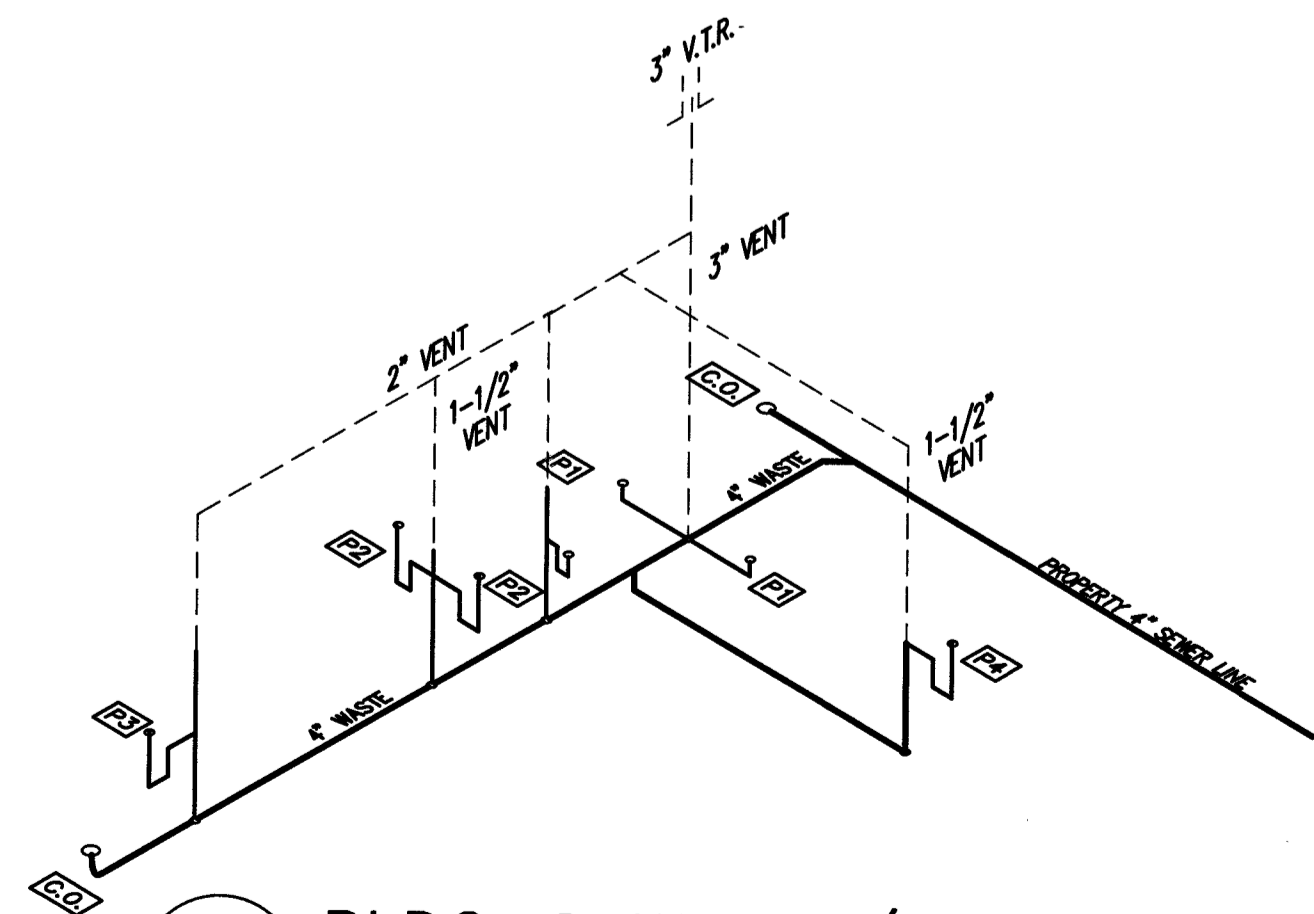
QTY.	ITEM	DRAINAGE FIXTURE UNITS	DRAINAGE FIXTURE UNITS TOTAL
1	SINK	-	-
2	WATER CLOSET	4.0	8.0
2	LAVATORY	1.0	2.0
2	DRINKING FOUNTAIN	0.5	1.0
TOTAL DRAINAGE FIXTURE UNITS			13.0

PLUMBING SYMBOL LEGEND

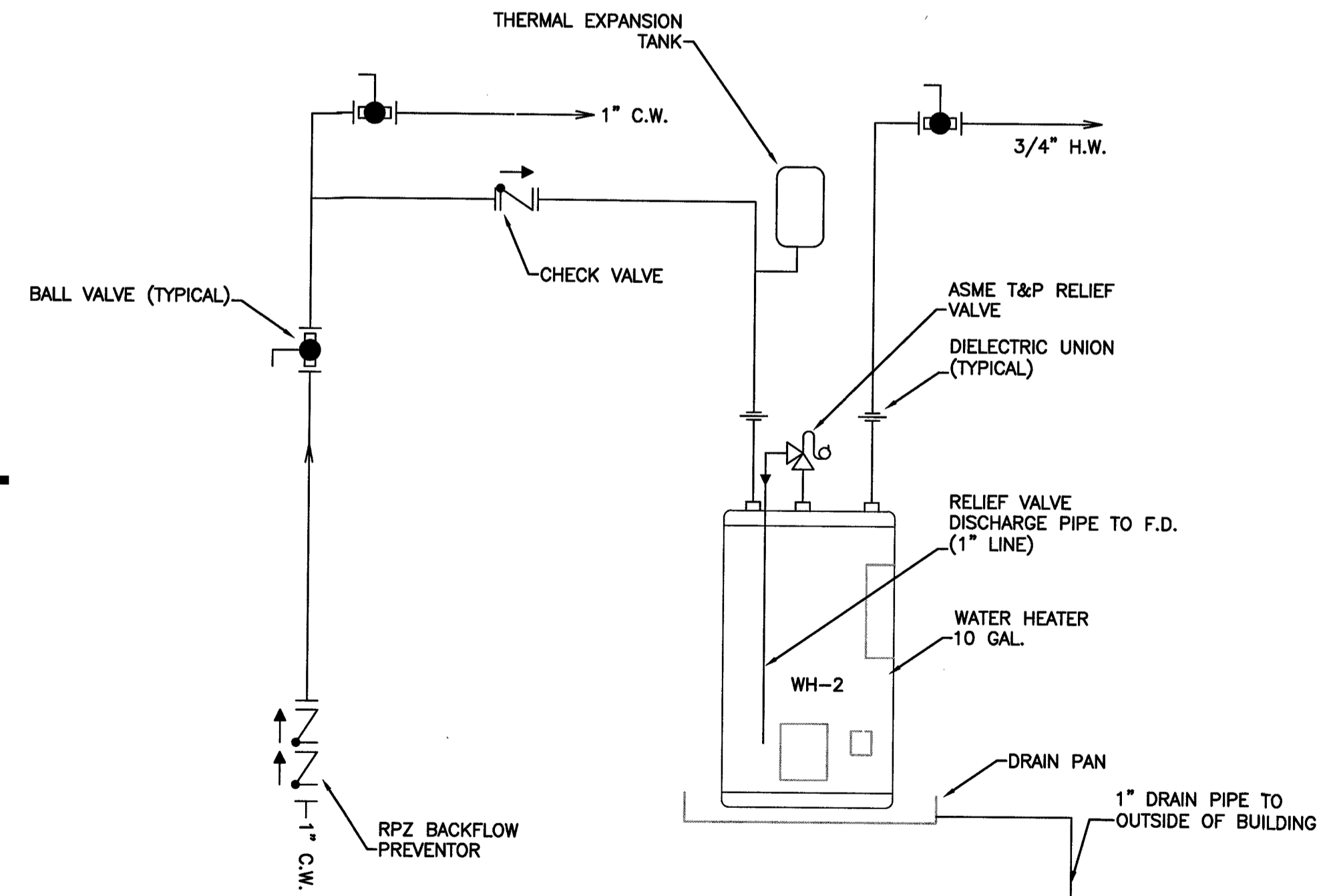
—	HOT WATER LINE
---	COLD WATER LINE
○	PIPE TURNS UP
∩	PIPE TURNS DOWN
⊥	SHUT OFF VALVE
—	SANITARY WASTE
---	VENT LINE



1 BLDG-1 WASTE/VENT RISER
P1 N.T.S.

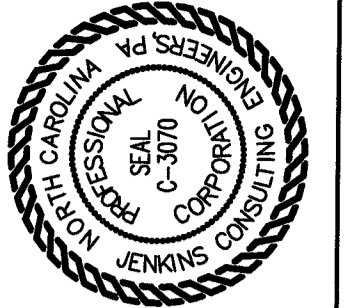


2 BLDG-2 WASTE/VENT RISER
P1 N.T.S.

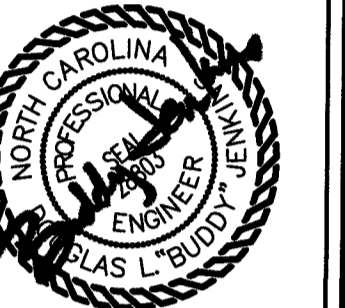


WATER HEATER IS LOCATED NEXT TO EXISTING BATHROOMS IN STORAGE ROOM ON THE FIRST FLOOR ON BUILDING 1

3 WATER HEADER DETAIL
P1 N.T.S.



JENKINS
CONSULTING ENGINEERS, PA
OFFICE IN EUREKA SPRINGS, NORTH CAROLINA
CORPORATION NUMBER C-3070 Phone: 910.822.1724
FAX: 910.822.5897



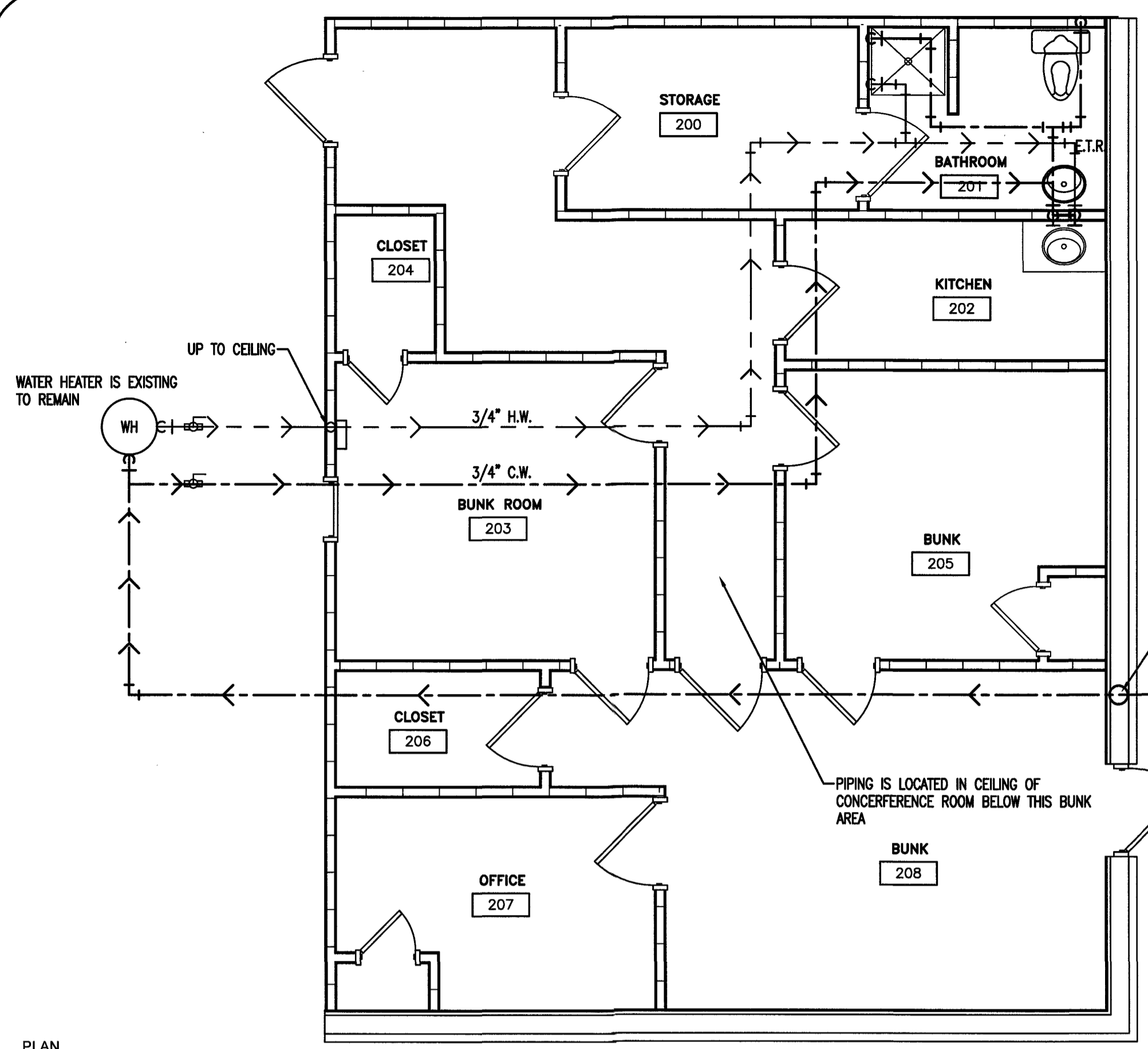
15 NOVEMBER 2023

DESIGNED BY: B. JENKINS
DRAWN BY: JDL
PROJECT #: 2023-05-19
DATE: 15 NOVEMBER 2023

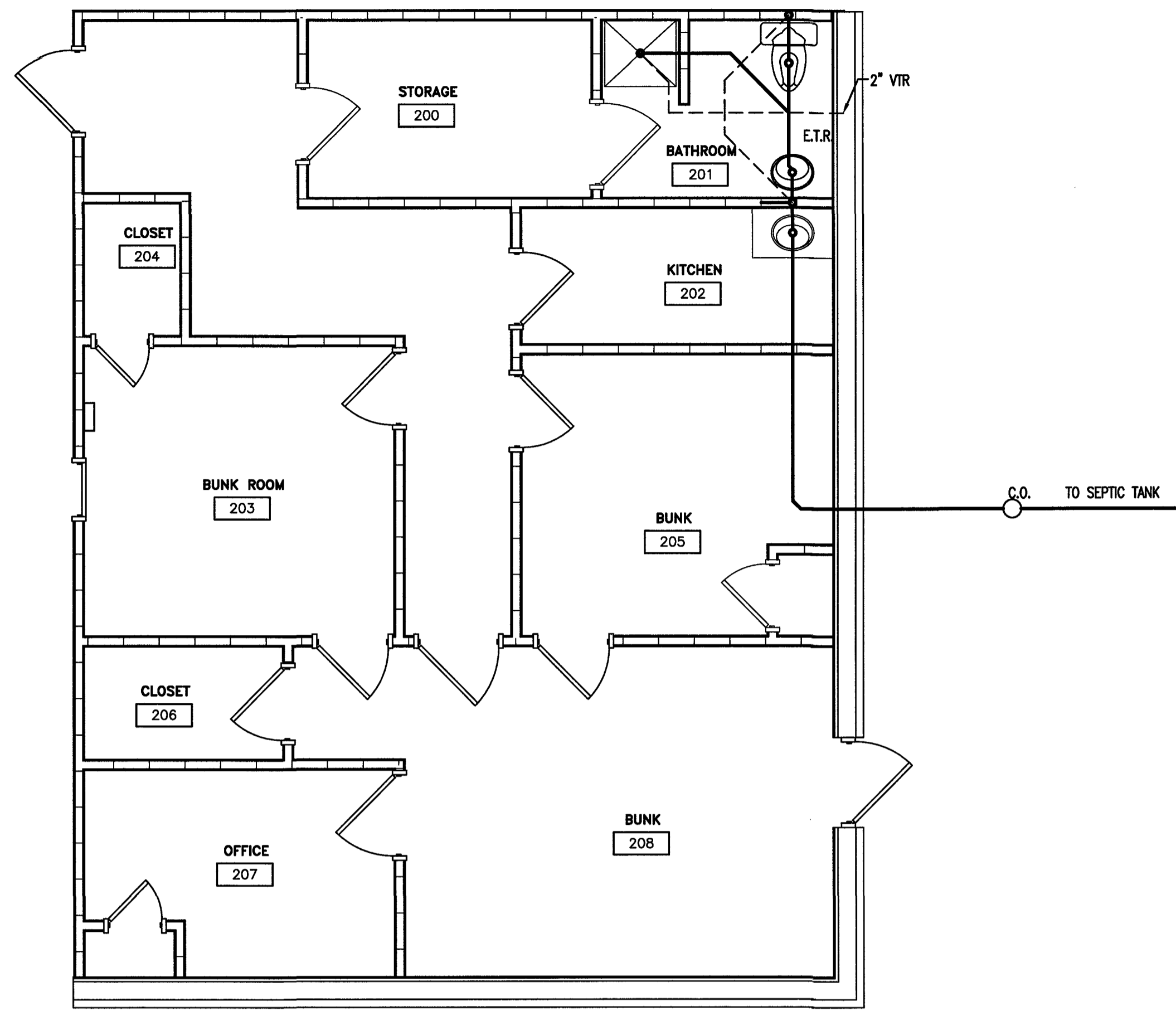
FINAL DRAWING FOR REVIEW PURPOSES ONLY
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OWNER/TENANT:
FLAT BRANCH FIRE DEPT.
2098 ELLIOTT BRIDGE RD, BUNNLEVEL, NC 28323
CONTRACTOR/BUILDER:

PROJECT:
NEW ADMIN BUILDING & INTERIOR RENOVATION
2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28323
SHEET:
PLUMBING SCHEDULES AND NOTES

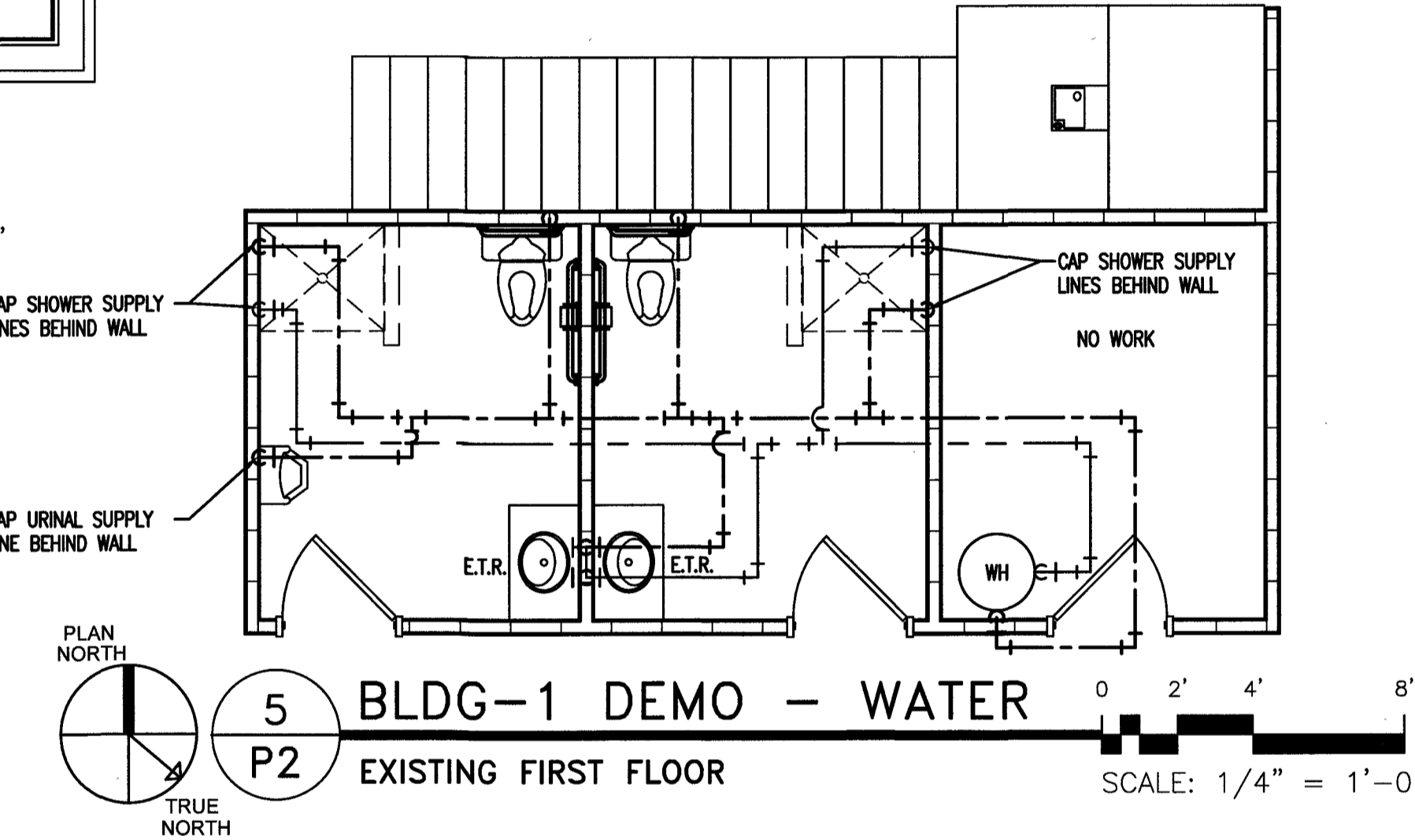
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 Plotted By: J. Jenkins
 Plotted Date: Nov 16, 2023 - 7:11pm
 Scale: 1" = 1'-0" (multiple instances for different drawing sheets)



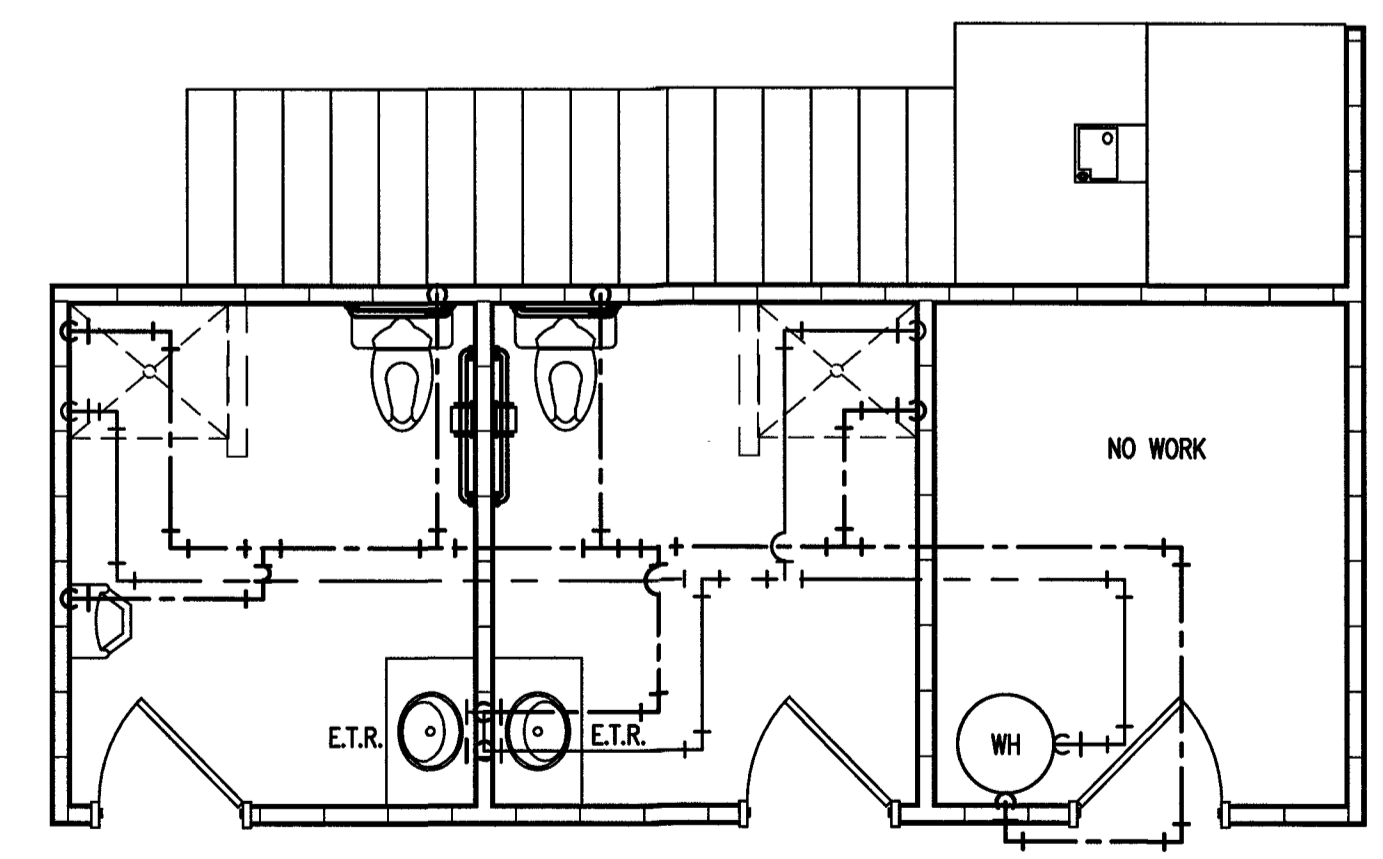
4 BLDG-1 PLUMBING - WATER
 P2 EXISTING SECOND FLOOR
 SCALE: 1/4" = 1'-0"



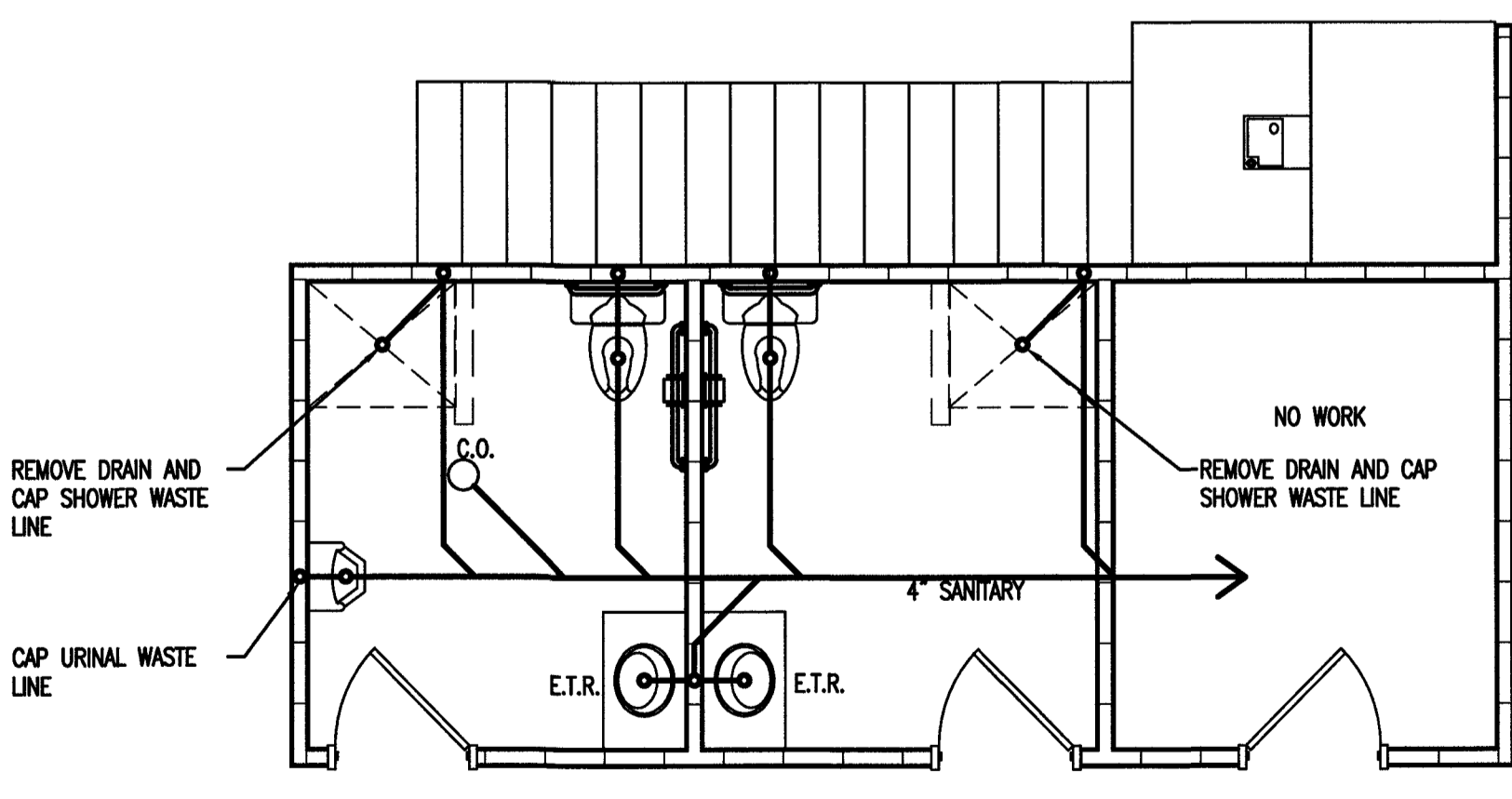
6 BLDG-1 PLUMBING - WASTE/VENT
 P2 EXISTING SECOND FLOOR
 SCALE: 1/4" = 1'-0"



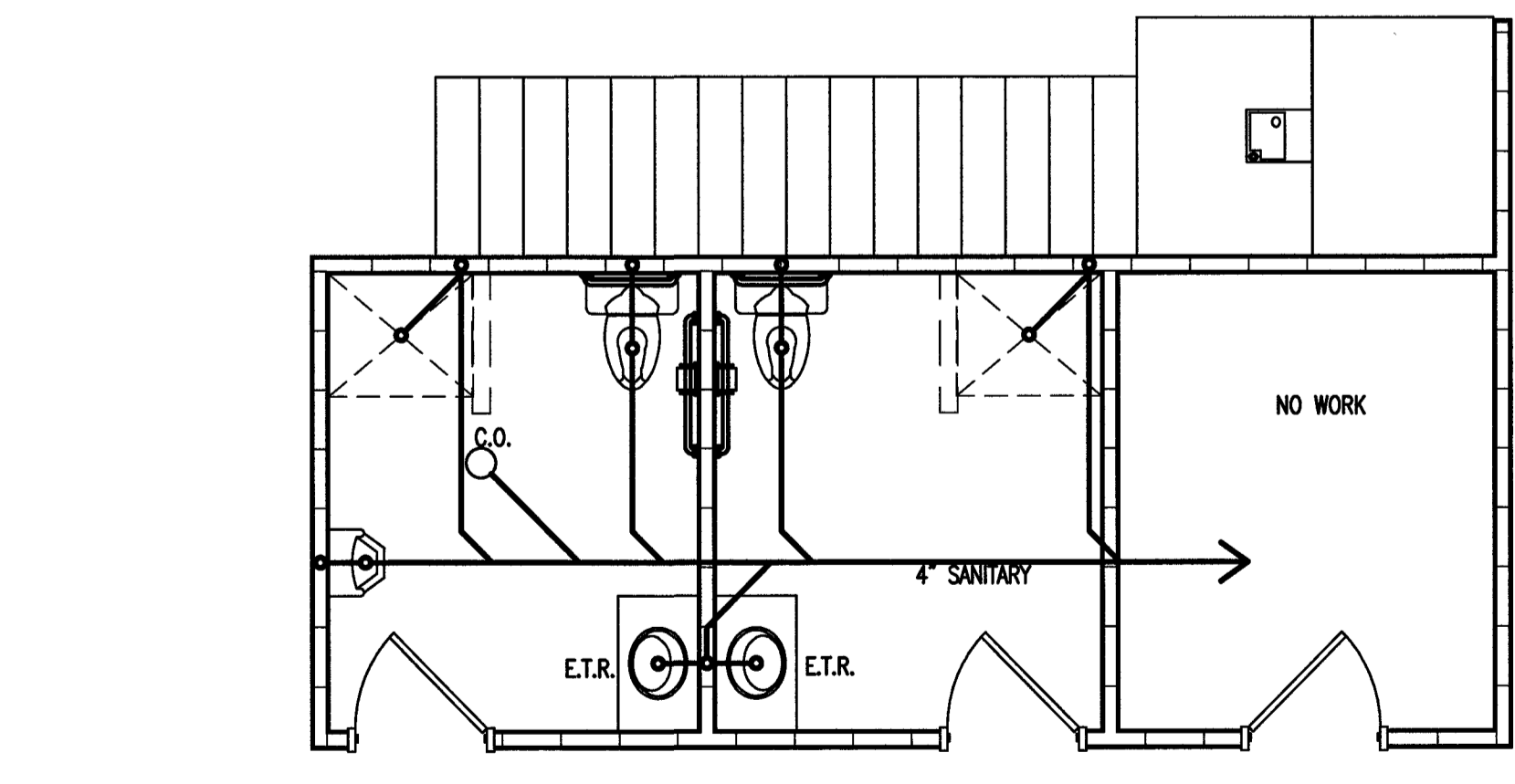
5 BLDG-1 DEMO - WATER
 P2 EXISTING FIRST FLOOR
 SCALE: 1/4" = 1'-0"



1 BLDG-1 PLUMBING - WATER
 P2 EXISTING FIRST FLOOR
 SCALE: 1/4" = 1'-0"

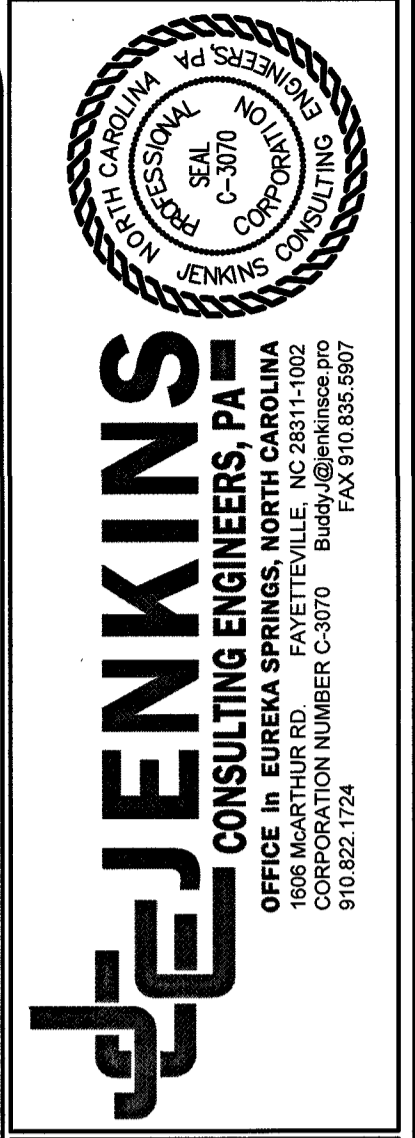


2 BLDG-1 DEMO - WASTE
 P2 EXISTING FIRST FLOOR
 SCALE: 1/4" = 1'-0"



3 BLDG-1 PLUMBING - WASTE/VENT
 P2 EXISTING FIRST FLOOR
 SCALE: 1/4" = 1'-0"

NOTE: PLUMBING WORK IN MEN'S AND WOMEN'S RESTROOM SHALL BE BID AS ALTERATION WORK.
 OPTION 1 INCLUDES DEMOLITION OF SHOWERS, URINAL, & CAPPING PIPING BEHIND FINISHED WALL SURFACES.
 OPTION 2 INCLUDES DEMOLITION OF SHOWERS & RELOCATION OF URINAL & INSTALLATION OF SECOND TOILET IN WOMEN'S RESTROOM & INCLUDE INSTALLATION OF TOILET PARTITIONS.



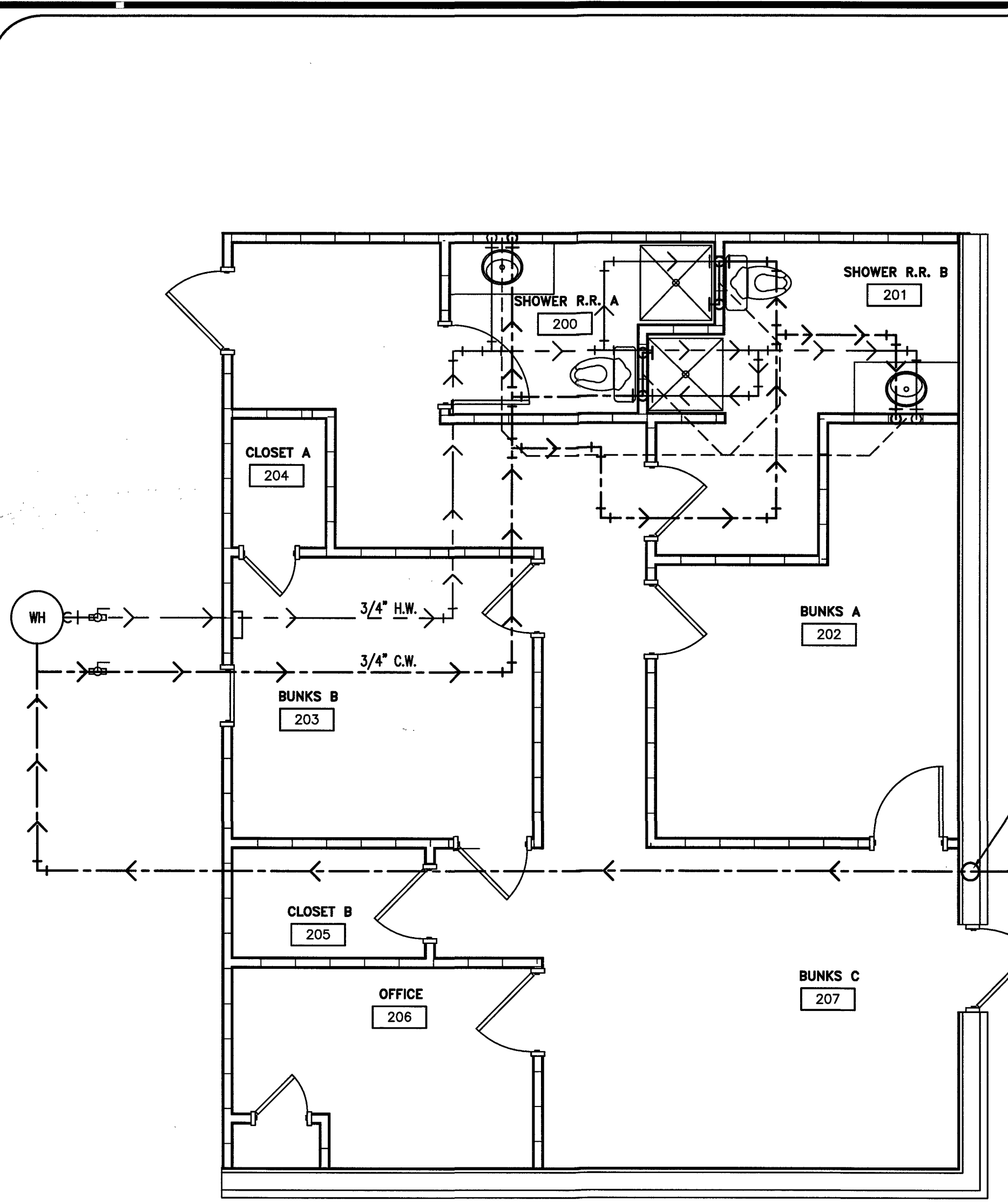
DESIGNED BY: B. JENKINS
 DRAWN BY: JDL
 PROJECT #: 2023-05-19
 DATE: 15 NOVEMBER 2023

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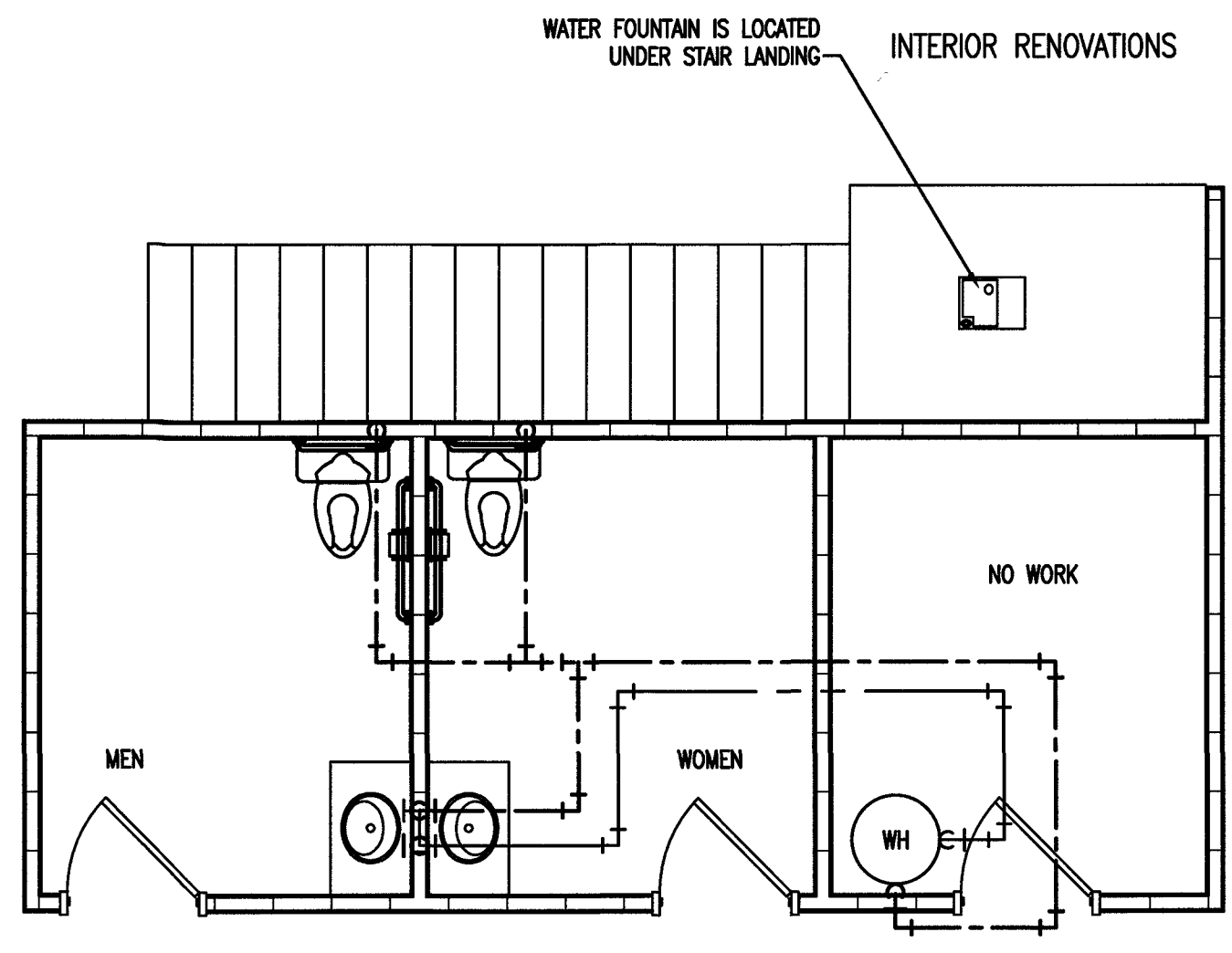
PROJECT:
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 2098 ELLIOTT BRIDGE RD BUNNLEVEL, NC 28523
 SHEET:
PLUMBING -EX. BLDG 1 WATER/WASTE PLAN

P2

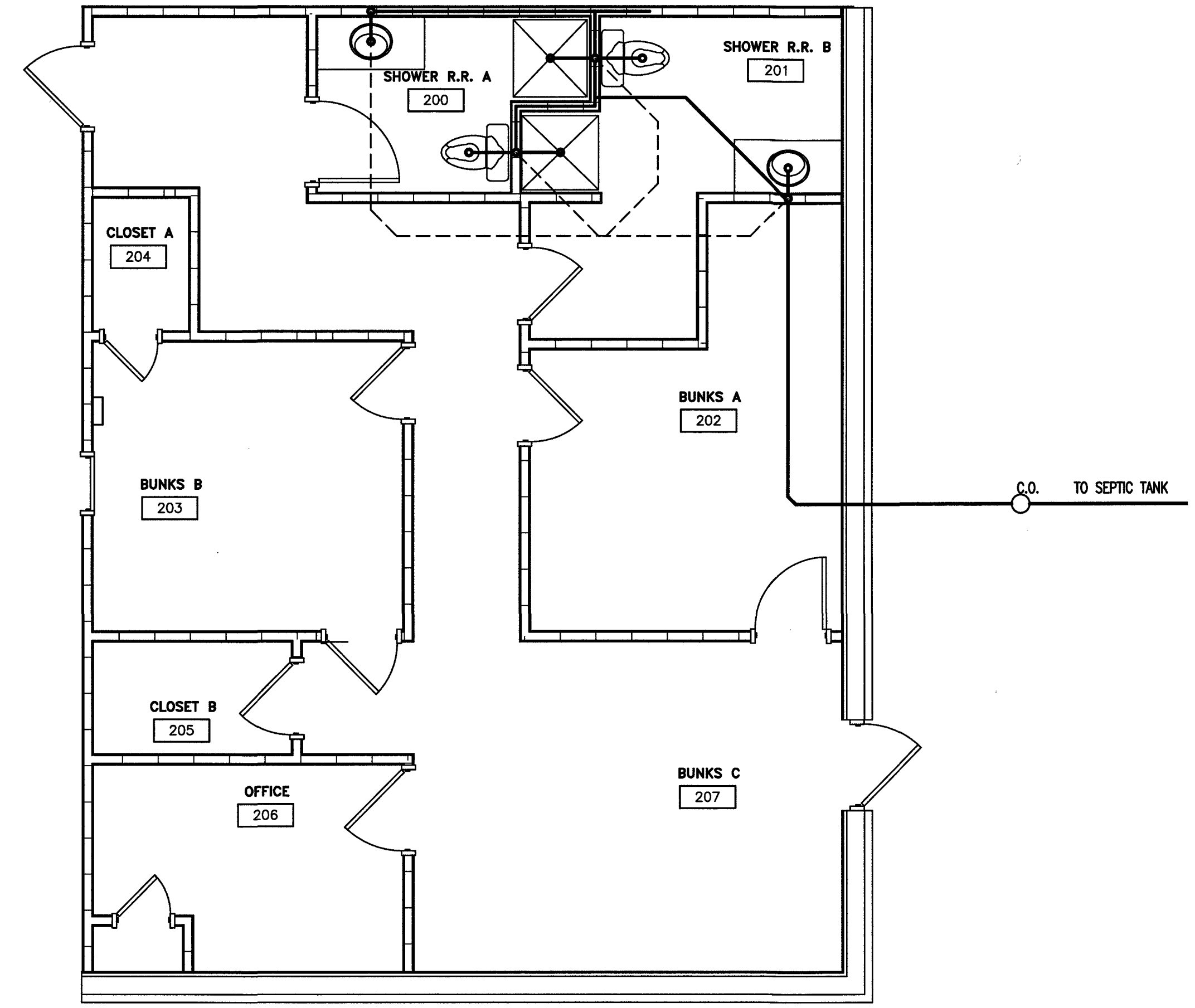
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 Plotted By:



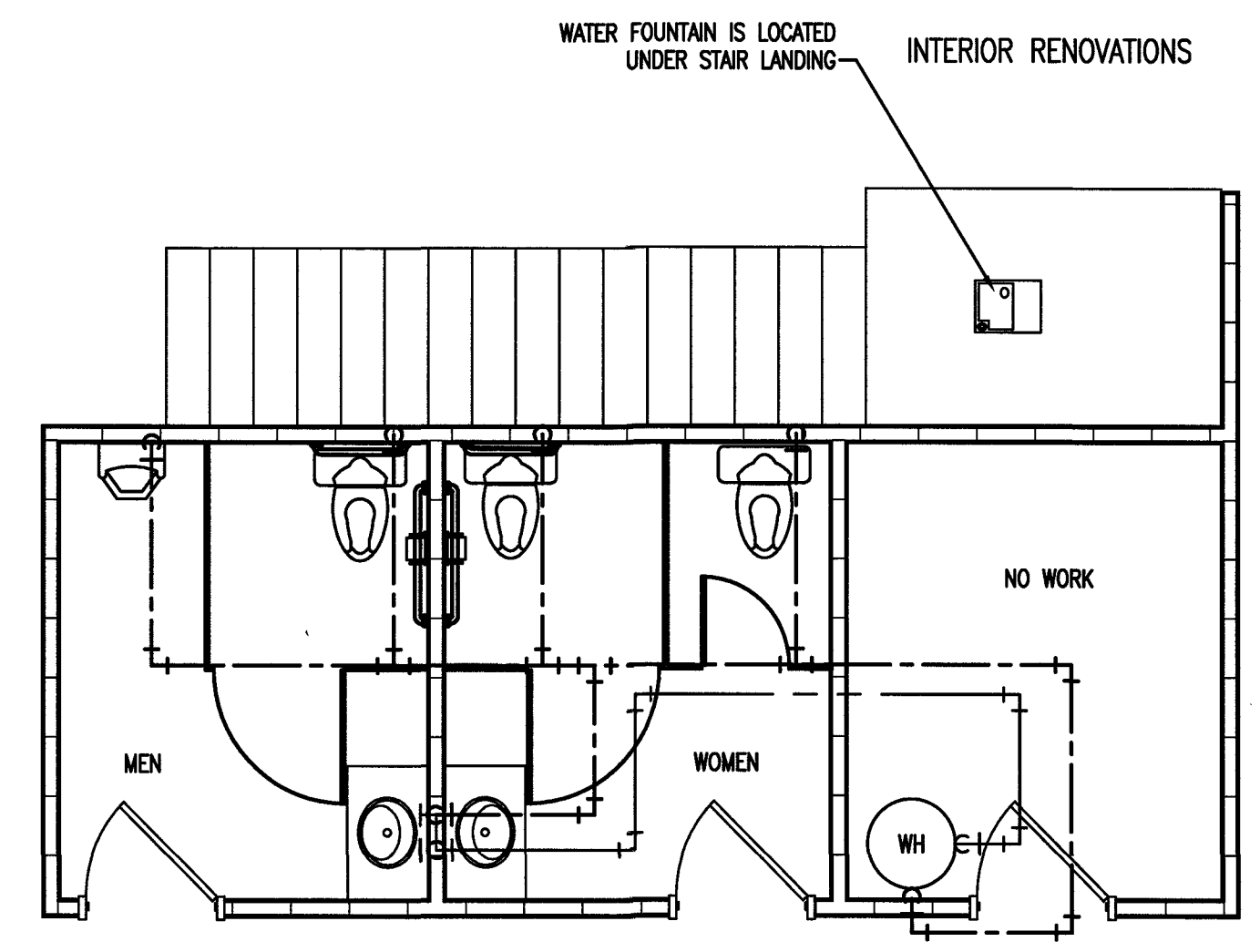
PLAN NORTH
1 BLDG-1 PLUMBING - WATER
 P3 NEW SECOND FLOOR
 SCALE: 1/4" = 1'-0"



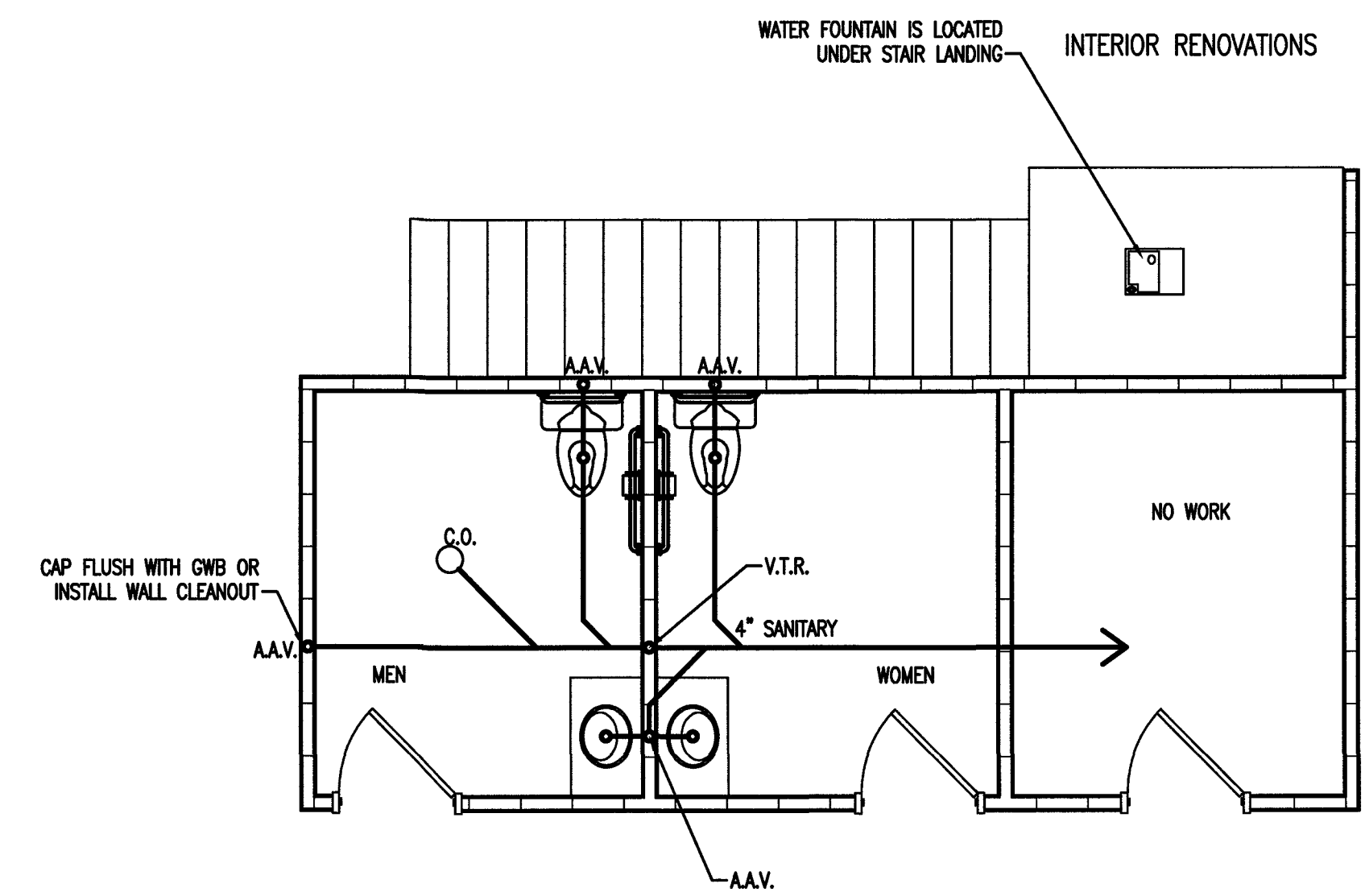
PLAN NORTH
4 BLDG-1 PLUMBING - WATER
 P3 (OPTION 1) NEW FIRST FLOOR
 TRUE NORTH



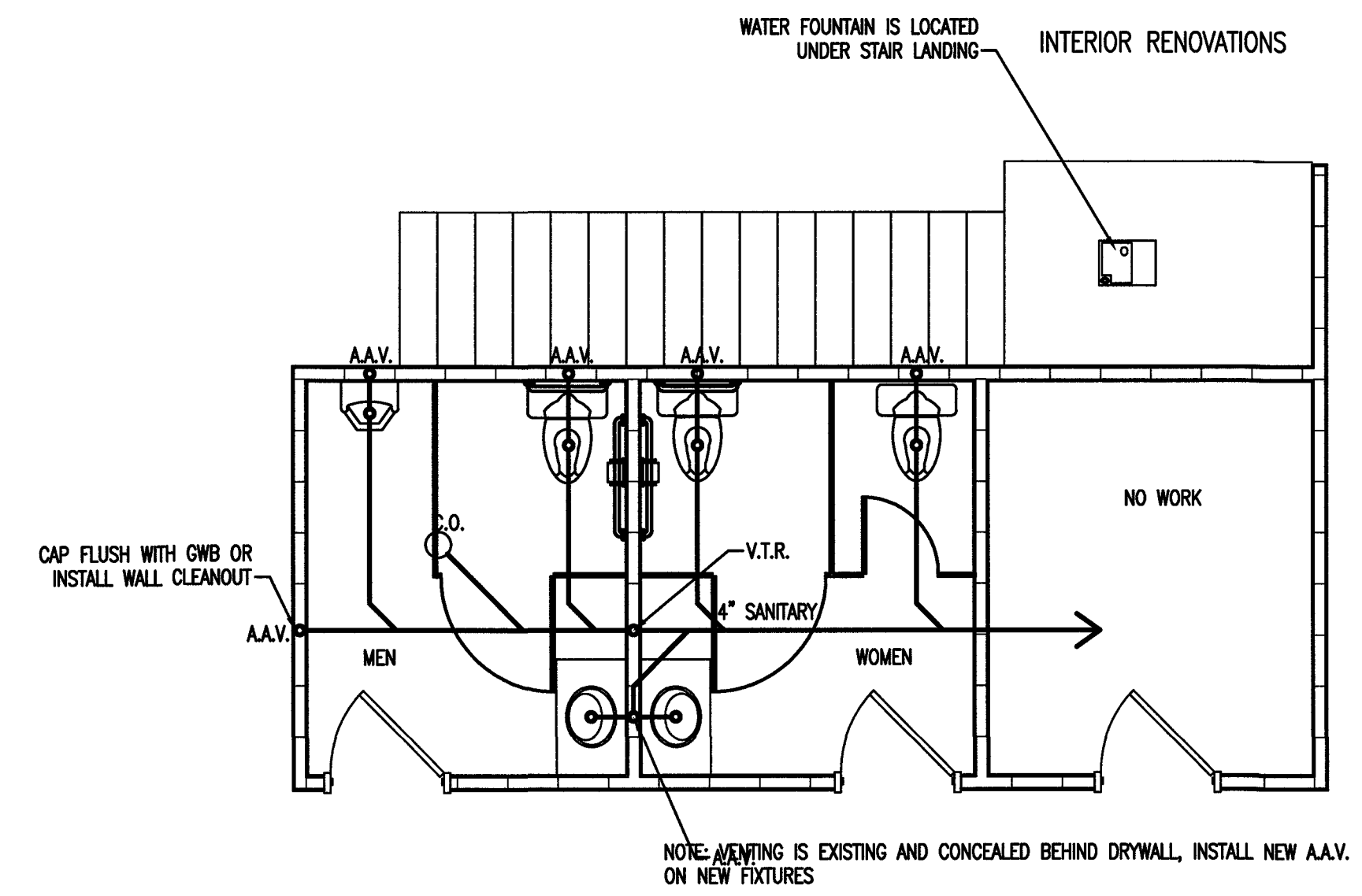
PLAN NORTH
2 BLDG-1 PLUMBING - WASTE/VENT
 P3 NEW SECOND FLOOR
 SCALE: 1/4" = 1'-0"



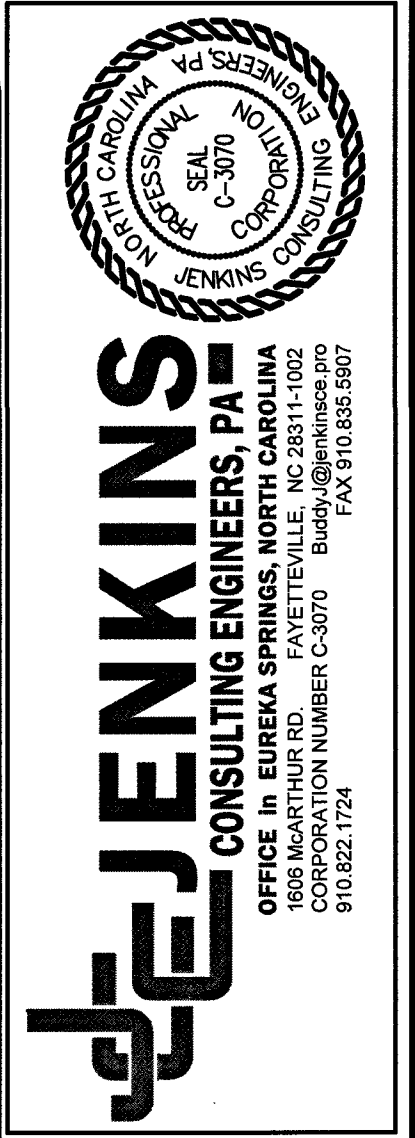
PLAN NORTH
3 BLDG-1 PLUMBING - WATER
 P3 (OPTION 2) NEW FIRST FLOOR
 SCALE: 1/4" = 1'-0"



PLAN NORTH
5 BLDG-1 PLUMBING - WASTE/VENT
 P3 (OPTION 1) NEW FIRST FLOOR
 TRUE NORTH



PLAN NORTH
6 BLDG-1 PLUMBING - WASTE/VENT
 P3 (OPTION 2) NEW FIRST FLOOR
 SCALE: 1/4" = 1'-0"



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 SHEET: PLUMBING - NEW BLDG 1 WATER/WASTE PLAN

P3

