

HARNETT HEALTH RAD ROOM 1318

an Interior Renovation for:

215 Brightwater Drive
Lillington, North Carolina

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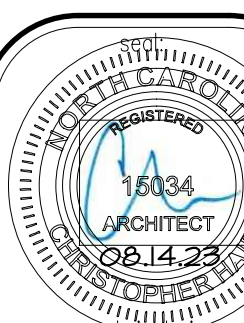
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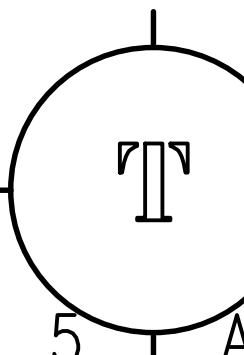
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revision:



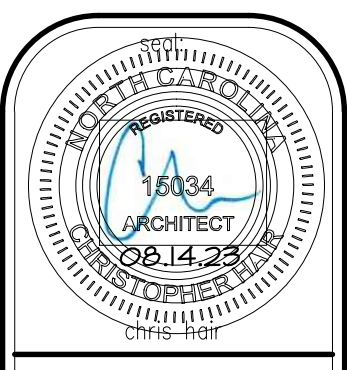
An Interior Renovation for:
**Harnett Health
RAD Room 1318 Renovation**
215 Brightwater Drive
Lillington, North Carolina

job no. 23-016
principal: CHRIS HAIR
CH
file name:
date: 08.10.23
title: TITLE SHEET



FINAL SUBMITTAL for construction

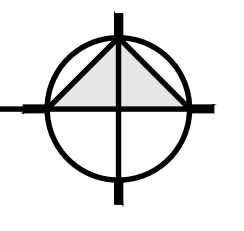
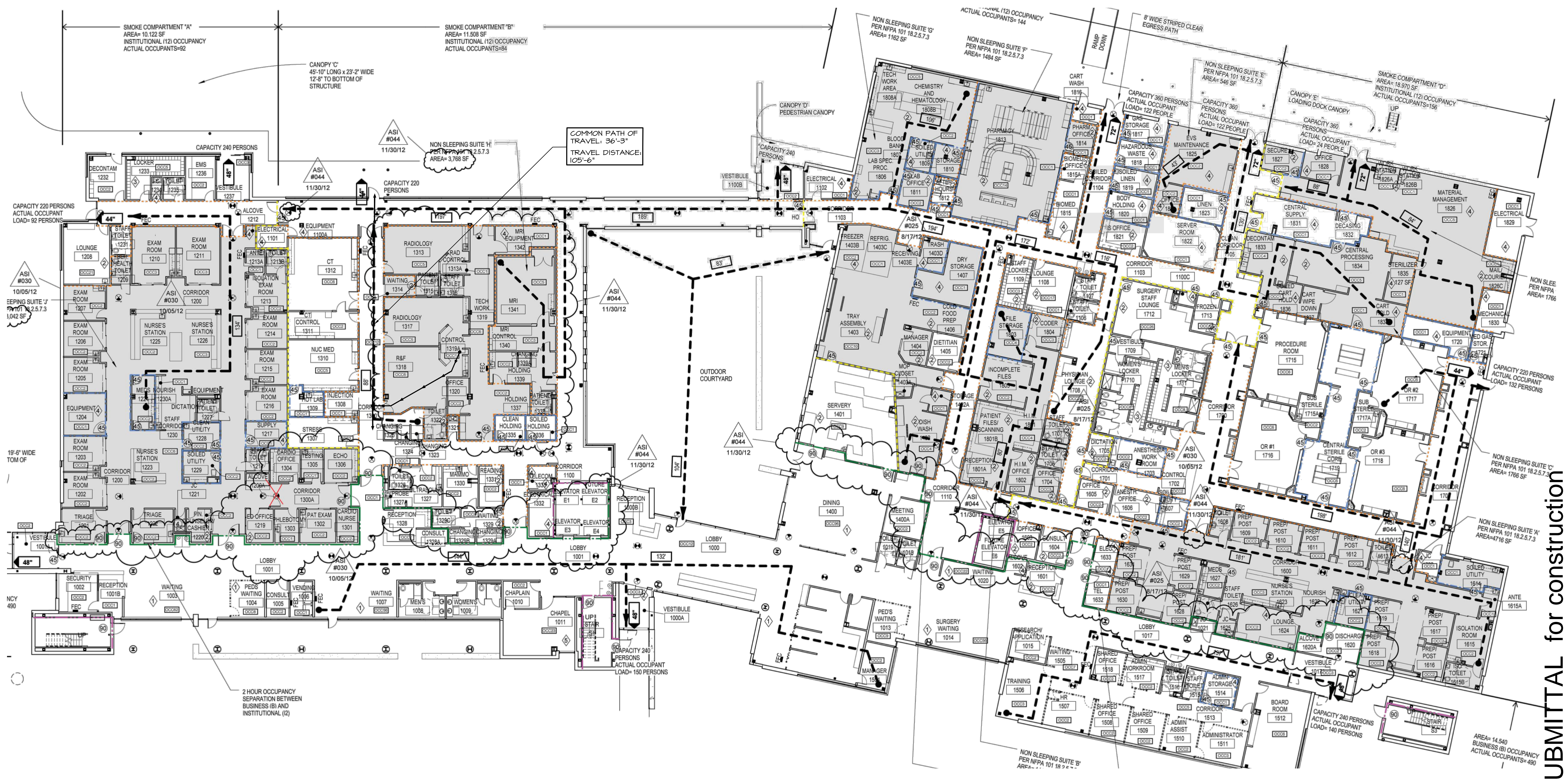
PROJECT SCOPE	PROJECT DATA	PROJECT CODE TABULAR		SHEET INDEX																		
<p>THE PROJECT INVOLVES AN EQUIPMENT CHANGE-OUT WITHIN AN EXISTING ROOM ON THE FIRST FLOOR WITHIN AN EXISTING IN-PATIENT, HOSPITAL. THE NEWLY RENOVATED SPACE WILL BE USED AS A RAD ROOM. (NO CHANGE TO THE EXISTING FUNCTION OF THE ROOM), NO NEW WALLS, DOORS OR OTHER LAYOUT CHANGES ARE IN THIS SCOPE OF THE RAD ROOM WORK. THE EXISTING FLOOR FINISHES SHALL BE REPLACED, THE EXISTING MILLWORK WILL REMAIN. THE EXISTING LIGHTING SHALL BE REPLACED. THE EXISTING HVAC SHALL REMAIN. THE BUILDING IS MULTI STORY AND ASSUMED TO BE TYPE I-B. THE SCOPE AREA IS PROTECTED BY A FULLY AUTOMATIC FIRE-SPRINKLER SYSTEM.</p> <p>DHSR PROJECT NO.: HL-12893</p> <p>VICINITY SKETCH NOT TO SCALE</p>	<p>AREA CALCULATIONS:</p> <p>SCOPE AREA WITHIN EXIST. HOSPITAL 574 SF</p> <p>OCCUPANCY LOAD CALCULATIONS:</p> <p>INSTITUTIONAL I-2 574 S.F. / 240 GROSS = 2.39 (3 PEOPLE)</p>	<p>MUNICIPALITY: HARNETT COUNTY</p> <p>GOVERNING CODES: 2018 NORTH CAROLINA STATE BUILDING CODE BASED ON IBC - 2015 INTERNATIONAL BUILDING CODE W, AMENDMENTS IEBC - 2015 INTERNATIONAL EXISTING BUILDING CODE, '15 INTERNATIONAL FUEL GAS CODE, '15 INTERNATIONAL MECHANICAL CODE, '15 INTERNATIONAL PLUMBING CODE, 2018 FGI GUIDELINES OUTPATIENT FACILITIES, ICC / ANSI-A117.1-2013 ADA STANDARDS, 2017 NCSEC, 2005 U.S. PUBLIC HEALTH CODE, NORTH CAROLINA ADMIN. CODE, DHSR RULES AND REGULATIONS</p> <p>OCCUPANCY: GROUP I-2 (INSTITUTIONAL)</p> <p>REQUIRED SEPARATION: *NO SEPARATION REQUIRED TO ADJACENT GROUP 'I' TENANTS</p> <p>TYPE OF CONSTRUCTION: TYPE I-B</p> <p>CLASSIFICATION OF WORK: ALTERATION - LEVEL 2</p> <table border="1"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>MIN STAIR WIDTH:</td> <td>44"</td> <td>N/A</td> </tr> <tr> <td>MAX COMMON PATH OF TRAVEL:</td> <td>75'</td> <td>36'-3"</td> </tr> <tr> <td>MAX TRAVEL DISTANCE:</td> <td>200'</td> <td>105'-6"</td> </tr> <tr> <td>MAX DEAD END:</td> <td>20'</td> <td>N/A</td> </tr> <tr> <td>NO. OF EXITS:</td> <td>2</td> <td>2</td> </tr> </tbody> </table> <p>* BUILDING IS PROVIDED WITH A FULLY AUTOMATIC SPRINKLER SYSTEM</p>		REQUIRED	PROVIDED	MIN STAIR WIDTH:	44"	N/A	MAX COMMON PATH OF TRAVEL:	75'	36'-3"	MAX TRAVEL DISTANCE:	200'	105'-6"	MAX DEAD END:	20'	N/A	NO. OF EXITS:	2	2	<p>REV DATE</p>	<p>ARCHITECTURAL:</p> <p>T TITLE SHEET A010 LIFE SAFETY PLAN A210 DEMO AND FLOOR PLAN A410 DEMO AND REFLECTED CEILING PLAN A910 ICRA COORDINATION PLAN</p> <p>ELECTRICAL:</p> <p>E0.1 ELECTRICAL NOTES, LEGEND AND SCHEDULES E1.1 FIRST FLOOR ELECTRICAL PLAN E2.1 FIRST FLOOR LIGHTING PLAN E3.1 SIEMENS REFERENCE DESIGN PLANS E3.2 SIEMENS REFERENCE DESIGN PLANS</p> <p>MECHANICAL:</p> <p>M1.1 FIRST FLOOR MECHANICAL PLAN</p>
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<p>BUILDING KEY PLAN</p>		<p>LIFE SAFETY CODE</p>																				
<p>SCOPE AREA WITHIN BUILDING</p>		<p>GOVERNING CODES: 2015 INTERNATIONAL FIRE CODE NCBC - FPC NFPA 101 LIFE SAFETY CODE - 2012 ED. NFPA 13 LIFE SAFETY CODE - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS 2013 ED.</p> <p>OCCUPANCY: (INSTITUTIONAL)</p> <table border="1"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>MAX COMMON PATH OF TRAVEL:</td> <td>75'</td> <td>36'-3"</td> </tr> <tr> <td>MAX TRAVEL DISTANCE:</td> <td>200'</td> <td>105'-6"</td> </tr> <tr> <td>MAX DEAD END:</td> <td>20'</td> <td>N/A</td> </tr> </tbody> </table> <p>* BUILDING IS PROVIDED WITH A FULLY AUTOMATIC SPRINKLER SYSTEM</p>		REQUIRED	PROVIDED	MAX COMMON PATH OF TRAVEL:	75'	36'-3"	MAX TRAVEL DISTANCE:	200'	105'-6"	MAX DEAD END:	20'	N/A								
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 Lillington, North Carolina

FINAL SUBMITTAL for construction

job no. 23-016
 principal: CHRIS HAIR
 CH
 file name:
 date: 08.10.23
 title: LIFE SAFETY PLAN



FINISH SCHEDULE						REMARKS
ROOM #	DESCR.	FLOOR	WALLS	BASE	CEILING	
1310	EXAM ROOM	SV-1	PT-1	CB-1	AC-1	
1310A	CONTROL	SV-1	PT-1	CB-1	EX	
1322	RESTROOM	SV-1	PT-1	CB-1	EX	
ABBREV. UNO = UNLESS OTHERWISE NOTED, MS = MANUFACTURER STANDARD, EX = EXISTING, EXP = EXPOSED ALL FINISHES TO BE VERIFIED BY OWNER PRIOR TO PURCHASE AND INSTALL. NOTES						

MANUFACTURER SPECIFICATIONS			
DESCR.	MANUF.	MODEL	REMARKS
SHEET VINYL (SV-1)	ME	ME	MATCH EXISTING ADJACENT
COVE BASE (CB-1)	ME	ME	4" INTEGRAL FLASH COVE BASE
PAINT (PT-1)	ME	LATEX PAINT	MATCH EXISTING ADJACENT
PAINT (PT-2)	ME	LATEX PAINT	MATCH EXISTING ADJACENT
ABBREV. UNO = UNLESS OTHERWISE NOTED, MS = MANUFACTURER STANDARD, EX = EXISTING, EXP = EXPOSED, ME = MATCH EXISTING ALL FINISHES TO BE VERIFIED BY OWNER PRIOR TO PURCHASE AND INSTALL. NOTES			

DEMOLITION NOTES:

- ITEMS SCHEDULED TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING INSTALLATIONS ABOVE THE CEILING. EXISTING WALLS SHALL BE PATCHED WHERE ITEMS WERE REMOVED TO MATCH ADJACENT SURFACES.
- DUST BARRIERS SHALL BE CONSTRUCTED AND MAINTAINED THROUGH THE COURSE OF CONSTRUCTION TO MINIMIZE THE SPREAD OF CONSTRUCTION DUST.
- PROTECT EXISTING WALLS TO REMAIN. ALL EXISTING WALLS TO REMAIN TO BE FINISHED TO ACHIEVE 'AS NEW' APPEARANCE.
- CONTRACTOR TO PROTECT OR REMOVE CEILING TILE AS REQUIRED IN AREAS WHERE EQUIPMENT IS BEING INSTALLED.
- PATCH EXISTING CEILINGS AS REQUIRED DUE TO INSTALLATION OF OVERHEAD EQUIPMENT.
- REMOVE EXISTING LIGHTING AS SCHEDULED. EXISTING FIRE SPRINKLER HEADS TO BE LEFT INTACT.

SYMBOL LEGEND:

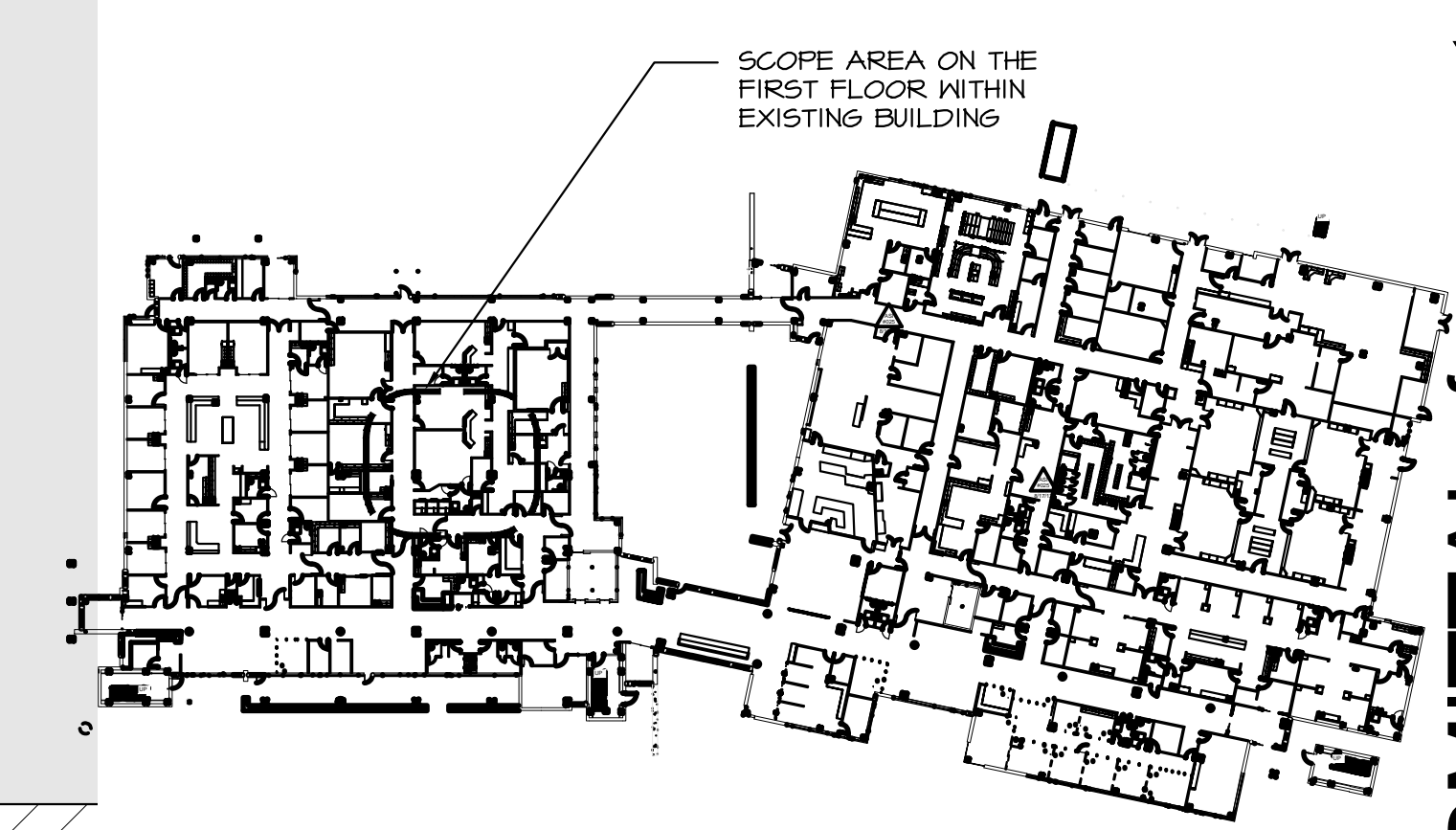
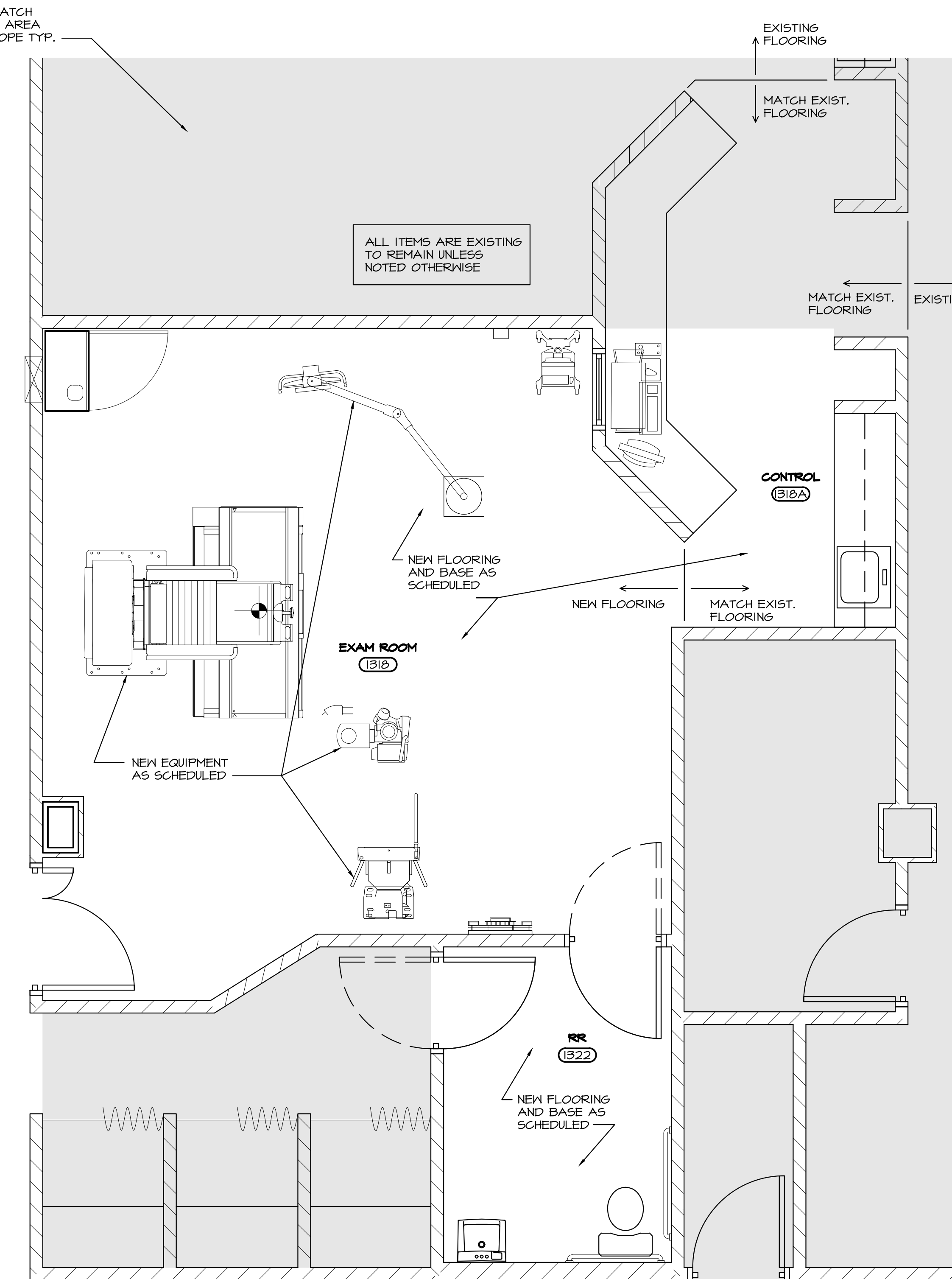
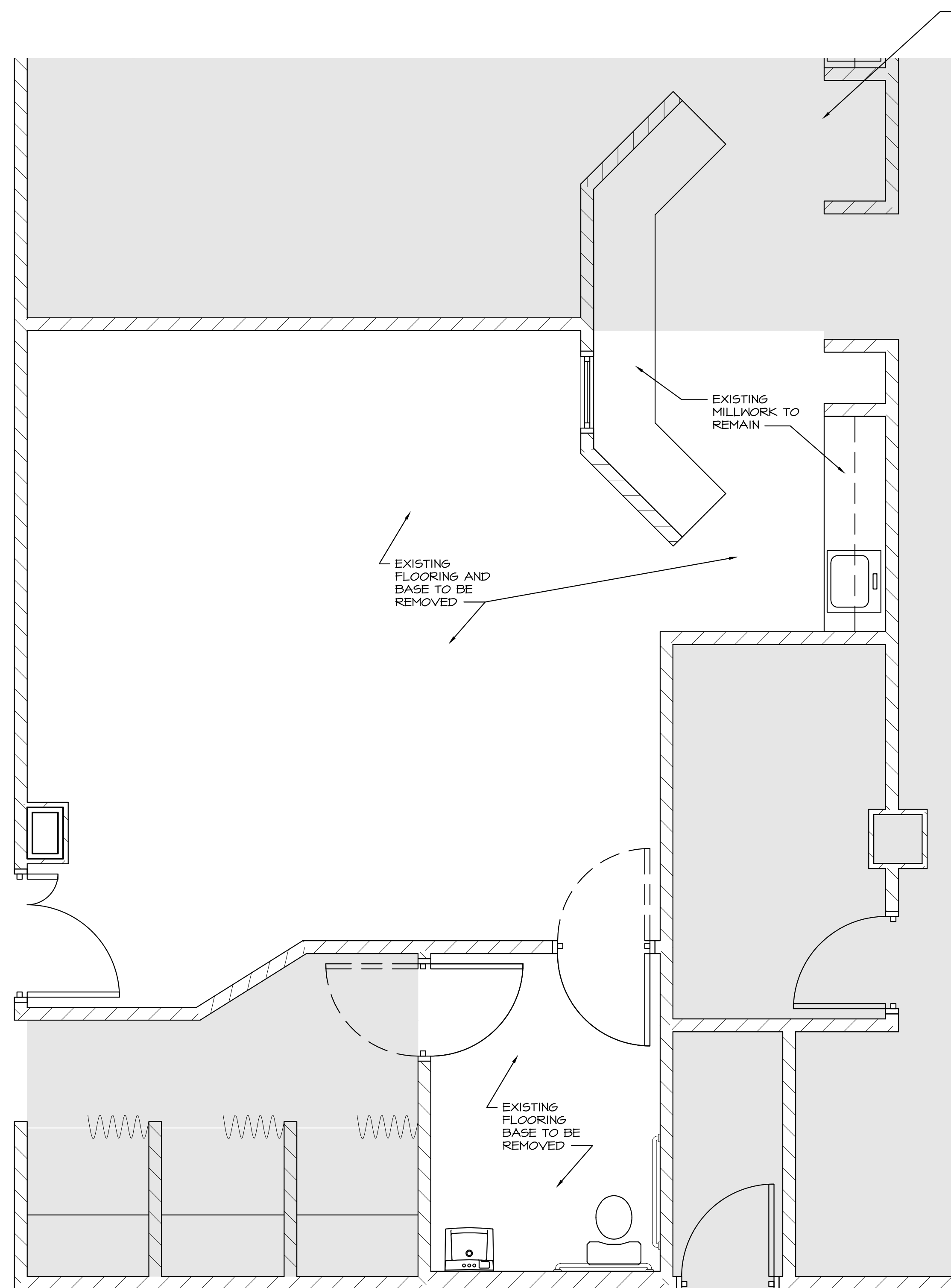
- EXISTING WALL TO REMAIN
- EXISTING WINDOW TO REMAIN
- EXISTING DOOR TO REMAIN

PLAN NOTES:

- CONTRACTORS TO VERIFY ALL FIELD CONDITIONS PRIOR TO COMMENCEMENT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT
- ALL PENETRATIONS, NEW AND EXISTING THROUGH RATED PARTITIONS MUST MEET UL APPROVED STANDARDS - SUBMIT SYSTEM TO ARCHITECT FOR APPROVAL. FIELD VERIFY PRIOR TO BID.
- PROVIDE SOLID WOOD BACKING FOR ALL WALLS TO RECEIVE COUNTERS, CABINETS, DOOR STOPS, SINKS, TOILET ACCESSORIES, CHAIR RAILS, AND OTHER RELATED INSTALLATIONS. THE INSTALLATIONS SHALL BE INSPECTED BY THE ARCHITECT PRIOR TO COVERING WITH DRYWALL.
- THE NOTE HOLD ON DIMENSION STRINGS INDICATE MINIMUM CLEAR FINISH DIMENSIONS.
- PENETRATIONS THROUGH FIRE RATED PARTITIONS WILL BE FIRE CAULKED WITH THE UL SYSTEM NO. W-L-1044.

FINISH NOTES:

- ALL FINISHES SHALL MEET THE REQUIREMENTS OF NCBC 2010 CHAPTER 0, TABLE 003.11:
 - VERTICAL EXITS AND EXIT PASSAGEWAYS - CLASS B
 - EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS - CLASS C
 - ROOMS AND ENCLOSED SPACES - CLASS C
- ALL FINISHES TO BE APPROVED BY TENANT PRIOR TO INSTALLATION.
- PROVIDE APPROPRIATE HANDICAP ACCESSIBLE THRESHOLDS WHERE FLOOR CHANGES MATERIAL.
- SEE FINISH SCHEDULE FOR PLASTIC LAMINATE COLORS.
- ALL EXISTING DRYWALL WALLS WITHIN THE SCOPE AREA SHALL BE PAINTED W/ TWO COATS FLAT FINISH LATEX PAINT AS REQUIRED TO COVER. ALL WALLS SHALL THEN BE PAINTED WITH ONE COLOR, ONE COAT, SEE FINISH SCHEDULE FOR COLORS.
- THE EXISTING DOORS SHALL BE REFINISHED TO MATCH THE EXISTING ADJACENT.
- PROVIDE MINIMUM CLASS II FLOOR FINISH MATERIALS TO COMPLY WITH MINIMUM CRITICAL RADIANT FLUX IN EXIT PASSAGEWAYS AND CORRIDORS. ALL OTHER AREAS MUST COMPLY WITH THE DOC FF-1 'PULL-TEST' (FPC 16 CFR, PART 1630)
- PAINT NEW EXPOSED ELECTRICAL CABLE DUCTING AND CONDUIT, COLOR TO MATCH WALLS.
- PAINT DOOR AND WINDOW FRAMES WITH TWO COATS SEMI GLOSS LATEX PAINT.

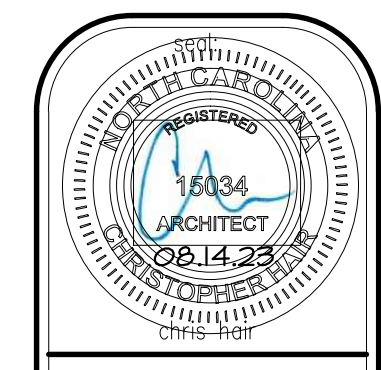


DEMOLITION PLAN
3/8"=1'-0"

FIRST FLOOR PLAN
3/8"=1'-0"

OVERALL FIRST FLOOR PLAN
NTS

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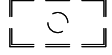


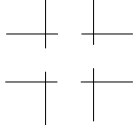
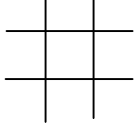

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

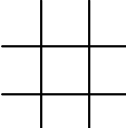
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title: DEMO AND FLOOR PLAN

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CEILING DEMOLITION LEGEND:

-  EXISTING LIGHT FIXTURE TO BE REMOVED
-  EXISTING LIGHT FIXTURE TO BE SALVAGED FOR REINSTALLATION
-  EXISTING SUPPLY REGISTER TO BE SALVAGED FOR REINSTALLATION
-  EXISTING RETURN REGISTER TO BE SALVAGED FOR REINSTALLATION
-  EXISTING ACOUSTICAL CEILING AND GRID TO BE REMOVED
-  EXISTING CEILING AND INSTALLATIONS TO REMAIN
-  EXISTING FIRE SPRINKLER HEAD TO BE SALVAGED FOR REINSTALLATION

CEILING LEGEND:

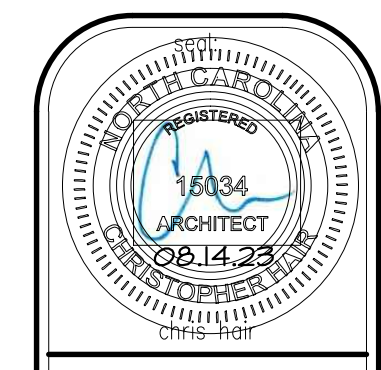
-  EXISTING REINSTALLED 2' x 4' LED LIGHT FIXTURE
 -  NEW 6" RECESSED DIMMABLE LED CAN LIGHT FIXTURE
 -  EXISTING REINSTALLED SUPPLY REGISTER
 -  EXISTING REINSTALLED RETURN REGISTER
 -  EXISTING REINSTALLED FIRE SPRINKLER HEAD
 -  NEW 2 X 2 CEILING IN NEW GRID - PROVIDE TILE AS SPECIFIED
- D = DIMMABLE

CEILING NOTES:

1. ALL CEILING MOUNTED ITEMS, INCLUDING LIGHTS, AND HVAC REGISTERS, SHALL BE CENTERED IN THE TILE. ANY CONFLICTS SHALL BE REPORTED TO THE ARCHITECT UPON DISCOVERY. UNDER NO CIRCUMSTANCES SHALL ANY ITEM BE RELOCATED WITHOUT THE ARCHITECT'S APPROVAL.
2. ALL RECTANGULAR ROOMS SHALL HAVE EQUAL BORDERS UNLESS NOTED OTHERWISE. SEE THE PLANS FOR DENOTED STARTING POINTS AND POINTS OF ALIGNMENT.
3. ALL CEILING HEIGHTS FOR SUSPENDED CEILINGS ARE INDICATED ON THE CEILING PLAN.
4. ALL NEW CEILING GRID SHALL BE ATTACHED TO THE ROOF / FLOOR JOISTS ABOVE AT 4'-0" O.C. (MAX) WITH ASTM A641, CLASS 1 ZINC COATED, SOFT TEMPER, PRE-STRETCHED HANGER WIRE (12 GA) MINIMUM. ALL HANGER WIRE SHALL BE INSTALLED PLUMB AND STRAIGHT. GRID SUSPENSION SYSTEM TO MEET ASTM 635-636.

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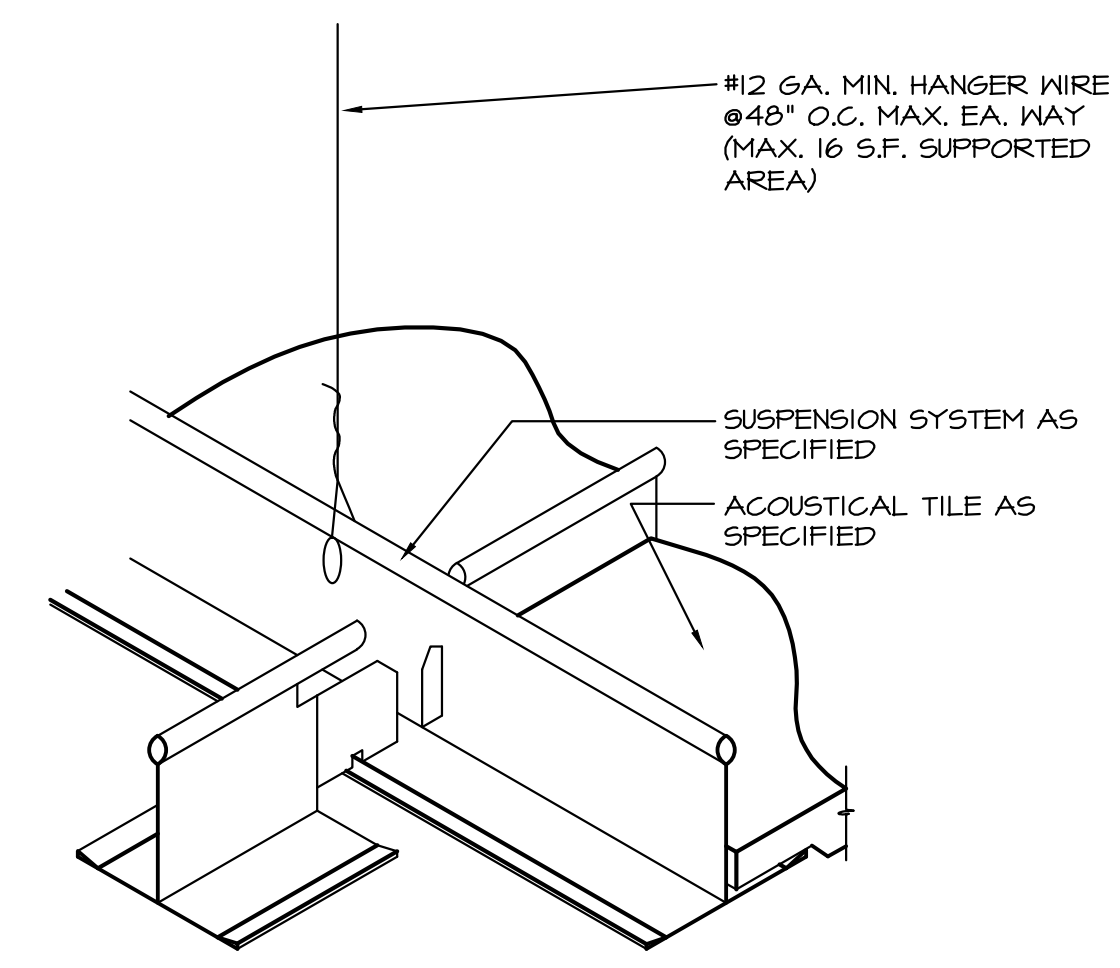
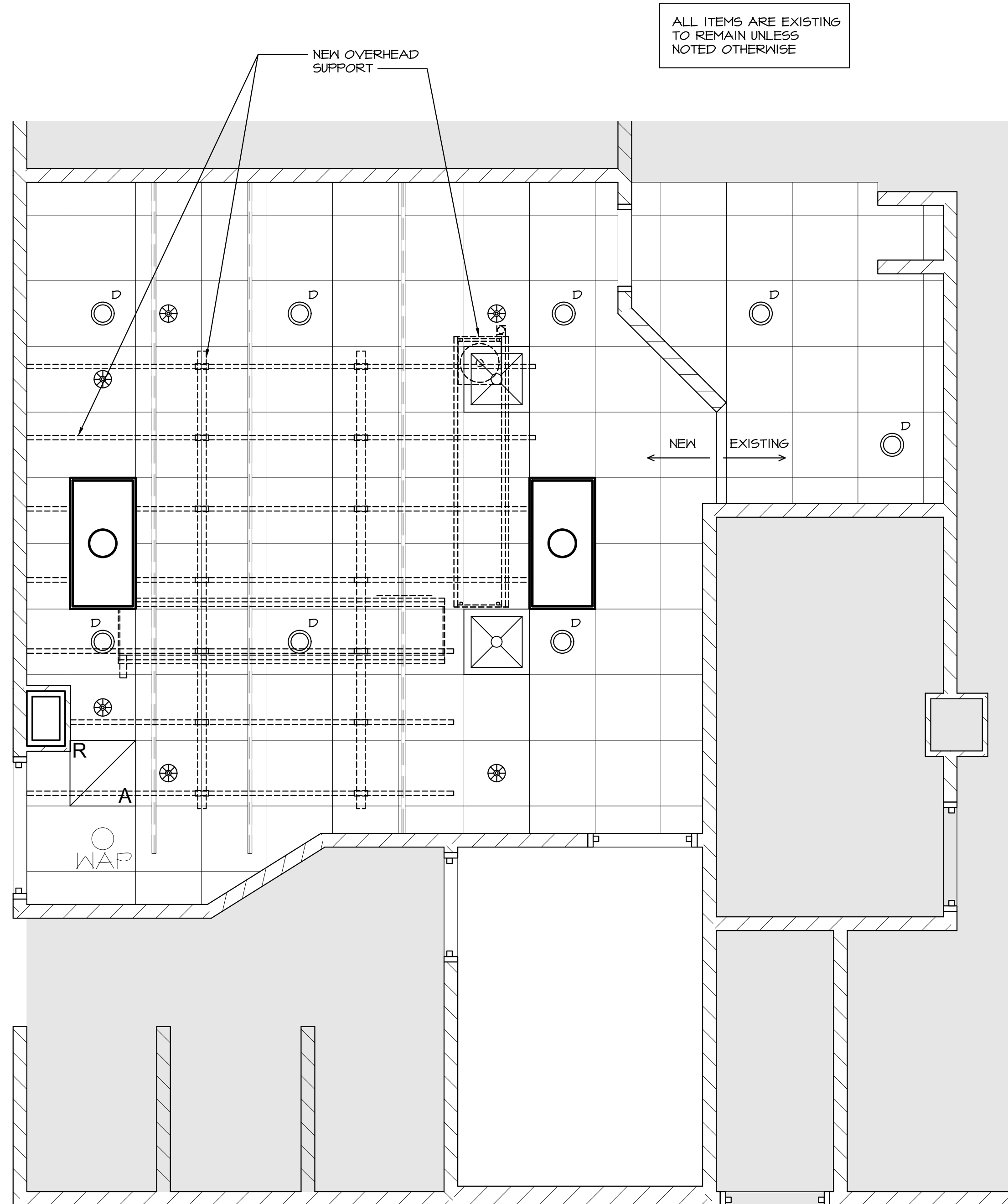
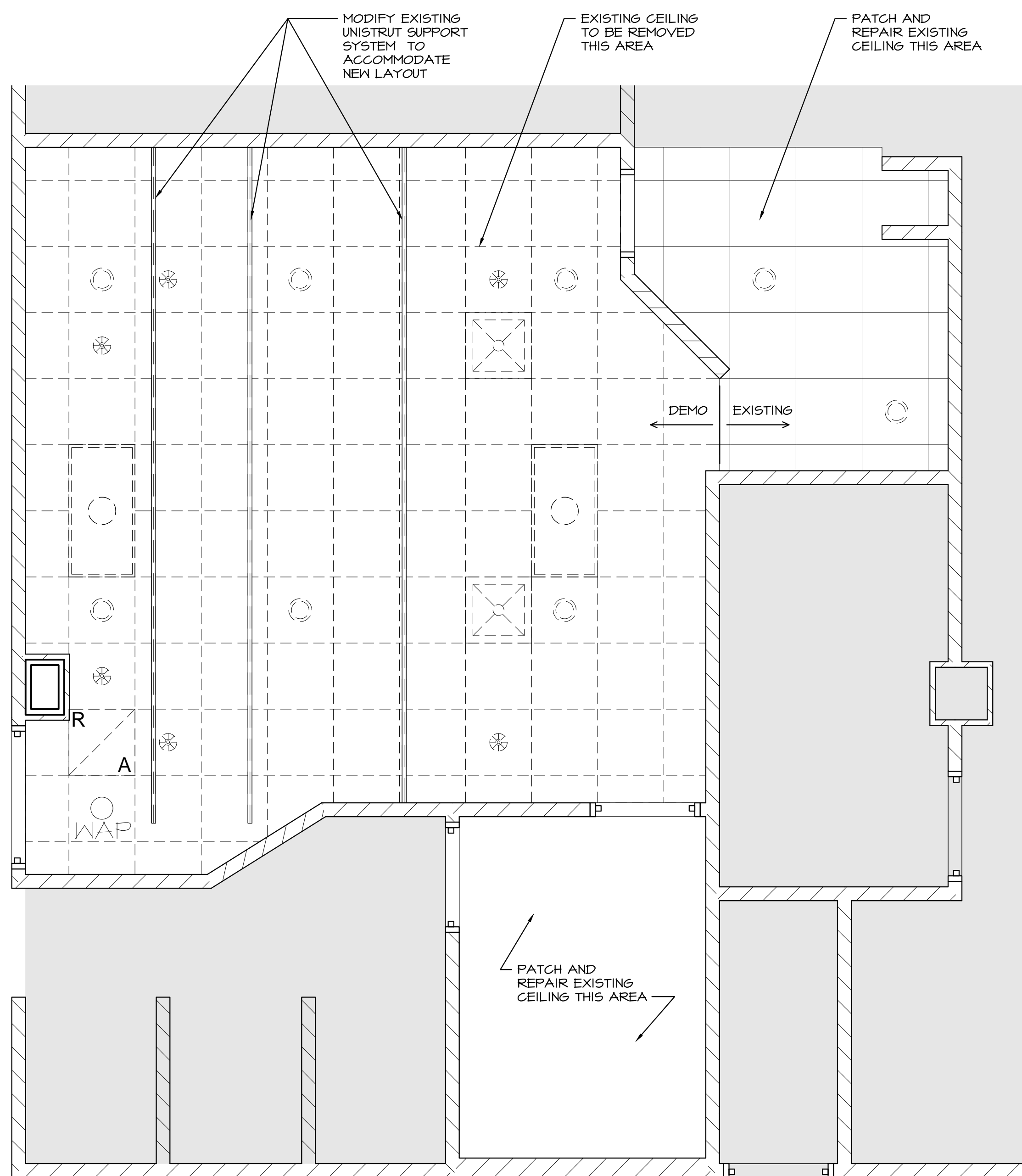


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 title: **DEMO AND REFLECTED CEILING PLAN**

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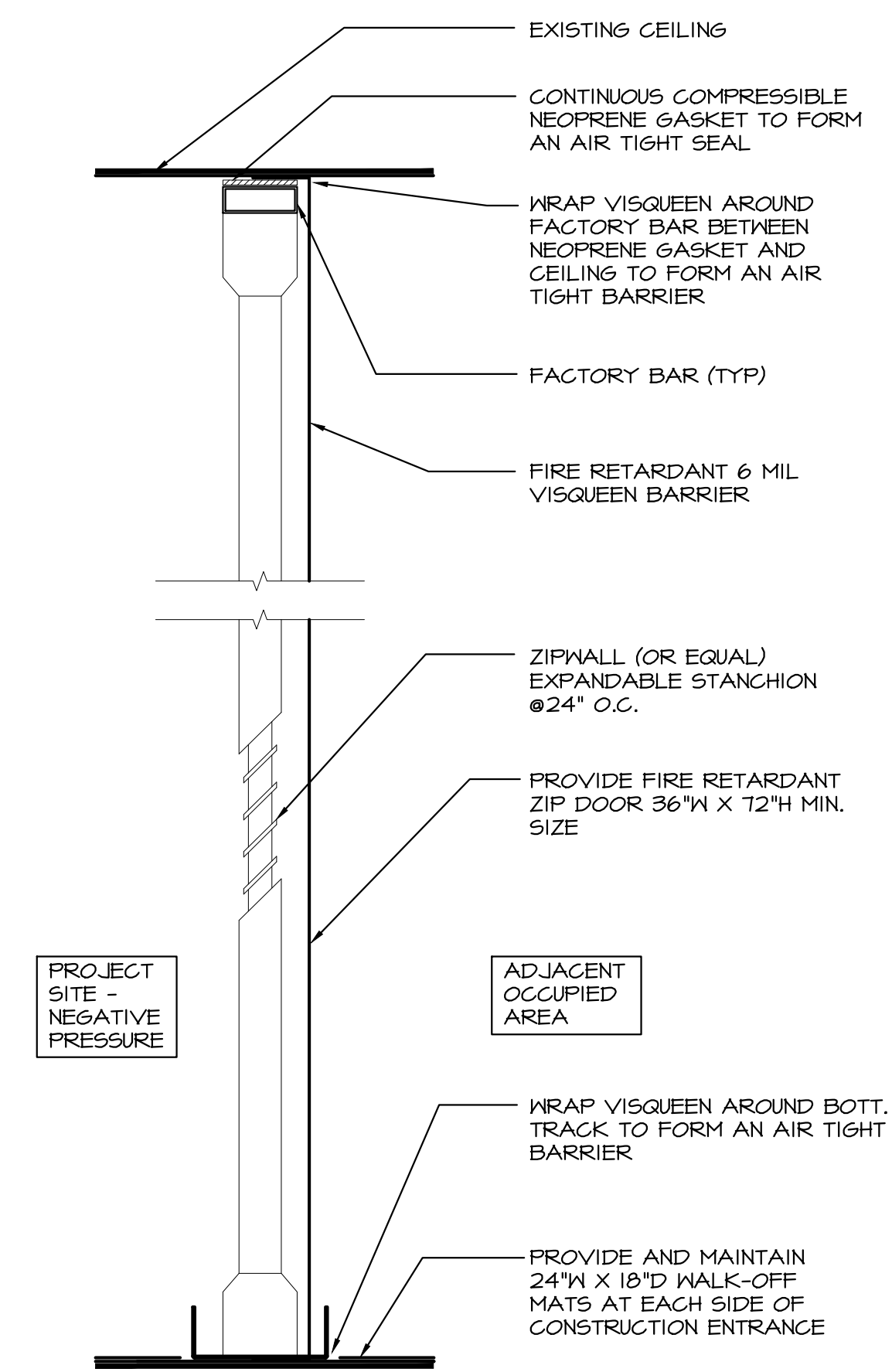


DEMOLITION CEILING PLAN
 3/8" = 1'-0"

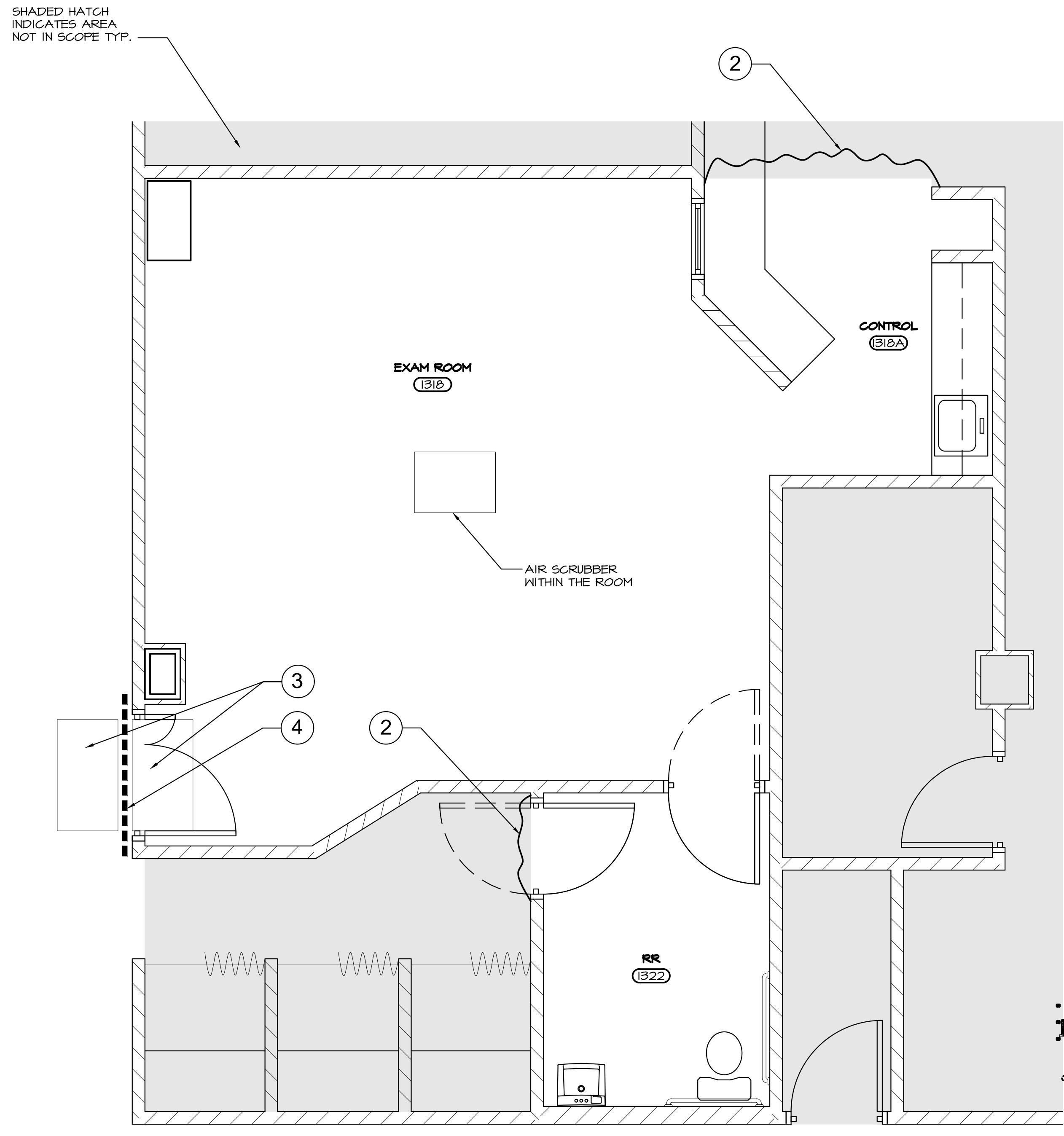
REFLECTED CEILING PLAN
 3/8" = 1'-0"

CEILING GRID DETAIL
 3" = 1'-0"

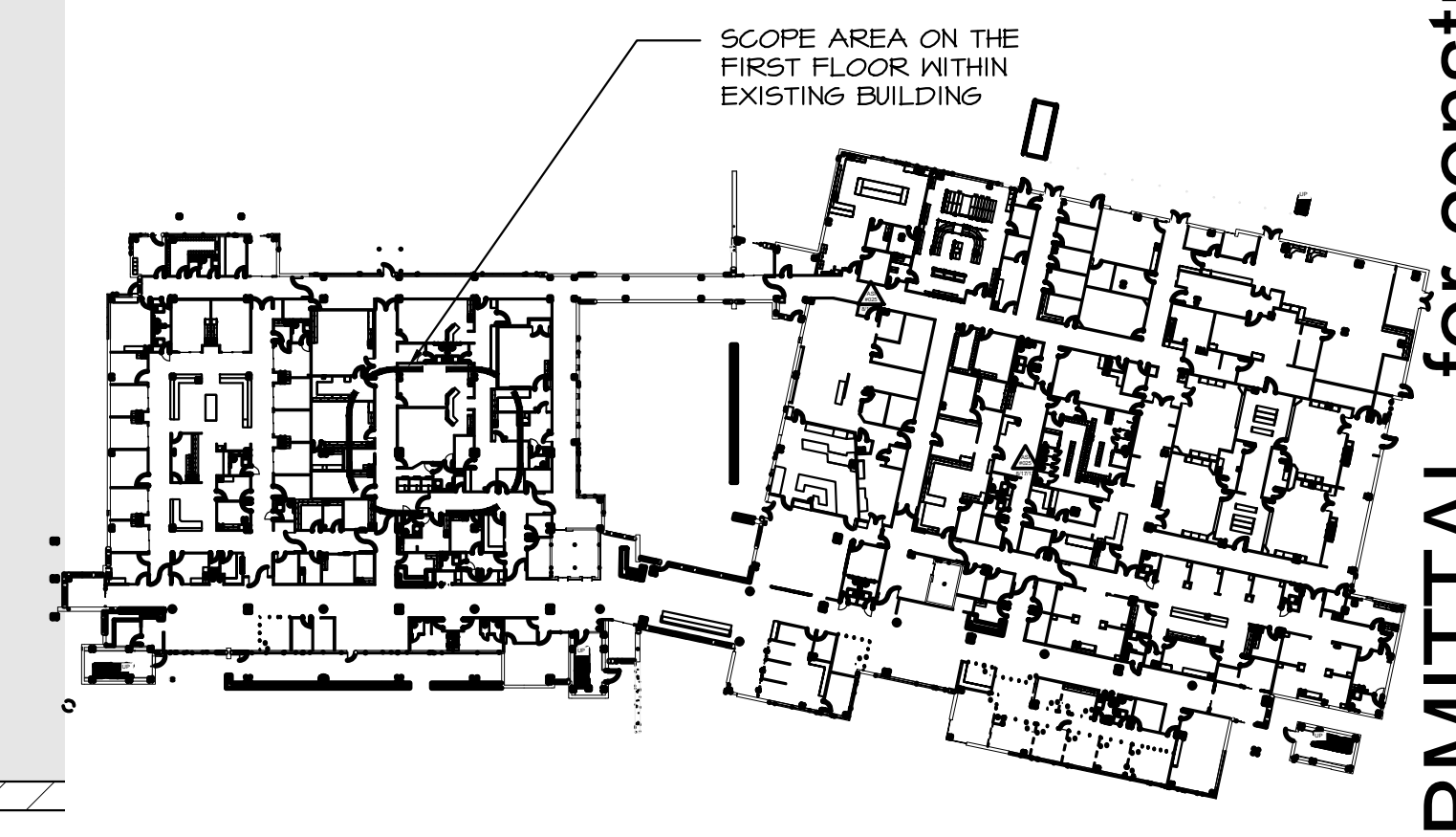
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TEMPORARY ZIPWALL CONTAINMENT BARRIER
 3" = 1'-0" 01-24-01-001 A910



ICRA COORDINATION PLAN
 3/8" = 1'-0"



OVERALL FIRST FLOOR PLAN
 NTS

ICRA PLAN NOTES

1. THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT SITE AND NOTIFY THE ARCHITECT IMMEDIATELY OF DISCREPANCIES.

PLAN KEYNOTES

① PRIOR TO CONSTRUCTION, SEAL OFF APPLICABLE SITE SUPPLY AND RETURN AIR DIFFUSERS AND GRILLES TO MINIMIZE DUST CONTAMINATION OF DUCTWORK AND SURROUNDING AREAS. PROVIDE NEGATIVE PRESSURE WITHIN THE PROJECT AREA RELATIVE TO THE AREAS SURROUNDING THE PROJECT AREA AS WELL AS HEPA AIR FILTRATION. PROVIDE MEANS OF MONITORING THE AIR PRESSURE FOR THE ENTIRE DURATION OF CONSTRUCTION.

② SEAL EXISTING AREA WITH FIRE RETARDANT VISQUEEN ABOVE THE CEILING. TAPE PERIMETER SUCH THAT AN AIR TIGHT BARRIER IS ACHIEVED.

③ PROVIDE WALK-OFF MAT

④ PROVIDE TEMPORARY ZIPWALL CONTAINMENT BARRIER

ICRA CLASSIFICATION DATA

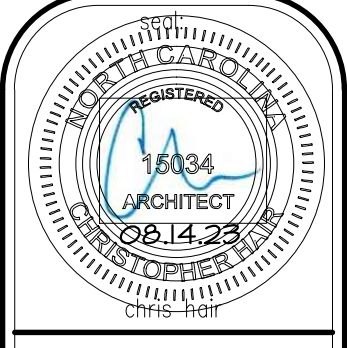
CONSTRUCTION TYPE: I-B
 CONSTRUCTION CLASS: II
 RISK CLASS: MEDIUM

CONSTRUCTION PROTOCOLS

DURING CONSTRUCTION	UPON COMPLETION
1. SEAL SITE SUPPLY AND RETURN AIR DIFFUSERS.	1. DO NOT REMOVE BARRIERS FROM WORK AREA UNTIL COMPLETED PROJECT IS INSPECTED BY THE OWNERS SAFETY DEPARTMENT AND INFECTION CONTROL DEPARTMENT AND THOROUGHLY CLEANED BY THE OWNERS ENVIRONMENTAL SERVICES DEPARTMENT.
2. INSTALL TEMPORARY ZIPWALL BARRIER AS SHOWN ON DETAIL 1, THIS SHEET.	2. REMOVE BARRIER MATERIALS CAREFULLY TO MINIMIZE SPREADING OF DIRT AND DEBRIS ASSOCIATED WITH CONSTRUCTION.
3. PROVIDE A TEMPORARY NEGATIVE AIR UNIT WITH HEPA FILTRATION TO PLACE PROJECT SITE AT NEGATIVE PRESSURE.	3. VACUUM WORK AREA WITH HEPA FILTERED VACUUMS.
4. PROVIDE SHOE COVERS AND TEMPORARY WALK OFF ADHESIVE MATS AT EXIT OF PROJECT AREA.	4. WET MOP AREA WITH DISINFECTANT.
5. CONTAIN CONSTRUCTION WASTE BEFORE TRANSPORT IN TIGHTLY COVERED CONTAINERS.	5. REMOVE ISOLATION OF HVAC SYSTEM IN AREAS WHERE WORK IS BEING PERFORMED.

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