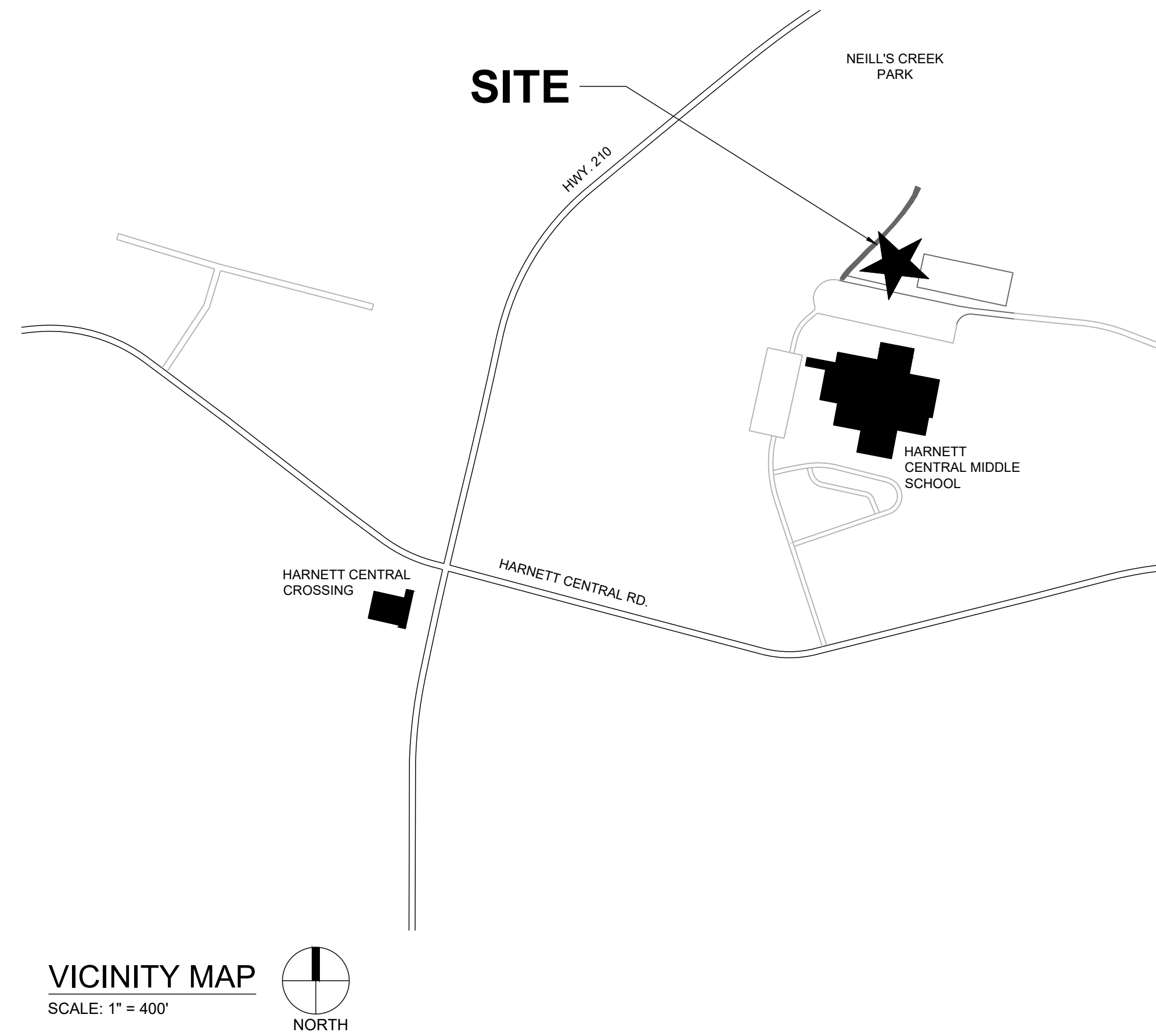


NEILL'S CREEK PARK COMFORT STATION

BLACK RIVER TOWNSHIP, TOWN OF ANGIER,
HARNETT COUNTY, NC

SITE PLAN PERMIT REVIEW

ISSUED DATE: AUGUST 25, 2023



SITE DATA	
PROJECT NAME:	NEILL'S CREEK PARK COMFORT STATION
SITE ADDRESS:	2533 HARNETT CENTRAL RD. ANGIER, NC 27501
COUNTY:	HARNETT
PARCEL PIN #:	0662-33-9744.00
PARCEL OWNER:	HARNETT COUNTY BOARD OF EDUCATION
PARCEL AREA:	20.73 AC
TOTAL SITE GROSS ACREAGE:	20.73 AC
NET ACREAGE:	20.73 AC
CURRENT ZONING:	RA-30
PROPOSED ZONING:	RA-30
EXISTING LAND USE:	PARK
PROPOSED LAND USE:	PARK
FLOOD PLAIN DATA:	ZONE X - FEMA MAP NO. 3720066200J EFFECTIVE 10/03/06
RIVER BASIN:	CAPE FEAR
CONSTRUCTION TYPE:	NON-RESIDENTIAL
MAX BUILDING HEIGHT:	---
PROPOSED BUILDING HEIGHT:	---
PROPOSED BUILDING SQUARE FOOTAGE:	890 SF
TREE CONSERVATION AREA:	0 SF
TOTAL LIMITS OF DISTURBANCE::	0.65 AC / 28,529 SF
EXISTING IMPERVIOUS AREA:	4.39 AC / 191,222 SF
PROPOSED IMPERVIOUS AREA:	0.04 AC / 1,768 SF
PARKING DATA:	
REQUIRED PARKING:	---
PROPOSED PARKING:	---
TOTAL PARKING:	---

UTILITIES IMPROVEMENTS QTY	
PRIVATE SEWER	
4" SEWER SERVICE	575 LF
PRIVATE WATER	
2" WATER MAIN	310 LF

- RIGHT-OF-WAY OBSTRUCTION NOTES:
- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK FOR APPROVAL.
 - THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
 - ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
 - ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
 - ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

INDEX OF DRAWINGS		
Sheet #	SHEET NAME	1ST SUBMITTAL (08.25.2023)
C0.00	COVER SHEET	--
C0.10	GENERAL NOTES	--
C1.00	EXISTING CONDITIONS PLAN	--
C2.00	DEMOLITION PLAN	--
C3.00	OVERALL SITE PLAN	--
C3.01	ENLARGED SITE PLAN	--
C4.00	EROSION CONTROL NOTES	--
C4.01	EROSION CONTROL PLAN (PHASE I)	--
C4.90	EROSION CONTROL DETAILS	--
C5.00	GRADING & STORM DRAINAGE PLAN	--
C5.10	SCM PLAN & DETAILS	--
C5.90	STORM DRAINAGE DETAILS	--
C6.00	UTILITY PLAN	--
C6.10	UTILITY PLAN & PROFILES	--
C6.90	UTILITY DETAILS	--
L3.00	MATERIALS & FINISH PLAN	--
L3.90	SITE DETAILS	--
L7.00	CODE PLANTING PLAN	--
L7.90	PLANTING & SOILS DETAILS	--



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NEILL'S CREEK PARK
COMFORT STATION
BLACK RIVER TOWNSHIP, TOWN OF ANGIER
HARNETT COUNTY, NC

SITE PLAN PERMIT REVIEW

Revisions		
No.	Description	Date

date: 08/25/2023
commission: 22-610
PROJECT #: L23012

COVER SHEET

sheet no.:
Project number: L23012
Issued Date: 08.25.2023
Drawn by: KP, MP
Approved by: CR, PK
C0.00

CLIENT

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - STRUCTURAL

ARCHITECTURE



SAMET CORPORATION
5430 WADE PARK BLVD, SUITE 110
RALEIGH, NC 27607
CONTACT: SAMANTHA DEMERS
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802.477.2881 (C)
sdemers@sametcorp.com



STEWART

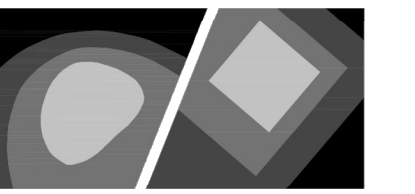
223 S. WEST STREET
SUITE 1100
RALEIGH, NC 27603
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STEWART INC. - CIVIL
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PRACTICE LEADER
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PKISTNER@STEWARTINC.COM

STEWART INC. - LANDSCAPE ARCHITECTURE
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630 N. LIBERTY STREET, SUITE 301
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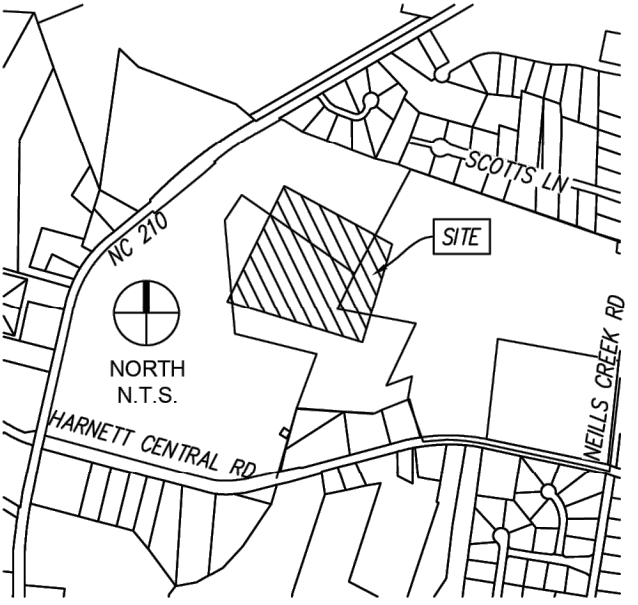


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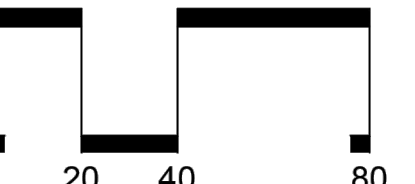
5410 OLD POOLE RD
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T 919.386.8750

FIRM LICENSE # C-1051
www.stewartinc.com
PROJECT # L23012

Vicinity Map:



- LEGEND
- △ CONTROL POINT
 - IPF IRON PIPE FOUND
 - IRF IRON ROD FOUND
 - ▲ CALCULATED POINT
 - STORM CATCH BASIN
 - ⊙ SEWER CLEANOUT
 - ⊙ SEWER MANHOLE
 - ⊙ IRRIGATION VALVE
 - ⊙ SPRINKLER HEAD
 - ⊙ SPH WATER METER
 - ⊙ POWER BOX/METER
 - ⊙ EM POWER METER
 - ⊙ HH HANDHOLE
 - ⊙ GUY WIRE
 - ⊙ LIGHT POLE
 - FF=100.00' FINISH FLOOR ELEV.
 - ⊙ SIGN
 - ⊙ FLAG POLE
 - ⊙ FENCE POST
 - ⊙ GATE
 - CHAIN LINK FENCE
 - E — UNDERGROUND ELECTRIC LINE
 - HVP — UNDERGROUND HIGH VOLTAGE
 - W — UNDERGROUND WATER LINE
 - W — UNDERGROUND WATER LINE OLC/OLD
 - SS — SANITARY SEWER LINE
 - — STORM DRAIN LINE
 - UNKNOWN DESTINATION
 - CONCRETE SURFACE
 - CONCRETE SURFACE
 - PVC POLYVINYL CHLORIDE PIPE
 - RCP REINFORCED CONCRETE PIPE
 - CPP CORRUGATED PLASTIC PIPE
 - CLF CHAIN LINK FENCE



SCALE: 1" = 40'

Title:
EXISTING CONDITIONS SURVEY FOR:

NEILL'S CREEK PARK CONCESSION & RESTROOM

BLACK RIVER TOWNSHIP, TOWN OF ANGIER
HARNETT COUNTY, NORTH CAROLINA
DATE: 04/26/2023 SCALE: 1" = 40'
CONTOUR INTERVAL = 1 FOOT
PREPARED FOR:
SAMET

Revisions:

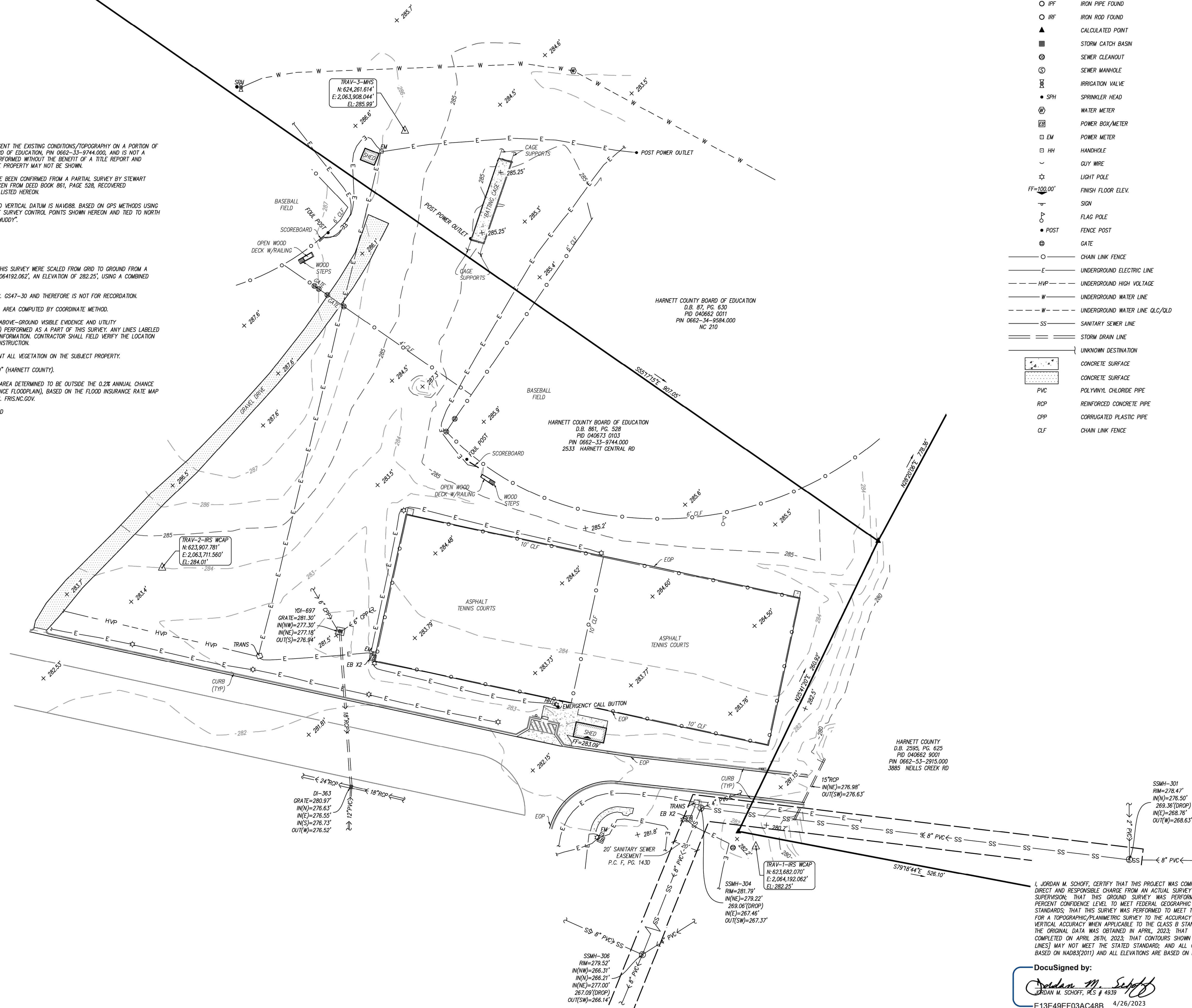
No.	Date	Description



Project #: L23012 Sheet:
Date: 04/26/2023
Drawn by: WJT
Checked by: JMS

C1.00

- ### GENERAL NOTES
- THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY OF HARNETT COUNTY BOARD OF EDUCATION, PIN 0662-33-9744.000, AND IS NOT A BOUNDARY SURVEY. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
 - THE PROPERTY LINES SHOWN HEREON HAVE BEEN CONFIRMED FROM A PARTIAL SURVEY BY STEWART ENGINEERING. PROPERTY LINES SHOWN TAKEN FROM DEED BOOK 861, PAGE 528, RECOVERED MONUMENTATION AND OTHER REFERENCES LISTED HEREON.
 - HORIZONTAL DATUM IS NAD 83 (2011) AND VERTICAL DATUM IS NAVD83. BASED ON GPS METHODS USING REAL-TIME KINEMATIC SOLUTIONS FOR THE SURVEY CONTROL POINTS SHOWN HEREON AND TIED TO NORTH CAROLINA GEODETIC SURVEY MONUMENT "MUDDY".
"MUDDY"
N 615644.31'
E 2061384.36'
EL 251.50'
 - THE INITIAL STATE PLANE POSITIONS FOR THIS SURVEY WERE SCALED FROM GRID TO GROUND FROM A PROJECT LOCATION OF N: 623682.070' E: 2064192.062', AN ELEVATION OF 282.25', USING A COMBINED FACTOR OF 0.99987928.
 - THIS DRAWING DOES NOT CONFORM TO N.C. GS47-30 AND THEREFORE IS NOT FOR RECORDATION.
 - ALL DISTANCES ARE IN U.S. SURVEY FEET. AREA COMPUTED BY COORDINATE METHOD.
 - UTILITIES SHOWN HEREON ARE BASED ON ABOVE-GROUND VISIBLE EVIDENCE AND UTILITY DESIGNATION/MARKING SERVICES (LEVEL B) PERFORMED AS A PART OF THIS SURVEY. ANY LINES LABELED AS OLC OR OLD ARE BASED ON RECORD INFORMATION. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION.
 - TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
 - THE SUBJECT PROPERTY IS ZONED "RA-30" (HARNETT COUNTY).
 - THE SUBJECT PROPERTY LIES IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN), BASED ON THE FLOOD INSURANCE RATE MAP NUMBER 372006200J DATED 10/03/2006. FRIS.NC.GOV.
 - SITE ADDRESS: 2533 HARNETT CENTRAL RD

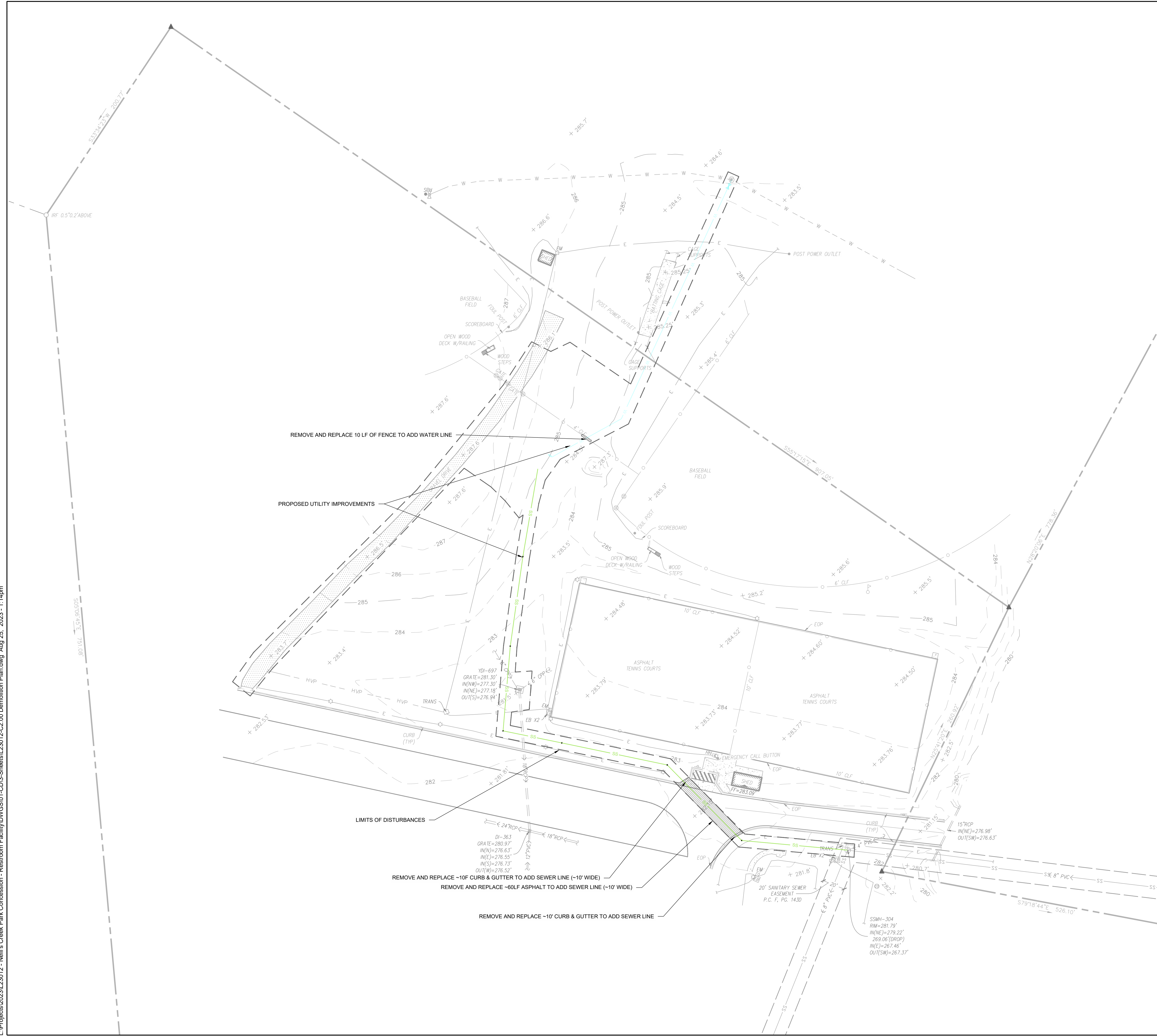


I, JORDAN M. SCHOFF, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS A AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS B STANDARD, AND THAT THE ORIGINAL DATA WAS OBTAINED IN APRIL, 2023; THAT THE SURVEY WAS COMPLETED ON APRIL 26TH, 2023; THAT CONTOURS SHOWN AS [CONTINUOUS LINES] MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NAD83(2011) AND ALL ELEVATIONS ARE BASED ON NAVD 88.

DocuSigned by:
Jordan M. Schoff
JORDAN M. SCHOFF, PLS # 4939
E13E49EF03AC48B... 4/26/2023

G:\Projects\2023\L23012 - Neill's Creek Park Concession & Restroom\OUTGOING\230426-FINAL\L23012-Neill's Creek Park Concession-Restroom_230426.dwg Apr 26, 2023 - 8:56am

L:\Projects\2023\23012 - Neill's Creek Park Concession - Restroom Facility\DWGS\01-CD\3-Sheets\L23012-C2.00 Demolition Plan.dwg Aug 25, 2023 - 1:14pm

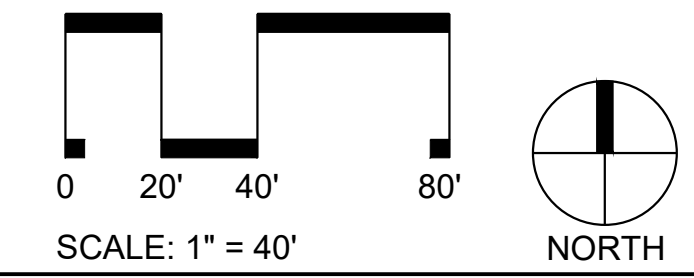


LINETYPE LEGEND:

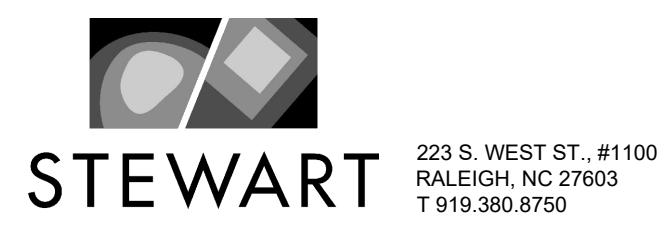
SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
---	SETBACK
BZ	RIPARIAN BUFFER (50')
TP	TREE PROTECTION FENCE
---	ACCESSIBLE ROUTE

DEMOLITION LEGEND:

SYMBOL	DESCRIPTION
[Solid Black]	REMOVE BUILDING
[Diagonal Hatching]	REMOVE ASPHALT
[Stippled]	REMOVE GRAVEL
[Brick Pattern]	REMOVE BRICK
[Concrete Pattern]	REMOVE CONCRETE
[Riprap Pattern]	REMOVE RIPRAP
[Dotted]	REMOVE VEGETATION
[Cross-hatch]	REMOVE TREE
[X]	REMOVE SIGN
[X]	COORDINATE LIGHT POLE REMOVAL
[Curved Line]	REMOVE CURB & GUTTER
W	REMOVE WATER LINE
SS	REMOVE SANITARY SEWER LINE
---	REMOVE STORM DRAINAGE
X	REMOVE FENCE



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NEILL'S CREEK PARK COMFORT STATION

BLACK RIVER TOWNSHIP, TOWN OF ANGER
HARNETT COUNTY, NC

SITE PLAN PERMIT REVIEW

Revisions		
No.	Description	Date

date: 08/25/2023
commission: 22-610
PROJECT #: L23012

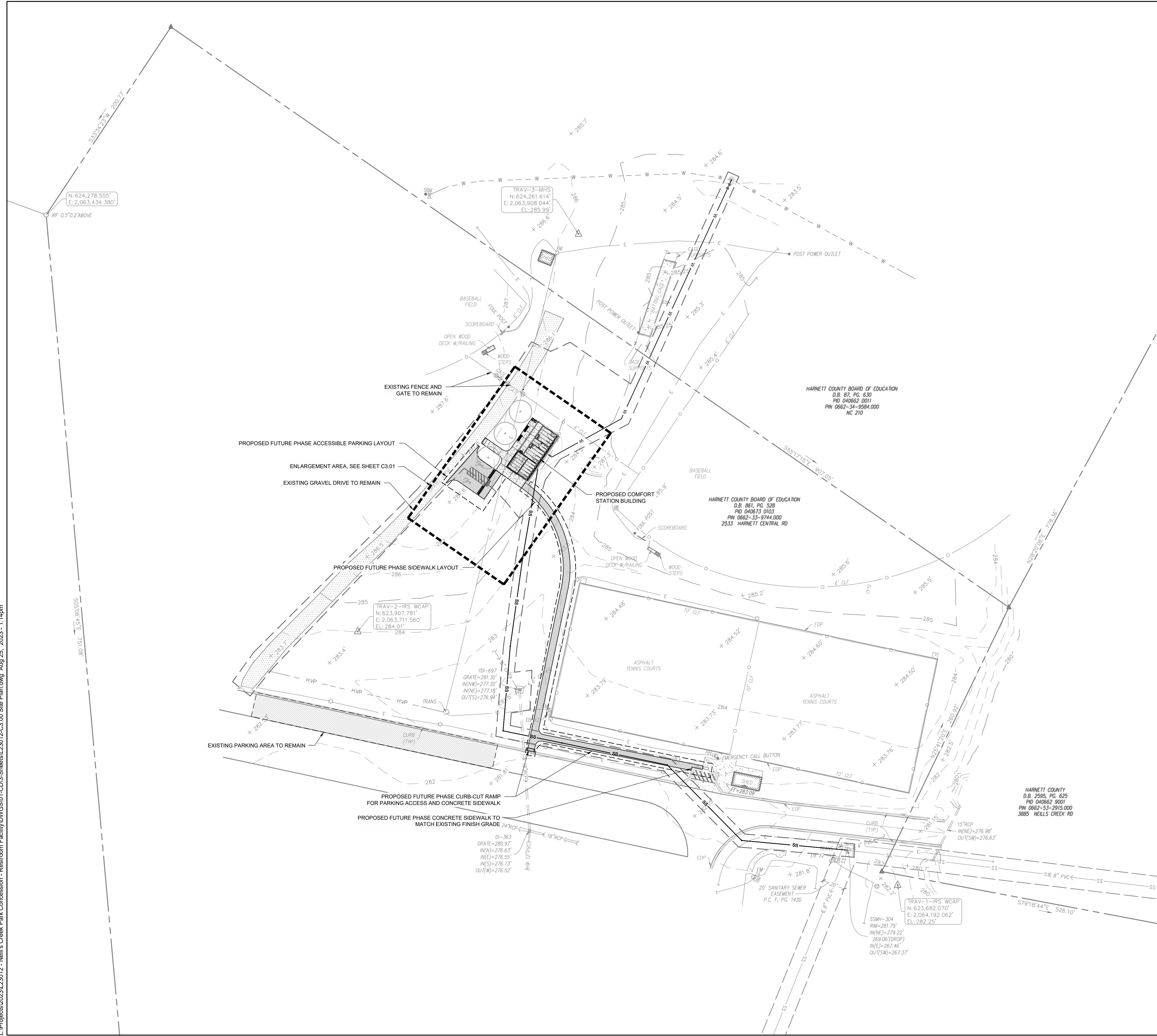
DEMOLITION PLAN

sheet no.:

Project number: L23012
Issued Date: 08.25.2023
Drawn by: MP, KP
Approved by: CR

C2.00

L:\Projects\2023\23012 - Neill's Creek Park Concession - Restroom Facility\DWGS\01-CD\3-Sheets\23012-C3.00 Site Plan.dwg Aug 25, 2023 - 1:14pm



LINETYPE LEGEND:

SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
- - - - -	PROPERTY LINE
- . - . -	EASEMENT
- - - - -	SETBACK
- - - - -	FUTURE PHASE WORK
-----	ENLARGEMENT AREA
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE

SITE LEGEND:

SYMBOL	DESCRIPTION
□	PROPOSED FUTURE PHASE WORK
▨	PROPOSED CONCRETE SIDEWALK
▩	PROPOSED GRAVEL
▧	PROPOSED TRUNCATED DOMES
⊙	PROPOSED LITTER RECEPTACLES
▬	PROPOSED BENCH
---	LIMITS OF DISTURBANCE
▨	FUTURE PHASE CROSSWALK
▬	FUTURE PHASE WHEEL STOP

NOTES:

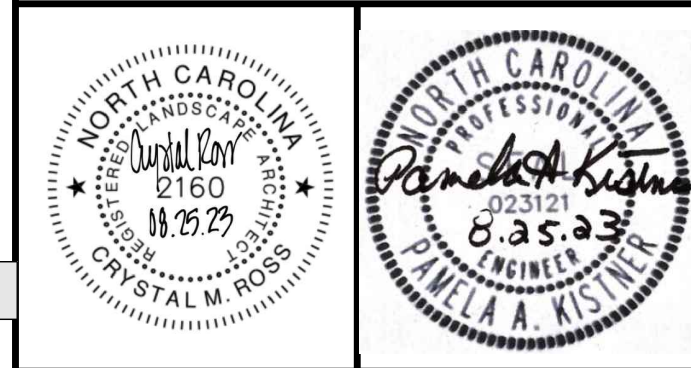
- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.



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SCALE: 1" = 40'



NEILL'S CREEK PARK COMFORT STATION

BLACK RIVER TOWNSHIP, TOWN OF ANGER
HARNETT COUNTY, NC

SITE PLAN PERMIT REVIEW

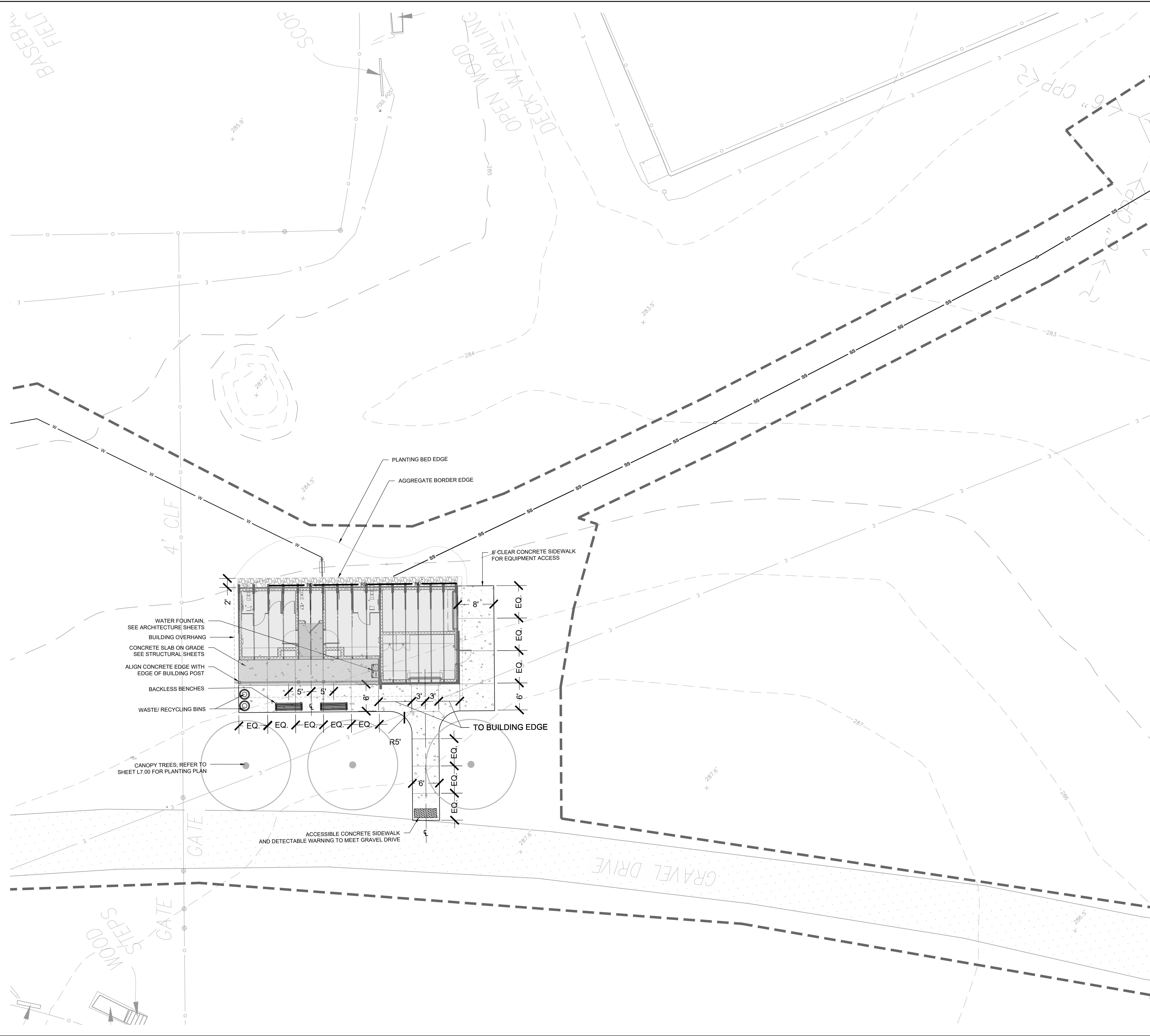
Revisions		
No.	Description	Date

date: 08/25/2023
commission: 22-610
PROJECT #: L23012

sheet title:
**OVERALL SITE PLAN
CURRENT AND FUTURE PHASES**

sheet no.:
Project number: L23012
Issued Date: 08.25.2023
Drawn by: KP
Approved by: CR **C3.00**

L:\Projects\2023\23012 - Neill's Creek Park Concession - Restroom Facility\DWGS\01-CD\3-Sheets\L23012-C3.00 Site Plan.dwg Aug 25, 2023 - 1:14pm



LINETYPE LEGEND:

SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
- - - -	PROPERTY LINE
- · - · -	EASEMENT
- · - · - ·	SETBACK
- · - · - · -	FUTURE PHASE WORK
----	ENLARGEMENT AREA
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE

SITE LEGEND:

SYMBOL	DESCRIPTION
□	PROPOSED FUTURE PHASE WORK
▨	PROPOSED CONCRETE SIDEWALK
▩	PROPOSED GRAVEL
▧	PROPOSED TRUNCATED DOMES
⊙	PROPOSED LITTER RECEPTACLES
▬	PROPOSED BENCH
---	LIMITS OF DISTURBANCE
▨	FUTURE PHASE CROSSWALK
▭	FUTURE PHASE WHEEL STOP

NOTES:

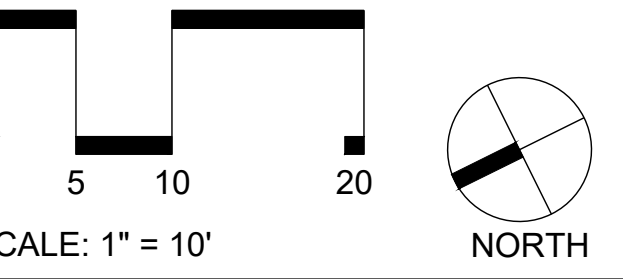
- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.



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NEILL'S CREEK PARK COMFORT STATION

BLACK RIVER TOWNSHIP, TOWN OF ANGER
HARNETT COUNTY, NC

SITE PLAN PERMIT REVIEW

Revisions		
No.	Description	Date

date: 08/25/2023
commission: 22-610
PROJECT #: L23012

ENLARGED SITE PLAN

sheet no.:
Project number: L23012
Issued Date: 08.25.2023
Drawn by: KP
Approved by: CR

C3.01

L:\Projects\2023\202312 - Neill's Creek Park Concession - Restroom Facility\DWGS\01-CD\3-Sheets\23012-C4.00 Erosion Control Plan.dwg Aug 25, 2023 - 1:14pm

SEEDING PREPARATION:

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONED, IF AVAILABLE.
2. RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
3. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4. APPLY ALL AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
5. CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, REASONABLY UNIFORM 4 TO 6 INCHES DEEP SEEDBED IS PREPARED.
6. SEED ON A FRESHLY PREPARED SEED BED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDING WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
9. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDING WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 50% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES AND LANDSCAPING PLANS.
10. SEE LANDSCAPING PLANS FOR PERMANENT SEEDING, MULCHING, AND FERTILIZING RATES. ALL AREAS NOT DESIGNATED TO RECEIVE PLANTS SHALL BE SEEDED PER THE LANDSCAPING PLANS.

TEMPORARY SEEDING PREPARATION:

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL, THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. RIP THE ENTIRE AREA TO SIX INCHES DEEP.
3. REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4. APPLY AGRICULTURAL LIME, FERTILIZER AND SUPER PHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE ADMIXTURE BELOW).
5. CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.
6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RE-SEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE MORE THAN 60% DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
9. CONSULT S&EC ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

SEEDING SCHEDULE

SHOULDERS, SIDE DITCHES, SLOPES (MAX 3:1)			
DATE	TYPE	PLANTING RATE	
AUG 15 - NOV 1	TALL FESCUE	300 LBS/ACRE	
NOV 1 - MAR 1	TALL FESCUE & ABRUZZI RYE	300 LBS/ACRE 25 LBS/ACRE	
MAR 1 - APR 15	TALL FESCUE	300 LBS/ACRE	
APR 15 - JUN 30	HULLED COMMON BERMUDAGRASS	25 LBS/ACRE	
JUL 1 - AUG 15	TALL FESCUE	120 LBS/ACRE	
	***BROWNTOP MILLET	35 LBS/ACRE	
	***OR SORGHUM-SUDAN HYBRIDS	30 LBS/ACRE	
SLOPES (3:1 TO 2:1)			
DATE	TYPE	PLANTING RATE	
MAR 1 - JUN 1	***BROWNTOP MILLET	50 LBS/ACRE	
(MAR 1 - APR 15)	ADD TALL FESCUE OR ADD HULLED COMMON BERMUDAGRASS	120 LBS/ACRE (MAR 1 - JUN 30) 25 LBS/ACRE	
JUN 1 - SEP 1	***TALL FESCUE AND ***BROWNTOP MILLET ***OR SORGHUM-SUDAN HYBRIDS	120 LBS/ACRE 35 LBS/ACRE 30 LBS/ACRE	
SEP 1 - MAR 1	ANNUAL RYE AND TALL FESCUE ADD ABRUZZI RYE	70 LBS/ACRE 120 LBS/ACRE (NOV 1 - MAR 1) 25 LBS/ACRE	

CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDEED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

***TEMPORARY - RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING, OTHERWISE FESCUE MAY BE SHADED OUT.

ADMIXTURES:

AGRICULTURAL LIMESTONE: 2 TONS/ACRE
 FERTILIZER: 1,000 LBS/ACRE - 10-10-10
 SUPERPHOSPHATE: 500 LBS/ACRE - 20% ANALYSIS
 MULCH: 2 TONS/ACRE - SMALL GRAIN STRAW
 ANCHOR: ASPHALT EMULSION AT 300 GALS/ACRE

EROSION CONTROL NOTES:

1. REFER TO C3.00 FOR GENERAL NOTES.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN BEST LOCATION BASED ON FIELD CONDITIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONSTRUCTION ENTRANCES AS NECESSARY TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE. THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE, IF ANY PERMANENT METHODS ARE REQUIRED.
5. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
6. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR AND ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
7. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE LIMITS OF DISTURBANCE (L.O.D.) SHALL BE PERMITTED. THE L.O.D. SHALL BE MAINTAINED BY THE ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
8. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
9. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G., ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.).
10. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT. COPIES OF THE WRITTEN INSPECTION REPORTS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE TWICE PER WEEK AND AFTER RAINS OF GREATER THAN 0.5". RAIN GAUGE REQUIRED ON SITE.
11. ANY AREAS OF EXPOSED SOILS THAT WILL NOT BE DISTURBED FOR FOURTEEN DAYS SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
12. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN FORTY EIGHT (48) HOURS FOLLOWING A STORM EVENT.
13. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
14. STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
15. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE A MINIMUM THICKNESS OF 2 TO 3 INCHES.
16. INTERIM SLOPES MAY BE GRADED TO A MAXIMUM SLOPE OF 2:1 (HORIZONTAL-VERTICAL); CUT SLOPES SHALL BE LIMITED TO A MAXIMUM SLOPE OF 1.5:1.
17. THE SURFACE OF AREAS SLOPES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL THAT ARE TO RECEIVE INTERIM FILL SHALL BE PLOWED, FURROWED, TILLED OR BROKEN UP PRIOR TO PLACING FILL SO THAT FILL MATERIAL WILL BOND WITH EXISTING SURFACE. INTERIM FILL SHALL BE PLACED AS SPECIFIED FOR PERMANENT FILLS AND IN LIFTS NOT GREATER THAN 6".
18. PROVIDE DUST CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, WETTING DOWN TO CONTROL DUST ON SITE. IN ORDER TO PREVENT ANNOYANCE AND OR DAMAGE TO ADJACENT SITES, CALCIUM CHLORIDE OR ANY OTHER CHEMICAL MATERIAL MAY NOT BE USED ON SUBGRADES OF AREAS TO BE SEEDED OR PLANTED.
19. SEDIMENT LADEN RUNOFF FROM EXCAVATIONS SHALL NOT BE PUMPED DIRECTLY TO STORM DRAINAGE.
20. INSPECTOR REFERS TO LOCAL JURISDICTIONAL (NC DENR OR LOCAL) LAND QUALITY INSPECTOR OR HIS REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR.
21. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH AND NATURAL RESOURCES LAND QUALITY SECTION EROSION AND SEDIMENT CONTROL PLANNING LAND DESIGN MANUAL.
22. NOTIFICATION OF LAND RESOURCES SEDIMENT AND EROSION CONTROL SELF-INSPECTION PROGRAM: THE PERSON RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES IS REQUIRED TO INSPECT THE PROJECT AFTER EACH PHASE OF THE PROJECT AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ACCORDANCE WITH NCGS 113A-54.1 AND 15A NCAC 4B.0131 TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. THE SELF-INSPECTION REPORT FORM IS AVAILABLE AS AN EXCEL SPREADSHEET FORM [HTTP://WWW.DLR.ENR.STATE.NC.US/PAGES/SEDIMENTATION_NEW.HTML](http://www.dlr.enr.state.nc.us/pages/sedimentation_new.html)

SEQUENCE OF CONSTRUCTION ACTIVITIES:

1. OBTAIN GRADING PERMIT.
2. DETERMINE AND MARK LIMITS OF DISTURBANCE.
3. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. THE EROSION CONTROL INSPECTOR, ARCHITECT, ENGINEER, AND CONTRACTOR SHALL BE PRESENT TO SATISFY REQUIREMENTS.
4. INSTALL CONSTRUCTION ENTRANCE, TREE PROTECTION FENCING, SILT FENCE, PERIMETER EROSION CONTROL DEVICES AND ALL REQUIRED BASINS AND TRAPS.
5. SCHEDULE SITE INSPECTION.
6. UPON APPROVAL TO PROCEED BY THE EROSION CONTROL INSPECTOR, HARVEST ANY TIMBER.
7. CONSTRUCT REMAINING EROSION CONTROL MEASURES AS REQUIRED.
8. REMOVE AND/OR STORE TOPSOIL.
9. BEGIN GRADING OPERATIONS.
10. CLEAN SEDIMENT BASINS/TRAPS WHEN ONE-HALF FULL.
11. ALL STREETS SURROUNDING THE PROJECT SHALL BE KEPT CLEAN AT ALL TIMES.
12. PLACE TEMPORARY SEEDING ON ALL DISTURBED AREAS THAT WILL BE IDLE 14 DAYS OR LONGER.
13. PERMANENT SURFACE STABILIZATION SHALL BE INSTALLED FOR ALL AREAS WITHIN 14 DAYS AFTER FINAL GRADE HAS BEEN REACHED. AS NECESSARY, FERTILIZE, WATER AND RESEED AS REQUIRED TO ESTABLISH AND MAINTAIN A VIGOROUS STAND OF GRASS.
14. AFTER COMPLETION OF CONSTRUCTION AND THE SITE IS STABILIZED, REMOVE ALL ACCUMULATED SEDIMENT FROM SEDIMENT TRAPPING MEASURES AND DISPOSE BY MEANS DEEMED ACCEPTABLE BY THE ENGINEER. SCHEDULE SITE INSPECTION. UPON APPROVAL BY THE EROSION CONTROL INSPECTOR, REMOVE TEMPORARY EROSION CONTROL MEASURES, SMOOTH AREA AND APPLY APPROPRIATE STABILIZATION.
15. STORMWATER PERMIT INSPECTION REPORTS SHALL BE PERFORMED BY THE CONTRACTOR UNTIL NOTIFIED OTHERWISE BY THE EROSION CONTROL INSPECTOR.

NOTES:

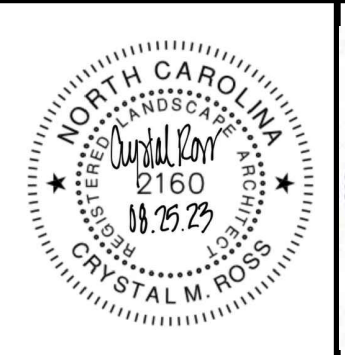
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**NEILL'S CREEK PARK
 COMFORT STATION**
 BLACK RIVER TOWNSHIP, TOWN OF ANGER
 HARNETT COUNTY, NC

CONSTRUCTION DOCUMENTS

Revisions		
No.	Description	Date

date: 08/25/2023
 commission: 22-610

EROSION CONTROL NOTES

sheet no.:
 Project number: L23012
 Issued Date: 07/11/2023
 Drawn by: MP
 Approved by: PK
4.00

TOTAL AREA OF DISTURBANCE
0.65 AC / 28,529 SF

L:\Projects\2023\23012 - Neill's Creek Park Concession - Restroom Facility\DWGS\01-CD3-Sheets\L23012-C4.00 Erosion Control Plan.dwg Aug 25, 2023 - 1:15pm



LINETYPE LEGEND:

SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
---	SETBACK
---	BZ RIPARIAN BUFFER (50')
---	TP TREE PROTECTION FENCE
---	ACCESSIBLE ROUTE

EROSION CONTROL LEGEND:

SYMBOL	DESCRIPTION
[Symbol]	BLOCK & GRAVEL INLET PROTECTION
[Symbol]	SILT FENCE & WIRE INLET PROTECTION
[Symbol]	HORSESHOE INLET PROTECTION
[Symbol]	SILT FENCE OUTLET
[Symbol]	CHECK DAM
[Symbol]	FLARED END SECTION
[Symbol]	SEDIMENT TRAP
[Symbol]	RIP RAP DISSIPATER
[Symbol]	TEMPORARY CONSTRUCTION ENTRANCE
[Symbol]	SILT FENCE
[Symbol]	DIVERSION DITCH
[Symbol]	100 YEAR FLOOD ELEVATION

NOTES:

- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.
- SEE SHEET C4.00 FOR EROSION CONTROL NOTES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA EROSION CONTROL SPECIFICATIONS.



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NEILL'S CREEK PARK COMFORT STATION

BLACK RIVER TOWNSHIP, TOWN OF ANGER
HARNETT COUNTY, NC

SITE PLAN PERMIT REVIEW

Revisions		
No.	Description	Date

date: 08/25/2023
commission: 22-610
PROJECT #: L23012

sheet title:
**EROSION CONTROL
PLAN (PHASE I)**

sheet no.:
Project number: L23012
Issued Date: 08.25.2023
Drawn by: MP
Approved by: PK **C4.01**

L:\Projects\2023\23012 - Neill's Creek Park Concession - Restroom Facility\DWGS\01-CD3-Sheets\L23012-C4.00 Erosion Control Plan.dwg Aug 25, 2023 - 1:15pm



LINETYPE LEGEND:

SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
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EROSION CONTROL LEGEND:

SYMBOL	DESCRIPTION
[Symbol]	BLOCK & GRAVEL INLET PROTECTION
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[Symbol]	RIP RAP DISSIPATER
[Symbol]	TEMPORARY CONSTRUCTION ENTRANCE
[Symbol]	SILT FENCE
[Symbol]	DIVERSION DITCH
[Symbol]	100 YEAR FLOOD ELEVATION

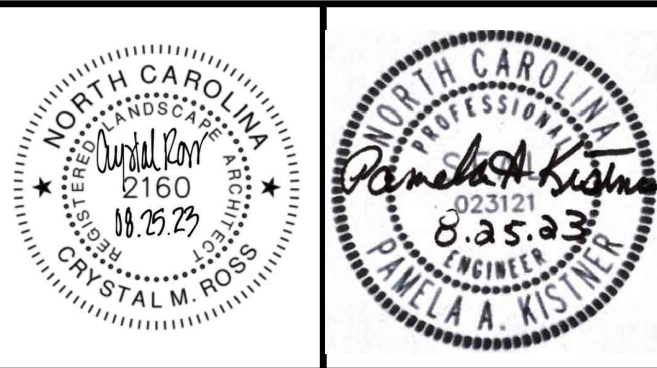
NOTES:

- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.
- SEE SHEET C4.00 FOR EROSION CONTROL NOTES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA EROSION CONTROL SPECIFICATIONS.

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NEILL'S CREEK PARK COMFORT STATION

BLACK RIVER TOWNSHIP, TOWN OF ANGER
HARNETT COUNTY, NC

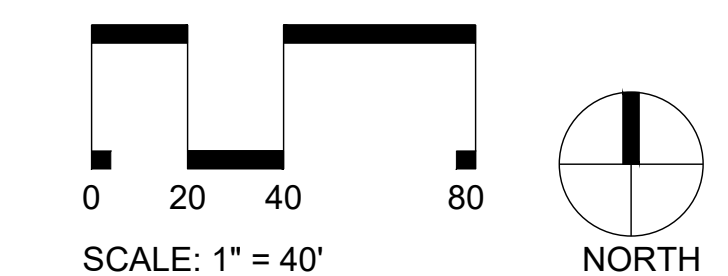
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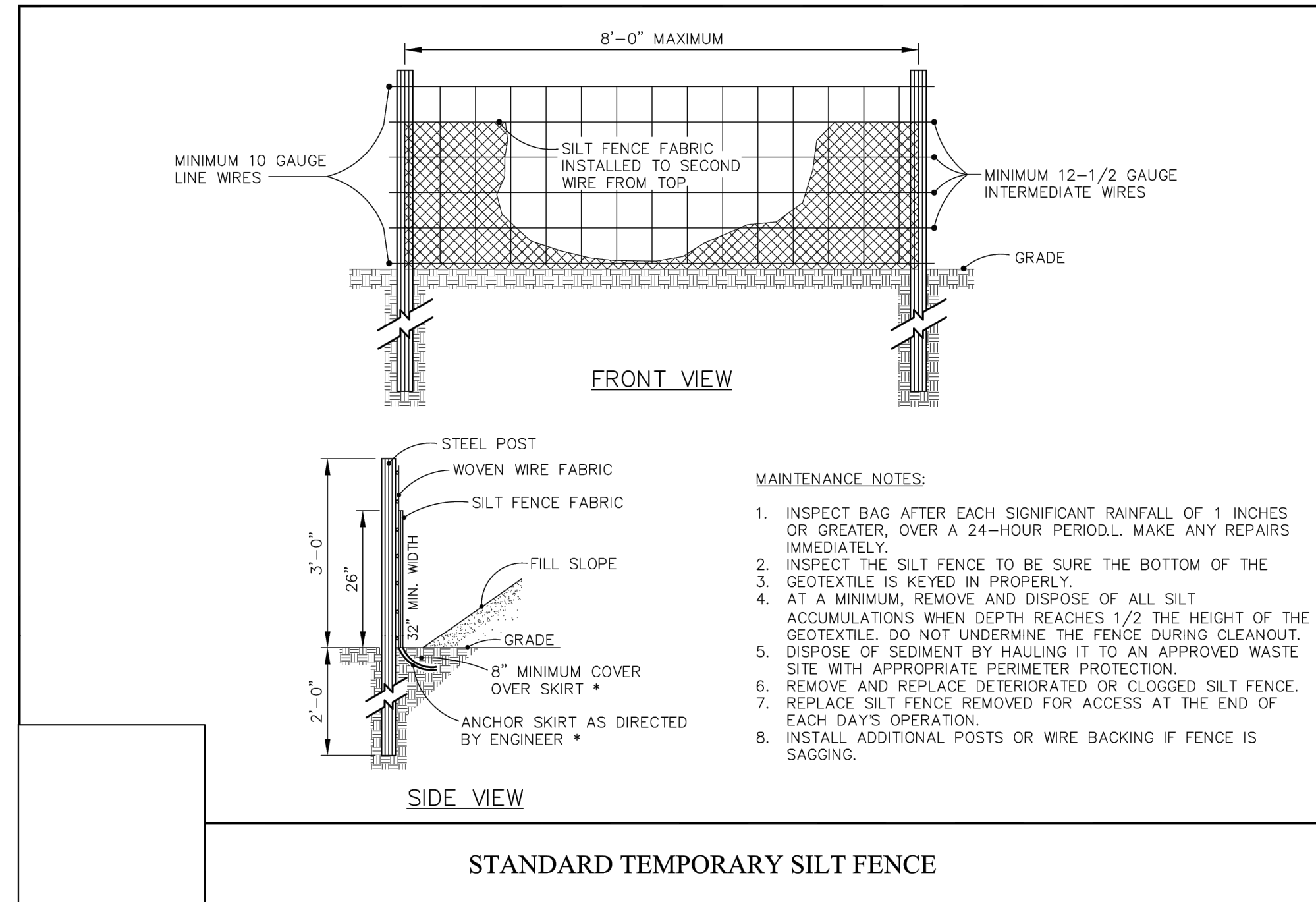
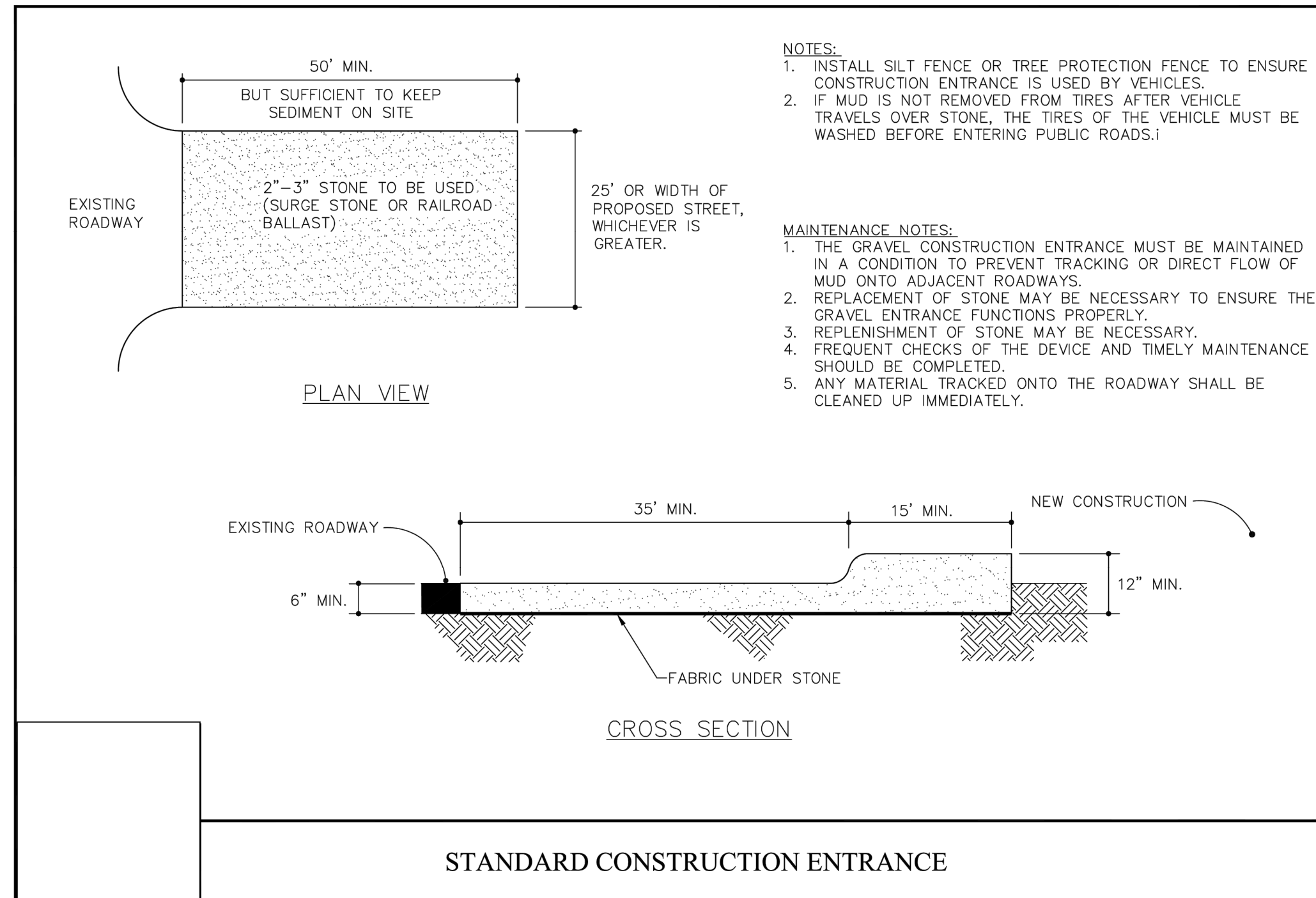
Revisions		
No.	Description	Date

date: 08/25/2023
commission: 22-610
PROJECT #: L23012

sheet title:
**EROSION CONTROL
PLAN (PHASE II)**

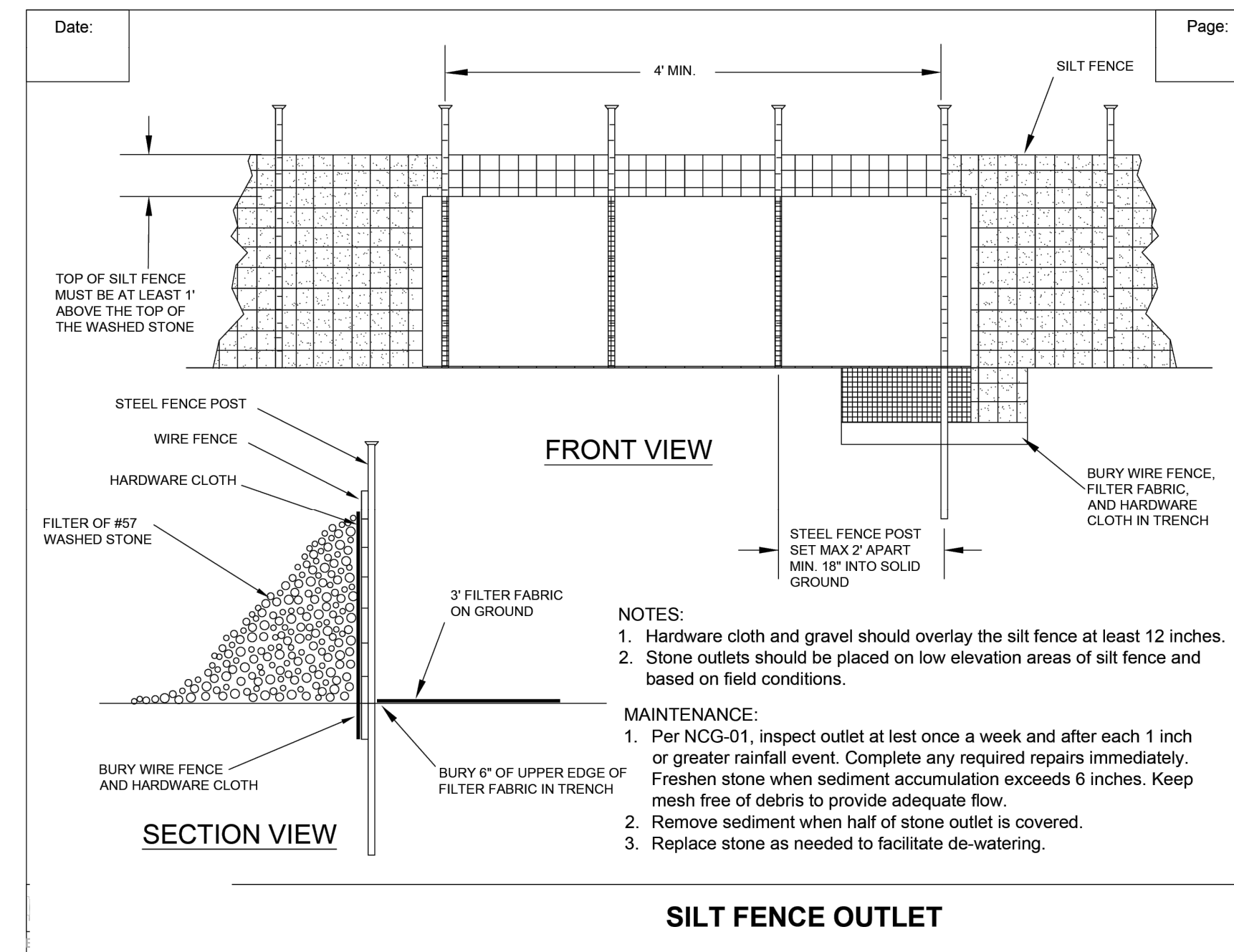
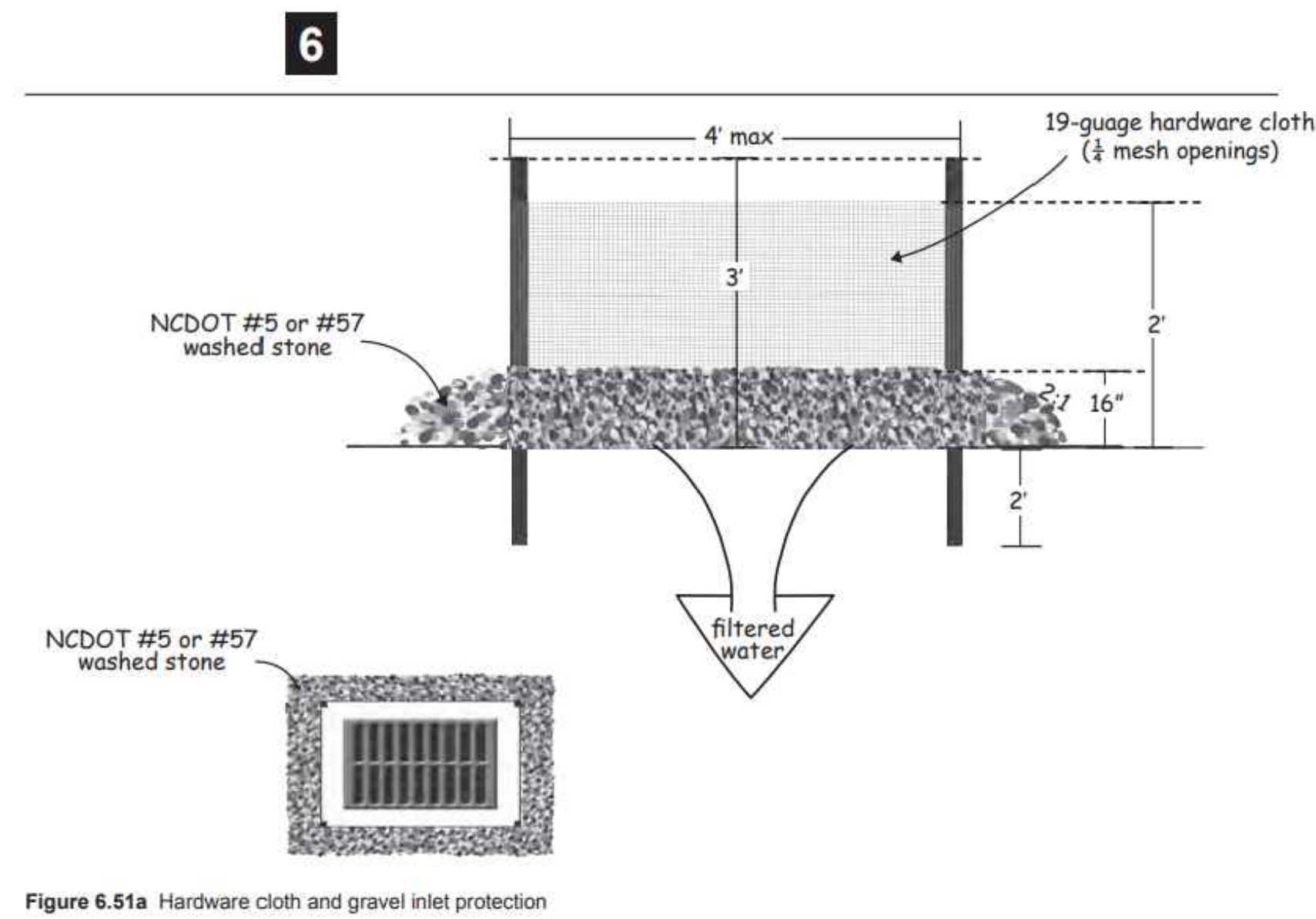
sheet no.:
Project number: L23012
Issued Date: 08.25.2023
Drawn by: MP
Approved by: PK **C4.02**





1 STANDARD CONSTRUCTION ENTRANCE SECTION NTS

2 STANDARD TEMPORARY SILT FENCE SECTION NTS



3 STANDARD INLET PROTECTION SECTION NTS

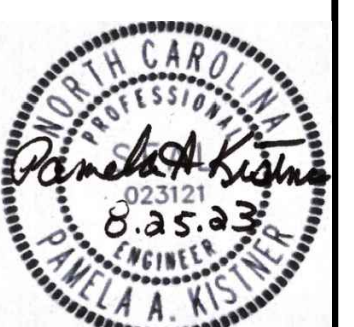
4 STANDARD INLET PROTECTION SECTION NTS

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**NEILL'S CREEK PARK
COMFORT STATION**
BLACK RIVER TOWNSHIP, TOWN OF ANGER
HARNETT COUNTY, NC

SITE PLAN PERMIT REVIEW

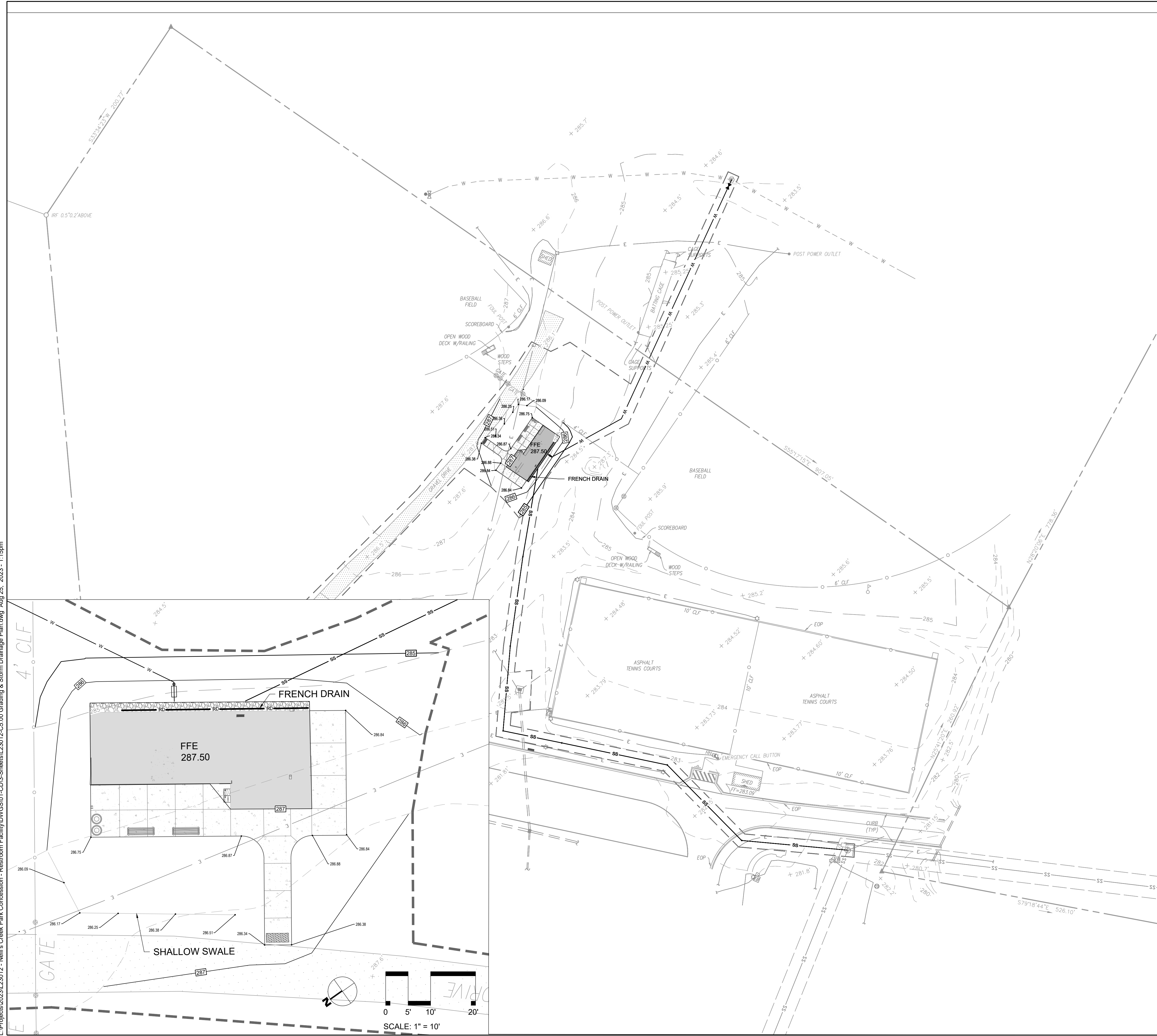
Revisions		
No.	Description	Date

date: 08/25/2023
commission: 22-610
PROJECT #: L23012

sheet title:
**EROSION CONTROL
DETAILS**

sheet no.:
Project number: L23012
Issued Date: 08.25.2023
Drawn by: MP
Approved by: PK **C4.90**

L:\Projects\2023\23012 - Neill's Creek Park Concession - Restroom Facility\DWGS\01-CD\3-Sheets\L23012-C5.00 Grading & Storm Drainage Plan.dwg, Aug 25, 2023 - 1:15pm



LINETYPE LEGEND:

SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
---	SETBACK
BZ	RIPARIAN BUFFER (50')
TP	TREE PROTECTION FENCE
---	ACCESSIBLE ROUTE

GRADING LEGEND:

SYMBOL	DESCRIPTION
⊕	PROPOSED JUNCTION BOX
⊞	PROPOSED CATCH BASIN
⊞	PROPOSED AREA DRAIN
⊞	RIPRAP DISSIPATOR
→	FLOW DIRECTION
44.50	PROPOSED ELEVATION
TC 44.50 BC 44.00	TOP/BOTTOM OF CURB
TW 46.00 BW 44.00	TOP/BOTTOM OF WALL
---	PROPOSED STORM DRAINAGE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR

NOTES:

- SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

PRE DEVELOPMENT IMPERVIOUS AREA: 191,222 SF (4.39 AC)
 POST DEVELOPMENT IMPERVIOUS AREA: 1,7682 SF (0.04 AC)
 PERCENTAGE OF PROPOSED IMPERVIOUS SURFACE < 1%

SCALE: 1" = 40'

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SCALE: 1" = 10'

**NEILL'S CREEK PARK
 COMFORT STATION**
 BLACK RIVER TOWNSHIP, TOWN OF ANGER
 HARNETT COUNTY, NC

SITE PLAN PERMIT REVIEW

Revisions		
No.	Description	Date

date: 08/25/2023
 commission: 22-610
 PROJECT #: L23012

sheet title:
GRADING & STORM DRAINAGE PLAN

sheet no.:

Project number: L23012
 Issued Date: 08.25.2023
 Drawn by: MP
 Approved by: PK **C5.00**

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SCALE: 1" = 10'

**NEILL'S CREEK PARK
 COMFORT STATION**
 BLACK RIVER TOWNSHIP, TOWN OF ANGER
 HARNETT COUNTY, NC

SITE PLAN PERMIT REVIEW

Revisions		
No.	Description	Date

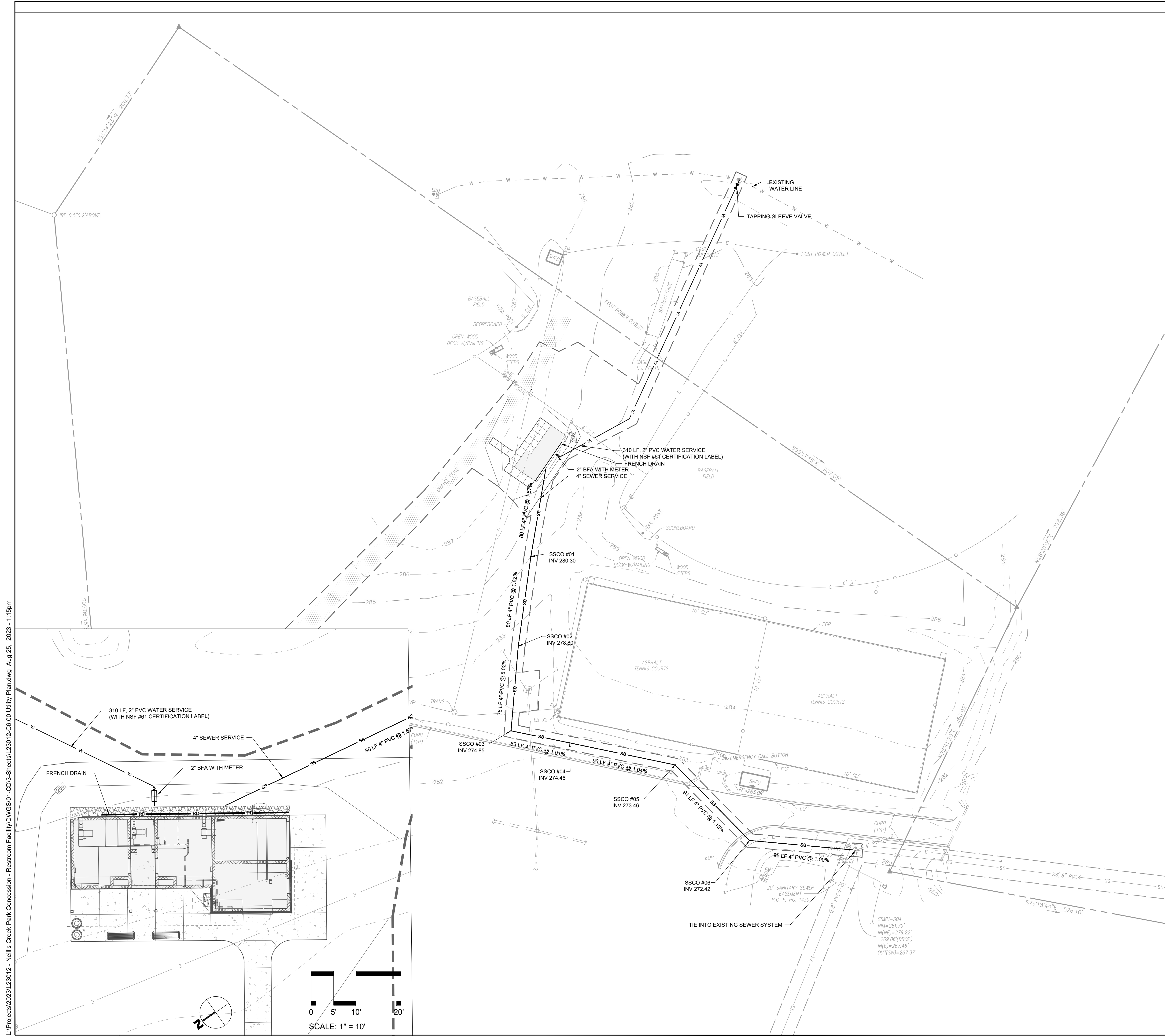
date: 08/25/2023
 commission: 22-610
 PROJECT #: L23012

sheet title:
GRADING & STORM DRAINAGE PLAN

sheet no.:

Project number: L23012
 Issued Date: 08.25.2023
 Drawn by: MP
 Approved by: PK **C5.00**

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LINETYPE LEGEND:

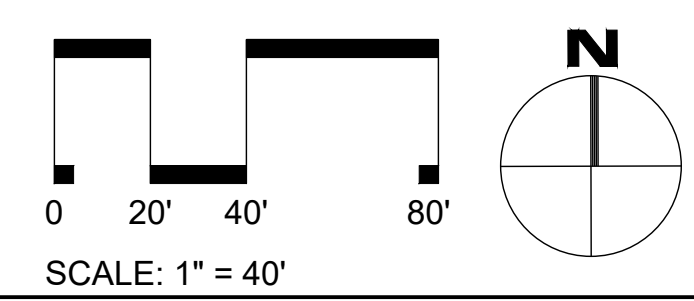
SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
---	SETBACK
BZ	RIPARIAN BUFFER (50')
TP	TREE PROTECTION FENCE
---	ACCESSIBLE ROUTE

UTILITY LEGEND:

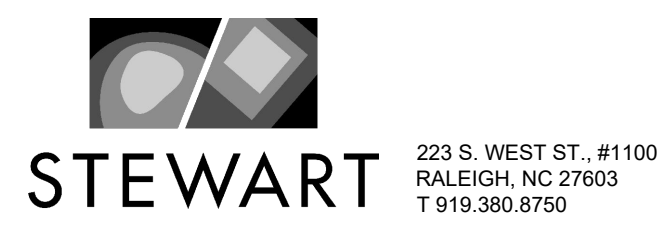
SYMBOL	DESCRIPTION
☼	PROPOSED FIRE HYDRANT
⊗	PROPOSED WATER VALVE
⊙	EXISTING SANITARY SEWER MANHOLE
⊕	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED CLEANOUT
○	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
□	PROPOSED BACKFLOW METER
PIV	PROPOSED POST INDICATOR VALVE (PIV)
□	PROPOSED GREASE INTERCEPTOR
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE
---	300' HYDRANT COVERAGE CIRCLE

NOTES:

1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.



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NEILL'S CREEK PARK COMFORT STATION

BLACK RIVER TOWNSHIP, TOWN OF ANGER
HARNETT COUNTY, NC

SITE PLAN PERMIT REVIEW

Revisions		
No.	Description	Date

date: 08/25/2023
commission: 22-610
PROJECT #: L23012

UTILITY PLAN

sheet no.:
Project number: L23012
Issued Date: 08.25.2023
Drawn by: MP
Approved by: PK **C6.00**

FINISH SCHEDULE

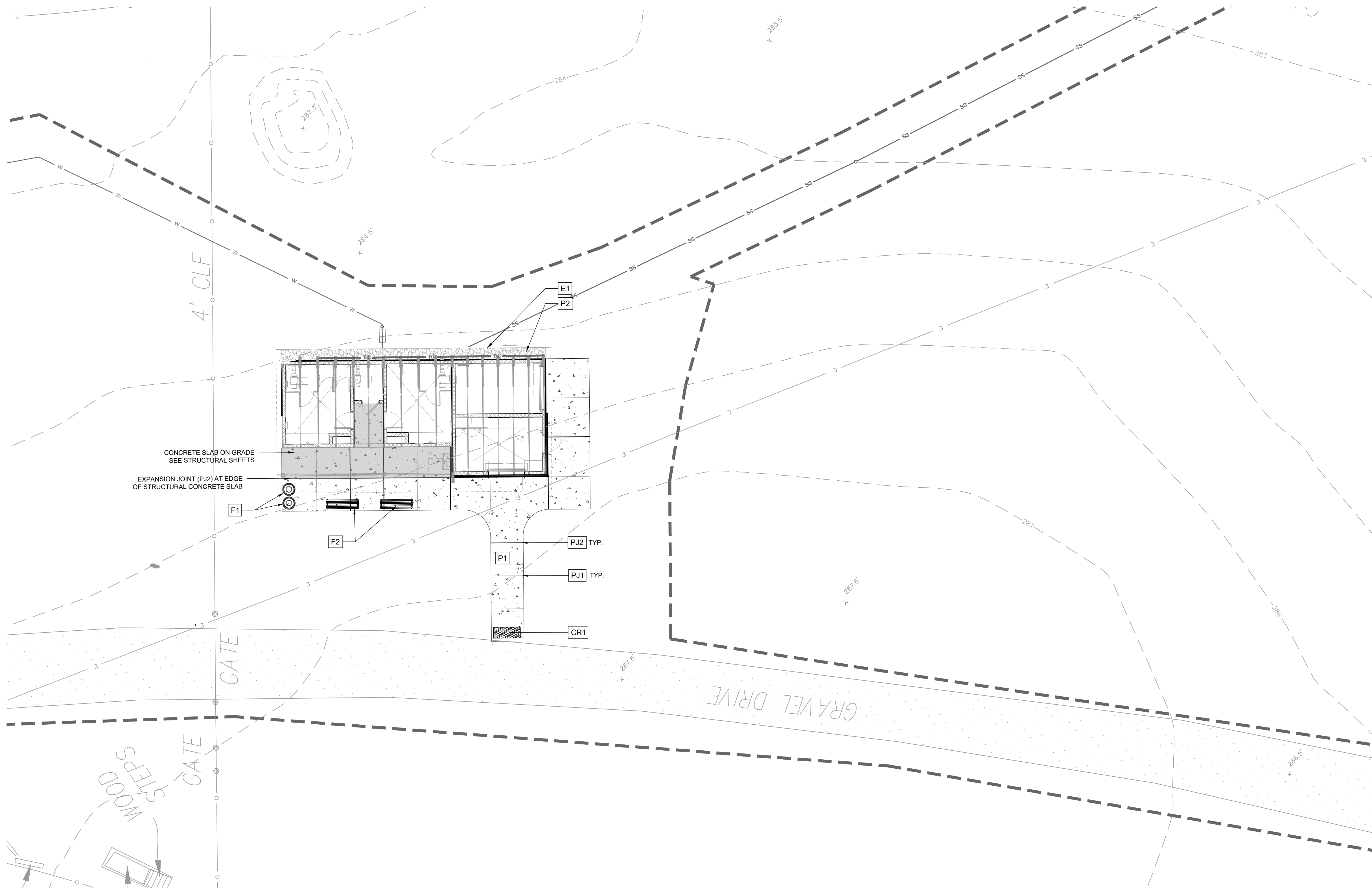
P - PAVEMENT AND SURFACING									
KEY NAME	DESCRIPTION	DETAIL REF	MATERIAL	COLOR	FINISH	SIZE	PRODUCT NAME/No.	SUPPLIER	REMARKS
P1	CONCRETE PAVEMENT- PEDESTRIAN	1/L3.90	CONCRETE	STANDARD GRAY	LIGHT BROOM	4" THICK	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P2	BUILDING WALL EDGE STONE	4/L3.90	WASH STONE	#78 NATURAL	N/A	1/2"	#78 STONE	TRIANGLE LANDSCAPE SUPPLY	SAMPLES REQUIRED FOR APPROVAL BY LA

PJ-PAVING JOINTS									
PJ1	CONTROL JOINT-SAWCUT	2/L3.90	N/A	N/A	N/A	N/A			
PJ2	EXPANSION JOINT	2/L3.90	N/A	N/A	N/A	N/A			

CR - CURBS AND RAMPS									
CR1	DETECTABLE WARNING DOMES	3/L3.90	METAL	FIRESTONE	POLYESTER POWDERCOAT	24"X30"	TRUNCATED DOMES	URBAN ACCESSORIES	SAMPLES REQUIRED FOR APPROVAL BY LA

F - FURNISHINGS									
F1	WASTE & RECYCLING RECEPTACLE	6/L3.90	STEEL	BLACK	POWDERCOAT	PER DETAIL	RECEPTACLE 157 / MODEL #157; #CVB-20	DUMOR	ADD SMALL STEEL BONNET TOP FOR MODEL #157-22: (1) STANDARD BONNET; (1) BONNET WITH RECYCLE VINYL LETTERING
F2	PARK BENCH - BACKLESS	5/L3.90	STEEL	BLACK	POWDERCOAT	6FOOT	BENCH 92 / MODEL #92-60	DUMOR	BACKLESS

E - EDGING									
E1	EDGING - 3" METAL EDGING	4/L3.90	STEEL	GALVANIZED	GALVANIZED	6" DEPTH	RIDGELINE	STRAIGHTCURVE	PRODUCT DATA SUBMITTED TO LA FOR APPROVAL



LINETYPE LEGEND:

SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
---	SETBACK
---	BZ RIPARIAN BUFFER (50')
---	TP TREE PROTECTION FENCE
---	ACCESSIBLE ROUTE

NOTES:

- ABBREVIATIONS FOR SPECIFIC HARDSCAPE MATERIALS AND FINISHES ARE LISTED IN THE LEGEND AND ARE USED THROUGHOUT THE DRAWING SETS HARDSCAPE & FINISHES PLANS, PAVING PATTERN PLANS AND SITE DETAILS.
- REFER TO RELATED SPECIFICATION SECTION FOR SPECIFIC SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS, QUALITY ASSURANCE REQUIREMENTS, EXECUTION REQUIREMENTS, AND FOR FURTHER PRODUCT INFORMATION NOT INCLUDED IN THIS SCHEDULE
- CONTRACTOR TO SUBMIT COLOR SAMPLES AND PROVIDE MOCK-UPS FOR ALL CAST IN PLACE CONCRETE FOR APPROVAL BY LANDSCAPE ARCHITECT.

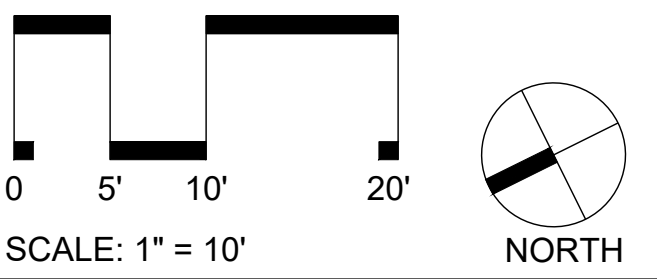
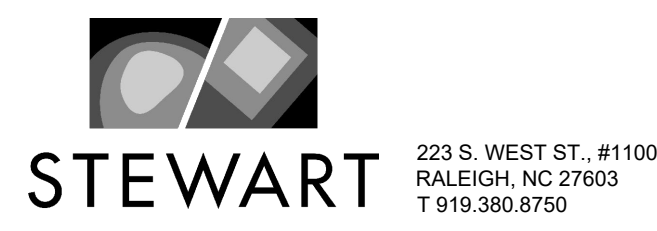
ANNOTATION KEY

REFERENCE KEY NAME IN LEGEND

MATERIALS/FINISH CALLOUT



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**NEILL'S CREEK PARK
COMFORT STATION**

BLACK RIVER TOWNSHIP, TOWN OF ANGER
HARNETT COUNTY, NC

SITE PLAN PERMIT REVIEW

Revisions		
No.	Description	Date

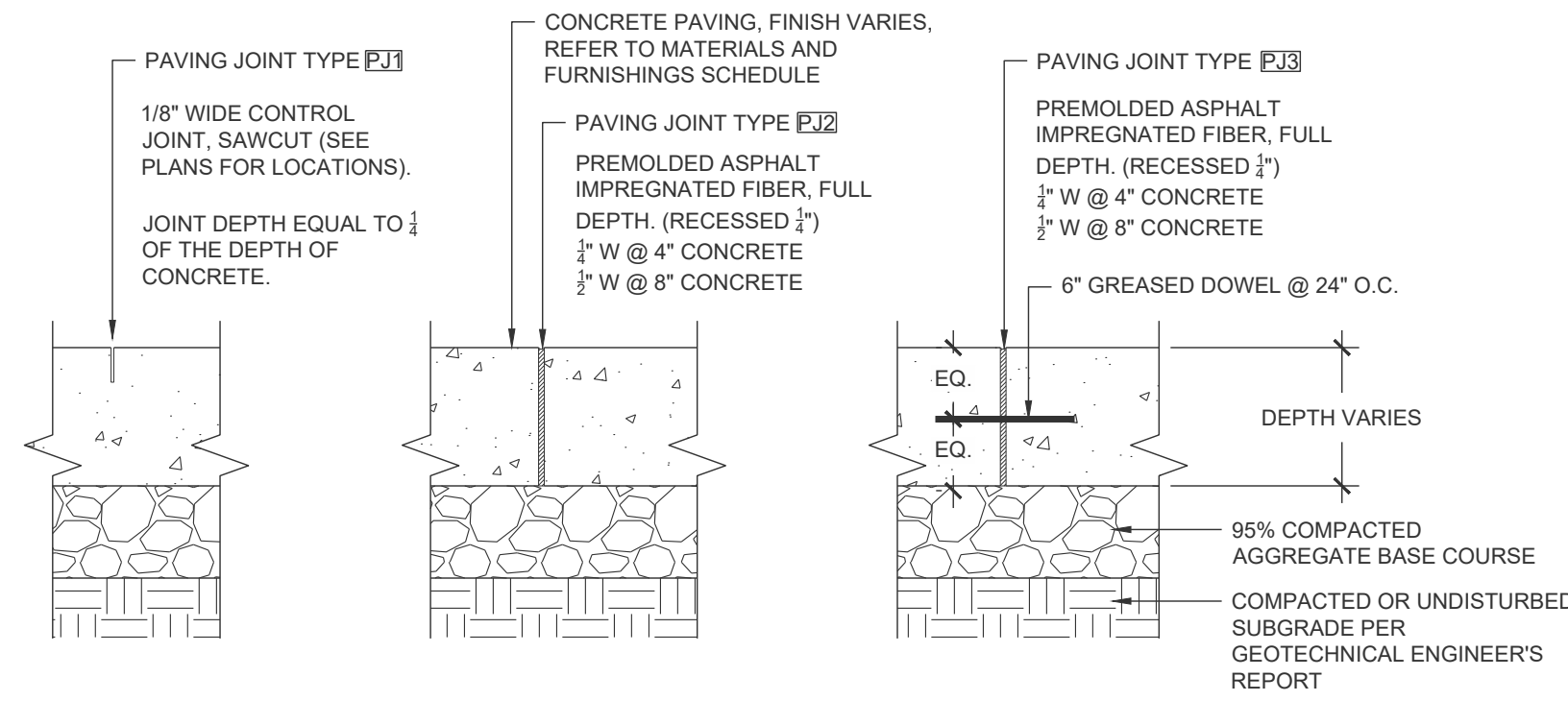
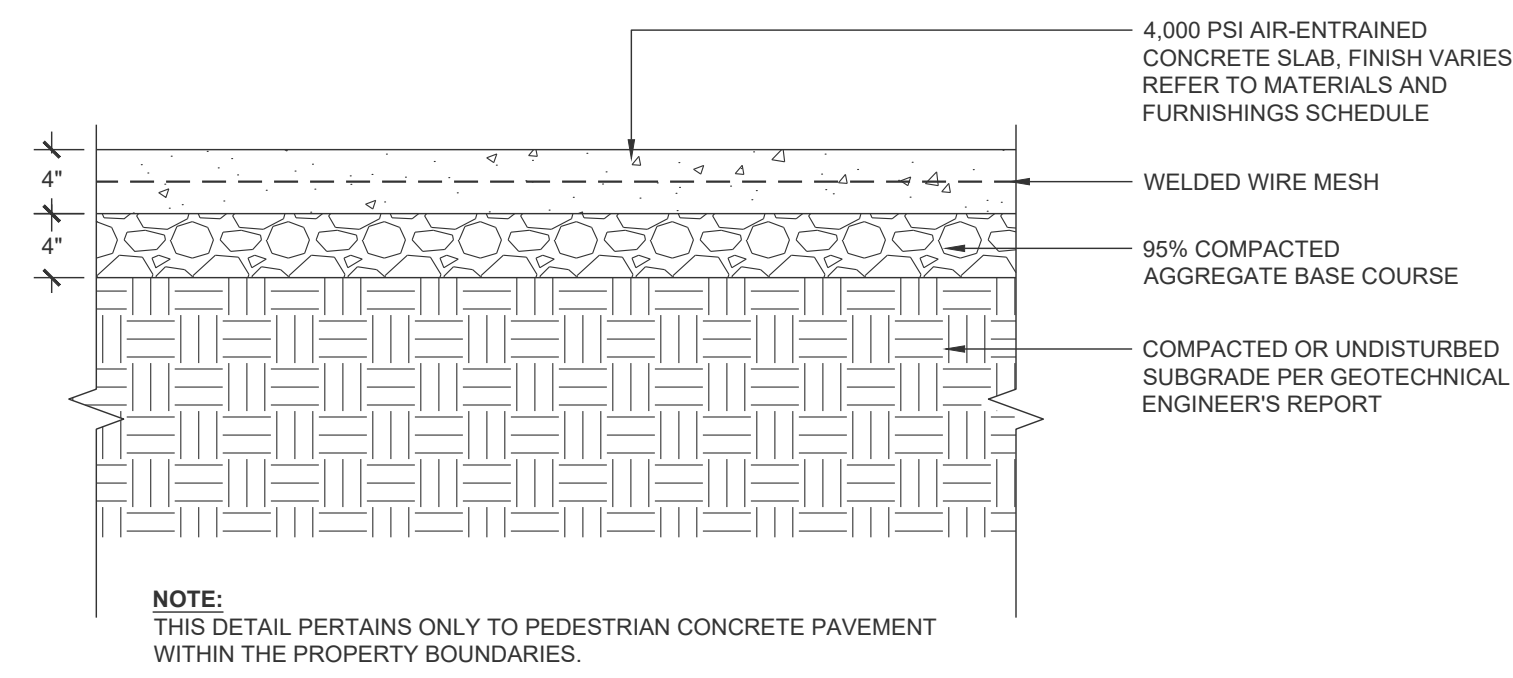
date: 08/25/2023
commission: 22-610
PROJECT #: L23012

sheet title:
MATERIALS & FINISH PLAN

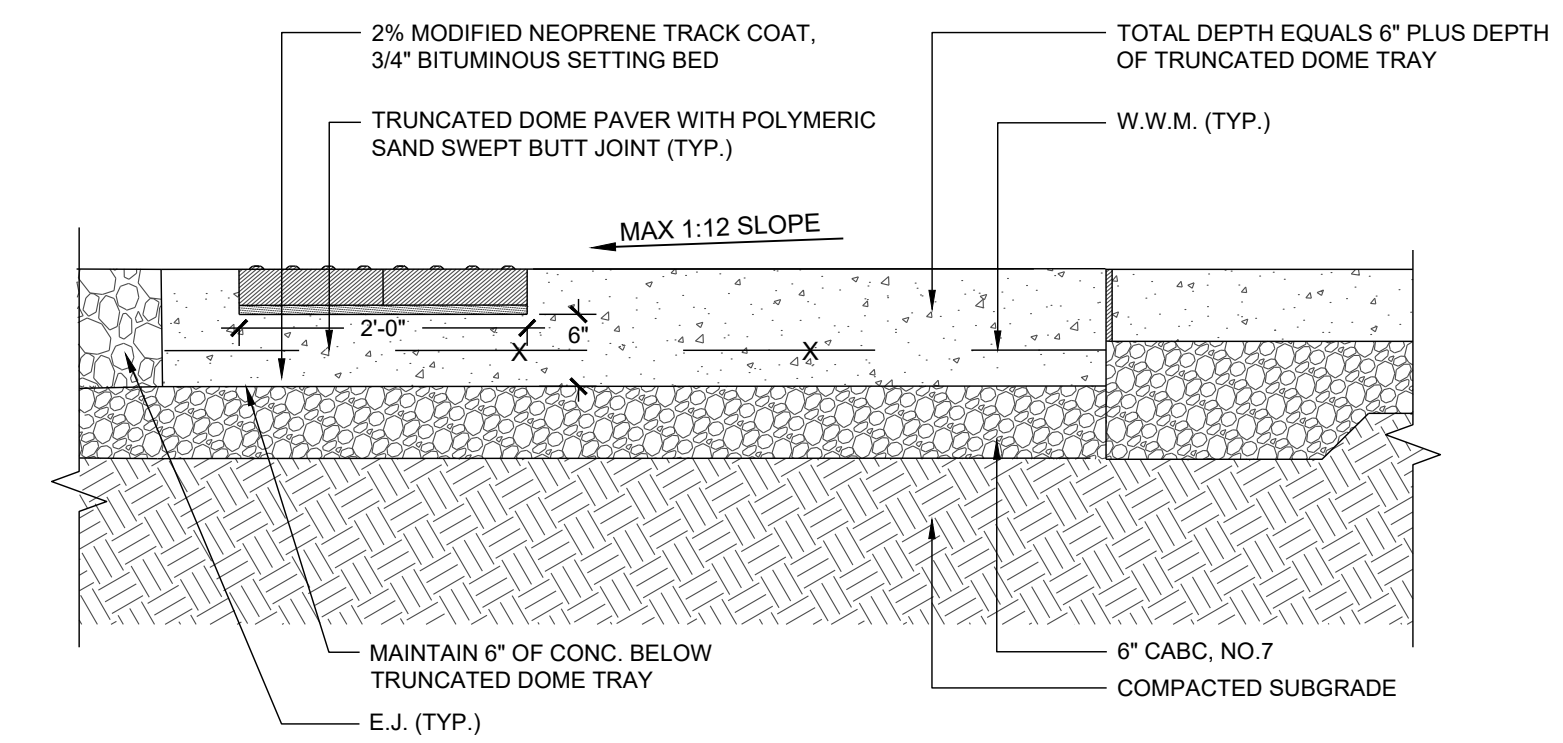
sheet no.:
Project number: L23012
Issued Date: 08.25.2023
Drawn by: KP
Approved by: CR

L3.00

L:\Projects\2023\L23012 - Neill's Creek Park Concession - Restroom Facility\DWGS\01-CD\3-Sheets\L23012-L3.00 Materials & Finish Plan.dwg, Aug 25, 2023 - 1:16pm



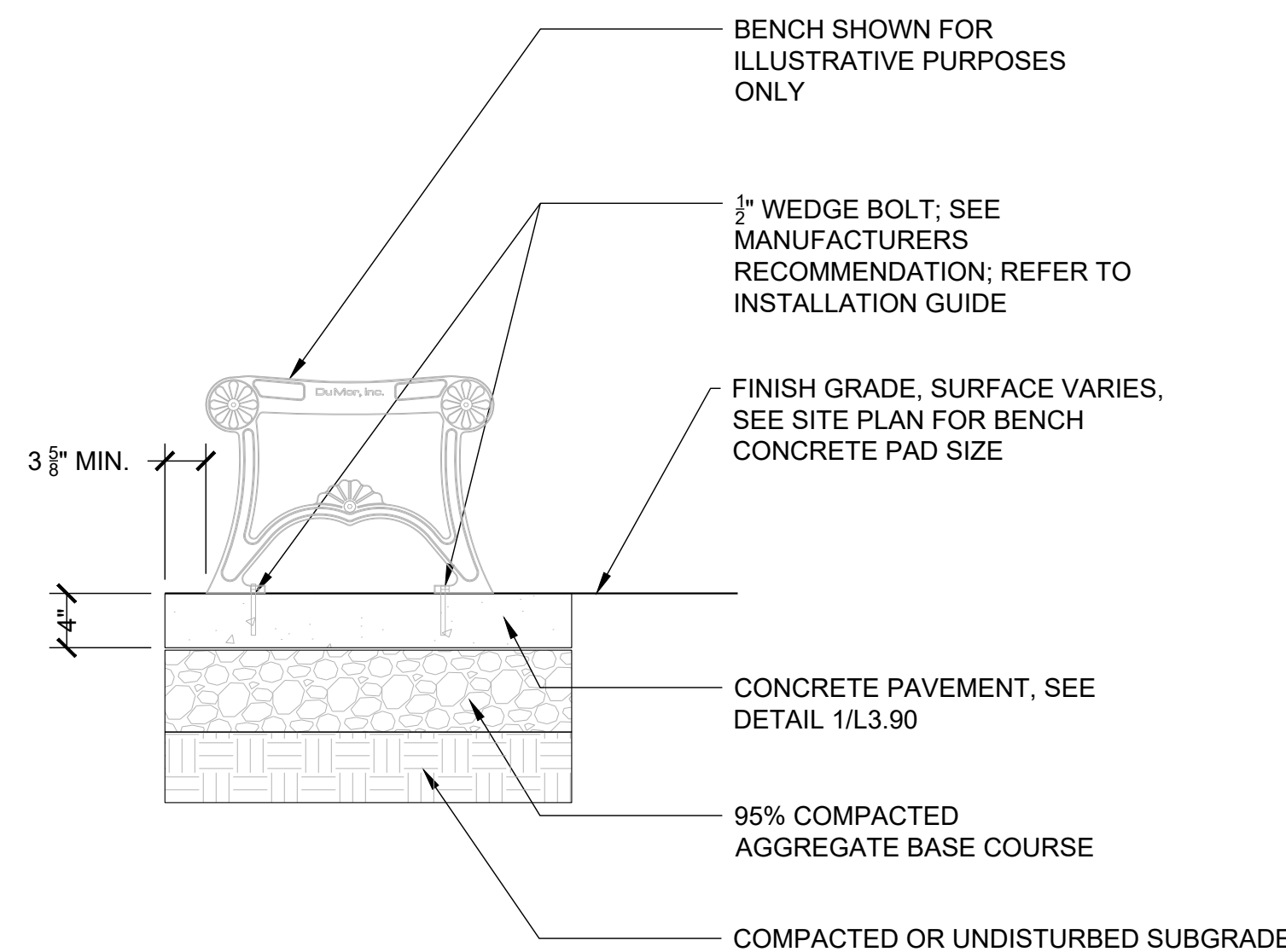
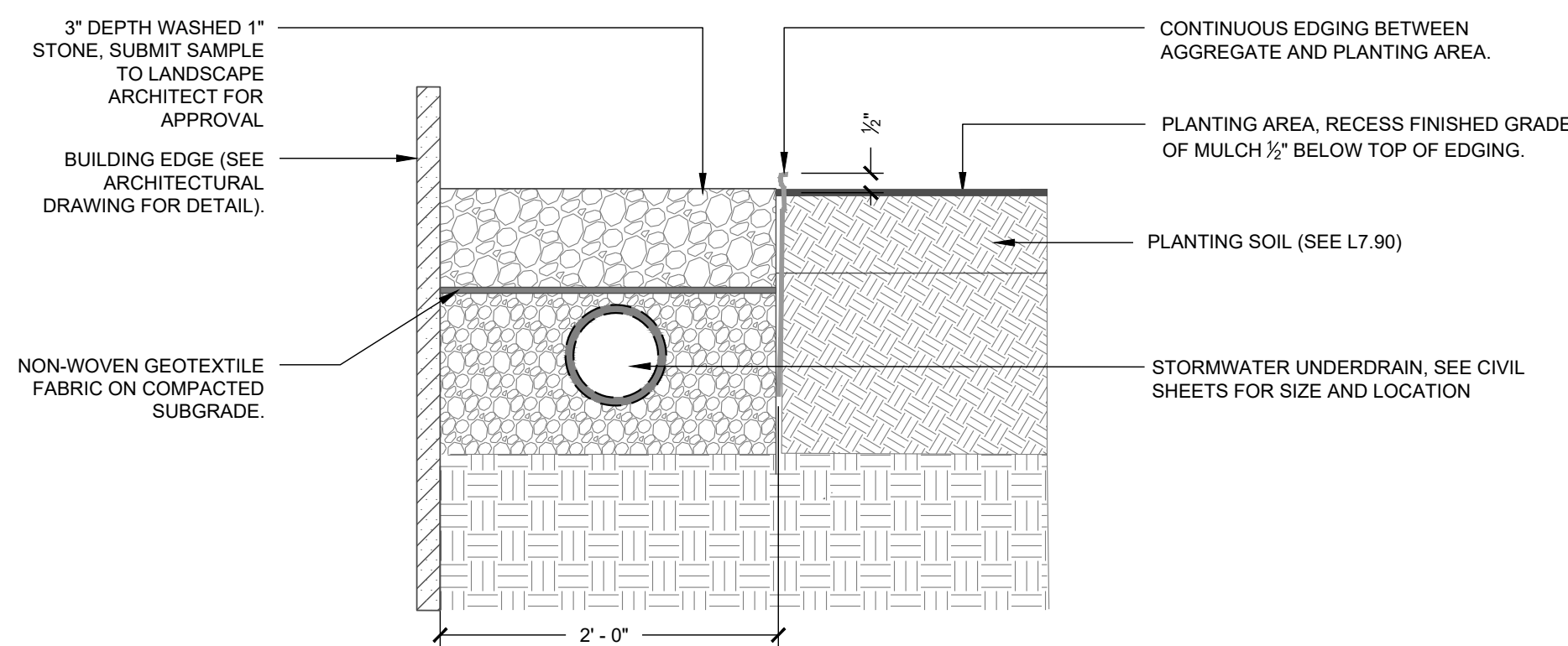
- NOTES:
- REFER TO PLAN FOR LAYOUT AND SPACING OF JOINTS.
 - EXPANSION JOINTS SHALL OCCUR AT ALL AREAS WHERE PAVEMENT MEETS WALLS OR VERTICAL SURFACE AND AT ALL COLD JOINTS.



1 CONCRETE PAVEMENT SIDEWALK SECTION NTS

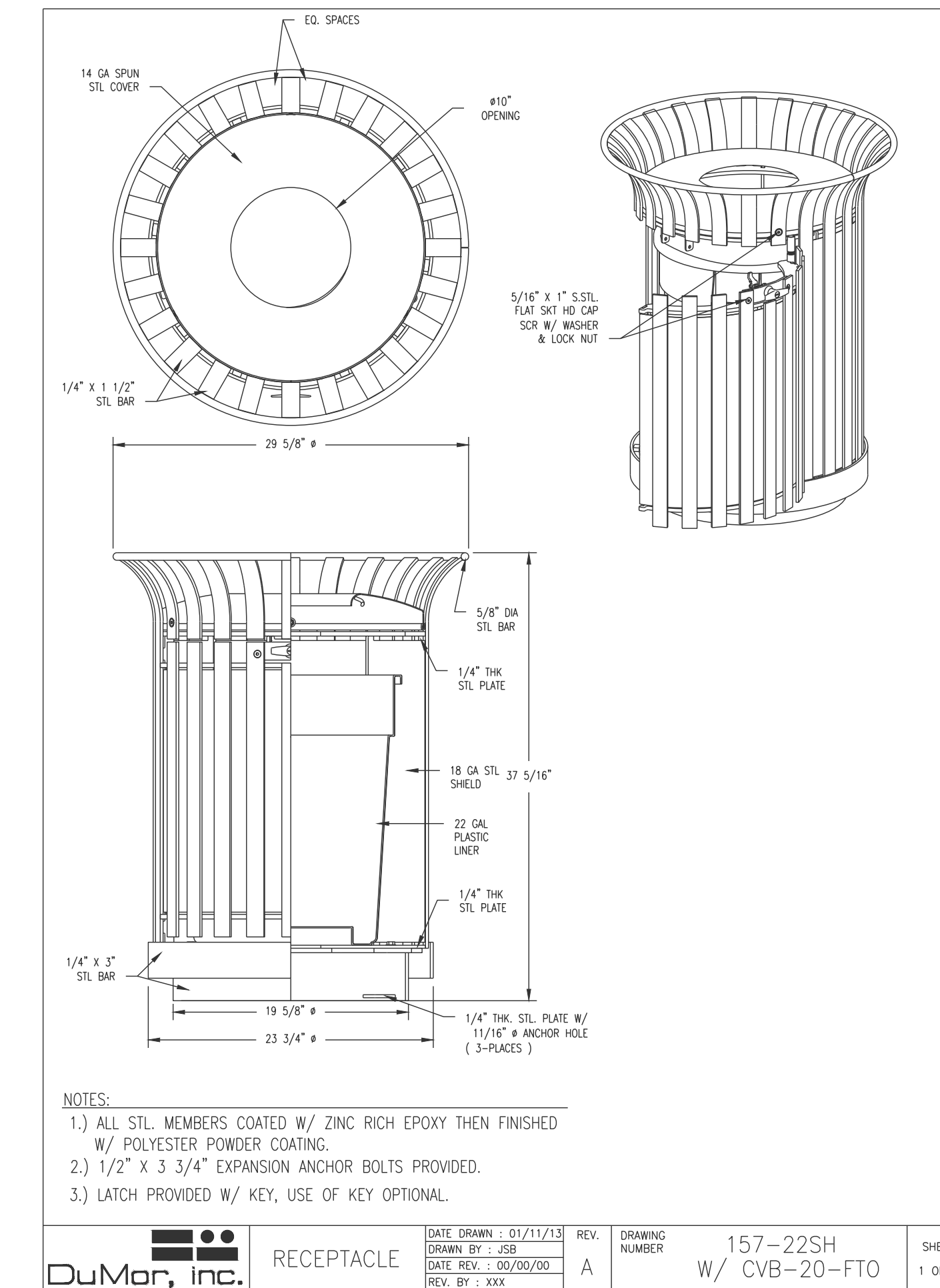
2 CONCRETE PAVEMENT JOINTS SECTION NTS

3 ACCESSIBLE CURB RAMP SECTION NTS



4 GRAVEL BAND WITH STEEL EDGING SECTION NTS

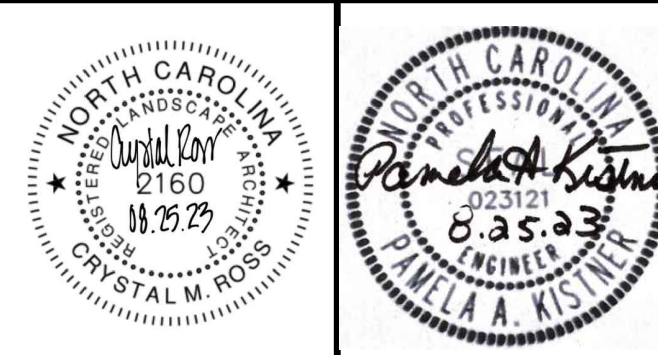
5 BENCH MOUNTING DETAIL SECTION NTS



- NOTES:
- ALL STL MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
 - 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED.
 - LATCH PROVIDED W/ KEY, USE OF KEY OPTIONAL.

DuMar, Inc.	RECEPTACLE	DATE DRAWN : 07/11/13	REV.	DRAWING NUMBER	SHEET
		DRAWN BY : JSD	A	157-22SH	1 OF 2
		DATE REV. : 05/05/00		W/ CVB-20-FTO	

6 WASTE RECEPTACLE SECTION NTS



**NEILL'S CREEK PARK
COMFORT STATION**
BLACK RIVER TOWNSHIP, TOWN OF ANGER
HARNETT COUNTY, NC

Revisions		
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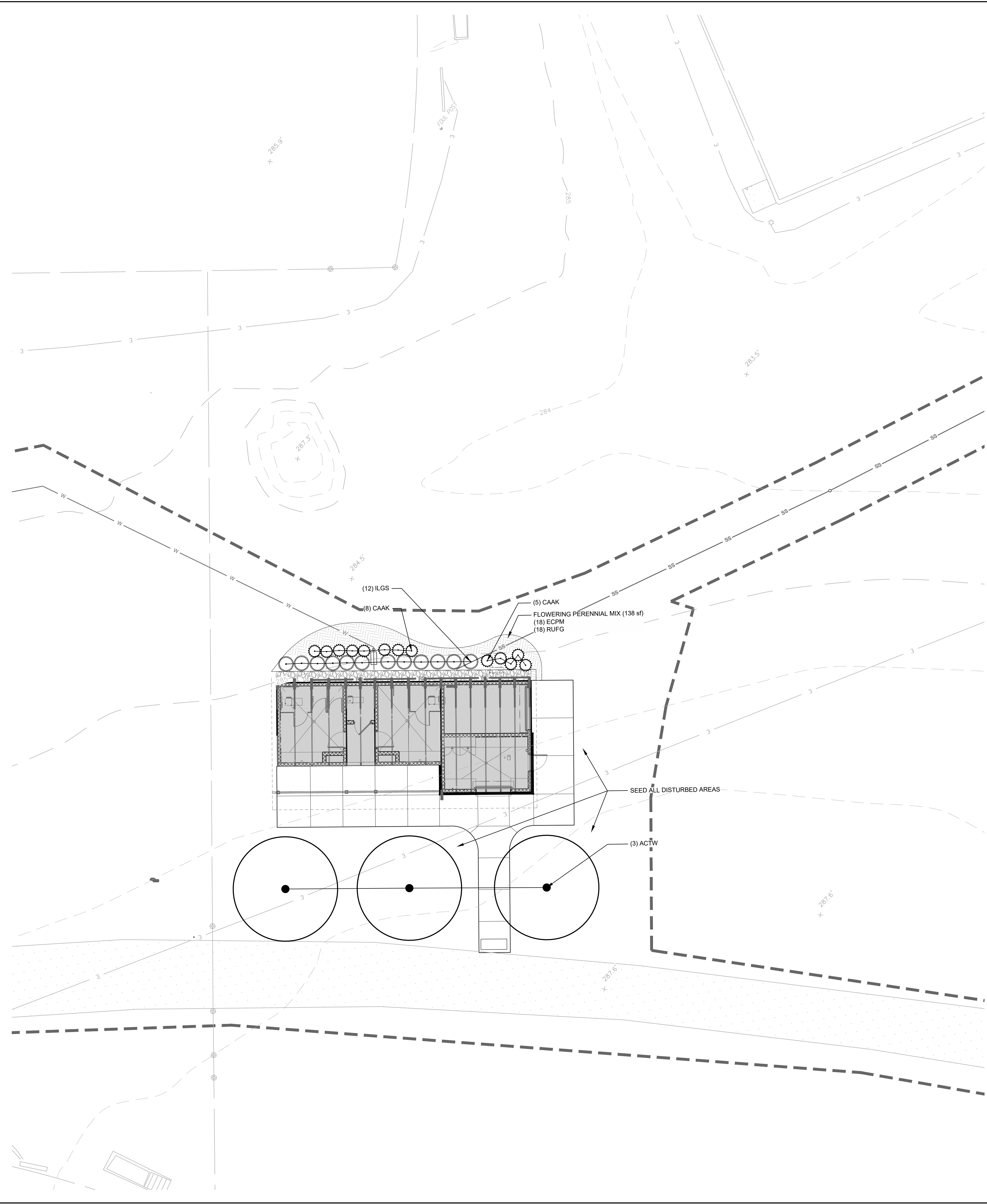
date: 08/25/2023
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Drawn by:
Approved by:

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LINETYPE LEGEND:

SYMBOL	DESCRIPTION
--- LOD --- LOD --- LOD ---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
- - - - -	EASEMENT
- - - - -	SETBACK
---	RIPARIAN BUFFER (50')
---	TREE PROTECTION FENCE
-----	ACCESSIBLE ROUTE

1. SEE SHEET C0.10 FOR GENERAL AND PLANTING NOTES.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SPACING	NOTES
(Symbol)	ACTW	3	ACER TRUNCATUM 'WF-AT1' MAIN STREET® SHANTUNG MAPLE	B&B	2.5" CAL.	AS SHOWN	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SPACING	NOTES
(Symbol)	CAAK	13	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	#2		AS SHOWN	
(Symbol)	ILGS	12	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY HOLLY	#3		AS SHOWN	
PERENNIAL AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SPACING	NOTES
(Symbol)		135 SF	FLOWERING PERENNIAL MIX	SP2		24" O.C.	50% MIX
(Symbol)		18	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER				
(Symbol)		18	ECHINACEA PURPUREA 'MAGNUS' / MAGNUS PURPLE CONEFLOWER				

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SCALE: 1" = 10'

NORTH

Professional Engineer Seal: Crystal M. Ross, No. 2160, Expires 11/25/23

Professional Engineer Seal: Pamela A. Kistner, No. 23321, Expires 8/31/23

**NEILL'S CREEK PARK
COMFORT STATION**

BLACK RIVER TOWNSHIP, TOWN OF ANGER
HARNETT COUNTY, NC

**SITE PLAN PERMIT
REVIEW**

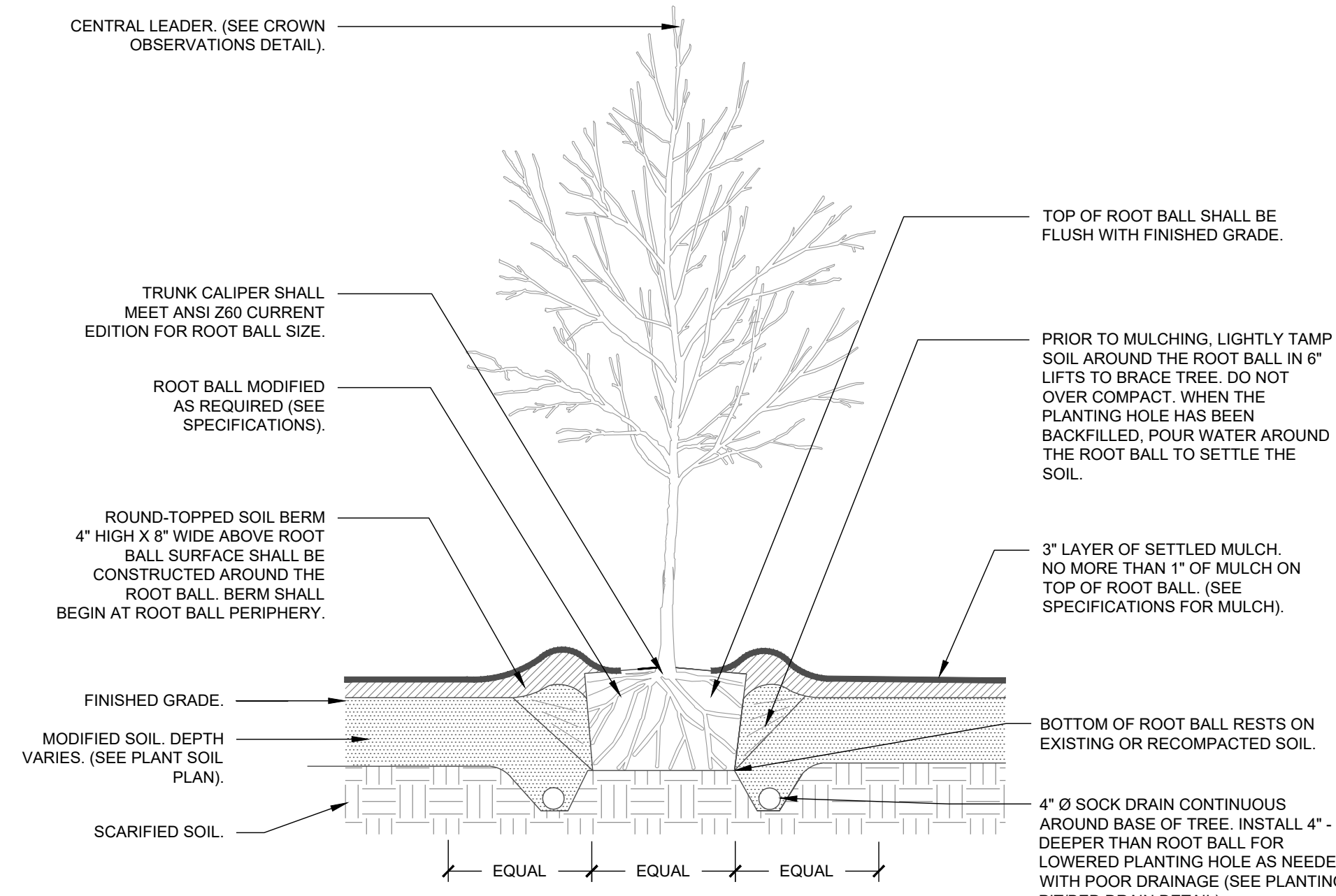
Revisions		
No.	Description	Date

date: 08/25/2023
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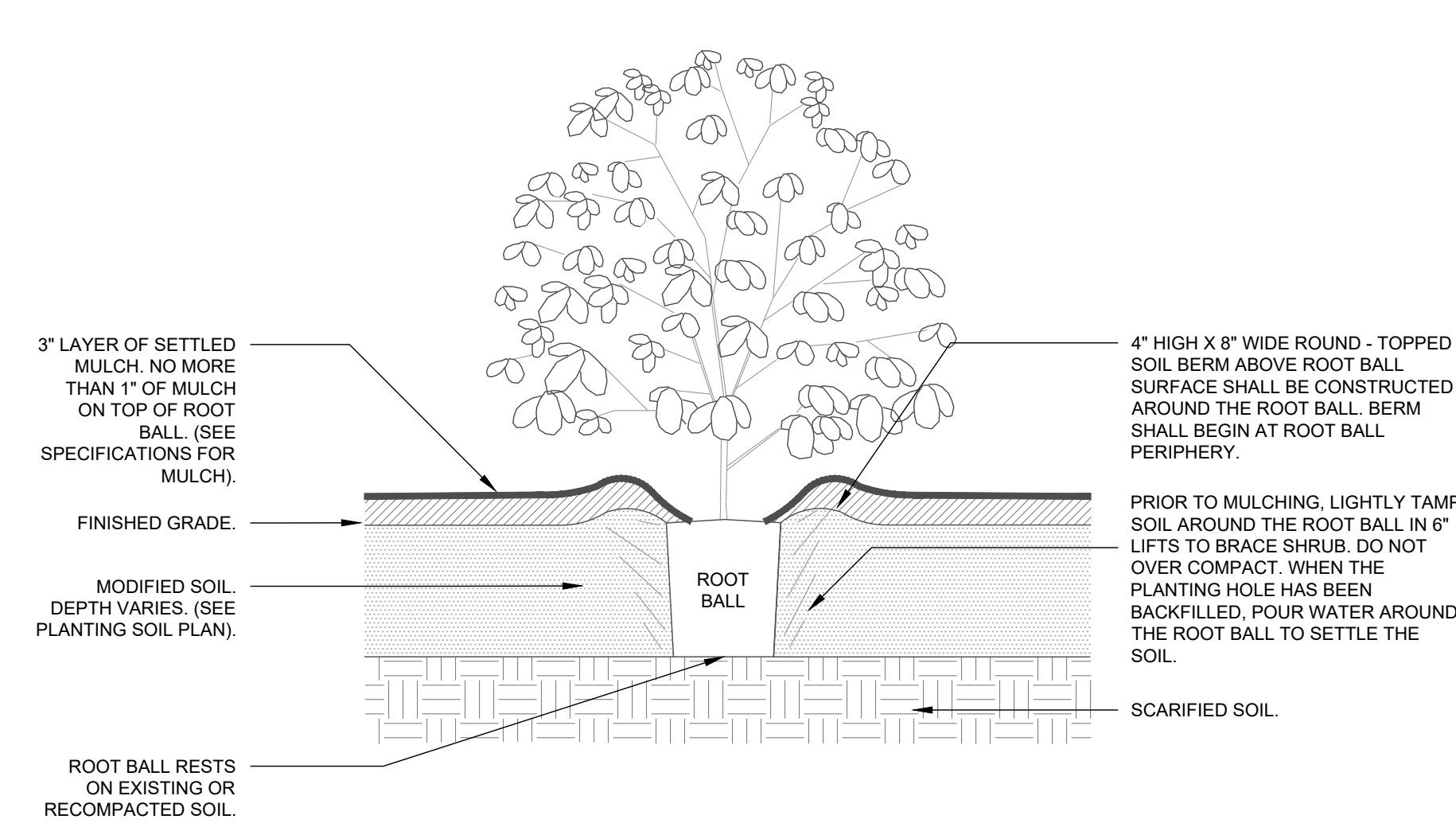
CODE PLANTING PLAN

sheet no.:
Project number: L23012
Issued Date: 08.25.2023
Drawn by: KP
Approved by: CR

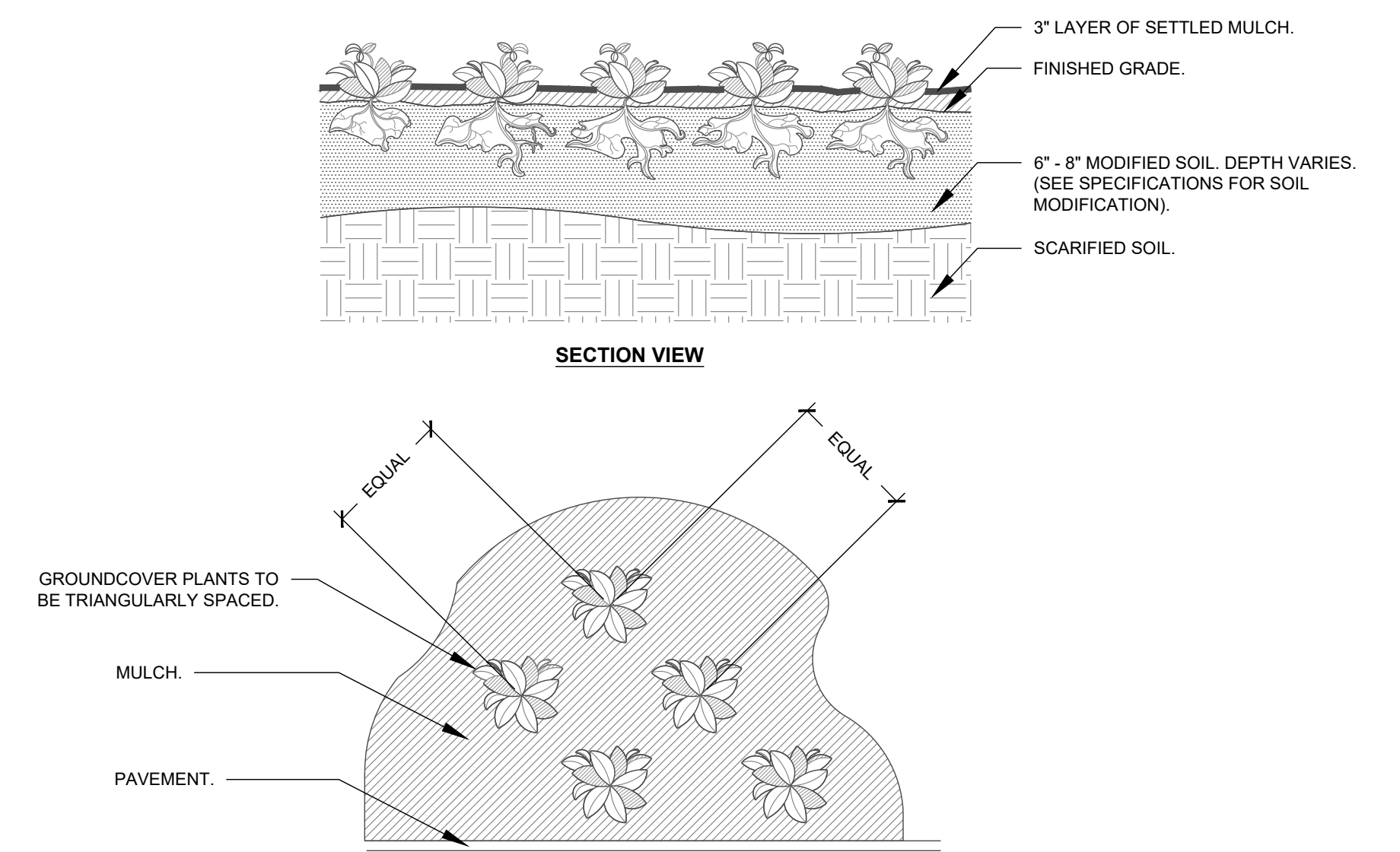
L7.00



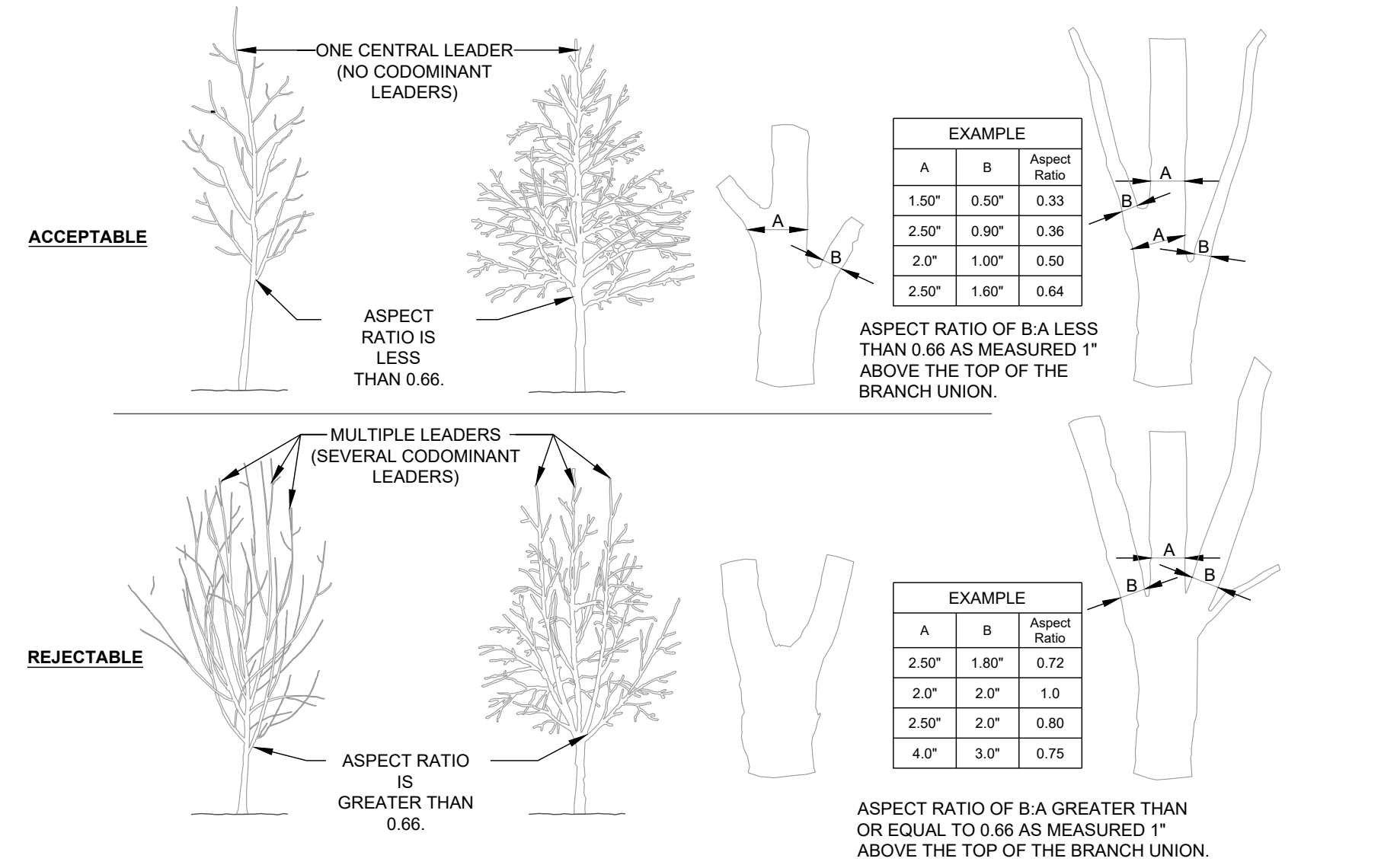
1 TREE (TYPICAL) SECTION NTS



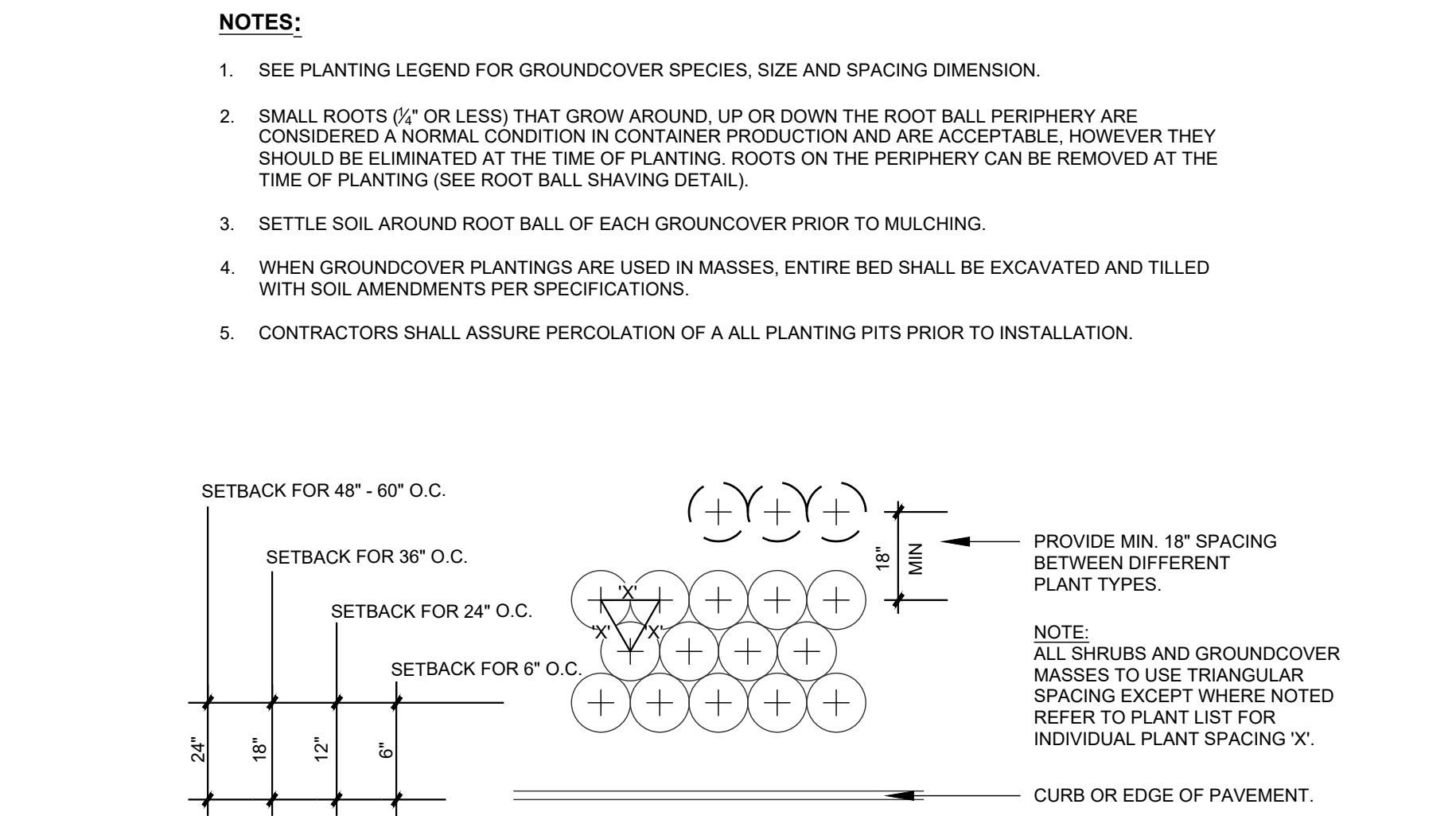
2 SHRUB (TYPICAL) SECTION NTS



3 GROUNDCOVER PLANTING (TYPICAL) PLAN NTS



4 CROWN OBSERVATIONS - HIGH BRANCHED SECTION NTS



5 SHRUB AND GROUNDCOVER SPACING PLAN NTS

- PLANTING NOTES:**
- DO NOT STAKE TREES EXCEPT WHERE SPECIFIED BY LANDSCAPE ARCHITECT. STAKING IS REQUIRED FOR TREES PLANTED ON SLOPES.
 - WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 4-6" OVER THE ENTIRE AREA.
 - FOR CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
 - FOR FIELD GROWN TREES, CUT BURLAP, ROPE AND WIRE BASKET AWAY FROM TOP AND SIDES OF ROOT BALL.
 - THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - THE PLANTING PROCESS IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.
 - DO NOT WRAP TRUNK; MARK NORTH SIDE OF TREE IN THE NURSERY AND LOCATE TO THE NORTH IN THE FIELD.
 - WIDTH OF PLANTING HOLE IS 3X ROOT BALL AT THE SURFACE, SLOPING TO 2X THE ROOT BALL DIAMETER AT THE DEPTH OF THE ROOT BALL.
 - BEFORE PLANTING, ADD 3-4" OF WELL COMPOSTED LEAVES, RECYCLED YARD WASTE OR OTHER COMPOST AND TILL INTO TOP 6" OF PREPARED SOIL. ADD COMPOST AT 20-35% BY VOLUME TO BACKFILL.
 - PERFORM PERCOLATION TEST FOR EACH TREE PIT TO CONFIRM THAT WATER DRAINS OUT OF THE SOIL. PROVIDE GRAVEL SUMP FILTER FABRIC & VENT PIPE IF DRAINAGE DOES NOT OCCUR WITHIN 24 HOURS. INCLUDE ALL SUMPS IN BASE BID. SHOULD SUMPS NOT BE NECESSARY AFTER PERCOLATION TEST, PROVIDE CHANGE ORDER DEDUCT TO OWNER.
 - IF PLANTING HOLES ARE DUG WITH A LARGE AUGER BREAKING DOWN THE SIDES WITH A SHOVEL CAN ELIMINATE GLAZING AND CREATE THE PREFERRED SLOPING SIDE.
 - TREES SHALL HAVE SINGLE LEADERS. TREES WITH 2 LEADERS WILL BE REJECTED.
 - DO NOT PLACE MULCH IN CONTACT WITH TRUNK.
 - PROVIDE GATOR BAGS FOR ALL TREES WHERE IRRIGATION IS NOT PROVIDED.

6 PLANTING NOTES

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HARNETT COUNTY, NC

**SITE PLAN PERMIT
REVIEW**

Revisions		
No.	Description	Date

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**PLANTING & SOILS
DETAILS**

sheet no.:
Project number: L23012
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Approved by: CR **L7.90**