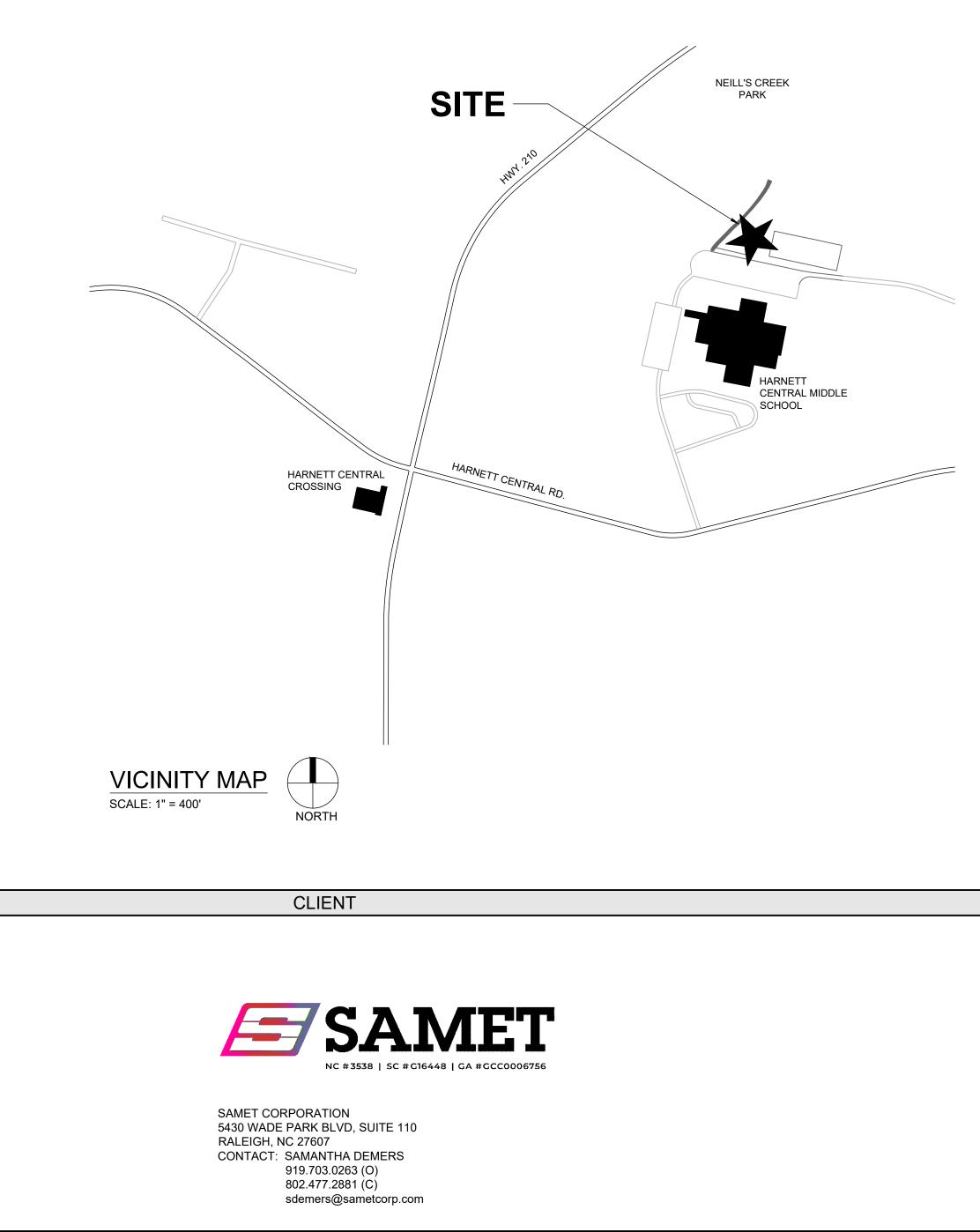
# NEILL'S CREEK PARK COMFORT STATION

BLACK RIVER TOWNSHIP, TOWN OF ANGIER, HARNETT COUNTY, NC

# SITE PLAN PERMIT REVIEW

ISSUED DATE: AUGUST 25, 2023



### SITE DATA

L		
	PROJECT NAME:	NEILL'S CREEK PARK COMFORT STATION
	SITE ADDRESS:	2533 HARNETT CENTRAL RD. ANGIER, NC 27501
	COUNTY:	HARNETT
	PARCEL PIN #:	0662-33-9744.00
	PARCEL OWNER:	HARNETT COUNTY BOARD OF EDUCATION
	PARCEL AREA:	20.73 AC
	TOTAL SITE GROSS ACREAGE:	20.73 AC
	NET ACREAGE:	20.73 AC
	CURRENT ZONING:	RA-30
	PROPOSED ZONING:	RA-30
	EXISTING LAND USE:	PARK
	PROPOSED LAND USE:	PARK
	FLOOD PLAIN DATA:	ZONE X - FEMA MAP NO. 3720066200J EFFECTIVE 10/03/06
	RIVER BASIN:	CAPE FEAR
	CONSTRUCTION TYPE:	NON-RESIDENTIAL
	MAX BUILDING HEIGHT:	
	PROPOSED BUILDING HEIGHT:	
	PROPOSED BUILDING SQUARE FOOTAGE:	890 SF
	TREE CONSERVATION AREA::	0 SF
	TOTAL LIMITS OF DISTURBANCE::	0.65 AC / 28,529 SF
	EXISTING IMPERVIOUS AREA:	4.39 AC / 191,222 SF
	PROPOSED IMPERVIOUS AREA:	0.04 AC / 1,768 SF
	PARKING DATA:	
	REQUIRED PARKING:	
	PROPOSED PARKING:	
	TOTAL PARKING:	

Sheet #
C0.00
C0.10
C1.00
C2.00
C3.00
C3.01
C4.00
C4.01
C4.90
C5.00
C5.10
C5.90
C6.00
C6.10
C6.90
L3.00
L3.90
L7.00

L7.90

#### UTILITIES IMPROVEMENTS QTY

PRIVATE SEWER	
4" SEWER SERVICE	575 LF
PRIVATE WATER	
2" WATER MAIN	310 LF

#### RIGHT-OF-WAY OBSTRUCTION NOTES:

- 1. LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES
- APPLICATION TO REQUEST THE OBSTRUTION PRIOR TO THE START OF WORK FOR APPROVAL. 2. THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC
- STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
  ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT 'STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT
- "ROADWAY STANDARD DRAWING MANUAL', AND THE NCDOT SUPPLEMENT TO THE MUTCD.
  4. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE
- REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 5. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND
- ENSURE ALL PERMITS ARE ISSUED. 6. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

## **CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - STRUCTURAL**



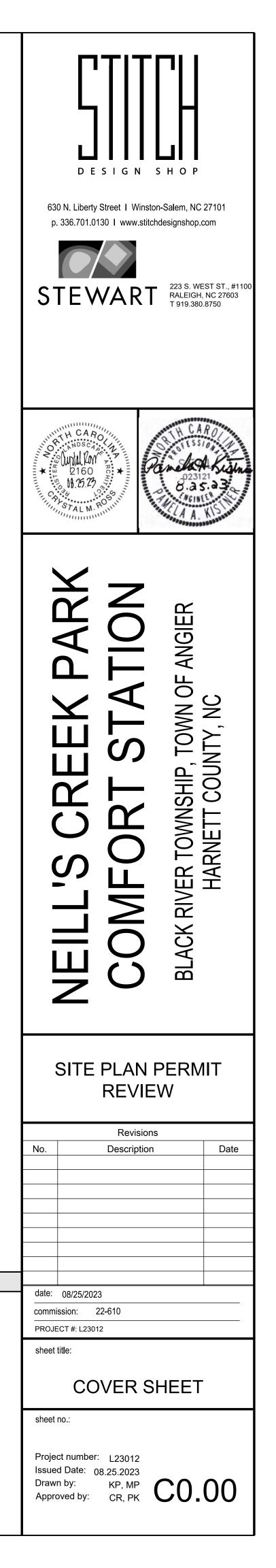
STEWART INC. - CIVIL CONTACT: PAMELA KISTNER, PE PRACTICE LEADER 919.866.4722 (T) PKISTNER@STEWARTINC.COM STEWART INC. - LANDSCAPE ARCHITECTURE CONTACT: CRYSTAL ROSS, PLA PROJECT MANAGER 919.866.4756 (T) CROSS@STEWARTINC.COM

INDEX OF DRAWINGS		
SHEE	T NAME	1ST SUBMITTAL (08.25.2023)
COVER SHEET		
GENERAL NOTES		
EXISTING CONDITIONS PL	AN	
DEMOLITION PLAN		
OVERALL SITE PLAN		
ENLARGED SITE PLAN		
EROSION CONTROL NOTE	S	
EROSION CONTROL PLAN	(PHASE I)	
EROSION CONTROL DETA	ILS	
GRADING & STORM DRAIN	IAGE PLAN	
SCM PLAN & DETAILS		
STORM DRAINAGE DETAIL	S	
UTILITY PLAN		
UTILITY PLAN & PROFILES	i	
UTILITY DETAILS		
MATERIALS & FINISH PLAN	٨	
SITE DETAILS		
CODE PLANTING PLAN		
PLANTING & SOILS DETAIL	S	





STITCH DESIGN SHOP 630 N. LIBERTY STREET, SUITE 301 WINSTON-SALEM, NC CONTACT: DEVON LEONARD 336.701.0130 (O) 480.862.2998 (C) devon@stitchdesignshop.com



	SITE NOTES:	UTILITY NOTES:	M
ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDENR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.	<ol> <li>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYDOWN AREA, PERIMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYDOWN AREA PERIMETER FENCE AND ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.</li> </ol>	<ol> <li>UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST CONCRETE STRUCTURES.</li> <li>THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM, ELECTRICAL, GAS, OR OTHER) FOR THIS PROJECT WITH THE BUILDING PLANS. THE</li> </ol>	1.
EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY STEWART , UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S	2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL PROVIDE JOINTS IN WALKWAYS AND HARDSCAPE PER DETAILS OR AS INDICATED ON LANDSCAPE/HARDSCAPE PLAN SHEETS.	UTILITY CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY SERVICES TO WITHIN FIVE (5) FEET OF THE BUILDING CONNECTION POINT. 3. THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE AND UTILITY PROVIDERS	2.
REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL	3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM POINT SHOWN UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.	<ul> <li>DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.</li> <li>4. THE CONTRACTOR SHALL COORDINATE ALL PEDESTRIAN AND VEHICULAR INTERRUPTIONS WITH OWNER'S REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.</li> </ul>	3.
PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED	<ol> <li>REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.</li> <li>ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF CURB UNLESS OTHERWISE NOTED.</li> </ol>	<ol> <li>THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK INSIDE THE PUBLIC RIGHT OF WAY PRIOR TO RECEIPT AND COMPLIANCE WITH ALL APPLICABLE NCDOT PERMITS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FLAGGERS AND TRAFFIC CONTROL DURING ALL</li> </ol>	
WITHOUT ALL UTILITIES BEING LOCATED. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE	<ol> <li>THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.</li> </ol>	<ul><li>WORK INSIDE THE PUBLIC RIGHTS OF WAY.</li><li>6. THE CONTRACTOR SHALL NOT RE-USE ANY FIRE HYDRANT REMOVED AS PART OF THIS PROJECT. ANY</li></ul>	LA
LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.	<ol> <li>ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.</li> <li>ALL UTILITIES WITH SURFACE ACCESS SHALL BE LOCATED WITHIN THE PAVING PATTERN AND SHALL BE</li> </ol>	FIRE HYDRANT SHOWN TO BE REMOVED OR RELOCATED SHALL BE REPLACED WITH A NEW FIRE HYDRANT MEETING THE LOCAL JURISDICTIONAL REQUIREMENTS AND STANDARDS.	1.
EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.	COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. REFER TO LAYOUT DRAWINGS. 9. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.	7. ALL EXISTING SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. DEPTHS OF EXISTING UTILITIES SHOWN IN PROFILE VIEWS ARE BASED ON STANDARD ASSUMPTIONS. THE CONTRACTOR SHALL	3.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.	<ol> <li>ALIGN ALL JOINTS, CORNERS, AND EDGES AS SHOWN</li> <li>CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP</li> </ol>	FIELD VERIFY THE EXACT LOCATION, DEPTH, SIZE AND MATERIAL OF ANY AND ALL SUB-SURFACE CONDITIONS REFERENCED IN THESE PLANS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES	4.
THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.	DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION. 12. ALL CURB TAPERS ARE SIX (6') FEET LONG UNLESS OTHERWISE SHOWN ON PLAN.	OR CONFLICTS. 8. ELEVATIONS OF UTILITIES ARE GIVEN TO THE EXTENT OF INFORMATION AVAILABLE, WHERE ELEVATIONS ARE NOT GIVEN AT POINTS OF EXISTING UTILITY CROSSINGS, SUCH ELEVATIONS SHALL BE DETERMINED	4. 5.
IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT	13. WHERE NEW SIDEWALK ADJOINS EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING INTO THE FACE OF THE EXISTING WALK FOR PLACEMENT OF DOWELS. TIE NEW SIDEWALKS INTO NEAREST EXISTING PAVEMENT JOINT; MATCH WIDTH OF EXISTING WALKWAY.	BY THE CONTRACTOR AND REPORTED TO THE ENGINEER, WHEN UNKNOWN LINES ARE EXPOSED, THEIR LOCATIONS AND ELEVATIONS SHALL ALSO BE REPORTED TO THE ENGINEER. 9. UNDERGROUND UTILITIES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OF	6.
THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO	<ol> <li>WHERE SIDEWALK OR WALKWAYS ARE ADJACENT TO PARKING SPACES THE WALKWAY SHALL BE A MINIMUM</li> <li>6.5' WIDE AS MEASURED FROM THE FACE OF CURB.</li> <li>MAXIMUM RUNNING SLOPE FOR WALKING SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPES</li> </ol>	PARKING AREA, DRIVES, CURB AND GUTTER OR CONCRETE WALKS / PADS. IF UTILITIES SHOWN ON THIS PLAN CANNOT BE INSTALLED PRIOR TO INSTALLATION OF IMPERVIOUS (ASPHALT / CONCRETE) CONDUIT SHALL BE INSTALLED FOR THE "FUTURE" UTILITY INSTALLATION.	
COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE	CANNOT BE GREATER THAN 1:48. HANDICAP SPACES SURFACE SLOPES SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS.	10. AS-BUILT DOCUMENTATION REQUIREMENTS: PRIOR TO APPROVAL FROM LOCAL JURISDICTION OR ENGINEER THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (IN BOTH PAPER AND ELECTRONIC FORMAT (CAD / PDF) PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR SHOWING ALL	7.
MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS	<ol> <li>THE SITE SHALL BE FULLY STABILIZED (90% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL</li> <li>HANDICAP RAMPS SHALL BE INSTALLED PER THE PLANS AND SPECIFICATIONS AND THE NC BUILDING CODE.</li> </ol>	UTILITY INSTALLATION. HORIZONTAL AND VERTICAL INFORMATION SHALL BE PROVIDED FOR WATER, SEWER, STORM INCLUDING ALL STRUCTURES, VALVES, HYDRANTS, AND OTHER APPURTENANCES.	8.
ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000	A MAXIMUM SLOPE OF 1/12 FOR 6-FEET AND A MAXIMUM CROSS SLOPE OF 1:48 SHALL BE PROVIDED. IF EXISTING CONDITIONS PRECLUDE THIS REQUIREMENT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION		
LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.	18. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CERTIFICATION MEMO TO NCDOT FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.		1
KISTING CONDITION NOTES:		PROPOSED UTILITY SEPARATION:	1
THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN. HORIZONTAL DATUM IS NAD 83-2011 AND VERTICAL DATUM IS NAVD88.		<ol> <li>WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10-FOOT HORIZONTAL SEPARATION IN WHICH CASE;</li> </ol>	
THIS DRAWING DOES NOT CONFORM TO N.C. GS47-30 AND THEREFORE IS NOT FOR RECORDATION.	GRADING AND STORM DRAINAGE NOTES:	a. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER; OR	
UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND VISIBLE EVIDENCE AND UTILITY DESIGNATION / MARKING SERVICES PERFORMED BY STEWART INC, AND THE AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.	<ol> <li>CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.</li> <li>THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE PATHWAY SHALL NOT EXCEED 5.0% AND SHALL</li> </ol>	b. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP TO THE SEWER.	
TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY. THE SUBJECT PROPERTY LIES IN <u>ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND</u> <u>FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN).</u> BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER <u>372017370J DATED MAY 2, 2006</u> .	<ul> <li>NOT EXCEED A 2.0% CROSS SLOPE. HANDICAP RAMPS INDICATED ON PLANS SHALL BE A MAXIMUM OF 1/12 SLOPES WITH A MAXIMUM RISE OF 30" BETWEEN LANDINGS. NON-CURB CUT RAMPS SHALL HAVE HANDRAILS AND GUARDS PER DETAILS WITH 5' LANDINGS AT THE BOTTOM AND TOP OF RAMP.</li> <li>3. ALL PROPOSED ELEVATIONS SHOWN ARE EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.</li> </ul>	2. CROSSING A WATER MAIN OVER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION, IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO	1
NO WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL SHOWN.	4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND RECEIVING STORM DRAINAGE SYSTEMS REMAIN CLEAN OF SEDIMENT AND DEBRIS. PRIOR TO OWNER ACCEPTANCE OF SYSTEM, THE CONTRACTOR SHALL COORDINATE AND PROVIDE A VISUAL OBSERVATION VIDEO OF ALL STORM DRAINAGE IMPROVEMENTS 12" AND LARGER. THE VISUAL OBSERVATION SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE TWO (2) DVD COPIES OF THE ENTIRE DRAINAGE VISUAL OBSERVATION.	<ul> <li>WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.</li> <li>CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING</li> </ul>	1
EMOLITION NOTES: THE CONTRACTOR SHALL REMOVE CONCRETE (WHERE REQUIRED) TO THE FIRST COLD JOINT OR SAW CUT TO	5. PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE VIDEO INSPECTION OF THE STORM SEWER SYSTEM. (BOTH PUBLIC AND PRIVATE). THIS	4. SEPARATION OF SANITARY SEWERS AND STORM SEWERS:	1
OBTAIN A CLEAN EDGE. THE CONTRACTOR SHALL SAWCUT EXISTING ASPHALT (WHERE REQUIRED) TO OBTAIN A CLEAN EDGE.	SUBMITTAL MAY NEED TO BE REVIEWED AND ACCEPTED BY THE LOCAL JURISDICTION PRIOR TO THE ISSUANCE OF THE BUILDING CO. 6. REFER TO THE EROSION CONTROL DETAILS SHEET FOR THE SEQUENCE OF CONSTRUCTION	a. A 18" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR BOTH THE SANITARY AND THE STORM LINES SHALL BE CONSTRUCTED OF FERROUS MATERIALS.	
CLEANOUTS AND WATER VALVES LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND RAISED TO BE FLUSH WITH NEW GRADE.	<ol> <li>INTERIM GRADING SHALL BE PROVIDED THAT ENSURES THE PROTECTION OF STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL</li> </ol>	SEWER NOTES:	_
ANY UTILITY SERVICES SHOWN TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE SEQUENCING OF UTILITY DEMOLITION WITH THE RESPECTIVE UTILITY AGENCIES.	MOVEMENT, UNDERMINING, AND WASHOUT. 8. INTERIM GRADING SHALL BE PROVIDED TO DIRECT WATER AWAY FROM BUILDINGS AND PREVENT PONDING.	1. SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING CASTINGS.	
CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY "NORTH CAROLINA ONE CALL" (TELEPHONE 1-800-632-4949) AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT	9. TIE ROOF LEADERS WHERE POSSIBLE TO UNDERGROUND STORM SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATE AND INSTALL WHERE POSSIBLE OR AS SHOWN ON PLANS. WHERE ROOF LEADERS DAYLIGHT AT GRADE A SPLASH BLOCK APPROVED BY THE OWNER'S REPRESENTATIVE SHALL BE INSTALLED.	2. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.	
PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL." CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.	10. MAXIMUM SLOPE ACROSS ANY HANDICAPPED PARKING SPACE AND AISLE SHALL NOT EXCEED 2% IN ANY DIRECTION.	<ol> <li>MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE. MANHOLES LOCATED IN OTHER AREAS (I.E. GRASS OR WOODED AREAS) SHALL HAVE THEIR RIMS RAISED SIX INCHES ABOVE THE SURROUNDING GRADE. MANHOLES SUBJECT TO POSSIBLE WATER INFILTRATION SHALL HAVE WATERTIGHT, BOLTED LIDS.</li> </ol>	
ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.	11. PROPOSED CONTOURS ARE APPROXIMATE. SPOT ELEVATIONS AND ROADWAY PROFILES SHALL BE USED IN CASE OF DISCREPANCY.	<ul> <li>4. MINIMUM REQUIRED SLOPES FOR SEWER SERVICES:</li> <li>4" SEWER SERVICE - 1.00% SLOPE</li> <li>6" SEWER SERVICE - 1.00% SLOPE</li> </ul>	
ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN.	12. PLACE BACKFILL AND FILL MATERIALS IN LAYER NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. PLACE BACKFILL AND FILL MATERIALS EVENLY ON ALL SIDES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE.	<ul> <li>5. UNLESS OTHERWISE NOTED, LOCATE SANITARY SERVICE CLEANOUTS AT ALL HORIZONTAL OR VERTICAL CHANGES IN DIRECTION. MAXIMUM SPACING BETWEEN CLEANOUTS SHALL BE 75 FEET.</li> </ul>	
REFER TO LANDSCAPE AND EROSION CONTROL DRAWINGS FOR TREE PROTECTION PLAN AND REQUIREMENTS.	COMPACT SOIL TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL UP TO TWO FEET OF FINISHED GRADE. COMPACT SOIL TO NOT LESS THAN 98 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL FOR THE FINAL TWO FEET.	<ol> <li>SEWER LINES LESS THAN 3 FEET OF COVER SHALL BE CLASS 50 DUCTILE IRON PIPE. SEWER LINES WITH GREATER THAN 3 FEET OF COVER SHALL BE AS NOTED BELOW:</li> </ol>	
REQUIREMENTS. TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING DEMOLITION	<ol> <li>SITE GRADING IMMEDIATELY ADJACENT TO FOUNDATION OF BUILDING SHALL SLOPE NOT LESS THAN 1/20 AWAY FOR MINIMUM DISTANCE OF 10 FEET. ALTERNATIVE METHOD SHALL BE PROVIDED TO DIVERT WATER</li> </ol>	4" SEWER SERVICE - SCH 80 6" SEWER SERVICE - SCH 80 8" SEWER SERVICE - SDR-35	
EROSION CONTROL PERMIT SHALL BE OBTAINED AND ONSITE PRIOR TO BEGINNING DEMOLITION.	AWAY FROM FOUNDATION VIA SWALES SLOPED AT A MINIMUM OF 2% OR IMPERVIOUS SURFACES SLOPED AWAY A MINIMUM OF 2% AWAY FROM BUILDING.	7. SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM. A MECHANICAL PLUG SHALL BE UTILIZED BOTH IMMEDIATELY UPSTREAM OF THE NEW CONSTRUCTION AND AT THE FIRST MANHOLE DOWNSTREAM IN THE EXISTING SYSTEM. EXISTING STRUCTURES, PIPING AND APPURTENANCES SHALL BE PROTECTED	
TO THE OWNER. COORDINATE STORAGE LOCATION WITH OWNER'S REPRESENTATIVE. WHERE UTILITIES ("TO BE REMOVED") IMPACT THE FOOTPRINT OF THE NEW BUILDING, THE CONTRACTOR SHALL	<ol> <li>CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.</li> <li>CONTRACTOR SHALL SLOPE GRADES TO ASSURE POSITIVE STORMWATER FLOW TO KEEP WATER FROM</li> </ol>	FROM ANY INFLOW OF WATER, DIRT OR DEBRIS DUE TO NEW CONSTRUCTION CONNECTING TO OR IN THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO REMOVE DEBRIS AND PLUG PRIOR TO OCCUPANCY.	
EXECUTE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF THE PIPE, AND 1 FOOT BELOW. CLEAN SUITABLE SOIL SHALL BE UTILIZED FOR BACKFILL AND COMPACTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.	16. TOP OF WALL ELEVATIONS INDICATE THE ELEVATION AT THE TOP OF THE CAP, UNLESS OTHERWISE NOTED.	8. ALL MANHOLES COVERS SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.	
DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE PIPING SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT DRAINAGE UPSTREAM OF THE SYSTEM. PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.	17. BOTTOM OF WALL ELEVATIONS INDICATE THE ELEVATION OF THE FINISHED GRADE.	WATER NOTES:	
DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC) SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT OR MINIMIZE SERVICE INTERRUPTION TO EXISTING FACILITIES TO REMAIN. PROVISIONS SHALL BE MADE TO MAINTAIN SERVICE DURING CONSTRUCTION.	SIGNAGE, STRIPING AND MARKING NOTES:	<ol> <li>AS INDICATED, ALL WATERLINES SHALL BE DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF ANSI-AWWA C151 PRESSURE CLASS 350 OR SOFT COPPER TYPE K PIPE PER ASTM B88. IF PVC WATERLINE IS INDICATED ON THE PLANS IT SHALL MEET THE REQUIREMENTS OF AWWA C-900; CLASS 200.</li> </ol>	
THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING DRIVEWAY, PARKING LOT, SIDEWALK AND CURB AND GUTTER AS A RESULT OF CONSTRUCTION ACTIVITY AND TRAFFIC. CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION VIDEO OR PHOTO DOCUMENTATION TO SHOW NO DAMAGES OCCURRED.	<ol> <li>ALL INTERNAL SIGNAGE SHALL BE COORDINATED WITH OWNER FOR ACTUAL LOCATION AT TIME OF INSTALLATION. SIGNAGE LEADING ONTO PUBLIC THOROUGHFARE SHALL BE INSTALLED AT RIGHT OF WAY</li> </ol>	<ol> <li>ALL WATERLINES SHALL HAVE A MINIMUM OF 3.5 FEET OF COVER.</li> <li>TESTING NOTES: <u>PRESSURE:</u> LEAKAGE SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE SPECIFIED IN AWWA C 600.</li> </ol>	
	PER DOT STANDARDS	LEAKAGE SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE SPECIFIED IN AWWA C 600. MINIMUM TEST PRESSURE SHALL BE 150 PSI FOR DOMESTIC AND 200 PSI FOR FIRE PROTECTION. <u>BACTERIOLOGICAL:</u> TWO SAMPLES FOR BACTERIOLOGICAL SAMPLING SHALL BE COLLECTED AT LEAST 24 HOURS APART. IF CONTAMINATION IS INDICATED. THEN THE DISINFECTION PROCEDURE AND TESTING	
ALL MATERIALS, FURNISHINGS, UTILITIES, AND PAVEMENT THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER		ADART THE CONTAMINATION IS INDICATED. THEN THE DISINEECTION DROCEDURE AND TESTING	
		<ol> <li>4. THE CHLORINE IN HEAVILY CHLORINATED WATER FLUSHED FROM MAINS NEEDS TO BE NEUTRALIZED BEFORE DISCHARGE. CONTRACTORS SHALL NEUTRALIZE HEAVILY CHLORINATED WATER FLUSHED FROM</li> </ol>	

#### RIALS AND FURNISHINGS NOTES:

BREVIATIONS FOR SPECIFIC HARDSCAPE MATERIALS AND FURNISHINGS ARE LISTED IN THE LEGEND ) ARE USED THROUGHOUT THE DRAWING SET'S HARDSCAPE & FURNISHINGS PLANS, PAVING PATTERN ANS AND SITE DETAILS.

FER TO RELATED SPECIFICATION SECTION FOR SPECIFIC SUBMITTALS OF PRODUCT DATA, SAMPLES, DP DRAWINGS, QUALITY ASSURANCE REQUIREMENTS, EXECUTION REQUIREMENTS, AND FOR THER PRODUCT INFORMATION NOT INCLUDED IN THIS SCHEDULE

ITRACTOR TO SUBMIT COLOR SAMPLES AND PROVIDE MOCK-UPS FOR ALL CAST IN PLACE CONCRETE R APPROVAL BY LANDSCAPE ARCHITECT.

#### SCAPE NOTES:

ERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES OR INACCURACIES IN THE PLANS TO THE WNER'S REPRESENTATIVE PRIOR TO PLANTING.

NDSCAPE WORK SHALL INCLUDE THE FURNISHING, INSTALLATION, AND WARRANTY OF ALL PLANTING TERIALS WITHIN THE PROJECT AREA.

LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL EXISTING AND NEW DERGROUND UTILITIES PRIOR TO EXCAVATION FOR PLANTING. DAMAGES TO UTILITIES CAUSED BY THE NDSCAPE OPERATION SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE NER.

NDSCAPING SHALL REMAIN CLEAR FROM ANY FIRE HYDRANTS ON THE SITE.

TREES TO BE A MINIMUM OF 2" IN CALIPER AND MUST MEET THE AMERICAN STANDARD FOR NURSERY OCK.

DTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE LOWERING OF ISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE ADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES E INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST NAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF E TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.

DOT ZONE PROTECTION AREA: VARIES BASED ON LOCAL JURISDICTION HAVING AUTHORITY. DNTRACTOR SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS. NO DISTURBANCE ALLOWED THIN THIS AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING GNS.

ED BED PREPARATION: ALL AREAS TO BE SEEDED ARE TO BE RECEIVE A MINIMUM OF 2" OF APPROVED PSOIL. ALL DEBRIS, ROCKS, ETC. LARGER THAN .5" ARE TO BE REMOVED. ALL LARGE CONCENTRATIONS GRAVEL & DEBRIS REGARDLESS OF SIZE ARE TO BE REMOVED PRIOR TO SEEDING OR PLANTING.

L PLANT BED AREAS ARE TO RECEIVE A MINIMUM OF 6" OF APPROVED TOPSOIL.

L SHOULD BE TESTED AND AMENDED WITH LIME AND FERTILIZER FOR HARDWOOD TREES ACCORDING NCDA PROCEDURES. SCARIFY PLANT PIT WALLS. CONSULT LANDSCAPE ARCHITECT FOR ALTERNATE MPLIANCE.

REDDED HARDWOOD MULCH 3" DEEP EXCEPT AT CROWN OF PLANT UNLESS OTHERWISE NOTED. FLARE CROWN SHOULD BE REVEALED. BACKFILL CONSISTS OF THOROUGHLY BROKEN UP NATIVE SOIL. TOTAL DLUME OF BACKFILL SHOULD BE AMENDED WITH UP TO ONE THIRD PINE BARK MULCH. PIECES SHOULD BE LARGER THAN WHAT PASSES THROUGH A ONE INCH SCREEN. IF ADDITIONAL SOIL IS REQUIRED FOR ACKFILL DUE TO DETRIMENTAL SUBSOIL DRAINAGE CONDITIONS, USE SOIL SIMILAR TO EXISTING NATIVE L. ADDITIONAL SOIL TO BE APPROVED BY LANDSCAPE ARCHITECT. MAXIMUM SAUCER HEIGHT IS 6 HES.

P OF ROOTBALL TO BE RAISED 2-3 INCHES ABOVE EXISTING GRADE.

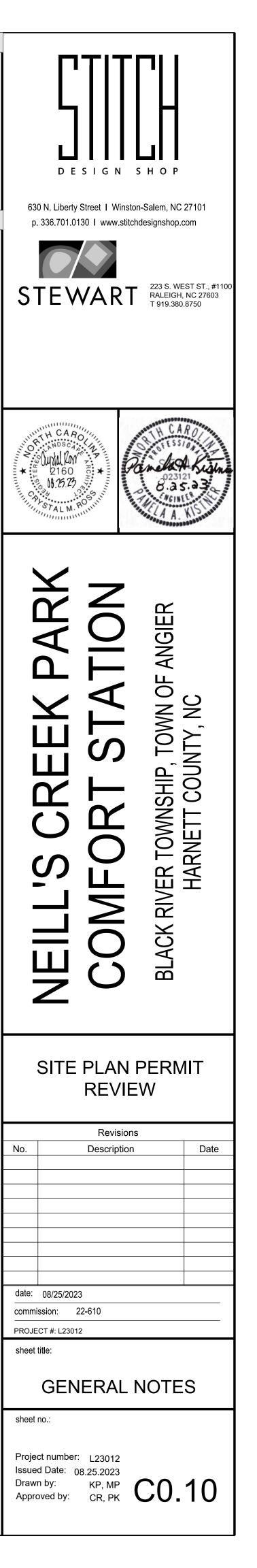
R B&B PLANTS, NATURAL FIBER BURLAP SHOULD BE TURNED DOWN BY 1/3 TOTAL HEIGHT OF ROOT BALL. ASTIC FIBER BURLAP AND WIRE BASKETS SHOULD BE REMOVED TO 2/3'S OF TOTAL HEIGHT OF ROOT

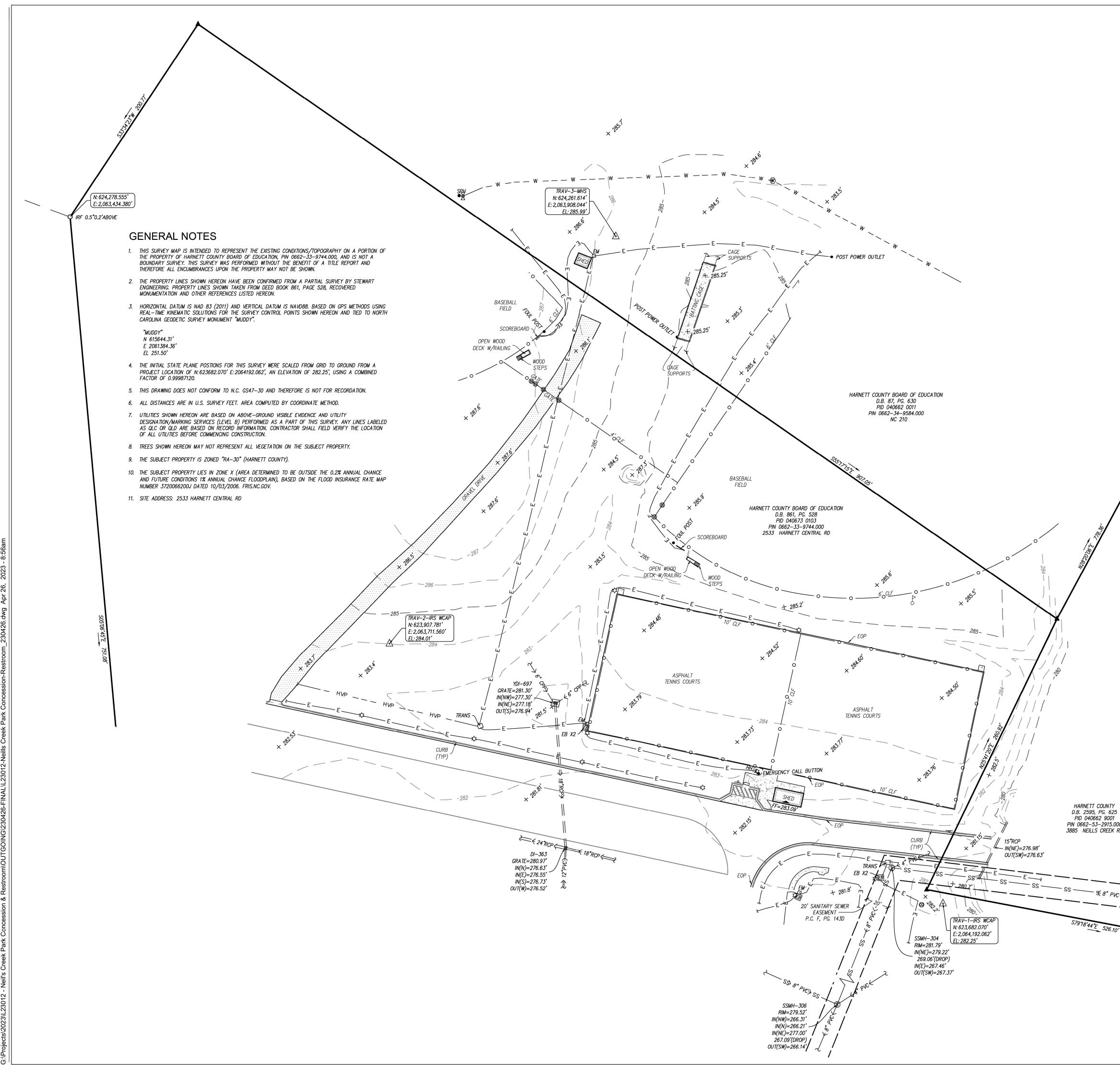
INTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB THROUGHOUT THE ARRANTY PERIOD. IF STABILIZATION IS NECESSARY SEE STAKING IN TREE DETAIL, ORANGE FLAGGING APE SHOULD BE ATTACHED TO SUPPORT WIRE. STAKING SHOULD BE REMOVED BY CONTRACTOR AT END ONE YEAR WARRANTY PERIOD OR AS DIRECTED BY GROUNDS MANAGEMENT.

E STANDARD "GATOR" BAGS FOR WATERING TREES IN AREAS NOT UNDER IRRIGATION. INCORPORATE RRA-SORB (OR EQUAL) AS PER MANUFACTURERS RECOMMENDATIONS, FOR AREAS NOT UNDER RIGATION.

"BIO-BARRIER" OR EQUIVALENT ACCORDING TO MANUFACTURER'S RECOMMENDATION FOR TREES AT WILL BE PLANTED WITHIN 10' OF PAVEMENT

NDSCAPING/C.O. STANDARDS NOTE: ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A RTIFICATE OF COMPLIANCE.

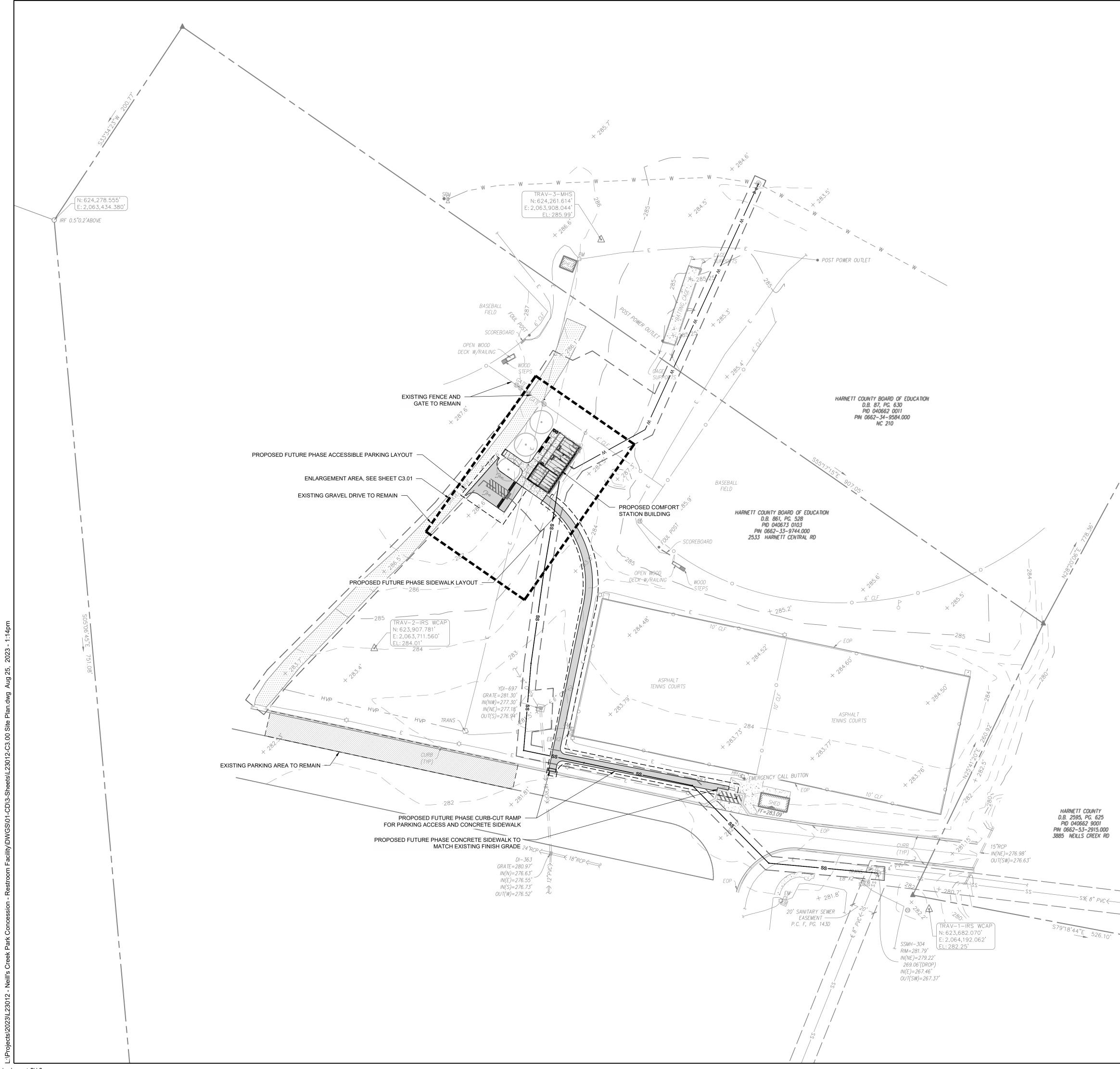




LEGEND	CONTROL POINT IRON PIPE FOUND IRON ROD FOUND CALCULATED POINT STORM CATCH BASIN SEWER CLEANOUT SEWER MANHOLE IRRIGATION VALVE SPRINKLER HEAD WATER METER POWER BOX/METER POWER BOX/METER POWER METER HANDHOLE GUY WIRE LIGHT POLE FINISH FLOOR ELEV. SIGN FLAG POLE FENCE POST GATE CHAIN LINK FENCE UNDERGROUND ELECTRIC LINE UNDERGROUND HIGH VOLTAGE UNDERGROUND WATER LINE QLC/QLD SANITARY SEWER LINE	<image/> <section-header><text><text><text></text></text></text></section-header>
SS SS SS SS SS SS SS SS SS SS SS SS SS	SANITART SEWER LINE STORM DRAIN LINE UNKNOWN DESTINATION CONCRETE SURFACE CONCRETE SURFACE POLYVINYL CHLORIDE PIPE REINFORCED CONCRETE PIPE CORRUGATED PLASTIC PIPE CHAIN LINK FENCE	NORTH NAD83(2011)
		0 20 40 80 SCALE: 1" = 40' Title: <b>EXISTING CONDITIONS</b> SURVEY FOR: <b>NEILL'S CREEK</b> PARK CONCESSION & RESTROOM BLACK RIVER TOWNSHIP, TOWN OF ANGIER HARNETT COUNTY, NORTH CAROLINA DATE: 04/26/2023 SCALE: 1" = 40' CONTOUR INTERVAL = 1 FOOT
NTY 625 001 15.000 EEK RD	SSMH-301 RIM=278.47' IN(N)=276.50' 269.36'(DROP) IN(E)=268.76' OUT(W)=268.63'	PREPARED FOR:         SAMET         Revisions:       Description
26.10' I, JORDAN M. SC DIRECT AND RES SUPERVISION; TH PERCENT CONFID STANDARDS; THA FOR A TOPOGRAF VERTICAL ACCURA THE ORIGINAL DA COMPLETED ON A LINES] MAY NOT BASED ON NADB.		Seal: NOR THESSION SEAL L-4939 SEAL L-4939 NO SURVED NO SUR



SYMBOL	LEGEND:	DESCRIPTION	ווחדודח
	<b>-</b>	<ul> <li>LIMITS OF DISTURBANCE</li> <li>PROPERTY LINE</li> <li>EASEMENT</li> </ul>	
		- SETBACK	
	—— BZ———	- RIPARIAN BUFFER (50')	DESIGN SHOP
	TP		
		ACCESSIBLE ROUTE	630 N. Liberty Street I Winston-Salem, NC 27101 p. 336.701.0130 I www.stitchdesignshop.com
SYMBOL	ION LEGEND: DESCRIPTION		
	REMOVE BUILDING	3	STEWART 223 S. WEST ST., #1 RALEIGH, NC 27603 T 919,380.8750
	REMOVE ASPHALT	-	
	REMOVE GRAVEL		
	REMOVE BRICK		
	REMOVE CONCRE	TE	
	REMOVE RIPRAP		
* * * * * * * * *	REMOVE VEGETAT	ΓΙΟΝ	H CARO
$\bigotimes$	REMOVE TREE		* 2160 * Panelat Kish
$\mathbf{X}$	REMOVE SIGN		8.as.a3 9.25 1.17 1.1
Ж	COORDINATE LIG	HT POLE REMOVAL	ALMININI
	REMOVE CURB & (		
	- W	REMOVE WATER LINE REMOVE SANITARY SEWER LINE	
	V	REMOVE STORM DRAINAGE	DF ANGLER
	— X ——	REMOVE FENCE	
			I Ш ́́́
			NELL'S O COMFOF BLACK RIVER TOWN HARNET
			SITE PLAN PERMIT REVIEW
			Revisions No. Description Date
			date: 08/25/2023
			commission: 22-610 
			sheet title:
			DEMOLITION PLAN
			sheet no.:
			Project number: L23012
	1 1		Issued Date: 08.25.2023



	LINETYPE LEGEND:	
	SYMBOL DESCRIPTION	
	ELIMITS OF DISTURBANCE	
	— — — — — — — SETBACK	
		630 1
		p. 3
	SITE LEGEND:	
	SYMBOL DESCRIPTION	
	PROPOSED FUTURE PHASE WORK	SI
	PROPOSED CONCRETE SIDEWALK	
	PROPOSED GRAVEL	
		0 2
	O O PROPOSED LITTER RECEPTACLES	SCALE
	PROPOSED BENCH	
		L'IN OFT
		1111111 <b>*</b>
	FUTURE PHASE WHEEL STOP	619. 9
	OTES:	111111
1.	SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.	
		-
		L
		C
		_
		_
		2
		S
		No.
		date: (
		commiss
		PROJEC
		sheet titl
		0
		CURF



Approved by:



3\L23012 - Neill's Creek Park Concession - Restroom Facility\DWGS\01-CD\3-Sheets\L23012-C3.00 Site Plan.dwg Aug 25

STITCH design + development, PLLC



SEEDING PRE	PARATION:		EROSION CONTROL NOTES:
	CTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP	OVER ADVERSE SOIL CONDITIONED, IF	1. REFER TO C3.00 FOR GENERAL NOTES.
AVAILABLE.	E AREA TO 6 INCHES DEPTH.		2. ALL EROSION CONTROL MEASURES SHALL BE INS LOCATION BASED ON FIELD CONDITIONS.
3. REMOVE ALL LO AND UNIFORM.	DOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEA	AVING SURFACE REASONABLY SMOOTH	3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR T MAINTENANCE OF ALL EROSION CONTROL MEASU
4. APPLY ALL AGF BELOW).	RICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHA	TE UNIFORMLY AND MIX WITH SOIL (SEE	<ul><li>THE DURATION OF CONSTRUCTION.</li><li>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR 1</li></ul>
,	AGE UNTIL A WELL PULVERIZED, FIRM, REASONABLY	UNIFORM 4 TO 6 INCHES DEEP SEEDBED IS	CONSTRUCTION ENTRANCES AS NECESSARY TO F TRACKING OF SEDIMENT OFF-SITE. THE OWNER IS MAINTENANCE OF ALL PERMANENT EROSION CON CONSTRUCTION IS COMPLETE, IF ANY PERMANEN
6. SEED ON A FRE CULTIPACK AF	ESHLY PREPARED SEED BED AND COVER SEED LIGH TER SEEDING.	TLY WITH SEEDING EQUIPMENT OR	REQUIRED.
7. MULCH IMMEDI	ATELY AFTER SEEDING AND ANCHOR MULCH.		<ol> <li>APPROVAL OF THIS EROSION AND SEDIMENTATIO DOES NOT CONSTITUTE AN APPROVAL OF DRAINA AND LOCATION OF ROADS, PIPES, RESTRICTORS,</li> </ol>
IF POSSIBLE. IF	EEDED AREAS AND MAKE NECESSARY REPAIRS OR R STAND SHOULD BE OVER 60% DAMAGED , REESTABI D SEEDING RATES.		<ul><li>FACILITIES, UTILITIES, ETC.).</li><li>6. THE IMPLEMENTATION OF THESE ESC PLANS AND</li></ul>
IF POSSIBLE. IF	EEDED AREAS AND MAKE NECESSARY REPAIRS OR R STAND SHOULD BE OVER 50% DAMAGED , REESTABI D SEEDING RATES AND LANDSCAPING PLANS.		MAINTENANCE, REPLACEMENT, AND UPGRADING FACILITIES IS THE RESPONSIBILITY OF THE CONTR SUPERVISOR UNTIL ALL CONSTRUCTION IS APPRO
	PING PLANS FOR PERMANENT SEEDING, MULCHING, A O RECEIVE PLANTS SHALL BE SEEDED PER THE LAND		<ol> <li>DURING THE CONSTRUCTION PERIOD, NO DISTUR LIMITS OF DISTURBANCE (L.O.D.) SHALL BE PERMI BE MAINTAINED BY THE ESC SUPERVISOR FOR TH CONSTRUCTION.</li> </ol>
TEMPORARY	SEEDING PREPARATION:		8. THE ESC FACILITIES SHOWN ON THIS PLAN MUST PRIOR TO OR IN CONJUNCTION WITH ALL CLEARIN
1. CHISEL COM AVAILABLE.	IPACTED AREAS AND SPREAD TOPSOIL THREE INCHE	ES DEEP OVER ADVERSE SOIL CONDITIONS, IF	TO ENSURE THAT THE TRANSPORT OF SEDIMENT SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZ
2. RIP THE ENT	TRE AREA TO SIX INCHES DEEP.		<ol> <li>THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE REQUIREMENTS FOR ANTICIPATED SITE CONDITION CONSTRUCTION PERIOD, THESE ESC FACILITIES SECONSTRUCTION PERIOD, THESE ESC FACILITIES SECONSTRUCTION PERIOD.</li> </ol>
3. REMOVE ALI AND UNIFOR	L LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, RM.	LEAVING SURFACE REASONABLY SMOOTH	AS NEEDED FOR UNEXPECTED STORM EVENTS AN ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. PUMPS, RELOCATION OF DITCHES AND SILT FENC
4. APPLY AGRI ADMIXTURE	CULTURAL LIME, FERTILIZER AND SUPER PHOSPHAT BELOW).	E UNIFORMLY AND MIX WITH SOIL (SEE	10. THE ESC FACILITIES SHALL BE INSPECTED DAILY E SUPERVISOR AND MAINTAINED TO ENSURE CONT
<ol> <li>CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.</li> <li>SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR</li> </ol>		FUNCTIONING. WRITTEN RECORDS SHALL BE MAI CONTRACTOR THROUGHOUT THE DURATION OF T OF THE WRITTEN INSPECTION REPORTS SHALL BE OWNER'S REPRESENTATIVE TWICE PER WEEK AN	
	AFTER SEEDING. EDIATELY AFTER SEEDING AND ANCHOR MULCH.		GREATER THAN 0.5". RAIN GAUGE REQUIRED ON S 11. ANY AREAS OF EXPOSED SOILS THAT WILL NOT BI
8. INSPECT ALL SEASON, IF	L SEEDED AREAS AND MAKE NECESSARY REPAIRS O POSSIBLE. IF STAND SHOULD BE MORE THAN 60% DA		FOURTEEN DAYS SHALL BE IMMEDIATELY STABILI APPROVED ESC METHODS (E.G., SEEDING, MULCI COVERING, ETC.).
9. CONSULT SE	ME, FERTILIZER AND SEEDING RATES. &EC ENVIRONMENTAL ENGINEERS ON MAINTENANCE F COVER IS ESTABLISHED.	TREATMENT AND FERTILIZATION AFTER	12. THE ESC FACILITIES ON INACTIVE SITES SHALL BE MAINTAINED A MINIMUM OF ONCE A MONTH OR WI HOURS FOLLOWING A STORM EVENT.
SEEDING SCH			SEQUENCE OF CONSTRUCTION ACTI
	ITCHES, SLOPES (MAX 3:1)		
DATE	TYPE	PLANTING RATE	1. OBTAIN GRADING PERMIT.
AUG 15 - NOV 1	TALL FESCUE	300 LBS/ACRE	2. DETERMINE AND MARK LIMITS OF DISTURBANCE.
NOV 1 - MAR 1	TALL FESCUE & ABRUZZI RYE	300 LBS/ACRE 25 LBS/ACRE	3. A PRE-CONSTRUCTION CONFERENCE MUST BE HE TO THE START OF ANY CONSTRUCTION ACTIVITIE
MAR 1 - APR 15	TALL FESCUE	300 LBS/ACRE	CONTROL INSPECTOR, ARCHITECT, ENGINEER, AI SHALL BE PRESENT TO SATISFY REQUIREMENTS.
APR 15 - JUN 30	HULLED COMMON BERMUDAGRASS	25 LBS/ACRE	4. INSTALL CONSTRUCTION ENTRANCE, TREE PROTE
JUL 1 - AUG 15		120 LBS/ACRE	FENCE, PERIMETER EROSION CONTROL DEVICES BASINS AND TRAPS.
	***BROWNTOP MILLET ***OR SORGHUM-SUDAN HYBRIDS	35 LBS/ACRE 30 LBS/ACRE	5. SCHEDULE SITE INSPECTION.
			<ol> <li>6. UPON APPROVAL TO PROCEED BY THE EROSION (</li> </ol>
SLOPES (3:1 TO 2:1)			HARVEST ANY TIMBER.
DATE MAR 1 - JUN 1	TYPE ***BROWNTOP MILLET	PLANTING RATE 50 LBS/ACRE	7. CONSTRUCT REMAINING EROSION CONTROL MEA
(MAR 1 - APR 15)	ADD TALL FESCUE	120 LBS/ACRE (MAR 1 - JUN 30)	8. REMOVE AND/OR STORE TOPSOIL.
	OR ADD HULLED COMMON BERMUDAGRASS	25 LBS/ACRE	9. BEGIN GRADING OPERATIONS.
JUN 1 - SEP 1	***TALL FESCUE AND ***BROWNTOP MILLET ***OR SORGHUM-SUDAN HYBRIDS	120 LBS/ACRE 35 LBS/ACRE 30 LBS/ACRE	10. CLEAN SEDIMENT BASINS/TRAPS WHEN ONE-HALF 11. ALL STREETS SURROUNDING THE PROJECT SHAL
SEP 1 - MAR 1	ANNUAL RYE AND TALL FESCUE ADD ABRUZZI RYE	70 LBS/ACRE 120 LBS/ACRE (NOV 1 - MAR 1) 25 LBS/ACRE	ALL TIMES. 12. PLACE TEMPORARY SEEDING ON ALL DISTURBED
OTHER ALTERNATIVI	ATION ENGINEER OR SOIL CONSERVATION SERVICE I ES FOR VEGETATION OF DENUDED AREAS. THE ABO CAL CONDITIONS; OTHER SEEDING RATE COMBINATION	FOR ADDITIONAL INFORMATION CONCERNING VE VEGETATION RATES ARE THOSE WHICH	IDLE 14 DAYS OR LONGER. 13. PERMANENT SURFACE STABILIZATION SHALL BE II AREAS WITHIN 14 DAYS AFTER FINAL GRADE HAS NECESSARY, FERTILIZE, WATER AND RESEED AS I
***TEMPORARY - RES	SEED ACCORDING TO OPTIMUM SEASON FOR DESIRE	D PERMANENT VEGETATION. DO NOT ALLOW	ESTABLISH AND MAINTAIN A VIGOROUS STAND OF

ADMIXTURES:	
-------------	--

AGRICULTURAL LIMESTONE: 2 TONS/ACRE FERTILIZER: 1,000 LBS/ACRE - 10-10-10 SUPERPHOSPHATE: 500 LBS/ACRE - 20% ANALYSIS MULCH: 2 TONS/ACRE - SMALL GRAIN STRAW ANCHOR: ASPHALT EMULSION AT 300 GALS/ACRE

NSTALLED IN BEST	13. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.	
R THE INSTALLATION AND SURES THROUGHOUT	14. STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR	
R THE INSTALLATION OF O PREVENT THE	THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.	DESIGN SHOP
R IS RESPONSIBLE FOR ONTROL METHODS AFTER ENT METHODS ARE	15. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE A MINIMUM THICKNESS OF 2 TO 3 INCHES.	DESIGN SHOP
ION CONTROL (ESC) PLAN NAGE DESIGN (E.G., SIZE S, CHANNELS, RETENTION	<ol> <li>INTERIM SLOPES MAY BE GRADED TO A MAXIMUM SLOPE OF 2:1 (HORIZONTAL: VERTICAL); CUT SLOPES SHALL BE LIMITED TO A MAXIMUM SLOPE OF 1.5:1.</li> </ol>	630 N. Liberty Street I Winston-Salem, NC 27101 p. 336.701.0130 I www.stitchdesignshop.com
ND THE CONSTRUCTION, IG OF THESE ESC ITRACTOR AND ESC ROVED.	17. THE SURFACE OF AREAS SLOPES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL THAT ARE TO RECEIVE INTERIM FILL SHALL BE PLOWED, FURROWED, TILLED OR BROKEN UP PRIOR TO PLACING FILL SO THAT FILL MATERIAL WILL BOND WITH EXISTING . " SURFACE. INTERIM FILL SHALL BE PLACED AS SPECIFIED FOR PERMANENT FILLS AND IN LIFTS NOT GREATER THAN 6".	STEWART 223 S. WEST ST., #1100 RALEIGH, NC 27603 T 919 380 8750
JRBANCE BEYOND THE MITTED. THE L.O.D. SHALL THE DURATION OF	18. PROVIDE DUST CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, WETTING DOWN TO CONTROL DUST ON SITE, IN ORDER TO PREVENT ANNOYANCE/AND OR DAMAGE TO ADJACENT SITES. CALCIUM CHLORIDE OR ANY OTHER CHEMICAL MATERIAL MAY NOT BE USED ON SUBGRADES OF AREAS TO BE SEEDED OR PLANTED.	<b>UIL VV/ IXI</b> T 919.380.8750
BT BE CONSTRUCTED RING AND GRADING SO AS NT TO DRAINAGE MIZED.	19. SEDIMENT LADEN RUNOFF FROM EXCAVATIONS SHALL NOT BE PUMPED DIRECTLY TO STORM DRAINAGE.	
THE MINIMUM FIONS. DURING THE S SHALL BE UPGRADED	20. INSPECTOR REFERS TO LOCAL JURISDICTIONAL (NCDENR OR LOCAL) LAND QUALITY INSPECTOR OR HIS REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR.	CAP Content
AND MODIFIED TO G., ADDITIONAL SUMP NCES, ETC.).	21. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH AND NATURAL	NDSCAROLANDSCA
Y BY THE ESC NTINUED PROPER IAINTAINED BY THE	RESOURCES LAND QUALITY SECTION EROSION AND SEDIMENT CONTROL PLANNING LAND DESIGN MANUAL.	* 2160 8 * 1 0 023121 8.25.27 3 8.25.23
F THE PROJECT. COPIES BE PROVIDED TO THE AND AFTER RAINS OF N SITE.	22. NOTIFICATION OF LAND RESOURCES SEDIMENT AND EROSION CONTROL SELF-INSPECTION PROGRAM: THE PERSON RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES IS REQUIRED TO INSPECT THE PROJECT AFTER EACH PHASE OF THE PROJECT AND CONTINUED UNTIL	STAL M. ROSULT
BE DISTURBED FOR ILIZED WITH THE CHING, PLASTIC	PERMANENT GROUND COVER IS ESTABLISHED IN ACCORDANCE WITH NCGS 113A-54.1 AND 15A NCAC 4B.0131 TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. THE SELF-INSPECTION REPORT FORM IS AVAILABLE AS AN EXCEL SPREADSHEET FORM HTTP://WWW.DLR.ENR.STATE.NC.US/PAGES/SEDIMENTATION_NEW.HTML	
BE INSPECTED AND WITHIN FORTY EIGHT (48)		
TIVITIES:		
	14. AFTER COMPLETION OF CONSTRUCTION AND THE SITE IS STABILIZED,	
E. HELD 48 HOURS PRIOR TIES. THE EROSION AND CONTRACTOR	REMOVE ALL ACCUMULATED SEDIMENT FROM SEDIMENT TRAPPING MEASURES AND DISPOSE BY MEANS DEEMED ACCEPTABLE BY THE ENGINEER. SCHEDULE SITE INSPECTION. UPON APPROVAL BY THE EROSION CONTROL INSPECTOR, REMOVE TEMPORARY EROSION CONTROL MEASURES, SMOOTH AREA AND APPLY APPROPRIATE STABILIZATION.	
S. DTECTION FENCING, SILT ES AND ALL REQUIRED	<ol> <li>STORMWATER PERMIT INSPECTION REPORTS SHALL BE PERFORMED BY THE CONTRACTOR UNTIL NOTIFIED OTHERWISE BY THE EROSION CONTROL INSPECTOR.</li> </ol>	
	NOTES:	
N CONTROL INSPECTOR,	<ol> <li>INSPECTOR REFERS TO LOCAL JURISDICTIONAL (NCDENR OR LOCAL) LAND QUALITY INSPECTOR OR HIS REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR.</li> </ol>	
EASURES AS REQUIRED.	2. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH AND NATURAL RESOURCES LAND QUALITY SECTION EROSION AND SEDIMENT CONTROL	HARNE TO O O D O D TO O D O D
ALF FULL.	PLANNING LAND DESIGN MANUAL. 3. NOTIFICATION OF LAND RESOURCES SEDIMENT AND EROSION CONTROL	
ALL BE KEPT CLEAN AT	S. NOTIFICATION OF LAND RESOURCES SEDIMENT AND EROSION CONTROL SELF-INSPECTION PROGRAM: THE PERSON RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES IS REQUIRED TO INSPECT THE PROJECT AFTER EACH PHASE OF THE PROJECT AND CONTINUED UNTIL	
ED AREAS THAT WILL BE	PERMANENT GROUND COVER IS ESTABLISHED IN ACCORDANCE WITH NCGS 113A-54.1 AND 15A NCAC 4B.0131 TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING	
E INSTALLED FOR ALL AS BEEN REACHED. AS	FOLLOWED. THE SELF-INSPECTION REPORT FORM IS AVAILABLE AS AN EXCEL SPREADSHEET FORM	

AS BEEN REACHED. AS AS REQUIRED TO OF GRASS.

# EXCEL SPREADSHEET FORM HTTP://WWW.DLR.ENR.STATE.NC.US/PAGES/SEDIMENTATION\_NEW.HTML

CONSTRUCTION DOCUMENTS Revisions Date No. Description date: 08/25/2023 commission: 22-610 sheet title:

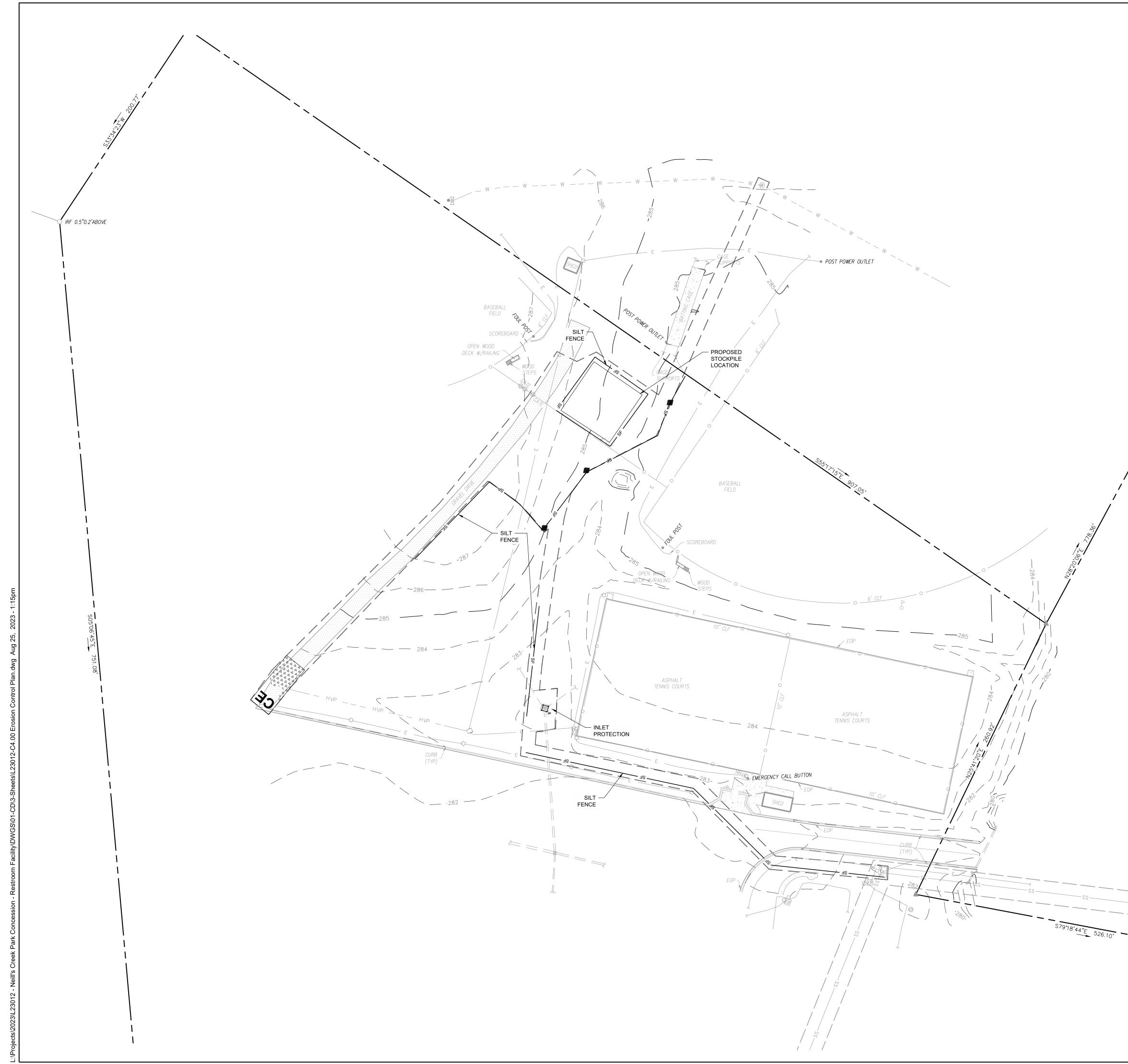
**EROSION CONTROL** NOTES

sheet no .:

TOTAL AREA OF DISTURBANCE 0.65 AC / 28,529 SF

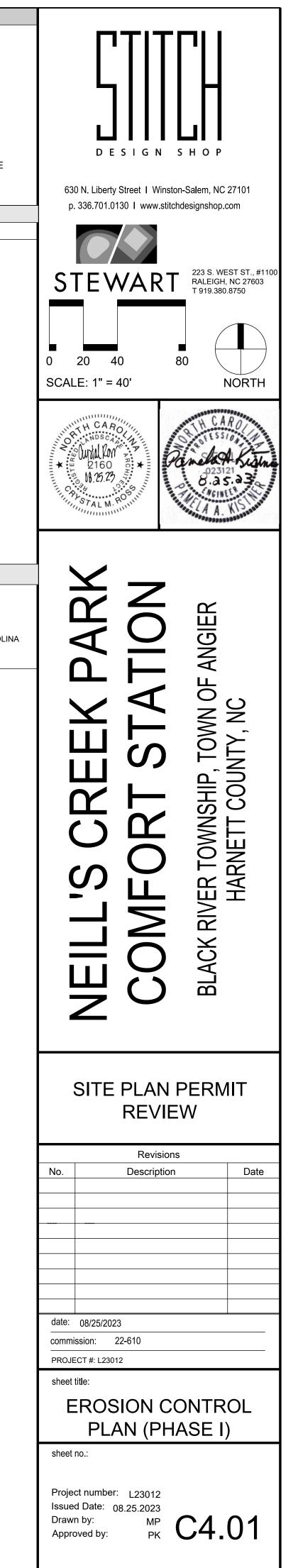
Project number: L23012 Issued Date: 07/11/2023 Drawn by: MP Approved by: PK **4.00** 

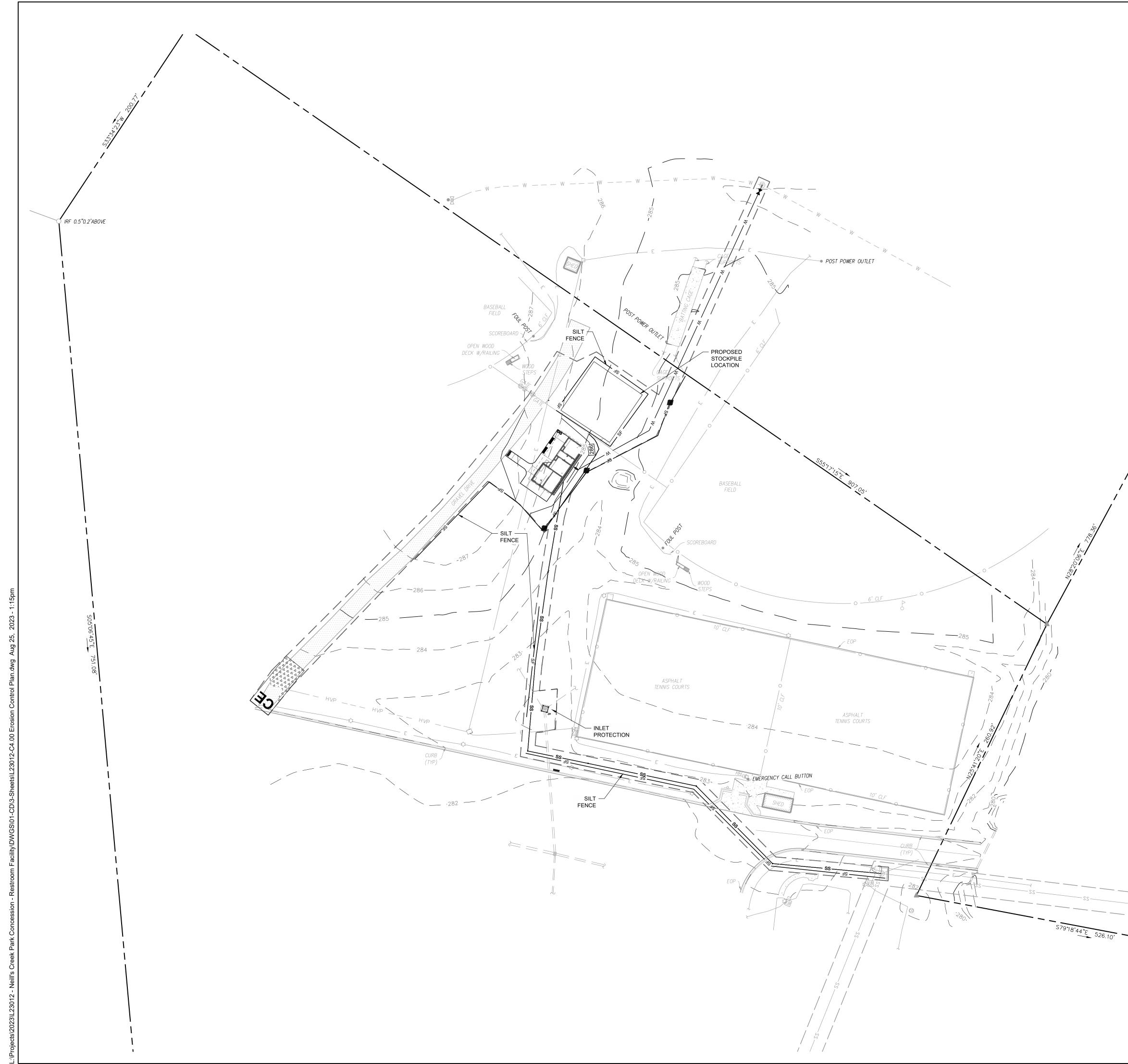




LINETYPE	LEGEND:		
SYMBOL		DESCRIPTION	
		PROPERTY LINE	
		EASEMENT	
		SETBACK	
	—— BZ————	RIPARIAN BUFFER (50')	
	TP	TREE PROTECTION FENCE	
		ACCESSIBLE ROUTE	
EPOSION	CONTROL LEGEN		
SYMBOL	DESCRIPTION	ND.	
<mark>الا</mark> ال	BLOCK & GRAVEL INLE	T PROTECTION	
	SILT FENCE & WIRE INLET PROTECTION		
$\bigcirc$	HORSESHOE INLET PROTECTION		
SILT FENCE OUTLET			
860800	CHECK DAM		
$\prec$	FLARED END SECTION		
	SEDIMENT TRAP		
	RIP RAP DISSIPATER		
	TEMPORARY CONSTRU	JCTION ENTRANCE	
	- SF	SILT FENCE	
	DD	DIVERSION DITCH	
· ··-		100 YEAR FLOOD ELEVATION	
NOTES:			
1. SEE SHEE	T C0.10 FOR GENERAL AN	ND SITE NOTES.	
2. SEE SHEE	T C4.00 FOR EROSION CO	ONTROL NOTES.	

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA EROSION CONTROL SPECIFICATIONS.

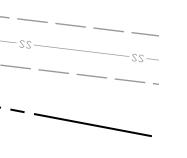


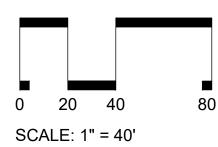


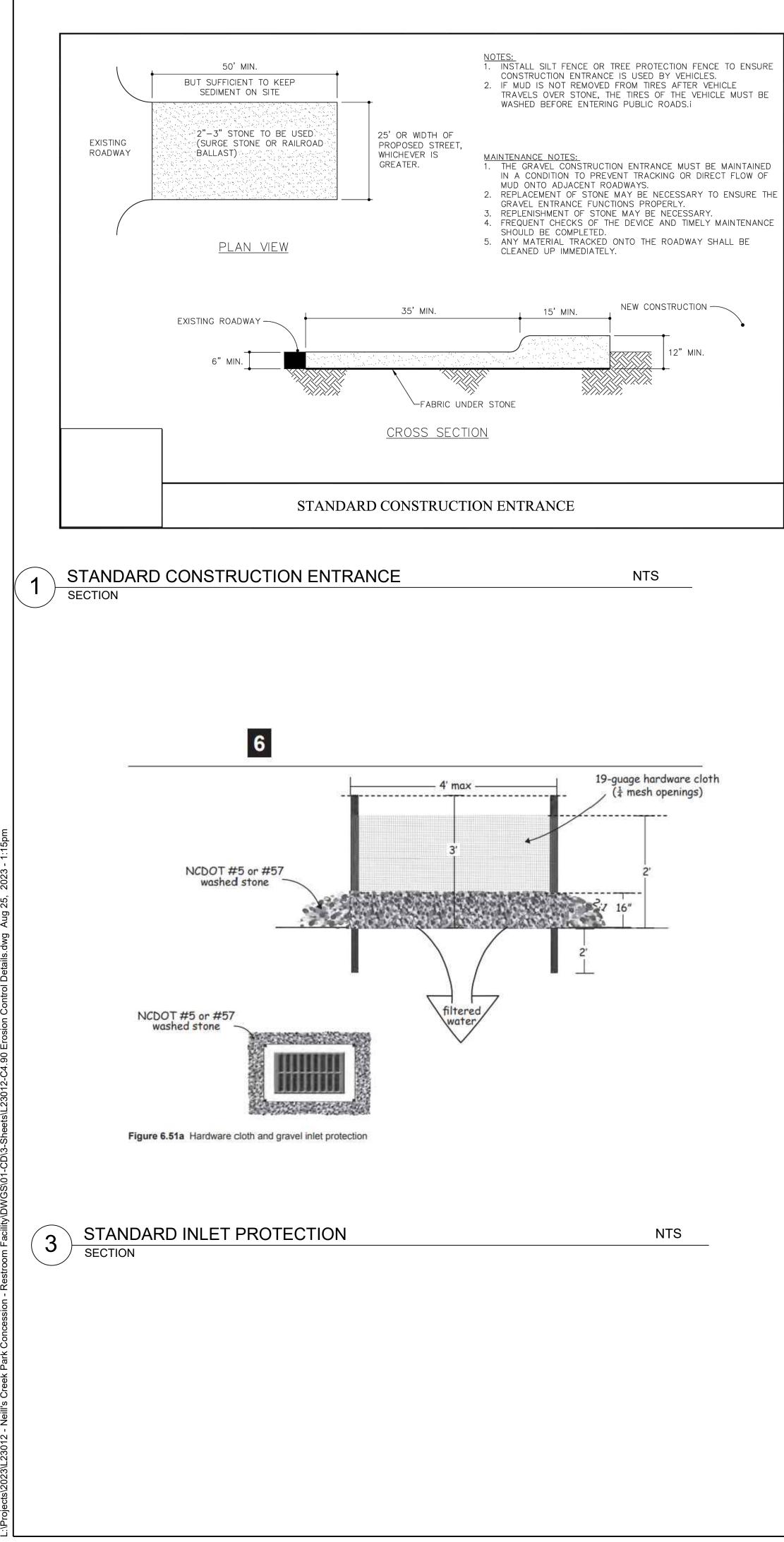
LINETYPE	LEGEND:				
SYMBOL		DESCRIPTION			
		LIMITS OF DISTURBANCE			
		PROPERTY LINE			
<u> </u>		EASEMENT			
		SETBACK			
	—— BZ————	RIPARIAN BUFFER (50')			
	TP	TREE PROTECTION FENCE			
		ACCESSIBLE ROUTE			
EROSION	CONTROL LEGEN	ND:			
SYMBOL	DESCRIPTION				
<b>تا</b> <sub>اP</sub>	BLOCK & GRAVEL INLE	T PROTECTION			
	SILT FENCE & WIRE INL	ET PROTECTION			
$\bigcirc$	HORSESHOE INLET PRO	OTECTION			
÷	SILT FENCE OUTLET				
88888	CHECK DAM				
$\prec$	FLARED END SECTION				
	SEDIMENT TRAP				
	RIP RAP DISSIPATER				
	TEMPORARY CONSTRU	JCTION ENTRANCE			
	- SF SF	SILT FENCE			
	DD [	DIVERSION DITCH			
· · · · · · · · · · · · · · · · · · ·	—··—— · 1	100 YEAR FLOOD ELEVATION			
NOTES:					
1. SEE SHEE	T C0.10 FOR GENERAL AN	ID SITE NOTES.			
2. SEE SHEE	T C4.00 FOR EROSION CC	NTROL NOTES.			
	3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA EROSION CONTROL SPECIFICATIONS.				

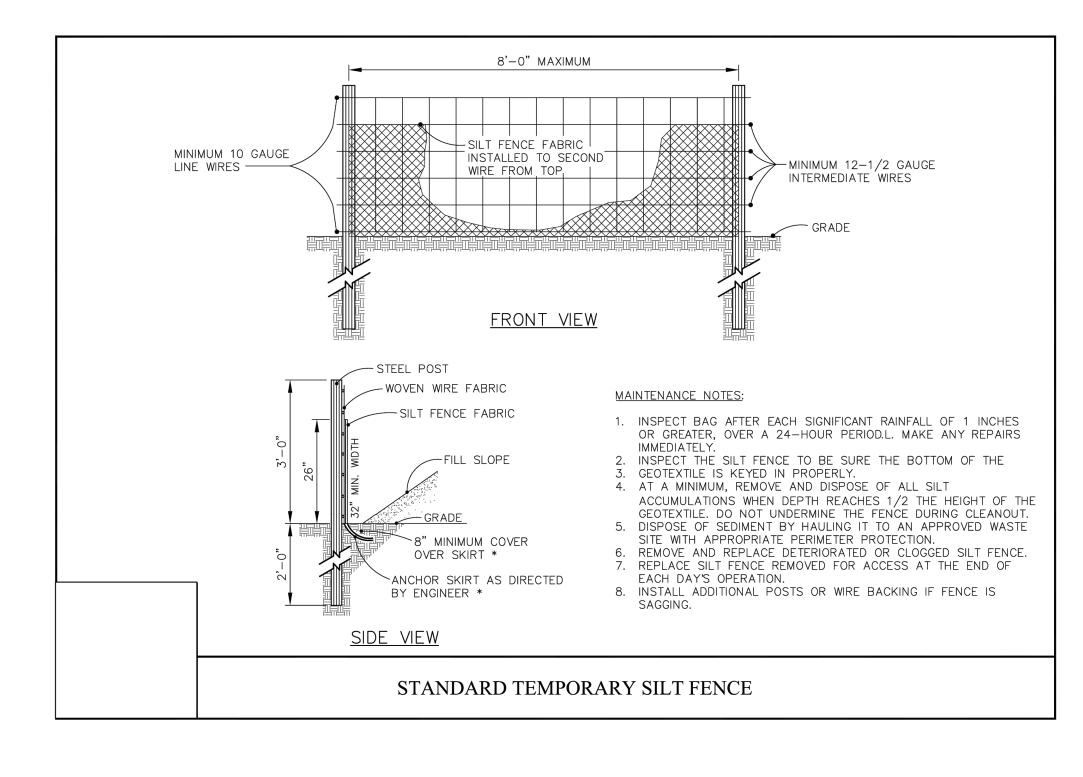
		date:       08/25/2023         commission:       22-610         PROJECT #: L23012				
		sheet title: EROSION CONTROL PLAN (PHASE II)				
80	NORTH	sheet no.: Project number: L23012 Issued Date: 08.25.2023 Drawn by: MP Approved by: PK C4.02				

G30 N. Liberty Street I Winston-Salem, NC 27101 p. 336.701.0130 I www.stitchdesignshop.com							
STEWART 223 S. WEST ST., RALEIGH, NC 2760 7919.380.8750							
$\times \mathbb{P}_{\mathcal{A}} $							
C PARK ATION OF ANGIER							
NEILL'S CREEK PAR COMFORT STATION BLACK RIVER TOWN BLACK RIVER TOWNSHIP, TOWN OF ANGIER HARNETT COUNTY, NC							
SITE PLAN PERMIT REVIEW							
Revisions       No.     Description     Date							
date: 08/25/2023 commission: 22-610							
PROJECT #: L23012 sheet title:							
EROSION CONTROL PLAN (PHASE II)							



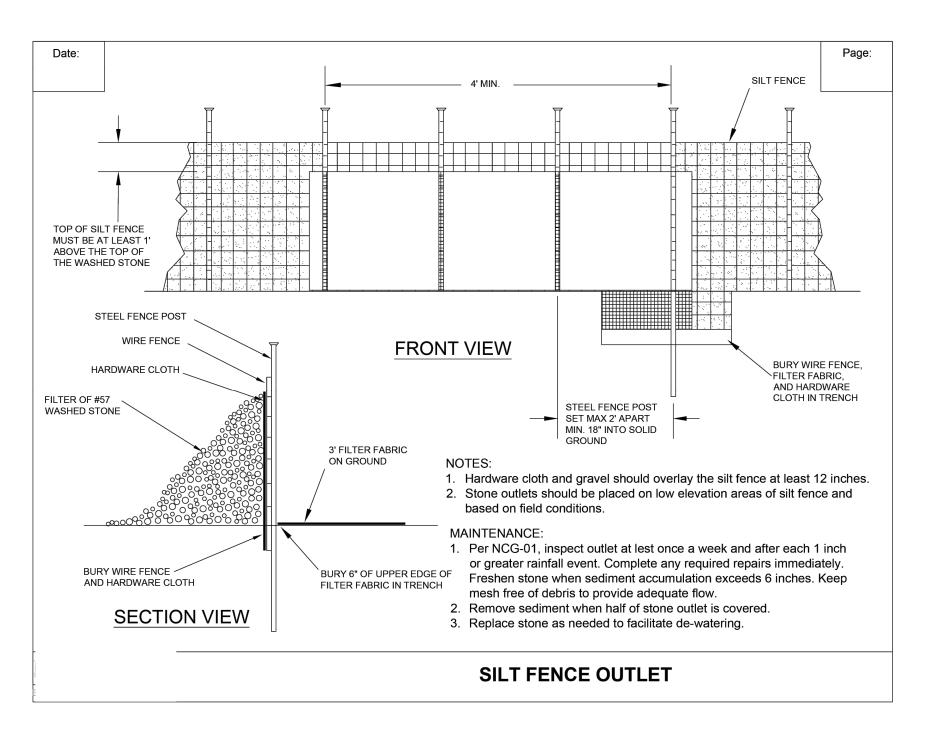






2 STANDARD TEMPORARY SILT FENCE

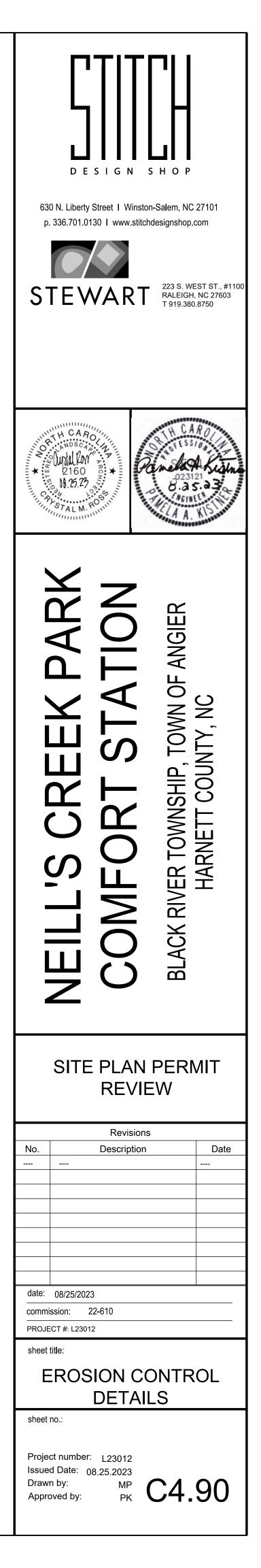
NTS

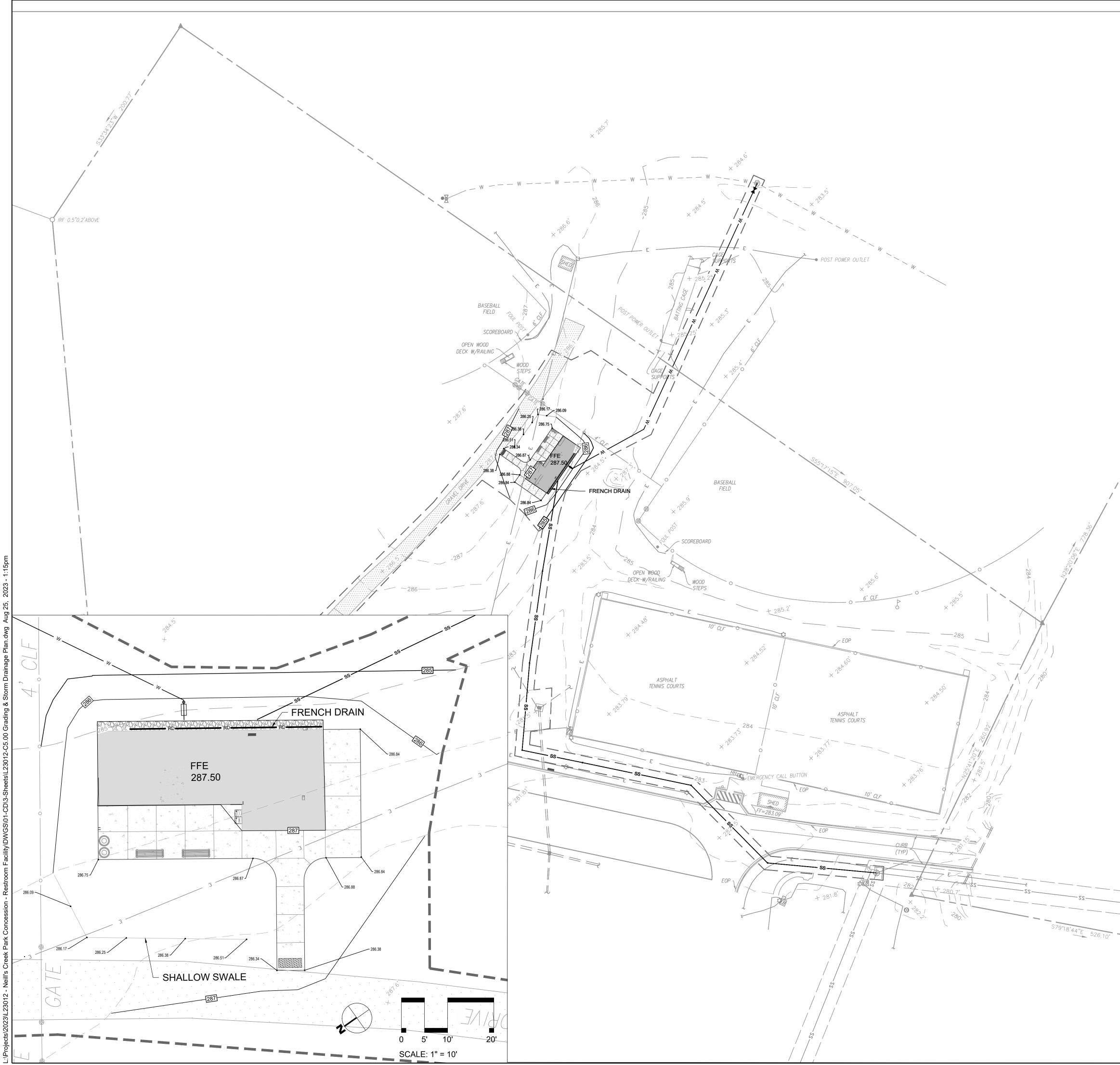




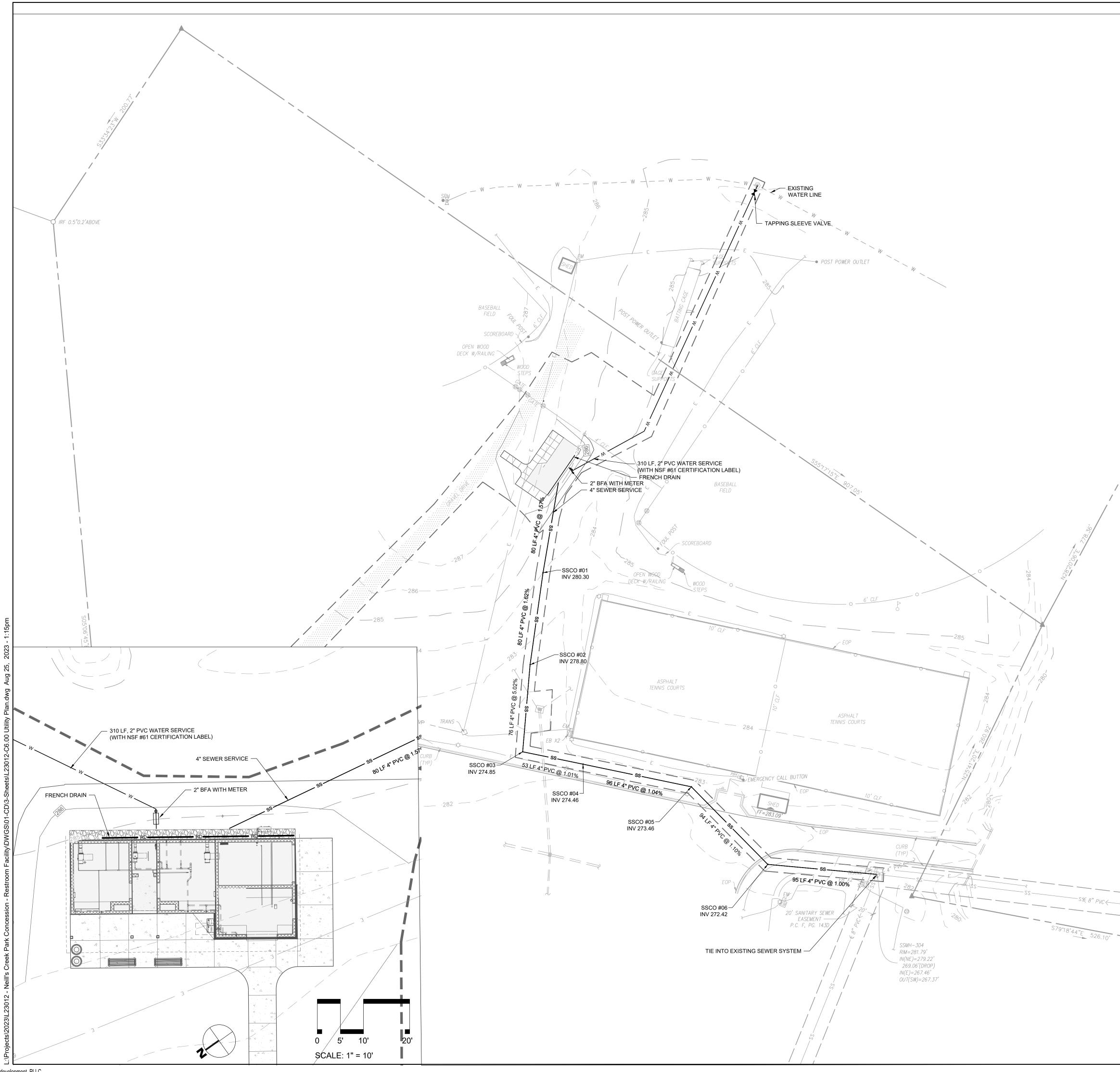
4

NTS





	LINETYPE LEGEND:	DESCRIPTION	
		LIMITS OF DISTURBANCE PROPERTY LINE	
		EASEMENT	
	BZ	RIPARIAN BUFFER (50')	LIIIILII DESIGN SHOP
	тр	TREE PROTECTION FENCE	
		ACCESSIBLE ROUTE	630 N. Liberty Street I Winston-Salem, NC 27101 p. 336.701.0130 I www.stitchdesignshop.com
	GRADING LEGEND: SYMBOL DESCRIPTION		
		вох	
	PROPOSED CATCH BA	SIN	<b>STEWART</b> <sup>223 S. WEST ST., #1100</sup> RALEIGH, NC 27603 T 919.380.8750
	PROPOSED AREA DRA	IN	
	RIPRAP DISSIPATOR		
	FLOW DIRECTION		0 5 10 20
	44.50 PROPOSED ELEVATION	Ν	SCALE: 1" = 10'
	TC 44.50 BC 44.00 TOP/BOTTOM OF CURE	3	H CARO
	TW 46.00 BW 44.00 TOP/BOTTOM OF WALL	_	A Sister
	✓ BW 44.00	PROPOSED STORM DRAINAGE	8.25.23 5 8.25.23 5 8.25.23
		PROPOSED STORM DRAINAGE	STAL M. ROUTER
Í		PROPOSED MINOR CONTOUR EXISTING MAJOR CONTOUR	· · · · · · · · · · · · · · · · · · ·
		EXISTING MINOR CONTOUR	
	NOTES:		
	1. SEE SHEET C0.10 FOR GENERAL AN	ND GRADING NOTES.	
	PRE DEVELOPMENT IMPERVIOUS AREA: 15	91 222 SE (4 39 AC)	
	POST DEVELOPMENT IMPERVIOUS AREA:	1,7682 SF (0.04 AC)	
	PERCENTAGE OF PROPOSED IMPERVIOUS	SURFACE < 1%	
			M H 포잉
			<b>IEILL'S C</b> BLACK RIVER TOW HARNEI
			BLACK RIV BLACK RIV
			SITE PLAN PERMIT REVIEW
			Revisions No. Description Date
			date: 08/25/2023
22 -			commission: 22-610 PROJECT #: L23012
			sheet title:
			GRADING & STORM
			DRAINAGE PLAN
			sheet no.:
			Project number: L23012
		N	Issued Date: 08.25.2023
	0 20' 4	40' 80'	Drawn by: MP C5.00
	SCALE: 1" =		



LINETYPE SYMBOL	LEGEND:	DECODIDITION	
STMBOL		DESCRIPTION	Ι Γ
		<ul> <li>LIMITS OF DISTURBANCE</li> <li>PROPERTY LINE</li> </ul>	
		EASEMENT	
		SETBACK	L
	BZ TP	<ul> <li>RIPARIAN BUFFER (50')</li> <li>TREE PROTECTION FENCE</li> </ul>	D
		ACCESSIBLE ROUTE	630 N. Liberi
UTILITY L	EGEND:		p. 336.701.
SYMBOL	DESCRIPTION		
<b>₩</b>	PROPOSED FIRE HYDF	RANT	
~ <sub>₹</sub>	PROPOSED WATER VA		STE\
S	EXISTING SANITARY SI		
S	PROPOSED SANITARY	SEWER MANHOLE	
oco	PROPOSED CLEANOUT	т	
0		ARTMENT CONNECTION (FDC)	
FDC	PROPOSED BACKFLOV		TH CA
PIV	PROPOSED POST INDI		ANDSC ANDSC
•	PROPOSED GREASE IN		= ★ = 2160 
		EXISTING WATER LINE	STAL M
	- W	PROPOSED WATER LINE	
		EXISTING SANITARY SEWER LINE PROPOSED SANITARY SEWER LINE	
		300' HYDRANT COVERAGE CIRCLE	
NOTES:			
1. SEE SHEE	T C0.10 FOR GENERAL AN	ND UTILITY NOTES.	
			Ш
			l LLL
			<b>S</b>
			Ш
			SITE
			No.
			date: 08/25/20
			date: 08/25/20 commission:
			PROJECT #: L23
			sheet title:
			U
			sheet no.:
		NI	
			Project number Issued Date:
			Drawn by: Approved by:
	0 20' 4	40' 80'	, , _ , , , , , , , , , , , , , ,

SCALE: 1" = 40'

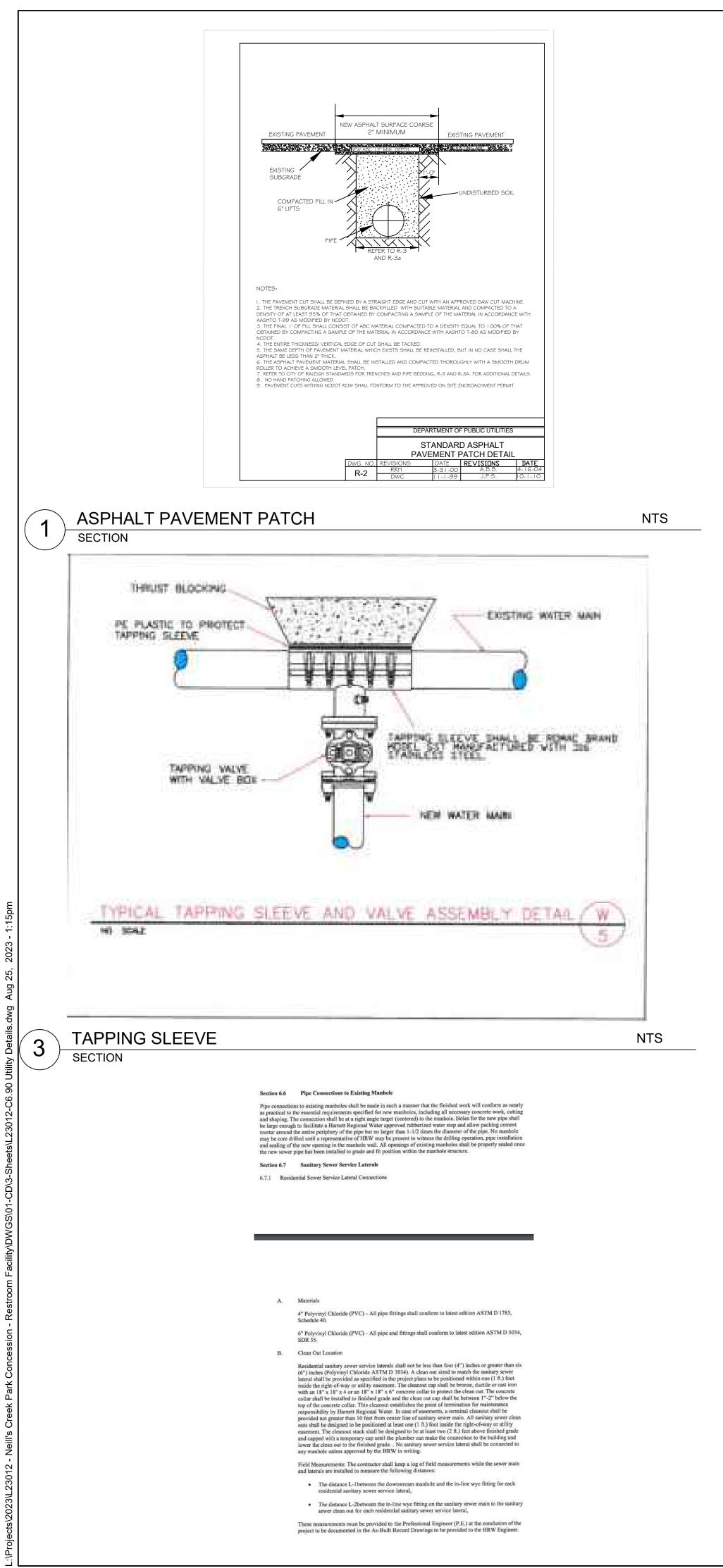
ESIGN SHOP erty Street I Winston-Salem, NC 27101 1.0130 I www.stitchdesignshop.com 
 WART
 223 S. WEST ST., #1100

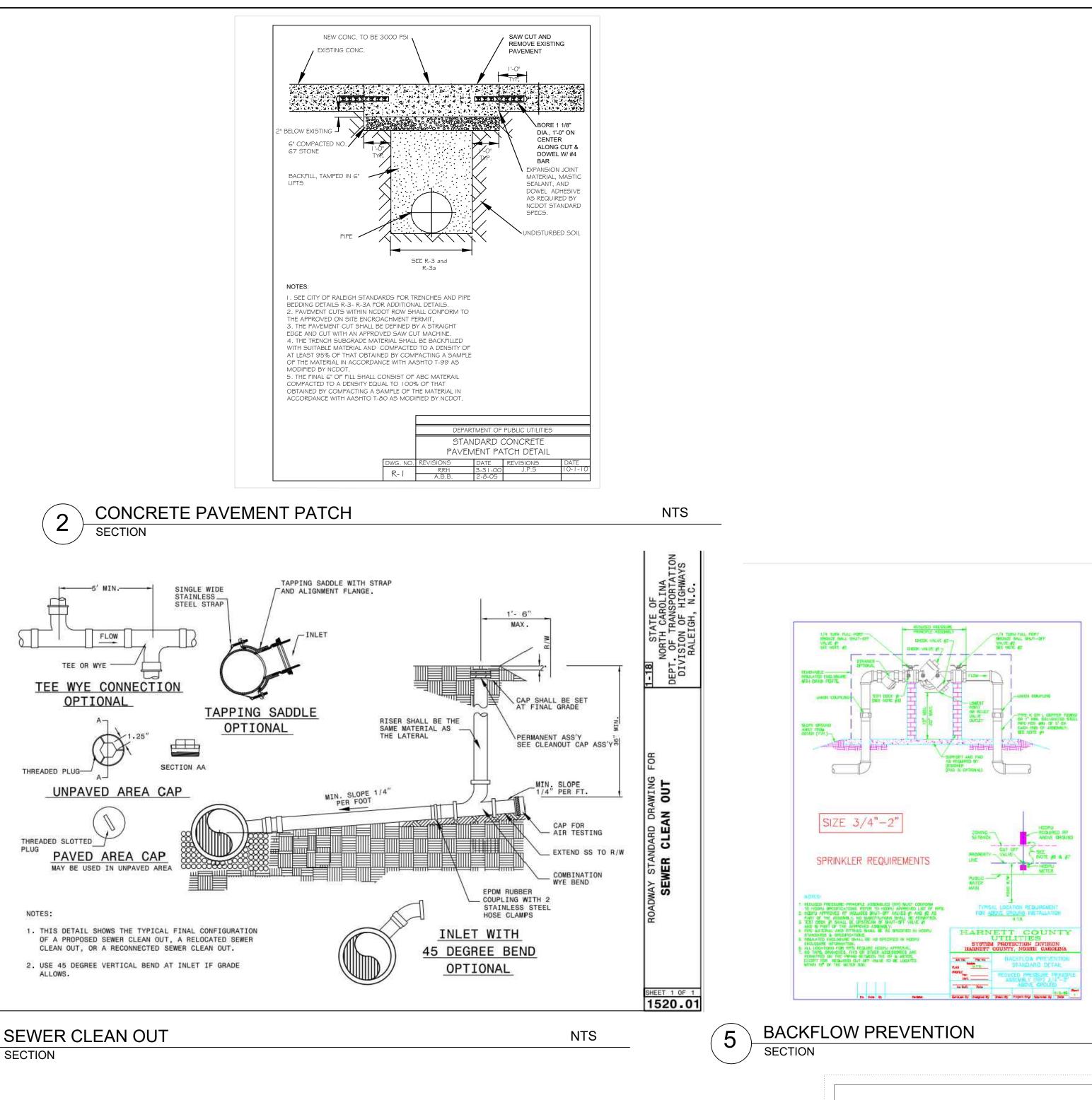
 RALEIGH, NC 27603
 T 919.380.8750
 <u>NOI.</u> VSHIP, TOWN OF ANGIER F COUNTY, NC A S BLACK RIVER TOWNSHI HARNETT CC COMFOF E PLAN PERMIT REVIEW Revisions Description Date

22-610

JTILITY PLAN







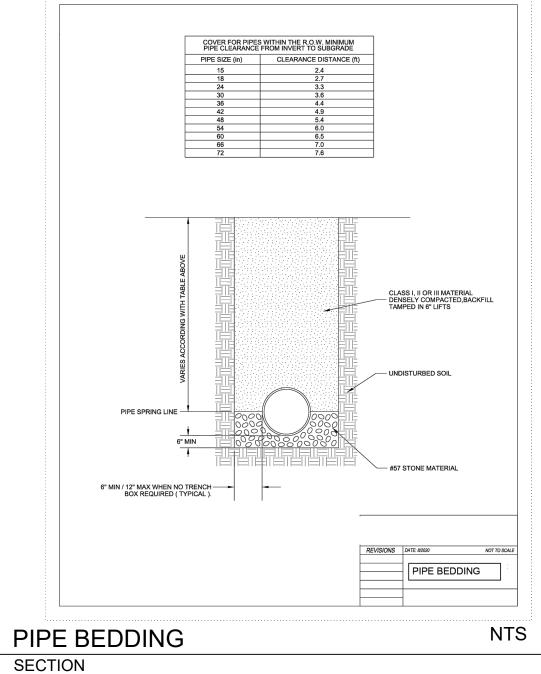
3. Service Pipe

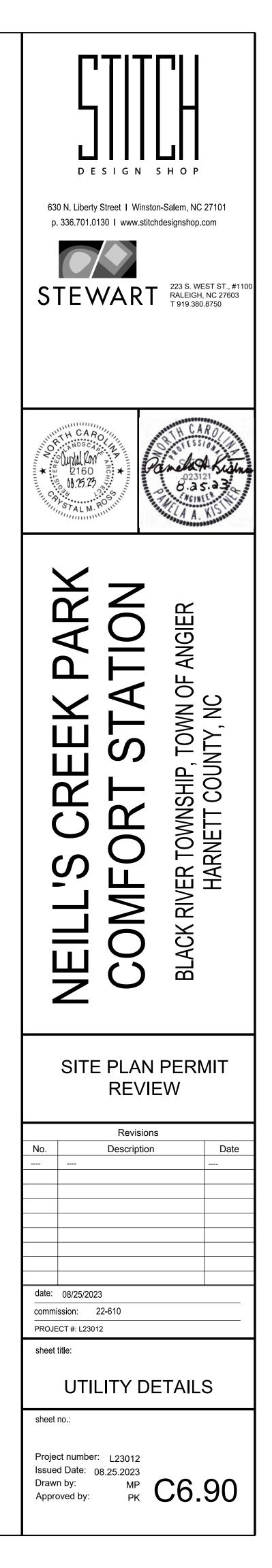
4

All 4" and 6" sanitary sewer service laterals, service lines, cleanouts and associated fittings shall be Schedule 40 PVC conforming to ASTM Standards D2466 and D2672 respectively or SDR 23.5 conforming to ASTM Standard D2665 D3034 with glued or gasketed joints. The sanitary sewer service lateral shall include a long sweeping wye with a plug to cover the end of the cleanout until the final service line connection is completed by the plumber hired by the builder/owner.

6

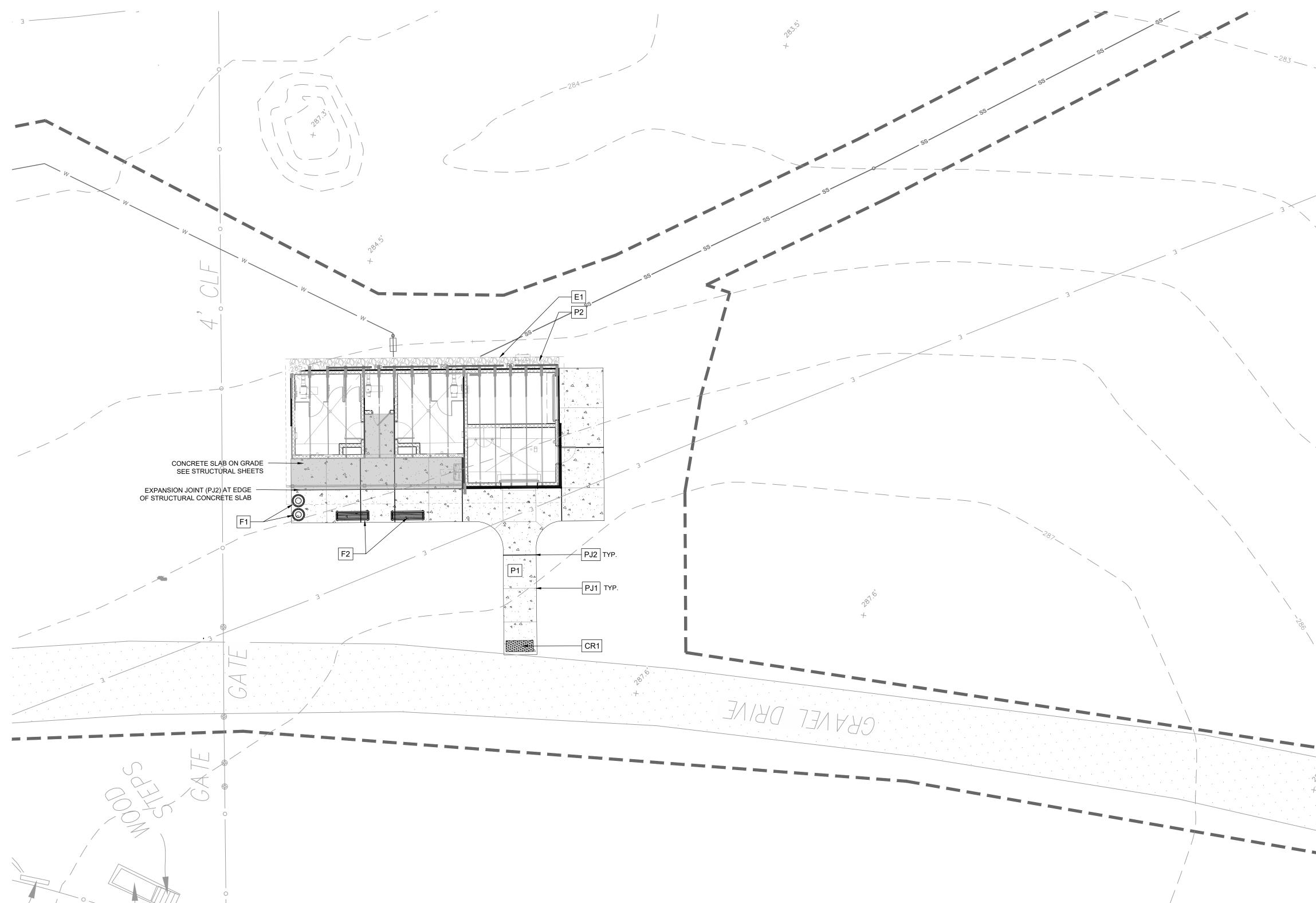
NTS





FINISH SCHEDULE

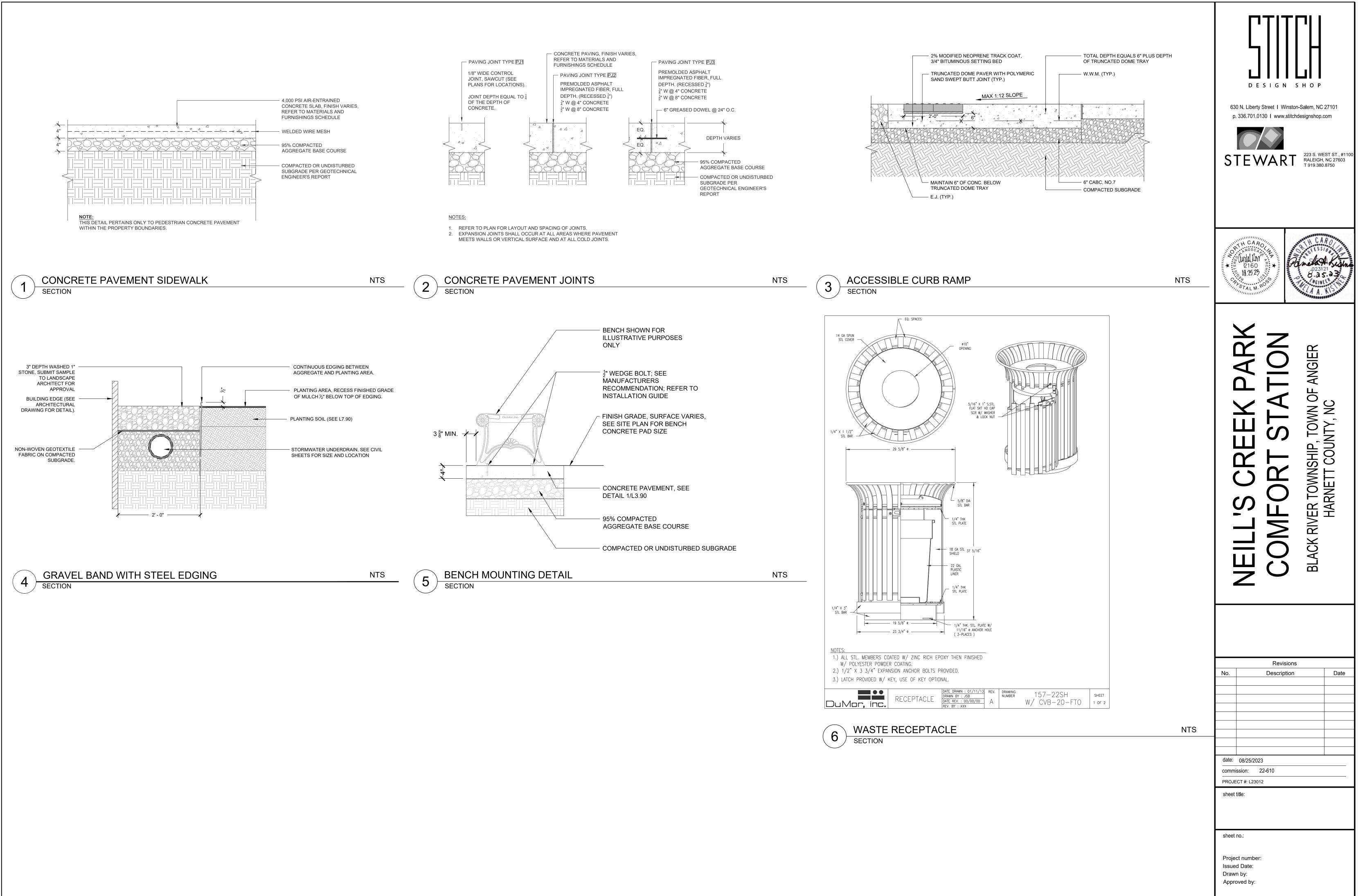
P - PAVE	MENT AND SURFACING								
KEY NAME	DESCRIPTION	DETAIL REF	MATERIAL	COLOR	FINISH	SIZE	PRODUCT NAME/No.	SUPPLIER	REMARKS
P1	CONCRETE PAVEMENT- PEDESTRIAN	1/L3.90	CONCRETE	STANDARD GRAY	LIGHT BROOM	4" THICK	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P2	BUILDING WALL EDGE STONE	4/L3.90	WASH STONE	#78 NATURAL	N/A	1/2"	#78 STONE	TRIANGLE LANDSCAPE SUPPLY	SAMPLES REQUIRED FOR APPROVAL BY LA
PJ-PAVIN	IG JOINTS		]						
PJ1	CONTROL JOINT-SAWCUT	2/L3.90	N/A	N/A	N/A	N/A			
PJ2	EXPANSION JOINT	2/L3.90	N/A	N/A	N/A	N/A			
CR - CUR	BS AND RAMPS								
CR1	DETECTABLE WARNING DOMES 3/L3.90		METAL	FIRESTONE	POLYESTER POWEDERCOAT	24"X30"	TRUNCATED DOMES	URBAN ACCESSORIES	SAMPLES REQUIRED FOR APPROVAL BY LA
F - FURNI	ISHINGS		ו						
	WASTE & RECYCLING RECEPTACLE	6/L3.90	STEEL	BLACK	POWDERCOAT	PER DETAIL	RECEPTACLE 157 / MODEL #157; #CVB-20	DUMOR	ADD SMALL STEEL BONNET TOP FOR MODEL #157-22: (1) STANDARD BONNET; (1) BONNET WITH RECYCLE VINYL LETTERING
F2	PARK BENCH - BACKLESS	5/L3.90	STEEL	BLACK	POWDERCOAT	6 FOOT	BENCH 92 / MODEL #92-60	DUMOR	BACKLESS
E - EDGIN	IG								
E1	EDGING - 3" METAL EDGING	4/L3.90	STEEL	GALVANIZED	GALVANIZED	6" DEPTH	RIDGELINE	STRAIGHTCURVE	PRODUCT DATA SUBMITTED TO LA FOR APPROVAL

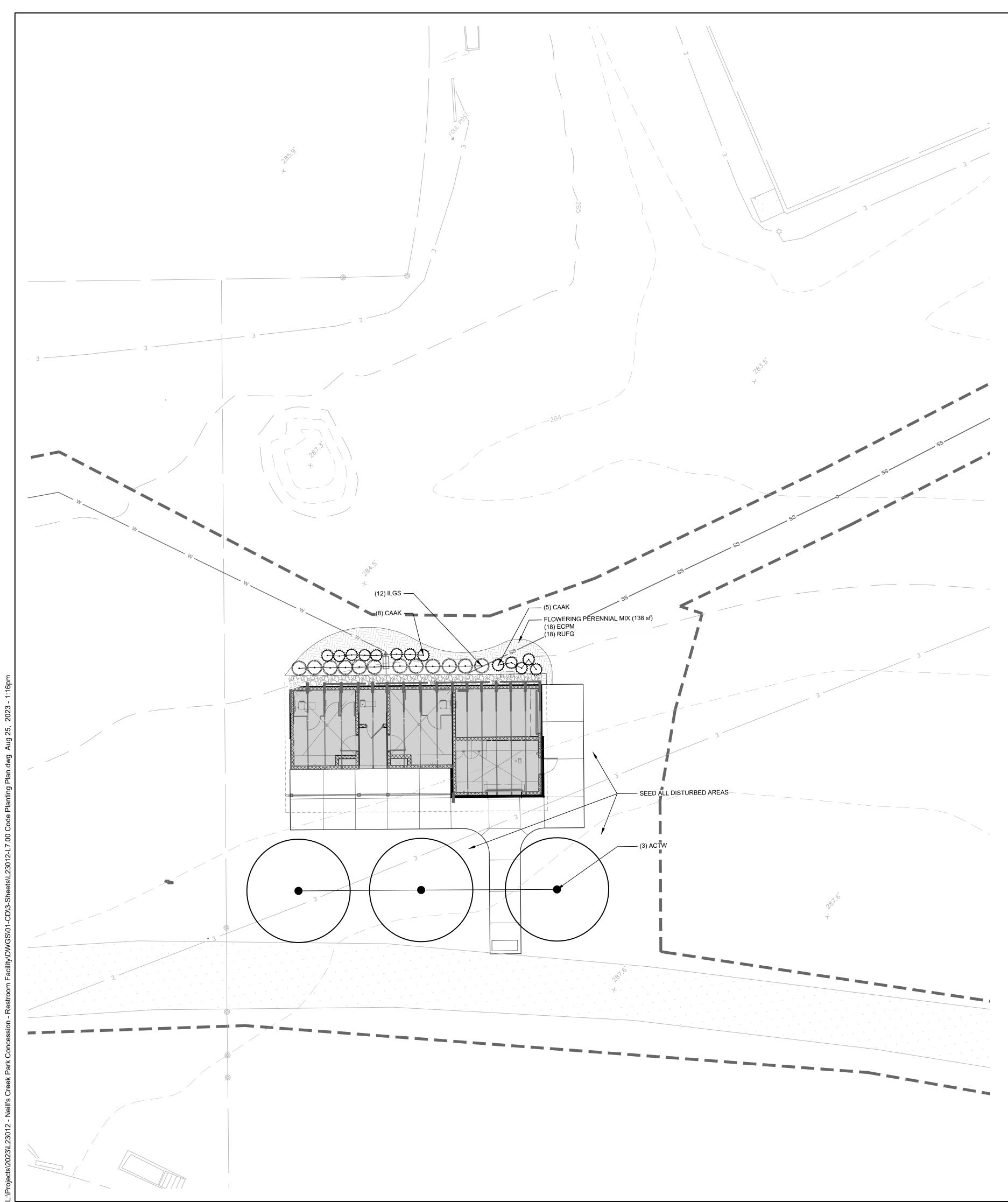


STITCH design + development, PLLC

LINETYPE LEGEND:	DESCRIPTION		
	LIMITS OF DISTURBANCE		
	EASEMENT		ור
	SETBACK		. ! !
BZ	RIPARIAN BUFFER (50')		
TP	TREE PROTECTION FENCE		
	ACCESSIBLE ROUTE		0 N. Liberty Stre . 336.701.0130
NOTES:			
LISTED IN THE LEGEND AND ARE USE	DSCAPE MATERIALS AND FINISHES ARE ED THROUGHOUT THE DRAWING SET'S ING PATTERN PLANS AND SITE DETAILS.		
2. REFER TO RELATED SPECIFICATION OF PRODUCT DATA, SAMPLES, SHOP	SECTION FOR SPECIFIC SUBMITTALS	S	TEW
	REMENTS, AND FOR FURTHER PRODUCT		
3. CONTRACTOR TO SUBMIT COLOR SA ALL CAST IN PLACE CONCRETE FOR	MPLES AND PROVIDE MOCK-UPS FOR APPROVAL BY LANDSCAPE ARCHITECT.		
		0	5' 10'
	NCE KEY NAME IN LEGEND		_E: 1" = 10'
			ANDSCAR
		L'IN P	A UN A
		* *	2160 PC
		IIIIIII CR	5 NB 10. 17
		111	2160 N. 2.5.27
			ARK
		╽┖	
		(	
		[	Y
			ς Σ
		-	
		-	
		▏	ЧÇ
			SITE P
			R
		No.	D
		date:	08/25/2023
		commi	
		PROJE sheet	ECT #: L23012
			1ATERI
		sheet	no.:
		lssue Drawi	ct number: L d Date: 08.2 n by: oved by:
		1	

[] []							
D E S I G N 630 N. Liberty Street I Wir p. 336.701.0130 I www.s							
5TEWAR	RALEIGH, NC 27603 T 919.380.8750						
CALE: $1'' = 10'$	NORTH CARO Parte CARO Parte Store Parte Store B.as.as.as Construction A A. North						
NEILL'S CREEK PARK COMFORT STATION	BLACK RIVER TOWNSHIP, TOWN OF ANGIER HARNETT COUNTY, NC						
SITE PLAN REVI							
Revisi b. Descripti							
ate: 08/25/2023 mmission: 22-610							
MATERIALS & FINISH PLAN							
roject number: L23012 sued Date: 08.25.2023 rawn by: KP pproved by: CR							





# DIANT SCHEDINE

PLANT SCH	HEDUI	_E					
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SPACING	NOTES
	ACTW	3	ACER TRUNCATUM 'WF-AT1' MAIN STREET® SHANTUNG MAPLE	B&B	2.5" CAL.	AS SHOWN	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	-	SPACING	NOTES
$\odot$	CAAK	13	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	#2		AS SHOWN	
MUNULATION OF	ILGS	12	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY HOLLY	#3		AS SHOWN	
PERENNIAL AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	-	SPACING	NOTES
		135 SF 18 18	FLOWERING PERENNIAL MIX RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER ECHINACEA PURPUREA 'MAGNUS' / MAGNUS PURPLE CONEFLOWER	SP2		24" O.C.	50% MIX

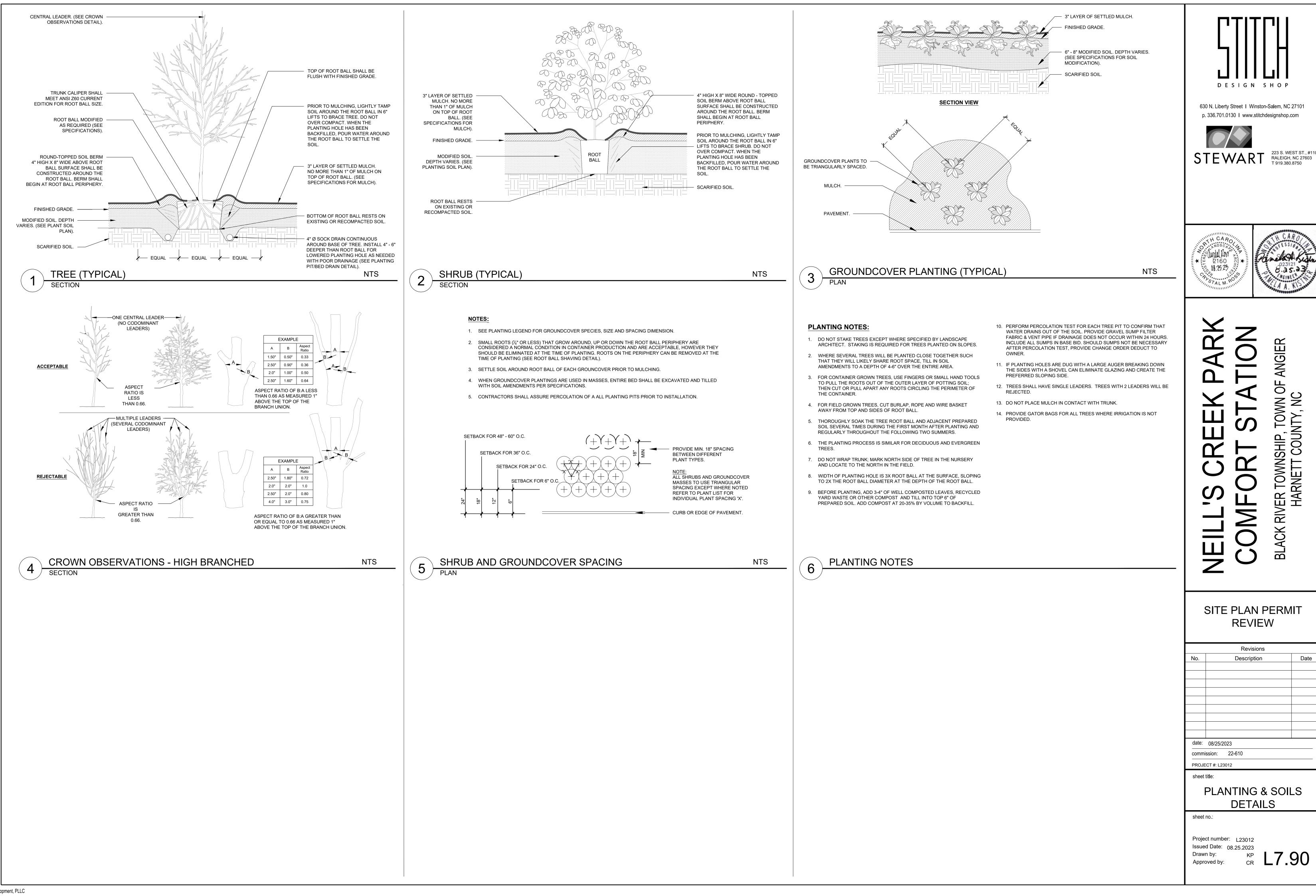
## LINETYPE LEGEND:

SYMBOL	DESCRIPTION
LOD LOD	LIMITS OF DISTURBANCE
	PROPERTY LINE
	EASEMENT
	SETBACK
BZ	RIPARIAN BUFFER (50')
	TREE PROTECTION FENCE
	ACCESSIBLE ROUTE

1. SEE SHEET C0.10 FOR GENERAL AND PLANTING NOTES.



Drawn by: Approved by:



	NEILL'S C	COMFOR	<b>BLACK RIVER TOWN</b>	HARNETT
	SITE	PLAN F REVIE		IIT
		Revisions		
No.		Description		Date
date:	08/25/202	3		
	SSION: 2			
sheet		2		
		ITING 8 DETAIL		_S
sheet Proje		L23012		
	d Date: 0	8.25.2023	· <b></b>	~~

 $\mathbf{\alpha}$ 

ш

ANGII

Ο

NMO.

Ś

SC

OUNTY

 $\mathbf{O}$