

REVISION / ISSUE HISTORY

REV	DATE	REVISION / ISSUE NAME
-	04/14/2023	PERMIT

PROJECT NO
2220380

DRAWN BY
JB

PERMIT SUB DATE
04/14/2023

CHECKED BY
RD

PROJECT
FOOD LION STORE #2594

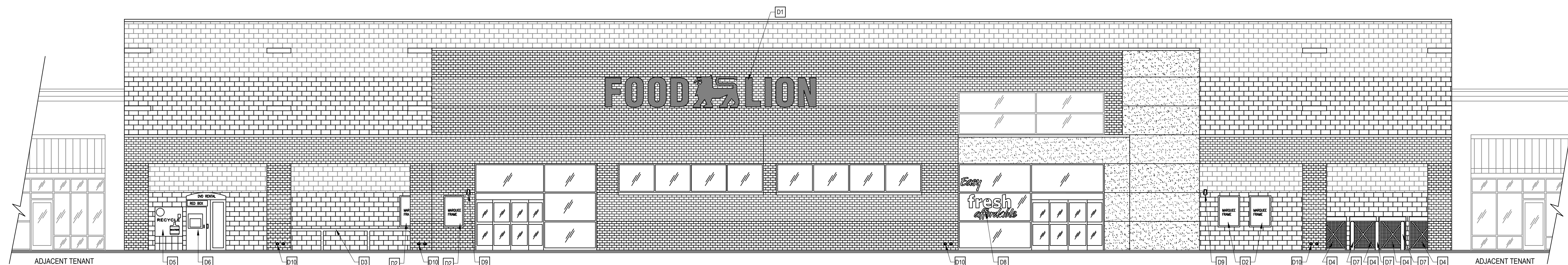
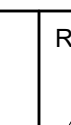
3260 RAY ROAD
SPRING LAKE, NC 28390
2594FLMK23

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FOOD LION

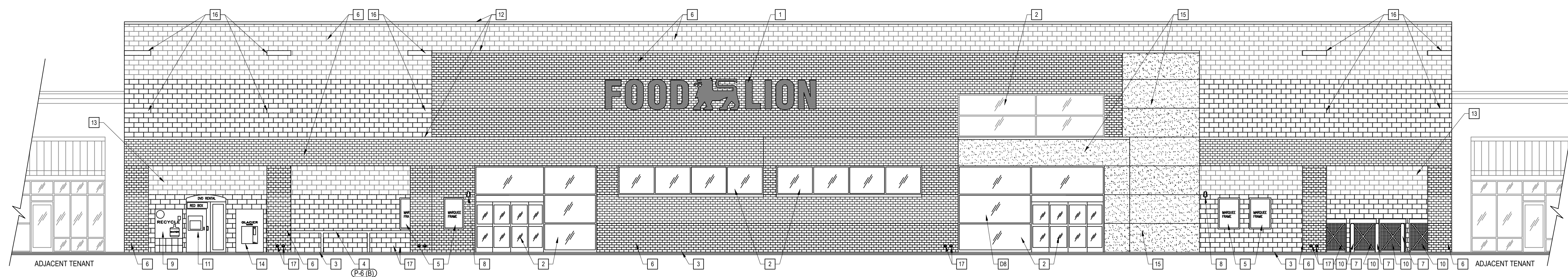
2110 EXECUTIVE DRIVE
SALISBURY, NC 28145
PH: 704-633-8250 F: 704-636-5940

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO 2594A2.01_00
A2.01



1 EXISTING FRONT ELEVATION
A2.01 Scale 1/8"=1'-0"



2 REVISED FRONT ELEVATION
A2.01 Scale 1/8"=1'-0"

DEMOLITION KEY NOTES (D)

- EXISTING EXTERIOR SIGNAGE TO REMAIN.
- EXISTING MARQUEE FRAME TO REMAIN.
- EXISTING CART CORRAL TO REMAIN.
- EXISTING PROPANE EXCHANGE STATION TO REMAIN.
- EXISTING PRIMO WATER RETURN TO REMAIN.
- EXISTING REDBOX TO REMAIN.
- EXISTING GUARD POST TO REMAIN.
- EXISTING STOREFRONT WINDOW DECAL SIGN TO BE REMOVED.
- EXISTING EXTERIOR EMERGENCY LIGHT TO REMAIN.
- EXISTING INTERNAL DOWNSPOUTS TO REMAIN.

EXTERIOR COLOR SCHEDULE (C)

P-6 (B) COLOR SW-7068 "GRIZZLE GRAY"

REVISED KEY NOTES (R)

- EXISTING EXTERIOR SIGNAGE AND LOGO.
- EXISTING STOREFRONT TO BE CLEANED AND REPAIRED AS REQUIRED. COORDINATE WITH CONSTRUCTION SUPERVISOR.
- EXISTING CONCRETE SIDEWALK TO BE CLEAN.
- EXISTING CART CORRAL TO BE CLEANED AND REPAIRED AS REQUIRED. SEE EXTERIOR COLOR SCHEDULE FOR NEW PAINT.
- EXISTING MARQUEE FRAMES.
- EXISTING BRICK COLUMN & WALL FACADE, TO BE CLEANED AND REPAIR AS REQUIRED. DO NOT PAINT.
- EXISTING GUARD POSTS. GUARD POSTS TO BE PAINTED "TRAFFIC YELLOW".
- EXISTING EMERGENCY LIGHTS.
- EXISTING PRIMO WATER RETURN.
- EXISTING PROPANE EXCHANGE STATION.
- EXISTING REDBOX.
- EXISTING COPING AND COLOR TO REMAIN. CLEAN, REPAIR AND RE-PAINT AS REQUIRED.
- EXISTING CMU WALL. CLEAN, AND REPAIR AS REQUIRED.
- NEW GLACIER WATER VENDING MACHINE. RE: A1.01, A1.03 & ELECTRICAL DWGS.
- EXISTING E.I.F.S. WALL. CLEAN AND REPAIR AS REQUIRED.
- EXISTING METAL DECORATIVE ACCENT.
- EXISTING INTERNAL DOWNSPOUT.

GENERAL NOTES:

- THE DOOR PACKAGES SHALL BE EQUIPPED WITH EMERGENCY BREAKAWAY PROVISIONS. INCLUDE BREAKAWAY SIDE LIGHTS ONLY WHEN NOTED.
- THE GLASS FOR ALL OF THE DOOR PACKAGES SHALL BE 1/4" TINTED SAFETY GLASS.
- ALL PAINT COLORS AND FINISH MATERIALS SHALL BE VERIFIED BY THE FOOD LION CONSTRUCTION SUPERVISOR PRIOR TO ORDERING. IF THIS IS NOT DONE, THE REPAINTING COST WILL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY.
- IF APPLICABLE, THE GENERAL CONTRACTOR SHALL SUPPLY ALL OF THE BLOCKING NECESSARY FOR MOUNTING ALL SIGNS TO THE CANOPY AND GENERAL CONTRACTOR SHALL PROVIDE A WALKWAY TO SIGN MOUNTING AREA.
- GENERAL CONTRACTOR IS TO PROVIDE AND INSTALL A TEMPORARY FENCE AREA FOR STAGING AND STORAGE. THIS WILL BE AN ANCHORED CHAIN LINK TYPE FENCE APPROX 8' TALL AND WRAPPED WITH FENCE FABRIC USING SANDBAGS FOR ANCHORING. GC IS TO PROVIDE AMPLE LIGHTING FOR THIS AREA. LOCATION IS TO BE IN THE FRONT PARKING LOT OR REAR OF THE STORE. (COORDINATE WITH CONSTRUCTION MANAGER) THIS AREA IS TO BE USED FOR JOB TRAILERS, MATERIALS, LIFTS AND OTHER CONSTRUCTION NEEDS. GC IS TO REPAIR ALL DAMAGE PRIOR TO LEAVING THE JOB.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR HANGING REMODEL BANNERS SUPPLIED BY THE MARKET RENEWAL SPECIALIST. ALL EXTERIOR BANNERS ARE TO BE MOUNTED ON THE STOREFRONT MASONRY WITH 1"x4" TREATED WOOD FRAMED OUT AT THE END OF THE REMODEL. THE GENERAL CONTRACTOR NEEDS TO REMOVE THE BANNERS AND DELIVER THEM TO THE CONSTRUCTION MANAGER.
- GENERAL CONTRACTOR IS TO REPLACE MISSING OR DAMAGED WEATHER-STRIPPING, SWEEPS AND NEW STYLE CARPET THRESHOLDS ON ALL EXTERIOR DOORS (INCLUDING AUTOMATIC DOORS).
- GENERAL CONTRACTOR SHALL APPLY ANTI-RODENT COATING AT DOCK. COLOR TO MATCH EXISTING. APPLY (1) ONE COAT OF SHERWIN WILLIAMS FT910 SURFACING COMPOUND (PRIMER) AND (2) COATS OF ACRYLON100 URETHANE (FINISH COAT). APPLY ONLY BELOW ALL DOCK DOORS DOWN TO TRUCKWELL, THE WIDTH OF THE DOCK SHELTER.
- GENERAL CONTRACTOR IS TO REPLACE ALL INFORMATIONAL AND REGULATORY SIGNS (NO PARKING, FIRE LANE, ETC.) WITH NEW SIGNS. SIGNS SHALL MEET LOCAL CODES AND ORDINANCES. VERIFY FINAL LOCATIONS WITH CONSTRUCTION MANAGER PRIOR TO INSTALLATION (APPLICABLE ON ALL SIDES OF BUILDING).
- GC SHALL SEAL ALL HOLES, LEFT FROM REMOVAL OF EXISTING SIGNAGE TO BE WATERTIGHT W/ LIKE MATERIALS OR MATCHING SEALANT. CLEAN/REPAIR SURFACE TO REMOVE ALL "GHOSTING" LEFT FROM REMOVAL OF SIGN.
- GENERAL CONTRACTOR SHALL SAND AND REPAINT ANY NEW & EXISTING EXTERIOR GUARDPOSTS WITH "TRAFFIC YELLOW" PAINT.
- GENERAL CONTRACTOR SHALL SAND AND CLEAN ALL EXTERIOR METAL INCLUDING BUT NOT LIMITED TO STAIRS, CANOPY SUPPORTS, DOORS AND FRAMES, CART CORRALS, GUARD POSTS, ROOFTOP STEEL, ETC. BEFORE REPAINTING (MIN. OF 2 COATS) COORDINATE WITH CONSTRUCTION MANAGER.
- ANY ROOF WORK SHALL BE DONE BY THE LANDLORD'S APPROVED ROOFING CONTRACTOR.
- ALL UTILITIES TO BE CONCEALED/RECESSED IN EXISTING WALLS.
- IF THE INSTALLATION OF THE FOOD LION SIGNAGE REQUIRES THE PENETRATION OF THE ROOFING MEMBRANE, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REPAIR OF THESE PENETRATIONS. ONE PENETRATION PER LETTER FOR ELECTRICAL CONDUIT ONLY. NO MOUNTING PENETRATIONS ALLOWED. MUST NOT VOID WARRANTY.
- GENERAL CONTRACTOR SHALL PRESSURE WASH & CLEAN THE FRONT SIDEWALK AS INSTRUCTED BY CONSTRUCTION MANAGER.
- EXISTING EIFS STOREFRONTS THAT ARE ONLY GETTING A NEW SIGN (NO PAINT) NEED TO BE SKIM COATED TO ELIMINATE ANY GHOSTING FROM THE PREVIOUS SIGN. MATCH EXISTING STOREFRONT COLOR.