

- GENERAL NOTES:**
- ANY DIMENSIONS THAT ARE SHOWN WHICH THE GENERAL CONTRACTOR FINDS TO BE INCONSISTENT WITH THE PLANS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER.
 - GENERAL CONTRACTOR TO INSTALL GUARD POST AS INDICATED ON SITE-SPECIFIC A1.01.
 - PLAN SHOWS APPROXIMATE EXTENT OF SLAB REMOVAL. GENERAL CONTRACTOR SHALL COORDINATE WITH CONSTRUCTION MANAGER AND REFRIGERATION CONTRACTOR FOR THE PHASING AND PORTIONS OF SLAB REMOVAL TO EXECUTE THE WORK.
- UNDER SLAB**
- GENERAL CONTRACTOR SHALL REFER TO SHEET P1.01 AND P1.02 FOR TRENCH DRAINS, HUB DRAINS AND REFRIGERATION LINE PIT LOCATIONS BEFORE POURING SLAB OR FOOTINGS.
 - GENERAL CONTRACTOR SHALL TAKE EXTRA PRECAUTION WHEN POURING CONCRETE SLABS SO AS NOT TO CRUSH REFRIGERATION AND SANITARY SEWER LINES. REFER TO SHEET P1.02 FOR LINE LOCATIONS.
 - SOIL UNDER ALL NEW SLABS TO BE TREATED FOR TERMITES PER SPECIFICATIONS.
 - GENERAL CONTRACTOR SHALL PROVIDE CUT OR SELECT FILL MATERIAL FOR SLABWORK. USE AGGREGATE NO LARGER THAN #87 FOR ALL NEW CONCRETE SLABS. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONCRETE SLAB**
- NO CONSTRUCTION OR CONTROL JOINTS SHALL BE INSTALLED IN PRODUCE PREP, GROCERY STAGING AREA AND DELIBAKERY U.O.N.
 - THE GENERAL CONTRACTOR SHALL USE 10 MIL UNDER SLAB VAPOR RETARDER TURNED UP AT CONCRETE SLAB EDGES AND 30 LB FELT AROUND ALL INTERIOR COLUMNS AND EXPANSION JOINT MATERIAL SHALL BE USED.
 - THE GENERAL CONTRACTOR SHALL PROVIDE LABOR AND MATERIALS TO FILL SPECIFIED FLOOR DEPRESSIONS AND PITS TO SPECIFIED HEIGHTS.
 - THE GENERAL CONTRACTOR SHALL VERIFY CONDITION OF EXISTING CONCRETE SLABS. AREAS THAT ARE NOT SPECIFICALLY ADDRESSED ON THE DRAWINGS OR IN THE BID NOTES SHALL BE BID SEPARATELY. COORDINATE WITH CONSTRUCTION MANAGER. GENERAL CONTRACTOR SHALL INCLUDE FLOOR PATCHING OR LEVELING TO BE DONE BECAUSE OF RELOCATION OF FLOOR STUBS, FIXTURES, PLUMBING & ELECTRICAL WORK.
 - IF APPLICABLE, TEMPERATURE DRAIN-DOWN PROCEDURE SHALL NOT BEGON PRIOR TO COMPLETE CONCRETE CURING (MINIMUM OF 30 DAYS AFTER INSTALLATION). ALL STORES WITH INSULATED CONCRETE FLOORS IN FREEZERS MUST BE SLOWLY BROUGHT DOWN TO TEMPERATURE FOLLOWING THE SCHEDULE BELOW TO PREVENT CRACKING OF THE FLOOR DUE TO THERMAL CONTRACTION. CHALKING OF SLAB-WALL JOINTS AND EXPANSION JOINTS SHOULD BE DONE AFTER THE RECOMMENDED 35 DEGREE HOLD PERIOD.
- | TEMPERATURE | TIME |
|---------------------|------------------------|
| AMBIENT TO 35° F | 10" PER EVERY 24 HOURS |
| HOLD AT 35° F | 3-5 DAYS |
| 35° F TO FINAL TEMP | 10" PER EVERY 24 HOURS |
- FLOOR SLOPES**
- THE FLOOR SLAB SHALL SLOPE 1/16" PER FOOT TO DRAINS IN ALL AREAS WHERE FLOOR DRAINS OCCUR. SLOPES WILL CORRESPOND WITH PLUMBING WORK. SEE P1.01 AND P1.01.
 - GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PREP AREAS, RESTROOMS, AND COOLERS.
 - THIS SLAB AREA TO BE FLAT (NOT SLOPED) AND LEVEL WITH FINISHED FLOOR.
- CONCRETE FINISH**
- THE GENERAL CONTRACTOR SHALL CAULK ALL JOINTS AT JUNCTURE OF SLABS AND WALLS WITH URETHANE SEALANT (GRAN), INCLUDING AREAS BEHIND CASES AND ALL OTHER AREAS THAT ARE NOT EXPOSED. THIS SHALL BE DONE PRIOR TO APPLYING FINISHES.
 - ALL NEW EXPOSED CONCRETE SLABS SHALL NOT RECEIVE AN APPLICATION OF SHAKE-ON HARDENER, BUT RATHER LIQUID DENSIFIER/SEALER. LIQUID DENSIFIER/SEALER SHALL BE TUCKED DAMAGED BY THE FLUOROCHEMICAL COMPANY. RATE OF APPLICATION SHALL BE PER SPECIFICATIONS. ALL NEW UNEXPOSED CONCRETE SLABS, AREAS RECEIVING VCT, HARD TILE OR RESINOUS FLOORING DO NOT REQUIRE LIQUID DENSIFIER/SEALER.
- TRENCH WORK**
- FIBERGLASS PITS CAN BE MODIFIED AS NEEDED TO WORK AROUND EXISTING CONDUT, ETC. FOUR SIDS SHALL BE FINISHED FLUSH WITH A MINIMUM 7" CONCRETE TO THE EXISTING SLAB. ALLOW FOR FUTURE PIT ACCESS. ALL REVISED PITS MUST BE SEALED COMPLETELY TO RODENT-PROOF AND ELIMINATE CONSTRUCTION MATERIAL FROM DAMAGING THE REFRIGERATION LINES. SPECIAL PRECAUTIONS NEEDED TO BE MADE WHEN CUTTING HOLES IN FIBERGLASS BOXES. LIMIT THE AMOUNT OF FIBERGLASS ALL PITS SHALL BE PHOTOGRAPHED WITH CURRENT DATE TO SHOW INTERIOR BEFORE AND AFTER VAPOR RETARDER INSTALL AND TRENCH COMPLETION.
 - ALL DIRT SHALL BE REMOVED FROM THE STORE WITH ABSOLUTELY NO SPILLAGE ONTO THE EXISTING FLOOR. TRENCHES SHALL BE BACKFILLED WITH AGGREGATE NO LARGER THAN #87, COVERED IN CONCRETE AND PROPER VAPOR BARRIER. OPEN TRENCHES ARE TO BE COVERED WITH 1/2" MIN. METAL PLATE AND MATCHING CARPET MATS, AND DUST TAPED TO THE FLOOR DURING OPERATING HOURS. ALL PITS SHOULD BE PHOTOGRAPHED WITH A CURRENT DATE TO SHOW INTERIOR BEFORE AND AFTER VAPOR RETARDER INSTALL AND TRENCH COMPLETION.
 - CARPET MATS ARE TO BE CLEAN, SAME IN COLOR, AND HAVE RUBBER EDGES. ALL MATS ARE TO BE TAPED IN PLACE AT ALL TIMES.
- WALLS**
- IF APPLICABLE, NEW WALLS AT RECEIVING DOCK, RAISED PLATFORMS AND RAMPS TO BE FILLED SOLID WITH CONCRETE.

EXISTING SALES AREA
NOTE: FLOOR CUTTING IS APPROXIMATE. WORK TO BE COORDINATED WITH THE CONSTRUCTION MANAGER & APPROPRIATE TRADES.

EXISTING CONCRETE FLOOR SLAB
FIN. FLOOR ELEV. = 0'-0"
SEE WALK-THRU NOTES FOR REPAIRS NEEDED TO EXISTING SALES AREA SLAB

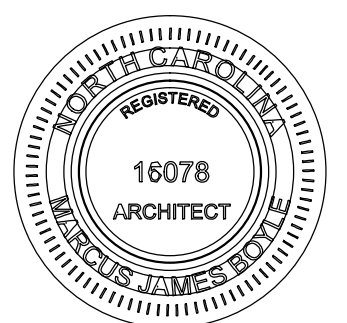
- KEY NOTES**
- 4" - 3000 PSI CONCRETE SLAB-ON-GRADE. REINFORCE WITH #6, W 1.4WY 1.4 W/W, CENTERED, OVER 10 MIL VAPOR BARRIER & 4" POROUS FILL. TYPICAL FOR ALL SLABS-ON-GRADE. CONCRETE TO BE FLUSH WITH SURROUNDING AREA. SEE DETAIL 34AS.01 TYP.
 - APPROXIMATE LOCATION OF EXISTING QUARRY TILE FLOORING
 - NEW SLAB IN DELIBAKERY AREA SEE GENERAL NOTES #8 USE 3,000 PSI SLAB-ON-GRADE CONCRETE W/ #4@14 W/W, SEE DETAIL 41AS.01, TYP. QUARRY TILE TO MATCH EXISTING.
 - NEW REFRIGERATION PIT. COORDINATE LOCATION WITH SHEET P1.02. SEE GENERAL NOTE #9. CONCRETE INFILL TO BE LEVEL WITH ADJACENT CONCRETE FLOOR FINISH. TYP.



2600 Maitland Center Parkway
Suite #200
Maitland, FL 32751
P (407) 661-9100
F (407) 661-9101
c-p.com
Florida Corporate Certificate #AA C000526

COPYRIGHT © 2021 - ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES & OTHER DOCUMENTS ARE INSTRUMENTS OF SERVICE PREPARED BY CUHACI PETERSON, (CP) AS INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF CP. CP SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN. ANY USE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM CP IS A VIOLATION OF FEDERAL COPYRIGHT LAWS.

ARCHITECT/ENGINEER SEAL
04/14/2023



MARCUS JAMES BOYLE
NC 16078

CONSULTANT



2110 EXECUTIVE DRIVE
SALISBURY, NC 28145
PH: 704-633-8250 FX: 704-636-4940

REVISION / ISSUE HISTORY		
REV	DATE	REVISION / ISSUE NAME
-	04/14/2023	PERMIT

PROJECT NO 2220380	DRAWN BY JB
PERMIT SUB DATE 04/14/2023	CHECKED BY RD

PROJECT
FOOD LION STORE #2594

3260 RAY ROAD
SPRING LAKE, NC 28390
2594FLMK23

CLIENT
FOOD LION

2110 EXECUTIVE DRIVE
SALISBURY, NC 28145
PH: 704-633-8250 F: 704-636-5940

SHEET TITLE
SLAB/FOUNDATION PLAN

SHEET NO 2594A1.02_00
A1.02

1 SLAB/FOUNDATION PLAN
A1.02 Scale 3/32"=1'-0"