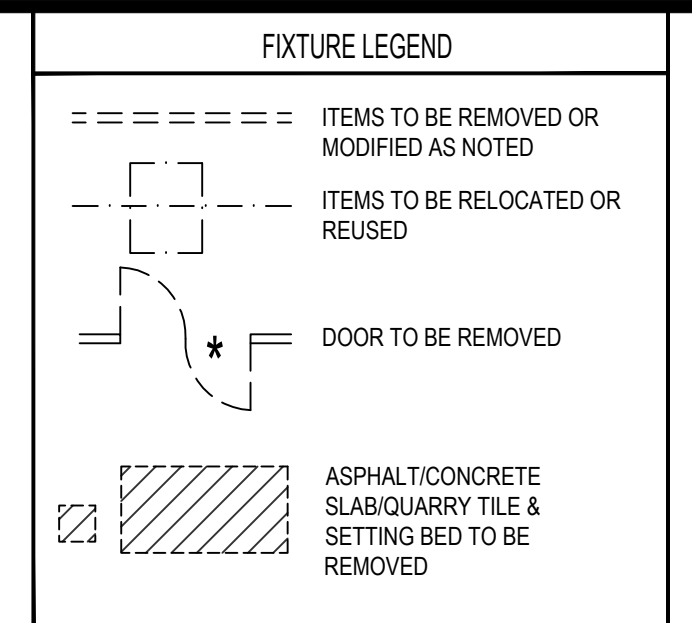


NOTE: REMOVAL AND RELOCATION OF DELI BAKERY EQUIPMENT AND FIXTURES TO BE COORDINATED WITH THE FOOD LION CONSTRUCTION MANAGER AND SHEETS A1.01, A1.03, A4.01, MECHANICAL, ELECTRICAL AND PLUMBING DRINGS

NOTE: ANY WORK IN RESTROOMS TO BE SCHEDULED TO ALLOW FOR AT LEAST ONE TO REMAIN OPEN AT ALL TIMES. COORDINATE WITH FOOD LION CONSTRUCTION MANAGER. PROPER SIGNAGE MUST BE INSTALLED WITH UNSEX RESTROOMS. USE SLIDELOCK ANYTIME THAT RESTROOMS ARE DOWN TO A SINGLE UNSEX RESTROOM. THE GC IS REQUIRED TO HAVE A PORT-A-JOHN ON SITE FOR CONSTRUCTION PERSONNEL TO USE DURING THAT TIME PERIOD. RESTROOM WORK IS NOT TO HAPPEN DURING THE WEEK OF GROCERY RESET. BOTH RESTROOMS MUST BE 100% OPERATIONAL. TEMPORARY UNSEX RESTROOM SIGNS SHALL BE PROVIDED BY THE CONSTRUCTION MANAGER.

THIS SHEET IS TO BE USED AS A GUIDE ONLY. DIMENSIONED SLAB AREAS ON SHEET A1.02 ARE FOR REFERENCE ONLY. EXACT LOCATIONS AND AREA TO BE REMOVED IS TO BE COORDINATED WITH EXISTING CONDITION AND REQUIRED NEW CONDITIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION WITH ALL TRADES PRIOR TO SLAB DEMOLITION TO VERIFY DIMENSIONS AND LOCATIONS OF SLAB AREAS TO BE REMOVED. SEE EXISTING CONDITION NOTE #19 & DETAILS ON SHEET A1.02



- KEY NOTES (1)**
- EXISTING VENDING MACHINE TO BE REMOVED. RETURNED TO VENDOR.
 - EXISTING MART CART TO BE RELOCATED. SEE SHEET A1.01, A1.03 & ELEC. DWGS.
 - EXISTING SAN-WIPES TO BE RELOCATED. SEE SHEET A1.01 & A1.03.
 - EXISTING SAN-STATION TO BE RELOCATED. SEE SHEET A1.01 & A1.03.
 - EXISTING SAN-WIPES TO BE REMOVED AND RETURN TO FOOD LION.
 - EXISTING SAN-STATION TO BE REMOVED AND RETURN TO FOOD LION.
 - EXISTING FLOOR BUMPERS TO BE REMOVED. SEE GENERAL NOTE #5.
 - EXISTING VCT, CARPET & TRANSITION STRIP TO BE REMOVED. SEE GENERAL NOTE #1.
 - EXISTING ICE MERCHANDISER TO BE RELOCATED. RELOCATE ALL ASSOCIATED UTILITIES, PATCH & REPAIR EXISTING SURFACES FOR NEW. SEE SHEETS A1.01, A1.03 & ELEC. DWGS.
 - EXISTING COUPON KIOSK TO BE RELOCATED. SEE SHEETS A1.01, A1.03 & ELEC. DWGS.
 - EXISTING VISU DISPLAY TO BE REMOVED AND RETURNED TO VENDOR. SEE ELEC. DWGS.
 - EXISTING WESTERN UNION TO BE RELOCATED. SEE SHEETS A1.01 & A1.03.
 - EXISTING CONSTAR TO BE RELOCATED. SEE SHEETS A1.01, A1.03 & ELEC. DWGS.
 - EXISTING NYTM LOTTO TO BE RELOCATED. SEE SHEETS A1.01, A1.03 & ELEC. DWGS.
 - EXISTING PLAY CENTER, LOTTERY FORMS TO BE RELOCATED. SEE SHEETS A1.01 & A1.03.
 - EXISTING RUG DOCTOR TO BE RELOCATED. SEE SHEET A1.01, A1.03 & ELEC. DWGS.
 - EXISTING PRIMO H₂O PICK-UP TO BE RELOCATED. SEE SHEETS A1.01 & A1.03.
 - EXISTING FIRE EXTINGUISHER TO BE RELOCATED. SEE SHEET A1.01 & A1.03.
 - EXISTING COMPUTER TO BE RELOCATED. SEE SHEET A1.01 & A1.03.
 - EXISTING FILE CABINET TO BE REMOVED & RETURN TO FOOD LION.
 - REMOVE EXISTING DECOR/SIGN ELEMENTS AND REPAIR WALL AS REQUIRED. SEE SHEET A6.01 FOR PAINT AND FINISHES.
 - REMOVE SPECIFIED EXISTING VCT @ SALES AREA. SEE SHEET A1.05 & GENERAL NOTE #11.
 - EXISTING TRELIS AND TRELIS LIGHTING TO BE REMOVED. SEE ELECTRICAL DRAWINGS. REPAIR/REPLACE DAMAGED TILE FROM TRELIS ELEC. & SUPPORTS.
 - EXISTING QTY (1) CHECKOUTS, VISU & MERCHANDISERS TO BE REMOVED. SEE GENERAL NOTE #5 & ELEC. DWGS.
 - EXISTING QTY (2) SELF CHECKOUTS TO BE REMOVED. SEE GENERAL NOTE #5 & ELEC. DWGS.
 - EXISTING CUSTOMER SERVICE AND ALL EQUIPMENTS TO BE REMOVED COMPLETELY. SEE GENERAL NOTE #5 & ELEC. DWGS.
 - EXISTING CORNER GUARD POST TO BE REMOVED. TYP. SEE GENERAL NOTE #10.
 - PORTION OF EXISTING WALL TO BE REMOVED.
 - EXISTING FORMULA DISPLAY TO BE RELOCATED. SEE SHEET A1.01 & A1.03.
 - EXISTING BREAD STATION TO BE REMOVED.
 - REMOVE & REWORK EXISTING METAL TRANSITION STRIP FOR NEW CASE LAYOUT.
 - EXISTING RACK OVEN TO BE REMOVED. RETURNED TO FOOD LION. SEE ELEC. & MECH. DWGS.
 - EXISTING FRYER TO BE RELOCATED. SEE ELEC. DWGS.
 - EXISTING ROTISSERIE TO BE REMOVED.
 - EXISTING PROFFER TO BE REMOVED.
 - EXISTING COUNTER & SHELF TO BE REMOVED. PATCH/REPAIR AS NECESSARY.
 - EXISTING COAT RACK TO BE RELOCATED.
 - EXISTING CHAIR TO BE RELOCATED. SEE SHEETS A1.01 & A1.03.
 - EXISTING TABLE TO BE REMOVED AND RETURN TO FOOD LION.
 - EXISTING HUMIDIFIER SYSTEM TO BE REMOVED. SEE ELEC. & PLUMBING DWGS.
 - EXISTING MISTING SYSTEM TO BE REMOVED. SEE ELEC. & PLUMBING DWGS.
 - EXISTING PRINTER TO BE RELOCATED. SEE SHEET A1.01, A1.03 & ELEC. DWGS.
 - EXISTING CABINET TO BE REMOVED AND RETURN TO FOOD LION.
 - EXISTING REFRIGERATOR TO BE RELOCATED. SEE SHEET A1.01, A1.03 & ELEC. DWGS.
 - EXISTING FREEZER TO BE RELOCATED. SEE SHEET A1.01, A1.03 & ELEC. DWGS.
 - EXISTING PICK CART TO BE RELOCATED. SEE SHEET A1.01, A1.03 & ELEC. DWGS.
 - EXISTING LOCKERS TO BE RELOCATED. SEE SHEET A1.01, A1.03 & ELEC. DWGS.
 - EXISTING MONITOR TO BE RELOCATED. SEE SHEET A1.01, A1.03 & ELEC. DWGS.
 - EXISTING REFRIGERATION RACKS TO BE REMOVED. SEE SHEET A1.01, A1.03, MECHANICAL & ELEC. DWGS.

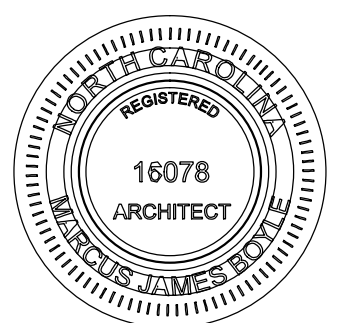
- GENERAL NOTES:**
- ALL CONTRACTORS MUST COMPLY WITH ALL STATE AND LOCAL CODES.
 - THE GENERAL CONTRACTOR SHALL COORDINATE THE REMOVAL AND RELOCATION OF COOLER AND FREEZER COMPONENTS WITH COOLER/FREEZER MANUFACTURER FIELD PERSONNEL, AND W/FOOD LION CONSTRUCTION MANAGER.
 - FOR NEW DEPRESSED SLAB LOCATIONS AND DIMENSIONS, IF APPLICABLE, SEE SHEET A1.02.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AND RELOCATE UTILITIES AS NEEDED. ALL RELOCATION OF UTILITIES SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND/OR LOCAL UTILITIES.
 - GENERAL CONTRACTOR SHALL PATCH AND REPAIR FLOOR, CEILING, ADJOINING WALLS AND OPENINGS WHERE WALLS, DOORS & FRAMES AND EQUIPMENT HAVE BEEN REMOVED. WORK WILL BE DONE IN A PROFESSIONAL MANNER WITH MATCHING MATERIALS.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL ROOF OPENINGS/PENETRATIONS BY THE CONTRACTOR. ALL STRUCTURAL, PLUMBING, ELECTRICAL, MECHANICAL AND REFRIGERATION MATERIALS OR EQUIPMENT, COORDINATE REPAIRS WITH LANDLORD ROOFING CONTRACTOR (NOT TO VOID CURRENT WARRANTY).
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND CAPPING ALL ELECTRICAL, STUB-UPS, DRAINS AND PITS THAT CANNOT BE REUSED, PATCH AND REPAIR FLOOR AS NEEDED.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION, EXPANSION, RENOVATION AND REMOVAL OF MATERIALS, ETC. OF THE FRONT BUILDING ELEVATION WITH SHEET A2.01 AND FOOD LION CONSTRUCTION MANAGER.
 - CONTRACTOR TO REMOVE ALL EXISTING DECOR UNLESS NOTED TO REMAIN AND REPAIR DRYWALL AS NEEDED. COORDINATE WITH SHEETS A2.02 AND A6.01. COORDINATE WITH DECOR PLANS.
 - GENERAL CONTRACTOR SHALL REMOVE ALL CORNER GUARDS AT REFRIGERATED CASES AS NOTED ON PLAN AND REPAIR FLOOR AS DIRECTED BY CONSTRUCTION MANAGER.
 - GENERAL CONTRACTOR TO REMOVE VINYL TILE/CARPET FROM REFERRED FLOORS AND GRIND CONCRETE FLAT, SMOOTH AND FREE OF MASTIC. REFER TO SHEET A1.05 AND CURRENT ASBESTOS SURVEY.
 - THE ELECTRICAL CONTRACTOR SHALL REMOVE THE EXISTING PARCEL PICK-UP BELL AND ITS RELATED EQUIPMENT AS REQUIRED. PATCH AND REPAIR ALL FINISHES (IF APPLICABLE).
 - GENERAL CONTRACTOR SHALL COORDINATE THE REMOVAL OF EXTERIOR WINDOWS, WALLS, & DOORS WITH THE FOOD LION CONSTRUCTION MANAGER IN ORDER TO MAINTAIN STORE SECURITY & SAFE BUILDING.
 - THE GENERAL CONTRACTOR SHALL COORDINATE THE REMOVAL OF ALL H.V.A.C. EQUIPMENT AND ANY APPLICABLE CEILING TILE/GRID WITH THE MECHANICAL CONTRACTOR.
 - PLUMBING CONTRACTOR AND GENERAL CONTRACTOR SHALL COORDINATE THE REMOVAL OF PLUMBING FIXTURES WITH THE CONSTRUCTION MANAGER. PLUMBING DEMOLITION WILL NOT BE ALLOWED UNTIL THIS COORDINATION MEETING IS CONDUCTED.
 - THE GENERAL CONTRACTOR SHALL REMOVE ANY EXISTING WOOD BASEBOARD THAT IS ATTACHED TO MASONRY WALLS. PATCH ALL WALLS WHERE NEEDED AND CALLK THE JOINT WHERE WALL ADJOINS FLOOR.
 - THE EXISTING CONDITIONS ON THIS SHEET ARE INTENDED TO CONVEY THE APPROXIMATE CONDITION OF THE BUILDING. ALL DATA SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION OF BIDS AND/OR THE COMMENCEMENT OF WORK. ANY CONDITIONS WHICH DIFFER SUBSTANTIALLY FROM THAT INDICATED ON THE EXISTING FIXTURE PLAN OR IN THE CONSTRUCTION DOCUMENTS, SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER/ENGINEERING DEPARTMENT.
 - THE DEMOLITION PLAN IDENTIFIES GENERAL AREAS/ITEMS TO BE DEMOLISHED ONLY AND IS NOT INTENDED TO ILLUSTRATE EACH AND EVERY ITEM REQUIRING DEMOLITION. THE GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS IN ORDER TO ASCERTAIN THE FULL EXTENT OF DEMOLITION TO BE PERFORMED. CLOSE COORDINATION WITH THE CONSTRUCTION MANAGER IS CRITICAL DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
 - THE GENERAL CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND SERVICES TO EXISTING TENANT SPACES (VACANT OR OCCUPIED) DURING DEMOLITION AND CONSTRUCTION. UTILITIES AND SERVICES SHALL INCLUDE, BUT NOT BE LIMITED TO: ELECTRICAL, PLUMBING, GAS, WATER, FIRE SPRINKLER, FIRE ALARM SYSTEMS, ETC. ANY SCHEDULED INTERRUPTION OF SERVICES REQUIRED DURING DEMOLITION OR CONSTRUCTION SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND TENANTS AT LEAST SEVEN (7) DAYS PRIOR TO THE INTERRUPTION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL SUBCONTRACTORS PLACE ALL CONSTRUCTION DEBRIS DIRECTLY INTO DUMPSTERS OR DUMP TRUCKS FOR REMOVAL. USE OF THE STORE DUMPSTER IS NOT ALLOWED. NO CONSTRUCTION DEBRIS WILL BE ALLOWED INSIDE THE STORE OR IN SIGHT OF THE CUSTOMER.
 - THE GENERAL CONTRACTOR MUST COORDINATE WITH THE CONSTRUCTION MANAGER AND THE STORE MANAGER ON THE NIGHT OF FRONT END CHANGE OUT TO INSURE THERE IS ADEQUATE ROOM UNDER THE FRONT END EQUIPMENT IN THE STORE. IF SPACE IS LIMITED, THE GENERAL CONTRACTOR WILL BE REQUIRED TO PROVIDE A STORAGE TRAILER ON SITE. THE GENERAL CONTRACTOR MUST PROVIDE A FORKLIFT FOR THE FRONT END EQUIPMENT REMOVAL.
 - THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR "ALL" DUMPSTERS DUMPS INCLUDING THOSE FOR THE REFRIGERATION CONTRACTOR AND GROCERY RESET. THE REFRIGERATION CONTRACTOR WILL BE RESPONSIBLE FOR BREAKING EVERYTHING DOWN BEFORE PUTTING IN THE DUMPSTER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF REMOVED CONDOLAS AND SHELVING; ONCE THE GROCERY SET TEAM PALLETIZE THE SHELVING AND LOCATED TO THE DOCK. ALL STORES REQUIRE A GROCERY RESET. MAKE SURE THIS IS ACCOATED FOR. GROCERY RESET MAY BE COMPLETED PRIOR TO START OF CONSTRUCTION. IF THIS OCCURS, FOOD LION CORPORATE PROVIDES DUMPSTERS.
 - THE GENERAL CONTRACTOR MUST HAVE PROFESSIONAL SIGNAGE AND NEATLY INSTALLED ORANGE FENCING FOR ANY DETOURS REQUIRED DURING THE COURSE OF THE REMODEL. USE PLYWOOD DUST SCREENS WITH TYVEK LETTERING TURNED INWARD AROUND PREP AREAS, ETC. DUST SCREENS SHOULD BE BUILT WHEN ANY JACK HAMMERING, SAWING, DEMOLITIONS, ETC. IS TAKING PLACE INSIDE THE STORE. ALL JACK-HAMMERING SHALL BE DONE AFTER OPERATING HOURS. DUST SCREENS NEED TO BE STRUCTURAL AND INSULATED WHERE APPROPRIATE. TURN OFF HVAC WHEN HEAVY DEMOLITION OR EXCESSIVE DUST IS BEING CREATED. FOOD LION GROCERY CARTS OR WET SIGNS ARE NOT ALLOWED TO BE USED AS FENCING SUPPORTS.
- SLAB WORK**
- FLOOR CUTTING IS APPROXIMATE. WORK TO BE COORDINATED WITH THE FOOD LION CONSTRUCTION MANAGER AND APPROPRIATE TRADE. FLOOR SLAB CUTS SHALL BE LAID OUT TO MINIMIZE SMALL SHARP CORNER EDGES OF FLOOR SLAB TO REMAIN AND RISK CRACKING. SQUARE OFF CUTS WHERE POSSIBLE. COORDINATE WITH THE APPROPRIATE TRADES.
 - COORDINATE ALL FLOOR CUTS WITH A1.02, P1.01 & P1.02.
- TRENCH WORK**
- ALL DIRT SHALL BE REMOVED FROM THE STORE AND IT SHOULD NEVER HIT THE FLOOR. TRENCHES SHALL BE BACKFILLED WITH AGGREGATE NO LARGER THAN #57, DOWELS IN CONCRETE AND PROPER VAPOR BARRIER. OPEN TRENCHES ARE TO BE COVERED WITH 1/4" MIN. METAL PLATE AND MATCHING CARPET MATS AND DUCT TAPED TO THE FLOOR DURING OPERATING HOURS. ALL PITS SHOULD BE PHOTOGRAPHED WITH CURRENT DATE TO SHOW INTERIOR BEFORE AND AFTER VAPOR BARRIER INSTAL AND TRENCH COMPLETION AND SEND TO CONSTRUCTION MANAGER.



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ARCHITECT/ENGINEER SEAL
04/14/2023



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REVISION / ISSUE HISTORY		
REV	DATE	REVISION / ISSUE NAME
-	04/14/2023	PERMIT

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JB

PERMIT SUB DATE
04/14/2023

CHECKED BY
RD

PROJECT
FOOD LION STORE #2594

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SHEET TITLE
ARCHITECTURAL
DEMOLITION PLAN

SHEET NO
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