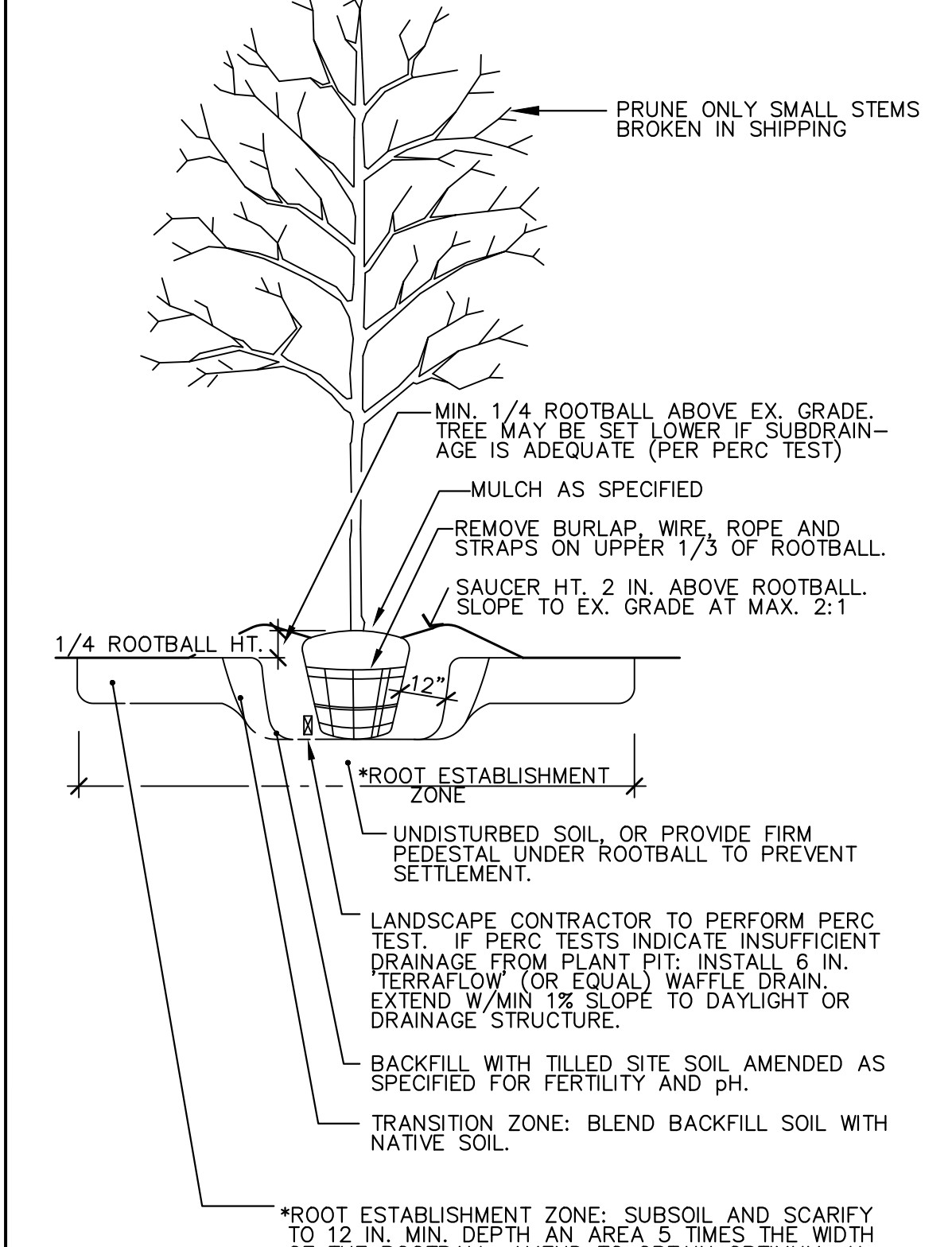


NOTES:
 1. Water well immediately after planting, even if it is raining. Monitor moisture in rootball w/ soil probe throughout the establishment period.
 2. Trees to be staked and guyed will be determined on site.



① Tree Planting (Poorly Drained Soil)

9.1.8 Required Buffer & Screening Types
 In situations where a development is adjacent to multiple uses then the buffer requirement for each use shall be required along each property line, otherwise the development shall follow the requirements listed below. In situations where both vegetative screening and fencing are either required or utilized, the required vegetation shall be planted on the finished side of the fence, which shall face out. Buffer shall be installed in accordance with the Buffer Types (Type A, Type B, Type C, and Type D) listed herein.

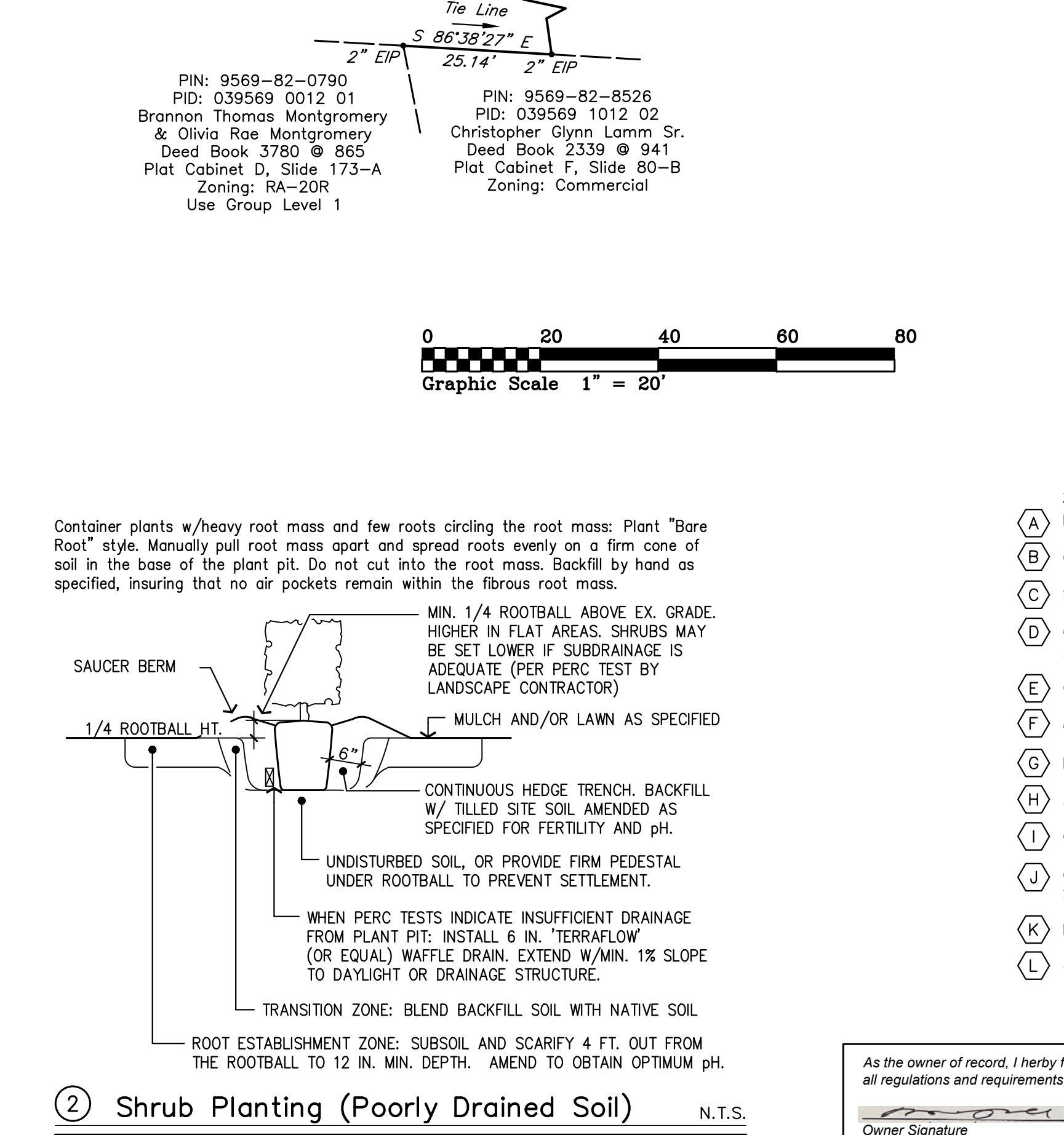
A. All buffer types shall include:
 1. A staggered row of large maturing trees, spaced not more than 30 feet apart; and
 2. Low-growing evergreen shrubs, evergreen ground cover, or mulch covering the balance of the buffer area.

B. Type A Buffer
 1. Minimum width of 15 feet (applies to side and rear property lines)
 2. Option 1
 A row of evergreen shrubs placed not more than four (4) to six (6) feet apart which will grow to form a continuous hedge of at least six (6) feet in height within two (2) years of planting; or
 3. Option 2
 A masonry wall located within the required buffer area; such wall shall be a minimum height of six (6) feet (above finished grade) and, if a block wall, it shall be painted on all sides; or an opaque fence six (6) feet in height; or
 4. Option 3
 A berm meeting the requirements of this Section.

C. Type B Buffer
 1. Minimum width of 30 feet (applies to front, side, and rear property lines)
 2. Option 1
 An opaque fence located within the required buffer area; such fence shall be a minimum height of six (6) feet in height; or
 3. Option 2
 A berm meeting the requirements of this Section.

D. Type C Buffer
 1. Minimum width of 10 feet (applies to area between right-of-way and building front)
 2. Five (5) low growing shrubs for every required large maturing tree.

E. Type D Buffer
 1. Minimum width of 15 feet (applies to property lines adjacent to public right-of-way or as otherwise noted within this Ordinance)
 2. Option 1
 A row of evergreen shrubs, 10 shrubs for every required large maturing tree, placed not more than four (4) feet apart which will grow to form a continuous hedge of at least six (6) feet in height within two (2) years of planting; or



② Shrub Planting (Poorly Drained Soil) N.T.S.

PIN: 9569-73-9260
 PID: 039569 0010
 George A. & Brenda Tart
 Deed Book 3650 @ 644
 Zoning: Commercial
 Use Group Level 3

PIN: 9569-73-7113
 PID: 039569 0011 01
 Dales Cleansing Well, Inc.
 Deed Book 1998 @ 818
 Map Book 2004 @ 936
 Zoning: Commercial

PIN: 9569-72-7950
 PID: 039588 0051
 Elizabeth Nicole Crissman
 (J. R. & Juanita L. Crissman)
 Deed Book 1785 @ 977
 Zoning: Commercial

Temporary Bench Mark
 NC Grid (NAD 83)
 N = 592,969.90'
 E = 1,967,923.85'
 Elevation = 341.17' (MSL) NAVD 88
 Combined Factor = 0.99886377
 based on GPS-VRS session of 04/26/23
 positional tolerance 0.10'

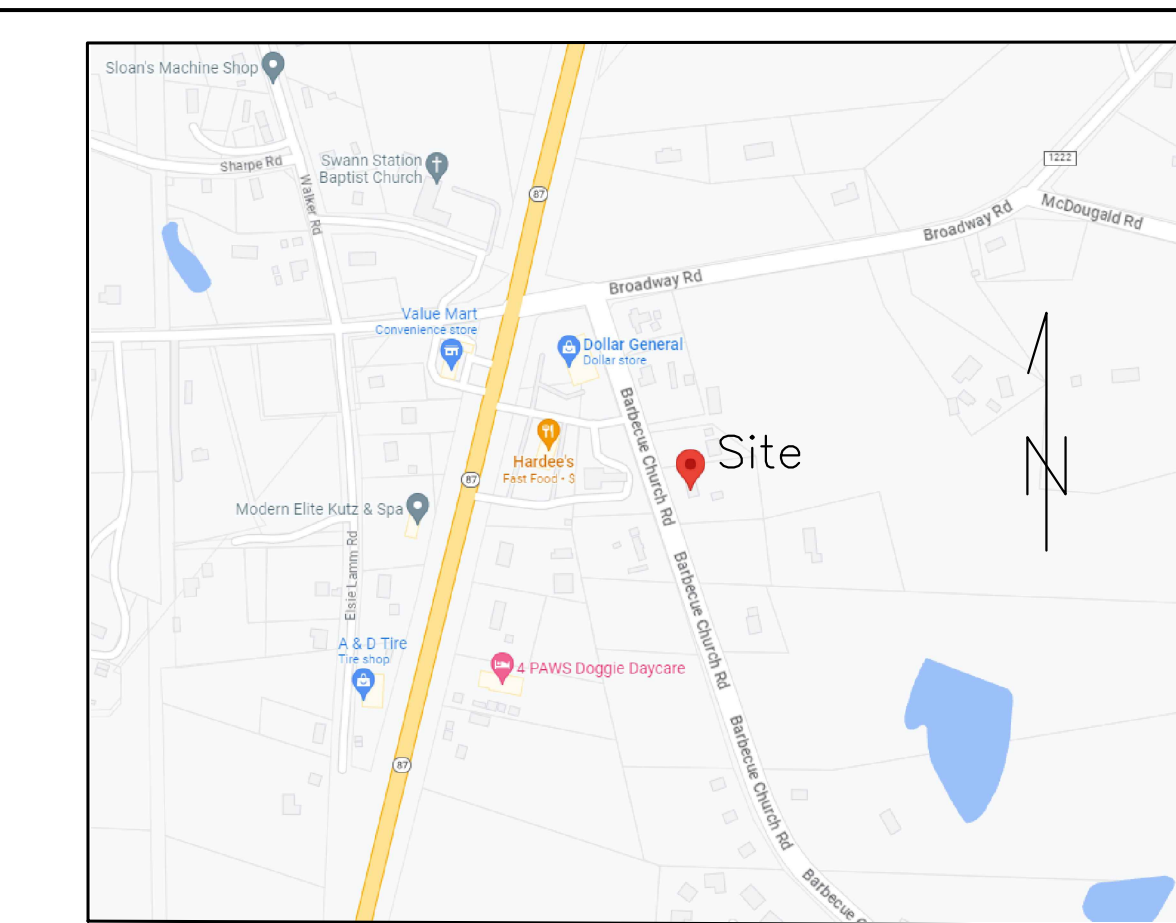
PIN: 9569-82-0869
 PID: 039578 0021
 Cindy L. Medlin
 Deed Book 2570 @ 621
 Zoning: RA-20R
 Use Group Level 1

PIN: 9569-82-0790
 PID: 039569 0012 01
 Bronnon Thomas Montgomery
 & Olivia Rae Montgomery
 Deed Book 3780 @ 865
 Plat Cabinet D, Slide 173-A
 Zoning: RA-20R
 Use Group Level 1

PIN: 9569-82-8526
 PID: 039569 1012 02
 Christopher Glynn Lamm Sr.
 Deed Book 2339 @ 941
 Plat Cabinet F, Slide 80-B
 Zoning: Commercial

PIN: 9569-83-6173
 PID: 039589 1041
 Shirley H. Lamm
 Deed Book 591 @ 85
 Zoning: RA-20R
 Use Group Level 1
 (16) Dwarf Burford Holly

Harnett County
 NORTH CAROLINA
 I hereby certify that the Harnett County Development Review Board has approved this Site Plan pursuant to the regulations set forth by E-911 Addressing, Environmental Health, Fire Marshal, Harnett Regional Water. This project is subject to all federal, state, and local government regulations and applicable expiration periods.
 07/25/2023



Vicinity Map
 No Scale

Site Information

PROPERTY LOCATION & ZONING:
 PROPERTY ADDRESS: 5102 BARBEQUE CHURCH ROAD SANFORD, NC 27332
 ACREAGE: 49,660 SF, 1.14 AC including R/W (1.03 AC GIS PLANNING DATA)
 PIN NUMBER: 9569-83-0016
 ZONING: COMMERCIAL
 ADJACENT ZONING: COMMERCIAL / RA-20R
 PROPOSED USE: SELF STORAGE
 DISTURBED AREA:
 PRIVATE: 42,860± SF (0.98 AC)
 PUBLIC: 1,200± SF (0.03 AC)
 TOTAL: 44,060± SF (1.01 AC)
 SITE COVERAGE (IMPERVIOUS DATA):
 EXISTING REMOVED: 3,090 SF
 EXISTING REMAINING: 0 SF
 TOTAL PRE-DEVELOPED: 3,090 SF / 49,660 SF = 6.2%
 PROPOSED IMPERVIOUS: 26,630 SF
 TOTAL POST-DEVELOPED: 26,630 SF / 49,660 SF = 53.6%
 WATERSHED DATA:
 NC WATERSUPPLY "WATERSHED"
 CAPE FEAR RIVER BASIN
 FLOOD ZONE:
 MINIMAL FLOOD RISK
 PARKING:
 REQUIRED: NO JURISDICTIONAL REQUIREMENTS LISTED FOR PROPOSED
 USE
 PROVIDED: 6 SPACES (1 HANDICAP)

Site Notes

- Access to facility to be via private code during operational hours of 9:00am to 9:00pm
 - The Development is within the five mile Military Corridor Overlay Zone, and may be subject to military training activities
 - No dumpster pad or containment area is provided
 - Owner to remove trash from provided internal access corridor trash bins
 - No adjacent building mechanical system area(s) provided
 - Current property Owner/Developer S&S Storage (Kenneth Siecinski) will be responsible for maintenance of the parking areas, drive aisles and all landscape buffering
- USE REGULATIONS - Storage, Self Mini-Warehouse
- Subject to the following requirements:
- Maximum building height of 20 feet.
 - A secured fence at least six (6) feet in height shall surround the perimeter of the storage facility.
 - Adequate lighting shall be provided to illuminate the storage facility. The minimum size streetlight shall be a 175 watt Mercury-vapor (approximately 7,000 lumen class) or its equivalent, spaced at intervals of not more than 300 feet.
 - The storage of hazardous, toxic, or explosive substances shall be prohibited.
 - No business activity, sales, service, or repair activities, other than rental of the storage units or spaces, shall be conducted within the storage facilities.

NOTES KEYED TO PLAN:

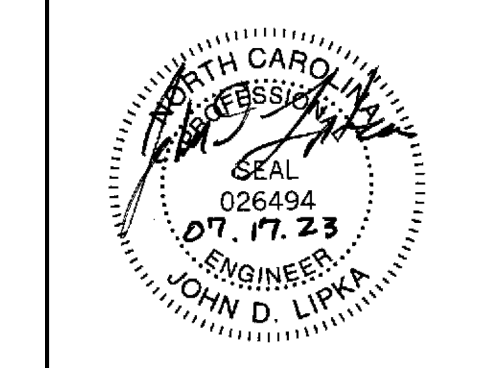
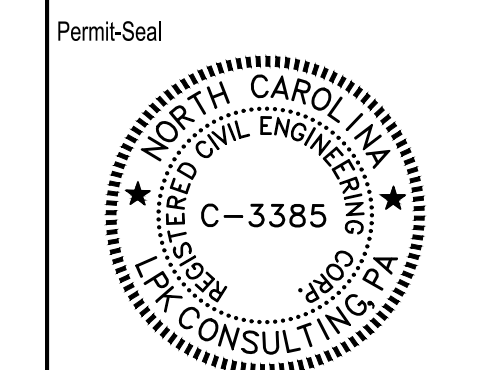
- (A) HANDICAP PARKING SPACES, STRIPING AND SIGNAGE. SEE DETAIL SHEET C-4.
- (B) 6" PIPE BOLLARD AT BUILDING CORNER (TYP). SEE DETAIL SHEET C-5.
- (C) STOP SIGN AND STOP BAR.
- (D) 6", 4,000 PSI CONCRETE APRON ON 6" ABC STONE BASE AT DRIVEWAY TO NCDOT STANDARDS AND SPECIFICATIONS.
- (E) CONCRETE WHEEL STOP (TYP). SEE DETAIL SHEET C-4.
- (F) 6" ABC STONE ON COMPACTED SUBGRADE.
- (G) POLE MOUNTED SITE LIGHT.
- (H) ACCESS READER AND ELECTRONIC GATE OPERATOR.
- (I) 6' HIGH CHAIN LINK FENCE OFFSET 0.5' (MIN) FROM PROPERTY LINE AND R.O.W.
- (J) 6"x6" TAPPING SLEEVE AND VALVE FOR NEW FIRE HYDRANT INSTALLATION TO HARNETT COUNTY STANDARDS AND SPECIFICATIONS.
- (K) NEW FIRE HYDRANT TO HARNETT COUNTY STANDARDS AND SPECIFICATIONS.
- (L) 4 TRASH BINS EACH BUILDING PROVIDED BY OWNER. TRASH REMOVAL BY OWNER.

As the owner of record, I hereby formally consent to the proposed development shown on this site plan and all regulations and requirements of the Harnett County ordinances.
 07/17/23
 Owner Signature Date



LPK
 Consulting Engineers
 514 Edwards Rd
 Rural Hall, NC 27045
 (336) 945-0302
 jlipka@lpk-engineers.com
 Land & Infrastructure
 Development Solutions

Copyright Reserved
 These documents and all data, plans, specifications and other information contained herein are the sole and exclusive property of LPK Consulting, Inc. and may be used only in connection with the project for which these documents were prepared by LPK Consulting, Inc. and no other purpose. Any unauthorized use of these documents for any purpose shall be at the user's sole risk, without liability to LPK Consulting, Inc. All rights of design are reserved to LPK Consulting, Inc.



SIECINSKI SELF STORAGE
 5102 Barbeque Church Road
 Sanford, NC 27332

Client
 MW Construction
 Mike Wilkes
 3423 Watersheel Circle
 Winston-Salem, NC 27103
 mwilkes1959@gmail.com
 M: (336) 414-4120

Surveyor
 Allied Land Surveying Co., PA
 Charles Shaaf, PLS
 4720 Kester Mill Rd
 Winston-Salem, NC 27103
 336-765-2377
 Survey Date: April 24, 2023

Site Title
 SITE LAYOUT,
 PLANTING PLAN &
 UTILITY PLAN

Revision	Date

Issued	Date
Harnett Co. Permit Review	05/08/23
NCDOT/Fast Track	05/11/23
NCDOT/Comments	05/10/23
Harnett Co. Comments	07/17/23

Project No.: 23-0402
 Designed By: JDL
 Drawn By: JDL
 Date: May 2023
 Scale: As Noted