CP PROPOSED COLEMAN D SLAB 3 CAR - LEFT PO SW SW DW INSET SCALE: 1"=20"

LOT INFORMATION:

PIN:9680-69-5816 REFERENCE: DB4093 PG 784 TOTAL LOT AREA = 0.460 AC = 20,079 SF HOUSE = 1,540 SF PORCH = 84 SF SIDEWALKS = 100 SF DRIVEWAY = 808 SF COVERED PATIO = 120 SF PROPOSED IMPERVIOUS = 2,544 SF PERCENT IMPERVIOUS = 12 67%

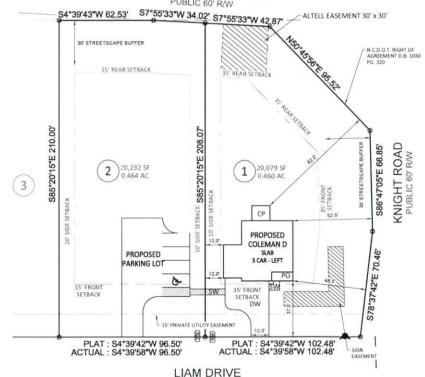
LOT INFORMATION:

PIN:9680-69-5936 REFERENCE: DB4093 PG 784 TOTAL LOT AREA = 0.464 AC = 20,232 SF PARKING LOT = 2,619 SF PROPOSED IMPERVIOUS = 2,619 SF PERCENT IMPERVIOUS = 12 95%

BUILDING SETBACKS FRONT - 35' REAR - 35' SIDE - 10' CORNER SIDE - 20"



ROSSER PITTMAN ROAD



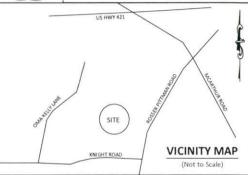
PUBLIC 60' R/W



Bateman Civil Survey Company

Engineers • Surveyors • Planners

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LEGEND

PO = PORCH WD = WOOD DECK WD = WOOD DECK
SW = SIDEWALK
DW = CONC DRIVEWAY
P = CONC PATIO
&= COMPUTED POINT
X = MAG NAIL FOUND

O= IRON PIPE FOUND ●= IRON PIPE SET = IRON PIPE SET
 = DRILL HOLE FOUND
 | WATER METER
 CO = CLEAN OUT

AC = AIR CONDITIONER

S = SEWER MANHOLE

EB = ELECTRIC BOX O = CABLE BOX

T = TELEPHONE PEDESTAL

CB = CATCH BASIN

IC = IRRIGATION CONTROLLER

☼ = LIGHT POLE 0 = UTILITY POLE = FIRE HYDRANT

DI = DRAIN INLET

WY = WATER VALVE

= STREET SIGN

YI = YARD INLET E = ELECTRIC METER

I, STEVEN P. CARSON, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY DIRECT SUPERVISION FROM A SP = SCREENED PORCH/PATIO SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK CP = COVERED PORCH/PATIO REFERENCED IN TITLE BLOCK); THAT THE BOUNDARIE NOT SURVEYED ARE CLEARLY INDICATED AS DIAWN FROM INFORMATION LISTED UNDER REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS . JE REQUIREMENTS OF THE STANDARD OF RECTICE FOR LAND SURVEYING IN NORTH CAROLIF A. L-4752 DATED:

> This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

BUILDER TO VERIFY HOUSE LOCATION DIMENSIONS AND REVIEW TOTAL IMPERVIOUS NOTED ON THIS PLOT PLAN

PRELIMINARY PLOT PLAN FOR

SMITH DOUGLAS HOMES

HARRINGTON PLACE - LOTS 1-2

20, 40 LIAM DRIVE, BROADWAY, NC UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY

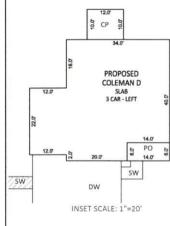
DATE: 7/25/23 DRAWN BY: AHB CHECKED BY: SPC

REFERENCE: BK2023 PG335

1" = 40 ft.

BCS# 230119

SCALE: 1" = 40"



NOTES:

- THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
- THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING
- PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND NFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
- THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A OCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
- THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC, REFERENCED IN TITLE
- NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE
- THE PROPERTY IS LOCATED IN FEMA FLOOD ZONE "X" MAP # 371096800J DATED 10/3/2006.
- 10. ZONING IS RA-20.
- 11. PROPERTY OWNER: SMITH DOUGLAS HOMES 2520 RELIANCE AVENUE