COLEMAN

SMITH DOUGLAS HOMES

QUALITY | INTEGRITY | VALUE

110 VILLAGE TRAIL SUITE 215
WOODSTOCK, GA. 30188

HARRINGTON PLACE
LOT 1

PLAN ID 060121.1201

DRAWING INDEX

AREA TABULATION	
FIRST FLOOR	838
SECOND FLOOR	1215
TOTAL	2053
GARAGE	702
FRONT PORCH (COVERED)	84
REAR PATIO (COVERED)	120

Sales center only. Interior HC restroom

GOVERNMENTAL CODES & STANDARDS

HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA

HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

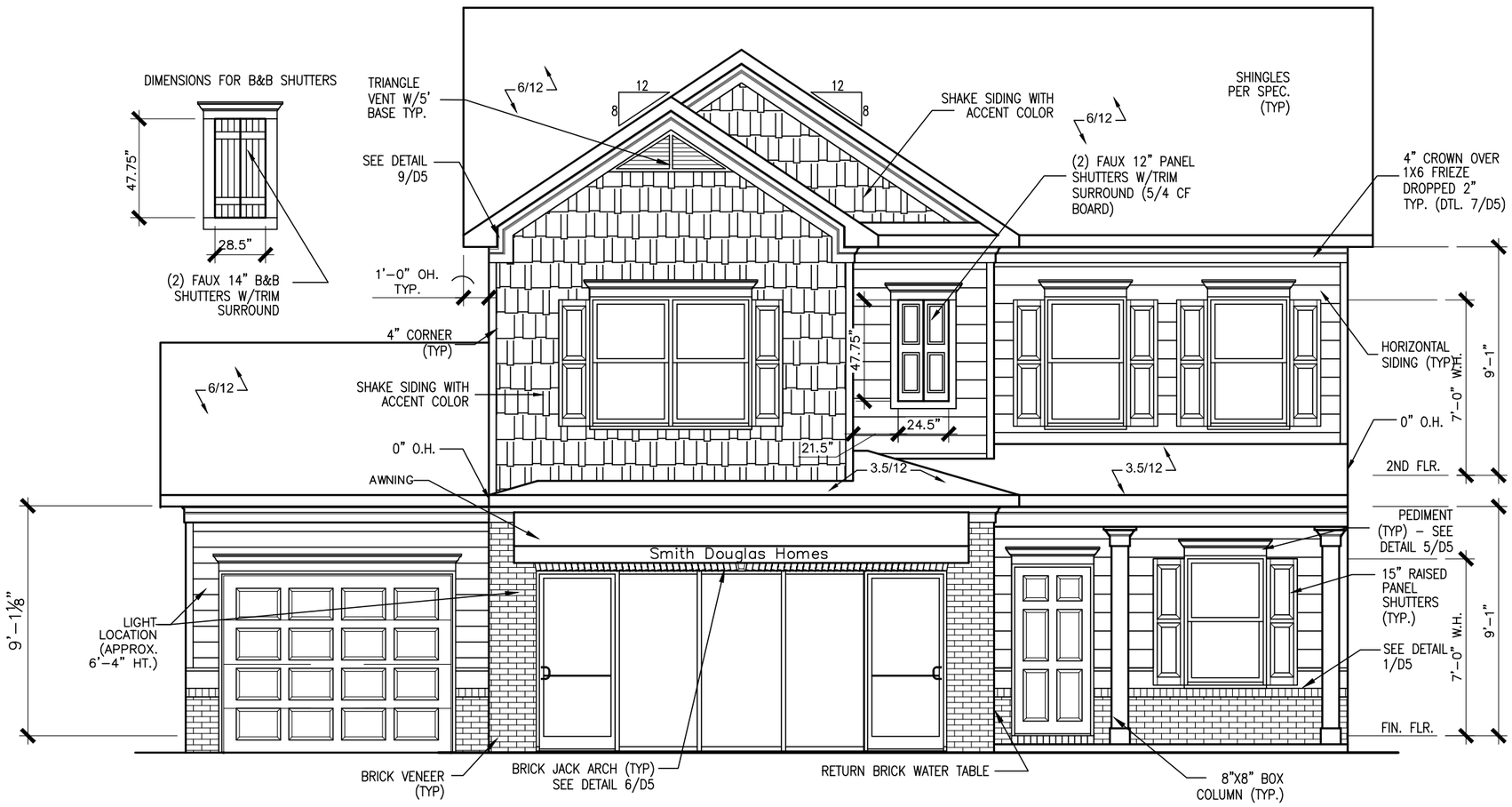
PLAN REVISIONS

DATE	BY	REVISION	PAGE #
10/30/2021	AW	Prototype walk revisions - see revision sheet	ALL
4/1/2022	AW	Final walk revisions - see revision sheet	A5.2, A5.2, A7.3
11/1/2022	AW	PCR #4985 Change 2x6 wall in laundry to 2-2x4s - takes 1.5" out of hall/linen	A5.2, A7.3
12/1/2022	AW	PCR #5030 Added 8" in depth to kitchen (pantry & around island) - reduced Dining/Study 8" in depth	A3.1, A5.1, A7.2, A8.1

ALL NON–MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

HARRINGTON PLACE
LOT 1



FRONT ELEVATION "D"

SCALE: 3/16"=1'-0"

BY	DATE	REVISION
#	#	#
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SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

ELEVATIONS
FRONT ELEVATION
COLEMAN

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SUITE 115
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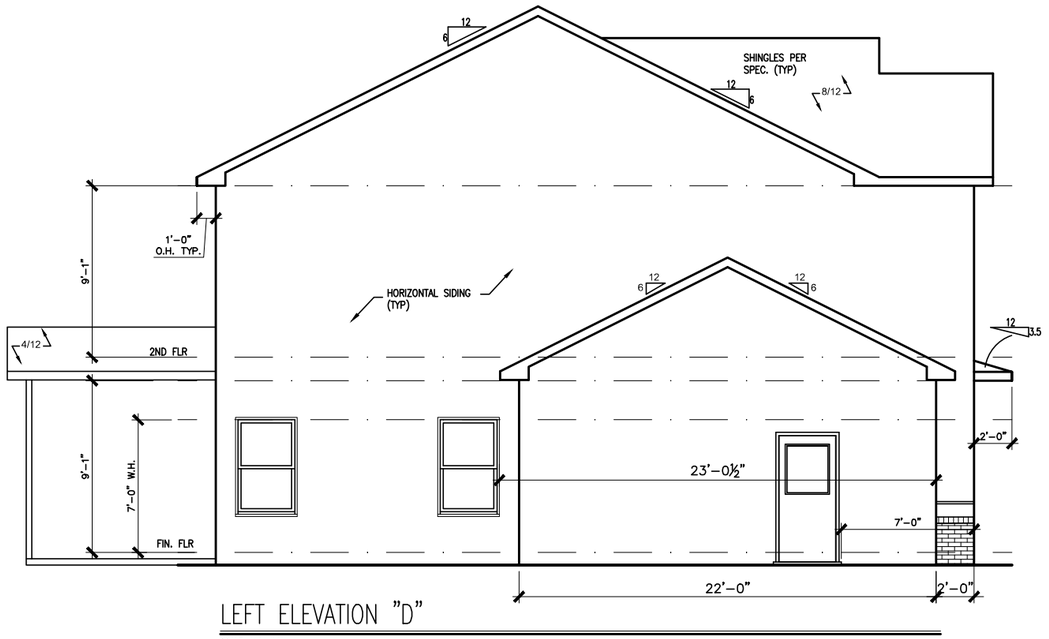
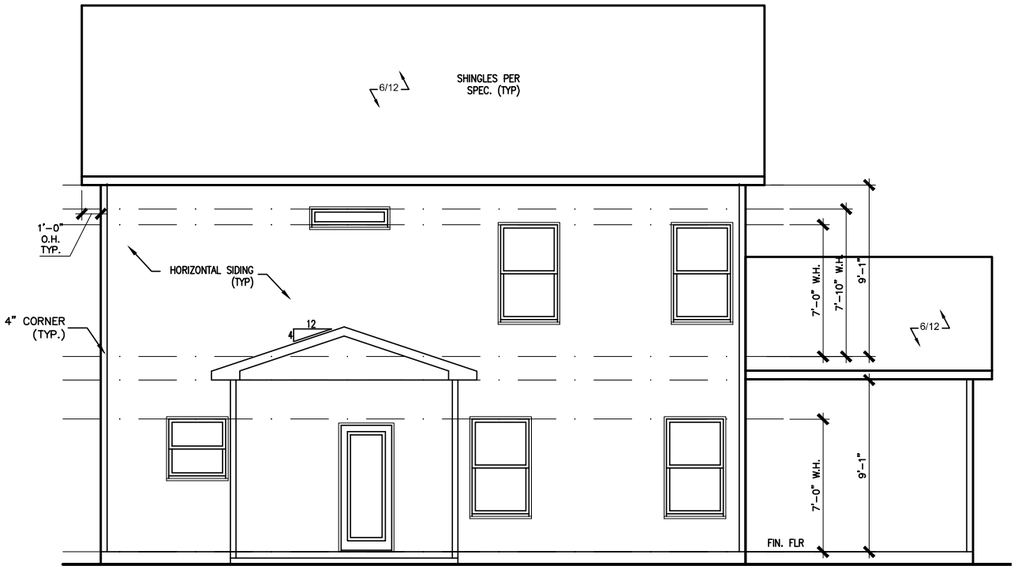
PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A1.1	

HARRINGTON PLACE
LOT 1



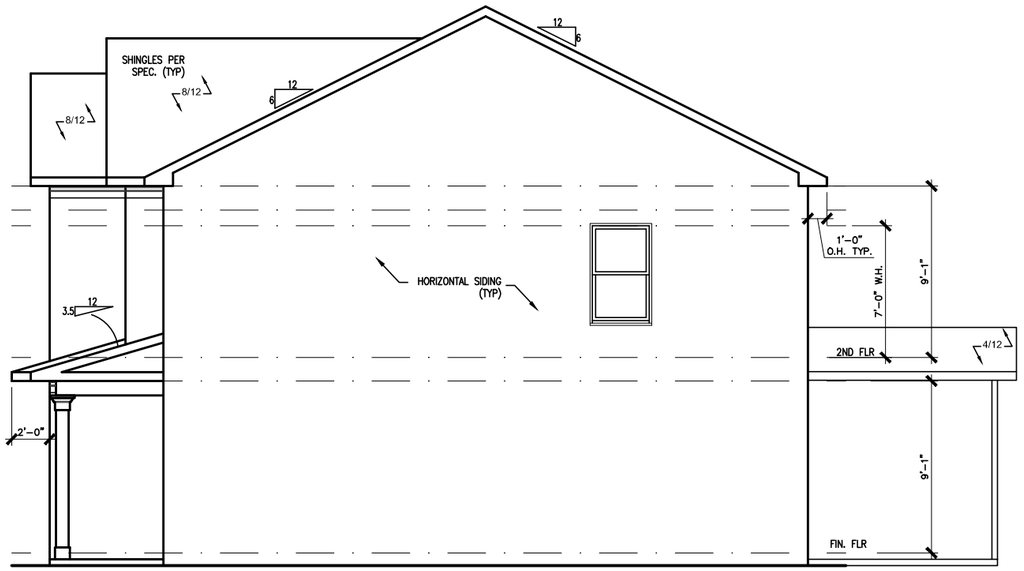
LEFT ELEVATION "D"

SCALE : 1/8" = 1'-0"



REAR ELEVATION "D"

SCALE : 1/8" = 1'-0"



RIGHT ELEVATION "D"

SCALE : 1/8" = 1'-0"

BY	DATE	REVISION
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SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

ELEVATIONS
SIDES AND REAR
COLEMAN

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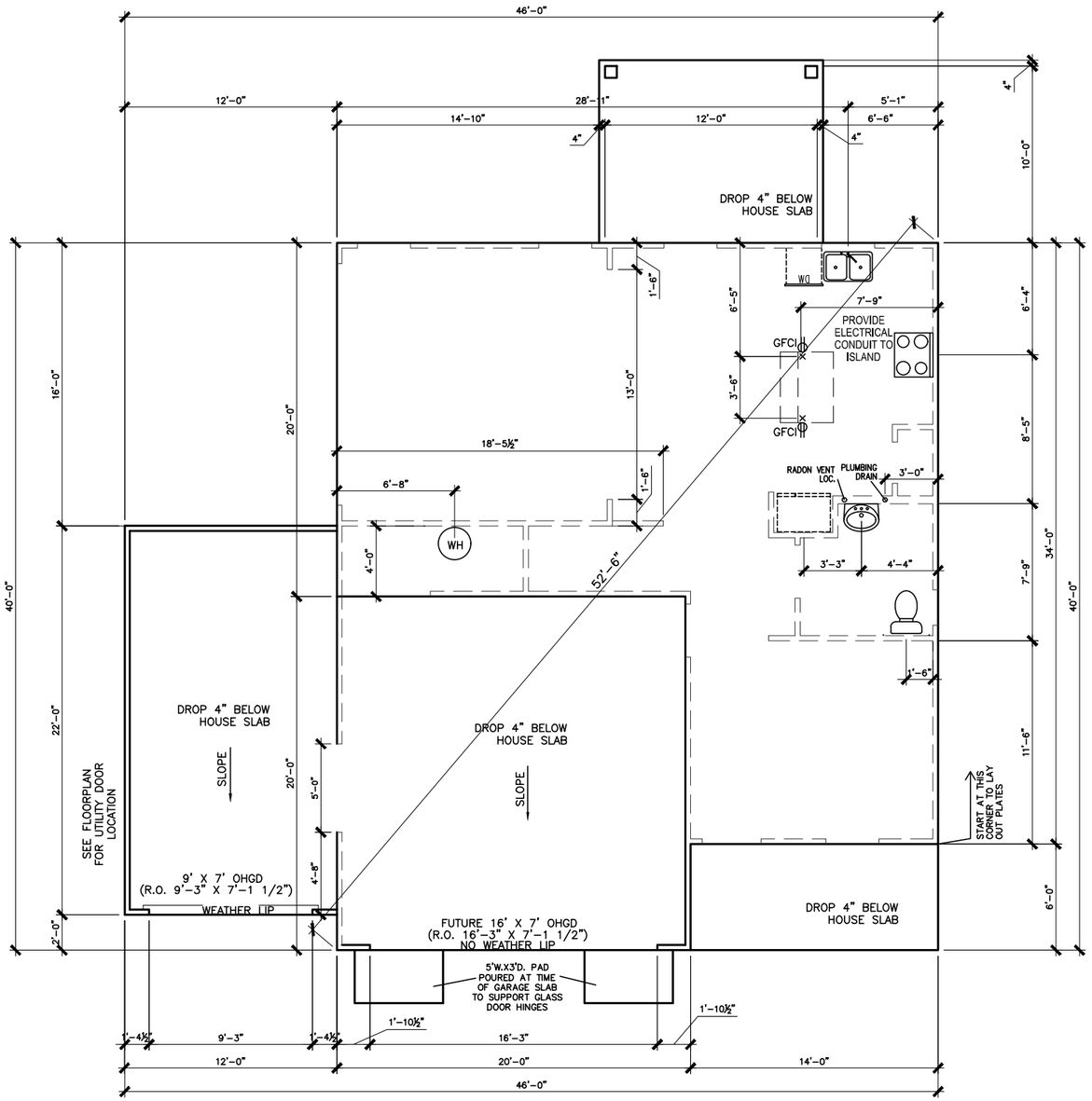
PAGE NO: A2.1	

HARRINGTON PLACE
LOT 1



SLAB PLAN

SCALE : 1/8" = 1'-0"

*RADON VENT PROVIDED PER LOCAL CODE

REFER TO DETAIL 3/D1 FOR BRICK LEDGE DETAIL WHEN BRICK VENEER IS CHOSEN

BY	REVISION	DATE
#	#	#
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SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

FOUNDATION PLAN
SLAB PLAN
COLEMAN

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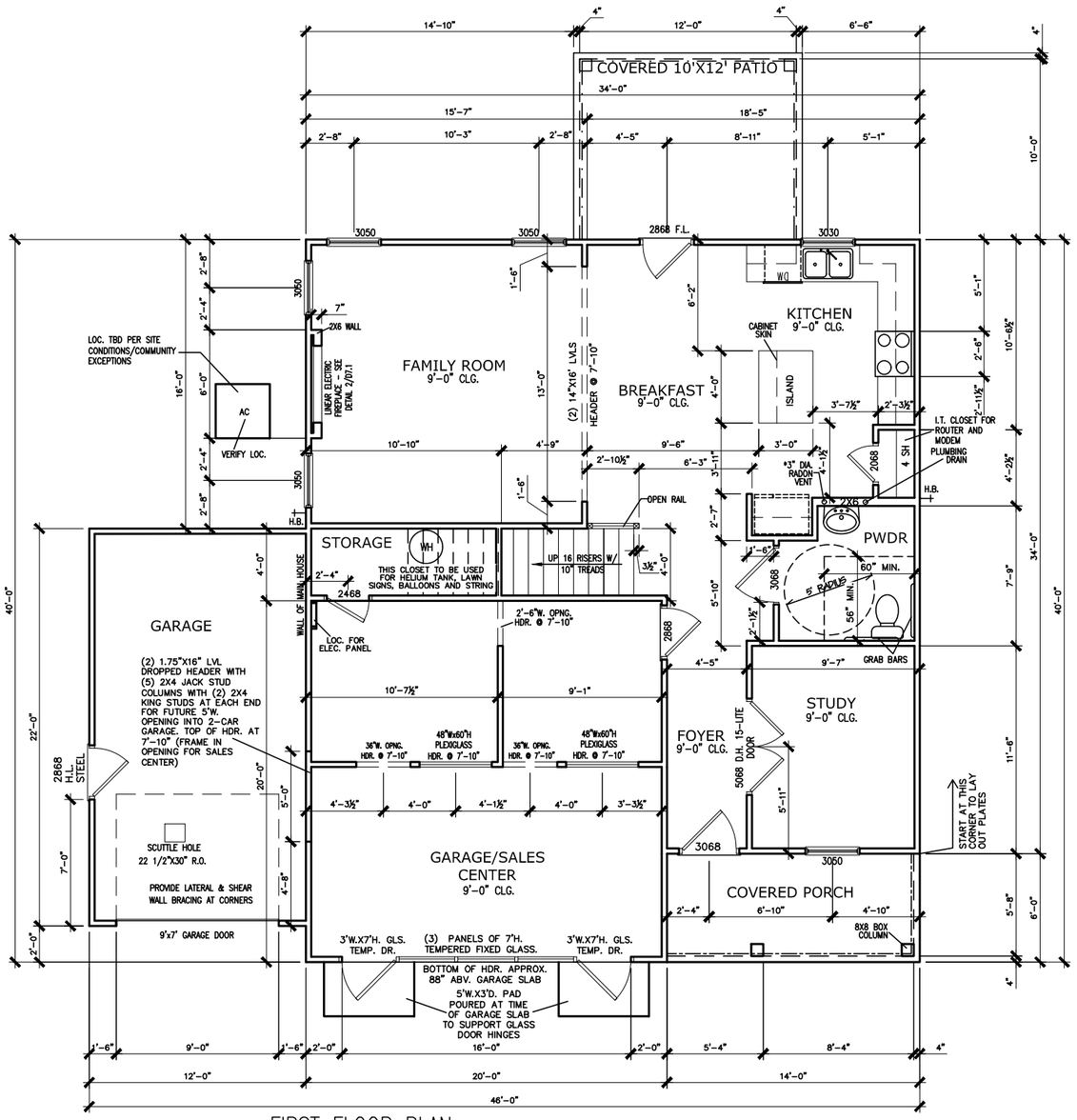
PAGE NO: A3.1	

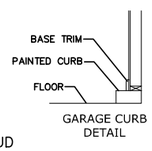
HARRINGTON PLACE
LOT 1



FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

NOTES:
1. SALES CENTER FLOORING TO BE CARPET SQUARES (ALTERNATING SQUARES TO BREAK UP THE PATTERN) – FLOOR TO HAVE STANDARD GARAGE SLOPE
2. CONCRETE GARAGE CURB TO BE PAINTED WITH BASE TRIM
3. DO NOT CREATE A WEATHER LIP FOR FUTURE OVERHEAD GARAGE DOOR
4. INTERIOR TRIM AROUND STOREFRONT DOORS/FIXED GLASS
5. ADD BLOCKING OR BE SURE KIOSK MONITOR WALL MOUNT IS SCREWED INTO A STUD
6. ADD BLOCKING FOR CABINET DISPLAY RACK AND FLOATING SHELVES (REFER TO SALES CENTER CABINET DRAWINGS)
7. ELECTRICAL PANEL TO BE HIDDEN WITH WHITE TRIM AND DOOR WITH HANDLE
8. SEE LAYOUT FOR CLOSET LOCATION TO BE USED FOR STORING HELIUM TANK, LAWN SIGNS, BALLOONS AND STRING (DO NOT STORE IN CLOSET DESIGNATED FOR IT EQUIPMENT)
9. INSULATE CEILING & ALL WALLS OF SALES CENTER AND USE 3M FILM TO TINT STOREFRONT GLASS



GARAGE CURB DETAIL

*RADON VENT PROVIDED PER LOCAL CODE

BY	REVISION	DATE
#	#	#
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SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

FLOOR PLAN
FIRST FLOOR
COLEMAN

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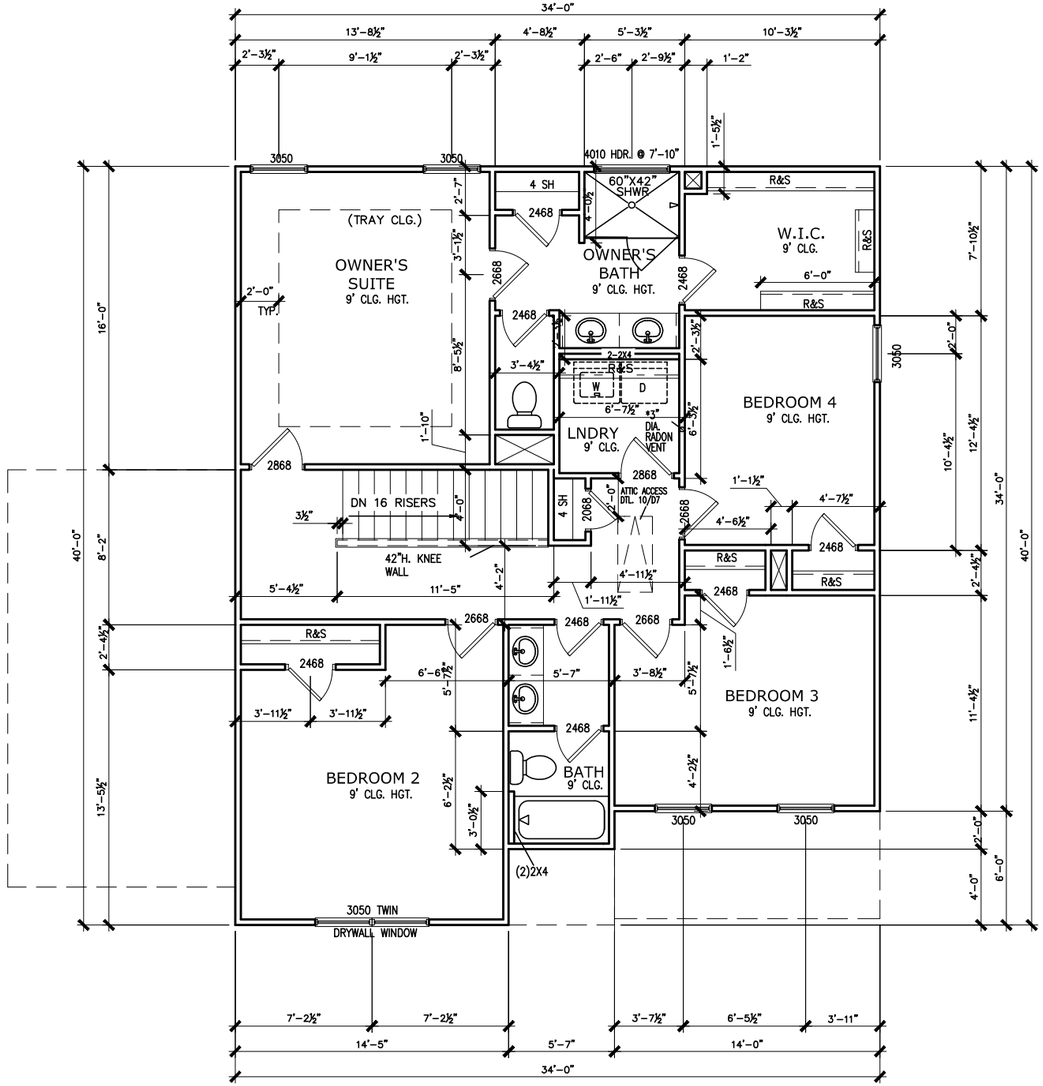
HARRINGTON PLACE
LOT 1



SECOND FLOOR PLAN

SCALE : 1/8" = 1'-0"

*RADON VENT PROVIDED PER LOCAL CODE

REFER TO MANUFACTURER'S SPECS. FOR DRAIN LOCATIONS ON DETAIL SHEETS D12, D12.1, & D12.2

BY	REVISION	DATE
#	#	#
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SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

FLOOR PLAN
SECOND FLOOR
COLEMAN

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SUITE 115
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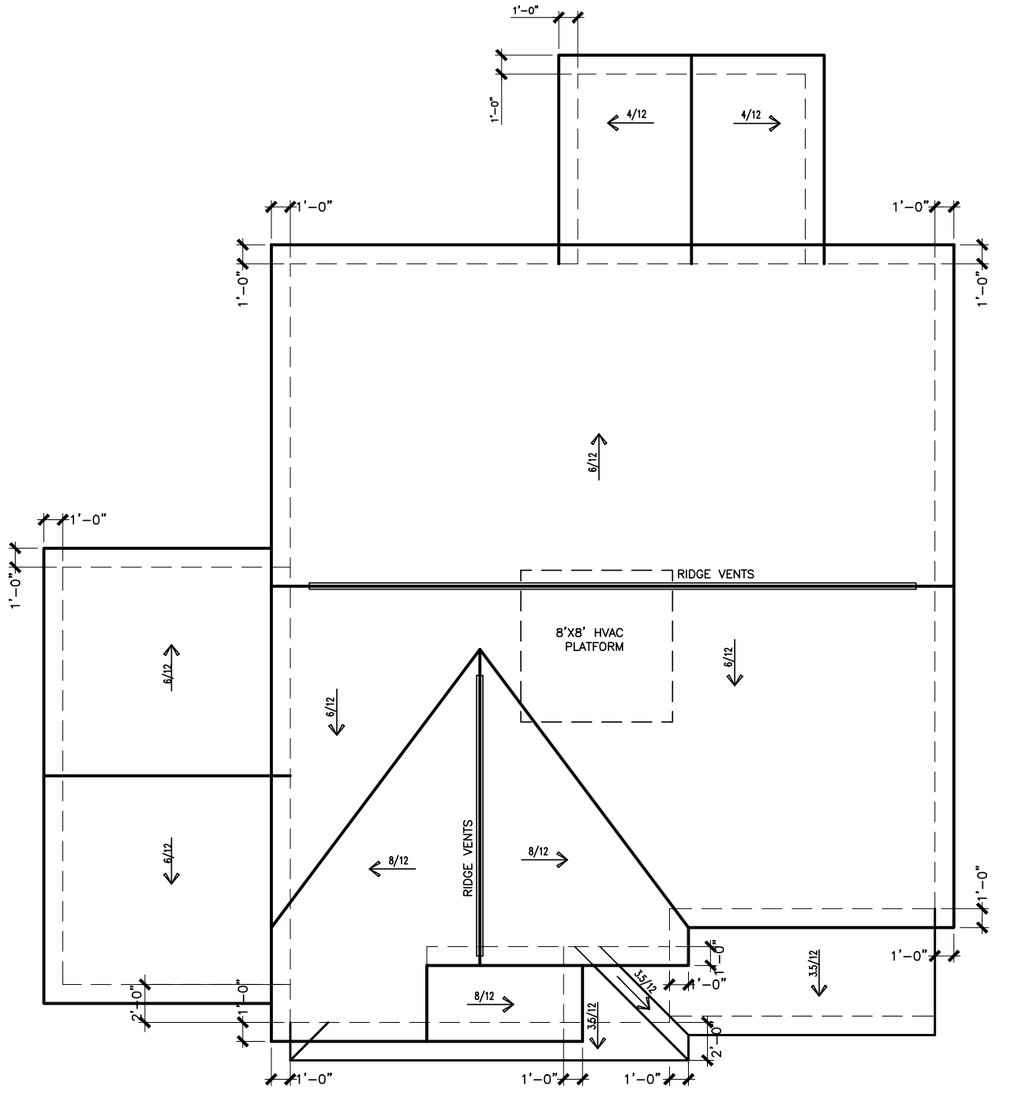
PAGE NO: A5.2	

HARRINGTON PLACE
LOT 1



ROOF PLAN "D"

SCALE : 1/8" = 1'-0"

BY	DATE	REVISION
#	#	#
#	#	#
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SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

ROOF PLAN
ROOF PLAN
COLEMAN

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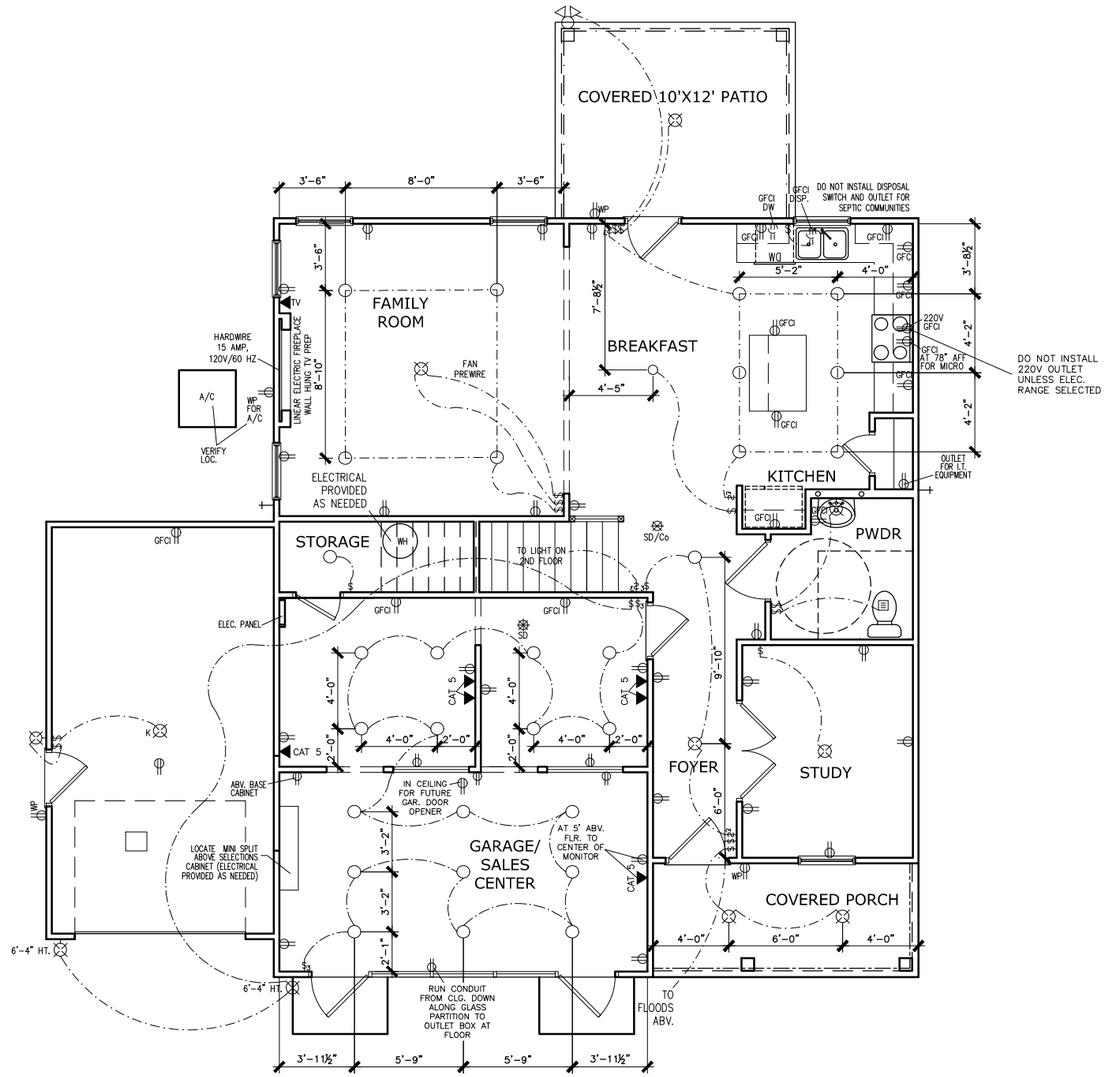
HARRINGTON PLACE
LOT 1



FIRST FLOOR ELECTRICAL PLAN

SCALE : 1/8" = 1'-0"

NOTES:
1. CONSIDER LOCATION OF ELECTRICAL PANEL AS IT RELATES TO LAYOUT – EXACT LOCATION T.B.D. BY CM & MARKETING
2. INSTALL A DUPLEX OUTLET IN THE I.T. EQUIPMENT CLOSET – LOCATION OF EQUIPMENT CLOSET NOTED ON LAYOUT
3. PROVIDE ELECTRICAL AS REQUIRED FOR MINI SPLIT – LOCATION NOTED ON LAYOUT

ELECTRICAL LEGEND

S	SWITCH	TV	TV
S3	3 WAY SWITCH		120V RECEPTACLE
S4	4 WAY SWITCH		120V SWITCHED RECEPTACLE
	CEILING FIXTURE		220V RECEPTACLE
K	KEYLESS	GFCI	GFCI OUTLET
H	WALL MOUNT FIXTURE	AFCI	ARCH FAULT CIRCUIT INTERRUPTER
	CEILING FIXTURE	GL	GAS LINE
	FLEX CONDUIT	WL	WATER LINE
CH	CHIMES		HOSE BIBB
PH	TELEPHONE		FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET		CEILING FAN
	GARAGE DOOR OPENER		
	EXHAUST FAN		ELECTRICAL WIRING
	FAN/LIGHT		CEILING FIXTURE

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

REVISION	DATE	BY
#	#	#
#	#	#
#	#	#
#	#	#
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SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

ELECTRICAL PLAN
FIRST FLOOR
COLEMAN

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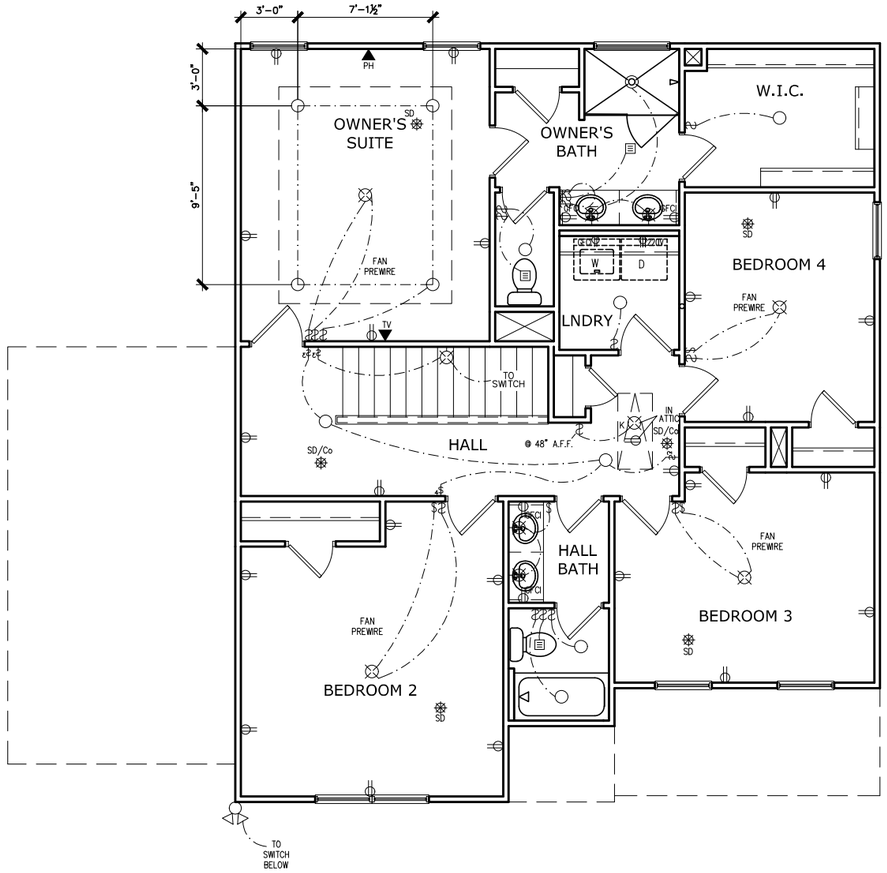
HARRINGTON PLACE
LOT 1



SECOND FLOOR ELECTRICAL PLAN

SCALE : 1/8" = 1'-0"

ELECTRICAL LEGEND

$	SWITCH	TV	TV
$3	3 WAY SWITCH		120V RECEPTACLE
$4	4 WAY SWITCH		120V SWITCHED RECEPTACLE
	CEILING FIXTURE		220V RECEPTACLE
K	KEYLESS	GFCI	GFCI OUTLET
	WALL MOUNT FIXTURE	AFCI	ARCH FAULT CIRCUIT INTERRUPTER
	CEILING FIXTURE	GL	GAS LINE
	FLEX CONDUIT	WL	WATER LINE
CH	CHIMES		HOSE BIBB
PH	TELEPHONE		FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET		CEILING FAN
	GARAGE DOOR OPENER		
	EXHAUST FAN		ELECTRICAL WIRING
	FAN/LIGHT		CEILING FIXTURE

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

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NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

BY	DATE	REVISION
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#

SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

ELECTRICAL PLAN
SECOND FLOOR
COLEMAN

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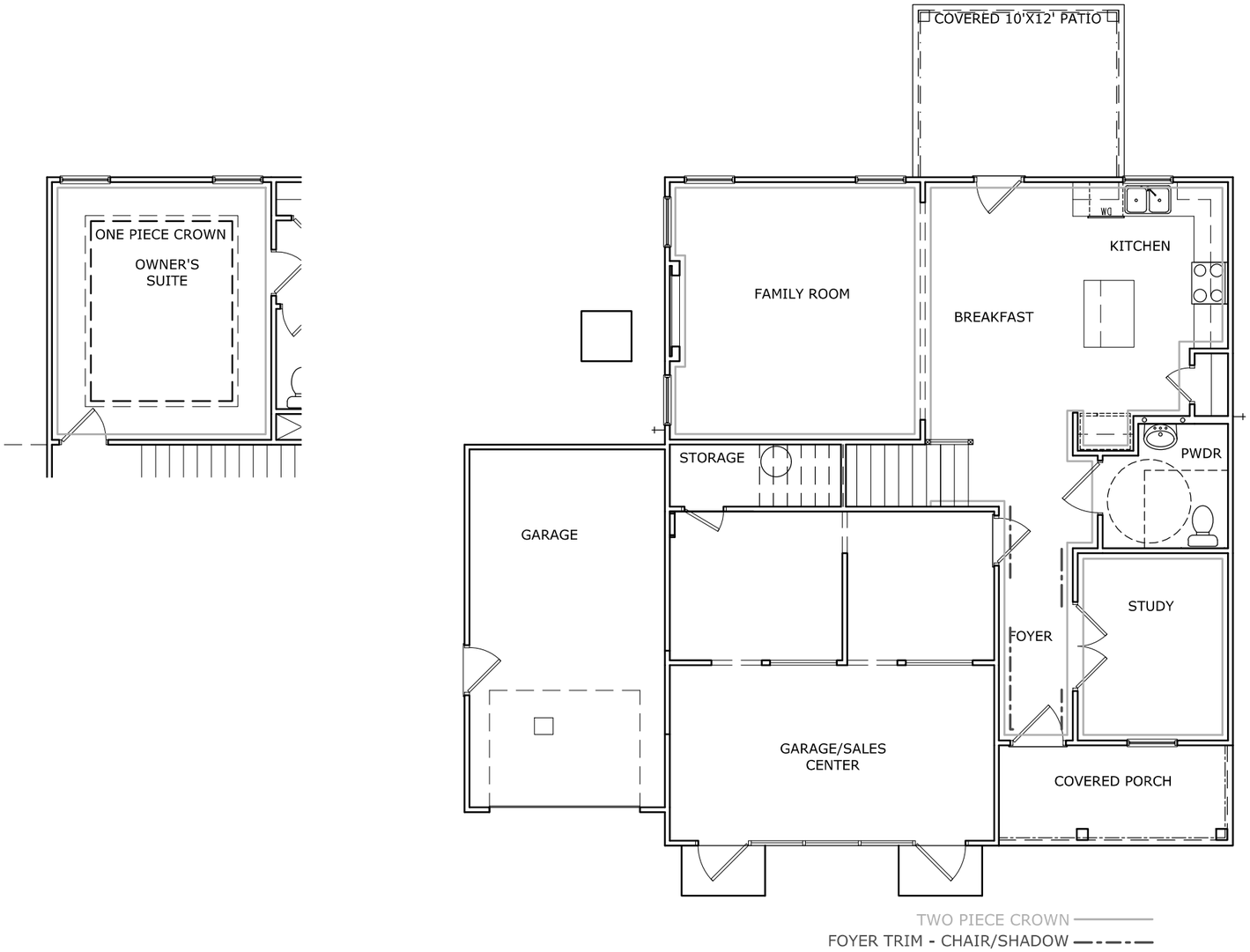
HARRINGTON PLACE
LOT 1



FIRST FLOOR PLAN

TRIM LAYOUT FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

REVISION | BY | DATE

SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

FLOOR PLAN
TRIM LAYOUT
COLEMAN

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PLAN ID:

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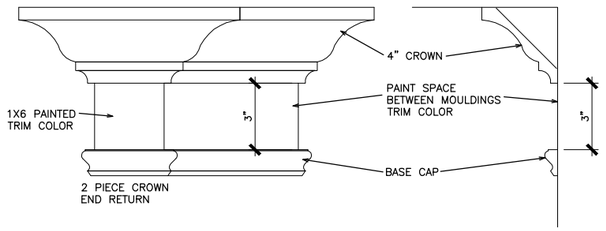
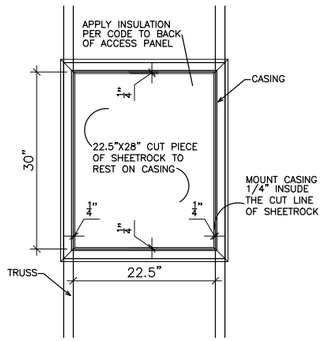
PAGE NO: A8.1

REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



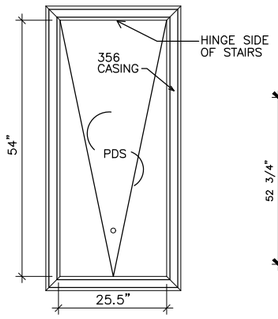
TYPICAL TWO PIECE CROWN

N.T.S



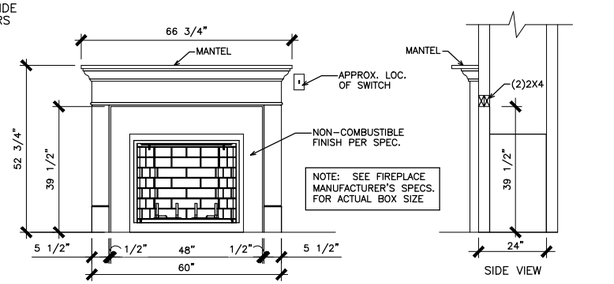
SCUTTLE HOLE DETAIL

N.T.S



PDS TRIM DETAIL

N.T.S

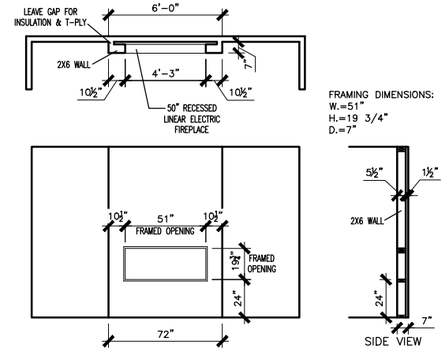


GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S

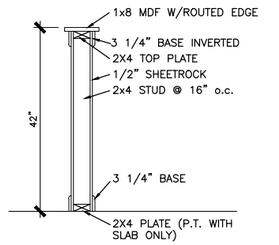
ELECTRIC FRAMING DIMENSIONS:
W.=37"
D.=24"
H.=31 1/4"

GAS FRAMING DIMENSIONS:
W.=37"
D.=24"
H.=34 3/4"



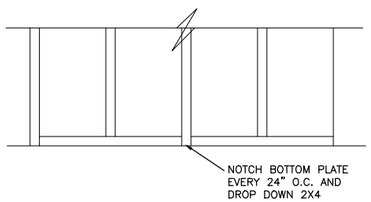
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S



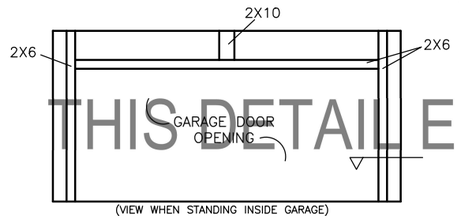
TYP. KNEEWALL SECTION

N.T.S



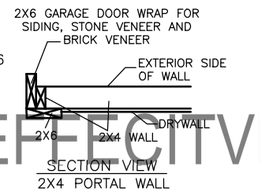
TYP. 2ND FLOOR KNEE WALL STABILITY

N.T.S

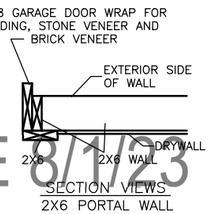


TYP. INTERIOR GARAGE "GOAL POST"

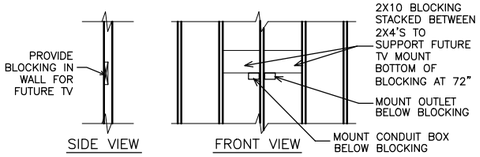
N.T.S



SECTION VIEW
2X4 PORTAL WALL



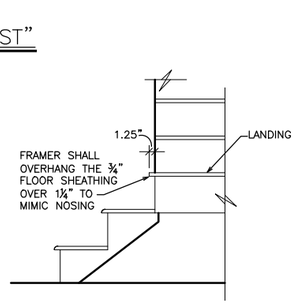
SECTION VIEWS
2X6 PORTAL WALL



NOTE: USE SCRAPS TO CREATE BLOCKING – (3) 2X4s, (2) 2X6s OR (1) 2X10

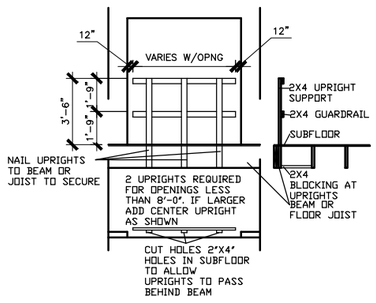
TYP. TV WALL PREP

N.T.S



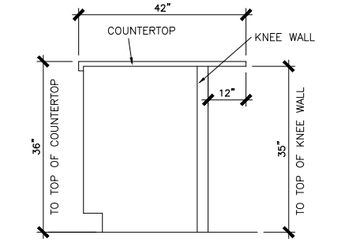
BOX STEP OVERHANG

N.T.S



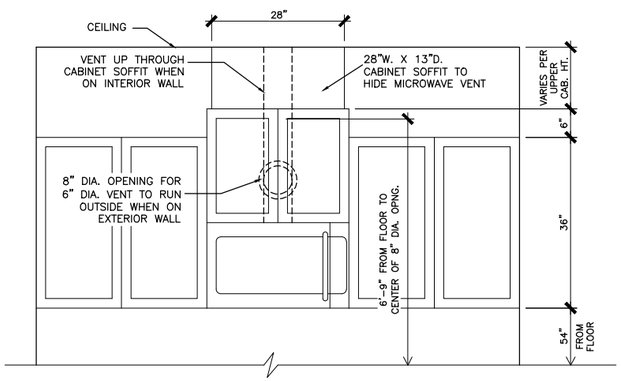
GUARD RAIL DTL. AS REQ'D

N.T.S.



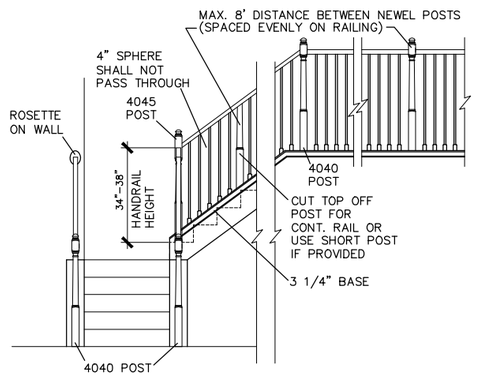
SECTION @ ISLAND KNEEWALL

N.T.S



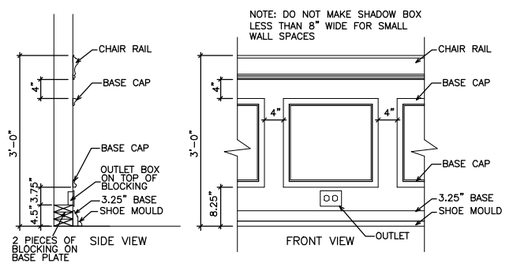
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S



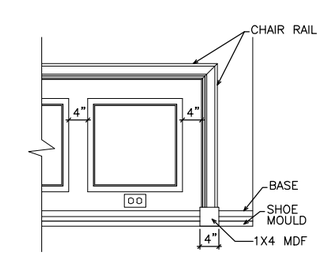
HANDRAIL/POST DETAIL @ STAIRS

N.T.S



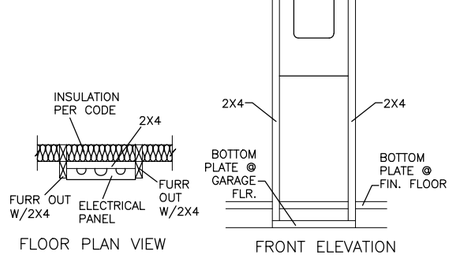
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S



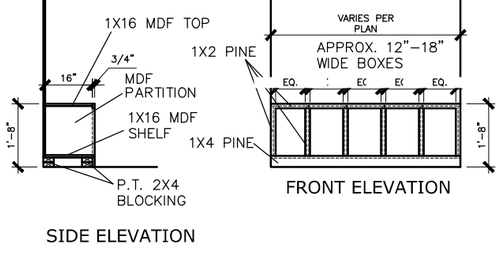
CHAIR RAIL END TRIM DETAIL

N.T.S



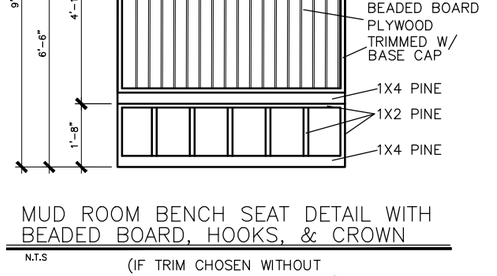
ELECTRICAL PANEL DETAIL

N.T.S



MUD ROOM BENCH SEAT DETAIL

N.T.S



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

BY:
REVISION
DATE:

SMITH DOUGLAS HOMES
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INTERIOR TRIM DETAILS

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 215
WOODSTOCK, GA 30188
www.smithdouglas.com

BY: CH:
DATE: 6/13/23
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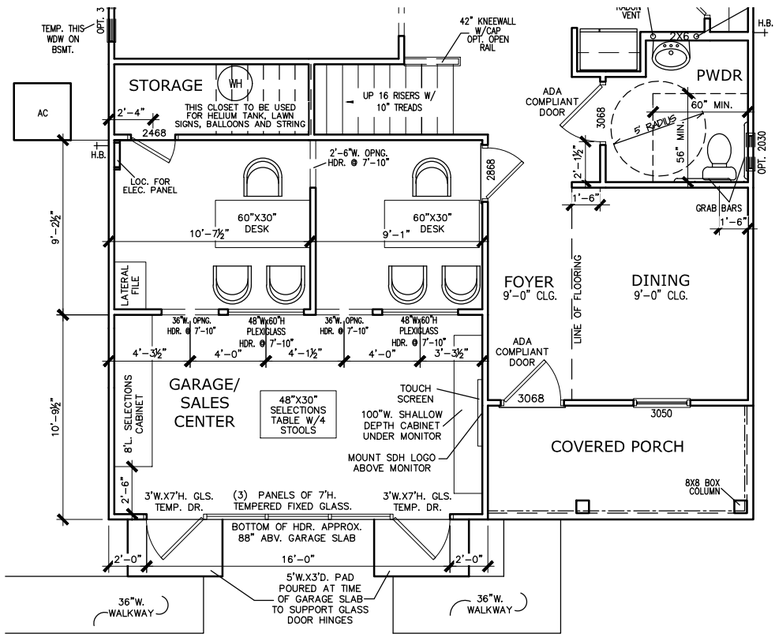
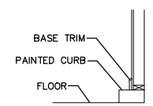
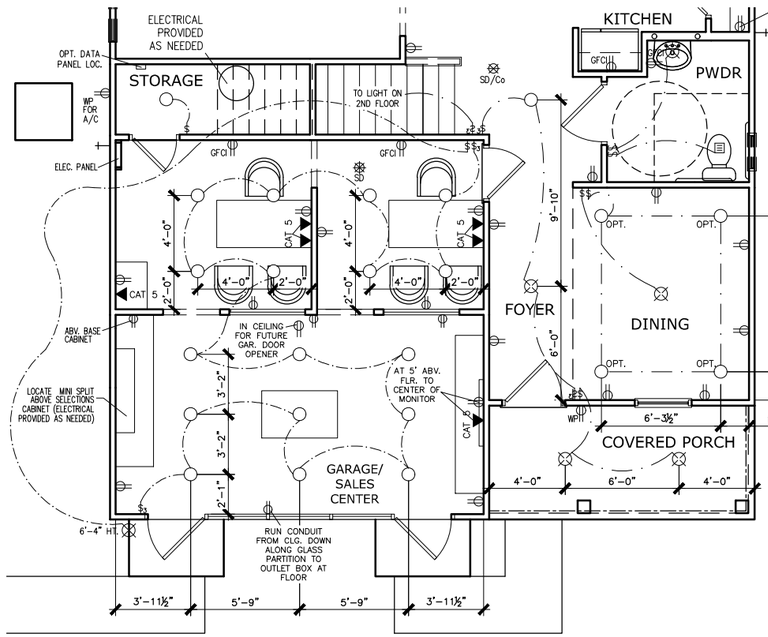


COLEMAN 2-OFFICE STOREFRONT SALES CENTER W/ADA BATHROOM FLOOR PLAN



GARAGE CURB DETAIL

NOTES:
1. SALES CENTER FLOORING TO BE CARPET SQUARES (ALTERNATING SQUARES TO BREAK UP THE PATTERN) – FLOOR TO HAVE STANDARD GARAGE SLOPE
2. CONCRETE GARAGE CURB TO BE PAINTED WITH BASE TRIM
3. DO NOT CREATE A WEATHER LIP FOR FUTURE OVERHEAD GARAGE DOOR
4. INTERIOR TRIM AROUND STOREFRONT DOORS/FIXED GLASS
5. ADD BLOCKING OR BE SURE KIOSK MONITOR WALL MOUNT IS SCREWED INTO A STUD
6. ADD BLOCKING FOR CABINET DISPLAY RACK AND FLOATING SHELVES (REFER TO SALES CENTER CABINET DRAWINGS)
7. ELECTRICAL PANEL TO BE HIDDEN WITH WHITE TRIM AND DOOR WITH HANDLE
8. SEE LAYOUT FOR CLOSET LOCATION TO BE USED FOR STORING HELIUM TANK, LAWN SIGNS, BALLOONS AND STRING (DO NOT STORE IN CLOSET DESIGNATED FOR IT EQUIPMENT)
9. INSULATE CEILING & ALL WALLS OF SALES CENTER AND USE 3M FILM TO TINT STOREFRONT GLASS



COLEMAN 2-OFFICE STOREFRONT SALES CENTER W/ADA BATHROOM ELECTRICAL PLAN

NOTES:
1. CONSIDER LOCATION OF ELECTRICAL PANEL AS IT RELATES TO LAYOUT – EXACT LOCATION T.B.D. BY CM & MARKETING
2. INSTALL A DUPLEX OUTLET IN THE I.T. EQUIPMENT CLOSET – LOCATION OF EQUIPMENT CLOSET NOTED ON LAYOUT
3. PROVIDE ELECTRICAL AS REQUIRED FOR MINI SPLIT – LOCATION NOTED ON LAYOUT

ELECTRICAL LEGEND

$	SWITCH	TV	TV
$3	3 WAY SWITCH		120V RECEPTACLE
$4	4 WAY SWITCH		120V SWITCHED RECEPTACLE
	CEILING FIXTURE		220V RECEPTACLE
K	KEYLESS	GFCI	GFCI OUTLET
	WALL MOUNT FIXTURE	AFCI	ARCH FAULT CIRCUIT INTERRUPTER
	CEILING FIXTURE	GL	GAS LINE
	FLEX CONDUIT	WL	WATER LINE
CH	CHIMES		HOSE BIBB
PH	TELEPHONE		FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET		CEILING FAN
	GARAGE DOOR OPENER		
	EXHAUST FAN		ELECTRICAL WIRING
	FAN/LIGHT		CEILING FIXTURE

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR

DATE	REVISION	BY

SMITH DOUGLAS HOMES
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FLOOR PLANS
SALES CENTER
COLEMAN

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
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WOODSTOCK, GA 30188
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BY: AW | CH:
DATE: 7/18/23
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PLAN ID:
FND: ALL | ELEV:
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CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.
STUD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" o.c.	NAILS @ 16" o.c.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" o.c.
DOUBLE TOP PLATE LAP SPLICE	(12) NAILS IN LAPPED AREA (24" MIN.)	(15) NAILS IN LAPPED AREA (24" MIN.)
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(3) NAILS	(3) NAILS
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS + (1) SIMPSON H2.5T	(4) TOENAILS + (1) SIMPSON H2.5T
GAB. END TRUSS TO DBL. TOP PL.	TOENAILS @ 8" o.c.	TOENAILS @ 6" o.c.
R.T. w/ HEEL HT. 9¼" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C.	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL*
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.	

* 2½"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING:

A. ROOF TRUSSES:
   1/4" DEAD LOAD
B. ATTIC TRUSSES, & I-JOISTS:
   1/8" DEAD LOAD

ABSOLUTE DEAD LOAD DEFECTION OF ATTIC TRUSSES WHEN ADJACENT TO FLOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)

VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
3'-0"	20 FT. MAX	L3"x3"x¼"
6'-0"	3 FT. MAX	L3"x3"x¼"
	12 FT. MAX	L4"x3"x¼"
	20 FT. MAX	L5"x3½"x⅜"
8'-0"	3 FT. MAX	L4"x4"x¼" *
	12 FT. MAX	L5"x3½"x⅜"
	16 FT. MAX	L6"x3½"x⅜"
9'-6"	12 FT. MAX	L6"x3½"x⅜"

ALL LINTELS:
- SHALL SUPPORT 2 ⅝" - 3 ½" VENEER w/ 40 psf MAXIMUM HEIGHT.
< 16' SHALL HAVE 4" MIN. BEARING
>= 16' SHALL HAVE 8" MIN. BEARING
< 16' SHALL NOT BE FASTENED BACK TO HEADER.
>= 16' SHALL BE FASTENED BACK TO WOOD HEADER IN WALL @ 48"o.c. w/ ½" DIA. x 3 ½" LONG LAG SCREWS IN 2" LONG VERTICALLY SLOTTED HOLES.
- MAX. VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE OPENING.
- ALL LINTELS SHALL BE LONG LEG VERTICAL.
- WHEN SUPPORTING VENEER < 8" WIDE THE EXTERIOR TOE OF THE HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE 3 ½" WIDE OVER THE BEARING LENGTH ONLY. THIS IS TO ALLOW FOR MORTAR JOINT FINISHING.
- SEE STRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE ABOVE PARAMETERS.
* FOR QUEEN VENEER USE L4x3½".

MK STND. - MAY 2016

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS
- FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
  - 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C.,1" MIN. EMBEDMENT
  - FA4 ANCHOR STRAPS @ 6'-0" O.C.
- FASTEN 2x10 SILL PLATES TO PRECAST BSMT WALLS WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
  - 1/2" DIA. BOLTS @ 2'-0" O.C
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
  f'c = 4,000 psi: ..... FOUNDATION WALLS
  3,000 psi: ..... FOOTINGS & INTERIOR SLABS ON GRADE
  3,500 psi: ..... GARAGE & EXTERIOR SLABS ON GRADE
  fy = 60,000 psi
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
  - 8' OR 9' HEIGHT (AS NOTED ON PLANS)
  - TALLER WALLS MUST BE ENGINEERED.
- BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL SOIL TYPE CLASSIFICATIONS:
  30 PCF TYPE (GN, GP, SN, SP)
  45 PCF TYPE (GM, GC, SM, SM-SC, ML)
  - IMPORTANT - IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS UTILIZED FOR BACKFILL, CONTACT MULHERN & KULP FOR FURTHER EVALUATION OF FOUNDATION DESIGN.
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
  - JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
  - JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO
  - CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS
- TYPICAL REINFORCEMENT DETAILS: PROVIDE 3" MIN. CLEAR COVER WHERE CAST AGAINST EARTH, 1 1/2" MIN. CLEAR COVER AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24" FOR #4 BARS) & BEND BARS AND LAP AT CORNERS. PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

MK STND. - MAY 2012

LEGEND

- R.T. — INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
- O.F. — INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
- F.J. — INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. — INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

120MPH WIND IN 2018 NCSBC:RC
& 120MPH WIND IN 2018 IRC
(120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1)
EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC (SECTION 1609) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBC:RC & 2018 IRC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC & 2018 IRC SECTION R802.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5& R802.11.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
  FASTEN SHEATHING w/ 2 ⅜"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC.: 1 ¾" 16 GA STAPLES (⅞" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 ⅜" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING
- INDICATES HOLDDOWN

MK STND. - MAR 2016

FLOOR FRAMING

- I-JOISTS SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT MK FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN LOADS") .
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TCNA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- AT I-JOIST FLOORS, PROVIDE 1" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- I-JOIST SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C, EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND
  - 2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.
  - 2 ⅜" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD.
  - 2 ⅜" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
  - w/ 2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12" O.C. FIELD.
  - w/ 2 ⅜" x 0.120" NAILS @ 4"o.c. @ PANEL EDGES & @ 8" O.C. FIELD.
  - w/ 2 ⅜" x 0.113" NAILS @ 3"o.c. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ USP RTTA CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) RTTA CLIPS AT 2-PLY GIRDER TRUSSES, (3) RTTA CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI 1 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 1' SPAN).

MK STND. - MAR 2016

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS:
  ROOF — LIVE = 20 PSF; DEAD = 7 PSF T.C., 10 PSF B.C.; LOAD DURATION FACTOR = 1.25
  FLOOR — LIVE = 40 PSF (30 PSF @ SLEEPING AREAS); DEAD = 10 PSF (I-JOISTS); ADD'L 10 PSF @ CERAMIC TILE IN BATHS & LAUND.
  SOIL — 2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP "STUD" GRADE LUMBER, OR BETTER, U.N.O..
  - WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
  - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O..
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.)
  - HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
  - 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10^6 psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
  - 'LVL' - Fb=2400 psi; Fc⊥=2500 psi; E=1.8x10^6 psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 1¾" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS USP WS35 SCREWS (OR 3½" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 ½" OR 5 ¼" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- FOR 4 PLY BEAMS OF EQUAL 1¾" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF USP WS6 SCREWS (OR 6 ¾" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE. A SOLID 1" BEAM IS ACCEPTABLE.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING. BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE USP BCS22-4 CAP & PA44E BASE, U.N.O.
- CORROSION NOTES:
  - BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE, FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
  - ALL FASTENERS AND CONNECTORS EXPOSED TO SALT WATER (WITHIN 300' OF SALT WATER SHORELINE, INCLUDING VENTED SPACES) SHALL BE STAINLESS STEEL.

MK STND. - MAR 2016

Harrington
Lot 1/Model

seal: 8/1/23

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NC License # C-3825

Mulhern+Kulp project number: 256-21006

project mgr:	SMK
drawn by:	MJF
issue date:	10-21-2021

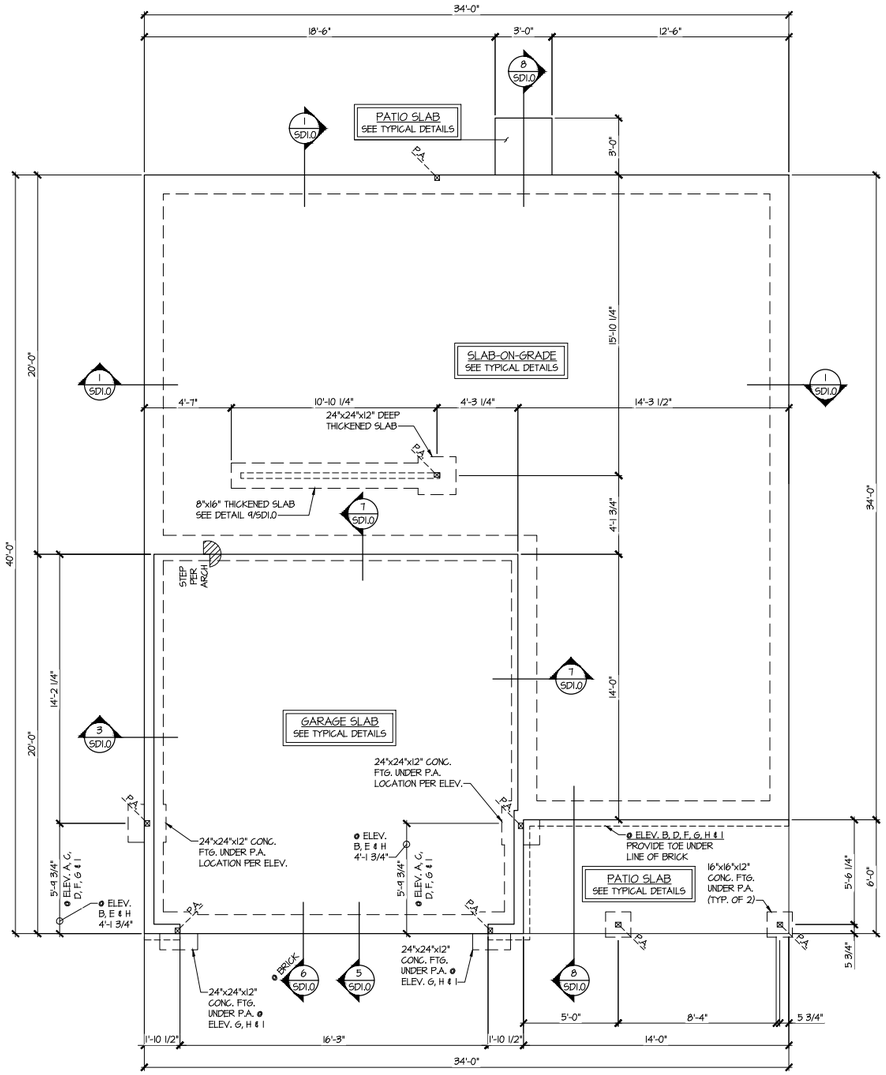
REVISIONS:

date:	initial:
12/10/21 MIRRORED PLANS ADDED	JPP

SMITH DOUGLAS HOMES

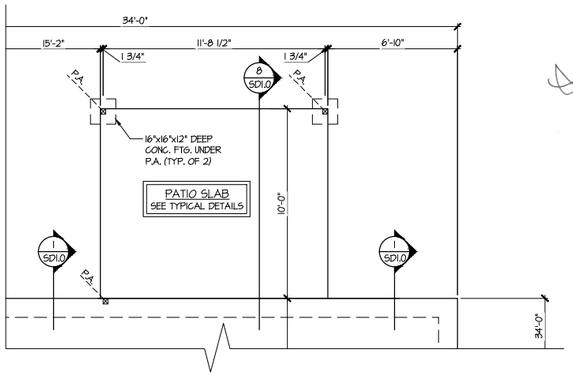
GENERAL STRUCTURAL NOTES
COLEMAN MODEL
120 MPH WIND ZONE
NORTH CAROLINA

sheet: S0.0



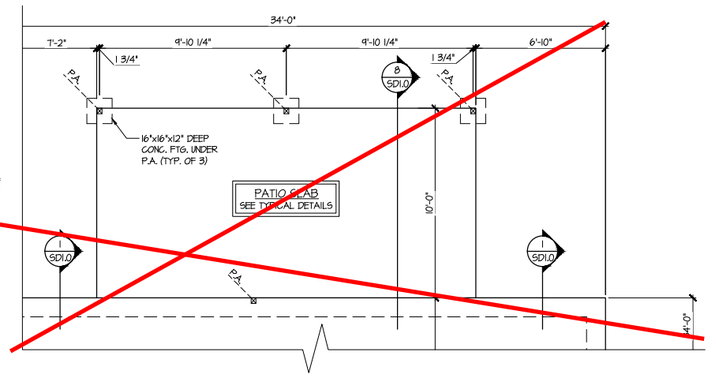
1 MONO-SLAB FOUNDATION PLAN

SCALE: 1/4"=1'-0" ON 22x34 ALL ELEV. SIM.
1/8"=1'-0" ON 11x17



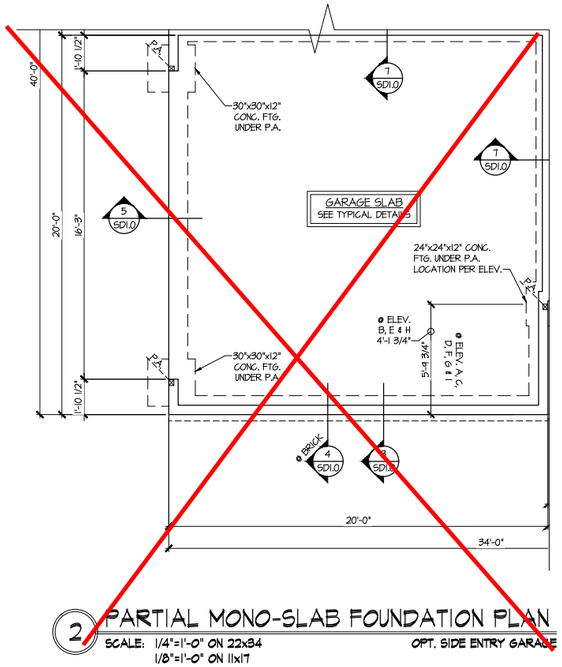
3 PARTIAL MONO-SLAB FOUNDATION PLAN

SCALE: 1/4"=1'-0" ON 22x34 OPT. COVERED PORCH
1/8"=1'-0" ON 11x17



4 PARTIAL MONO-SLAB FOUNDATION PLAN

SCALE: 1/4"=1'-0" ON 22x34 OPT. LARGE COVERED PORCH
1/8"=1'-0" ON 11x17



2 PARTIAL MONO-SLAB FOUNDATION PLAN

SCALE: 1/4"=1'-0" ON 22x34 OPT. SIDE ENTRY GARAGE
1/8"=1'-0" ON 11x17

Harrington
Lot 1/Model

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

- R.T. — INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF MANUF. (TYP. U.N.O.)
- O.F. — INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
- F.J. — INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. — INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

seal: 8/1/23

NORTH CAROLINA PROFESSIONAL SEAL 17622 ENGINEER SHAUN KREIDER

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drawn by: MJF
issue date: 10-21-2021

REVISIONS:

date:	initial:
12/10/21 MIRRORED PLANS ADDED	JPP

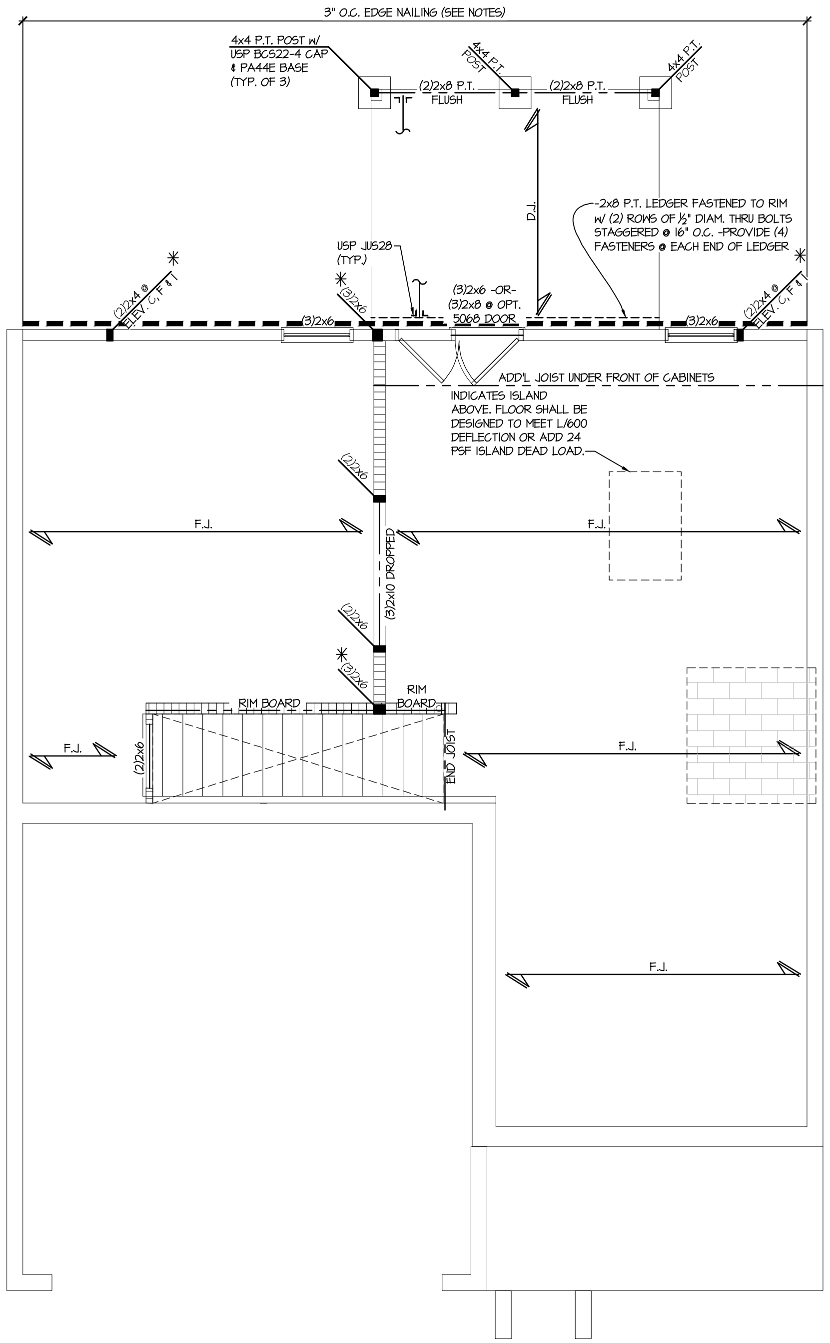
SMITH DOUGLAS HOMES

MONO-SLAB FOUNDATION

COLEMAN MODEL

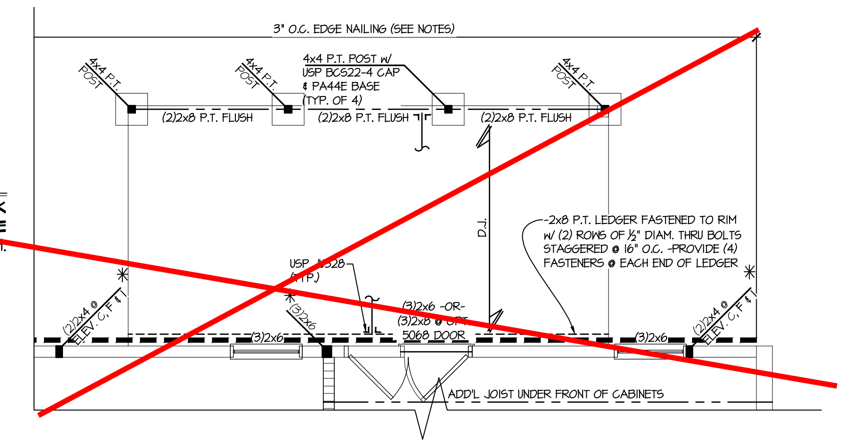
120 MPH WIND ZONE
NORTH CAROLINA

sheet: S1.0M



1 1ST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0" ON 22x34 ALL ELEV. SIM.
1/8"=1'-0" ON 11x17

3 PARTIAL 1ST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0" ON 22x34 OPT. EXT. DECK
1/8"=1'-0" ON 11x17 OPT. LARGE COVERED DECK SIM.



Harrington
Lot 1/Model

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

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- BEAM/HEADER
- METAL HANGER
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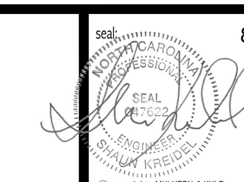
seal:



8/1/23

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Mulhern+Kulp project number: 256-21006

project mgr: SMK
drawn by: MJF
issue date: 10-21-2021

REVISIONS:

date:	initial:
12/10/21 MIRRORED PLANS ADDED	JPP

SMITH DOUGLAS HOMES

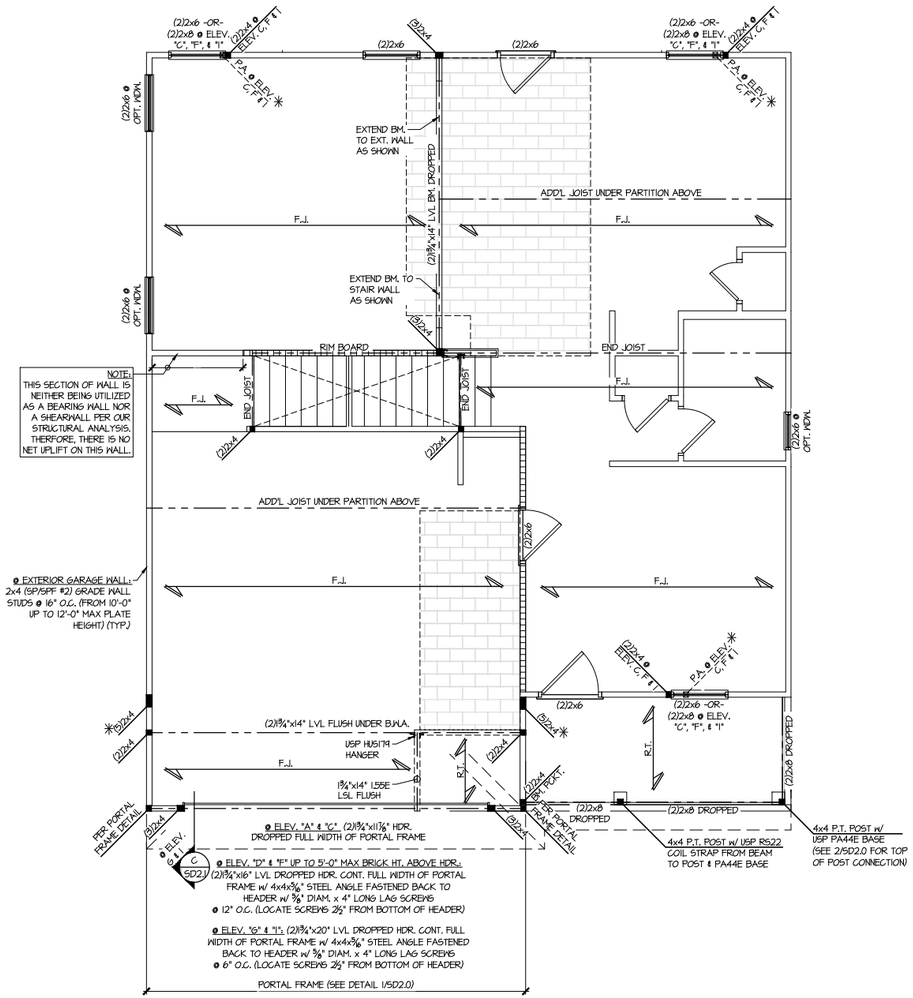
1ST FLOOR FRAMING PLAN

COLEMAN MODEL

120 MPH WIND ZONE
NORTH CAROLINA

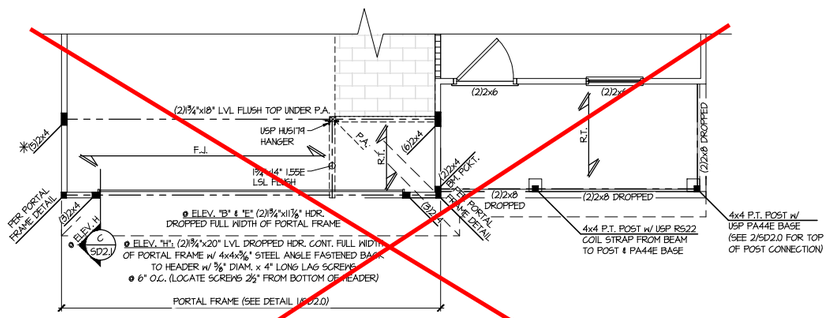
sheet:

S2.0M



1 2ND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34 1/8"=1'-0" ON 11x17 ELEV. A, C, D, F, G & I

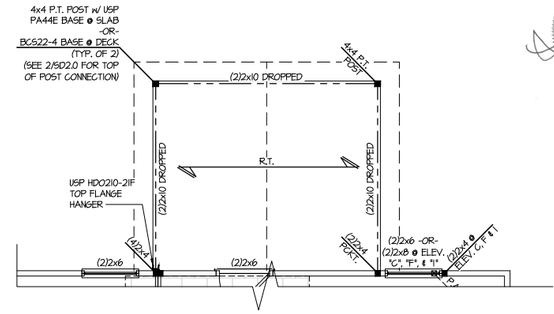


2 PARTIAL 2ND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34 1/8"=1'-0" ON 11x17 ELEV. D, E & H SEE ELEV. A FOR ADD'L INFO

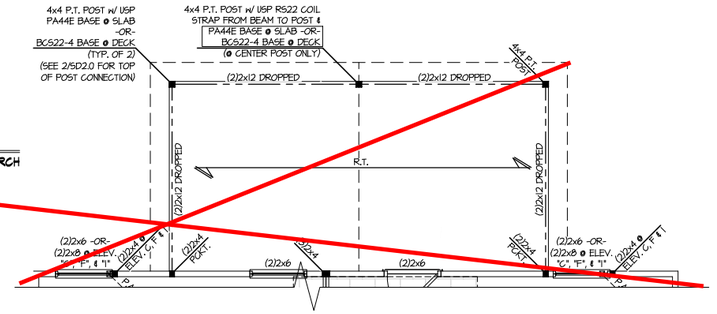
3 PARTIAL 2ND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34 1/8"=1'-0" ON 11x17 OPT. COVERED PORCH



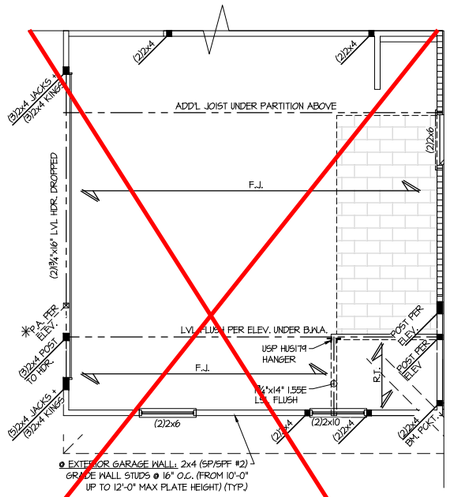
4 PARTIAL 2ND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34 1/8"=1'-0" ON 11x17 OPT. LARGE COVERED PORCH



5 PARTIAL 2ND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34 1/8"=1'-0" ON 11x17 OPT. SIDE ENTRY GARAGE ALL ELEV. SIM.



Harrington
Lot 1/Model

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

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- JL METAL HANGER
- ✳ INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

seal: 8/1/23

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 47622 WILLIAM KREIDER

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Mulhern+Kulp project number: 256-21006

project mgr: SMK
drawn by: MJF
issue date: 10-21-2021

REVISIONS:

date:	initial:
12/10/21 MIRRORED PLANS ADDED	JPP

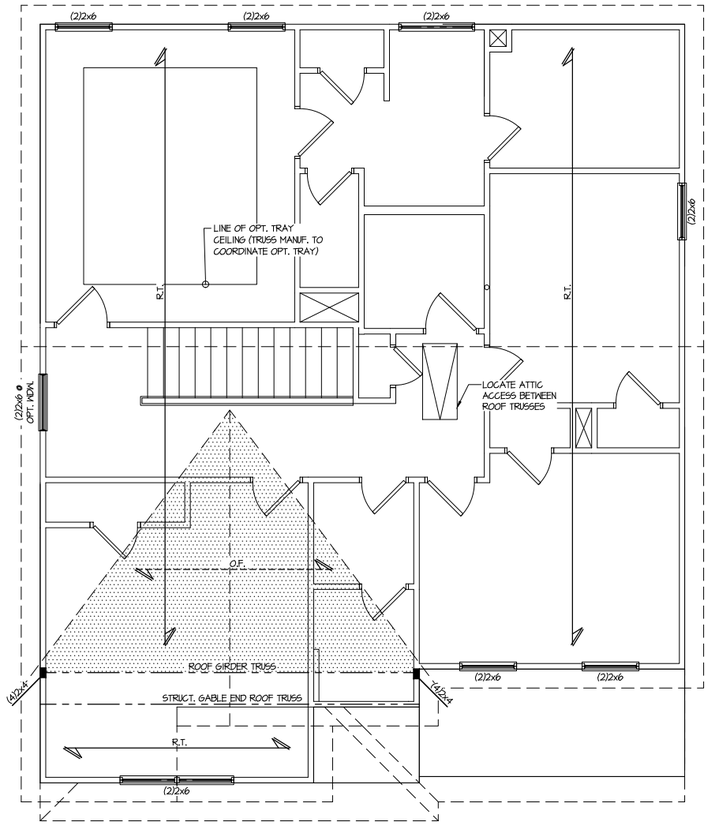
SMITH DOUGLAS HOMES

2ND FLOOR FRAMING PLAN

COLEMAN MODEL

120 MPH WIND ZONE
NORTH CAROLINA

sheet: S3.0M



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34 1/8"=1'-0" ON 11x17 ELEV. A, D & G

Harrington
Lot 1/Model

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

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seal: 8/1/23

NORTH CAROLINA PROFESSIONAL SEAL 17622 ENGINEER SHAUN KREIDER

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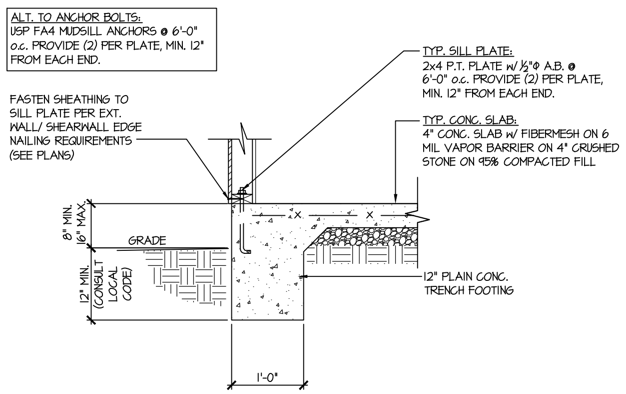
SMITH DOUGLAS HOMES

ROOF FRAMING PLAN

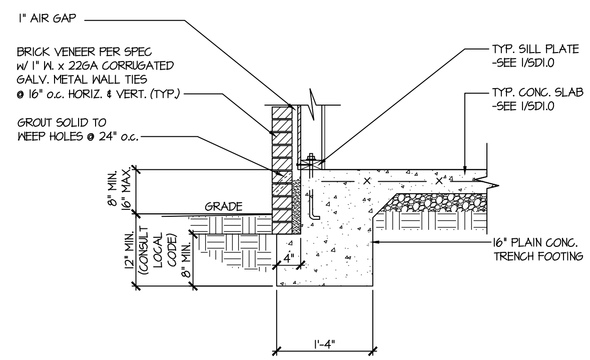
COLEMAN MODEL

120 MPH WIND ZONE
NORTH CAROLINA

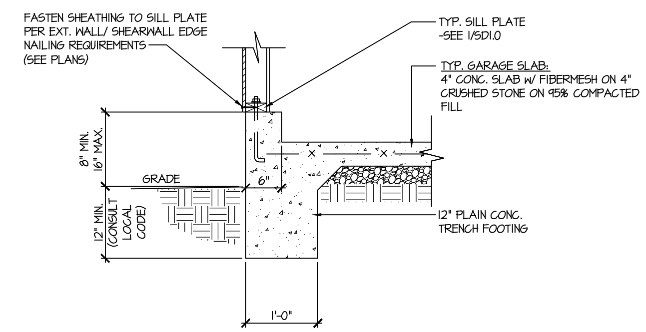
sheet: S4.0M



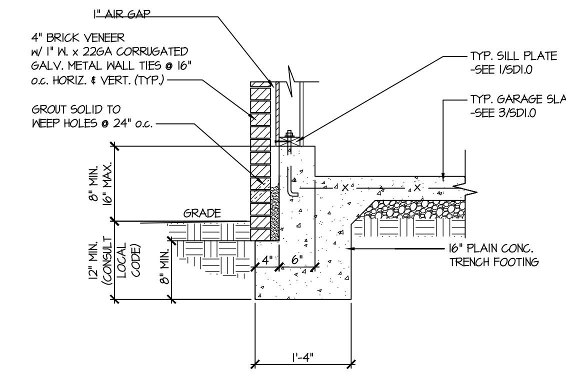
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



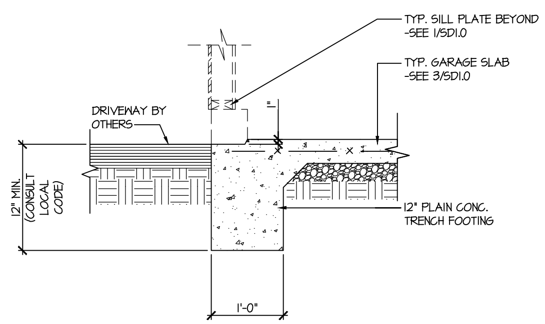
2 TYPICAL SLAB ON GRADE PERIMETER FOOTING
w/ BRICK VENEER



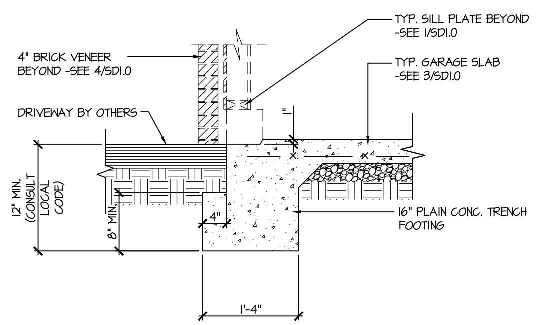
3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



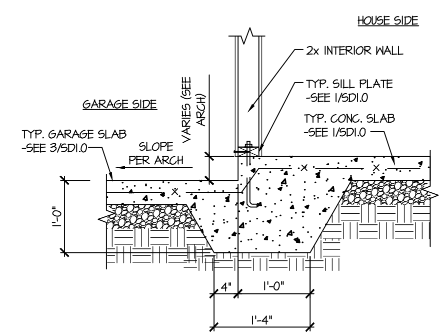
4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING
w/ BRICK VENEER



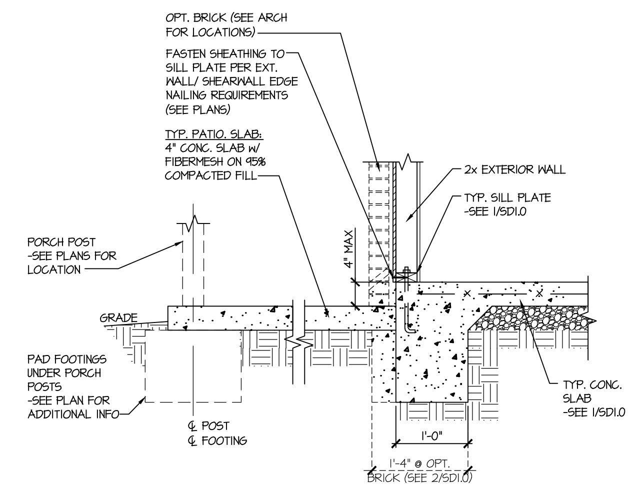
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



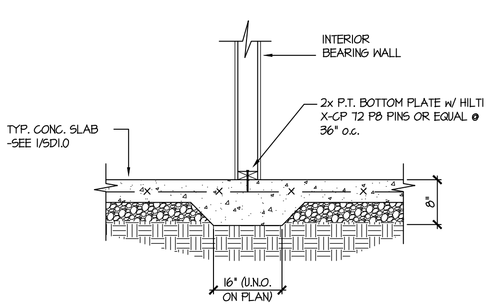
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING
w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

Harrington
Lot 1/Model

seal:
8/1/23
NORTH CAROLINA PROFESSIONAL SEAL 047622 ENGINEER SHAUN KREIDEL

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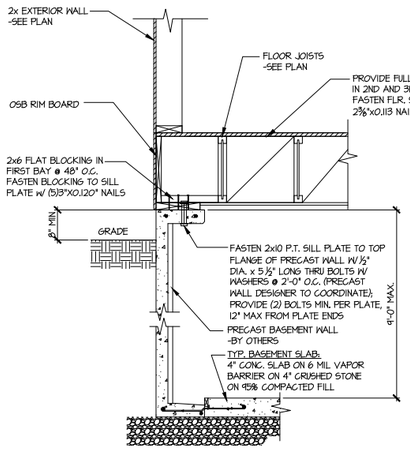
date:	initial:
12/10/21 MIRRORED PLANS ADDED	JPP

SMITH DOUGLAS HOMES

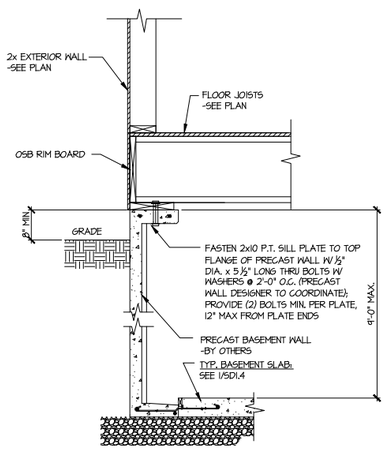
FOUNDATION DETAILS

COLEMAN MODEL
120 MPH WIND ZONE
NORTH CAROLINA

sheet:
SD1.0



1 SECTION
SCALE: 3/4"=1'-0"



1A SECTION
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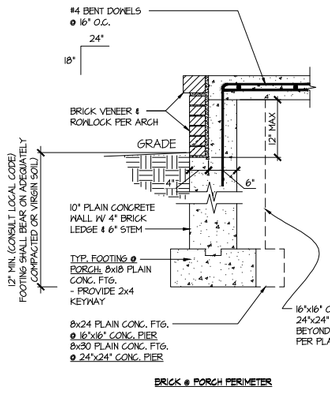
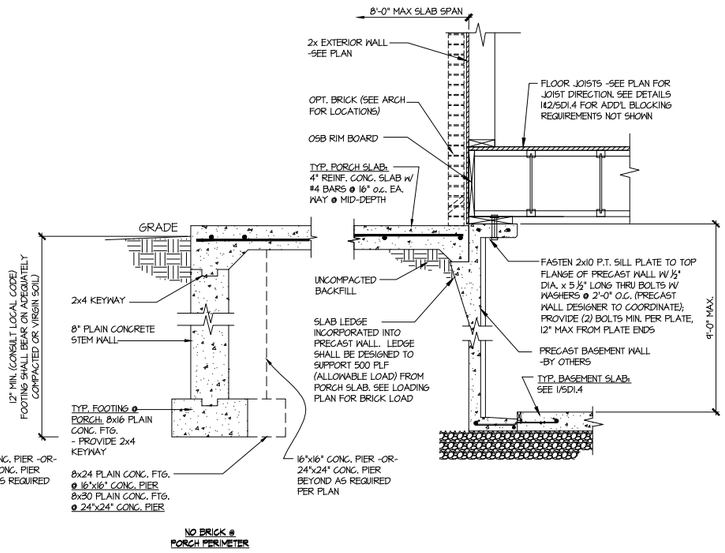
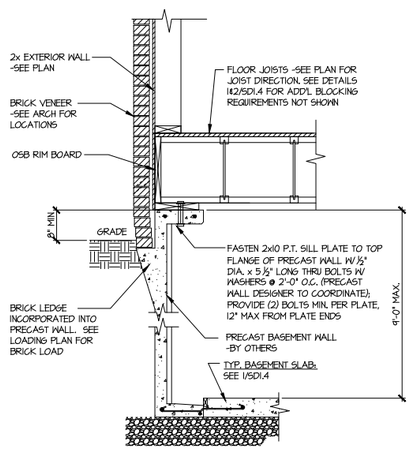


BRICK @ PORCH PERIMETER

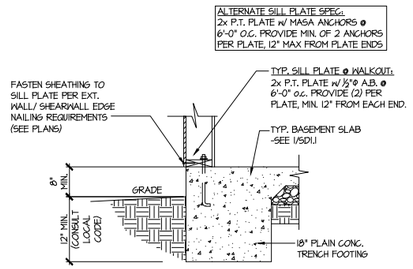


NO BRICK @ PORCH PERIMETER

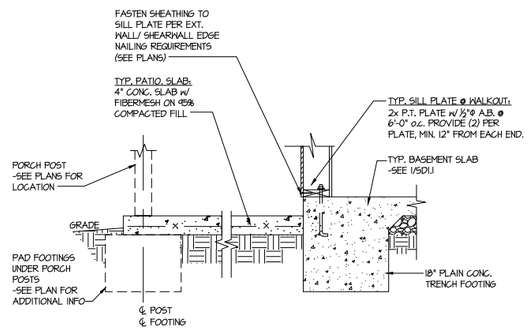
3 SECTION
SCALE: 3/4"=1'-0"



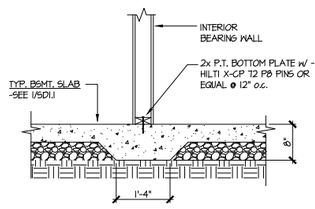
2 SECTION
SCALE: 3/4"=1'-0"



TYPICAL BASEMENT FOUNDATION @ WALKOUT
4



TYPICAL BASEMENT FOUNDATION @ WALKOUT
5



TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL
6

Harrington
Lot 1/Model

seal:
NORTH CAROLINA PROFESSIONAL SEAL 17622 ENGINEER SHAUN KREIDER
8/1/23

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p 770-777-4874 • mulhernkulp.com
NC License # C-3825

Mulhern+Kulp project number: 256-21006

project mgr: SMK
drawn by: MJF
issue date: 10-21-2021

REVISIONS:

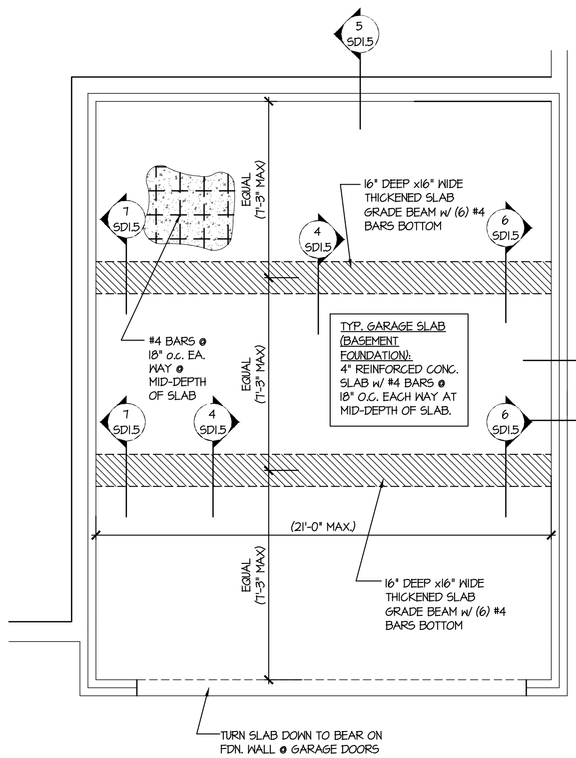
date:	initial:
12/10/21 MIRRORED PLANS ADDED	JPP

SMITH DOUGLAS HOMES

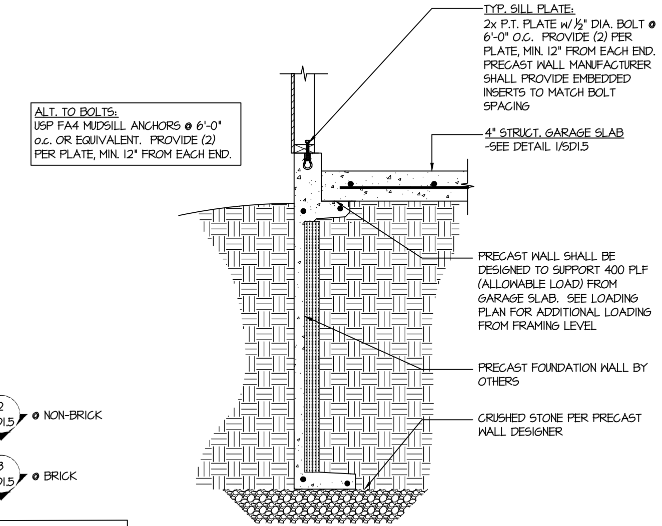
COLEMAN MODEL
120 MPH WIND ZONE
NORTH CAROLINA

FOUNDATION DETAILS

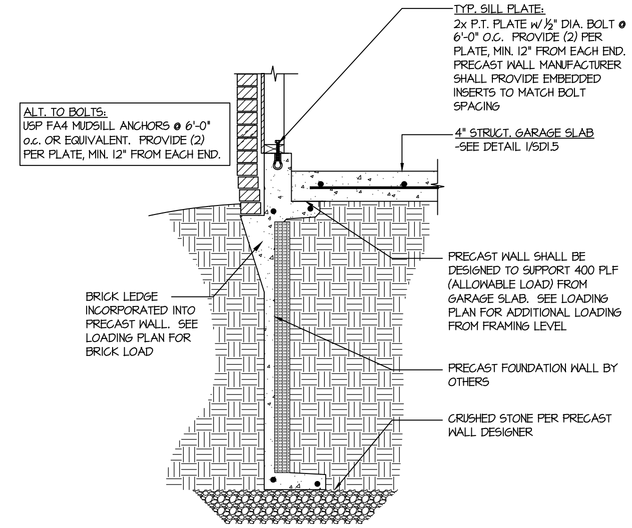
sheet:
SD1.4



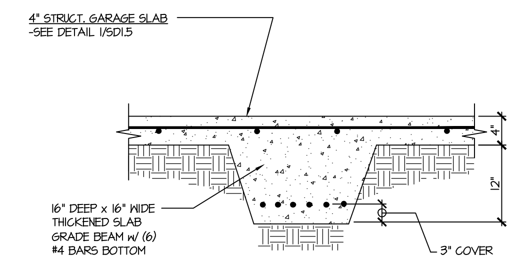
1 GENERIC FOUNDATION PLAN KEY @ GARAGE
SCALE: 1/4"=1'-0"



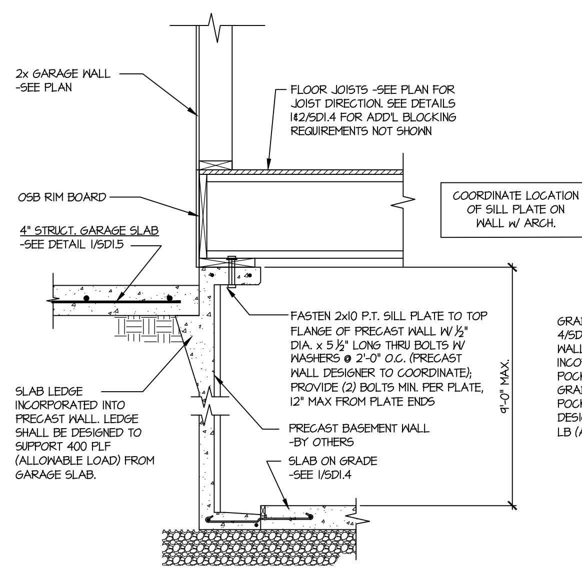
2 TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION



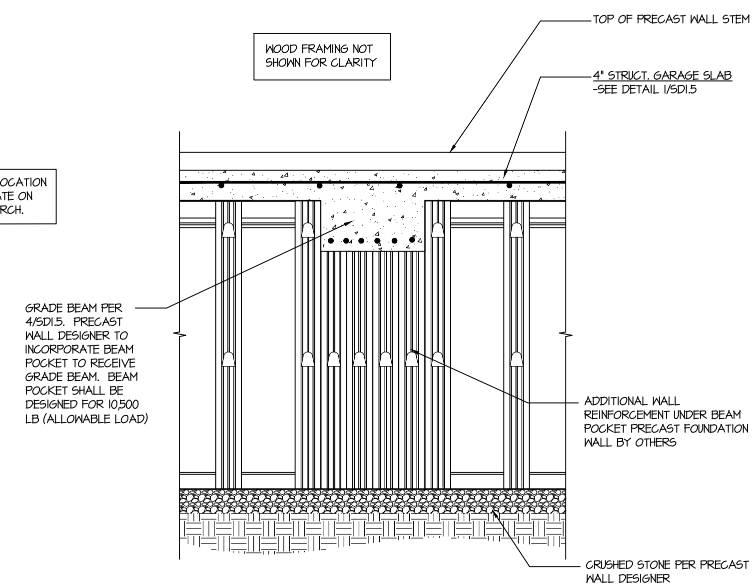
3 TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION (BRICK)



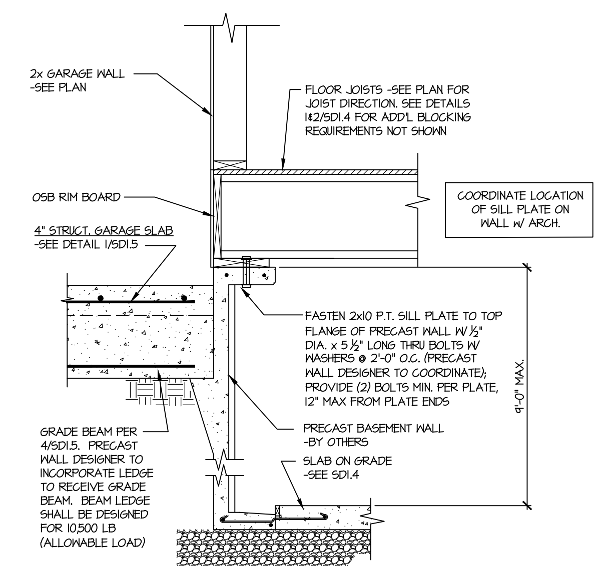
4 TYPICAL CONCRETE GRADE BEAM @ GARAGE FDN.
SCALE: 3/4"=1'-0"



5 CONCRETE BSMT. FDN. WALL @ GARAGE



6 SECTION
SCALE: 3/4"=1'-0"



7 SECTION
SCALE: 3/4"=1'-0"

Harrington
Lot 1/Model

seal: 8/1/23

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p 770-777-0074 • mulhernkulp.com
NC License # C-3825

Mulhern+Kulp project number: 256-21006
project mgr: SMK
drawn by: MJF
issue date: 10-21-2021

REVISIONS:

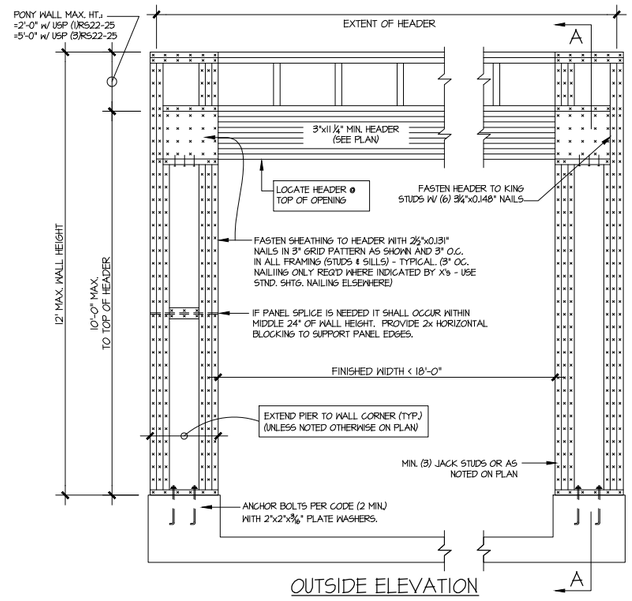
date:	initial:
12/10/21 MIRRORED PLANS ADDED	JPP

SMITH DOUGLAS HOMES

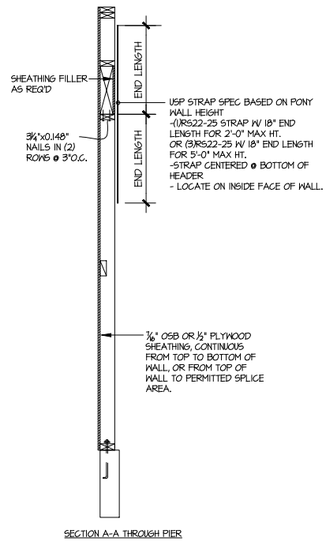
FOUNDATION DETAILS

COLEMAN MODEL
120 MPH WIND ZONE
NORTH CAROLINA

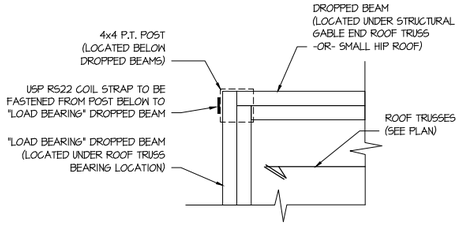
sheet: SD1.5



OUTSIDE ELEVATION

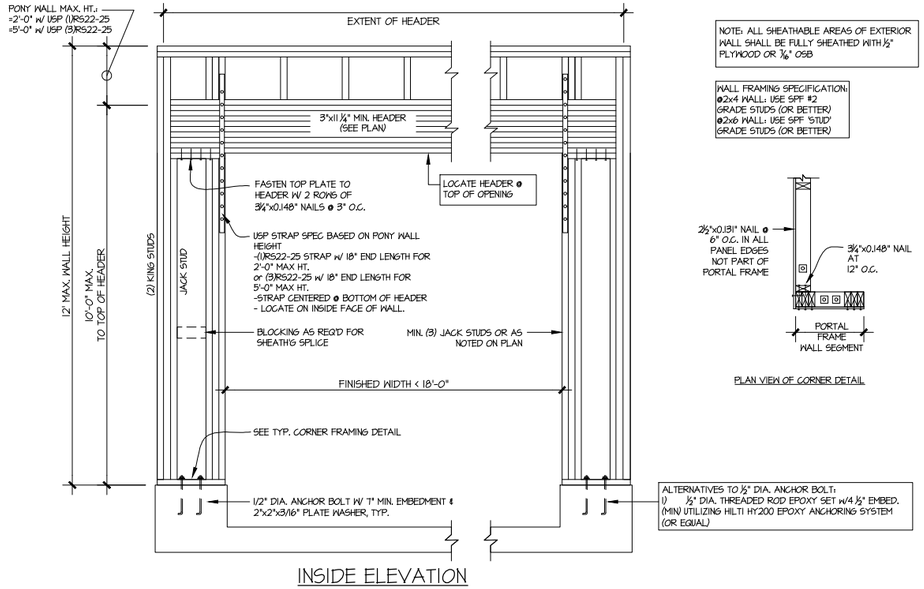


SECTION A-A THROUGH PIER



COVERED PORCH CONNECTION DETAIL

2 SCALE: 1 1/2"=1'-0"



INSIDE ELEVATION

NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH ½" PLYWOOD OR ⅞" OSB

WALL FRAMING SPECIFICATION:
@2x4 WALL: USE SPF #2 GRADE STUDS (OR BETTER)
@2x6 WALL: USE SPF 'STUD' GRADE STUDS (OR BETTER)

PLAN VIEW OF CORNER DETAIL

ALTERNATIVES TO ½" DIA. ANCHOR BOLT:
1) ½" DIA. THREADED ROD EPOXY SET w/4 ½" EMBED. (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

GARAGE PORTAL FRAME BRACING ELEVATION

1 SCALE: N.T.S.

BOTH SIDES OF GARAGE DOOR
120 MPH WIND SPEED (ULT)

Harrington
Lot 1/Model

seal: 8/1/23

NORTH CAROLINA PROFESSIONAL SEAL 17622 ENGINEER STEVEN KREIDEL

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p 770/777-4874 • mulhernkulp.com
NC License # C-3825

Mulhern+Kulp project number: 256-21006

project mgr: SMK
drawn by: MJF
issue date: 10-21-2021

REVISIONS:

date:	initial:
12/10/21 MIRRORED PLANS ADDED	JPP

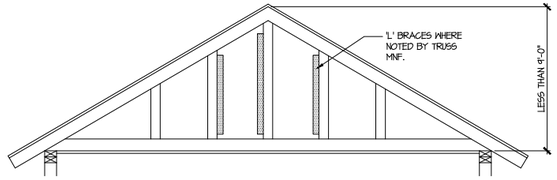
SMITH DOUGLAS HOMES

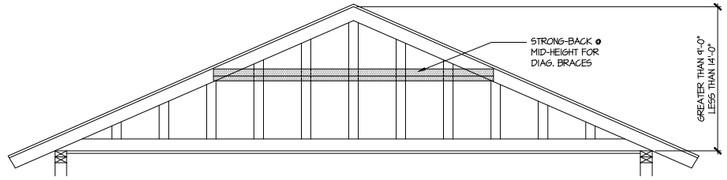
FRAMING DETAILS

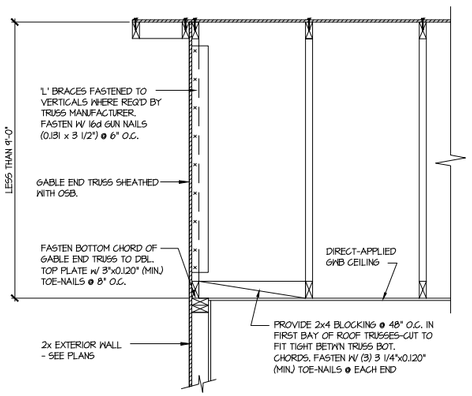
COLEMAN MODEL

120 MPH WIND ZONE
NORTH CAROLINA

sheet: SD2.0





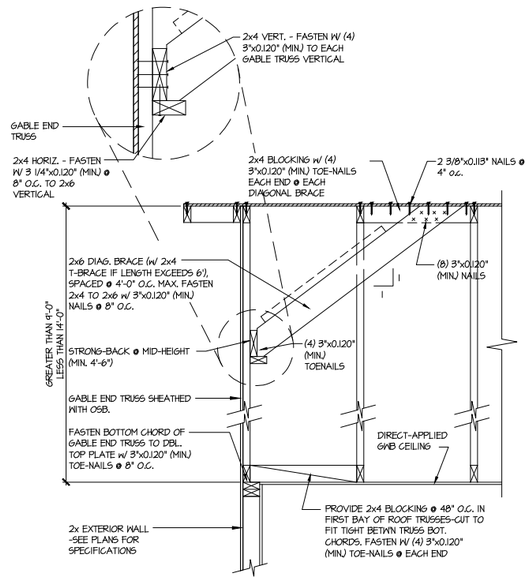


(A) TYPICAL GABLE END BRACING DETAIL

SCALE: NONE

REQ'D @ GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 'L' BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.

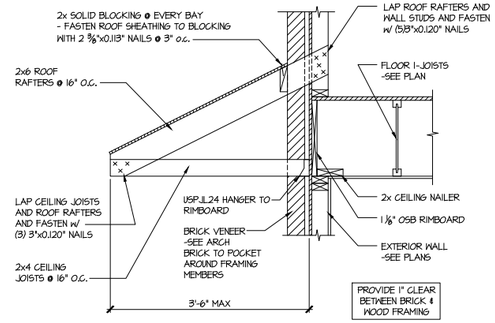


(B) TYPICAL GABLE END BRACING DETAIL

SCALE: NONE

REQ'D @ GABLE END TRUSS HEIGHT BETWN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 'L' BRACES NOT REQUIRED.



(C) DETAIL @ PENT ROOF

SCALE: 3/4"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.	NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

Harrington
Lot 1/Model

seal: 8/1/23

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NC License # C-3825

Mulhern+Kulp project number: 256-21006

project mgr: SMK
drawn by: MJF
issue date: 10-21-2021

REVISIONS:

date:	initial:
12/10/21 MIRRORED PLANS ADDED	JPP

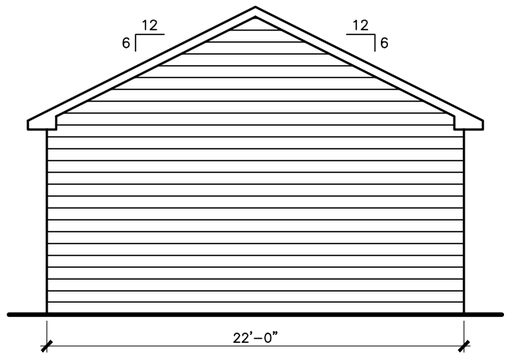
SMITH DOUGLAS HOMES

FRAMING DETAILS

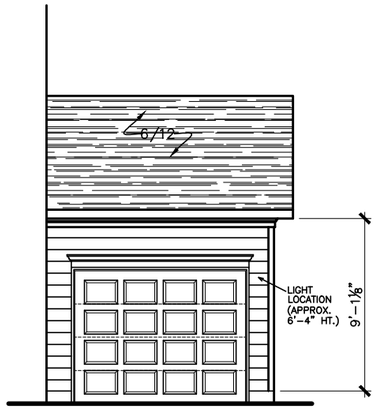
COLEMAN MODEL

120 MPH WIND ZONE
NORTH CAROLINA

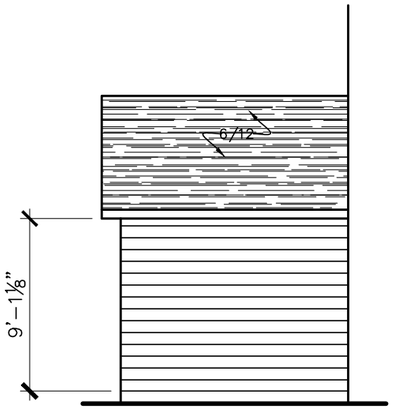
sheet: SD2.1



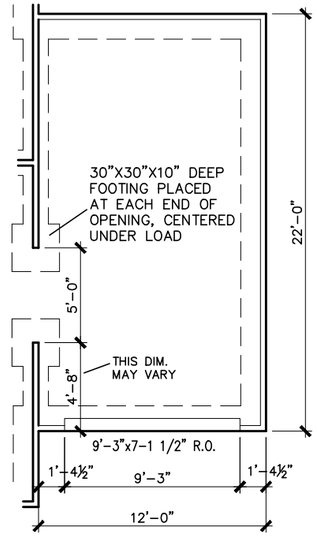
SIDE ELEVATION



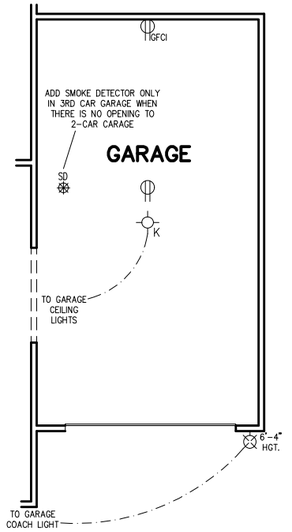
FRONT ELEVATION



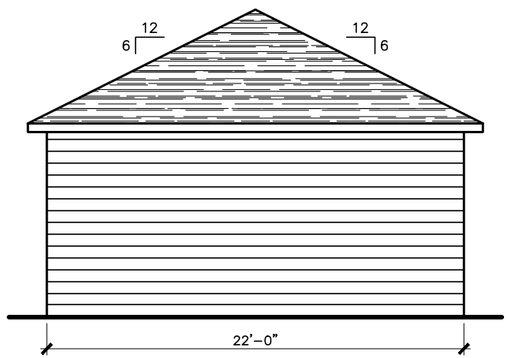
REAR ELEVATION



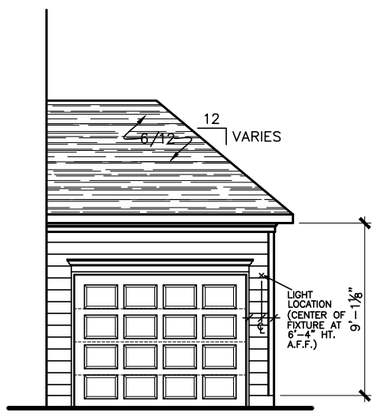
SLAB PLAN



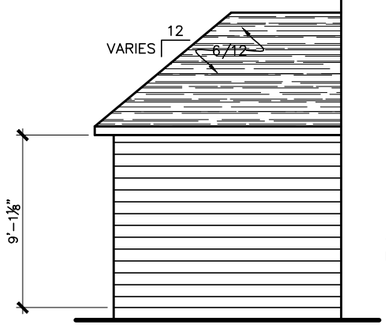
ELECTRICAL PLAN



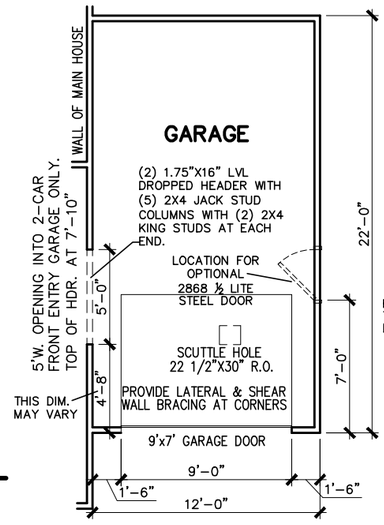
SIDE ELEVATION



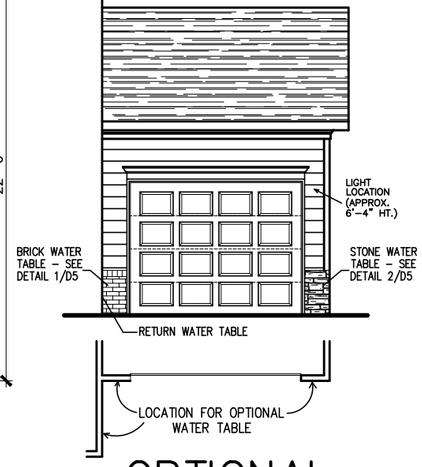
FRONT ELEVATION



REAR ELEVATION



FLOOR PLAN



OPTIONAL WATER TABLE

Harrington
Lot 1/Model

REVISION	DATE	BY
Noted location for light at right of O.H.G.D.	9/12/16	AW
Added opening between garages	5/3/18	AW

SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

PLANS
ADD ON GARAGE

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 115
WOODSTOCK, GA 30188
www.smithdouglas.com

BY:	CH:
BB	AW

DATE: 6/17/16
FACADE OPT:
PLAN ID: ALL
FND: ALL
ELEV:
PAGE NO: D11

DESIGN SPECIFICATIONS:

Construction Type: Commerical ☐ Residential ☒

Applicable Building Codes:
- 2018 North Carolina Residential Building Code
- ASCE 7-10: Minimum Design Loads for Buildings and Other Structures

Design Loads:

1. Roof
   - 1.1 Live ..... 20 PSF
   - 1.2 Dead ..... 10 PSF
   - 1.3 Snow ..... 15 PSF
     - 1.3.1 Importance Factor 1.0
2. Floor Live Loads
   - 2.1 Typ. Dwelling ..... 40 PSF
   - 2.2 Sleeping Areas ..... 30 PSF
   - 2.3 Balconies (exterior) and Decks ..... 40 PSF
   - 2.4 Garage Parking ..... 50 PSF
3. Floor Dead Loads
   - 3.1 Conventional 2x ..... 10 PSF
   - 3.2 I-Joist ..... 15 PSF
   - 3.3 Floor Truss ..... 15 PSF
4. Ultimate Wind Speed (3 sec. gust) ..... 130 MPH
   - 4.1 Exposure ..... B
   - 4.2 Importance Factor 1.0
   - 4.3 Wind Base Shear
     - 4.3.1 Vx =
     - 4.3.2 Vy =
5. Component and Cladding (in PSF)

MEAN ROOF HT.	UP TO 30'	30'1"-35'	35'1"-40'	40'1"-45'
ZONE 1	16.7,-18.0	17.5,-18.9	18.2,-19.6	18.7,-20.2
ZONE 2	16.7,-21.0	17.5,-22.1	18.2,-22.9	18.7,-23.5
ZONE 3	16.7,-21.0	17.5,-22.1	18.2,-22.9	18.7,-23.5
ZONE 4	18.2,-19.0	19.2,-20.0	19.9,-20.7	20.4,-21.3
ZONE 5	18.2,-24.0	19.2,-25.2	19.9,-26.1	20.4,-26.9

6. Seismic
   - 6.1 Site Class ..... D
   - 6.2 Design Category C
   - 6.3 Importance Factor 1.0
   - 6.4 Seismic Use Group I
   - 6.5 Spectral Response Acceleration
     - 6.5.1 Sms = %g
     - 6.5.2 Sm1 = %g
   - 6.6 Seismic Base Shear
     - 6.6.1 Vx =
     - 6.6.2 Vy =
   - 6.7 Basic Structural System (check one)
     - ☒ Bearing Wall
     - ☐ Building Frame
     - ☐ Moment Frame
     - ☐ Dual w/ Special Moment Frame
     - ☐ Dual w/ Intermediate R/C or Special Steel
     - ☐ Inverted Pendulum
   - 6.8 Arch/Mech Components Anchored? ..... No
   - 6.9 Lateral Design Control: Seismic ☐ Wind ☒
7. Assumed Soil Bearing Capacity 2000psf

SUMMIT
ENGINEERING LABORATORY TESTING

STRUCTURAL PLANS PREPARED FOR:

THIRD CAR ADD ON GARAGE (LH)

PROJECT ADDRESS:
TBD

OWNER:
Smith Douglas Homes - Raleigh
2520 Reliance Ave
Apex, NC 27539

ARCHITECT/DESIGNER:
Smith Douglas Homes
110 Village Trail, Suite 215
Woodstock, GA 30188

These drawings are to be coordinated with the architectural, mechanical, plumbing, electrical, and civil drawings. This coordination is not the responsibility of the structural engineer of record (SER). Should any discrepancies become apparent, the contractor shall notify SUMMIT Engineering, Laboratory & Testing, P.C. before construction begins.

PLAN ABBREVIATIONS:

AB	ANCHOR BOLT	PT	PRESSURE TREATED
AFF	ABOVE FINISHED FLOOR	RS	ROOF SUPPORT
CJ	CEILING JOIST	SC	STUD COLUMN
CLR	CLEAR	SJ	SINGLE JOIST
DJ	DOUBLE JOIST	SPF	SPRUCE PINE FIR
DSP	DOUBLE STUD POCKET	SST	SIMPSON STRONG-TIE
EE	EACH END	SYP	SOUTHERN YELLOW PINE
EW	EACH WAY	TJ	TRIPLE JOIST
NTS	NOT TO SCALE	TSP	TRIPLE STUD POCKET
OC	ON CENTER	TYP	TYPICAL
PSF	POUNDS PER SQUARE FOOT	UNO	UNLESS NOTED OTHERWISE
PSI	POUNDS PER SQUARE INCH	WWF	WELDED WIRE FABRIC

Roof truss and floor joist layouts, and their corresponding loading details, were not provided to SUMMIT Engineering, Laboratory & Testing, P.C. (SUMMIT) prior to the initial design. Therefore, truss and joist directions were assumed based on the information provided by SMITH DOUGLAS HOMES. Subsequent plan revisions based on roof truss and floor joist layouts shall be noted in the revision list, indicating the date the layouts were provided. Should any discrepancies become apparent, the contractor shall notify SUMMIT immediately.

SHEET LIST:

REVISION LIST:

Revision No.	Date	Project No.	Description

NORTH CAROLINA PROFESSIONAL SEAL 044431 ENGINEER 4.26.19 COREY N. BARBER

Harrington
Lot 1/Model

STRUCTURAL MEMBERS ONLY

SUMMIT
ENGINEERING LABORATORY TESTING
3070 Hammond Business Place
Suite 171, RALEIGH, NC 27603
OFFICE: 919.380.9991
FAX: 919.380.9993
WWW.SUMMIT-COMPANIES.COM

NORTH CAROLINA CERTIFICATE OF LICENSURE
SUMMIT Engineering, Laboratory & Testing, P.C.
C-4361

PROJECT
THIRD CAR ADD ON GARAGE (LH)
Coversheet
CLIENT
Smith Douglas Homes - Raleigh
2520 Reliance Ave
Apex, NC 27539

CURRENT DRAWING
DATE: 4/26/2019
SCALE: 1/8"=1'-0"
PROJECT #: 3832265
DRAWN BY: CNB
CHECKED BY: WAJ

ORIGINAL DRAWING

DATE	PROJECT #
10/21/2016	3832271

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET
CS1

GENERAL STRUCTURAL NOTES:

1. The design professional whose seal appears on these drawings is the structural engineer of record (SER) for this project. The SER bears the responsibility of the primary structural elements and the performance of this structure. No other party may revise, alter, or delete any structural aspects of these construction documents without written permission of SUMMIT Engineering, Laboratory & Testing, P.C. (SUMMIT) or the SER. For the purposes of these construction documents the SER and SUMMIT shall be considered the same entity.
2. The structure is only stable in its completed form. The contractor shall provide all required temporary bracing during construction to stabilize the structure.
3. The SER is not responsible for construction sequences, methods, or techniques in connection with the construction of this structure. The SER will not be held responsible for the contractor's failure to conform to the contract documents, should any non-conformities occur.
4. Any structural elements or details not fully developed on the construction drawings shall be completed under the direction of a licensed professional engineer. These shop drawings shall be submitted to SUMMIT for review before any construction begins. The shop drawings will be reviewed for overall compliance as it relates to the structural design of this project. Verification of the shop drawings for dimensions, or for actual field conditions, is not the responsibility of the SER or SUMMIT.
5. Verification of assumed field conditions is not the responsibility of the SER. The contractor shall verify the field conditions for accuracy and report any discrepancies to SUMMIT before construction begins.
6. The SER is not responsible for any secondary structural elements or non-structural elements, except for the elements specifically noted on the structural drawings.
7. This structure and all construction shall conform to all applicable sections of the international residential code.
8. This structure and all construction shall conform to all applicable sections of the 2018 North Carolina Residential Code (NCRC) and any local codes or restrictions

FOUNDATIONS:

1. Foundations shall be constructed in accordance with chapter 4 of the 2018 NC Residential Building Code (Special consideration shall be given to Chapter 45 in wind zones above 130mph)
2. Footing sizes based on a presumptive soil bearing capacity of 2000 PSF. Contractor is solely responsible for verifying the suitability of the site soil conditions at the time of construction
3. Maximum depth of unbalanced fill against masonry walls to be as specified in section R404.1 of the 2018 NCRC
4. The structural engineer has not performed a subsurface investigation. Verification of this assumed value is the responsibility of the owner or the contractor. Should any adverse soil condition be encountered the SER must be contacted before proceeding.
5. The bottom of all footings shall extend below the frost line for the region in which the structure is to be constructed. However, the bottom of all footings shall be a minimum of 12" below grade.
6. Any fill shall be placed under the direction or recommendation of a licensed professional engineer. The resulting soil shall be compacted to a minimum of 95% maximum dry density.
7. Excavations of footings shall be lined temporarily with a 6 mil polyethylene membrane if placement of concrete does not occur within 24 hours of excavation.
8. No concrete shall be placed against any subgrade containing water, ice, frost, or loose material.
9. Each crawl space pier shall bear in the middle third of its respective footing and each girder shall bearing in the middle third of the piers. Pilasters to be bonded to perimeter foundation wall
10. Crawl spaced to be graded level and clear of all debris
11. Provide foundation waterproofing and drain with positive slope to outlet as required by site conditions
12. Energy efficiency compliance and insulation of the structure to be in accordance with chapter 11 of the 2018 NCRC

CONCRETE:

1. Concrete shall have a normal weight aggregate and a minimum compressive strength (f'c) at 28 days of 3000 psi, unless otherwise noted on the plan.
2. Concrete shall be proportioned, mixed, and placed in accordance with the latest editions of ACI 318: "Building Code Requirements for Reinforced Concrete" and ACI 301: "Specifications for Structural Concrete for Buildings".
3. Air entrained concrete must be used for all structural elements exposed to freeze/thaw cycles and deicing chemicals. Air entrainment amounts (in percent) shall be within -1% to +2% of target values as follows:
   3.1. Footings: 5%
   3.2. Exterior Slabs: 5%
4. No admixtures shall be added to any structural concrete without written permission of the SER
5. Concrete slabs-on-grade shall be constructed in accordance with ACI 302.1R-96: "Guide for Concrete Slab and Slab Construction".
6. The concrete slab-on-grade has been designed using a subgrade modulus of k=250 pci and a design loading of 200 psf. The SER is not responsible for differential settlement, slab cracking or other future defects resulting from unreported conditions not in accordance with the above assumptions.
7. Control or saw cut joints shall be spaced in interior slabs-on-grade at a maximum of 15'-0" O.C. and in exterior slabs-on-grade at a maximum of 10'-0" unless otherwise noted.
8. Control or saw cut joints shall be produced using conventional process within 4 to 12 hours after the slab has been finished
9. Reinforcing steel may not extend through a control joint. Reinforcing steel may extend through a saw cut joint.
10. All welded wire fabric (W.W.F.) for concrete slabs-on-grade shall be placed at mid-depth of slab. The W.W.F. shall be securely supported during the concrete pour. Fibermesh may be used in lieu of W.W.F.

CONCRETE REINFORCEMENT:

1. Fibrous concrete reinforcement, or fibermesh, specified in concrete slabs-on-grade may be used for control of cracking due to shrinkage and thermal expansion/contraction, lowered water migration, an increase in impact capacity, increased abrasion resistance, and residual strength.
2. Fibermesh reinforcing to be 100% virgin polypropylene fibers containing no reprocessed olefin materials and specifically manufactured for use as concrete secondary reinforcement.
3. Application of fibermesh per cubic yard of concrete shall equal a minimum of 0.1% by volume (1.5 pounds per cubic yard)
4. Fibermesh shall comply with ASTM C1116, any local building code requirements, and shall meet or exceed the current industry standard.
5. Steel Reinforcing bars shall be new billet steel conforming to ASTM A615, grade 60.
6. Detailing, fabrication, and placement of reinforcing steel shall be in accordance with the latest edition of ACI 315: "Manual of Standard Practice for Detailing Concrete Structures"
7. Horizontal footing and wall reinforcement shall be continuous and shall have 90° bends, or corner bars with the same size/spacing as the horizontal reinforcement with a class B tension splice.
8. Lap reinforcement as required, a minimum of 40 bar diameters for tension or compression unless otherwise noted. Splices in masonry shall be a minimum of 48 bar diameters.
9. Where reinforcing dowels are required , they shall be equivalent in size and spacing to the vertical reinforcement. The dowel shall extend 48 bar diameters vertically and 20 bar diameters into the footing.
10. Where reinforcing steel is required vertically, dowels shall be provided unless otherwise noted.

WOOD FRAMING:

1. Solid sawn wood framing members shall conform to the specifications listed in the latest edition of the "National Design Specification for Wood Construction" (NDS). Unless otherwise noted, all wood framing members are designed to be Spruce-Pine-Fir (SPF) #2.
2. LVL or PSL engineered wood shall have the following minimum design values:
   2.1. E = 1,900,000 psi
   2.2. Fb = 2600 psi
   2.3. Fv = 285 psi
   2.4. Fc = 700 psi
3. Wood in contact with concrete, masonry, or earth shall be pressure treated in accordance with AWPA standard C-15. All other moisture exposed wood shall be treated in accordance with AWPA standard C-2
4. Nails shall be common wire nails unless otherwise noted.
5. Lag screws shall conform to ANSI/ASME standard B18.2.1-1981. Lead holes for lag screws shall be in accordance with NDS specifications.
6. All beams shall have full bearing on supporting framing members unless otherwise noted.
7. Exterior and load bearing stud walls are to be 2x4 SPF#2 @16" O.C. unless otherwise noted. Studs shall be continuous from the sole plate to the double top plate. Studs shall only be discontinuous at headers for window/door openings. A minimum of one king stud shall be placed at each end of the header. King studs shall be continuous.
8. Individual studs forming a column shall be attached with one 10d nail @6" O.C. staggered. The stud column shall be continuous to the foundation or beam. The column shall be fully blocked at all floor levels to ensure proper load transfer.
9. Multi-ply beams shall have each ply attached with (3)10d nails @ 24" O.C.
10. Flitch beams and four and five ply beams shall be bolted together with (2) rows of 1/2" dia. through bolts staggered @24" O.C. w/ 2" edge distance and (2) bolts located at 6" from each end, unless noted otherwise.

WOOD TRUSSES:

1. The wood truss manufacturer/fabricator is responsible for the design of the wood trusses. Submit sealed shop drawings and supporting calculations to the SER for review prior to fabrication. The SER shall have a minimum of five (5) days for review. The review by the SER shall review for overall compliance with the design documents. The SER shall assume no responsibility for the correctness for the structural design for the wood trusses.
2. The wood trusses shall be designed for all required loadings as specified in the local building code, the ASCE Standard "Minimum Design Loads for Buildings and Other Structures." (ASCE 7-10), and the loading requirements shown on these specifications. The truss drawings shall be coordinated with all other construction documents and provisions provided for loads shown on these drawings including but not limited to HVAC equipment, piping, and architectural fixtures attached to the trusses.
3. The trusses shall be designed, fabricated, and erected in accordance with the latest edition of the "National Design Specification for Wood Construction." (NDS) and "Design Specification for Metal Plate Connected Wood Trusses."
4. The truss manufacturer shall provide adequate bracing information in accordance with "Commentary and Recommendations for Handling, Installing, and Bracing Metal Plate Connected Wood Trusses" (HIB-91). This bracing, both temporary and permanent, shall be shown on the shop drawings. Also, the shop drawings shall show the required attachments for the trusses.
5. Any chords or truss webs shown on these drawings have been shown as a reference only. The final design of the trusses shall be per the manufacturer.

WOOD STRUCTURAL PANELS:

1. Fabrication and placement of structural wood sheathing shall be in accordance with the APA Design/Construction Guide "Residential and Commercial," and all other applicable APA standards.
2. All structurally required wood sheathing shall bear the mark of the APA.
3. Wood wall sheathing shall comply with the requirements of local building codes for the appropriate state as indicated on these drawings. Refer to wall bracing notes in plan set for more information. Sheathing shall be applied with the long direction perpendicular to framing, unless noted otherwise.
4. Roof sheathing shall be APA rated sheathing exposure 1 or 2. Roof sheathing shall be continuous over two supports and attached to its supporting roof framing with (1)-8d CC nail at 6"o/c at panel edges and at 12"o/c in panel field unless otherwise noted on the plans. Sheathing shall be applied with the long direction perpendicular to framing. Sheathing shall have a span rating consistent with the framing spacing. Use suitable edge support by use of plywood clips or lumber blocking unless otherwise noted. Panel end joints shall occur over framing. Apply building paper over the sheathing as required by the state Building Code.
5. Wood floor sheathing shall be APA rated sheathing exposure 1 or 2. Attach sheathing to its supporting framing with (1)-8d CC ringshank nail at 6"o/c at panel edges and at 12"o/c in panel field unless otherwise noted on the plans. Sheathing shall be applied perpendicular to framing. Sheathing shall have a span rating consistent with the framing spacing. Use suitable edge support by use of T&G plywood or lumber blocking unless otherwise noted. Panel end joints shall occur over framing. Apply building paper over the sheathing as required by the state Building Code.
6. Sheathing shall have a 1/8" gap at panel ends and edges as recommended in accordance with the APA.

STRUCTURAL FIBERBOARD PANELS:

1. Fabrication and placement of structural fiberboard sheathing shall be in accordance with the applicable AFA standards.
2. Fiberboard wall sheathing shall comply with the requirements of local building codes for the appropriate state as indicated on these drawings. Refer to wall bracing notes in plan set for more information.
3. Sheathing shall have a 1/8" gap at panel ends and edges are recommended in accordance with the AFA.

EXTERIOR WOOD FRAMED DECKS:

1. Decks are to be framed in accordance with local building codes and as referenced on the structural plans, either through code references or construction details.

STRUCTURAL STEEL:

1. Structural steel shall be fabricated and erected in accordance with the American Institute of Steel Construction "Code of Standard Practice for Steel Buildings and Bridges" and of the manual of Steel Construction "Load Resistance Factor Design" latest editions.
2. All steel shall have a minimum yield stress (Fy) of 36 ksi unless otherwise noted.
3. Welding shall conform to the latest edition of the American Welding Society's Structural Welding Code AWS D1.1. Electrodes for shopt and field welding shall be class E70XX. All welding shall be performed by a certified welder per the above standards.

Harrington
Lot 1/Model

NORTH CAROLINA PROFESSIONAL SEAL 044431 ENGINEER COREY N. BARBER 4.26.19

STRUCTURAL MEMBERS ONLY

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WWW.SUMMIT-COMPANIES.COM

NORTH CAROLINA CERTIFICATE OF LICENSURE
SUMMIT Engineering, Laboratory & Testing, P.C.
C-4361

PROJECT
THIRD CAR ADD ON GARAGE (LH)
Coversheet
CLIENT
Smith Douglas Homes - Raleigh
2520 Reliance Ave
Apex, NC 27539

CURRENT DRAWING
DATE: 4/26/2019
SCALE: 1/8"=1'-0"
PROJECT #: 3832265
DRAWN BY: CNB
CHECKED BY: WAJ

ORIGINAL DRAWING

DATE	PROJECT #
10/27/2016	3832.27

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET
CS2

FOUNDATION NOTES:

1. FOUNDATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE WITH ALL LOCAL AMENDMENTS.
2. STRUCTURAL CONCRETE TO BE F_c = 3000 PSI, PREPARED AND PLACED IN ACCORDANCE WITH ACI STANDARD 318.
3. FOOTINGS TO BE PLACED ON UNDISTURBED EARTH, BEARING A MINIMUM OF 12" BELOW ADJACENT FINISHED GRADE, OR AS OTHERWISE DIRECTED BY THE CODE ENFORCEMENT OFFICIAL.
4. FOOTING SIZES BASED ON A PRESUMPTIVE SOIL BEARING CAPACITY OF 2000 PSF. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE SUITABILITY OF THE SITE SOIL CONDITIONS AT THE TIME OF CONSTRUCTION.
5. FOOTINGS AND PIERS SHALL BE CENTERED UNDER THEIR RESPECTIVE ELEMENTS, PROVIDE 2" MINIMUM FOOTING PROJECTION FROM THE FACE OF MASONRY.
6. MAXIMUM DEPTH OF UNBALANCED FILL AGAINST MASONRY WALLS TO BE AS SPECIFIED IN SECTION R404.1 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
7. PILASTERS TO BE BONDED TO PERIMETER FOUNDATION WALL.
8. PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.
9. PROVIDED PERIMETER INSULATION FOR ALL FOUNDATIONS PER 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
10. CORESEL FOUNDATION WALL AS REQUIRED TO ACCOMMODATE BRICK VENEERS.
11. CRAWL SPACE TO BE GRADED LEVEL, AND CLEARED OF ALL DEBRIS.
12. FOUNDATION ANCHORAGE SHALL BE CONSTRUCTED PER THE 2018 NORTH CAROLINA RESIDENTIAL CODE SECTION R403.1.6. MINIMUM 1/2" DIA. BOLTS SPACED AT 6'-0" ON CENTER WITH A 7" MINIMUM EMBEDMENT INTO MASONRY OR CONCRETE. ANCHOR BOLTS SHALL BE 12" FROM THE END OF EACH PLATE SECTION. MINIMUM (2) ANCHOR BOLTS PER PLATE SECTION. ANCHOR BOLTS SHALL BE LOCATED IN THE CENTER THIRD OF THE PLATE.
13. ABBREVIATIONS:

DJ = DOUBLE JOIST	SJ = SINGLE JOIST
GT = GIRDER TRUSS	FT = FLOOR TRUSS
SC = STUD COLUMN	DR = DOUBLE RAFTER
EE = EACH END	TR = TRIPLE RAFTER
TJ = TRIPLE JOIST	OC = ON CENTER
CL = CENTER LINE	PL = POINT LOAD

14. ALL PIERS TO BE 16"x16" MASONRY AND ALL PILASTERS TO BE 8"x16" MASONRY, TYPICAL (UNO).
15. WALL FOOTINGS TO BE CONTINUOUS CONCRETE, SIZES PER STRUCTURAL PLAN.
16. A FOUNDATION EXCAVATION OBSERVATION SHOULD BE CONDUCTED BY A PROFESSIONAL GEOTECHNICAL ENGINEER, OR HIS QUALIFIED REPRESENTATIVE. IF ISOLATED AREAS OF YIELDING MATERIALS AND/OR POTENTIALLY EXPANSIVE SOILS ARE OBSERVED IN THE FOOTING EXCAVATIONS AT THE TIME OF CONSTRUCTION, SUMMIT ENGINEERING LABORATORY & TESTING, P.C. MUST BE PROVIDED THE OPPORTUNITY TO REVIEW THE FOOTING DESIGN PRIOR TO CONCRETE PLACEMENT.
17. ALL FOOTINGS & SLABS ARE TO BEAR ON UNDISTURBED SOIL OR 95% COMPACTED FILL, VERIFIED BY ENGINEER OR CODE OFFICIAL.

GENERAL STRUCTURAL NOTES:

1. CONSTRUCTION SHALL CONFORM TO 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE WITH ALL LOCAL AMENDMENTS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. CONTRACTOR SHALL COMPLY WITH THE CONTENTS OF THE DRAWING FOR THIS SPECIFIC PROJECT. ENGINEER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THIS PLAN.
3. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY BRACING REQUIRED TO RESIST ALL FORCES ENCOUNTERED DURING ERECTION.
4. PROPERTIES USED IN THE DESIGN ARE AS FOLLOWS:
   MICRO.LLAM (LVL): F_b = 2600 PSI, F_v = 285 PSI, E = 1.9x10^6 PSI
   PARALLAM (PSL): F_b = 2900 PSI, F_v = 290 PSI, E = 1.25x10^6 PSI
5. ALL WOOD MEMBERS SHALL BE #2 SPF UNLESS NOTED ON PLAN. ALL STUD COLUMNS AND JOISTS SHALL BE #2 SPF (UNO).
6. ALL BEAMS SHALL BE SUPPORTED WITH A (2) 2x4 #2 SPF STUD COLUMN AT EACH END UNLESS NOTED OTHERWISE.
7. ALL REINFORCING STEEL SHALL BE GRADE 60 BARS CONFORMING TO ASTM A615 AND SHALL HAVE A MINIMUM COVER OF 3".
8. FOUNDATION ANCHORAGE SHALL BE CONSTRUCTED PER THE 2018 NORTH CAROLINA RESIDENTIAL CODE SECTION R403.1.6. MINIMUM 1/2" DIA. BOLTS SPACED AT 6'-0" ON CENTER WITH A 7" MINIMUM EMBEDMENT INTO MASONRY OR CONCRETE. ANCHOR BOLTS SHALL BE 12" FROM THE END OF EACH PLATE SECTION. MINIMUM (2) ANCHOR BOLTS PER PLATE SECTION. ANCHOR BOLTS SHALL BE LOCATED IN THE CENTER THIRD OF THE PLATE.
9. CONTRACTOR TO PROVIDED LOOKOUTS WHEN CEILING JOISTS SPAN PERPENDICULAR TO RAFTERS.
10. FLITCH BEAMS, 4-PLY LVLS AND 3-PLY SIDE LOADED LVLS SHALL BE BOLTED TOGETHER WITH 1/2" DIA. THRU BOLTS SPACED AT 24" O.C. (MAX) STAGGERED OR EQUIVALENT CONNECTIONS PER DETAIL WD3/. MIN. EDGE DISTANCE SHALL BE 2" AND (2) BOLTS SHALL BE LOCATED MINIMUM 6" FROM EACH END OF THE BEAM.
11. ALL NON-LOAD BEARING HEADERS SHALL BE (1) FLAT 2x4 SPF #2, DROPPED. FOR NON-LOAD BEARING HEADERS EXCEEDING 8'-0" IN WIDTH AND/OR WITH MORE THAN 2'-0" OF CRIPPLE WALL ABOVE, SHALL BE (2) FLAT 2x4 SPF #2, DROPPED. (UNLESS NOTED OTHERWISE)
12. ABBREVIATIONS:

DJ = DOUBLE JOIST	SJ = SINGLE JOIST
GT = GIRDER TRUSS	FT = FLOOR TRUSS
SC = STUD COLUMN	DR = DOUBLE RAFTER
EE = EACH END	TR = TRIPLE RAFTER
TJ = TRIPLE JOIST	OC = ON CENTER
CL = CENTER LINE	PL = POINT LOAD

REFER TO BRACED WALL PLAN FOR PANEL LOCATIONS AND ANY REQUIRED HOLDOWNS. ADDITIONAL INFO. PER SECTION R602.10.4 AND FIGURE R602.10.3(4) OF THE 2018 NCRC.

NOTE: ALL EXTERIOR FOUNDATION DIMENSIONS ARE TO FRAMING AND NOT BRICK VENEER, UNO

NOTE: A 4" CRUSHED STONE BASE COURSE IS NOT REQUIRED WHEN SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP I PER TABLE R405.1

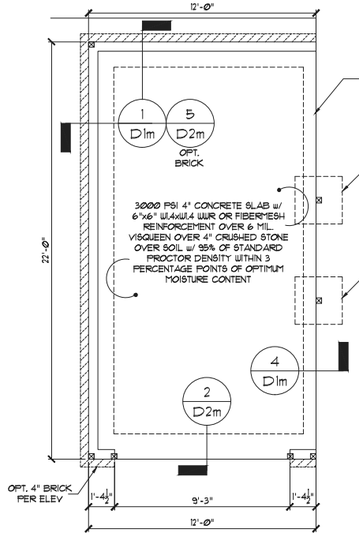
REINFORCE GARAGE PORTAL WALLS PER FIGURE R602.10.4.3 OF THE 2018 NCRC

NOTE:
---------- DESIGNATES JOIST SUPPORTED LOAD BEARING WALL ABOVE. PROVIDE BLOCKING UNDER JOIST SUPPORTED LOAD BEARING WALL.

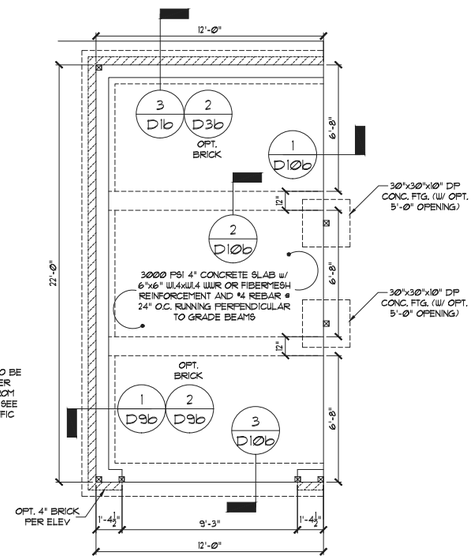
NOTE: SHADED WALLS INDICATE LOAD BEARING WALLS

JOIST & BEAM SIZES SHOWN ARE MINIMUMS. BUILDER MAY INCREASE DEPTH FOR EASE OF CONSTRUCTION.

NOTE: REDUCE JOIST SPACING UNDER TILE FLOORS, GRANITE COUNTERTOPS AND/OR ISLANDS.



MONOSLAB FOUNDATION PLAN

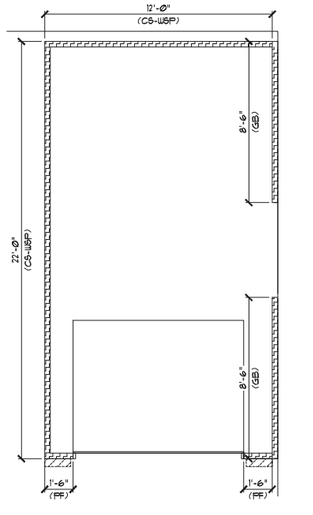


NOTE: FOOTINGS TO BE CENTERED UNDER POINT LOADS FROM HEADER ABOVE. SEE PLAN FOR SPECIFIC LOCATION

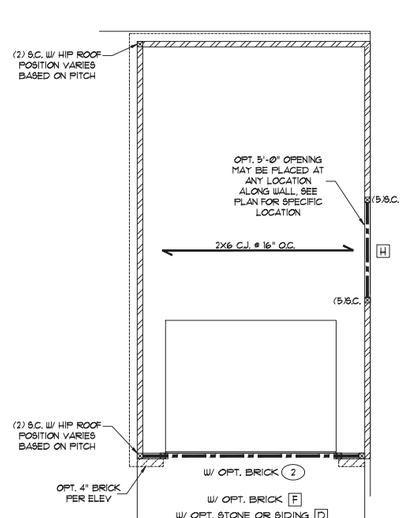
BASEMENT FOUNDATION PLAN

NOTE: SEE PLAN FOR SPECIFIC LOCATION

NOTE: REFER TO BASE PLAN FOR REQ'D FND. FRAMING @ HOUSE



FIRST FLOOR BRACING (FT)		
CONTINUOUS SHEATHING METHOD: ELEV A,D,G,J & C,F,I,L		
	REQUIRED	PROVIDED
FRONT SIDE	4.0	4.5
LEFT SIDE	4.0	8.5
REAR SIDE	4.0	12.0
RIGHT SIDE	4.0	22.0



1ST FLOOR FRAMING PLAN

REQUIRED BRACED WALL PANEL CONNECTIONS				
METHOD	MATERIAL	MIN. THICKNESS	REQUIRED CONNECTION @ PANEL EDGES	REQUIRED CONNECTION @ INTERMEDIATE SUPPORTS
CS-WSP	WOOD STRUCTURAL PANEL	3/8"	6d COMMON NAILS @ 6" O.C.	6d COMMON NAILS @ 12" O.C.
GB	GYPSUM BOARD	1/2"	5d COOLER NAILS** @ 7" O.C.	5d COOLER NAILS** @ 7" O.C.
WSP	WOOD STRUCTURAL PANEL	3/8"	6d COMMON NAILS @ 6" O.C.	6d COMMON NAILS @ 12" O.C.
PF	WOOD STRUCTURAL PANEL	7/16"	PER FIGURE R602.10.1	PER FIGURE R602.10.1
**OR EQUIVALENT PER TABLE R702.3.5				

REAR
LEFT HOUSE RIGHT
FRONT

BRACED WALL NOTES:

1. WALLS SHALL BE DESIGNED IN ACCORDANCE WITH SECTION R602.10 FROM THE 2018 NORTH CAROLINA RESIDENTIAL CODE.
2. WALLS ARE DESIGNED FOR SEISMIC ZONES A-C AND ULTIMATE WIND SPEEDS UP TO 130 MPH.
3. REFER TO ARCHITECTURAL PLAN FOR DOOR/WINDOW OPENING SIZES.
4. BRACING MATERIALS, METHODS AND FASTENERS SHALL BE IN ACCORDANCE WITH TABLE R602.10.1.
5. ALL BRACED WALL PANELS SHALL BE FULL WALL HEIGHT AND SHALL NOT EXCEED 10 FEET FOR ISOLATED PANEL METHOD AND 12 FEET FOR CONTINUOUS SHEATHING METHOD WITHOUT ADDITIONAL ENGINEERING CALCULATIONS.
6. MINIMUM PANEL LENGTH SHALL BE PER TABLE R602.10.1.
7. THE INTERIOR SIDE OF EXTERIOR WALLS AND BOTH SIDES OF INTERIOR WALLS SHALL BE SHEATHED CONTINUOUSLY WITH MINIMUM 1/2" GYPSUM BOARD (UNO).
8. FOR CONTINUOUS SHEATHING METHOD, EXTERIOR WALLS SHALL BE SHEATHED ON ALL SHEATHABLE SURFACES INCLUDING INFILL AREAS BETWEEN BRACED WALL PANELS, ABOVE AND BELOW WALL OPENINGS, AND ON GABLE END WALLS.
9. FLOORS SHALL NOT BE CANTILEVERED MORE THAN 24" BEYOND THE FOUNDATION OR BEARING WALL BELOW WITHOUT ADDITIONAL ENGINEERING CALCULATIONS.
10. A BRACED WALL PANEL SHALL BE LOCATED WITHIN 12 FEET OF EACH END OF A BRACED WALL LINE.
11. THE MAXIMUM EDGE DISTANCE BETWEEN BRACED WALL PANELS SHALL NOT EXCEED 21 FEET.
12. MASONRY OR CONCRETE STEM WALLS WITH A LENGTH OF 48" OR LESS SUPPORTING A BRACED WALL PANEL SHALL BE DESIGNED IN ACCORDANCE WITH FIGURE R602.10.4.3 OF THE 2018 NCRC.
13. BRACED WALL PANEL CONNECTIONS TO FLOOR/CEILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R602.10.4.4
14. BRACED WALL PANEL CONNECTIONS TO ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R602.10.4.5
15. CRIPPLE WALLS AND WALK OUT BASEMENT WALLS SHALL BE DESIGNED IN ACCORDANCE WITH SECTION R602.10.4.6
16. PORTAL WALLS SHALL BE DESIGNED IN ACCORDANCE WITH FIGURE R602.10.1 (UNO)
17. ON SCHEMATIC, SHADED WALLS INDICATE BRACED WALL PANELS.
18. ABBREVIATIONS:

GB = GYPSUM BOARD	WSP = WOOD STRUCTURAL PANEL
CS-XXX = CONT. SHEATHED	ENG = ENGINEERED SOLUTION
PF = PORTAL FRAME	PF-ENG = ENG. PORTAL FRAME

INSTALL HOLD-DOWNS PER SECTION R602.10.4 AND FIGURE R602.10.3(4) OF THE 2018 NCRC.

STUD COLUMN (S.C.) CALLOUTS ON PLAN OVERRIDE JACK STUD COUNT SHOWN IN BEAM/HEADER SCHEDULE. KING STUDS TO BE INSTALLED PER APPLICABLE BUILDING CODE.

WALL STUD SCHEDULE
1ST & 2ND FLOOR LOAD BEARING STUDS: 2x4 STUDS @ 16" O.C. OR 2x6 STUDS @ 24" O.C.
1ST FLOOR LOAD BEARING STUDS W/ WALK-UP ATTIC: 2x4 STUDS @ 12" O.C. OR 2x6 STUDS @ 16" O.C.
BASEMENT LOAD BEARING STUDS: 2x4 STUDS @ 12" O.C. OR 2x6 STUDS @ 16" O.C.
NON-LOAD BEARING STUDS (ALL FLOORS): 2x4 STUDS @ 24" O.C.
TWO STORY WALLS: 2x4 STUDS @ 12" O.C. OR 2x6 STUDS @ 16" O.C. BALLOON FRAMED W/ CROSS BRACING @ 6'-0" O.C. VERTICALLY

KING STUD REQUIREMENTS	
OPENING WIDTH	KINGS (EACH END)
LESS THAN 3'-0"	(1)
3'-0 TO 4'-0"	(2)
4'-0" TO 8'-0"	(3)
8'-0" TO 12'-0"	(5)
12'-0" TO 16'-0"	(6)
KING STUD REQUIREMENTS ABOVE DO NOT APPLY TO PORTAL FRAMED OPENINGS	

HEADER/BEAM SCHEDULE			
HEADER TAG	BEAM TAG	SIZE	JACKS (EACH END)
-	B1	(1) 14" FLOOR JOIST	(2)
-	B2	(2) 14" FLOOR JOIST	(2)
A	B3	(2) 2x6	(1)
B	B4	(2) 2x8	(2)
C	B5	(2) 2x10	(2)
D	B6	(2) 2x12	(2)
E	B7	(2) 9-1/4" LVL	(3)
F	B8	(2) 11-7/8" LVL	(3)
G	B9	(2) 14" LVL	(3)
H	B10	(2) 16" LVL	(3)
I	B11	(2) 18" LVL	(3)
J	B12	(2) 24" LVL	(4)
K	B13	(3) 9-1/4" LVL	(3)
L	B14	(3) 11-7/8" LVL	(3)
M	B16	(3) 14" LVL	(3)
N	B17	(3) 16" LVL	(3)
O	B18	(3) 18" LVL	(3)
P	B19	(3) 24" LVL	(4)

HEADER/BEAM SIZES SHOWN ON PLANS ARE MINIMUMS. GREATER HEADER/BEAM SIZES MAY BE USED FOR EASE OF CONSTRUCTION. ALL HEADERS TO BE DROPPED UNLESS NOTED OTHERWISE. ALL BEAMS TO BE FLUSH UNLESS NOTED OTHERWISE.

LINTEL SCHEDULE		
TAG	SIZE	OPENING SIZE
1	L3x3x1/4"	LESS THAN 6'-0"
2	L5x3x1/4"	6'-0" TO 10'-0"
3	L5x3-1/2"x5/16"	GREATER THAN 10'-0"
4	L5x3-1/2"x5/16" ROLLED OR EQUIV.	ALL ARCHED OPENINGS
SECURE LINTEL TO HEADER w/ (2) 1/2" DIAMETER LAG SCREWS STAGGERED @ 16" O.C. (TYP FOR 3)		
ALL HEADERS WITH BRICK ABOVE: 1 (UNO)		

THESE PLANS ARE DESIGNED IN ACCORDANCE WITH ARCHITECTURAL PLANS PROVIDED BY SMITH DOUGLAS HOMES COMPLETED/REVISED ON 09/23/16. IT IS THE RESPONSIBILITY OF THE CLIENT TO NOTIFY SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. IF ANY CHANGES ARE MADE TO THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. CANNOT GUARANTEE THE ADEQUACY OF THESE STRUCTURAL PLANS WHEN USED WITH ARCHITECTURAL PLANS DATED DIFFERENTLY THAN THE DATE LISTED ABOVE.

STRUCTURAL MEMBERS ONLY

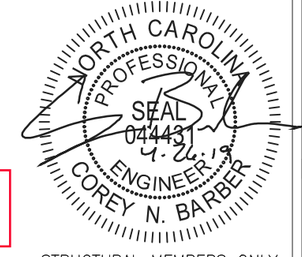
ENGINEERING SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT, SEAL DOES NOT INCLUDE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS. ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. FAILURE TO DO SO WILL VOID SUMMIT LIABILITY.

STRUCTURAL ANALYSIS BASED ON 2018 NCRC.

FOUNDATION & FIRST FLOOR FRAMING PLANS

SCALE: 1/8"=1'

Harrington
Lot 1/Model



STRUCTURAL MEMBERS ONLY

SUMMIT
ENGINEERING LABORATORY TESTING
3070 Hammond Business Place
Suite 171, RALEIGH, NC 27603
OFFICE: 919.380.9991
FAX: 919.380.9993
WWW.SUMMIT-COMPANIES.COM

NORTH CAROLINA CERTIFICATE OF LICENSURE
SUMMIT Engineering, Laboratory & Testing, P.C.
C-4361

PROJECT
THIRD CAR ADD ON GARAGE (LH)
Monolithic Slab Fnd.

CLIENT
Smith Douglas Homes - Raleigh
2520 Reliance Ave
Apex, NC 27539

CURRENT DRAWING
DATE: 4/26/2019
SCALE: 1/8"=1'-0"
PROJECT #: 3832.265
DRAWN BY: CNB
CHECKED BY: WAJ

ORIGINAL DRAWING

DATE	PROJECT #
10/27/2016	3832.27

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET
S1.0

TRUSS UPLIFT CONNECTOR SCHEDULE

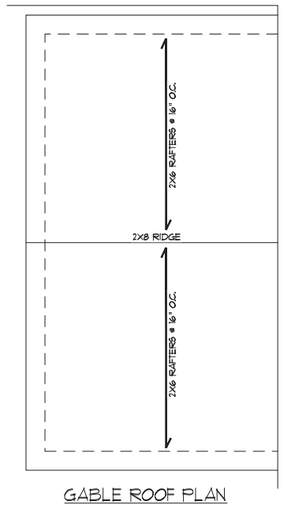
MAX. UPLIFT	ROOF TO WALL	FLOOR TO FLOOR	FLOOR TO FND
535 LBS	H25A	PER WALL SHEATHING & FASTENERS	
1070 LBS	(2) H25A	C5Ø16 (END = 13")	DTT2Z
1245 LBS	HTS22Ø	C5Ø16 (END = 13")	DTT2Z
1720 LBS	(2) HTS22Ø	(2) C5Ø16 (END = 13")	DTT2Z
2490 LBS	(2) HTS22Ø	(2) C5Ø16 (END = 13")	HTT4
2365 LBS	LGT3-SDS23	(2) C5Ø16 (END = 13")	HTT4

1. ALL PRODUCTS LISTED ARE SIMPSON STRONG-TIE. EQUIVALENT PRODUCTS MAY BE USED PER MANUFACTURER'S SPECIFICATIONS.
2. UPLIFT VALUES LISTED ARE FOR SPF #2 GRADE MEMBERS.
3. REFER TO TRUSS LAYOUT PER MANUF. FOR UPLIFT VALUES AND TRUSS TO TRUSS CONNECTIONS. CONNECTORS SPECIFIED BY TRUSS MANUFACTURER OVERRIDE THOSE LISTED ABOVE.
4. CONTACT SUMMIT FOR REQUIRED CONNECTORS WHEN LOADS EXCEED THOSE LISTED ABOVE.

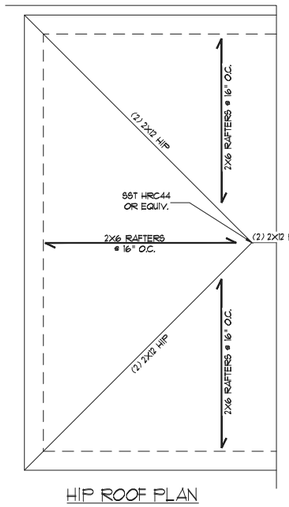
NOTE: 1ST PLY OF ALL SHOWN GIRDER TRUSSES TO ALIGN WITH INSIDE FACE OF WALL (TYP, UNO)

NOTE: ROOF TRUSSES SHALL BE SPACED TO SUPPORT FALSE FRAMED DORMER WALLS (TYP, UNO)

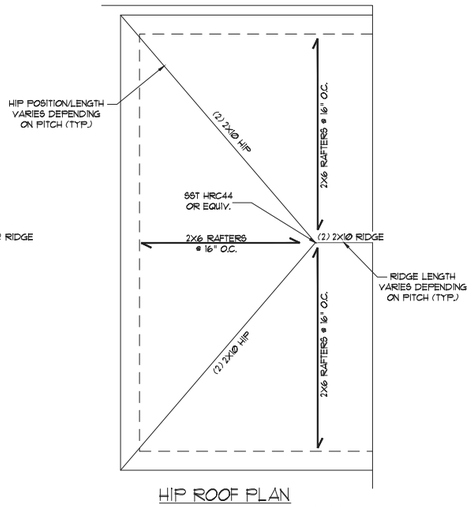
NOTE: TRUSS UPLIFT LOADS SHALL BE DETERMINED PER TRUSS MANUFACTURER IN ACCORDANCE WITH SECTION R8Ø2.11.1. WALL SHEATHING AND FASTENERS HAVE BEEN DESIGNED TO RESIST THE WIND UPLIFT LOAD PATH IN ACCORDANCE WITH METHOD 3 OF SECTION R6Ø2.3.3 OF THE 2Ø18 NCRC. REFER TO BRACED WALL PLANS FOR SHEATHING AND FASTENER REQUIREMENTS.



GABLE ROOF PLAN



HIP ROOF PLAN
6:12 PITCH



HIP ROOF PLAN
7:12 PITCH AND GREATER
(DO NOT EXCEED 12:12 PITCH)

THESE PLANS ARE DESIGNED IN ACCORDANCE WITH ARCHITECTURAL PLANS PROVIDED BY SMITH DOUGLAS HOMES COMPLETED/REVISED ON Ø9/23/16. IT IS THE RESPONSIBILITY OF THE CLIENT TO NOTIFY SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. IF ANY CHANGES ARE MADE TO THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. CANNOT GUARANTEE THE ADEQUACY OF THESE STRUCTURAL PLANS WHEN USED WITH ARCHITECTURAL PLANS DATED DIFFERENTLY THAN THE DATE LISTED ABOVE.

STRUCTURAL MEMBERS ONLY

ENGINEERING SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT, SEAL DOES NOT INCLUDE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS. ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. FAILURE TO DO SO WILL VOID SUMMIT LIABILITY.

STRUCTURAL ANALYSIS BASED ON 2018 NCRC.

ROOF FRAMING PLAN

SCALE: 1/8"=1'

Harrington
Lot 1/Model

NORTH CAROLINA PROFESSIONAL SEAL 044431 ENGINEER COREY N. BARBER 4.22.19

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PROJECT #: 3832265
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CHECKED BY: WAJ

ORIGINAL DRAWING

DATE	PROJECT #
1Ø/27/2Ø16	3832.27

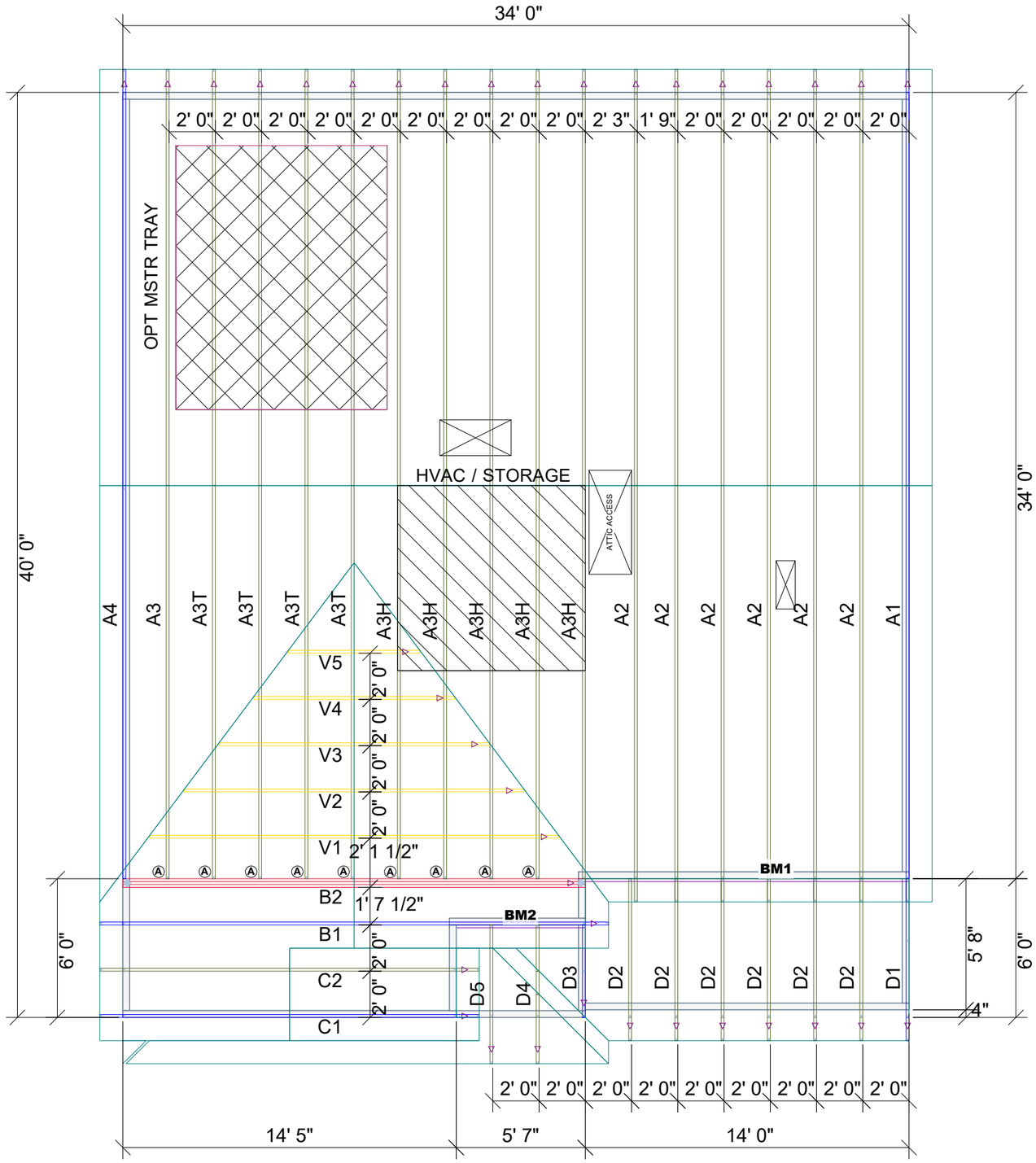
REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET
S1.1

THIS IS A TRUSS/COMPONENT PLACEMENT DIAGRAM (TPD) ONLY; NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDD's) for each truss design identified on the TPD. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcacomponents.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framer is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

Roof Hanger List			
QTY	DESCRIPTION	TYPE	MARK
9	FACE MOUNT HANGER	HUS26	A

COLEMAN ADG



PLACEMENT PLAN

SCALE: N.T.S

UFP SITE BUILT
A UFP INDUSTRIES COMPANY

Burlington, NC Locust, NC
Chesapeake, VA Liberty, NC
Clinton, NC Ooltewah, TN
Conway, SC Pearisburg, VA
Jefferson, GA Stanfield, NC

Customer Service (800) 476-9356

TRUSS TRAX APPLICATIONS
TrussTrax.ufpi.com

SMITH DOUGLAS

-

-COLEMAN ADG MSTR TRAY

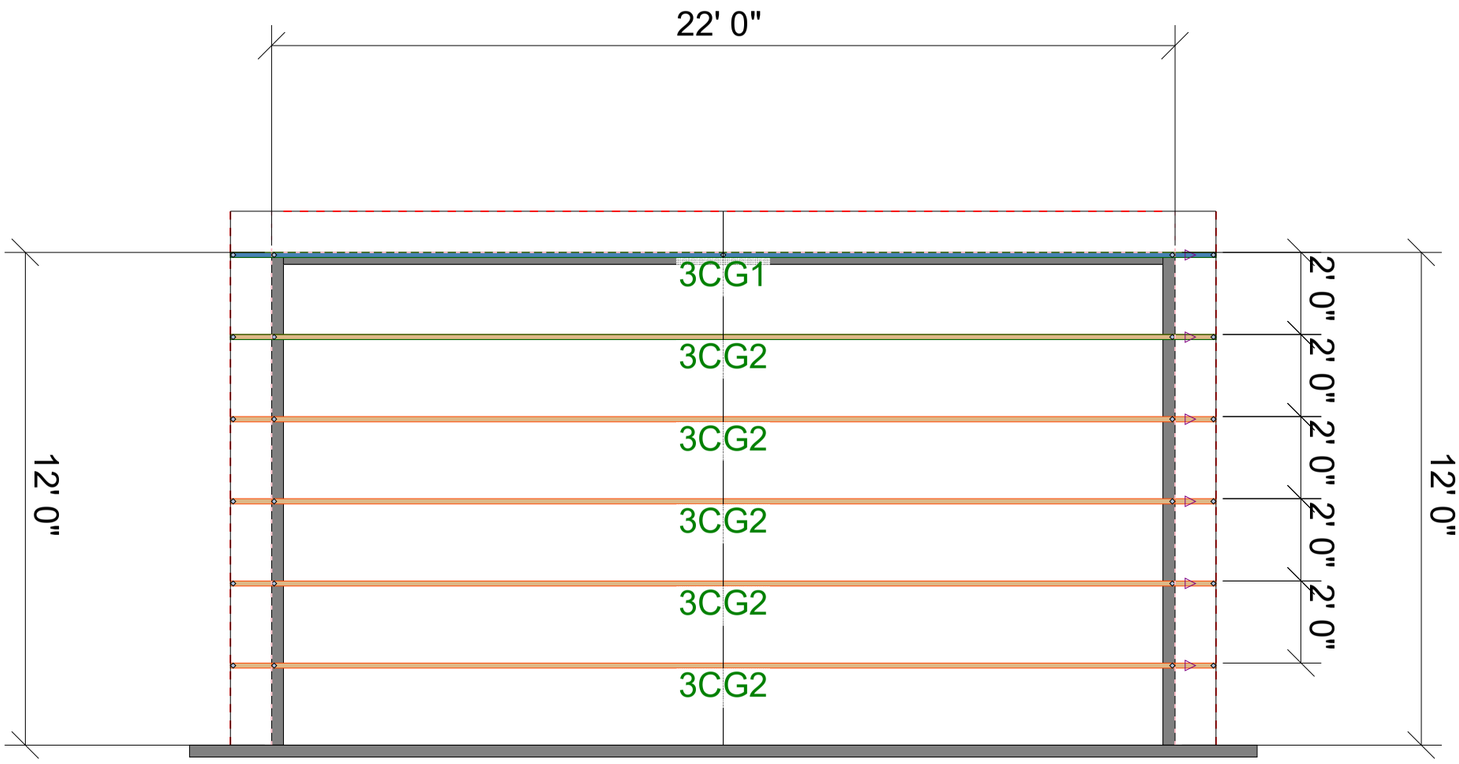
- -

REVISIONS		
DATE	DESCRIPTION	DSN
-	-	-

DESIGNER JNN
LAYOUT DATE 8/1/23
ARCH DATE -
STRUC DATE -

JOB #: MASTER

PLACEMENT PLAN



△ INDICATES LEFT END OF TRUSS SCALE: N.T.S

JOB #: MASTER

DESIGNER JNN
LAYOUT DATE 8/1/23
ARCH DATE -
STRUC DATE -

REVISIONS		
DATE	DESCRIPTION	DSN
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

COLEMAN 3RD CAR GARAGE

-
-

SMITH DOUGLAS

-

TRUSSTRAX UFP CONSTRUCTION
TrussTrax.ufpi.com

UFP SITE BUILT
A UFP INDUSTRIES COMPANY

Burlington, NC
Chesapeake, VA
Clinton, NC
Conway, SC
Jefferson, GA
Locust, NC
Liberty, NC
Ooltewah, TN
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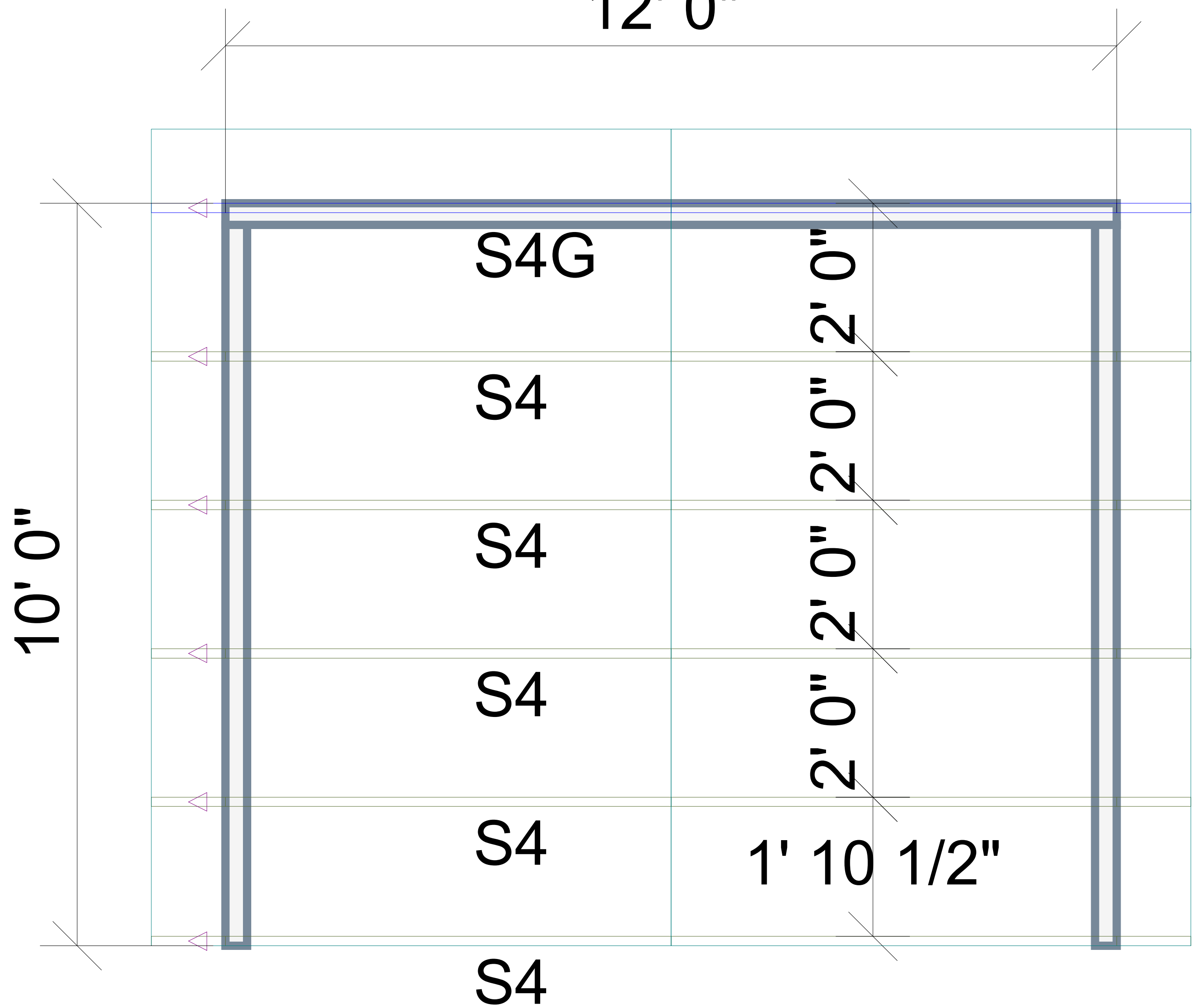
Stanfield, NC

Customer Service (800) 476-9356



COLEMAN
10x12 PORCH

TRUSS TO WALL CONNECTIONS, IF SHOWN, ARE FOR UPLIFT ONLY AND DO NOT CONSIDER LATERAL LOADS. ALL CONNECTORS ON THIS PROJECT ARE TO BE INSTALLED PER THE CONNECTOR MANUFACTURER'S SPECIFICATIONS. ALL CONNECTORS SHOWN THAT ARE NOT "TRUSS TO TRUSS" ARE SUGGESTIONS ONLY AND ARE TO BE VERIFIED BY THE BUILDING DESIGNER OR ENGINEER OF RECORD FOR SUITABILITY TO THIS PARTICULAR PROJECT. UFP MID-ATLANTIC, LLC. ACCEPTS NO RESPONSIBILTY FOR THE SPECIFIC APPLICATION OR SUITIBILTY OF ANY CONNECTOR THAT IS NOT "TRUSS TO TRUSS" AS THEY APPLY TO THIS SPECIFIC STRUCTURE.

ROOF AREA: 162.33 ft²_RIDGE LINE: 11 ft _ VALLEY LINES: 0 _ HIP LINES:0 _ △ Indicates Left End of Truss

This layout is not an engineered drawing. This drawing was created to establish truss placement only. It is the responsibility of the builder to provide adequate support for all the elements shown in this drawing.

1. TEMPORARY BRACING TO BE INSTALLED W/T.P.I. STANDARD BCSI-B1.
2. SEE ENGINEERED DRAWING FOR PERMANENT BRACING MINIMUM REQUIREMENTS.
3. FRAMER TO VERIFY ALL DIMENSIONS, DROP, & RISE LOCATIONS PRIOR TO TRUSS PLACEMENT.
4. BLDR/FRAMER RESPONSIBLE FOR ADJUSTMENT OF TRUSS SPACING TO MISS PLUMBING DROPS, UNLESS NOTED OTHERWISE.

UFP MID-ATLANTIC,LLC
A UNIVERSAL FOREST PRODUCTS COMPANY

BURLINGTON, NC	PHONE (800) 476-9356
CHESAPEAKE, VA	PHONE (800) 476-3190
CONWAY, SC	PHONE (800) 397-9572
JEFFERSON,GA	PHONE (800) 648-4038
LOCUST, NC	PHONE (704) 888-0920
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Customer
SD COMMUNITIES

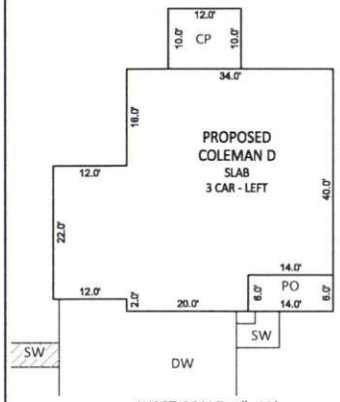
Job Name
COLEMAN 10 X 12 PORCH

Date:08.24.2021
Scale:NTS

Quality Products for Quality Builders

Revision Date1:
Revision Date2:

Drawn By: T. HATHCOCK
Checked By: ***
Drawing Number
21082371



INSET SCALE: 1"=20'

LOT INFORMATION:

LOT 1
PIN:9680-69-5816
REFERENCE: DB4093 PG 784
TOTAL LOT AREA = 0.460 AC = 20,079 SF
HOUSE = 1,540 SF
PORCH = 84 SF
SIDEWALKS = 100 SF
DRIVEWAY = 808 SF
COVERED PATIO = 120 SF
PROPOSED IMPERVIOUS = 2,544 SF
PERCENT IMPERVIOUS = 12.67%

LOT INFORMATION:

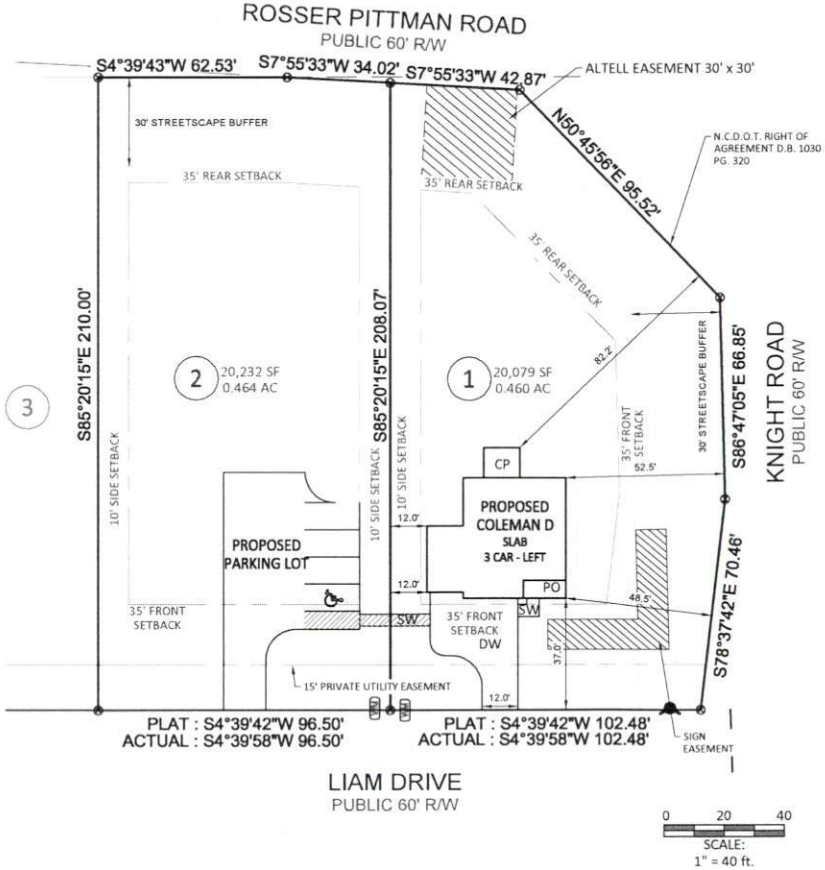
LOT 2
PIN:9680-69-5936
REFERENCE: DB4093 PG 784
TOTAL LOT AREA = 0.464 AC = 20,232 SF
PARKING LOT = 2,619 SF
PROPOSED IMPERVIOUS = 2,619 SF
PERCENT IMPERVIOUS = 12.95%

BUILDING SETBACKS
FRONT - 35'
REAR - 35'
SIDE - 10'
CORNER SIDE - 20'

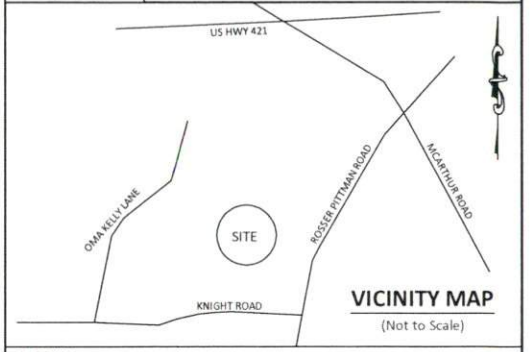
NOTES:

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. THE PROPERTY IS LOCATED IN FEMA FLOOD ZONE "X" MAP # 3710968001 DATED 10/3/2006.
10. ZONING IS RA-20.
11. PROPERTY OWNER: SMITH DOUGLAS HOMES
2520 RELIANCE AVENUE
APEX, NC 27539

BK2023 PG335



Bateman Civil Survey Company
Engineers • Surveyors • Planners
2524 Reliance Avenue, Apex, NC 27539 Ph: 919.577.1080 Fax: 919.577.1081
www.batemancivilsurvey.com info@batemancivilsurvey.com
NCBELS Firm No. C-2378



VICINITY MAP
(Not to Scale)

LEGEND

PO = PORCH
SP = SCREENED PORCH/PATIO
CP = COVERED PORCH/PATIO
WD = WOOD DECK
SW = SIDEWALK
DW = CONC DRIVEWAY
P = CONC PATIO
⊗ = COMPUTED POINT
X = MAG NAIL FOUND
○ = IRON PIPE FOUND
● = IRON PIPE SET
● = DRILL HOLE FOUND
WM = WATER METER
CO = CLEAN OUT
AC = AIR CONDITIONER
Ⓢ = SEWER MANHOLE
EB = ELECTRIC BOX
Ⓒ = CABLE BOX
T = TELEPHONE PEDESTAL
CB = CATCH BASIN
IC = IRRIGATION CONTROLLER
☼ = LIGHT POLE
= UTILITY POLE
= FIRE HYDRANT
DI = DRAIN INLET
WV = WATER VALVE
= STREET SIGN
YI = YARD INLET
G = GAS METER
E = ELECTRIC METER

I, STEVEN P. CARSON, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY DIRECT SUPERVISION FROM A SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK REFERENCED IN TITLE BLOCK); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION LISTED UNDER REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. L-4752
DATED:

PRELIMINARY

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

BUILDER TO VERIFY HOUSE LOCATION
DIMENSIONS AND REVIEW TOTAL
IMPERVIOUS NOTED ON THIS PLOT PLAN

PRELIMINARY PLOT PLAN

FOR

SMITH DOUGLAS HOMES

HARRINGTON PLACE - LOTS 1-2
20, 40 LIAM DRIVE, BROADWAY, NC
UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY

DATE: 7/25/23 DRAWN BY: AHB CHECKED BY: SPC

REFERENCE: BK2023 PG335 BCS# 230119 SCALE: 1" = 40'