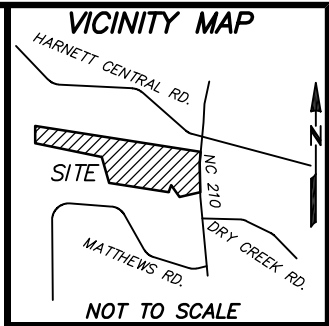


LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 89°46'07" E	70.00'
L2	S 89°46'07" E	70.00'

PROPOSED IMPERVIOUS SURFACES:
 TOTAL LOT AREA=12,600 S.F.
 HOUSE/PORCHES=1,875 S.F.
 DRIVEWAYS/ETC.=517 S.F.
 TOTAL IMPERVIOUS AREA=2,392 S.F.
 MAXIMUM IMPERVIOUS AREA=3,800 S.F.

PROPOSED IMPERVIOUS SURFACES INCLUDING TEMP. CONCRETE PATHWAY FOR LOT 104:
 TOTAL LOT AREA=12,600 S.F.
 HOUSE/PORCHES=1,875 S.F.
 DRIVEWAYS/ETC.=517 S.F.
 TEMP. PATHWAY/ETC.=252 S.F.
 TOTAL IMPERVIOUS AREA=2,644 S.F.
 MAXIMUM IMPERVIOUS AREA=3,800 S.F.

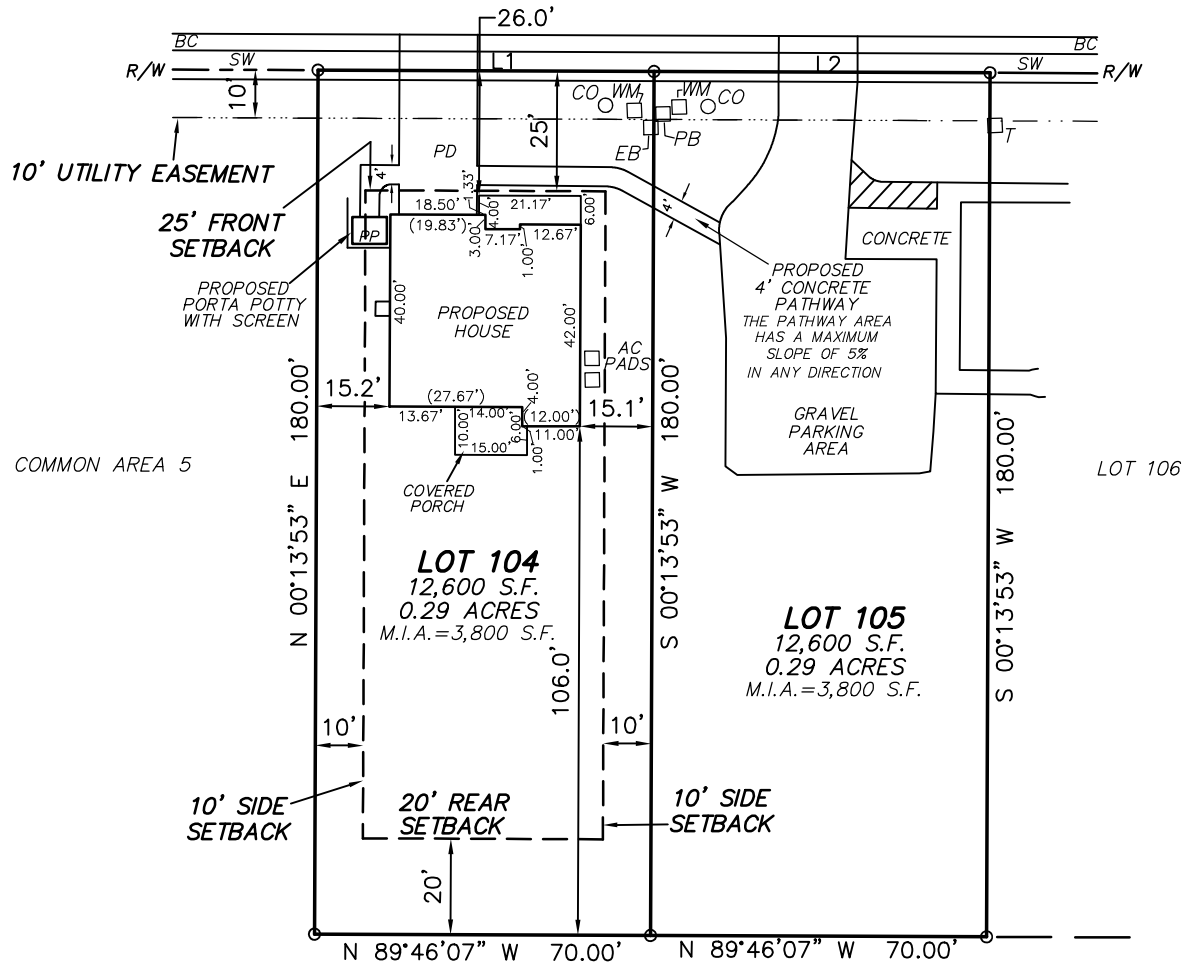
EXISTING IMPERVIOUS SURFACES INCLUDING PROPOSED CONCRETE PATHWAY TO LOT 104 FOR LOT 105:
 TOTAL LOT AREA=12,600 S.F.
 GRAVEL PARKING AREA=2,752 S.F.
 CONCRETE PARKING AREA=584 S.F.
 PROPOSED PATHWAY=63 S.F.
 TOTAL IMPERVIOUS AREA=3,219 S.F.
 MAXIMUM IMPERVIOUS AREA=3,800 S.F.



- REFERENCES:**
- LOT 104
 D.B. 4188 PG. 96
 PIN 0662-10-6431.000
 PID 110662 0027 36
 - LOT 105
 D.B. 3963 PG. 731
 PIN 0662-10-7400.000
 PID 110662 0027 37
- RESTRICTIVE COVENANTS:**
- D.B. 4072, PG. 220

N.C. GRID NORTH (NAD83) FROM P.B. 2022, PG. 203-205

HAY FIELD DRIVE
 50' R/W (PUBLIC & UTILITY ACCESS)



SETBACKS
 FRONT-25'
 SIDE-10'
 REAR-20'
 CORNER SIDE-20'

LEGEND
 (BC)-BACK OF CURB
 (SW)-SIDEWALK
 (PD)-PROPOSED DRIVEWAY
 (PB)-PHONE BOX
 (EB)-ELECTRIC BOX
 (T)-TRANSFORMER
 (PP)-PORTA-POTTY
 (WM)-WATER METER
 (CO)-CLEANOUT
 (AC)-AIR CONDITIONER

- NOTES:**
- ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2022, PG 203-205 UNLESS OTHERWISE NOTED.
 - PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.
 - THE PROJECT IS WITHIN THE WS IV WATERSHED. THE MAXIMUM IMPERVIOUS AREA PER LOT IS 3,800 SF.

PRELIMINARY PLAT- NOT FOR RECORDATION, CONVEYANCE, OR SALE

LOT 104 & 105 THE FARM AT NEILLS CREEK PHASE 1
 83 HAY FIELD DRIVE
 71 HAY FIELD DRIVE
 HARNETT COUNTY
 LILLINGTON, N.C. 27546

REFERENCE: PLAT BOOK 2022 PAGE 203-205.

NOTICE TO CONTRACTOR
 All construction must comply with current NC Building Codes and is subject to field inspection and verification.

Reviewed for Code Compliance

05/15/2023

Sales center only

SURVEY FOR CHESAPEAKE HOMES



GRAPHIC SCALE

FILE: FNCL0104MODEL

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DESCRIPTION RECORDED IN REFERENCES AS SHOWN; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN _____; THAT THE RATIO OF PRECISION IS 1:10,000; AND THAT THIS MAP MEET THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.16000). THIS _____ DAY OF _____, 2023.

PROFESSIONAL LAND SURVEYOR L-4433

6260
 ELEV A
 MONO SLAB
 FULL FRONT PORCH
 REAR PORCH
 GARAGE SERVICE DOOR
 GARAGE RIGHT FRONT

ROBINSON & PLANTE PC
 LAND SURVEYING
 C-2687
 970 TRINITY ROAD
 RALEIGH NC, 27607
 PHONE (919) 859-6030
 FAX (919) 859-6032


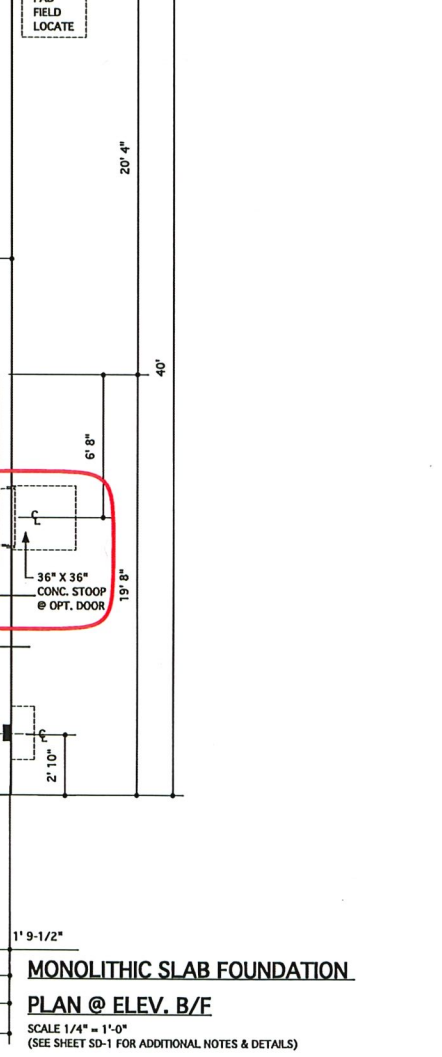
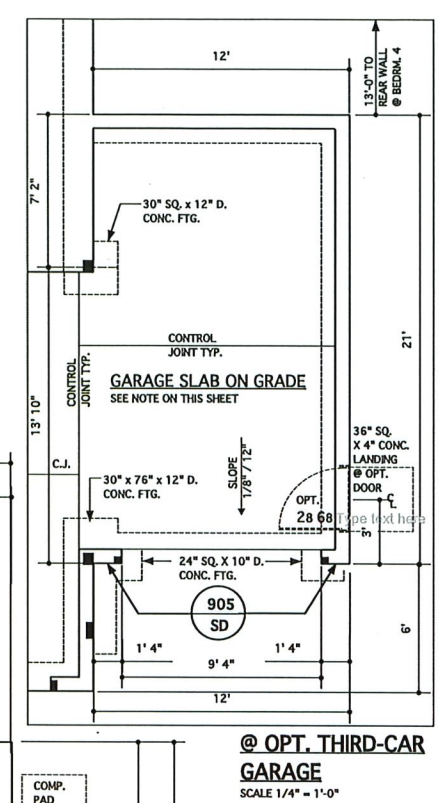
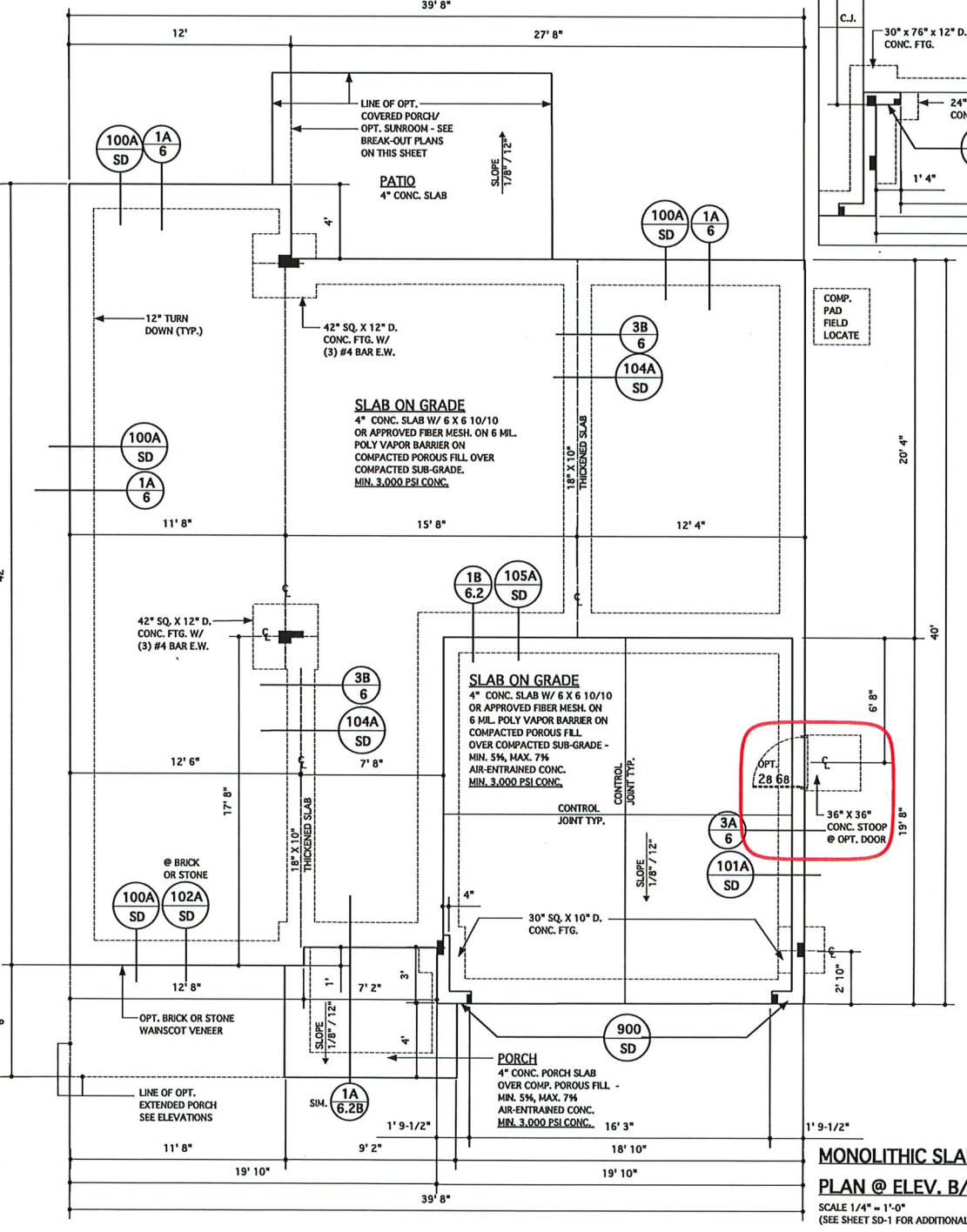
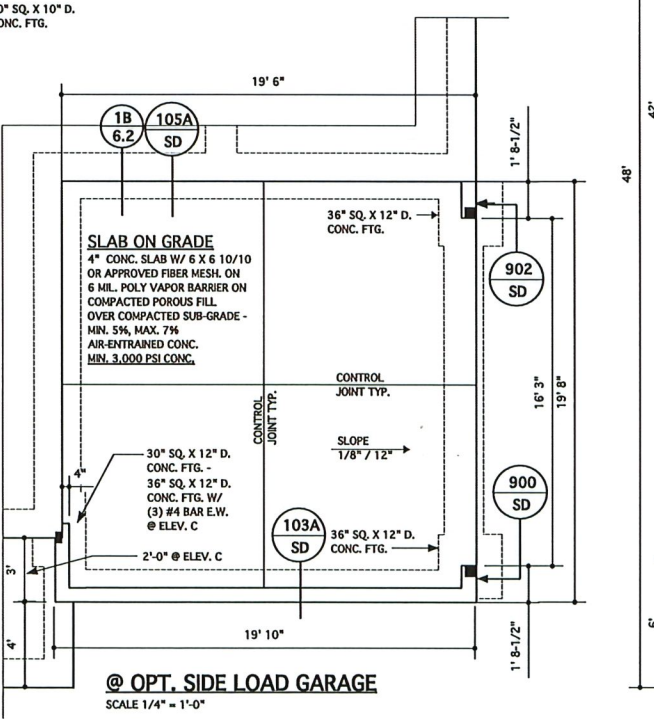
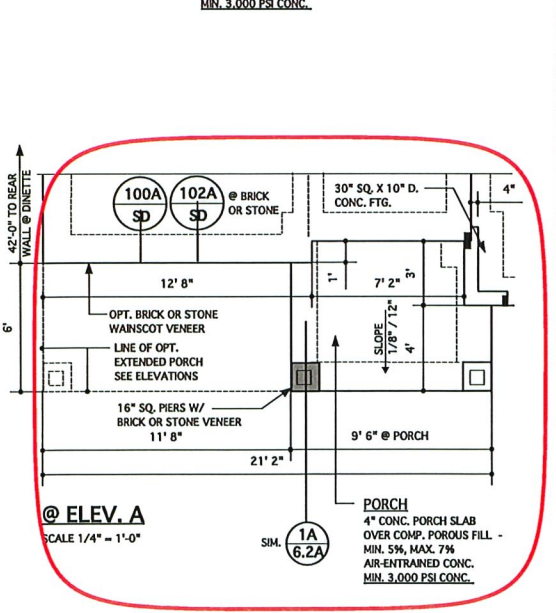
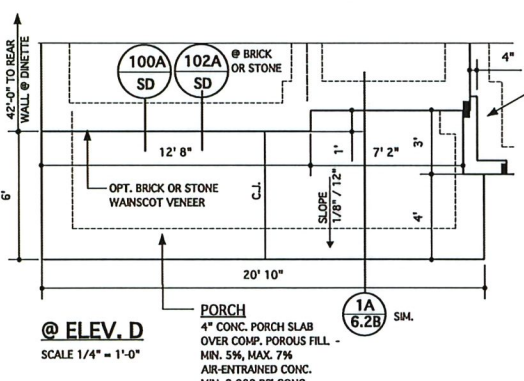
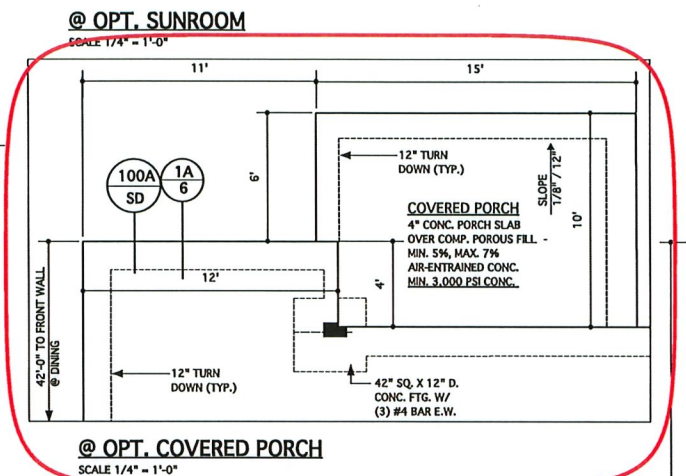
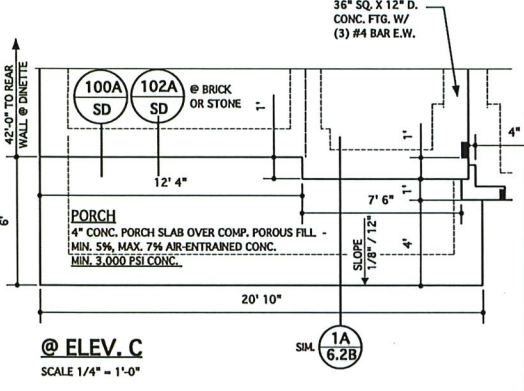
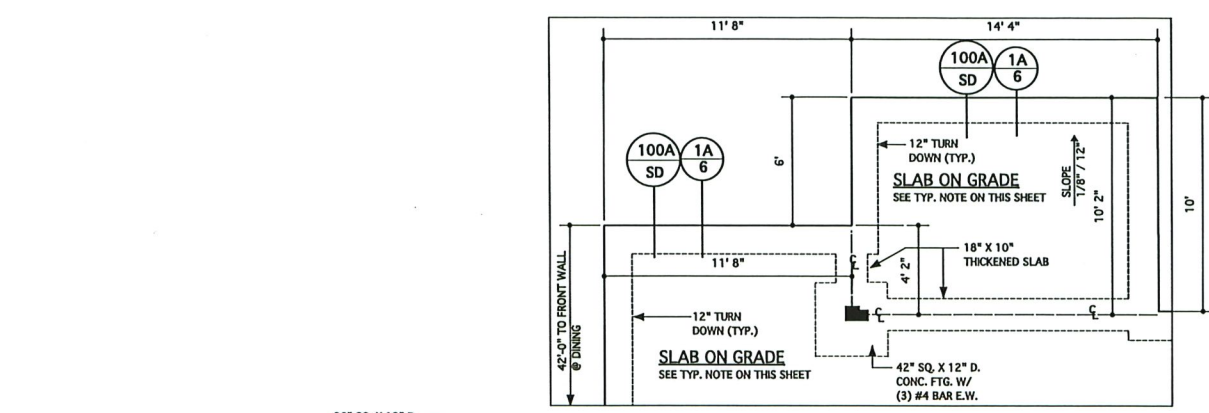
DATE: 5-4-23

SCALE: 1"=40'

STRUCTURAL DESIGN BY:
 SOUTHERN ENGINEERS, P.A.
 3716 BENSON DR., RALEIGH, NC 27609
 LICENSE: C-4772, PHONE: 919-878-1617
 PROJECT # 19-1000

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REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.





JAMES WENTLING/ ARCHITECT
 LAND TITLE BUILDING
 100 SOUTH BROAD STREET,
 SUITE 1534
 PHILADELPHIA, PA 19110

(215) 568-2551
 email: information@wentlinghouseplans.com

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MARK	DATE	DESCRIPTION
CH	05-28-19	ELEV. C
CH	12-10-19	3RD CAR GARAGE EXT.
AM	01-14-21	RE stamps SHEET
DN	02-09-21	OPT. PORCH FOOTINGS
AM	09-09-21	RE stamps SHEET
JW	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0\"/>

PROJECT NO. 113-88
 DATE 01-08-18
 SCALE AS NOTED
 DRAWN BY JK
 CHECKED BY JW
 ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

CLIENT
CHESAPEAKE HOMES OF NC
 3100 Smoketree Court,
 Suite 210
 Raleigh, NC 27604
 (919) 256-3060
 (919) 556-0690 Fax

DRAWING TITLE
MONOLITHIC SLAB FOUNDATION PLAN

SHEET
2

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PORTAL FRAME LEGEND
SEE SD SHEETS FOR PORTAL FRAME DETAILS
APA-PF: APA PORTAL FRAME
APA-PF-END: END CONDITION FOR APA PORTAL FRAME
CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION
CS-PF-END: END CONDITION FOR CONTINUOUS PORTAL FRAME

REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.

NOTES:
WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWISE. (SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)
(SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FOR ADDITIONAL INFORMATION AND TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS.)
NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS

LEGEND
INTERIOR LOAD BEARING WALL
DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE
SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES

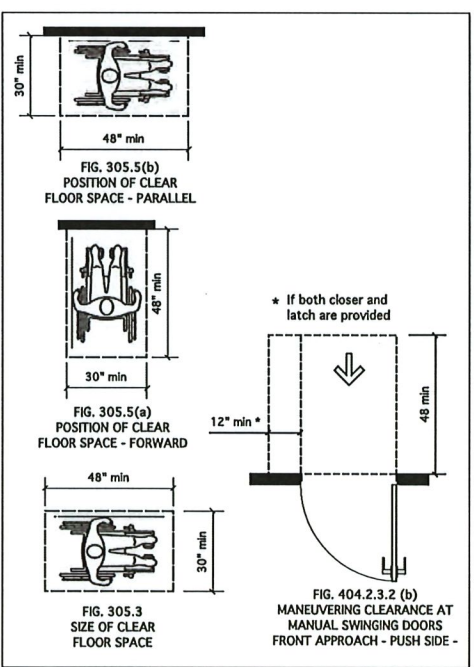
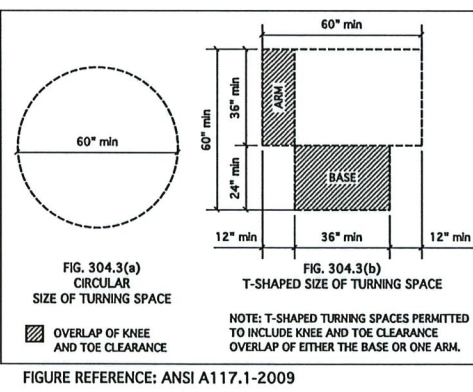
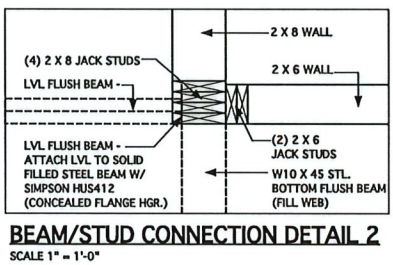
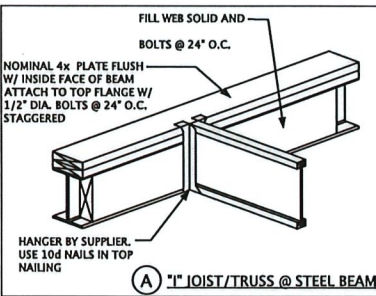
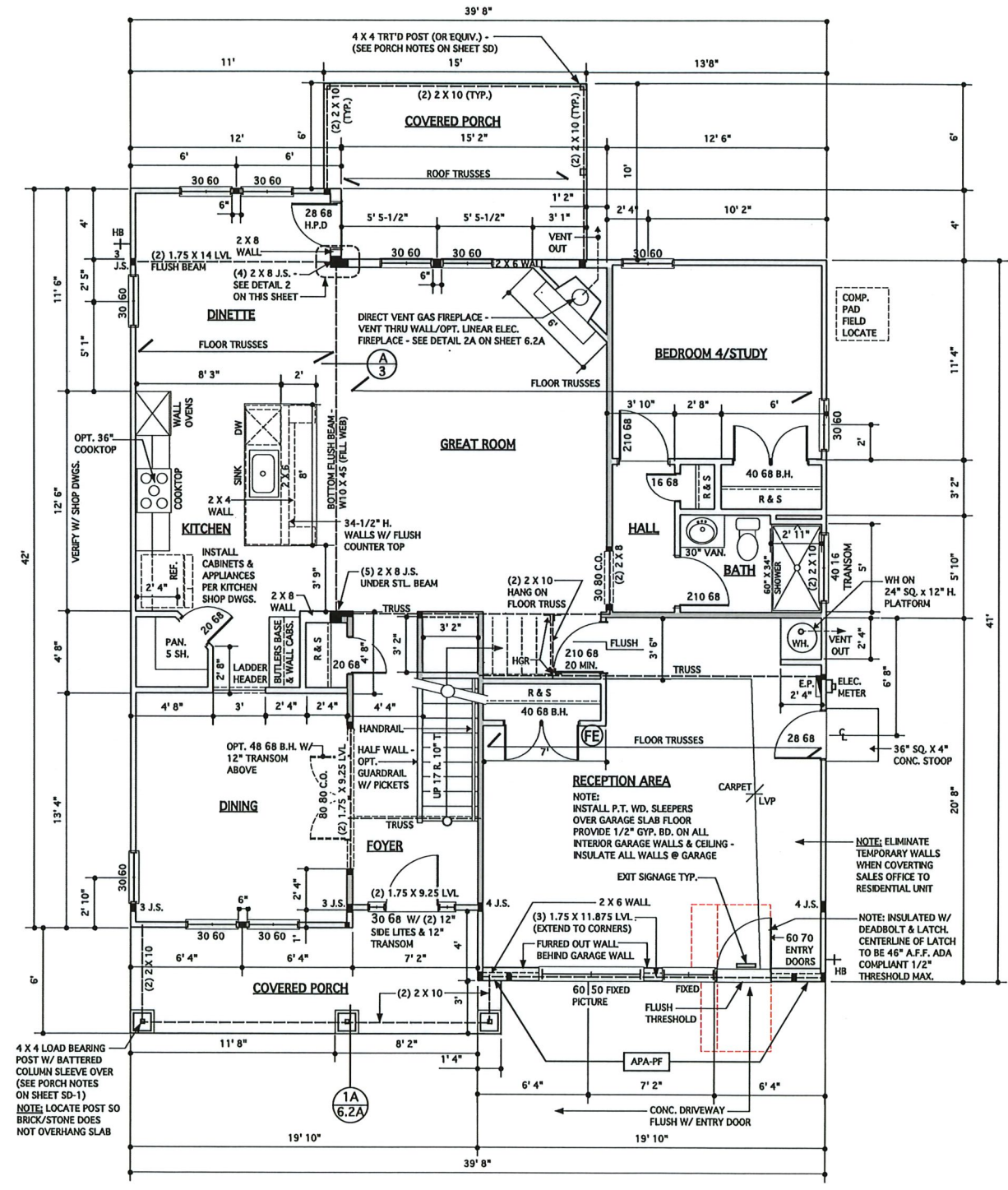


FIGURE REFERENCE: ANSI A117.1-2009



FIRST FLOOR PLAN @ ELEV. A
SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.

JAMES WENTLING/ ARCHITECT
LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 1524
PHILADELPHIA, PA 19110

(215) 568-2551
email - information@wentlinghouseplans.com

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REVISIONS

MARK	DATE	DESCRIPTION
CEI	05-28-19	ELEVATIONS
CEI	12-10-19	3RD CAR GARAGE EXT.
AM	01-14-21	RESTART SHEET
AM	09-09-21	RESTART SHEET
JW	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.
TF	04-19-23	SALES OFFICE - LOT 104

PROJECT NO. 113-88
DATE 01-08-18
SCALE AS NOTED
DRAWN BY JK
CHECKED BY JW
ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT THE FARM AT NEILL'S CREEK - SALES OFFICE - LOT 104

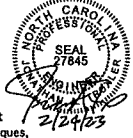
CLIENT
CHESAPEAKE HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
FIRST FLOOR PLANS

SHEET
3

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SOUTHERN ENGINEERS, P.A.
3716 BENSON DR., RALEIGH, NC 27609
LICENSE: C-4772, PHONE: 919-878-1617
PROJECT # 19-1000



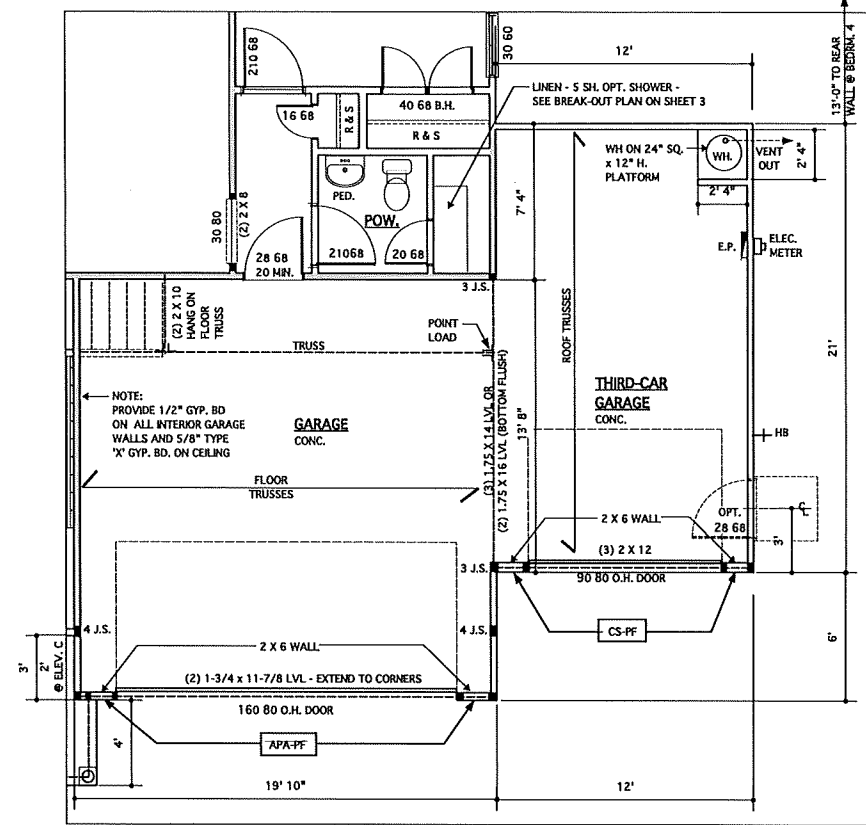
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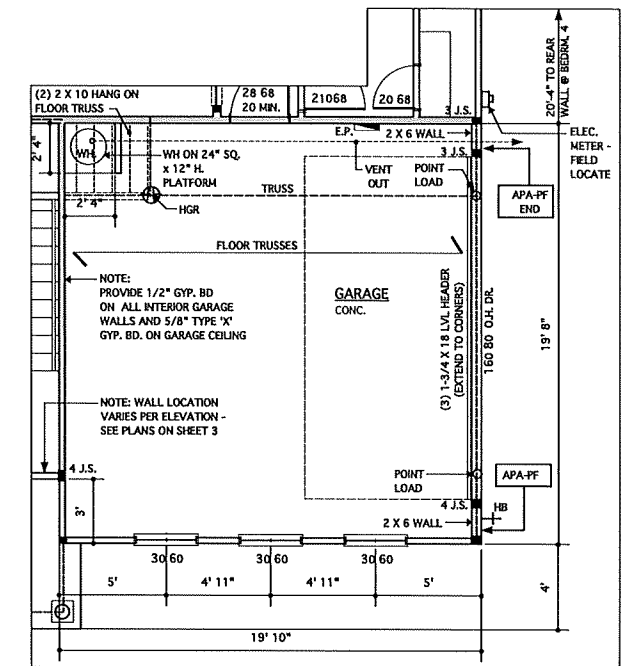
REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.

NOTES:
WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWISE. (SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)
(SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FOR ADDITIONAL INFORMATION AND TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS.)
NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS

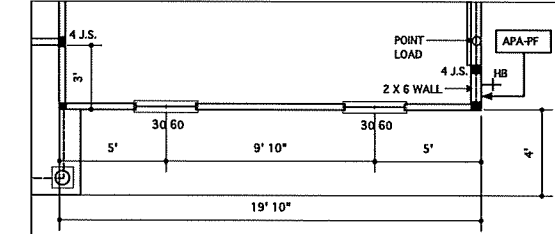
LEGEND
 INTERIOR LOAD BEARING WALL
 DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE
 SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES



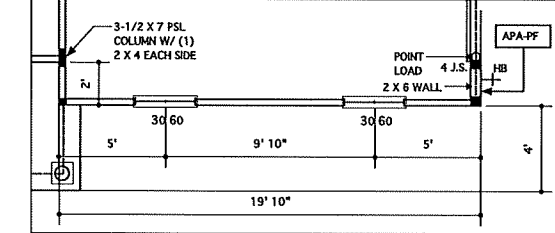
FLOOR PLAN @ OPT. THIRD-CAR GARAGE
SCALE 1/4" = 1'-0"
NOTE: SEE FIRST FLOOR PLAN ON SHEET 3 FOR ADDITIONAL NOTES & DIMENSIONS



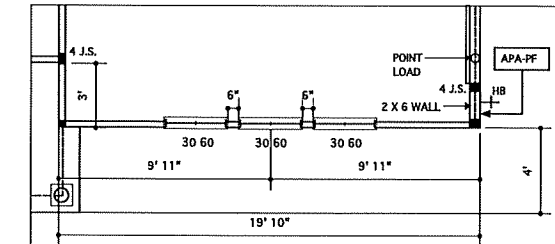
@ OPT. SIDE-LOAD GARAGE @ ELEV. A
SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



@ ELEV. B/F
SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



@ ELEV. C
SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



@ ELEV. D
SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.

JAMES WENTLING/ ARCHITECT
 LAND TITLE BUILDING
 100 SOUTH BROAD STREET,
 SUITE 1524
 PHILADELPHIA, PA 19110
 (215) 568-2551
 email: jwentling@houseplans.com
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JAMES WALTER WENTLING
 REGISTERED ARCHITECT
 #642
 NORTH CAROLINA
 RALEIGH, N. C.
 2/2/23

MARK	DATE	DESCRIPTION
DN	01-14-19	STRUCT. DWGS. REV.
CH	05-28-19	ELEVATIONS
CH	12-10-19	JRD CAR GARAGE EXT.
AM	01-14-21	RE-STAMP SHEET
AM	09-09-21	RE-STAMP SHEET
JW	02-07-23	NEEL'S POINT
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.

PROJECT NO. 113-88
 DATE 01-08-18
 SCALE AS NOTED
 DRAWN BY JK
 CHECKED BY JW
 ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

CLIENT
CHESAPEAKE HOMES OF NC
 3100 SmokeTree Court,
 Suite 210
 Raleigh, NC 27604
 (919) 256-3060
 (919) 556-0690 Fax

DRAWING TITLE
FIRST FLOOR PLAN OPTIONS

SHEET
3.0

STRUCTURAL DESIGN BY:
SOUTHERN ENGINEERS, P.A.
3716 BENSON DR., RALEIGH, NC 27609
LICENSE: C-4772, PHONE: 919-878-1617
PROJECT # 19-1000

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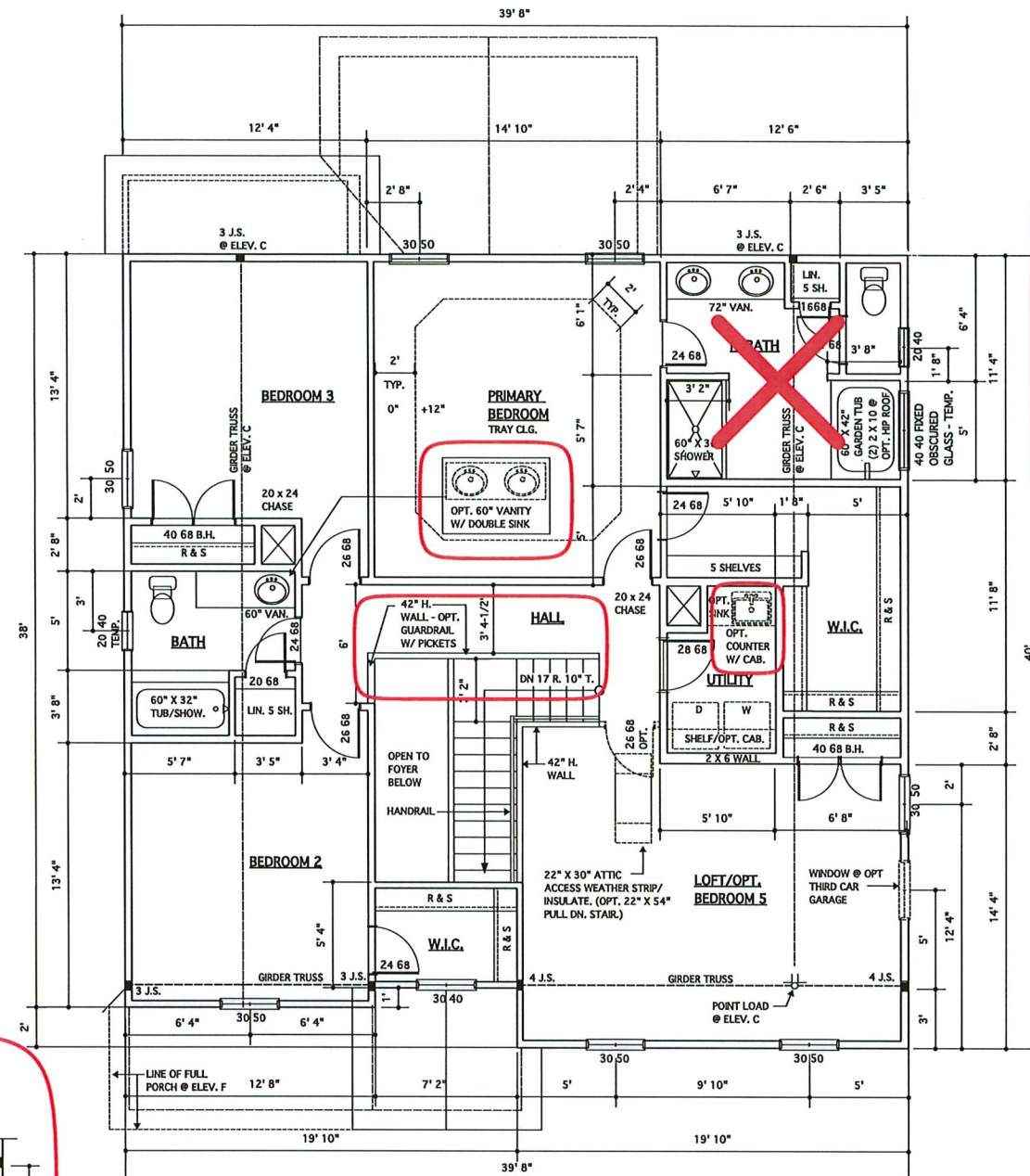
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NOTES:

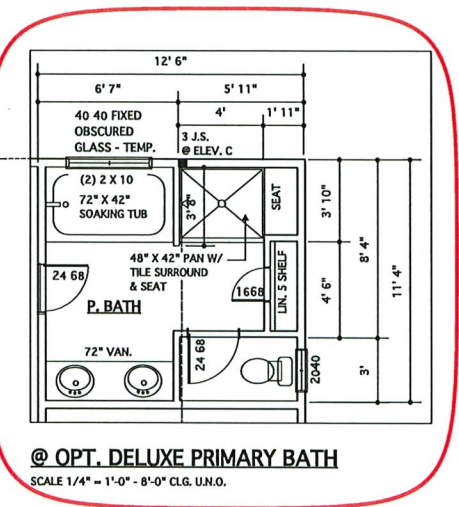
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NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WANSICOT/VENEER TYPES & LOCATIONS

LEGEND

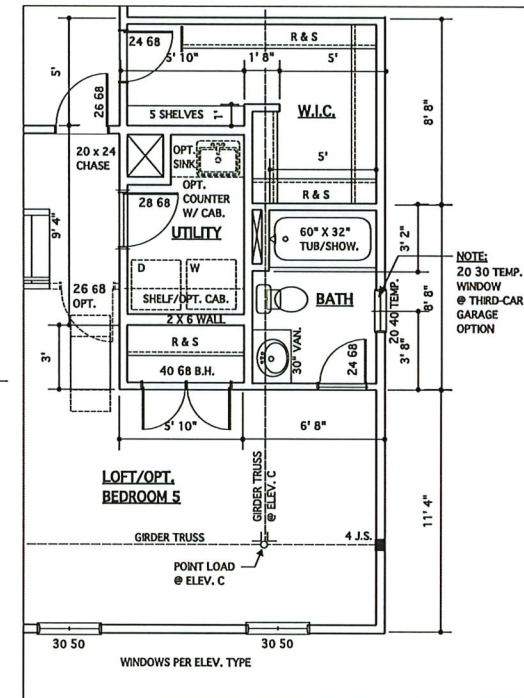
- INTERIOR LOAD BEARING WALL
- DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE
- SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES



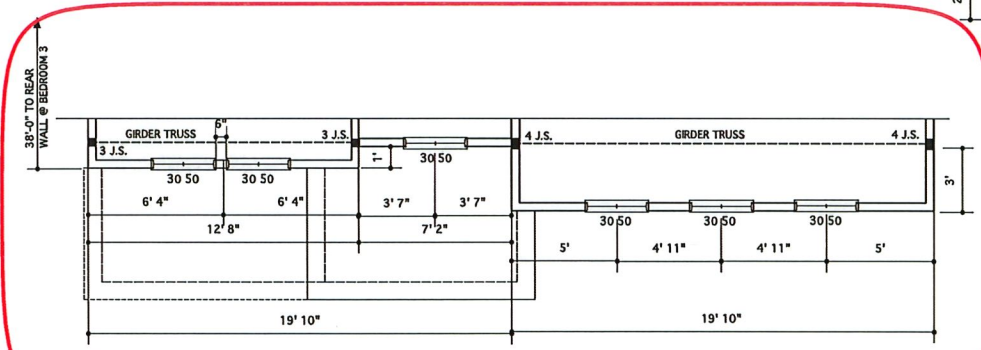
SECOND FLOOR PLAN @ ELEV. B/F
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.
SEE ELEV. SHEET FOR ROOF PLAN



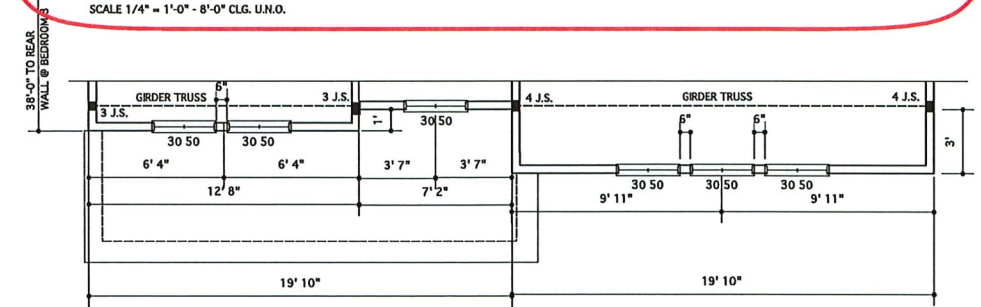
@ OPT. DELUXE PRIMARY BATH
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.



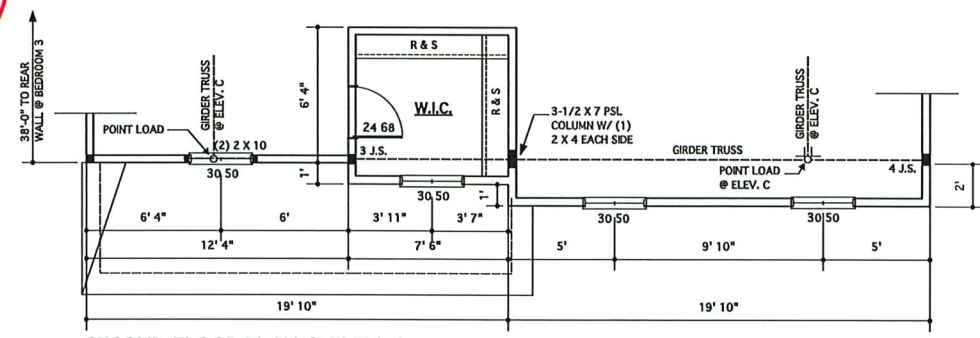
OPT. BATH & CLOSET
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.



SECOND FLOOR PLAN @ ELEV. A
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.



SECOND FLOOR PLAN @ ELEV. D
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.



SECOND FLOOR PLAN @ ELEV. C
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.

**JAMES WENTLING/
ARCHITECT**
LAND TITLE BUILDING
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REVISIONS	DATE	DESCRIPTION
DN	01-14-19	STRUCT. DWGS. REV.
CH	05-28-19	FULL PORCH OPT.
AM	01-14-21	REBAMP SHEET
AM	09-09-21	M. BATH WINDOW REV.
JW	02-07-23	NEEL'S POINT/FARM
DN	02-15-23	OPT. EXT. FINISHES
DN	02-23-23	1'-0" DINING EXTENSION/STRUCT. DWGS. REV.

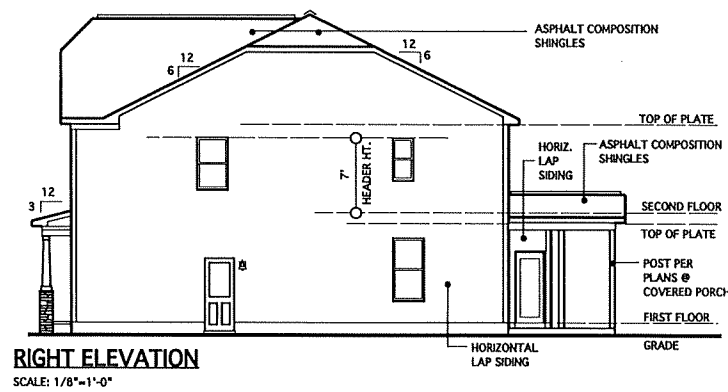
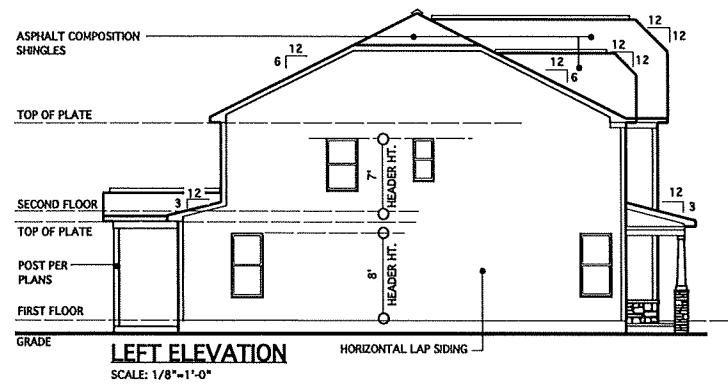
PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	JK
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

CLIENT
CHESAPEAKE HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
SECOND FLOOR PLANS

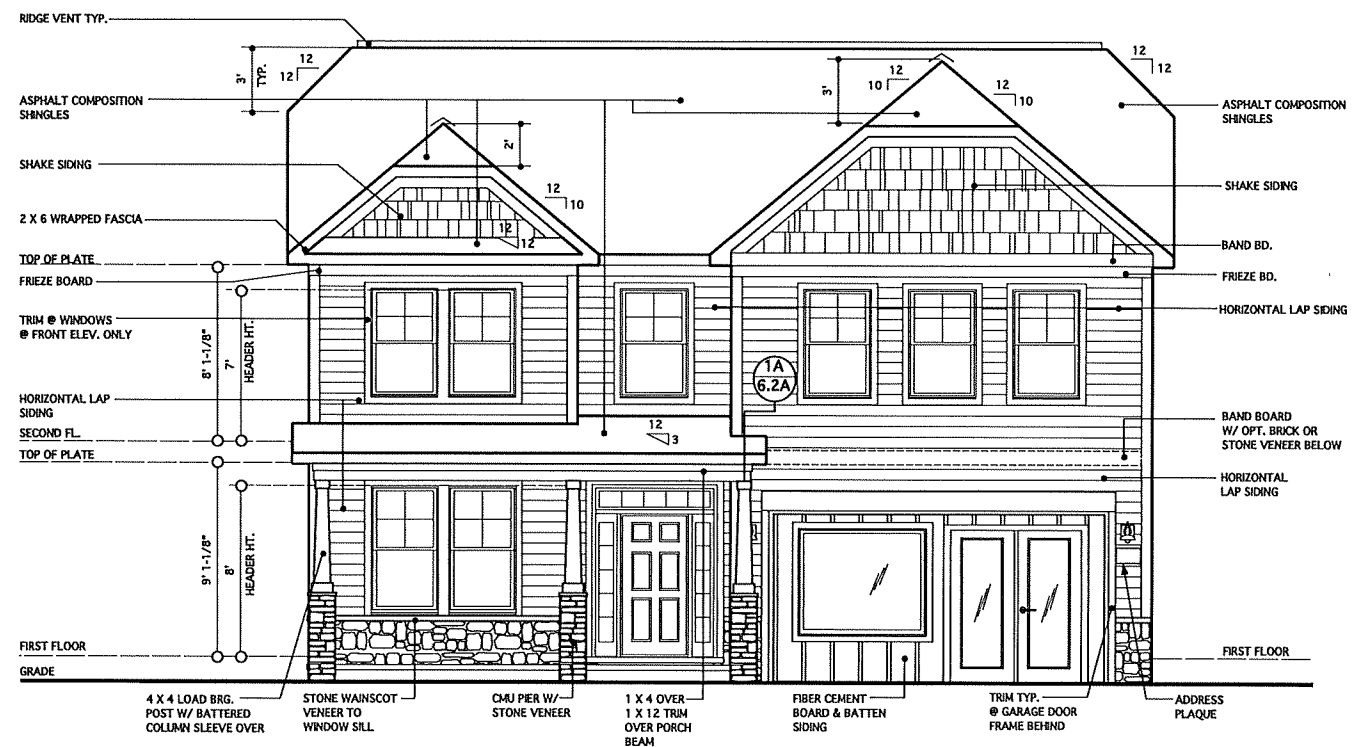
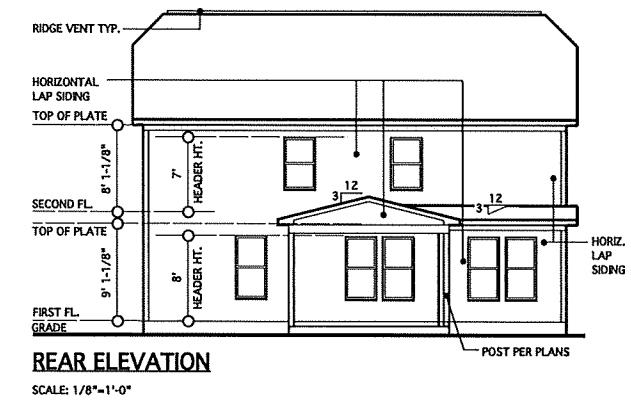
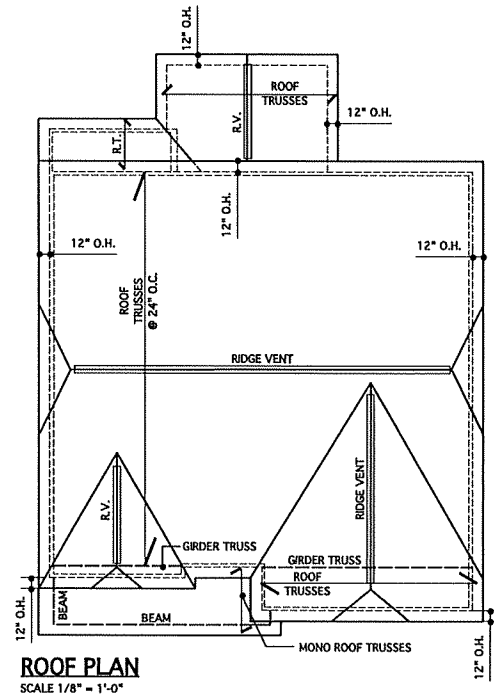
SHEET
3.1



REQUIRED VENTILATION SCHEDULE		
	1,942 SQ. FT. OF CEILING AREA / 300	= 6.48 SQ. FT. REQ.
ROOF VENTS	6.48 X 0.5 = 3.24 SQ. FT. 3.24 SQ. FT. X 144 = 466 SQ. IN. 466 SQ. IN. / 18 SQ. IN. = 26 (18 SQ. IN. PER LIN. FT.)	= 26 LIN. FT. REQ. 74 LIN. FT. PROVIDED
SOFFIT VENTS	6.48 X 0.5 = 3.24 SQ. FT. 3.24 SQ. FT. X 144 = 466 SQ. IN. 466 SQ. IN. / 9 SQ. IN. = 52 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.)	= 52 LIN. FT. REQ. 82 LIN. FT. PROVIDED

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

NOTE:
BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS



**JAMES WENTLING/
ARCHITECT**

LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 1524
PHILADELPHIA, PA 19110

(215) 568-2555
email - information@
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ARCHITECTURE
LAND PLANNING
GRAPHICS

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DATE	DESCRIPTION
01-14-21	RESTAMP SHEET
09-09-21	M. BATH WINDOW
02-07-23	NEILL'S POINT/FARM
02-15-23	OPT. EXT. FINISHES
02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.
04-19-23	SALES OFFICE - LOT 104

PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
USED FOR	PERMITS/CONSTRUCTION

**MODEL 6260 -
GARAGE RIGHT
THE FARM AT NEILL'S
CREEK - SALES OFFICE -
LOT 104**

CLIENT
**CHESAPEAKE
HOMES OF NC**
3100 Smoketree Court,
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Raleigh, NC 27604
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(919) 556-0690 Fax

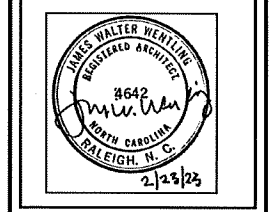
DRAWING TITLE
**ELEVATION A
AND ROOF PLAN**

SHEET
4

**JAMES WENTLING/
ARCHITECT**
LAND TITLE BUILDING
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REVISIONS		
DATE	BY	DESCRIPTION
12-10-19	AL	WINDOW UPDATE
12-10-19	CH	3RD CAR GARAGE EXT.
01-14-21	JM	RE-STAMP SHEET
09-09-21	AM	M. BATH WINDOW
02-07-23	JW	NEILL'S POINT/FARM
02-15-23	DN	OPT. EXT. FINISHES
02-23-23	DN	1'-0" DINING EXTENSION/STRUCT. DWGS. REV.

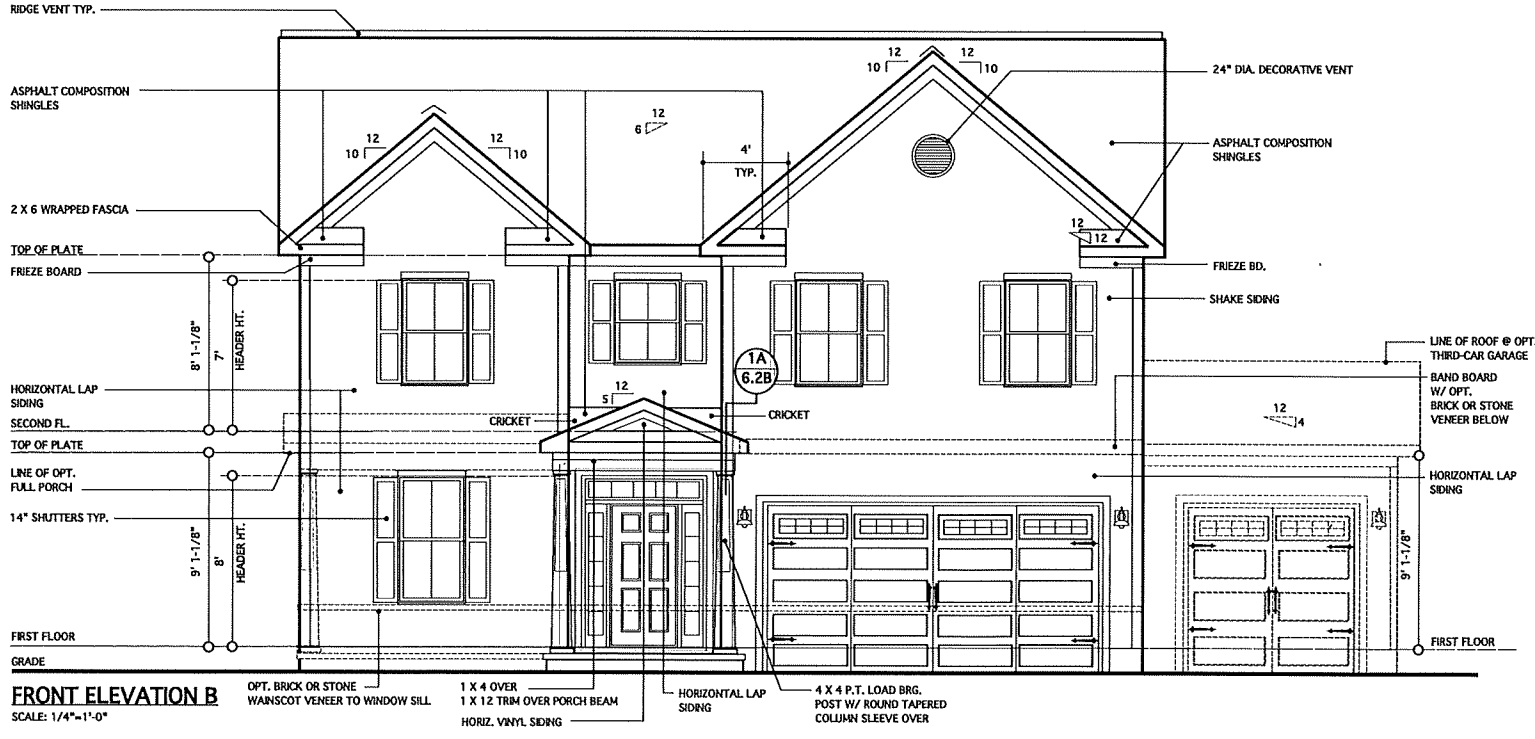
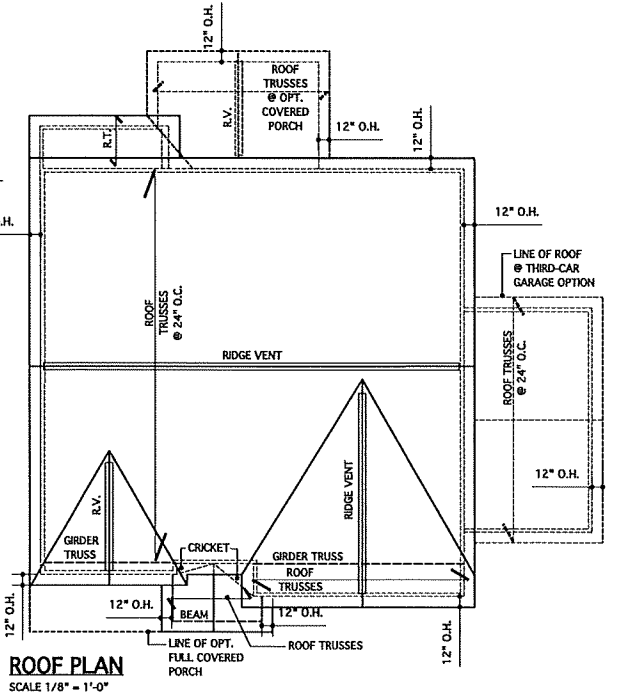
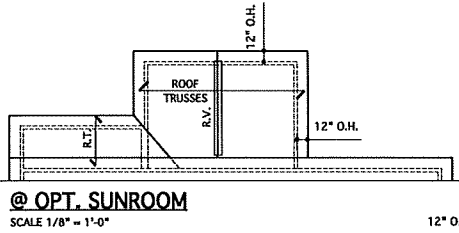
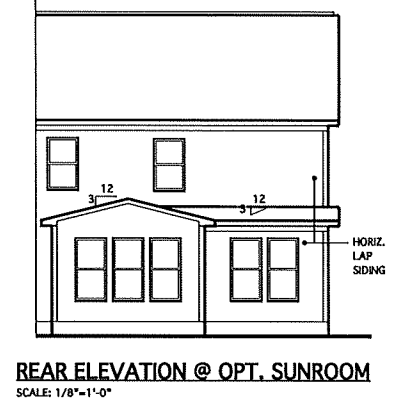
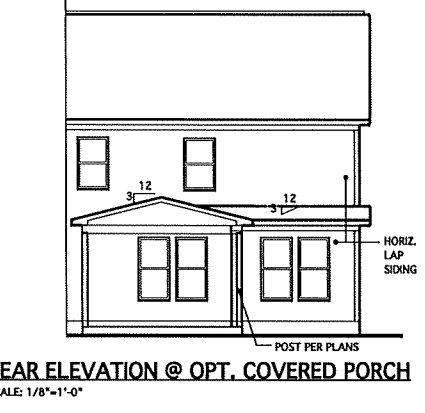
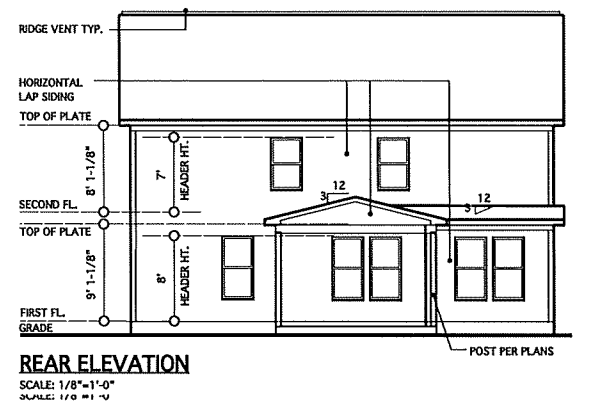
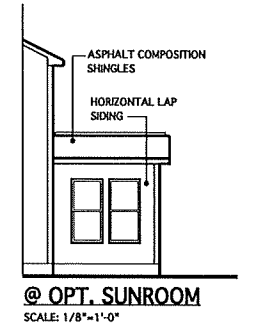
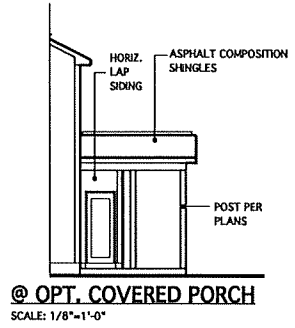
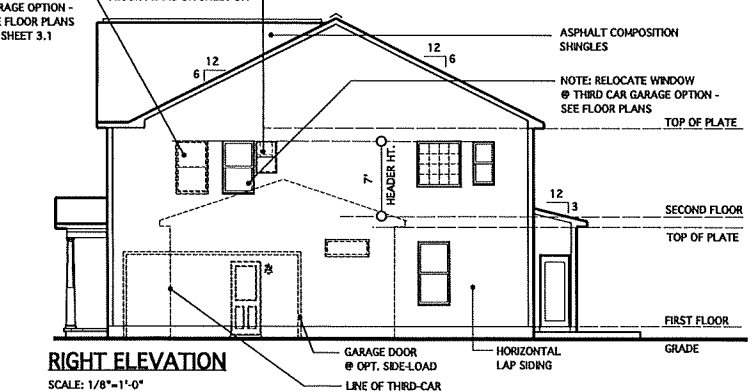
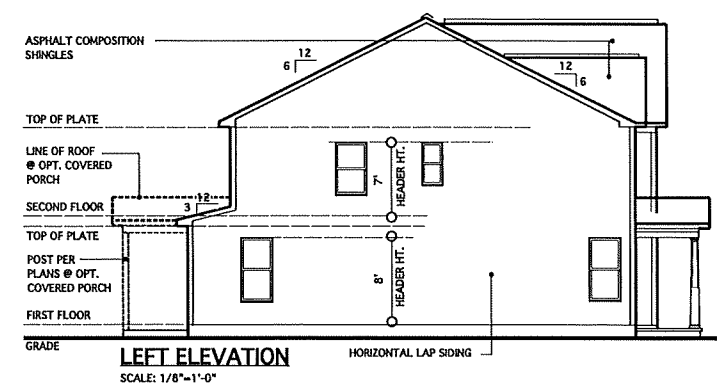
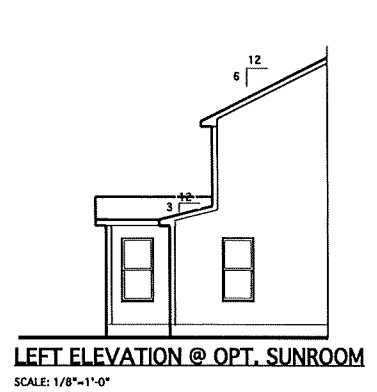
PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

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(919) 556-0690 Fax

DRAWING TITLE
ELEVATION B AND ROOF PLAN

SHEET
4.1

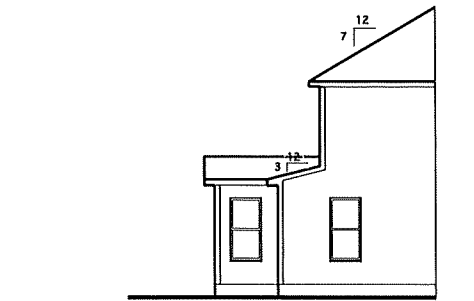


REQUIRED VENTILATION SCHEDULE - SUNROOM		
ROOF VENTS	142 SQ. FT. OF CEILING AREA / 300	= 0.48 SQ. FT. REQ.
0.48 X 0.5 = 0.24 SQ. FT.	0.24 SQ. FT. X 144 = 34 SQ. IN.	= 2 LIN. FT. REQ.
34 SQ. IN. / 18 SQ. IN. = 2	(18 SQ. IN. PER LIN. FT.)	12 LIN. FT. PROVIDED
SOFFIT VENTS	0.48 X 0.5 = 0.24 SQ. FT.	= 3.8 LIN. FT. REQ.
0.24 SQ. FT. X 144 = 34 SQ. IN.	34 SQ. IN. / 9 SQ. IN. = 3.8 LIN. FT.	24 LIN. FT. PROVIDED
(9 SQ. IN. VENT PER LIN. FT.)		

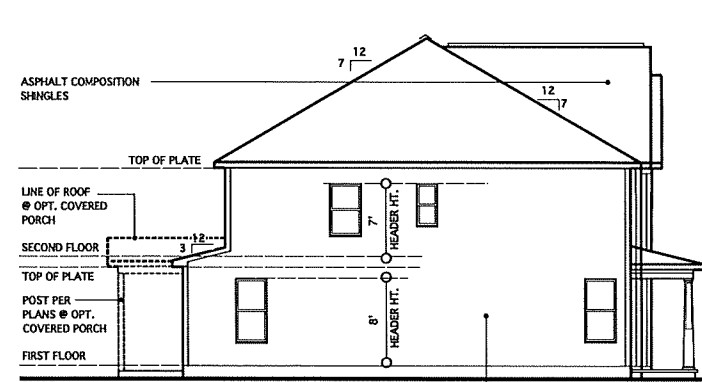
REQUIRED VENTILATION SCHEDULE - MAIN HOUSE		
ROOF VENTS	1,806 SQ. FT. OF CEILING AREA / 300	= 6 SQ. FT. REQ.
6 X 0.5 = 3 SQ. FT.	3 SQ. FT. X 144 = 432 SQ. IN.	= 24 LIN. FT. REQ.
432 SQ. IN. / 18 SQ. IN. = 24	(18 SQ. IN. PER LIN. FT.)	70 LIN. FT. PROVIDED
SOFFIT VENTS	6 X 0.5 = 3 SQ. FT.	= 48 LIN. FT. REQ.
3 SQ. FT. X 144 = 432 SQ. IN.	432 SQ. IN. / 9 SQ. IN. = 48 LIN. FT.	78 LIN. FT. PROVIDED
(9 SQ. IN. VENT PER LIN. FT.)		

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

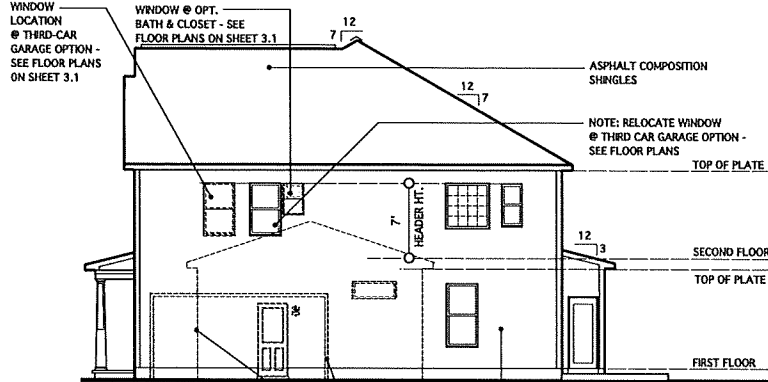
NOTE:
BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS



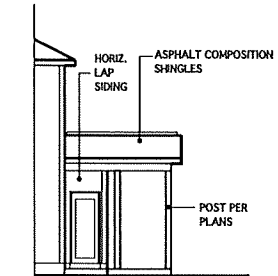
LEFT ELEVATION @ OPT. SUNROOM UNROOM
SCALE: 1/8"=1'-0"



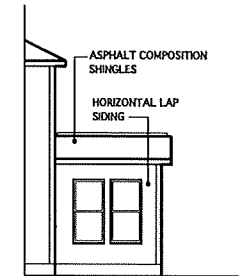
LEFT ELEVATION
SCALE: 1/8"=1'-0"



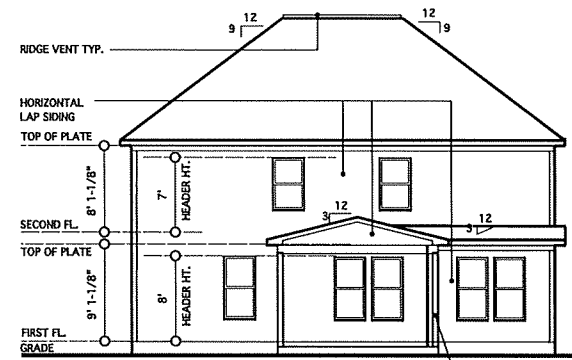
RIGHT ELEVATION
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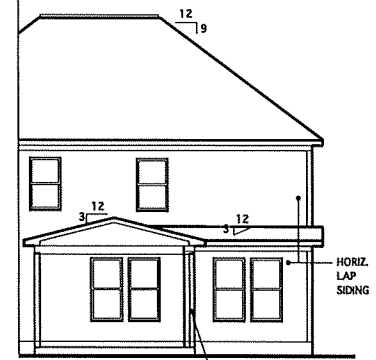
@ OPT. COVERED PORCH
SCALE: 1/8"=1'-0"



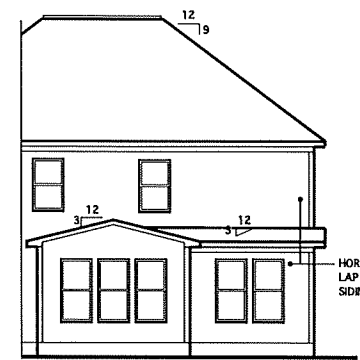
@ OPT. SUNROOM
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"



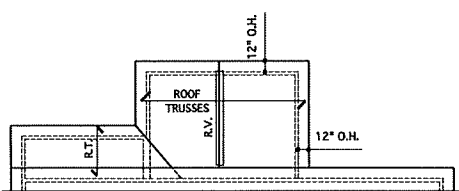
REAR ELEVATION @ OPT. COVERED PORCH
SCALE: 1/8"=1'-0"



REAR ELEVATION @ OPT. SUNROOM
SCALE: 1/8"=1'-0"



FRONT ELEVATION W/ SIDE LOAD GARAGE
SCALE: 1/8"=1'-0"



@ OPT. SUNROOM
SCALE: 1/8"=1'-0"

REQUIRED VENTILATION SCHEDULE - SUNROOM

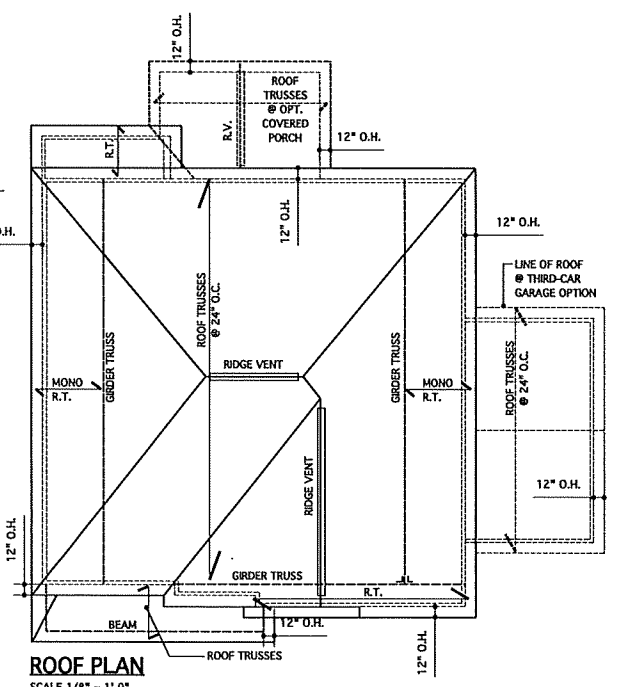
142 SQ. FT. OF CEILING AREA / 300 = 0.48 SQ. FT. REQ.	
ROOF VENTS	0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 18 SQ. IN. = 2 (18 SQ. IN. PER LIN. FT.)
	= 2 LIN. FT. REQ. 12 LIN. FT. PROVIDED
SOFFIT VENTS	0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 9 SQ. IN. = 3.8 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.)
	= 3.8 LIN. FT. REQ. 24 LIN. FT. PROVIDED

REQUIRED VENTILATION SCHEDULE - MAIN HOUSE

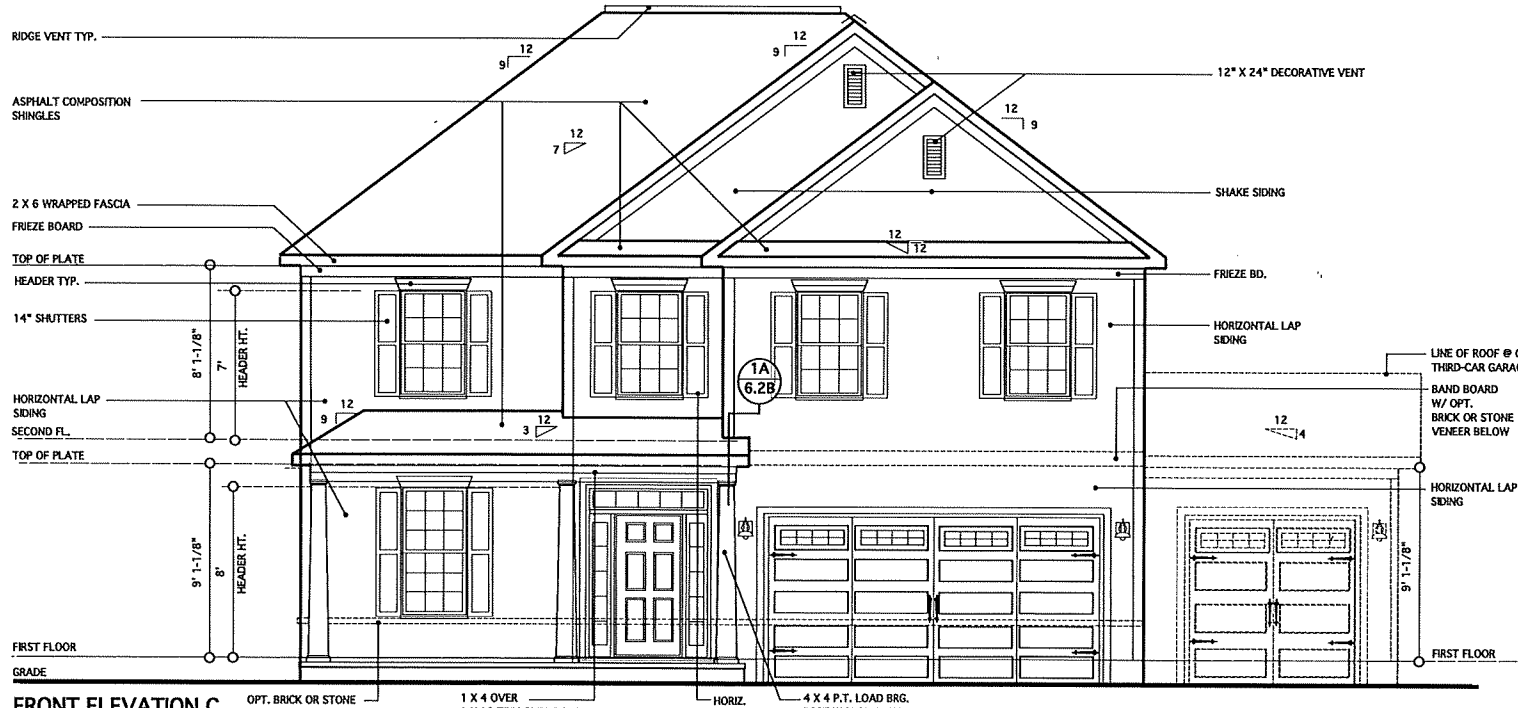
1,806 SQ. FT. OF CEILING AREA / 300 = 6 SQ. FT. REQ.	
ROOF VENTS	6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 18 SQ. IN. = 24 (18 SQ. IN. PER LIN. FT.)
	= 24 LIN. FT. REQ. 29 LIN. FT. PROVIDED
SOFFIT VENTS	6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 9 SQ. IN. = 48 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.)
	= 48 LIN. FT. REQ. 144 LIN. FT. PROVIDED

CODE REFERENCE: 2018 NCSCB, RESIDENTIAL CODE, R806.2

NOTE:
BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS



ROOF PLAN
SCALE: 1/8"=1'-0"

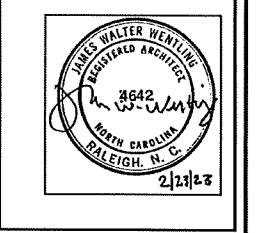


FRONT ELEVATION C
SCALE: 1/4"=1'-0"

**JAMES WENTLING/
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LAND PLANNING
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REVISIONS

DATE	DESCRIPTION
12-10-19	WINDOW UPDATE
12-10-19	3RD CAR GARAGE EXT.
01-14-21	RE-STAMP SHEET
09-09-21	M. BATH WINDOW
02-07-23	NEILL'S POINT/FARM
02-15-23	OPT. EXT. FINISHES
02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.

PROJECT NO. 113-88
DATE 01-08-18
SCALE AS NOTED
DRAWN BY DN
CHECKED BY JW
ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT
CLIENT
CHESAPEAKE HOMES OF NC
3100 SmokeTree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
ELEVATION C AND ROOF PLAN

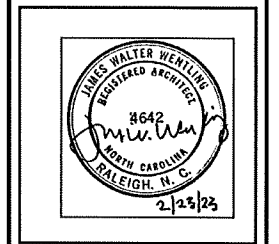
SHEET
4.2

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**JAMES WENTLING/
ARCHITECT**
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email - info@jwarch.com
wentling@houseplans.com

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REVISIONS		
DATE	DESCRIPTION	BY
12-10-19	WINDOW UPDATE	AL
12-10-19	3RD CAR GARAGE EXT.	CH
01-14-21	RE-STAMP SHEET	AM
09-09-21	M. BATH WINDOW	AM
02-07-23	NEILL'S POINT/FARM	JW
02-15-23	OPT. EXT. FINISHES	DN
02-23-23	1'-0" DINING EXTENSION/STRUCT. DWGS. REV.	DN

PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
USED FOR	PERMITS/CONSTRUCTION

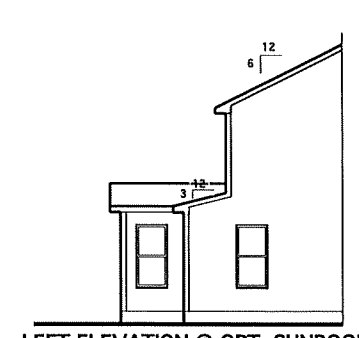
PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT**

CLIENT
CHESAPEAKE HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
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(919) 556-0690 Fax

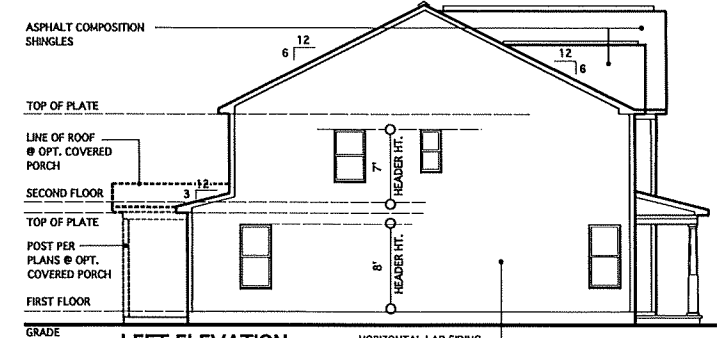
DRAWING TITLE
**ELEVATION D
AND ROOF PLAN**

SHEET
43

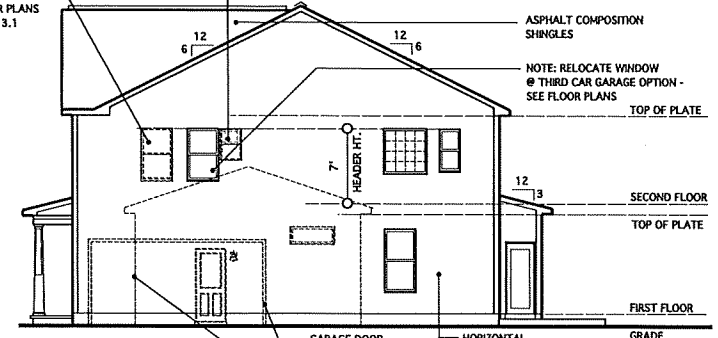
© Copyright 2018 James Wentling/Architect



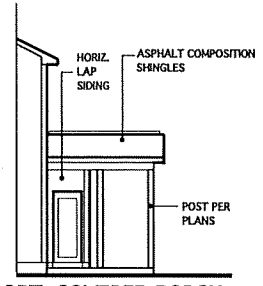
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SCALE: 1/8"=1'-0"



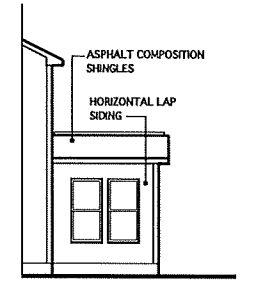
LEFT ELEVATION
SCALE: 1/8"=1'-0"



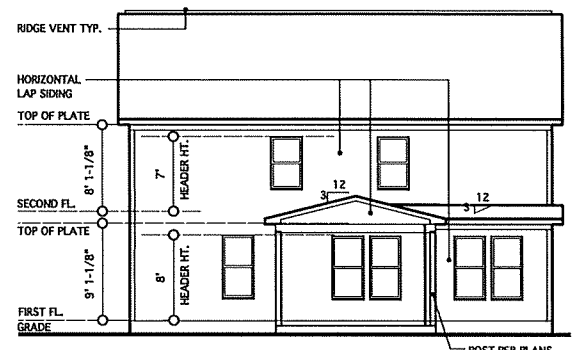
RIGHT ELEVATION
SCALE: 1/8"=1'-0"



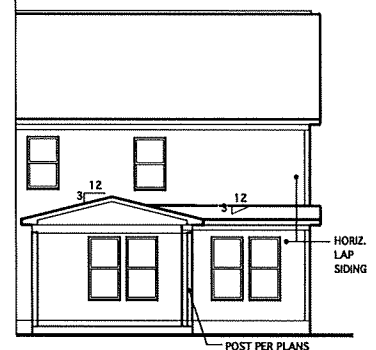
@ OPT. COVERED PORCH
SCALE: 1/8"=1'-0"



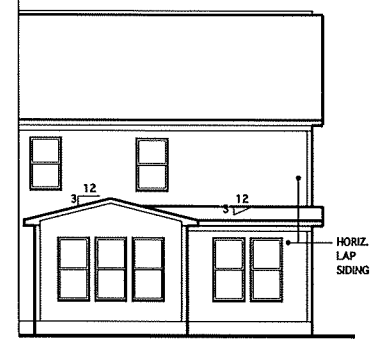
@ OPT. SUNROOM
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"



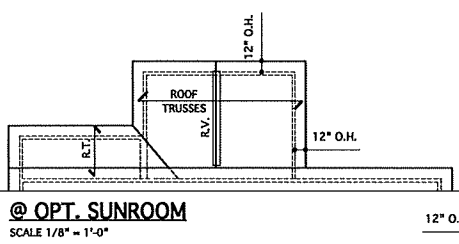
REAR ELEVATION @ OPT. COVERED PORCH
SCALE: 1/8"=1'-0"



REAR ELEVATION @ OPT. SUNROOM
SCALE: 1/8"=1'-0"



FRONT ELEVATION W/ SIDE LOAD GARAGE
SCALE: 1/8"=1'-0"

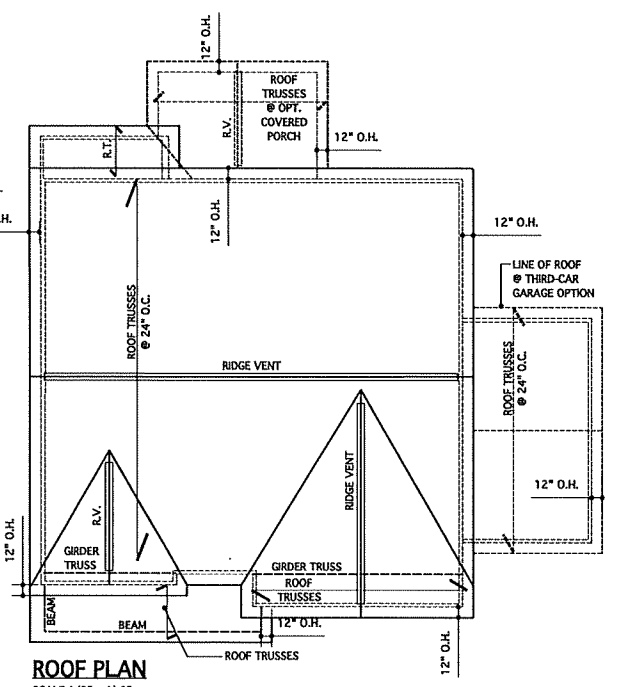


@ OPT. SUNROOM
SCALE 1/8" = 1'-0"

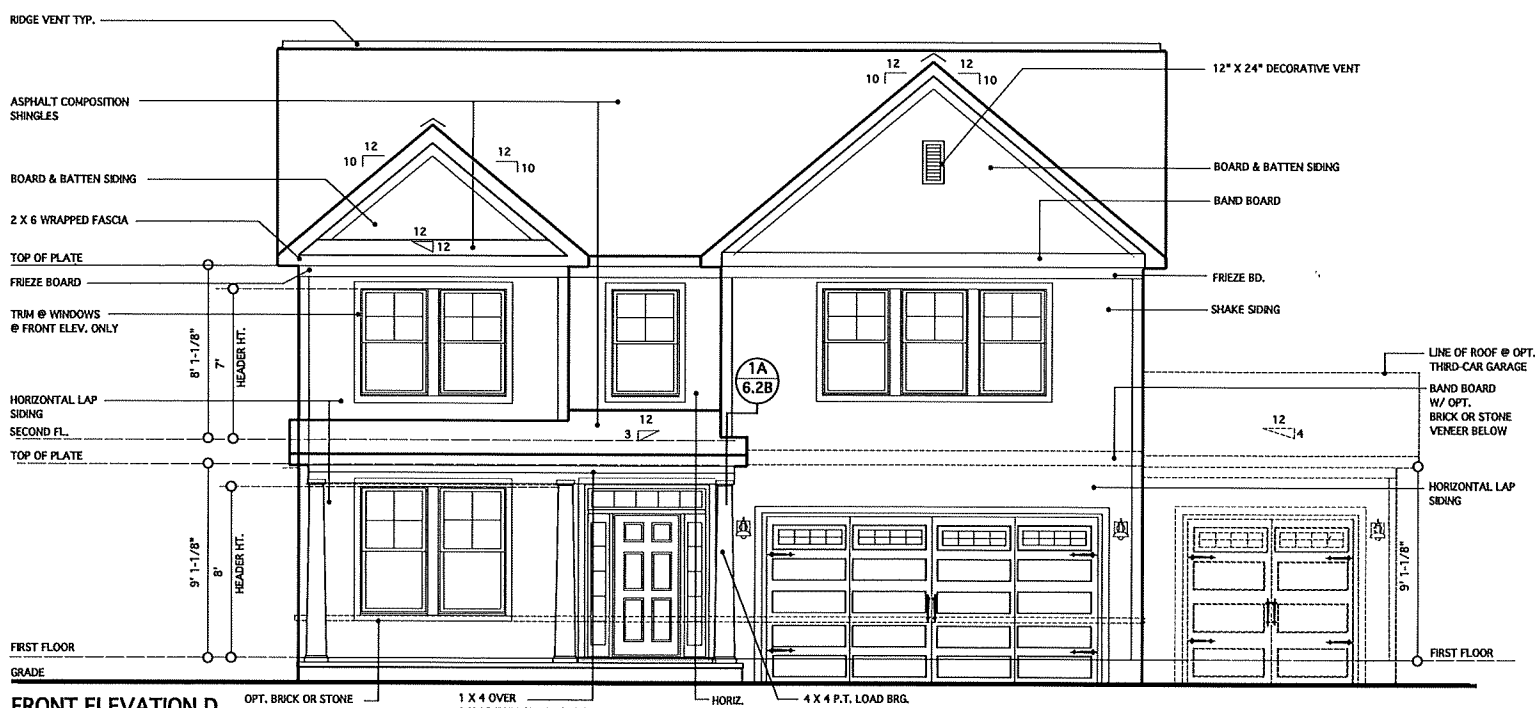
REQUIRED VENTILATION SCHEDULE - SUNROOM		
142 SQ. FT. OF CEILING AREA / 300 = 0.48 SQ. FT. REQ.		
ROOF VENTS	0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 18 SQ. IN. = 2 (18 SQ. IN. PER LIN. FT.)	= 2 LIN. FT. REQ. 12 LIN. FT. PROVIDED
SOFFIT VENTS	0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 9 SQ. IN. = 3.8 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.)	= 3.8 LIN. FT. REQ. 24 LIN. FT. PROVIDED

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, 8B06.2

NOTE:
BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS



ROOF PLAN
SCALE 1/8" = 1'-0"

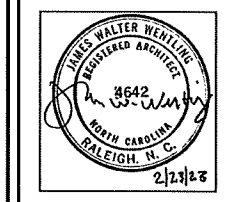


FRONT ELEVATION D
SCALE: 1/4"=1'-0"

**JAMES WENTLING/
ARCHITECT**
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ARCHITECTURE
LAND PLANNING
GRAPHICS

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REVISIONS

DATE	DESCRIPTION
12-10-19	WINDOW UPDATE
12-10-19	3RD CAR GARAGE EXT.
01-14-21	RE-STAMP SHEET
09-09-21	M. BATH WINDOW
03-07-23	NEILL'S POINT/FARM
02-15-23	OPT. EXT. FINISHES
02-23-23	1'-0" DINING EXTENSION/STRUCT. DWGS. REV.

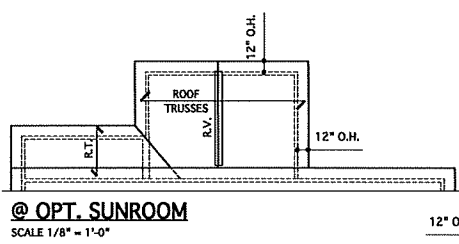
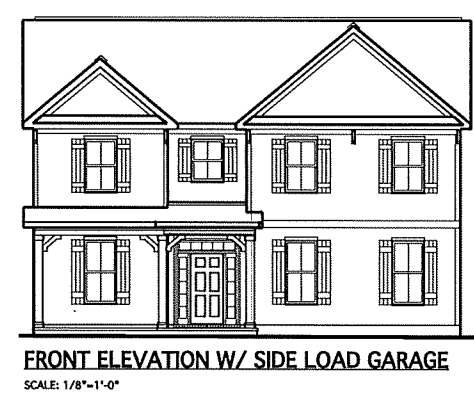
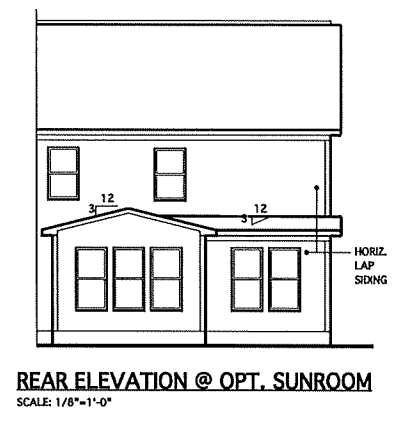
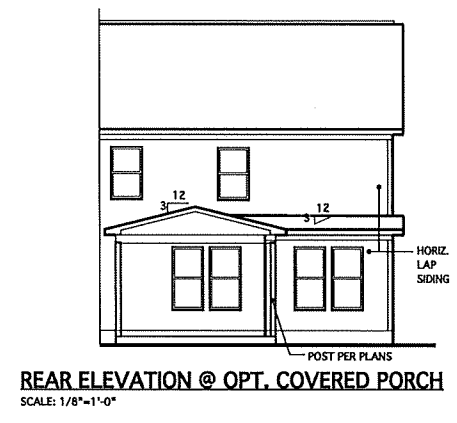
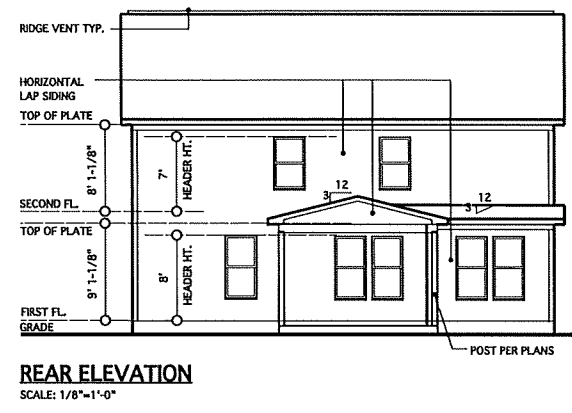
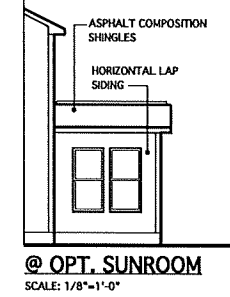
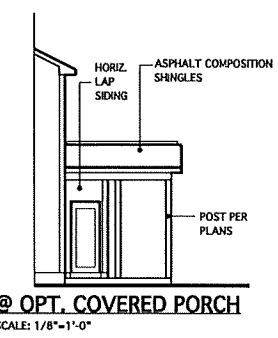
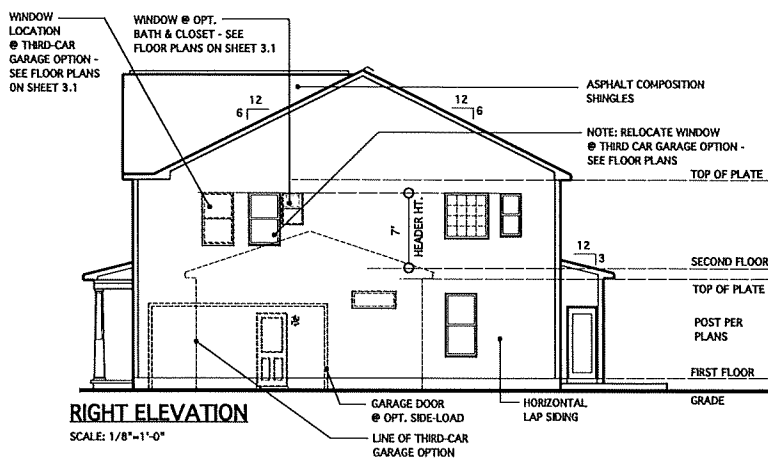
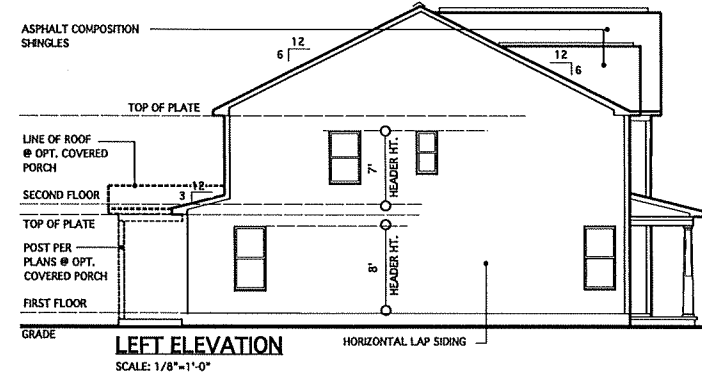
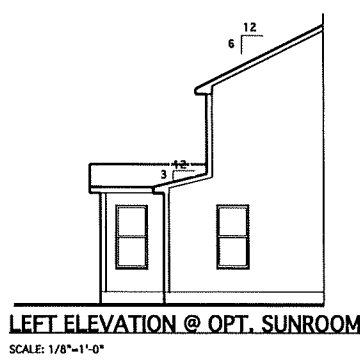
PROJECT NO. 113-88
DATE 01-08-18
SCALE AS NOTED
DRAWN BY DN
CHECKED BY JW
ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT
CLIENT
CHESAPEAKE HOMES OF NC
3100 Smokecreek Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
ELEVATION F AND ROOF PLAN

HEET
4.5

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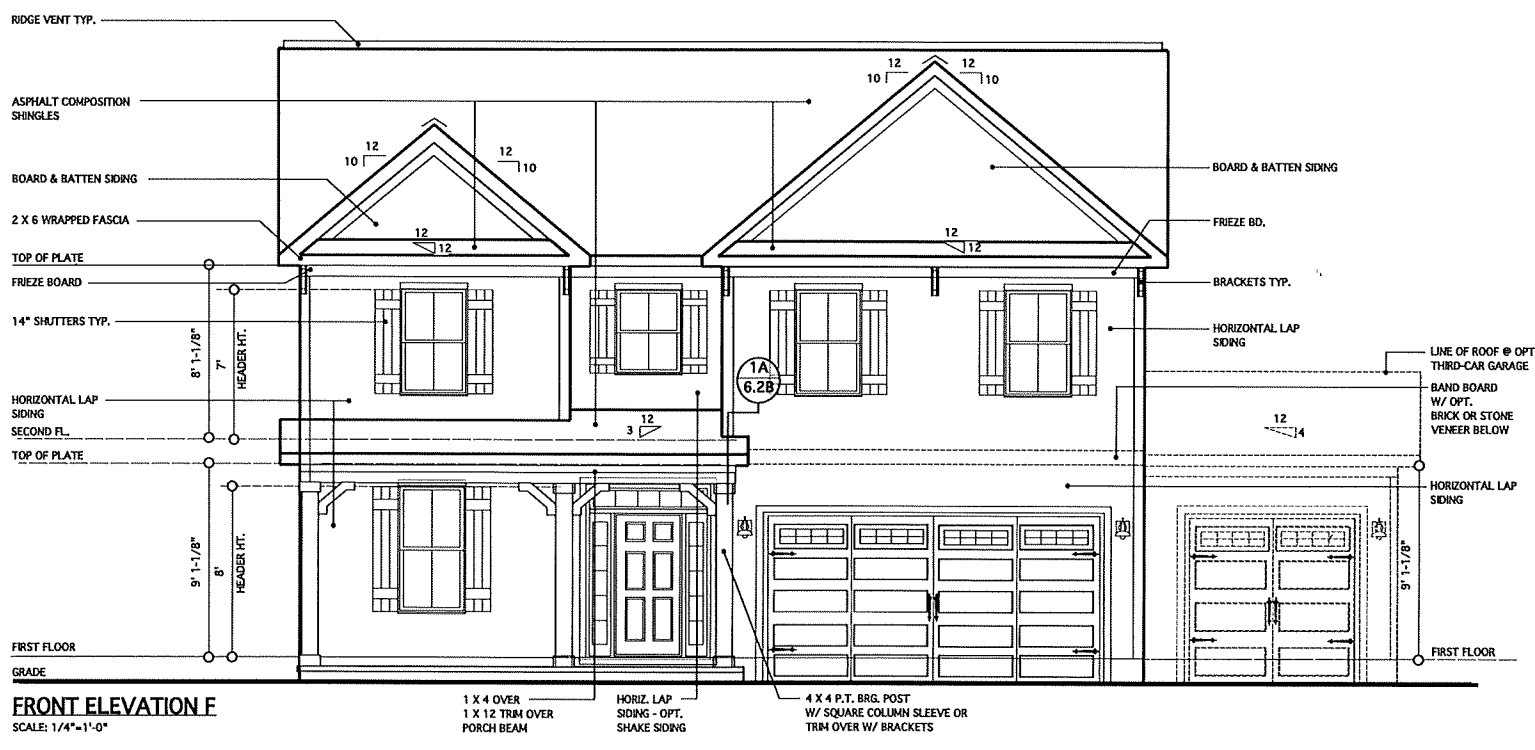
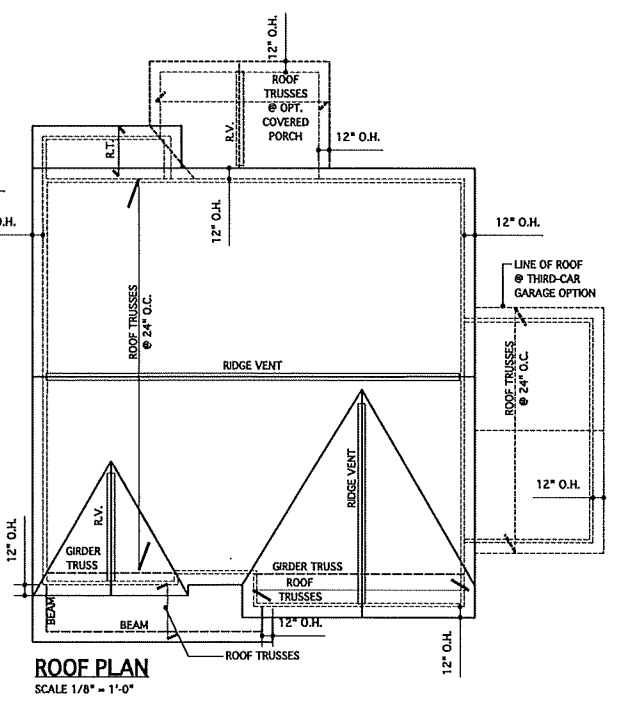
REQUIRED VENTILATION SCHEDULE - SUNROOM
142 SQ. FT. OF CEILING AREA / 300 = 0.48 SQ. FT. REQ.

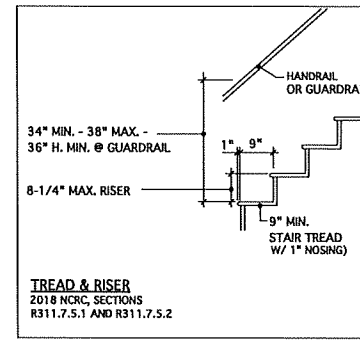
ROOF VENTS	ROOF TRUSSES @ 24" O.C.	RIDGE VENT
0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 18 SQ. IN. = 2 (18 SQ. IN. PER LIN. FT.)	2 LIN. FT. REQ. 12 LIN. FT. PROVIDED	
0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 9 SQ. IN. = 3.8 LIN. FT. REQ. (9 SQ. IN. VENT PER LIN. FT.)	3.8 LIN. FT. REQ. 24 LIN. FT. PROVIDED	

REQUIRED VENTILATION SCHEDULE - MAIN HOUSE
1,806 SQ. FT. OF CEILING AREA / 300 = 6 SQ. FT. REQ.

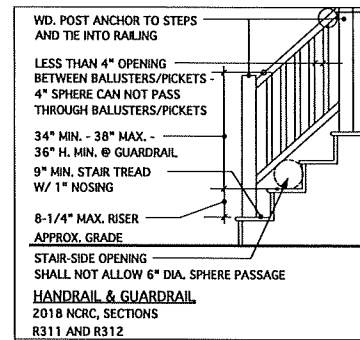
ROOF VENTS	ROOF TRUSSES @ 24" O.C.	RIDGE VENT
6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 18 SQ. IN. = 24 (18 SQ. IN. PER LIN. FT.)	24 LIN. FT. REQ. 70 LIN. FT. PROVIDED	
6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 9 SQ. IN. = 48 LIN. FT. REQ. (9 SQ. IN. VENT PER LIN. FT.)	48 LIN. FT. REQ. 78 LIN. FT. PROVIDED	

NOTE:
BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS

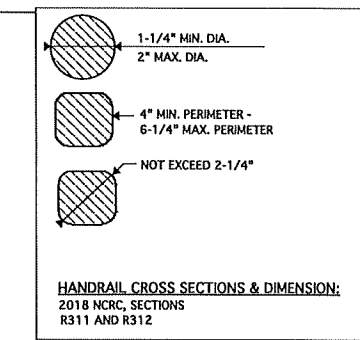




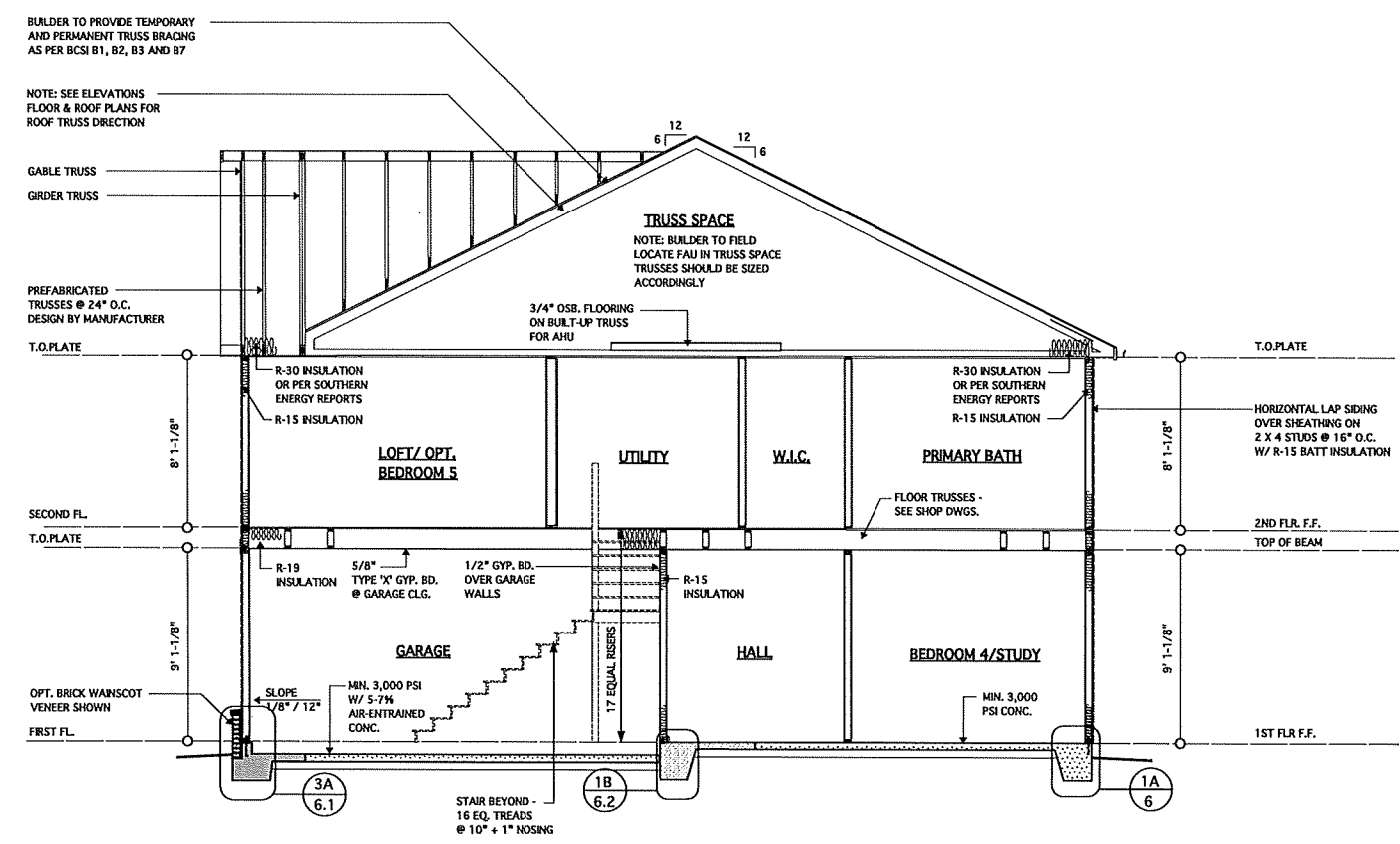
TYP. STAIR SECTION
NO SCALE
ALL STAIR AND GUARD REQUIREMENTS TO COMPLY WITH R-311 AND R-312 NCRC 2018



TYPICAL RAILING @ PORCH/DECK
SCALE: 1/2" = 1'-0"
(PROVIDE GUARDRAIL BOTH SIDES WHEN HEIGHT ABOVE GRADE EXCEEDS 30")
(PROVIDE HANDRAIL ONE SIDE OF STEPS WHERE 4 OR MORE RISERS)



HANDRAIL CROSS SECTIONS & DIMENSION:
2018 NCRC, SECTIONS R311 AND R312

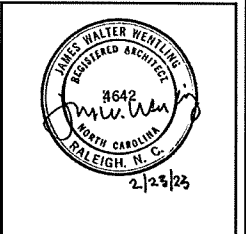


TYPICAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

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REVISIONS		
MARK	DATE	DESCRIPTION
DN	01-14-19	MINOR UPDATE
DN	03-30-20	BLDG. HT/CITY COMMENTS
DN	05-11-20	ADJUSTMENTS/NOTATIONS - CITY COMMENTS
AM	01-14-21	RE-STAMP SHEET
AM	09-09-21	RE-STAMP SHEET
JW	02-07-23	NEEL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/STRUCT. DWGS. REV.

PROJECT NO. 113-88
DATE 01-08-18
SCALE AS NOTED
DRAWN BY JK
CHECKED BY JW
ISSUED FOR PERMITS/CONSTRUCTION

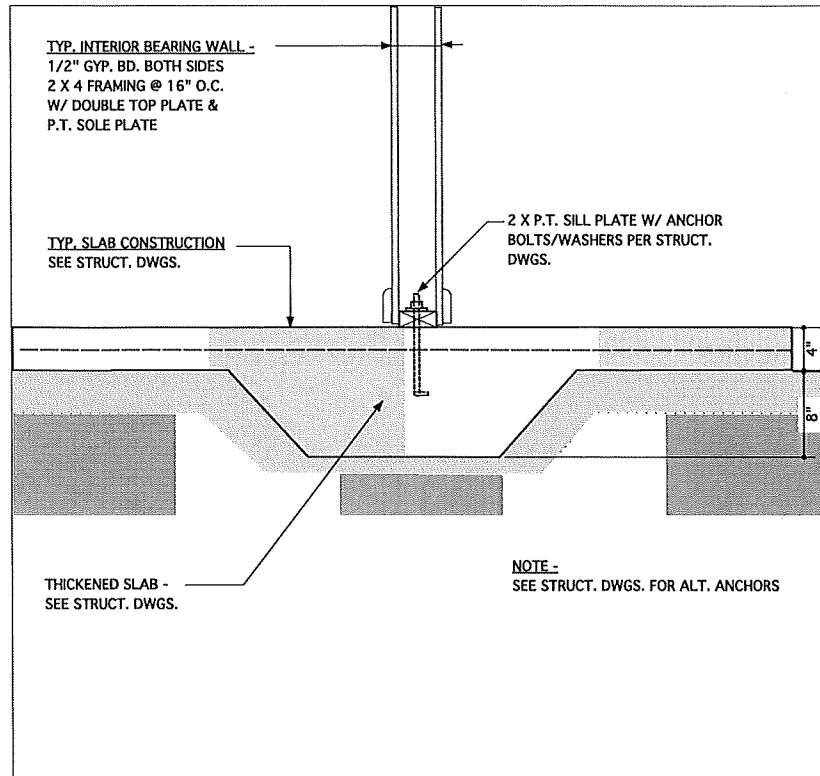
PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

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CHESAPEAKE HOMES OF NC
3100 SmokeTree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
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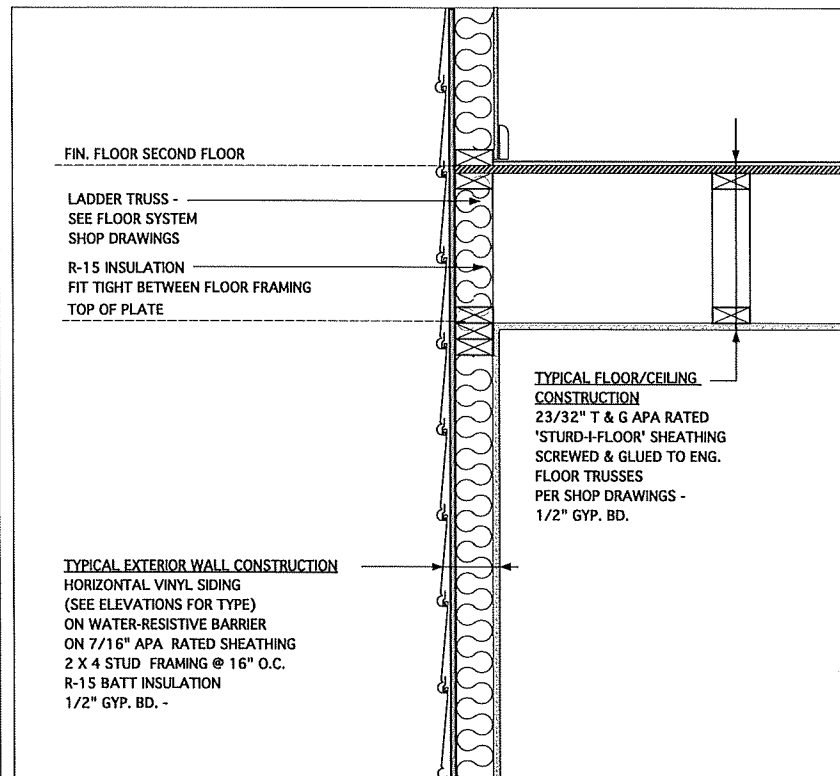
DRAWING TITLE
BUILDING SECTION

SHEET
5

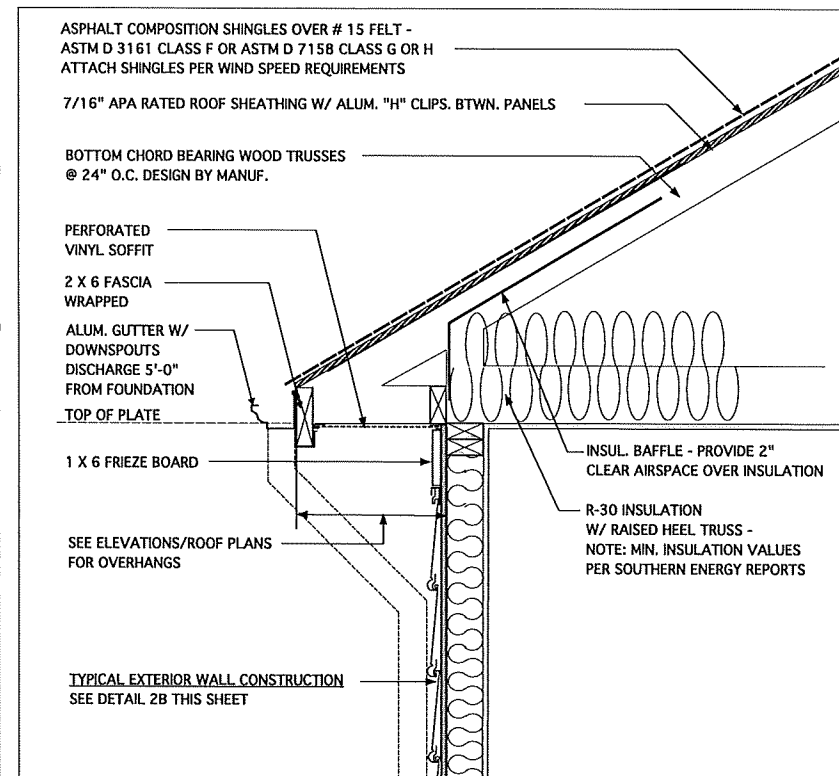
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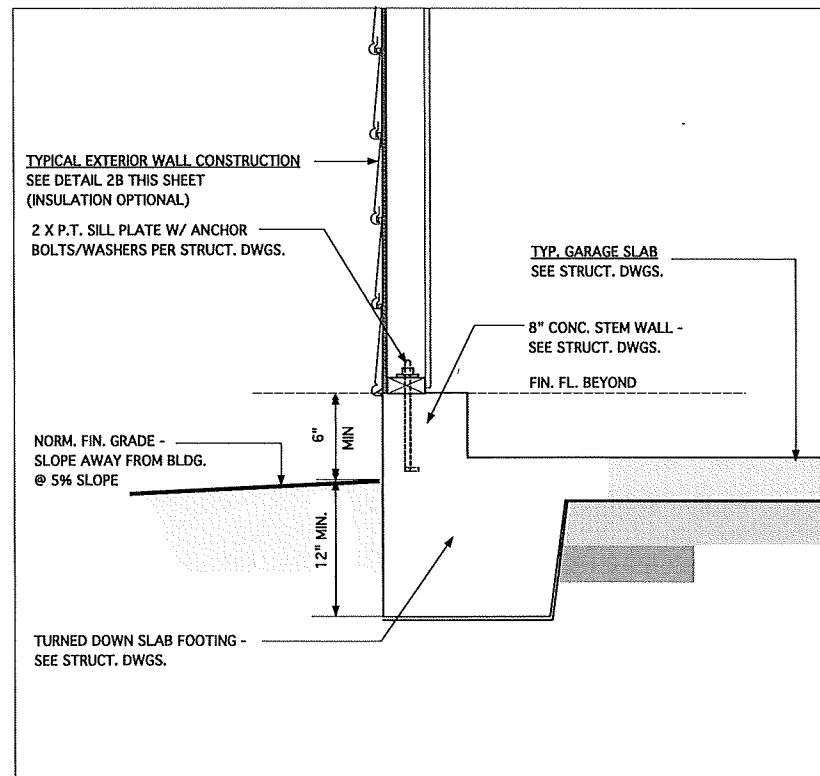
3B FOUNDATION DETAIL @ INTERIOR THICKENED SLAB



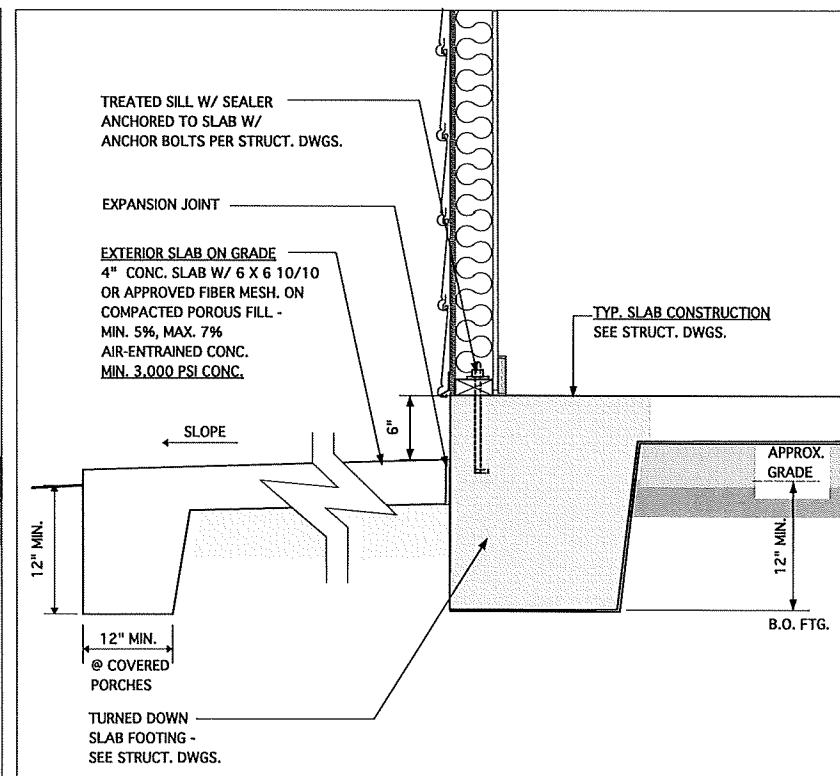
2B TYPICAL FLOOR / WALL DETAIL



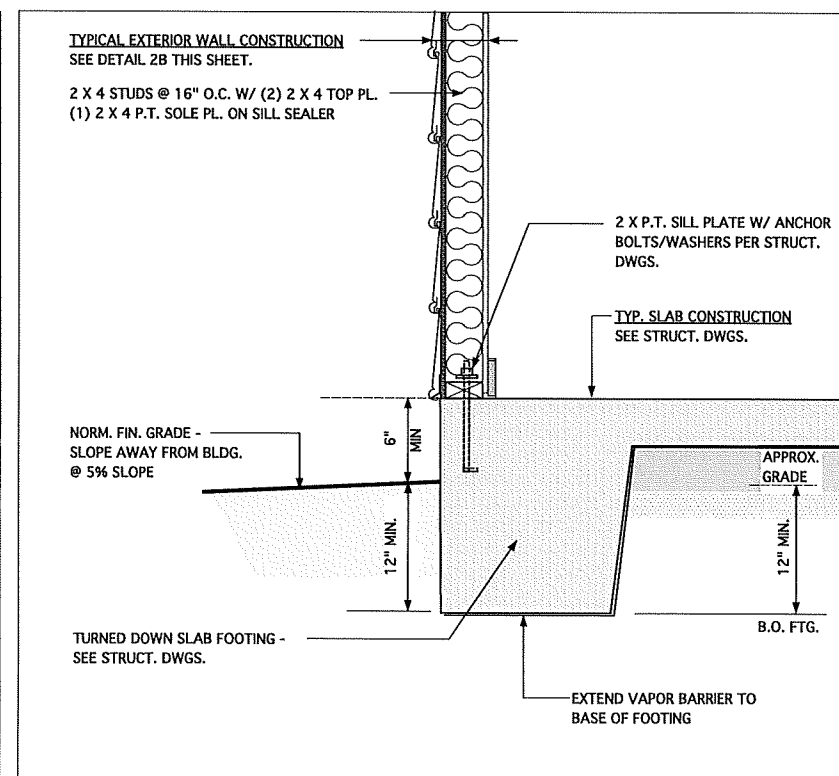
1B TYPICAL SOFFIT DETAIL



3A FOUND. DETAIL @ GARAGE EXTERIOR SIDE WALL



2A FOUND. DETAIL @ PATIO OR REAR COVERED PORCH



1A FOUND. DETAIL @ EXTERIOR WALL

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ARCHITECT**

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JAMES WALTER WENTLING
REGISTERED ARCHITECT
#642
J. W. WENTLING
NORTH CAROLINA
RALEIGH, N. C.
2/21/23

REVISIONS

MARK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHWAYS
DN	01-14-19	MINOR UPDATE
AM	01-14-21	RESTART SHEET
DN	02-09-21	OPT. PORCH FOOTINGS
AM	09-09-21	RESTART SHEET
JW	02-07-23	NEILL'S POINT/FARM

PROJECT NO. 113-88

DATE 10-16-17

SCALE 1-1/2" = 1'-0"

DRAWN BY DN

CHECKED BY JW

ISSUED FOR PERMITS/CONSTRUCTION

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DRAWING TITLE
**MONOLITHIC SLAB
FOUNDATION, WALL
AND SOFFIT DETAILS**

**JAMES WENTLING/
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REVISIONS		
DATE	BY	DESCRIPTION
12-18-18	DN	CONVERT HIGHGATE
01-14-21	AM	RE-STAMP SHEET
09-09-21	AM	RE-STAMP SHEET
02-07-23	JW	NEILL'S POINT/FARM

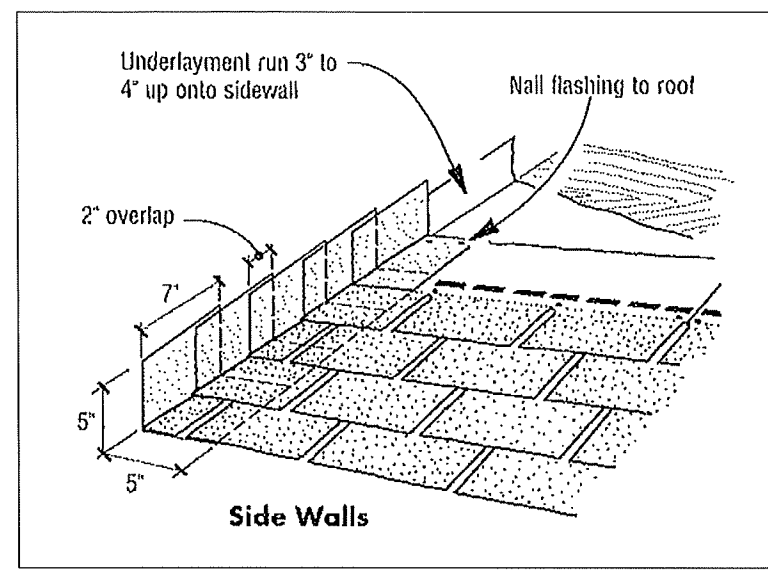
PROJECT NO.	113-88
DATE	10-16-17
SCALE	1-1/2" = 1'-0" U.N.O.
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TITLE
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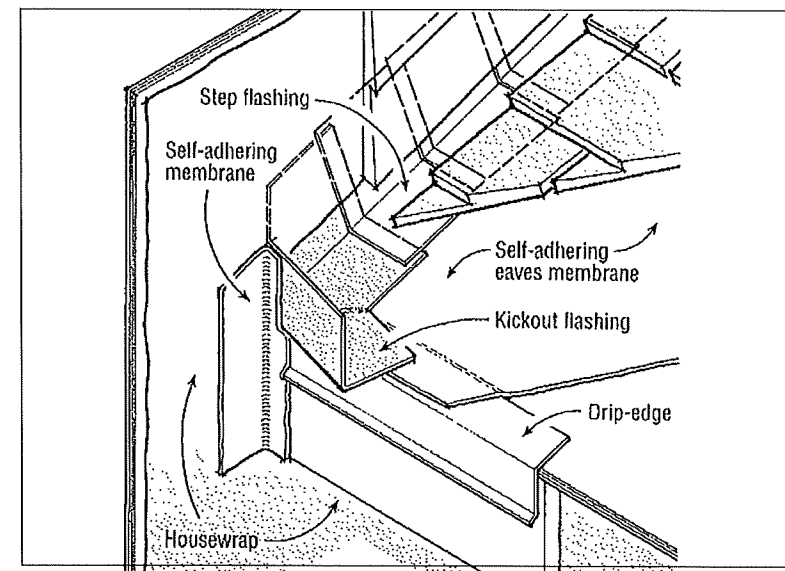
CLIENT
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HOMES OF NC**
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Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
**MONOLITHIC SLAB
FOUNDATION AND
WALL DETAILS**

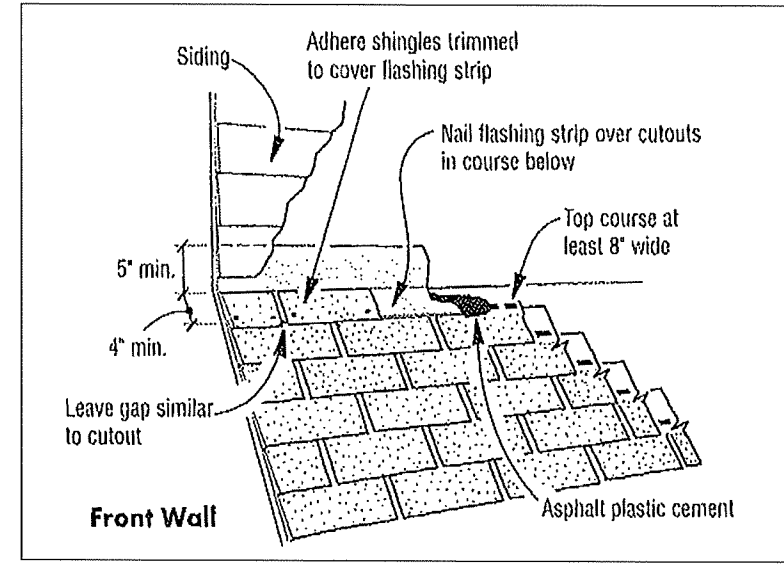
HEET
6.1



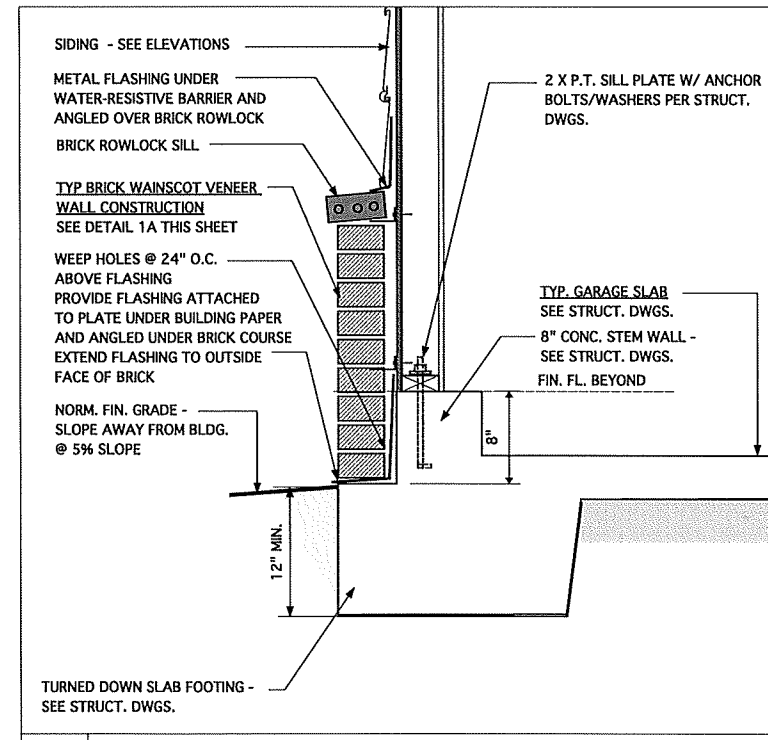
3B ROOF FLASHING AGAINST SIDE WALL DETAIL
N.T.S.



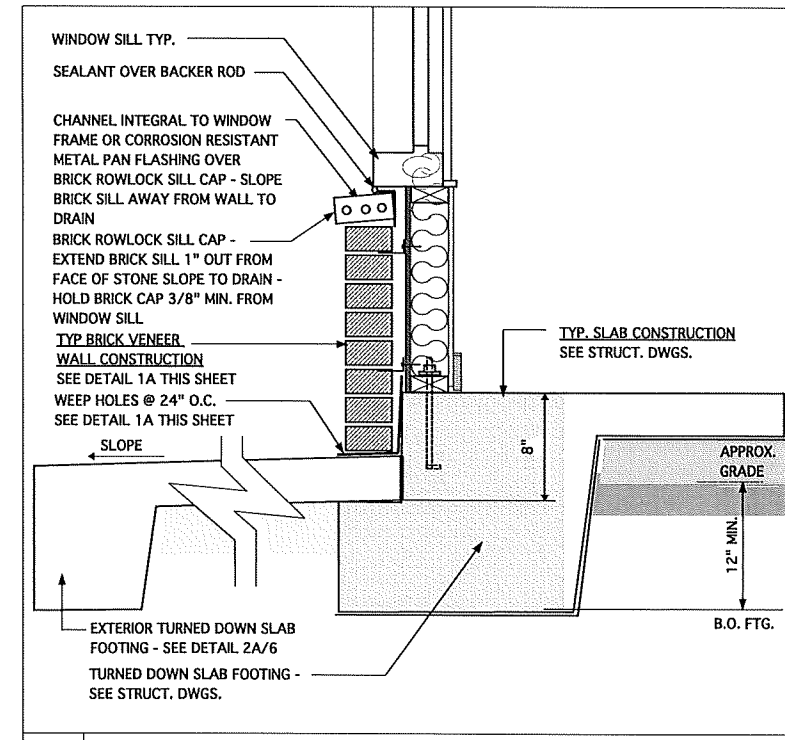
2B KICK-OUT FLASHING DETAIL AT ROOF FASCIA/WALL INTERSECTION
N.T.S.



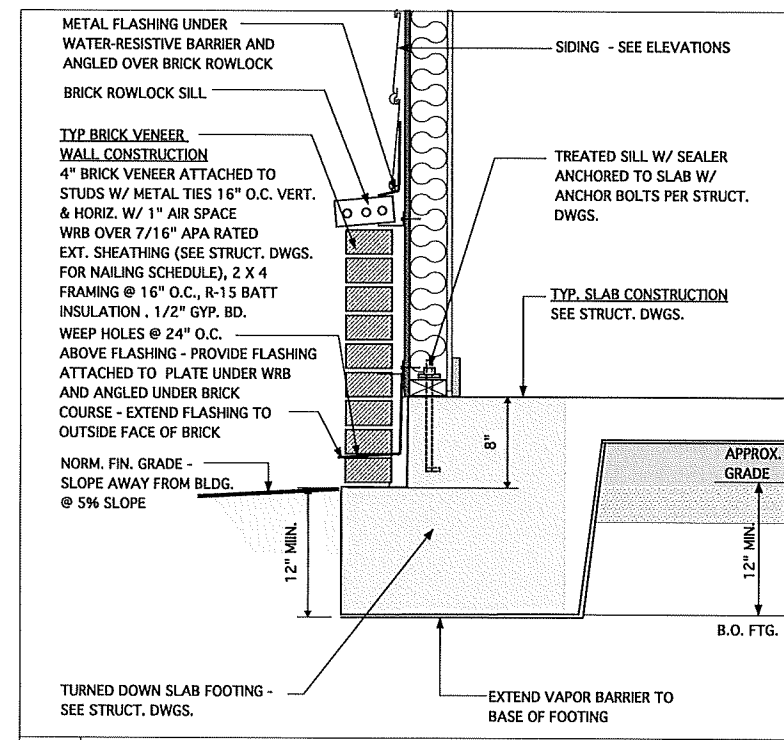
1B ROOF FLASHING AGAINST FRONT WALL DETAIL
N.T.S.



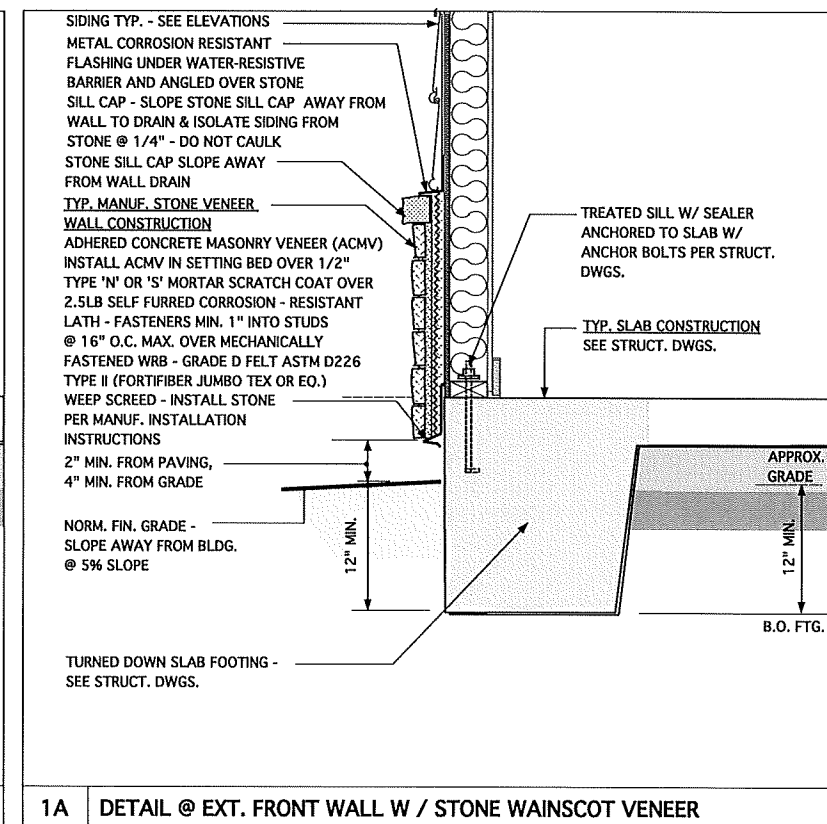
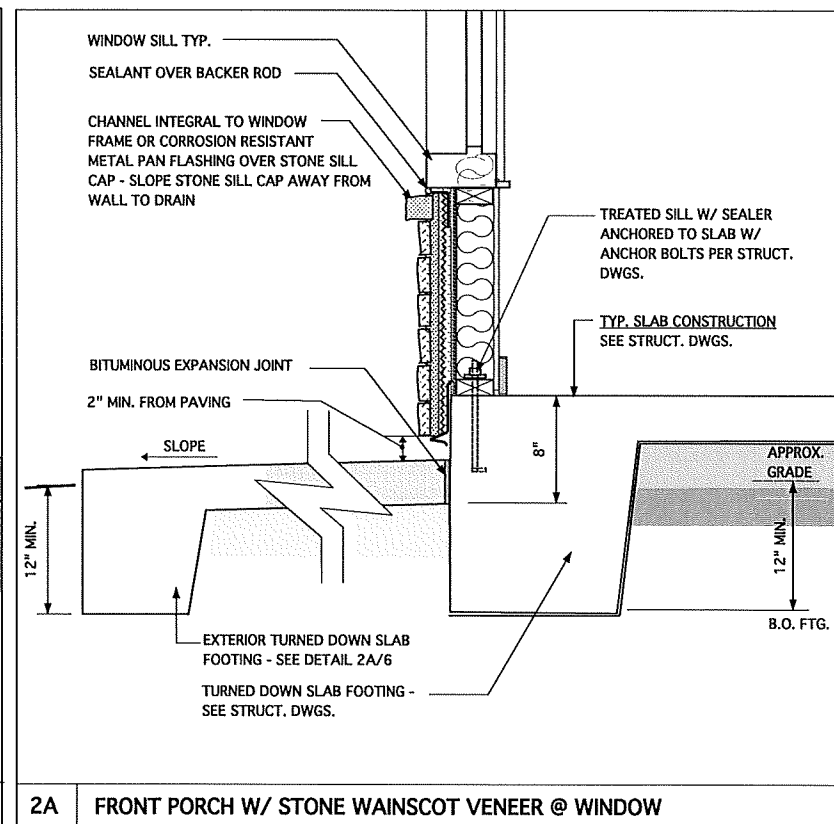
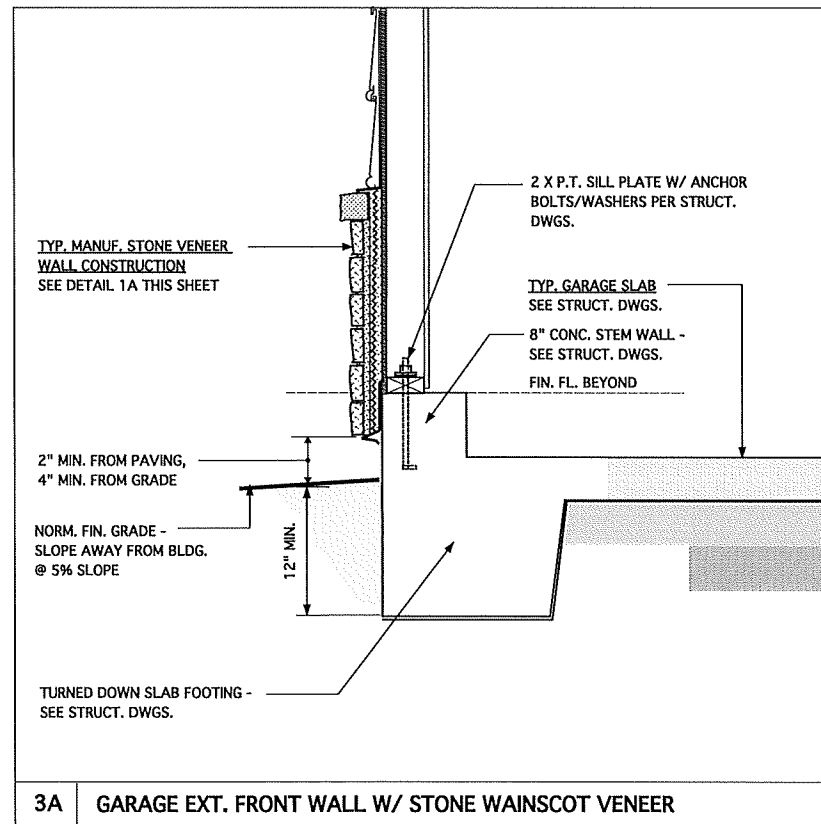
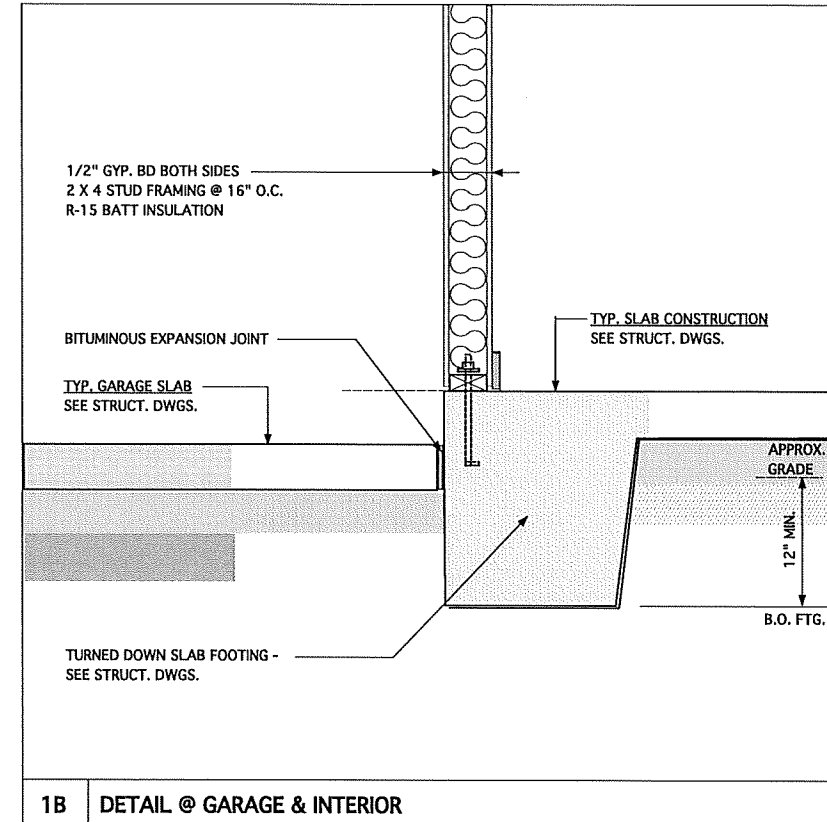
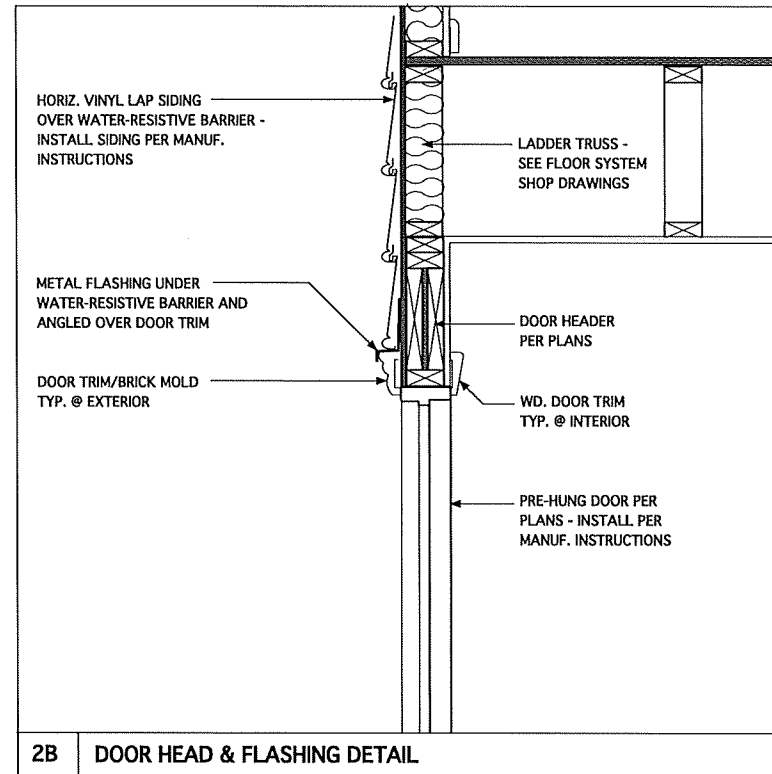
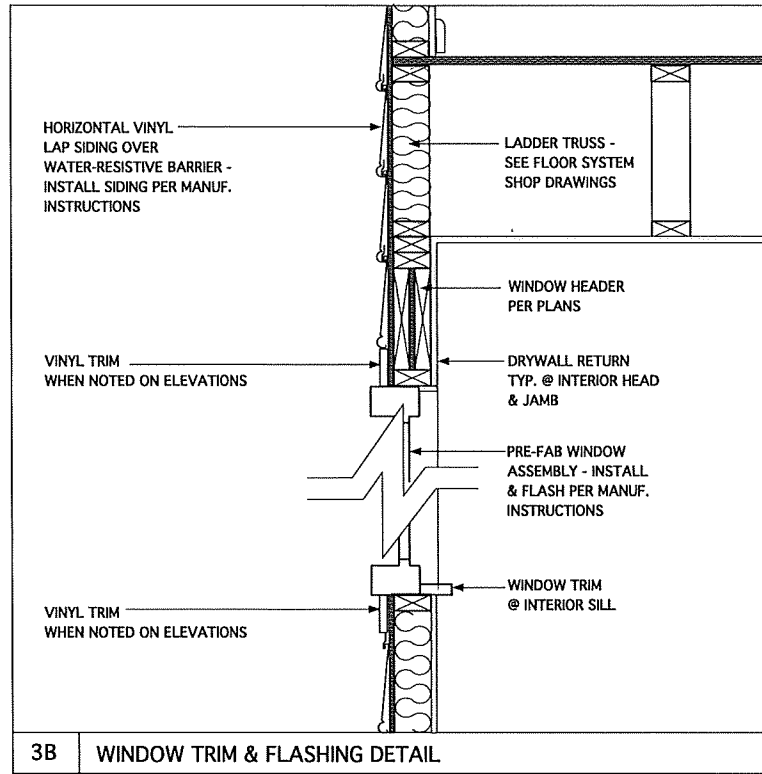
3A EXT. GARAGE FRONT WALL W/ BRICK WAINSCOT VENEER



2A FOUND. DETAIL FRONT @ PORCH W/ BRICK WAINSCOT VENEER



1A FOUND. DETAIL @ FRONT WALL W/ BRICK WAINSCOT VENEER



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JAMES WALTER WENTLING
 REGISTERED ARCHITECT
 #642
 M.W. Wentling
 NORTH CAROLINA
 RALEIGH, N. C.
 2/23/23

REVISIONS		
MARK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
AM	01-14-21	RE stamps SHEET
AM	09-09-21	RE stamps SHEET
JW	02-15-23	NEEL'S POINT/FARM

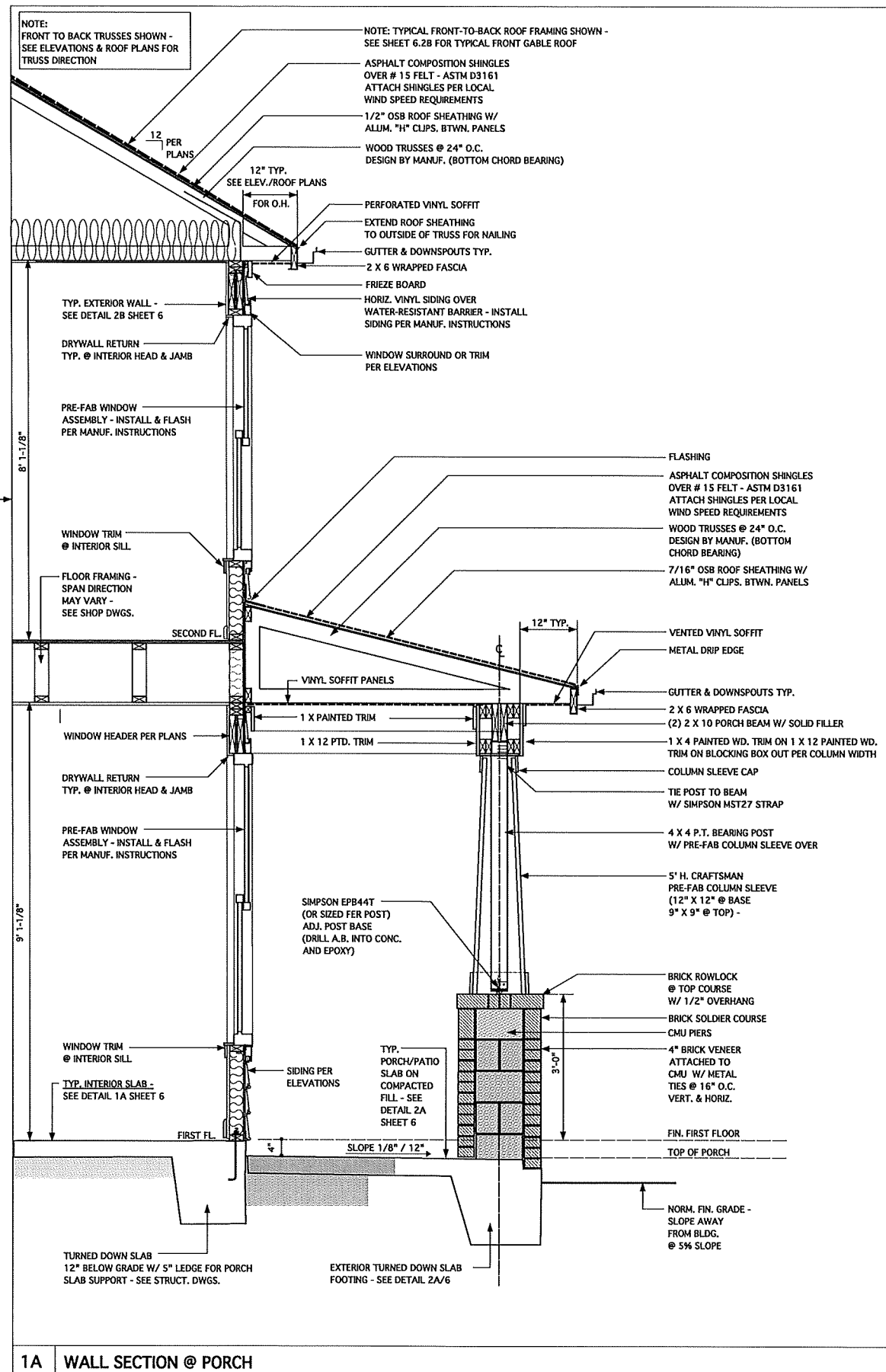
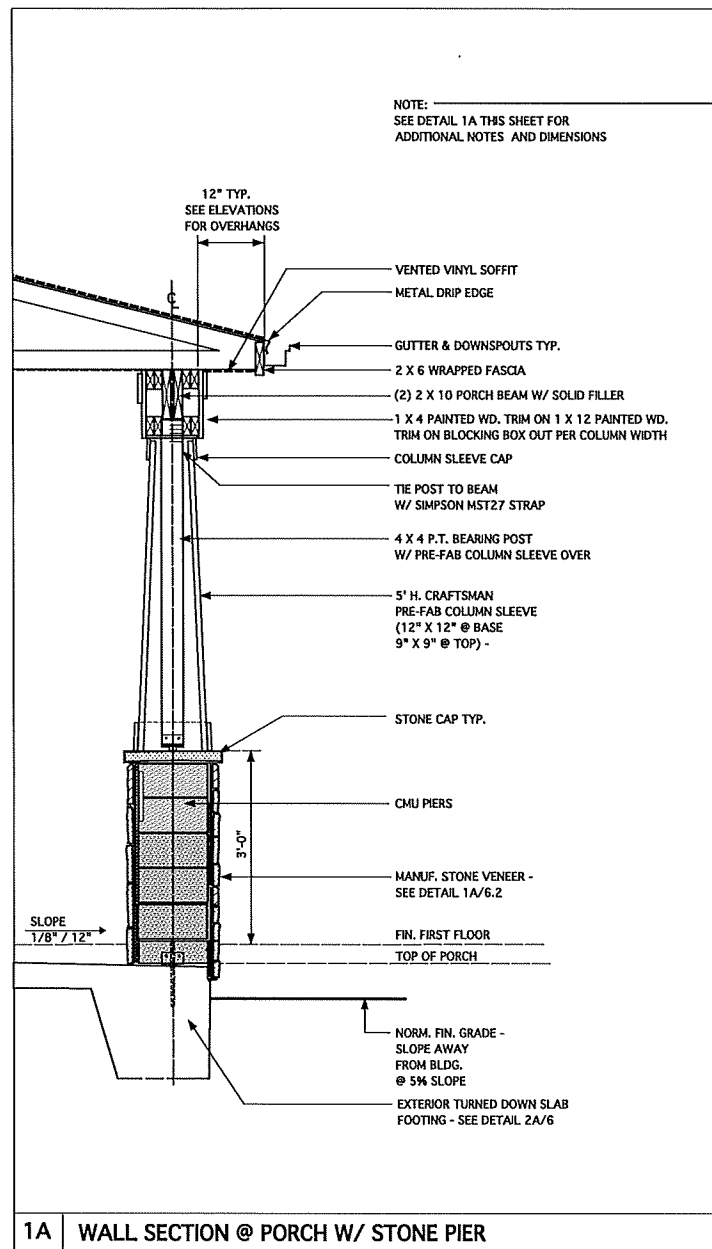
PROJECT NO. 113-88
 DATE 10-16-17
 SCALE 1-1/2" = 1'-0"
 DRAWN BY DN
 CHECKED BY JW
 ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

CLIENT
CHESAPEAKE HOMES OF NC
 3100 Smoketree Court,
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 (919) 556-0690 Fax

DRAWING TITLE
MONOLITHIC SLAB FOUNDATION AND WALL DETAILS

SHEET
6.2



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2/21/28

DATE	DESCRIPTION
12-18-18	CONVERT HIGHGATE
01-14-21	RE-STAMP SHEET
09-09-21	RE-STAMP SHEET
02-15-23	NEILL'S POINT/HARM

PROJECT NO. 113-88
 DATE 01-08-18
 SCALE 3/4" = 1'-0"
 DRAWN BY DN
 CHECKED BY JW
 ISSUED FOR PERMITS/CONSTRUCTION

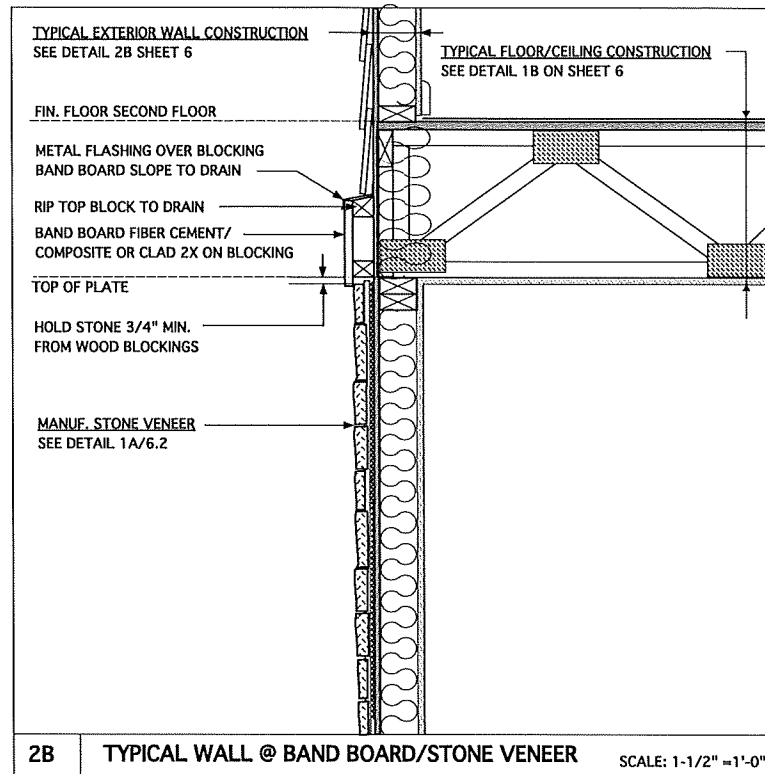
PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

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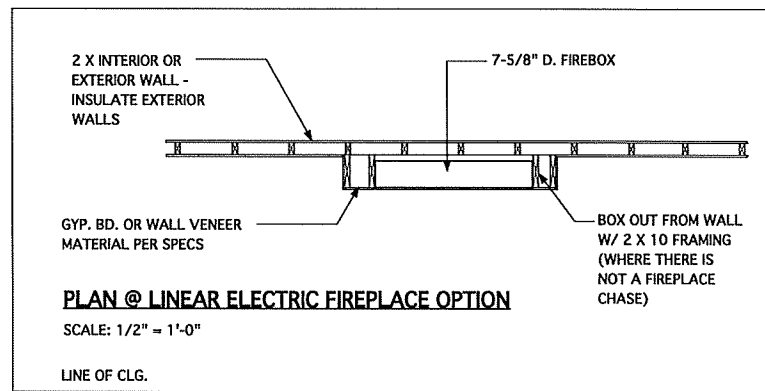
DRAWING TITLE
ELEVATION A - DETAILS

SHEET
6.2A

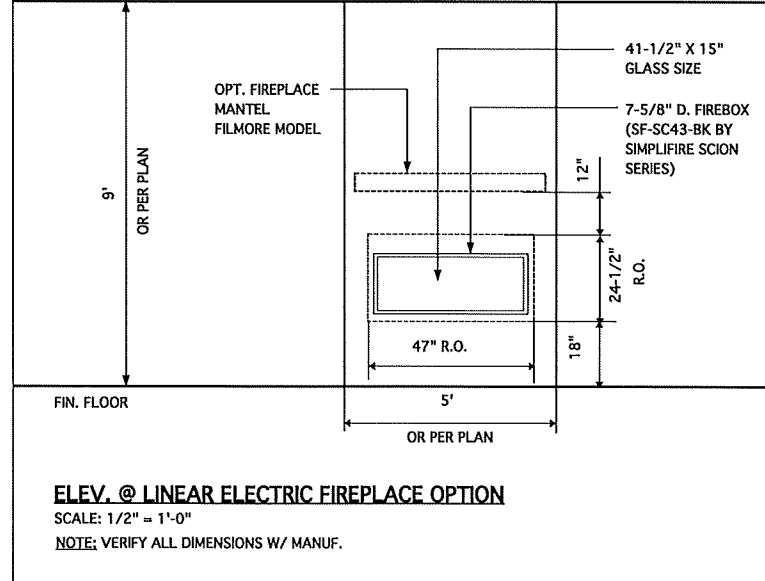
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2B TYPICAL WALL @ BAND BOARD/STONE VENEER SCALE: 1-1/2" = 1'-0"

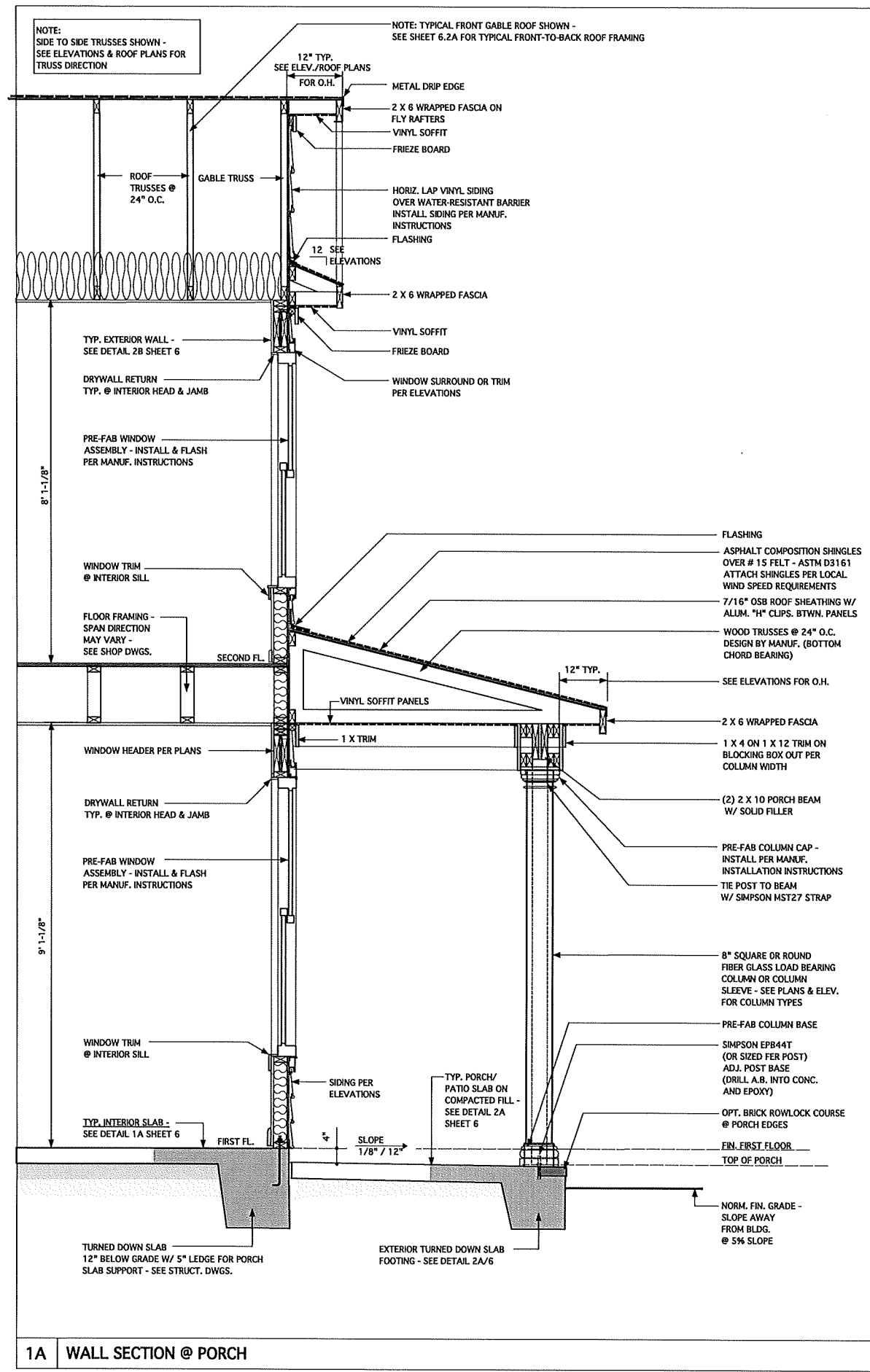


PLAN @ LINEAR ELECTRIC FIREPLACE OPTION
SCALE: 1/2" = 1'-0"



ELEV. @ LINEAR ELECTRIC FIREPLACE OPTION
SCALE: 1/2" = 1'-0"
NOTE: VERIFY ALL DIMENSIONS W/ MANUF.

2A OPT. LINEAR FIREPLACE DETAILS



1A WALL SECTION @ PORCH

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DATE	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
AM	01-14-21	RE-STAMP SHEET
AM	09-09-21	RE-STAMP SHEET
JW	02-15-23	NEEL'S POINT/FARM

PROJECT NO. 113-88
DATE 01-08-18
SCALE 3/4" = 1'-0" U.N.D.
DRAWN BY DN
CHECKED BY JW
USED FOR PERMITS/CONSTRUCTION

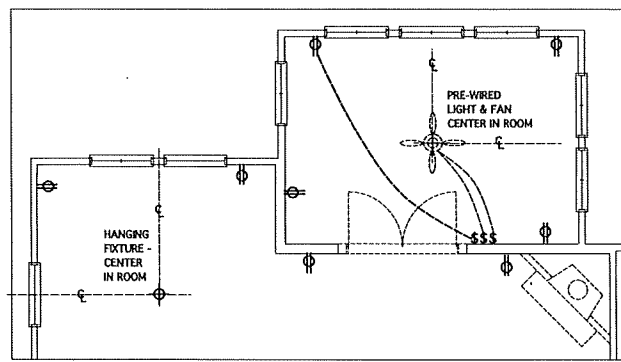
PROJECT TITLE
MODEL 6260 - GARAGE RIGHT

CLIENT
CHESAPEAKE HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

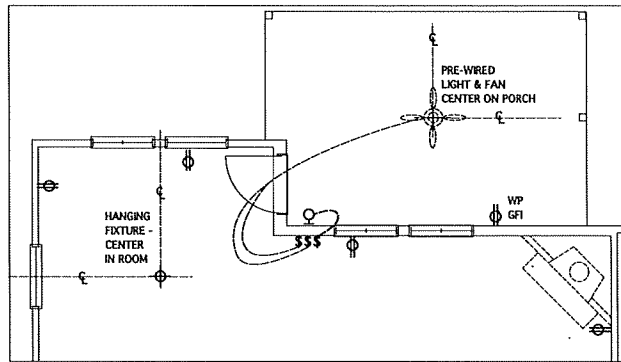
DRAWING TITLE
ELEVATION B/C/D/F - DETAILS

SHEET
6.2B

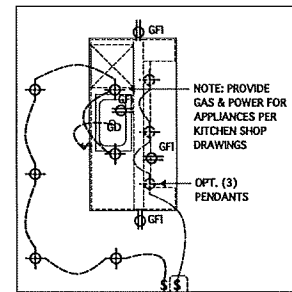
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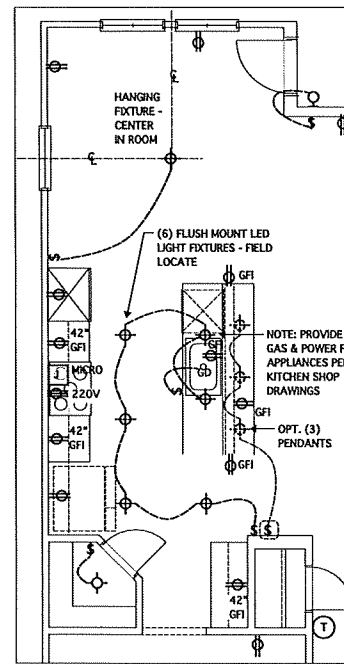
@ OPT. SUNROOM
SCALE 1/4" = 1'-0"



@ OPT. COVERED PORCH
SCALE 1/4" = 1'-0"

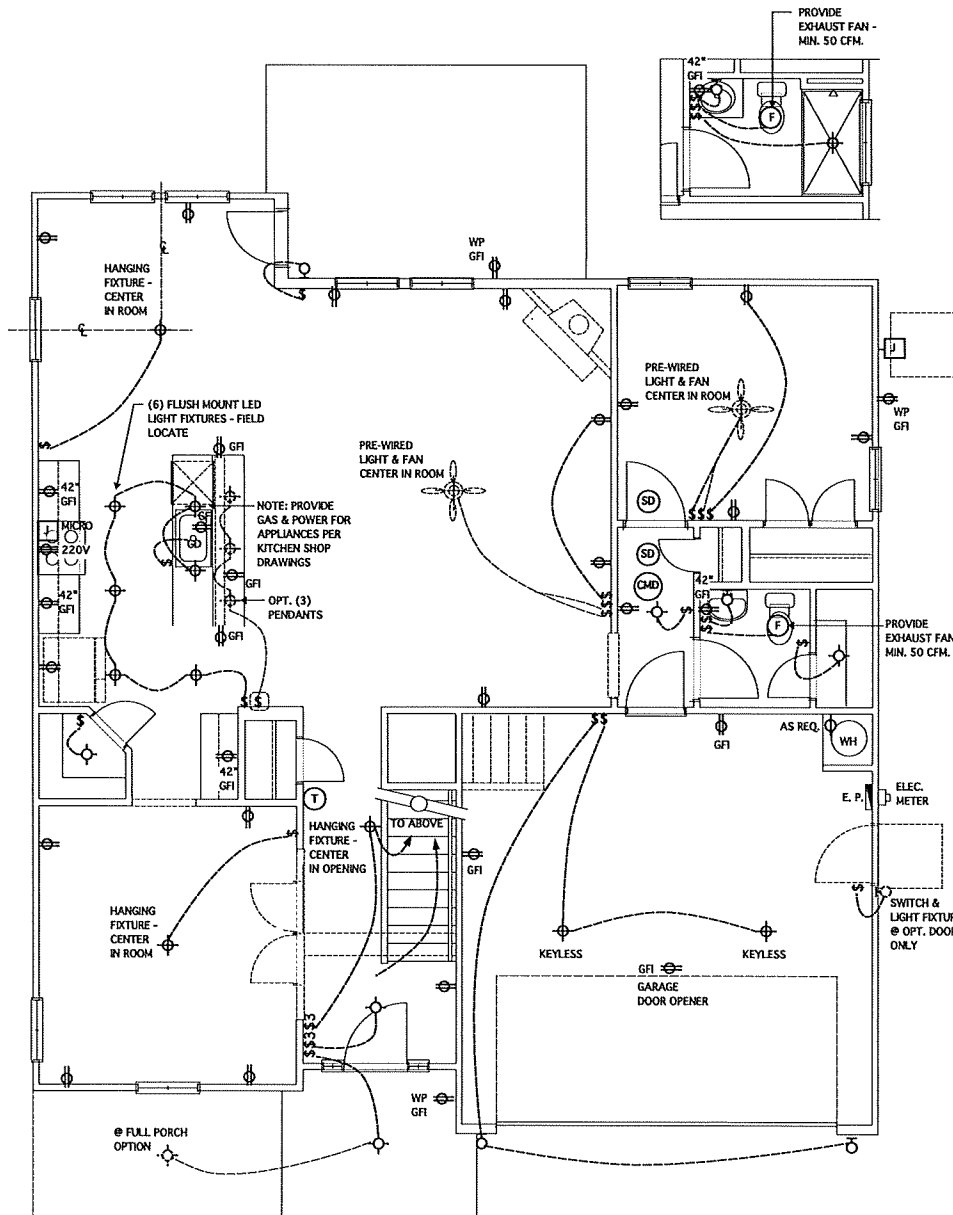


OPT. GOURMET KITCHEN ISLAND
SCALE 1/4" = 1'-0"

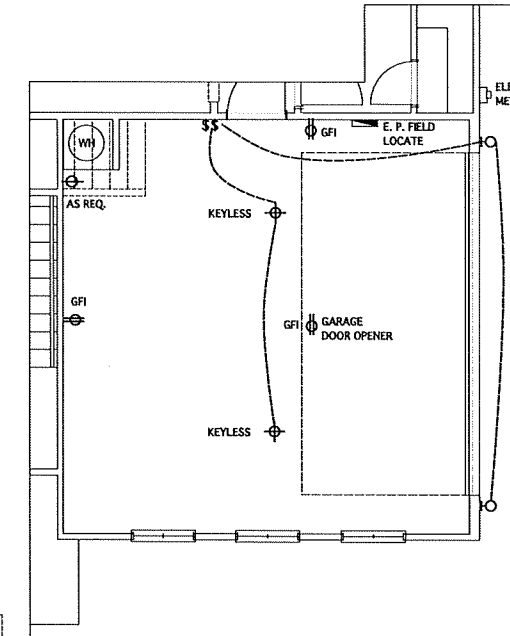


OPT. GOURMET KITCHEN
SCALE 1/4" = 1'-0"

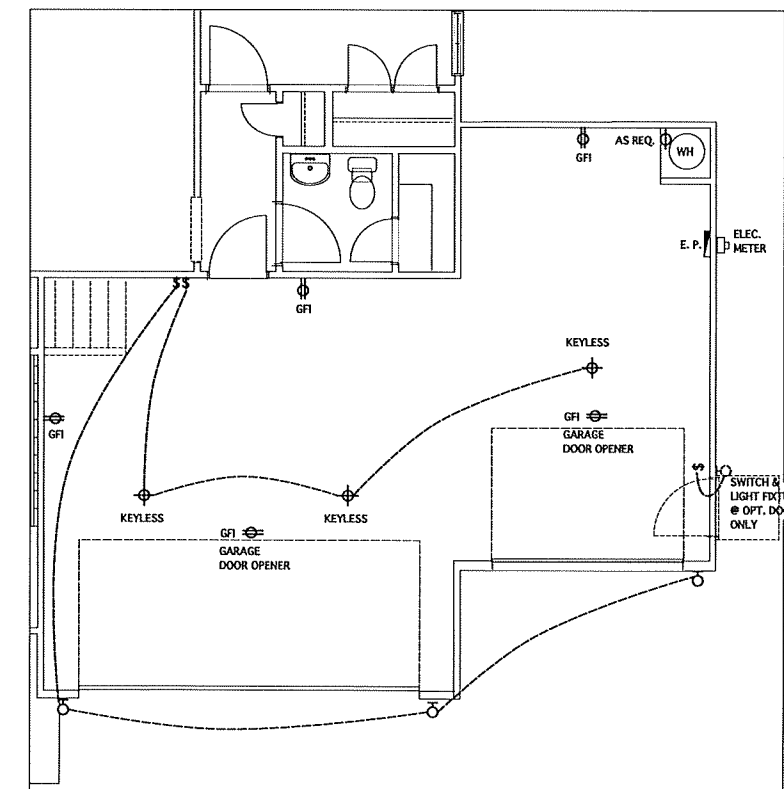
- SINGLE RECEPTACLE OUTLET
- ⊕ DUPLEX RECEPTACLE OUTLET
- GFI ⊕ DUPLEX RECEPTACLE OUTLET-GROUND FAULT INTERRUPTER
- ⊕ DUPLEX RECEPTACLE OUTLET-SPLIT WIRED
- 220V ⊕ OUTLET
- WP GFI ⊕ WEATHER-PROTECTED EXTERIOR OUTLET WITH IN-USE COVER & GFI PROTECTED
- \$ SWITCH
- \$3 THREE WAY SWITCH
- 48 CB 48 CIRCUIT BREAK PANEL W/ 200 AMP. EL. SERVICE LINE
- J JUNCTION BOX W/ SHUT-OFF SWITCH
- ⊕ FLUORESCENT LIGHT FIXTURE; MULTI-TUBE
- ⊕ FLUORESCENT LIGHT FIXTURE; SINGLE-TUBE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ FLUSH-MOUNT LED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ PREWIRE CEILING FAN
- F EXHAUST FAN - 50 CFM.
- F/L CEILING LIGHT/FAN COMBO
- SD SMOKE DETECTOR - HARDWIRED & INTERCONNECTED
- ⊕ CMD CARBON MONOXIDE DETECTOR - HARDWIRED/PLUG-IN/ BATTERY TYPE OR HOUSEHOLD CARBON MONOXIDE DETECTOR SYSTEM



FIRST FLOOR ELECTRICAL PLAN
SCALE 1/4" = 1'-0"



@ OPT. SIDE-LOAD GARAGE @ ELEV. A
SCALE 1/4" = 1'-0"

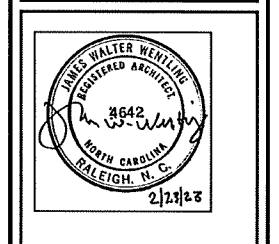


FLOOR PLAN @ OPT. THIRD-CAR GARAGE
SCALE 1/4" = 1'-0"

**JAMES WENTLING/
ARCHITECT**
LAND TITLE BUILDING
100 SOUTH BROAD STREET,
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ARCHITECTURE
LAND PLANNING
GRAPHICS

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REVISIONS

DATE	DESCRIPTION
01-14-19	STRUCT. DWGS. REV.
05-28-19	ELEVATIONS
12-10-19	3RD CAR GARAGE EXT.
01-14-21	RE-STAMP SHEET
09-09-21	RE-STAMP SHEET
02-15-23	NELL'S POINT/FARM
02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.

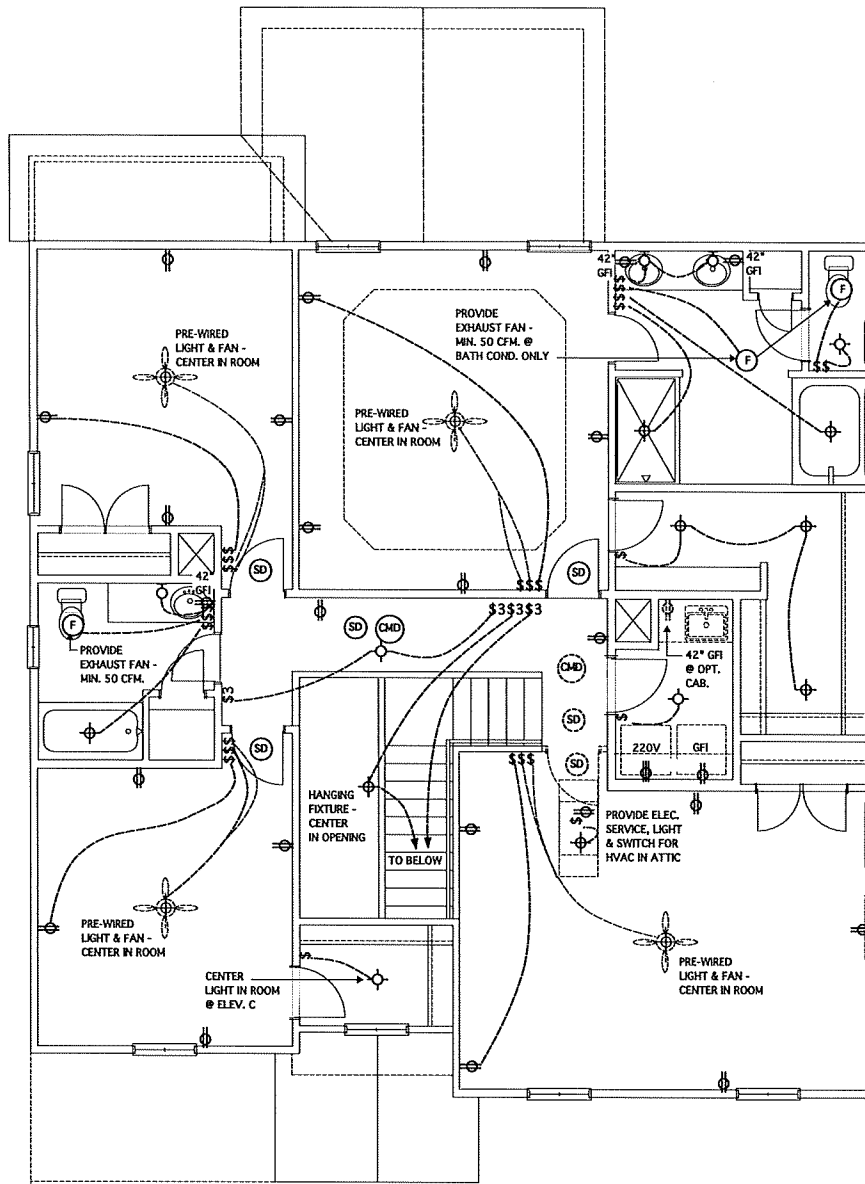
PROJECT NO. 113-88
DATE 01-08-18
SCALE AS NOTED
DRAWN BY JK
CHECKED BY JW
USED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT
CLIENT
CHESAPEAKE HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

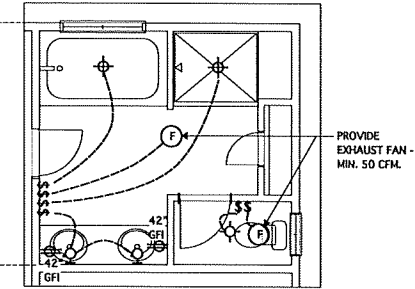
DRAWING TITLE
FIRST FLOOR ELECTRICAL PLANS

SHEET
7

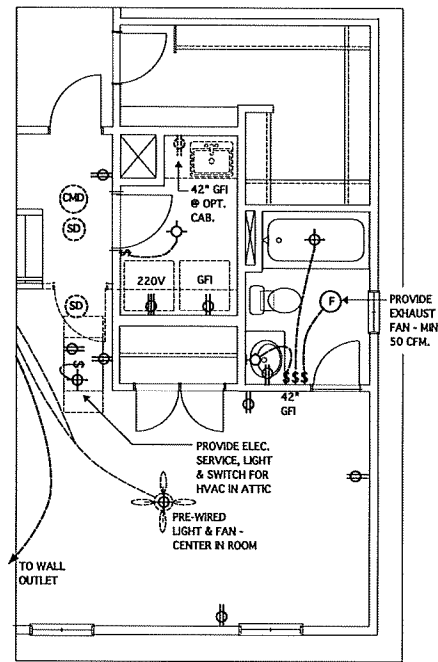
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	DUPLEX RECEPTACLE OUTLET		FLUORESCENT LIGHT FIXTURE; SINGLE-TUBE
	DUPLEX RECEPTACLE OUTLET-GROUND FAULT INTERRUPTER		CEILING MOUNTED LIGHT FIXTURE
	DUPLEX RECEPTACLE OUTLET-SPLIT WIRED		FLUSH-MOUNT LED LIGHT FIXTURE
	220V OUTLET		WALL MOUNTED LIGHT FIXTURE
	WEATHER-PROTECTED EXTERIOR OUTLET WITH IN-USE COVER & GFI PROTECTED		PREWIRE CEILING FAN
	SWITCH		EXHAUST FAN - 50 CFM.
	THREE WAY SWITCH		CEILING LIGHT/FAN COMBO
	48 CIRCUIT BREAK PANEL W/ 200 AMP. EL. SERVICE LINE		SMOKE DETECTOR - HARDWIRED & INTERCONNECTED
	JUNCTION BOX W/ SHUT-OFF SWITCH		CARBON MONOXIDE DETECTOR - HARDWIRED/PLUG-IN/ BATTERY TYPE OR HOUSEHOLD CARBON MONOXIDE DETECTOR SYSTEM
	FIRE EXTINGUISHER		



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



@ OPT. DELUXE PRIMARY BATH
SCALE 1/4" = 1'-0"



OPT. BATH & CLOSET
SCALE 1/4" = 1'-0"

**JAMES WENTLING/
ARCHITECT**

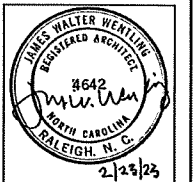
LAND TITLE BUILDING
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REVISIONS

MARK	DATE	DESCRIPTION
DN	01-14-19	STRUCT. DWGS. REV.
CH	05-28-19	FULL PORCH OPT.
AM	01-14-21	RE-STAMP SHEET
AM	09-09-21	M. BATH WINDOW REV.
JW	02-15-23	NELL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.

PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	JK
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

**MODEL 6260 -
GARAGE RIGHT**

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DRAWING TITLE
**SECOND FLOOR
ELECTRICAL PLANS**

SHEET
7.1

STRUCTURAL NOTES

NC (2018 NCRS), Mnd. 115-120 mph

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HPs, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS AND HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIER & GIRDER SYSTEMS, FOOTINGS, AND PILING SYSTEMS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM. ALL REQUIREMENTS FOR PROFESSIONAL CERTIFICATION SHALL BE PROVIDED BY THE APPROPRIATE PROFESSIONAL. SOUTHERN ENGINEERS, P.A. CERTIFIES ONLY THE STRUCTURAL COMPONENTS AS SPECIFICALLY STATED.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE 2018 IBC RESIDENTIAL CODE PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. FOR ALL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. "CONSTRUCTION REVIEW" SERVICES ARE NOT PART OF OUR CONTRACT. ALL HEADERS SHALL BE TRACED, ANCHORED, TIED AND BRACED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE AND THE BUILDING CODE.
- DESIGN LOADS LISTED AS: LIVE LOAD, DEAD LOAD, DEFLECTION
 - ROOFS OTHER THAN SLEEPING ROOFS: (20 PSF, 10 PSF, L260)
 - SLEEPING ROOFS: (20 PSF, 10 PSF, L260)
 - ATTIC WITH PERMANENT STAIRS: (40 PSF, 10 PSF, L260)
 - ATTIC WITHOUT PERMANENT STAIRS: (20 PSF, 10 PSF, L260)
 - ATTIC WITHOUT STORAGE: (20 PSF, 10 PSF, L240)
 - STAIRS: (40 PSF, 10 PSF, L260)
 - EXTERIOR BALCONIES: (20 PSF, 10 PSF, L260)
 - DECKS: (40 PSF, 10 PSF, L260)
 - GUARDRAILS AND HANDRAILS: (200 LBS)
 - PASSENGER VEHICLE GARAGES: (20 PSF, 10 PSF, L260)
 - FIRE ESCAPES: (40 PSF, 10 PSF, L260)
 - SNOW: (20 PSF)
- WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORES WITH HOOD STRUCTURAL PANELS. SEE FRAMING NOTES FOR THICKENED SLABS AND WALLING REQUIREMENTS.
- SEE APPENDIX H (DCA6) FOR EXTERIOR DECK REQUIREMENTS INCLUDING ATTACHMENTS FOR LATERAL LOADS.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (NO). AIR ENTRAINMENT PER TABLE 402.2. ALL CONCRETE SHALL BE PROPORTIONED, MIXED, HANDLED, SAMPLED, TESTED, AND PLACED IN ACCORDANCE WITH ACI STANDARDS. ALL SAMPLES FOR TESTING SHALL BE TAKEN FROM THE EXIST END OF THE PUMP. CONTROL JOINTS IN SLABS SHALL BE SPACED ON A GRID OF +30 TIMES THE DEPTH (D). CONTROL JOINTS SHALL BE SAWCUT TO A DEPTH OF 1/3 (I.E. 4" CONCRETE SLABS SHALL HAVE A 1" DEEP CONTROL JOINTS SAWCUT IN SLAB ON A +10'-0" x +10'-0" GRID).
- ALLOWABLE SOIL BEARING PRESSURE ASSIGNED TO BE 2000 PSF. THE CONTRACTOR MUST CONTACT A GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER IF UNSATISFACTORY SURFACE CONDITIONS ARE ENCOUNTERED. THE SURFACE AREA ADJACENT TO THE FOUNDATION WALL SHALL BE PROVIDED WITH ADEQUATE DRAINAGE, AND SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS.
 - ALL FRAMING LUMBER SHALL BE SPT #2 (E = 675 PSF) UNLESS NOTED OTHERWISE (NO). ALL TREATED LUMBER SHALL BE SPT #3 OR SPT #3 (pulp) = 425 PSF (NO).
 - LVL: SHALL BE LAMINATED VENEER LUMBER: Fb=2600 PSF, Fv=255 PSF, E=1,640,000 PSF, PSL: SHALL BE PARALLEL STRAND LUMBER: Fb=2500 PSF, Fv=250 PSF, E=2,200,000 PSF, LSL: SHALL BE LAMINATED STRAND LUMBER: Fb=2250 PSF, Fv=400 PSF, E=1,520,000 PSF. INSTALL ALL CONNECTIONS PER MANUFACTURERS INSTRUCTIONS.
- ALL ROOF TRUSS AND I-JOIST LAYOUTS SHALL BE PREPARED IN ACCORDANCE WITH THE SEALED STRUCTURAL DRAWINGS. TRUSSES AND I-JOISTS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. ANY CHANGE IN TRUSS OR I-JOIST LAYOUT SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- ALL STRUCTURAL STEEL SHALL BE ASTM A-36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" INCHES AND FULL FLANGE UNTIL PROVIDE SOLID BEARINGS FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO L4S SCREWS (2" DIAMETER x 4" LONG). LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOIST ARE TOE NAILED TO THE SOLE PLATE, AND SOLE PLATE IS WAILED OR BOLTED TO THE BEAM FLANGE x 4# 0.G. ALL STEEL TUBING SHALL BE ASTM A500.
- REBAR SHALL BE DEFORMED STEEL, ASTM-A63, GRADE 60. LAP ALL REBAR SPLICES 30 BAR DIAMETERS.
- FLITCH BEAMS SHALL BE BOLTED TOGETHER USING (2) ROWS OF 1/2" DIAMETER BOLTS (ASTM A325) WITH WASHERS PLACED UNDER THE THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" O.C. (MAX) AND STAGGERED AT THE TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH 2 BOLTS LOCATED AT 6" FROM EACH END.
- BRICK LINTELS (WHEN REQUIRED) SHALL BE 3 1/2"x8 1/2"x14" STEEL ANGLE FOR UP TO 6'-0" SPAN AND 6"x4"x14" STEEL ANGLE FOR UP TO 4'-0" SPAN UP TO 4'-0". SEE ALSO SECTION R103.0.3 LINTELS.

FRAMING NOTES

NC (2018 NCRS), Mnd. 115-120 mph

- BRACING METHOD AND TYPE, CONTINUOUSLY SHEATHED HEP, CS-HEP. NOTE THAT THE WALL BRACING AMOUNT PROVIDED ON THE PLANS (DETAILS AND SPECIFICATIONS) IS GREATER THAN THE AMOUNT OF WALL BRACING REQUIRED BY SECTION R602.10.3 OF THE CODE. SEE NOTES BELOW FOR DETAILS AND SPECIFICATIONS FOR WALL BRACING AND WALL FRAMING.
- EXTERIOR WALL SHEATHING WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORES WITH HOOD STRUCTURAL PANELS. SHEATHING (HEP) (EXPOSURE B, 1/4" EXPOSURE C, B202). SHEATHING SHALL BE ATTACHED WITH 8d NAILS AT A 6"x12" NAILING PATTERN (6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES.
- HEP SHEATHING SHALL EXTEND TO THE UPPERMOST DOUBLE BEARING PLATE BLOCK AT ROOF PER SECTION R602.10.4.3 AND ATTACH BRACED WALLS PER CODE. HEP SHEATHING BETWEEN FLOORS SHALL BE SPICED ALONG CONTINUOUS BAND OR THE HEP SHEATHING MAY BE SPICED ACROSS STUDS (CONTINUOUS ACROSS FLOOR SYSTEM) WITH BLOCKING AT PANEL EDGES (MINIMUM 12" BEYOND FLOOR BREAK) OR OTHER APPROVED METHOD.
- "HD" = HOLD-DOWN HOLD-DOWN DEVICE (NOTED AS "HD" ON PLANS) SHALL BE AN 800 POUND CAPACITY ASSEMBLY AS NOTED ON PLANS. SEE DETAILS FOR HD ASSEMBLY. "MSGRD-FIRST FLOOR" USE "HD HOLD-DOWN DETAIL" ON SD SHEET (OR EQUIV).
- INTERIOR FLOORS: ATTACH BASE OF KING STUD WITH A SIMPSON C52 STRIP DOWN ACROSS THE BAND AND DOWN TO A STUD BELOW OR HEADER BELOW. EXTEND STRIP 1" MIN ALONG EACH STUD (OR HEADER) AND ATTACH EACH END WITH (7) 8d NAILS.
- INTERIOR BRACED WALL: (NOTED AS "BR" ON PLANS) ATTACH 1/2" GYPSON BOARD (GB) ON EACH SIDE OF WALL WITH A MIN OF 5d COOLER NAILS OR 16 SCREWS @ 1" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.
- INTERIOR BRACED WALL-HOOD STRUCTURAL PANEL: (NOTED AS "BRHSD" ON PLANS). ATTACH ONE SIDE WITH 1/4" HEP SHEATHING WITH 8d NAILS AT A 6"x12" NAILING PATTERN (6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES. ATTACH GB OVER HEP AS REQUIRED. ATTACH OPPOSITE SIDE WITH 1/2" GB WITH A MIN. OF 5d COOLER NAILS OR 16 SCREWS @ 1" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.

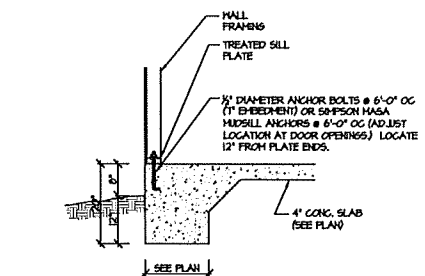
HEADER/BEAM & COLUMN NOTES

- ALL EXTERIOR AND LOAD BEARING HEADERS SHALL BE MIN D2X6 (4" WALL) OR (2)2x6 (6" WALL) WITH (1) SUPPORT STUD, UNLESS NOTED OTHERWISE.
- THE NUMBER SHOWN AT BEAM AND HEADER SUPPORTS INDICATES THE NUMBER OF SUPPORT STUDS REQUIRED IN STUD POCKET OR COLUMN. THE NUMBER OF KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS SHALL BE ACCORDING TO ITEM "C" IN TABLE R602.10.3 OR AS BELOW PER HOOK COMMENTARY "KING STUDS AT WALL OPENINGS" REVISED 1-4-2020.
 - UP TO 9' SPAN (1) KING STUD
 - OVER 9' UP TO 6' SPAN (2) KING STUDS
 - OVER 6' UP TO 4' SPAN (3) KING STUDS
 - OVER 4' UP TO 2' SPAN (4) KING STUDS
 - OVER 2' UP TO 0' SPAN (5) KING STUDS

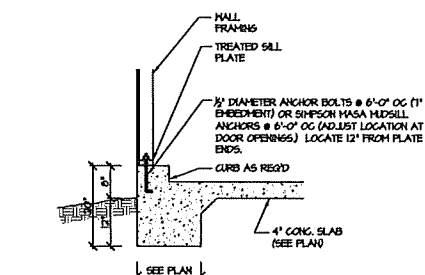
TRUSS SYSTEM REQUIREMENTS

NC (2018 NCRS), Mnd. 115-120 mph

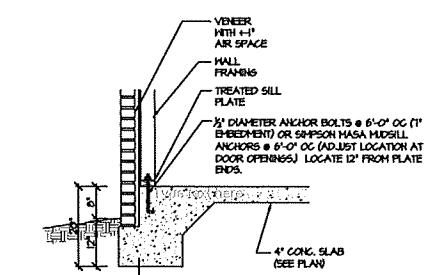
- TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
 - TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
 - ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SFD #2 OR #3 PLATES OR LEDGERS (NO).
 - ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.
- PORCH POST NOTES:**
- 4x4 (NO) TRIP POST (OR EQUAL).
 - ATTACH TRUSSES (RAFTERS) AT PORCH WITH HURRICANE CONNECTORS.
 - POST CAP: SIMPSON ACA-M40
 - POST CAP AT CORNER: (2) SIMPSON LCE4 (INTER HEADER AT CORNER. HIGH MIN; ADD (1) SIMPSON H6.
 - POST BASE: SIMPSON ABM4 (ABUS6).
 - 1.2x12, 3/4" ANCHOR (EMBED 1')
 - 2.2x4, 3/4" ANCHOR (EXTEND TO FOOTING - HIGH END ONLY)
 - POST BASE, HOOD FOUNDATION: (2) SIMPSON C56 STRAPS AT POSTS. EXTEND 12" ONTO EACH POST (UPPER AND LOWER) OR TO GIRDER.
 - NOTE: EQUIVALENT POST CAP AND BASE ACCEPTABLE.



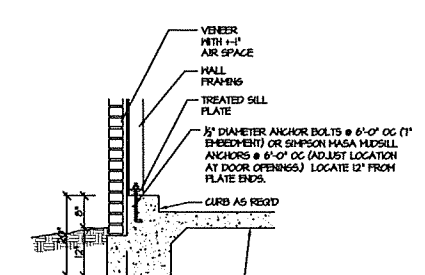
115-120 (100A) MEH (SD) MONOLITHIC SLAB FOOTING (SIDING OR EQUAL)



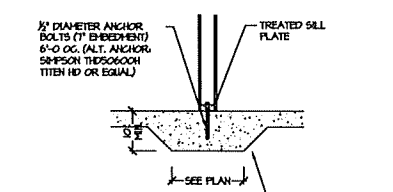
115-120 (100A) MEH (SD) MONOLITHIC SLAB @ GARAGE (SIDING OR EQUAL)



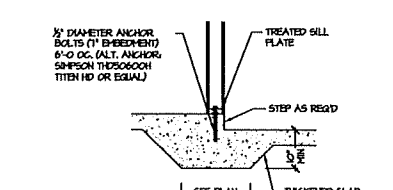
115-120 (102A) MEH (SD) MONOLITHIC SLAB FOOTING (VENEER)



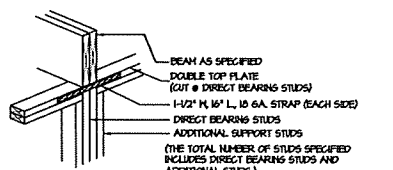
115-120 (103A) MEH (SD) MONOLITHIC SLAB @ GARAGE (VENEER)



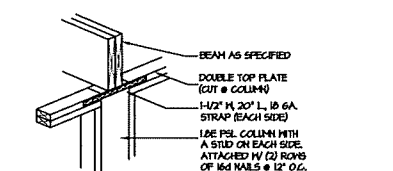
115-120 (104A) MEH (SD) THICKENED SLAB (INTERIOR BEARING WALL)



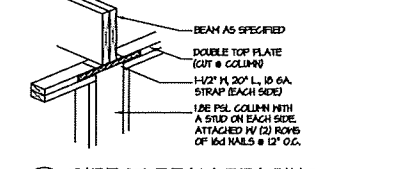
115-120 (105A) MEH (SD) THICKENED SLAB @ GARAGE (INTERIOR GARAGE WALL)



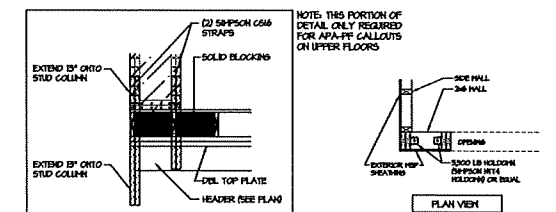
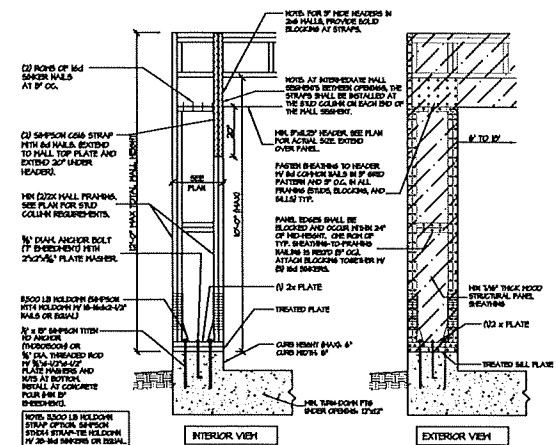
205A (SD) DIRECT STUD BEARING



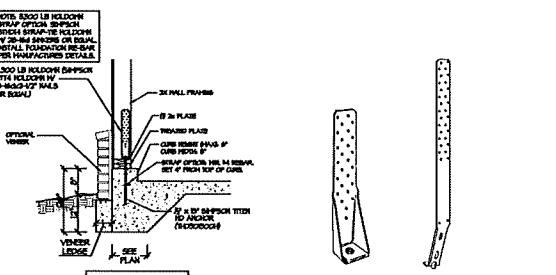
205B (SD) DIRECT BEAM BEARING



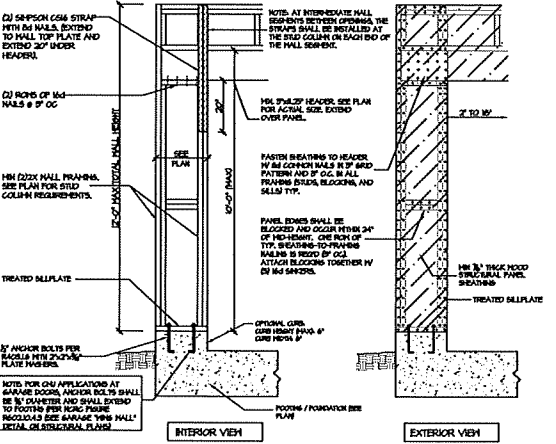
205B (SD) DIRECT BEAM BEARING



400 (SD) APA PORTAL FRAME W/ HOLD-DOWNS

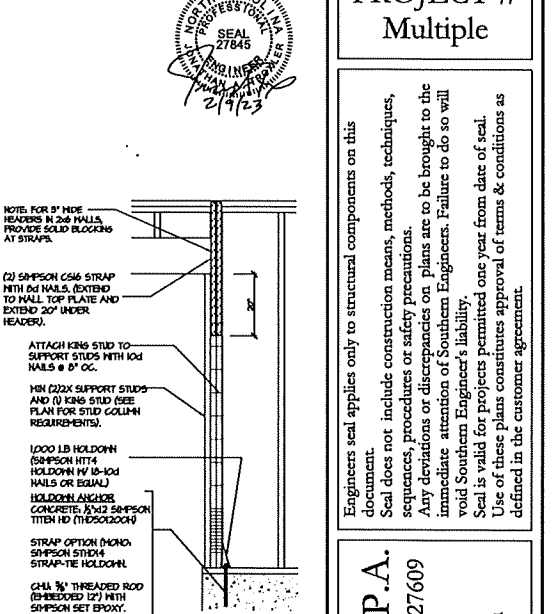


400 (SD) APA PORTAL FRAME W/ HOLD-DOWNS

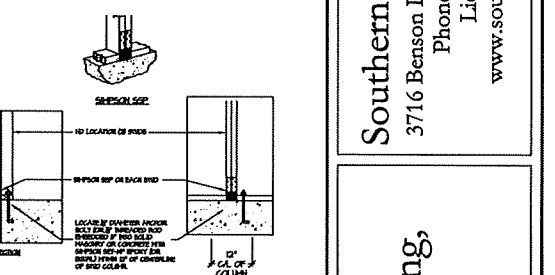


400 (SD) APA PORTAL FRAME W/ HOLD-DOWNS

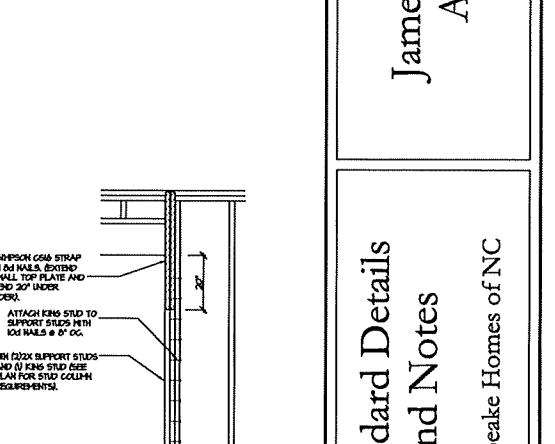
400 (SD) CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION



400 (SD) CS-PF: END CONDITION DETAIL



400 (SD) BRACED WALL END CONDITION 'HD'



400 (SD) CS-PF: END CONDITION DETAIL



PROJECT #
Multiple

Engineers seal applies only to structural components on this document.
Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions.
Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability.
Seal is valid for projects permitted one year from date of seal.
Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

Southern Engineers, P.A.
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Phone: (919) 878-1617
License: C-4772
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James Wentling, Architect

Standard Details and Notes

Chesapeake Homes of NC

SD-1 MONO



COMMERCIAL

COUNTY OF HARNETT LAND USE APPLICATION

Central Permitting (Physical) 420 McKinney Pkwy, Lillington, NC 27546 (Mailing) PO Box 65 Lillington NC 27546 Phone: (910) 893-7525 opt # 1 Fax: (910) 893-2793 www.harnett.org/permits

LANDOWNER: _____ Mailing Address: _____

City: _____ State: _____ Zip: _____ Contact # _____ Email: _____

APPLICANT*: _____ Mailing Address: _____

City: _____ State: _____ Zip: _____ Contact # _____ Email: _____

*Please fill out applicant information if different than landowner

CONTACT NAME APPLYING IN OFFICE: _____ Phone # _____

Address: _____ PIN: _____

Zoning: _____ Watershed: _____ Flood: _____ Deed Book Page: _____ / _____.

Setbacks – Front: _____ Back: _____ Side: _____ Corner: _____

PROPOSED USE:

Multi-Family Dwelling No. Units: _____ No. Bedrooms/Unit: _____

Business Sq. Ft. Retail Space: _____ Type: _____ # Employees: _____ Hours of Operation: _____

Daycare # Preschoolers: _____ # Afterschoolers: _____ # Employees: _____ Hours of Operation: _____

Industry Sq. Ft: _____ Type: _____ # Employees: _____ Hours of Operation: _____

Church Seating Capacity: _____ # Bathrooms: _____ Kitchen: _____

Accessory/Addition/Other (Size _____ x _____) Use: _____

Water Supply: _____ County _____ Existing Well _____ New Well (# of dwellings using well _____) *Must have operable water before final
(Need to Complete New Well Application at the same time as New Tank)

Sewage Supply: _____ New Septic Tank _____ Expansion _____ Relocation _____ Existing Septic Tank _____ County Sewer
(Complete Environmental Health Checklist on other side of application if Septic)

Comments: _____

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

Signature of Owner or Owner's Agent _____ Date _____

****This application expires 6 months from the initial date if permits have not been issued****
RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION

*****It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.*****

strong roots • new growth



***This application expires 6 months from the initial date if permits have not been issued*
APPLICATION CONTINUES ON BACK**

****This application expires 6 months from the initial date if permits have not been issued****

This application to be filled out when applying for a septic system inspection.

County Health Department Application for Improvement Permit and/or Authorization to Construct

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration)

Environmental Health New Septic System

- **All property irons must be made visible.** Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the **undergrowth** to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**

Environmental Health Existing Tank Inspections

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over **outlet end** of tank as diagram indicates, and lift lid straight up (if possible) and then **put lid back in place.** (Unless inspection is for a septic tank in a mobile home park)
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**

"MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION"

SEPTIC

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

- Accepted Innovative Conventional Any
- Alternative Other _____

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant **MUST ATTACH SUPPORTING DOCUMENTATION**:

- YES NO Does the site contain any Jurisdictional Wetlands?
- YES NO Do you plan to have an irrigation system now or in the future?
- YES NO Does or will the building contain any drains? Please explain. _____
- YES NO Are there any existing wells, springs, waterlines or Wastewater Systems on this property?
- YES NO Is any wastewater going to be generated on the site other than domestic sewage?
- YES NO Is the site subject to approval by any other Public Agency?
- YES NO Are there any Easements or Right of Ways on this property?
- YES NO Does the site contain any existing water, cable, phone or underground electric lines?

If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State

Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I

Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site

Accessible So That A Complete Site Evaluation Can Be Performed.

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