	LINE TABL	E
LINE	BEARING	DISTANCE
L1	S 89°46'07" E	70.00'
L2	S 89°46'07" E	70.00'

PROPOSED IMPERVIOUS SURFACES: TOTAL LOT AREA=12,600 S.F.
HOUSE/PORCHES=1,875 S.F.
DRIVEWAYS/ETC.=517 S.F.
TOTAL IMPERVIOUS AREA=2,392 S.F. MAXIMUM IMPERVIOUS AREA=3,800 S.F.

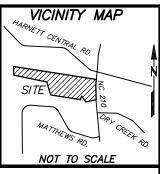
PROPOSED IMPERVIOUS SURFACES INCLUDING TEMP. CONCRETE PATHWAY FOR LOT 104:

TOTAL LOT AREA=12,600 S.F. HOUSE/PORCHES=1,875 S.F. DRIVEWAYS/ETC.=517 S.F. TEMP. PATHWAY/ETC.=252 S.F. TOTAL IMPERVIOUS AREA=2,644 S.F. MAXIMUM IMPERVIOUS AREA=3,800 S.F.

EXISTING IMPERVIOUS SURFACES INCLUDING PROPOSED CONCRETE PATHWAY TO LOT 104 FOR LOT 105:

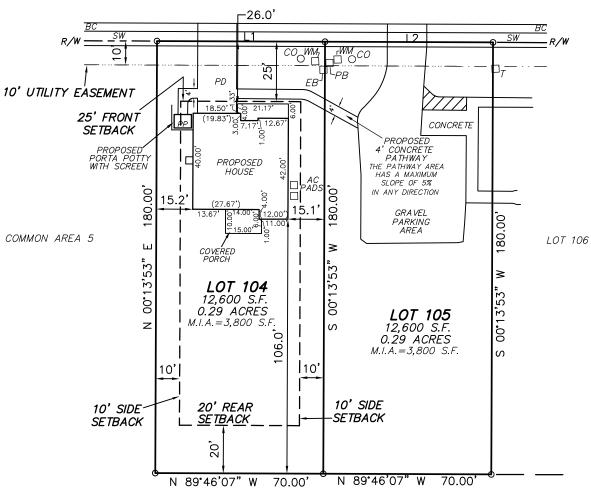
TOTAL LOT AREA=12,600 S.F. GRAVEL PARKING AREA=2,752 S.F. CONCRETE PARKING AREA=584 S.F. PROPOSED PATHWAY=63 S.F. TOTAL IMPERVIOUS AREA=3,219 S.F. MAXIMUM IMPERVIOUS AREA=3,800 S.F.





REFERENCES: D.B. 4188 PG. 96 PIN 0662-10-6431.000 PID 110662 0027 36 2. LOT 105 D.B. 3963 PG. 731 PIN 0662-10-7400.000 PID 110662 0027 37 RESTRICTIVE COVENANTS: 3. D.B. 4072, PG. 220

HAY FIELD DRIVE 50' R/W (PUBLIC & UTILITY ACCESS)



SETBACKS

FRONT-25' SIDE-10 REAR-20' CORNER SIDE-20'

LEGEND

(BC)-BACK OF CURB

(SW)-SIDEWALK

(PD)-PROPOSED DRIVEWAY

(PB)-PHONE BOX (EB)-ELECTRIC BOX

(T)-TRANSFORMER

(PP)-PORTA-POTTY

(WM)-WATER METER

(CO)-CLEANOUT (AC)-AIR CONDITIONER

COMMON AREA 5



Sales center only

NOTES:

- 1. ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2022, PG 203-205 UNLESS OTHERWISE NOTED.
 2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.
- 3. THE PROJECT IS WITHIN THE WS IV WATERSHED. THE MAXIMUM IMPERVIOUS AREA PER LOT IS 3,800 SF.

PRELIMINARY PLAT- NOT FOR RECORDATION, CONVEYANCE, OR SALE

LOT 104 & 105 THE FARM AT NEILLS CREEK PHASE 1 83 HAY FIELD DRIVE 71 HAY FIELD DRIVE HARNETT COUNTY LILLINGTON, N.C. 27546

SURVEY FOR CHESAPEAKE HOMES



REFERENCE: PLAT BOOK 2022 PAGE 203-205

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DESCRIPTION RECORDED IN REFERENCES AS SHOWN; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION

IN_____; THAT THE RATIO
OF PRECISION IS 1:10,000; AND THAT THIS MAP MEET THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA
(21 NCAC 56.16000).

THIS_____ DAY OF

PROFESSIONAL LAND SURVEYOR L-4433

6260 ELEV A MONO SLAB FULL FRONT PORCH REAR PORCH GARAGE SERVICE DOOR GARAGE RIGHT FRONT

ROBINSON & PLANTE PC

LAND SURVEYING C-2687 970 TRINITY ROAD RALEIGH NC, 27607 PHONE (919) 859-6030 FAX (919) 859-6032

DATE: 5-4-23

SCALE: 1"=40'

FILE: FNCLOT104MODEL

DETACHED SINGLE FAMILY DWELLING

MODEL 6260 - GARAGE RIGHT

The Farm at Neill's Creek - Model

CONTENTS

- CONTENTS AND PROJECT INFORMATION
- MONOLITHIC SLAB FOUNDATION
- FIRST FLOOR PLANS
- FIRST FLOOR PLANS OPTIONS
- SECOND FLOOR PLANS
- **ELEVATION A AND ROOF PLAN**
- **ELEVATION B AND ROOF PLAN**
- **ELEVATION C AND ROOF PLAN**
- ELEVATION D AND ROOF PLAN
- **ELEVATION F AND ROOF PLAN**
- TYPICAL BUILDING SECTION
- FOUNDATION, WALL, AND SOFFIT DETAILS
- FOUNDATION AND WALL DETAILS
- FOUNDATION AND WALL DETAILS
- 6.2 A ELEVATION A DETAILS
- 6.2 B ELEVATION B/C/D/F DETAILS FIRST FLOOR ELECTRICAL PLANS
- SECOND FLOOR ELECTRICAL PLANS
- STANDARD DETAILS AND NOTES MONOLITHIC

AREA SCHEDULE	
FIRST FLOOR HEATED *	1,206 SF
SECOND FLOOR HEATED *	1,460 SF
TOTAL HEATED AREA	2,666 SF
garage **	384 SF
COVERED FRONT PORCH ***	60 SF
TOTAL COVERED AREA	3,110 SF
OPT. SUNROOM	142 SF
OPT. REAR COVERED PORCH	146 SF

- * ADD 14 SF @ ELEV. C
- ** ADD 252 SF @ THIRD-CAR GARAGE OPTION
- *** 61 SF @ FLEV. A
 - 115 SF @ ELEV. C 130 SF @ ELEV. D/F/ELEB. B W/ FULL PORCH OPTION

Homesite 104 Plan 6260 Elevation A **Garage Right**

- -Mono Slab
- -Patio
- -Garage Service Door
- -Rear Covered Porch
- -Full Front Porch
- -First Floor Full Bath
- -Gourmet Kitchen Island
- -Fireplace
- -Deluxe Primary Bath
- -Double Bowl Vanity in Hall Bath
- -Laundry Sink
- -Second Floor Pickets and Rails
- -Upgraded Craftsman Pickets Throughout
- -Oak Tread Stairs with Carpet Runner

GENERAL NOTES

- 01. GENERAL CONDITIONS

 1. STAIRS: ALL STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED
- 01. GEREAL CONDITIONS

 1. STARS: SHALL SE CONSTRUCTED IN ACCORDANCE WITH THE REQUREMENTS ESTABLISHED BY THE ADOPTED BUILDING CODE. STAIR INFORMATION MAXBAIL RISER B-1/4"; MINIMUM STAR TERROS OF THE FLOOR SURFACE OF THE THE ADDRESS OF PRICE AS THE ADDRESS OF PRICE AS THE STAIR STAR STATE OF THE STAIR STAR STATE OF THE STAIR MEASURED VERTICALLY FROM THE STAIR NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM, MINIMUM CLEAR STAIR OPENING STORT SHALL NOT BE LESS THAN 36 INCHES. STAIRS WITH OPEN BISSES SHALL BE CONSTRUCTED TO PREVENT THE PASSAGE OF A SPHERE OF 4 INCHES OR HOME TO DARFET THROUGH THE RISER OPENINGS. THE GEREATEST RISER HEGIT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEDE THE SMALLEST BY MORE THAN 3/8 INCHES. THE GREATEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEDE THE SMALLEST BY MORE THAN 3/8 INCHES.

 2. HANDRAILS AND GUARDRAILS: HANDRAILS HUST HAVE A MINIMUM AND MAXBAIL HEGIT OF 34 INCHES AND 38 INCHES, RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, AND SHALL BE PROVIDED ONE AT LEAST ON SIZE OF STAIRWAYS OF FOUR OR MORE RESES, HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. SHALL BE RETURNED OR SHALL TERMINATE IN HER PLALL LENGTH OF THE STAIRS. THAN 13 INCHES MAN, OR APPROVED RIALS OF SCHWALLS TO STAIR SHALL SHALL SHALL HER ANDRAILS SHALL BE RESEAULD SHALL TERMINATE IN HER MALL SHALL HER ANDRAIL SHALL HER ANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. FINDS SHALL BE RETURNED OR SHALL TERMINATE IN HOTHER SHALL SHALL HAVE A CIRCULAR CROSS SECTION WITH AND OUTSIDE DUALETER OF AT LEAST IN 150 AT ALL PORT OF THE STAIR SHALL BE AND A SHALL BE RESEAULD SHALL TERMINATE IN HER MALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL GUARDRAILS HAUL FREWANT IN SHALL BY SHALL BE INSTAILLED AT ALL PORT OF THE STAIR SHALL HAVE A SHALL BE STAILL SHALL HAVE A SPACE OF NOT LESS THAN 3 ON INCHES A BOYD THE FUE OR OR GRADE BELOW.

 3. WINDOW SURPLER IS TO CERTIFY THAT THE WALL AND THE HANDRAIL GUARDRAILS HALL BY SHALL SHALL
- LOCATIONS PER INC SECTION R308.

 I. ALL VENTED CRAWL, OR ATTIC SPACES SHALL BE PROVIDED WITH VENTS TO ALLOW A FLOW OF AIR THROUGH THE SPACE, FREE VENT AREA IS TO BE AS FOLLOWS: CRAWL, VENTS SHOULD EQUAL 1/150 OF GROUND AREA, ROOF VENTS 1/300 OF CEILING AREA WITH VENTS DISTRIBUTED PER THE GOVERNING BUILDING CODE. PROVIDE ACCESS OPENINGS TO CRAWL, (1872 A* MIA), AND ATTIC (22* X 30* MIN. WITH 30* HEADROOM) OR SIZED FOR REMOVAL OF MECHANICAL EQUIPMENT IF LOCATED IN ATTIC PER IRC M1305.1.3. WHEED PROVINGS OR INFORMATION IS IN CONDICT WITH OTHER PROMYMISS OR DETAILS, THE BUILDER SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER THAT A CLARRICATION OTICE CAN BE ISSUED.

 5. ALL COMPONENTS AND CLADDING SHALL BE ATTACHED FOR WIND SPEED REQUIREMENTS NOTED ON THIS COVER SHEET OR PER THE GOVERNING BUILDING OFFICIAL'S REQUIREMENTS.

- 11H3 CUVEN STREET OF THE THE STREET OF THE STREET S
- FOR VERETHIN THIS BEARING CAPACIT. ALL FOUTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL.

 2. THE BOTTOM OF ALL FOOTINGS SHALL BE BELOW THE FROST LINE AS DEFINED BY THIS COVER SHEET, THE DRAWINGS OR THE GOVERNING BUILDING OFFICIAL'S REQUREMENTS AND/OR 12" MINIMUM.

 3. FOR BASEMENT CONDITIONS, THE MAXIMUM VERTICAL DISTANCE MEASURED FROM THE TOP OF A BASEMENT FLOOR SLAST OT THE OUTSIDE SHISHED GRADE SHALL NOT EXCEED DISTANCES FOR THE WALL THICKNESS AS SHOWN IN IRC TABLES R-404.1.1 (1-4) OR R-404.1.2 (1-9) BASED ON WALL TYPE AND SOIL CLASS.

 4. DO NOT BACKFILL WITHL WALLS HAVE CURED AND THE ENTIRE BUILDING STRUCTURE ABOVE IS IN PLACE. BACKFILL SHALL BE CLEAN GRADULAR FILL FREE OF GRADING METRALL, PLACED EQUALLY ON ALL SIDES, COMPACTED TO 95% HAXWAND BY DENSITY PER ASTM D588.

 5. FINISHED GRADE SHALL SLOPE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF BICHES PER FOR A MINIMUM DISTANCE OF 10 FEET FROM THE BUILDING FER RC SECTION RAOL 3.

 6. TERMITE TREATMENT TREAT MISTERIOR AND EXTENDE ARTH TERMITED STRUCTS APPROVED TERMICES, SPAYS BORA-CARE OR BO, TERMORD EARTH AT PRIVATE THE SHELDS WHERE SHOWN ON PLANS.

 9. CAST-METALES CROCCINED.

- PER HAMMFACTURER'S RECOMMENDATIONS. PROVIDE TREMITE SHELDS WHERE SHOWN ON PLANS.

 3. CAST-N-PLAGE CONCRETE

 1. CONCRETE SHALL HAVE A HAINMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI, MORE

 CATERIOR SLASS TO BE 3,000 PSI, MIN. 59 & MAX. 79 M/R ENTRAINED CONCRETE.

 2. CONCRETE FLACEMENT SHALL COMPLY WITH RECOMMENDATIONS OF ACI 332.

 3. CONCRETE SLASS SHALL HAVE POLYREPOPTILES RIBER ADDITIVE (1.5 LB/CY) OR WHY REINFORCEMENT

 6 X 6, W1.4 X W1.4 PER ASTIN A 185 LOCATED MIDWAY THROUGH THE SLAB THICKNESS. ALL SLASS
 ARE TO BEAR ON COMPACTED FILL TESTED FOR 959 MAXIMUM DRY DENSITY PER ASTIN DESS.

 4. REINFORCING STEEL WHERE SHOWN ON PLANS SHALL CONFORM TO ASTIN AG15, GRADE 60 MIN.,

 DEFORMED.
- DEFORMED.

 5. PROVIDE A 6 MIL POLYETHELENE MOISTURE VAPOR BARRIER MEMBRANE UNDER INTERIOR AND GARAGE CONCRETE SLABS AND FOOTINGS WHIERE NDICATED ON THE DRAWINGS. LAP SHEETS 6" MIN. AT JONTS. 6. COVERED PORCHES SLABS SHALL SLOPE AT A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAIN WATER AWAY FROM EXTEROR WALLS. UNCOVERED PATIO SLABS SHALL SLOPE AT 1/4" PER FOOT.
- . CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO ASTM C90, GRADE N. NORMAL WEIGHT UNITS.
- LONGREE E MOSORIY UNITS (UM) STALL COMPRESSIVE STREAM OF ASIA OF N. NORAGE, NORAGE THE STALL COMPRESSIVE STREAM OF 2.00 PSL. PROVIDE CONTINUOUS HORIZONTAL JOHN REINFORCING EVERY OTHER COURSE. MORTAR TO MEET ASTM C227 STANDARDS.
 AGROUT SHALL MEET THE REQUIREMENTS OF ASTM C476 WITH A 2B DAY COMPRESSIVE STREAMTH OF 2.500 PSL. GROUT ALL CELLS RECEIVING ANCHORS AND THE TOP COURSE OF ALL BEARING WALLS.
 FACE BRICK SHALL BE STANDARD SIZE AND COMPLY WITH ASTM C216, RUNNING BOND WITH DAYS. JOINT APPLICATION, SECURE BRICK VENEER TO WALL STUDS WITH 22 GA. GALV, METAL TIES ATTACHED
- TO STUDS WITH 8d NAILS SPACING AS SHOWN ON PLANS. 5. APPLY A BITUMINOUS WATERPROOF MEMBRANE TO THE EXTERIOR OF ALL BASEMENT WALLS TO BE BELOW GRADE AFTER BACKFILLING.
- 6. MANUFACTURED STONE WHERE SHOWN ON PLANS, SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND DETAILS AND THE MASONRY VENEER MANUFACTURERS ASSOCIATION (MVMA) "INSTALLATION GUIDE AND DETAILING OPTIONS FOR COMPLIANCE
- STRUCTURAL STEEL
 STEEL BEAMS AND PLATES SHALL CONFORM WITH ASTM A36, STEEL COLUMNS SHALL CONFORM
- TO ASTM A53. 2. ALL STRUCTURAL STEEL SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT AISC SPECIFICATIONS
- ALL SINUCLIONAL SELECTION MANAL.* ALL PIPE COLUMNS SHALL BE STANDARD WIGHT STEEL COLUMNS IN ACCORDANCE WITH ASTIN ASOO AND FINISHED WITH CORROSION RESISTANT COATING PER ASTIN B117. STEEL COLUMNS AT BASEMENT LOCATIONS SHALL PENETRATE THE BASEMENT SLAB DOWN TO THE TOP OF THE COLUMN FOOTING BELOW SLAB.
- A ALL BRICK STEEL LINTELS SHALL BE SIZED PER STRUCTURAL DRAWINGS ON SHEET SD1.

06. WOOD

1. FRAMING LUMBER SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION WHICH

LKOAIDES THE LOTTOMING W	NIMUM DESIGN VALUES:	
MEMBER	GRADE	VALUES
FRAMING LUMBER	HEM/SYP/SPF #2 OR BETTER	Fb = 875 PSI
PRESSURE TREATED LUMBER	SYP #2 OR BETTER	Fb = 975 PSI
PLATES	HEM/SYP/SPF #3	Fc = 425 PSI
BLOCKING	STANDARD	Fb = 275 PSI

- BLUCKING

 51 ANDARD

 51 ANDARD

 52 CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL (AWC),

 "WOOD FRAME CONSTRUCTION MANUAL" (WFCM) AND SHALL COMPLY WITH RIC R301.1 TO SUPPORT

 AND TRANSFER ALL LOADS SAFELY TO THE FOUNDATION.

 3. THE DESIGN LOADS FOR PREFABRICATED WOOD TRUSSES ARE PER THESE SPECS., THE GOVERNING BUILDING CODE
- "WOOD FRAME CONSTRUCTION MANUAL" (WE'CH) AND SHALL COMPTY WITH RC R301.1 TO SUPPORT
 AND TRANSFER ALL LOADS SAFELY TO THE FOURDATION.

 3. THE DESIGN LOADS FOR PREFABRICATED WOOD TRUSSES ARE PER THESE SPECS, THE GOVERNING BUILDING CODE
 AND CURRENT LOTHONS OF 1"1-1 AND HOS. THE TRUSS MANUE. SHALL PROVIDE SHOP DRAWINGS, SEALED BY A STATELICKINSED DESIGN PROFESSIONAL, FOR A PPROVAL PROR TO FABRICATION. INSTALL TRUSSES AND ENGINEERED
 LIMBER IN STRUCT ACCORDANCE WITH THE SHOP DRAWINGS AND WITCA-81 AND WITCA-82. ALL POINT LOADS,
 PARTIAL UNFOWN LOADS OR COMBINATIONS THEREO'S PAUL RE DETERMINED BY THE TRUSS MANUE. FALTER AND
 ACCOUNTED FOR IN THE DESIGN OF THE RODE AND/OR FLOOR SYSTEM.

 4. PREFABRICATED WOOD-LOISTS SHALL BE RETEXTINED BY THE TRUSS MANUE FACTURER AND
 ACCOUNTED FOR IN THE DESIGN OF THE RODE AND/OR FLOOR SYSTEM.

 5. PARTEAL SHOWLOOD BY THE MANUFACTURER.

 5. HANGERS, ANCHOORS AND FASTENERS, WERE CALLED FOR IN SHOP DRAWINGS OR THESE DRAWINGS,
 SHALL BE INSTALLED IN COMPLIANCE WITH THE ANAMEACTURER'S INSTRUCTIONS.

 5. SHALL BE INSTALLED IN COMPLIANCE WITH THE ANAMEACTURER'S INSTRUCTIONS.

 5. SHALL BE INSTALLED IN COMPLIANCE WITH THE ANAMEACTURER'S INSTRUCTIONS.

 5. SHALL BE INSTALLED IN ACKNOWLED AND THE ANAMEACTURER'S INSTRUCTIONS.

 5. SHALL BE INSTALLED IN COMPLIANCE WITH THE ANAMEACTURER'S INSTRUCTIONS.

 6. BRAMS AND HEADERS ARE TO BEAR ON ANCK STIDES AS NOTIFICAL WITH PER 2NC'BY SUY.

 7. SHALL BE INSTALLED IN COMPLIANCE WITH THE ANAMEACTURER'S INSTRUCTIONS.

 6. BRAMS AND HEADERS ARE TO BEAR ON ANCK STIDES AND ROPSON ON THE PEANS, SHOP PRAWINGS, OR PER CODE.

 7. PROVIDE SOLID BLOCKING BELOW ALL JACK STUDS FORMING A CONTRACT WITH PEAN'ES SUPER.

 7. SHALL BE RESULTED AND THE AND SHALL BE PRESSURE TREATED WOOD TO BE STAINLESS.

 8. PROVIDE STRUCTURAL SHALL BE NEATHER WHERE NOTED ON THE ANAS, SHOP PRAWINGS, OR PER CODE.

 8. PROVIDE STRUCTURAL SHALL BE REATHER WHERE NOTED ON THE ANAS, SHOWN ON THE PAN'S, SHOP PRAWINGS, OR PER CODE.

 9. PROVIDE STRUCTURAL SHALL BE REATHER WHERE NOTED ON THE NOTE OF THE PASSURE THE

- WIND PRESSURE RESISTANCE TO BE DETERMINED BY ASTM E330.

 8. DOORS, WINDOWS AND GLASS

 1. INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTALLATION RECOMMENDATIONS.

 2. ALLA LLIABRIMA MOZOR OF WITH, (EVC), AND/OR WOOD WINDOWS AND DOORS SHALL, CONFORM TO CLASS R WITH DP PERFORMANCE GRADE AS NOTED ON THE COVER SHEET, TESTED PER AMALYCIMAC'SA 101/1.5.2/A440 FOR THE ASPHCABLE WINDOW AND DOOR TYPES SHOWN ON THE BRAWINGS, INSTALL TEMPERED GLASS AND WINDOWS WHERE NOTED ON PLANS OR AS REQUIRED BY CODE. ENERGY PERFORMANCE RATINGS FOR U VALUES AND SHGC SHALL BE AS NOTED ON THE COVER SHEET AND TESTED PER NERG 100 AND NERG 200 RESPECTIVEY.

 3. INSTALLATION AND FLASHING OF WINDOWS AND DOORS TO BE IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTALLATION RISTICATIONS AND ASTM E2112.

 4. INSECT SCREENS TO BE IN ACCORDANCE WITH ANSI/SMA 1004, ANSI/SMA 2006, OR ANSI/SMA 3001.

 5. PROVIDE AND INSTALL HARDWARE PER OWNER'S SCHEDULE.

 6. GARAGE DOORS SHALL BE CERTIFED IN ACCORDANCE WITH ASTM/ASHA 108 FOR THE APPLICABLE WIND PRESSES AS NOTED ON THE COVER SHEET.

- APPLICABLE WIND PRESSURES AS NOTED ON THE COVER SHEET.

- 09. FINISHES
 1. GYPSUM WALL BOARD, GYPSUM SHEATHING MATERIALS AND ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE
 WITH IRE R702.3 AND WITH GA-253 "APPLICATION OF GYPSUM SHEATHING" PUBLISHED BY THE GYPSUM ASSOCIATION.
 2. INSTALL FLOOR COVERINGS AS SHOWN ON PLANS OR PER OWNER'S SCHEDULE PER MANUF, INSTALLATION INSTRUCTIONS
- 0. SPECIALTIES
 1. PROVIDE KITCHEN AND BATH CABINETS FIXTURES AND APPLIANCES, FIREPLACE, HARDWARE AND MISC, ITEMS PER OWNERS
 SCHEDULE. INSTALLATIONS TO BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. PRE-FAB FIREPLACES TO BE ULLISTED AND COMPLY WITH UL 127.

- 11-14. N/A

 15. MECHANICAL

 1. INSTALL VENTILATORS AND HEATING AND AIR CONDITIONING SYSTEMS AS SHOWN ON PLANS OR PER OWNER'S SCHEDULE.

 1. INSTALL VENTILATORS AND HEATING AND AIR CONDITIONING SYSTEMS AS SHOWN ON PLANS OR PER OWNER'S SCHEDULE.

 1. INSTALL VENTILATORS AND HEATING AND AIR CONDITIONING SYSTEMS AS SHOWN ON PLANS OR PER OWNER'S SCHEDULE.

 1. INSTALL VENTILATORS AND HEATING AND AIR CONDITIONING SYSTEMS AS SHOWN ON PLANS OR PER OWNER'S SCHEDULE. SIZE ALL EQUIPMENT PER ACCA MANUAL S AND J AND INSTALL FOR FUTURE ACCESS SERVICE AND REMOVAL. PROVIDE COMBUSTION AIR WHEN REQUIRED PER M1701. ALL DUCTWORK AND PIPING LOCATED IN UNCONDITIONED SPACES SHALL BE INSULATED AND SEALED PER CODE. INSTALL DRYER DUCT TO OUTSIDE WITH SMOOTH METAL DUCTING WITHOUT SCREWS AND WITH MINIMUM BENDS. MAXIMUM DUCT LENGTH PER IRC M1502
- 2. VENTING: ALL DRYERS AND BATH EXHAUSTS MUST BE VENTED DIRECT TO THE EXTERIOR OF THE STRUCTURE WITH A BACKDRAFT DAMPER IN ACCORDANCE WITH THE CURRENT CODE. 3. PROVIDE A PROGRAMABLE THERMOSTAT, MANUALS FOR MECHANICAL AND WATER HEATING EQUIPMENT
- ENERGY COMPLIANCE CERTIFICATE AND ALL OTHER REQUIREMENTS OF THE CURRENT ENERGY CODE

- LIGHT FIXTURES MUST HEET CLEARNCES STATED IN THE MED. BY THE MED. BY THE MED. BY THE MEDICAL PLANT OF CHITCHING LIM.O.

 3. INSTALL ELECTRIC SMOKE DETECTORS, CARBON MONOXIDE/ALARIAS WHERE SHOWN ON PLANS. ALL DETECTORS MUST BE INTER-CONNECTED AND HOROPROPHER BATTERY BACK-UP. INSTALL PER NFPA 72 AND UL 217 REQUIREMENTS. CO ALARIAS TO COMPLY WITH NFPA 720 AND UL 2034. COMBINATION SMOKE/CO ALARIAS MUST BE USTED PER UL 2034.

 4. PROVIDE HIGH EFFICACY LAMPS IN PERMANENT FIXTURES PER CURRENT ENERGY CODE.
- PROVIDE RINKS ETFOCKS SET OF THE PROVIDED REPORT OF THE

BUILDING CODE SUMMARY

Proposed Use: Owner:	Chaeanaaka Hor	Various Locations, NC Market Detached Single Family Dwelling Chespack Homes				
Contact Person:	Brad Blough		(919) 256-3060	E-mail:	bblough@cheshomes.com	
DESIGNER OF	RECORD:					
<u>Designer</u>	Name	License #	Teleph	one #;	E-mail;	
Architect	James W. Wentling	NC-Arch. # 484	12 (215) 56	8-2551	JamesWentling @wentlinghouseplan	
Structural:	Jonathan A. Troxler	NC-P.E # 278	45 (919) 87	8-1617	jtroxler @southernengineers	
BUILDING DAT	Code: 2018 North	<u>n Carolina State Res</u> with North Carolina				

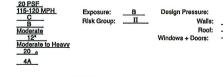
Roof Live Load:

DESIGN LOADS:

Floor Live Load Sleeping Rooms:	30 PSF	Attic Without Storage:	10 P
CLIMATIC & GEOGRAPHIC DESIGN CRITERIA:			

20 PSF Attic With Permanent Stair:





Minimum Insulation:	
Ceiling:	R-38 (R-30 w/ Ralsed Heel Truss)
Walls:	R-15
Floors:	R-19
Slab:	R-0 (Per Southern Energy)
Glazing 'U' Value:	0.35 Max.
eucc.	_0.30 Max,

(Note: Minimum insulation values per Southern Energy Reports)

SOIL BEARING CAPACITIES:

Presumptive Bearing Capacity: 2.000 PSF

	ABBR	EVIATIONS	1
TEXT	DESCRIPTION	TEXT DESCRIPTION	7
AFF.	: ABOVE FINISHED FLOOR	HANUF. : MANUFACTURER	7
ALUN	: ALUMNUM	HAX. : HAXIMUM	†
BRG.	: BEARING	MN. : MNMUM	7
С	: CARPET	O.C. : ON CENTER	7
CLG.	: CELING	OPT. : OPTIONAL	7
cr	: CEILING JOISTS	OSB : ORIENTED STRAND BOARD	7
CONC.	: CONCRETE	P.T. : PRESSURE TREATED	7
COND.	: CONDITION	R. : RISERS	7
DBL JST.	: DOUBLE JOIST	REF. : REFIGERATOR	7
DIA.	: DIAMETER	REQ. : REQUIRED	7
DWG.	: DRAWING	R & S : ROD AND SHELF	7
E, M,	: ELECTRIC METER	R.R. : ROOF RAFTERS	7
ENG.	; ENGINEERED	R.T. : ROOF TRUSSES	7
E.P.	: ELECTRICAL PANEL	S.C. : SOLIO CORE	1
EQ.	: EQUAL	S.S. : SELECT STRUCTURAL	7
EXT.	: EXTERIOR	SHOW. : SHOWER	7
FOUND.	: FOUNDATION	S.L. : SIDE LITE	7
FTG.	: FOOTING	SPEC. : SPECIFICATIONS	7
H.P.D.	: HINGED PATIO DOOR	T. : TREADS	7
H.	: HGH	TEMP, : TEMPERED	7
нз	: HOSE BIBB	T.O.F. : TOP OF FOUNDATION	7
INCL.	: INCLUDED	TYP. : TYPICAL	7
INT.	: INTERIOR	U.N.O. : UNLESS NOTED OTHERWISE	7
TH	: JOIST HANUFACTURER	V : VIML	1
12	: JACK STUDS	W/ : WITH	1
			_

ADDDEVIATIONS

JAMES WENTLING/ LAND TITLE BUILDING 100 SOUTH BROAD STREE SUITE 1524 PHILADELPHIA, PA 19110

ARCHITECTURE LAND PLANNING



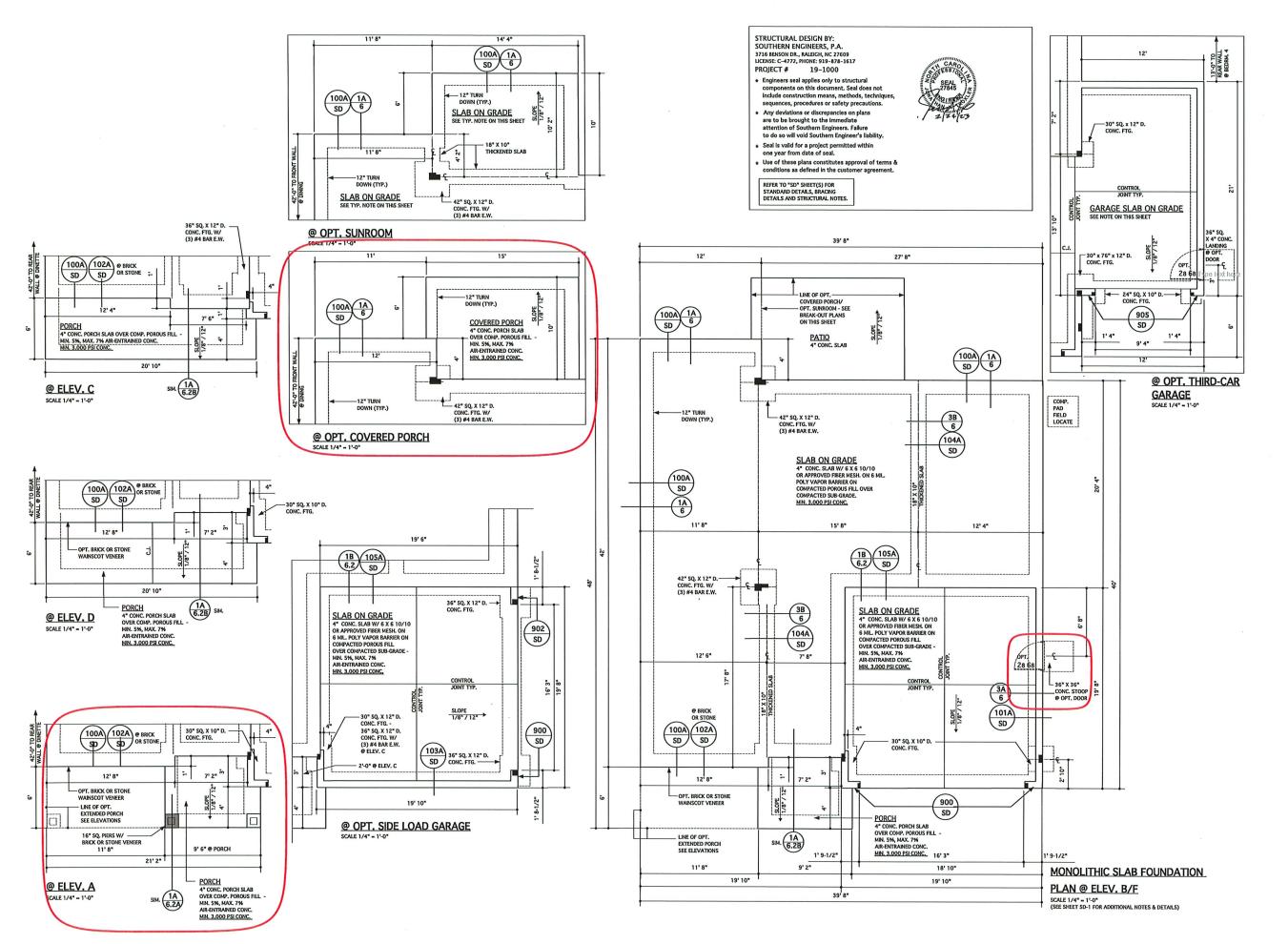
REVIS	SIONS	
MARK	DATE	DESCRIPTION
АМ	12-29-20	OPT. GOURMET ISLAND
АМ	01-14-21	RESTAMP SHEET
DN	02-09-21	OPT. PORCH POOTINGS
АМ	09-09-21	M. BATH WINDOW
лw	02-07-23	NEILL'S POINT/FARM
DN	02-15-23	OPT, EXT, FINISHES
DN	02-23-23	1'-0" DINING EXTENSION STRUCT, DWGS, REV.

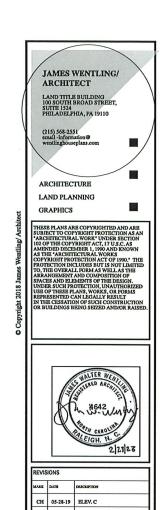
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT, DWGS, REV.
PROJEC	T NO. 113-8	1
DATE	10-16	-17
SCALE	NO S	CALE
DRAWN	DN	
CHECKE	JW.	
ISSUED I	FOR PERM	IITS/CONSTRUCTION

MODEL 6260 -**GARAGE RIGHT**

CHESAPEAKE HOMES OF NC 3100 Smoketree Co Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

> CONTENTS AND PROJECT INFORMATION





MARK	DATE	DESCRIPTION
СН	05-28-19	ELEV. C
СН	12-10-19	3RD CAR GARAGE EXT.
АМ	01-14-21	RESTAMP SHEET
DN	02-09-21	OPT. PORCH FOOTINGS
AM	09-09-21	RESTAMP SHEET
1M	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT, DWGS, REV.
PROJECT	T NO. 113-81	ı
DATE	01-08	-18
SCALE	AS NO	OTED
DRAWN	JK	
OECKE	M. As o	
ISSUED F		ITS/CONSTRUCTION
	ODEL	6260 - E RIGHT
310 Suit Rale (919		27604 50

MONOLITHIC SLAB

FOUNDATION PLAN

STRUCTURAL DESIGN BY:
SOUTHERN ENGINEERS, P.A.
3716 BENSON DR., RALEIGH, NC 27609
UCENSE: C-4772, PHONE: 919-878-1617
PROJECT # 19-1000

- * Engineers seal applies only to structural components on this document. Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions.
- * Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Fallure to do so will void Southern Engineer's liability,
- Seal is valid for a project permitted within one year from date of seal.
- Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

PORTAL FRAME LEGEND

SEE SD SHEETS FOR PORTAL FRAME DETAILS

APA-PF; APA PORTAL FRAME

APA-PF-END; END CONDITION FOR APA PORTAL FRAME
CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION

CS-PF; CONTINUOUS PORTAL FRAME CONSTRUCTION

CS-PF-END; END CONDITION FOR CONTINUOUS PORTAL FRAME

REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.

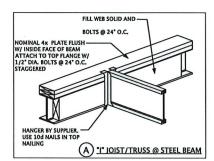


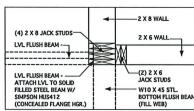
WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2* THICK UNLESS NOTED OTHERWIS (SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)

(SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FOR ADDITIONAL INFORMATION AND TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS.)

NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS







BEAM/STUD CONNECTION DETAIL 2

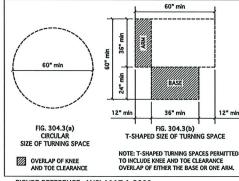


FIGURE REFERENCE: ANSI A117.1-2009

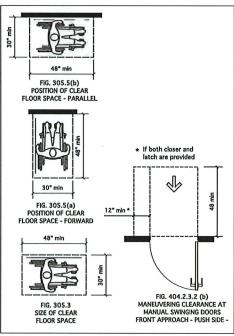
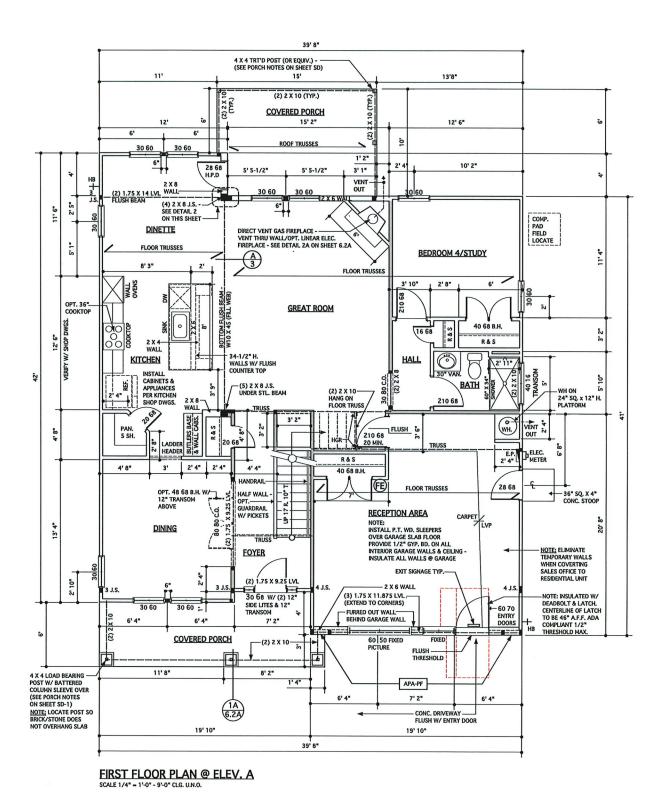


FIGURE REFERENCE: ANSI A117.1-2009



(215) 568-2551 email-information@ wentlinghouseplans.com

JAMES WENTLING/

LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110

ARCHITECT

ARCHITECTURE

LAND PLANNING

GRAPHICS

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK VUDGER SECTION 100 OF THE COPYRIGHT ACT, 17 U.S.C. AS AS AS THE YAGACHITECTURAL WORK VORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIAMTED TO THE OVERALL FORM AS WELL AS THE RARAMCHISETY AND COMPOSITION OF ARRAMCHISETY AND COMPOSITION OF UNION OF SUBJECT AND THE OVERALL FORM AS WELL AS THE ARRAMCHISETY AND COMPOSITION OF UNION OF SUBJECT AND ARCHITECTURAL WAS ARRAMCHISED FLANS, WORKS, OR FORMS REPRESENTED CAN LEGALLY RESULT ON THE CESSTATION OF SULCH CONSTRUCTION OR BUILDINGS BEING SEZZED AND/OR RAISE



REVIS	SIONS	
MAK	DATE	DESCRIPTION
СН	05-28-19	ELEVATIONS
СН	12-10-19	3RD CAR GARAGE EXT.
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
JW	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT, DWGS, REV.
TF	04-19-23	SALES OFFICE - LOT 104

113-88
01-08-18
AS NOTED
ж
JW
PERMITS/CONSTRUCTION

PROJECT TITLE

MODEL 6260 -GARAGE RIGHT THE FARM AT NEILL'S CREEK - SALES OFFICE -LOT 104

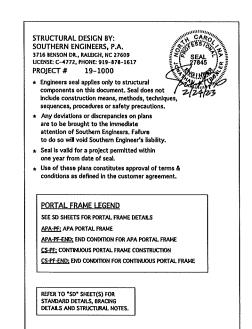
CHESAPEAKE HOMES OF NC

3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

DRAWING TITLE

FIRST FLOOR PLANS

3



NOTES:

WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWISE.

(SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)

(SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FOR ADDITONAL INFORMATION AND TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS)

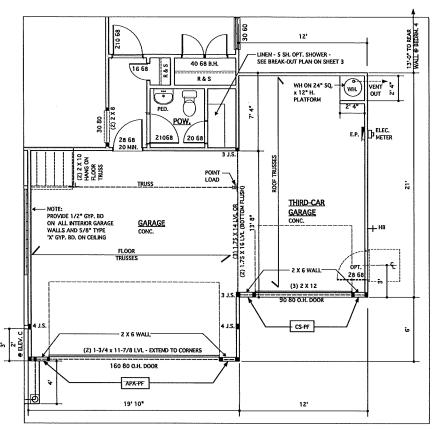
NOTE: SEE ELEVATIONS FOR OPT, BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS

LEGEND

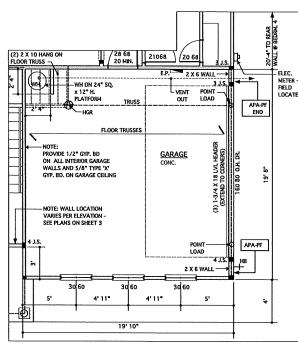
INTERIOR LOAD BEARING WALL

DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE

SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES

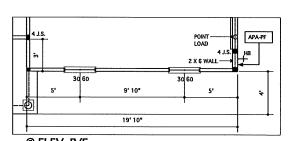


FLOOR PLAN @ OPT. THIRD-CAR GARAGE SCALE 1/4" = 1"-0"
NOTE: SEE FIRST FLOOR PLAN ON SHEET 3 FOR ADDITIONAL NOTES & DIMENSIONS

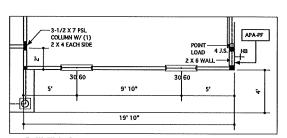


@ OPT. SIDE-LOAD GARAGE @ ELEV. A

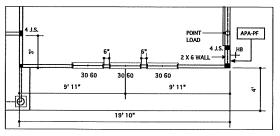
SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



@ ELEV. B/F SCALE 1/4" = 1'-0" - 9'-0" CLG, U.N.O.



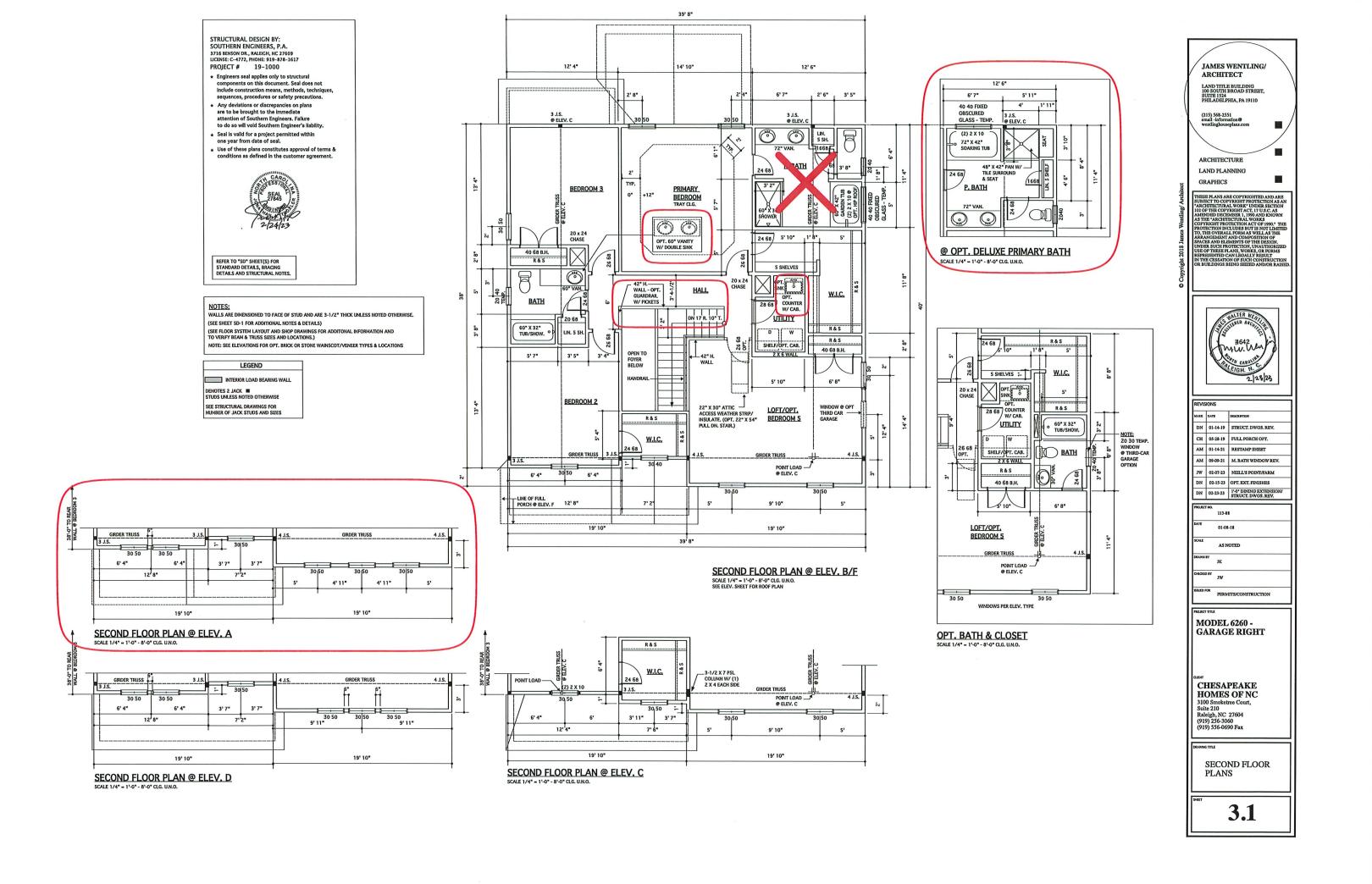
@ ELEV. C

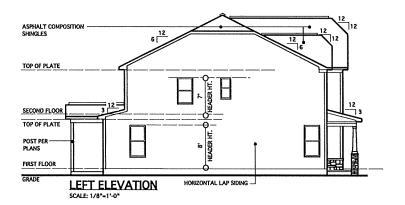


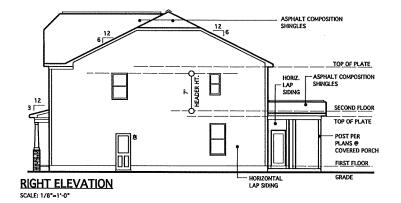
@ ELEV. D SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.







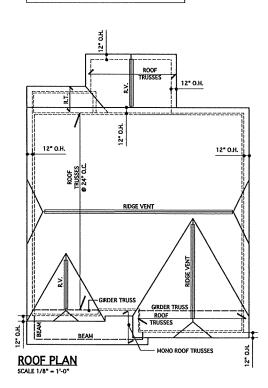


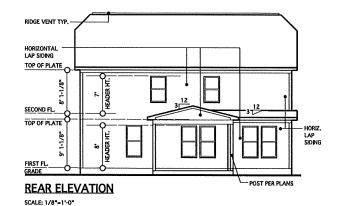


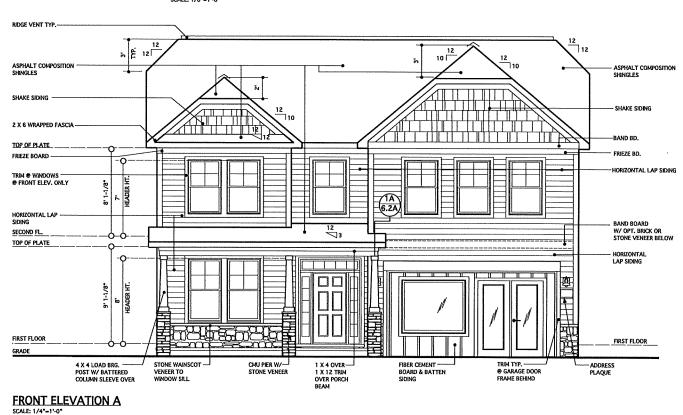
	REQUIRED VENTILATION SO	CHEDULE
1	,942 SQ. FT. OF CEILING AREA / 300	= 6.48 SQ. FT. REQ.
ROOF. VENTS	6.48 X 0.5 = 3.24 SQ, FT. 3.24 SQ, FT. X 144 = 466 SQ, IN. 466 SQ, IN. / 18 SQ, IN. = 26 (18 SQ, IN. PER LIN. FT.)	= 26 LIN. FT. REQ. 74 LIN. FT. PROVIDED
SOFFIT. YENTS	6.48 X 0.5 = 3.24 SQ, FT. 3.24 SQ, FT. X 144 = 456 SQ, IN. 466 SQ, IN. / 9 SQ, IN. = 52 LIN. FT. (9 SQ, IN. VENT PER LIN. FT.)	= 52 LIN. FT. REQ. 82 LIN. FT. PROVIDED

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

NOTE: BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS







JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110

(215) 568-255 email -information@ wentlinghouseplans.com

ARCHITECTURE

LAND PLANNING

GRAPHICS

THESS PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN 'ARCHITECTURAL WORK' UNDES SECTION 100 OFFISE COPYRIGHT ACT, 17 U.S.C., AS WAS AS THE "ARCHITECTURAL WORKS COPYRIGHT ACT, 1900." THE PROTECTION ACT, 1900. "THE PROTECTION ACT, 1900." THE DESIGN. UNDER SUCH FROTECTION, UNAUTHORIZED USB OF THESE PLANS, WORKS, OR FORMS USB OF THESE PLANS, WORKS, OR FORMS THE PROTECTION, UND THE DESIGN. IN THE CESS ATTOM OF SUFIC CONSTRUCTION OR BUILDINGS BEING SEIZED ANDOR RAISE



REVIS	SIONS	
MARK	DATE:	DESCRIPTION
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	M. BATH WINDOW
JW	02-07-23	NEILL'S POINT/FARM
DN	02-15-23	OPT. EXT. FINISHES
DN	02-23-23	1'-0" DINING EXTENSION, STRUCT, DWGS, REV.
TF	04-19-23	SALES OFFICE - LOT 104

PROJECT NO.	
	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW .
ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TITLE

MODEL 6260 -GARAGE RIGHT THE FARM AT NEILL'S CREEK - SALES OFFICE -LOT 104

CHESAPEAKE
HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TH

ELEVATION A AND ROOF PLAN

4



OPT. BRICK OR STONE _____ WAINSCOT VENEER TO WINDOW SILL

HORIZ. VINYL SIDING

 4 X 4 P.T. LOAD BRG.
 POST W/ ROUND TAPERED COLUMN SLEEVE OVER

GRDER TR.
ROOF
ROOF
TRUSSES

LINE OF OPT.
FULL COVERED
PORCH

FIRST FLOOR

FRONT ELEVATION B

12" O.H.

ROOF PLAN

6 X O.5 = 3 SQ, FT. 3 SQ, FT. X 144 = 432 SQ, IN. 432 SQ, IN. / 9 SQ, IN. = 48 LIN. FT. (9 SQ, IN. VENT PER LIN. FT.)

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

NOTE: BUILDING ELEMENTS ARE TO BE APPLIED TO MEET

LOCAL WINDLOAD REQUIREMENTS

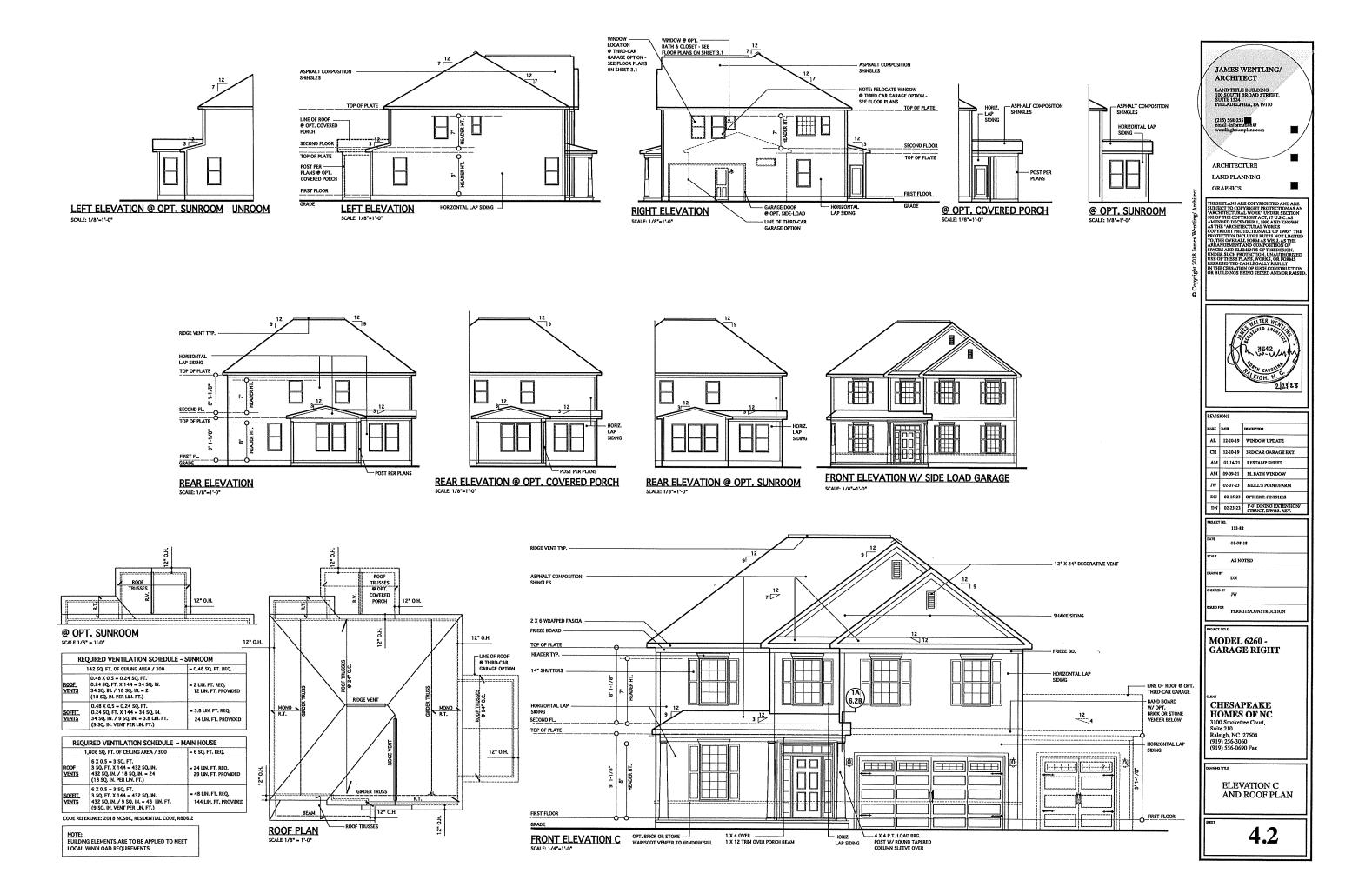
SOFFIT VENTS

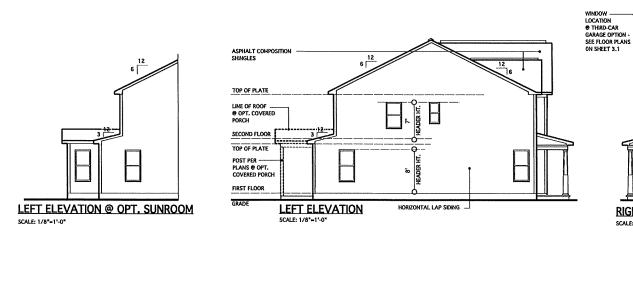
48 LIN. FT. REQ.

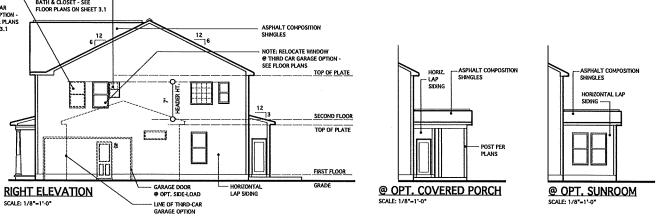
78 LIN. FT. PROVIDED

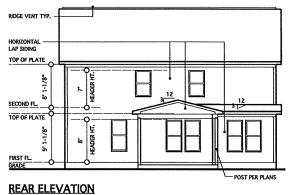
ELEVATION B AND ROOF PLAN 4.1

FIRST FLOOR

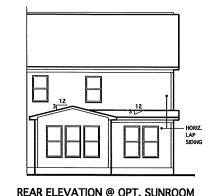










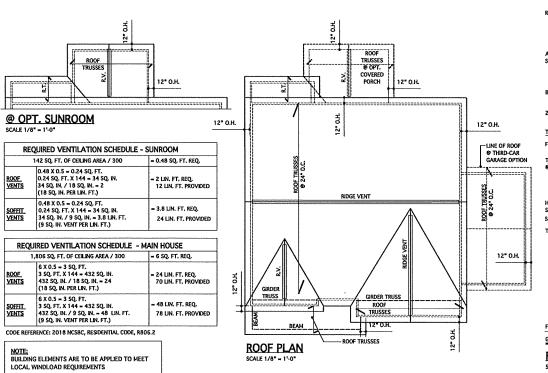


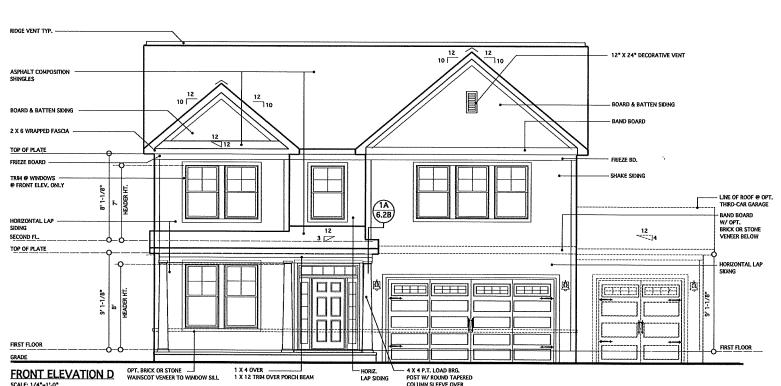


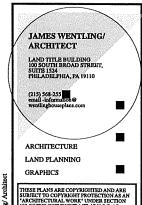
REAR ELEVATION @ OPT. COVERED PORCH

REAR ELEVATION @ OPT. SUNROOM

FRONT ELEVATION W/ SIDE LOAD GARAGE SCALE: 1/8"=1'-0"







THESE MANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK UNDER SECTION 101 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMEDICED DECEMBER 1, 1900 AND ENOWN AS THE "ARCHITECTURAL WORKS COPYRIGHT FOR THE COPYRIGHT ACT, 10 1900." THE PROTECTION ACTUBES BUT IS NOT LIMITED ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION ACTUBED USE OF THESE FLANS, WORKS, OR FORMS REPRESENTED CAN LIGITATIVE THE SULT. IN THE CESSATION OF SUCH CONSTITUTION TO INSPECT OF THE SECONDARY OF THESE FLANS, WORKS, OR FORMS REPRESENTED CAN LIGITATIVE RESULT. IN THE CESSATION OF SUCH CONSTITUTION TO BUT AND SERVICE CONSTITUTION AS SERVICE SERVICE OF THE SERV



KAR	EATE	DESCRIPTION
AL	12-10-19	WINDOW UPDATE
CH	12-10-19	3RD CAR GARAGE EXT.
АМ	01-14-21	RESTAMP SHEET
АМ	09-09-21	M. BATH WINDOW
JW	02-07-23	NEILL'S POINT/FARM
DN	02-15-23	OPT. EXT. FINISHES
DN	02-23-23	1'-0" DINING EXTENSION STRUCT, DWGS, REV.

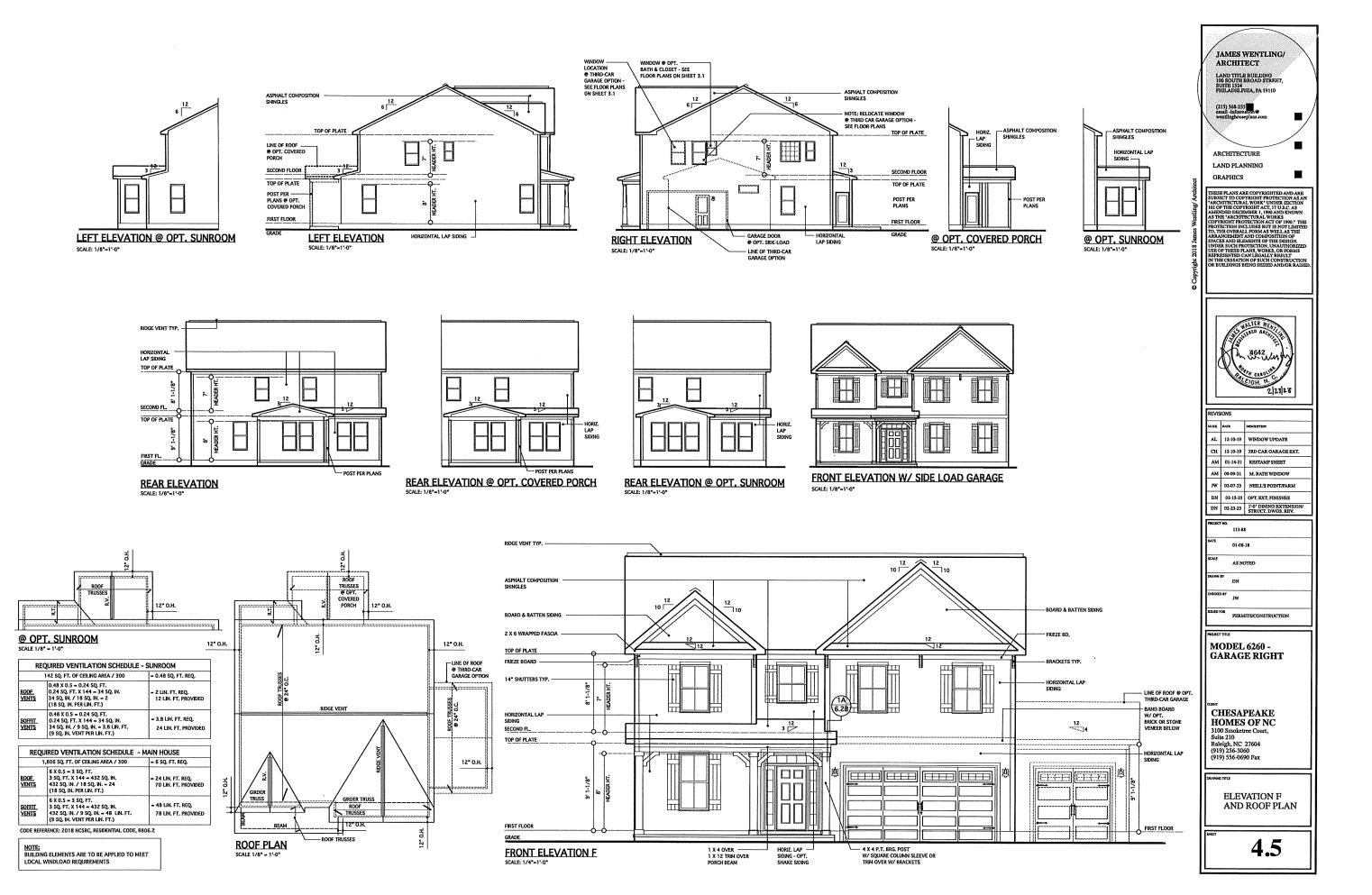
PROJECT NO.	
1	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITSACONSTRUCTION

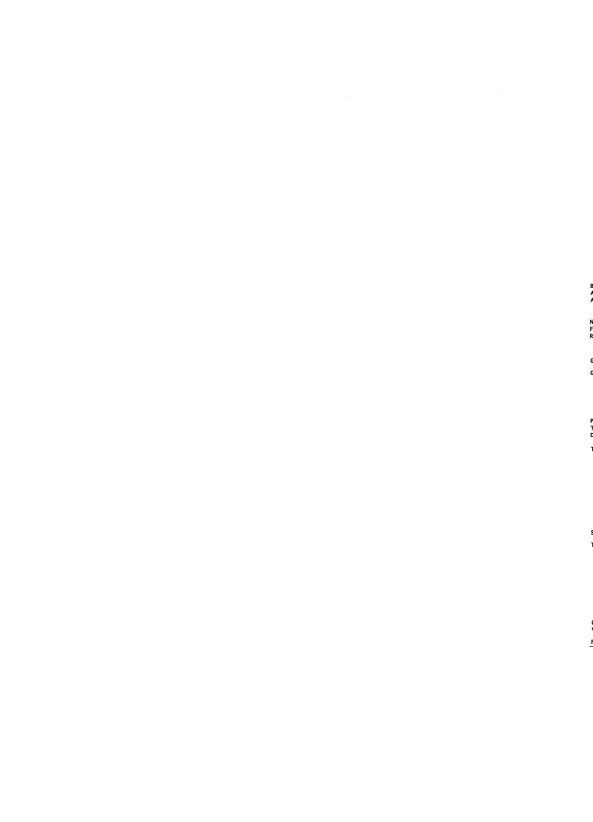
MODEL 6260 -GARAGE RIGHT

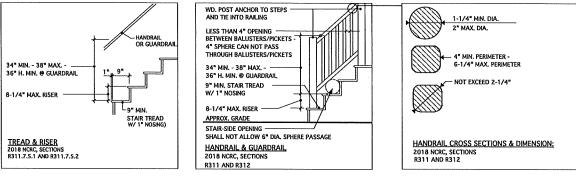
CHESAPEAKE HOMES OF NC

3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

ELEVATION D AND ROOF PLAN





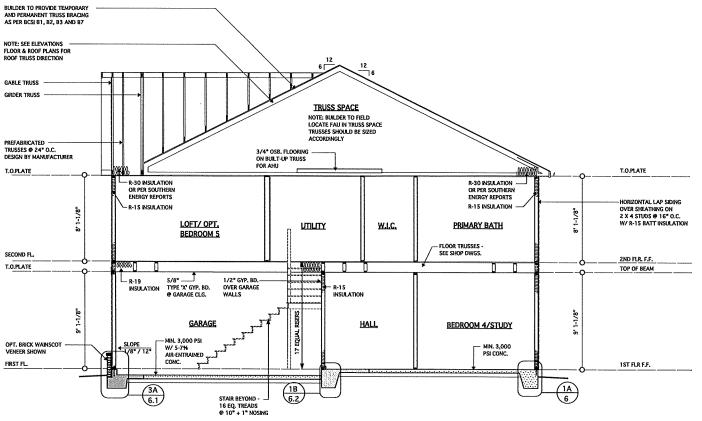


TYP. STAIR SECTION

NO SCALE ALL STAIR AND GUARD REQUIREMENTS TO COMPLY WITH R-311 AND R312 NCRC 2018

TYPICAL RAILING @ PORCH/DECK SCALE: 1/2" = 1'-0"

(PROVIDE GUARDRAIL BOTH SIDES WHEN HEIGHT ABOVE GRADE EXCEEDS 30"/ PROVIDE HANDRAIL ONE SIDE OF STEPS WHERE 4 OR MORE RISERS)



TYPICAL BUILDING SECTION

SCALE: 1/4" = 1'-0"

JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110

ARCHITECTURE

LAND PLANNING GRAPHICS



REVISIONS		
MARE	DATE	DESCRIPTION
DN	01-14-19	MINOR UPDATE
DN	03-30-20	BLDG. HTACTTY COMMENTS
DN	05-11-20	ADJUSTMENTS/NOTATIONS.
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
<i>I</i> W	02-07-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0' DINING EXTENSION/ STRUCT, DWGS, REV.

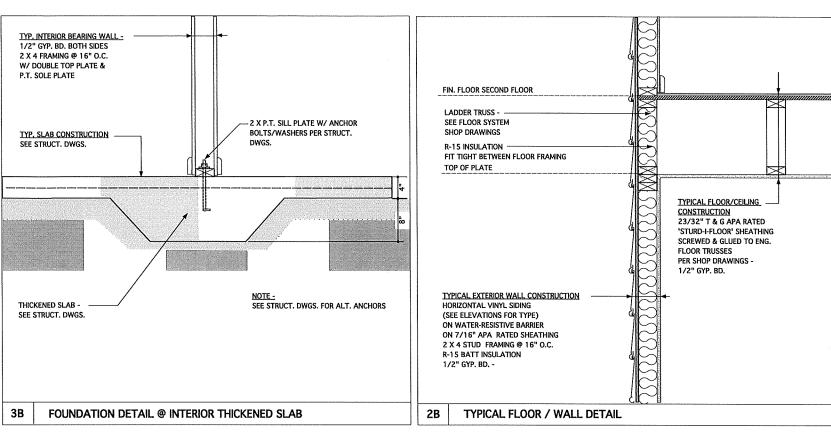
	STRUCT, DWGS, REV.
PROJECT NO.	
	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	ж
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

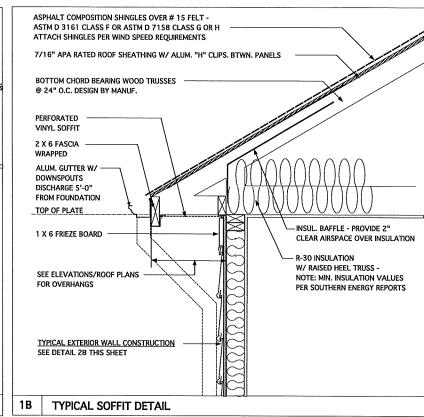
MODEL 6260 -GARAGE RIGHT

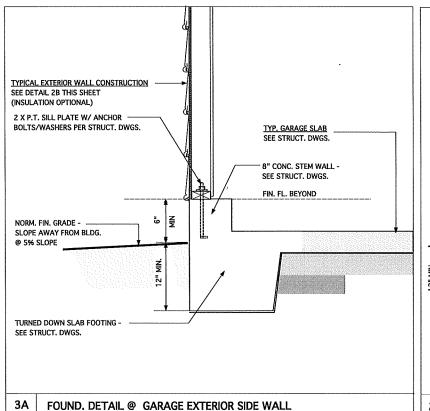
CHESAPEAKE HOMES OF NC

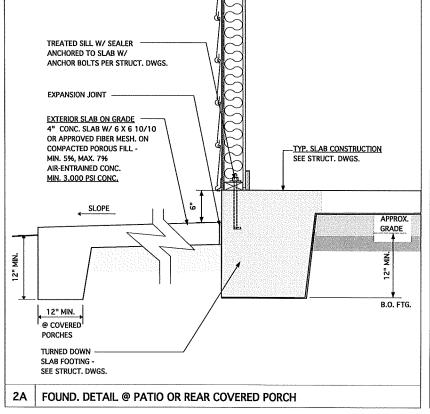
3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

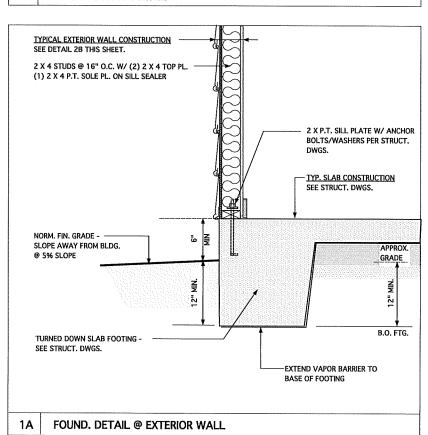
BUILDING SECTION











JAMES WENTLING/ ARCHITECT

SUITE 1524 PHILADELPHIA, PA 19110

ARCHITECTURE

LAND PLANNING

GRAPHICS

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN 'ARCHITECTURAL WORK 'UNDER SECTION 100 OF THE COPYRIGHT ACT, IT U.S.C. AS 100 OF THE COPYRIGHT ACT, IT U.S.C. AS 100 OF THE COPYRIGHT PROTECTION ACT OF 1900," THE PROTECTION INCLUDES BUT IS NOT LIMITED TO, THE OYERALL FORMAS WELL AS THE ARRANGEMENT AND COMPOSITION OF SECULO STRUCK AND COMPOSITION OF THE ARRANGEMENT AND COMPOSITION OF SECULO STRUCK AND COMPOSITION OF THE SECULO SEC



MARK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
DN	01-14-19	MINOR UPDATE
AM	01-14-21	RESTAMP SHEET
DN	02-09-21	OPT. PORCH POOTINGS
АМ	09-09-21	RESTAMP SHEET
JW	02-07-23	NEILL'S POINT/FARM

ь	
PROJECT NO.	
	113-88
DATE	10-16-17
SCALE	1-1/2" = 1'-0"
DRAWN BY	DN
CHECKED BY	™
ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TITL

MODEL 6260 -GARAGE RIGHT

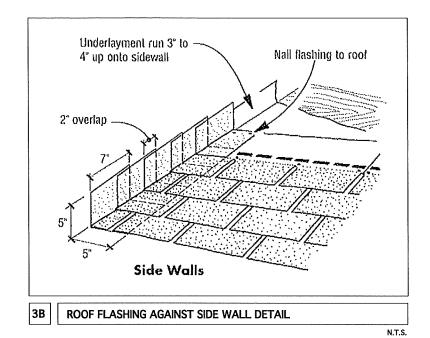
CHESAPEAKE
HOMES OF NC

3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

DEAWNG TITLE

MONOLITHIC SLAB FOUNDATION, WALL AND SOFFIT DETAILS





Step flashing
Self-adhering
membrane
Self-adhering
eaves membrane
Kickout flashing
Drip-edge

KICK-OUT FLASHING DETAIL AT ROOF FASCIA/WALL INTERSECTION

Siding Adhere shingles trimmed to cover flashing strip

Nail flashing strip over cutouts in course below

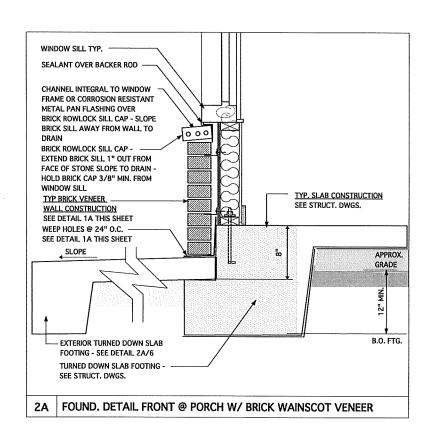
Top course at least 8' wide

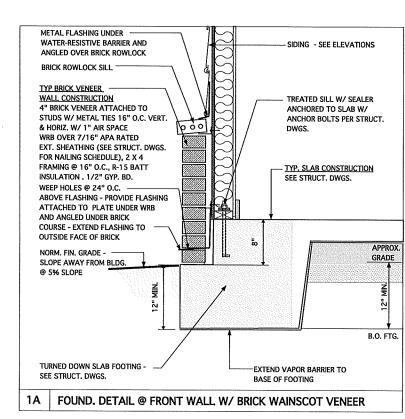
Front Walf Asphalt plastic cement

1B | ROOF FLASHING AGAINST FRONT WALL DETAIL

N.T.S.

SIDING - SEE ELEVATIONS METAL ELASHING LINDER 2 X P.T. SILL PLATE W/ ANCHOR WATER-RESISTIVE BARRIER AND BOLTS/WASHERS PER STRUCT. ANGLED OVER BRICK ROWLOCK DWGS. BRICK ROWLOCK SILL TYP BRICK WAINSCOT VENEER WALL CONSTRUCTION SEE DETAIL 1A THIS SHEET WEEP HOLES @ 24" O.C. ABOVE FLASHING TYP. GARAGE SLAB PROVIDE FLASHING ATTACHED SEE STRUCT, DWGS. TO PLATE UNDER BUILDING PAPER AND ANGLED UNDER BRICK COURSE 8" CONC, STEM WALL -EXTEND FLASHING TO OUTSIDE SEE STRUCT. DWGS. FACE OF BRICK FIN, FL, BEYOND NORM. FIN. GRADE - SLOPE AWAY FROM BLDG. @ 5% SLOPE TURNED DOWN SLAB FOOTING -SEE STRUCT. DWGS. 3A EXT. GARAGE FRONT WALL W/ BRICK WAINSCOT VENEER





JAMES WENTLING/
ARCHITECT

LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 132-PHA. PA 19110

(219) 568-2251
email-information@
wentlingbouseplans.com

ARCHITECTURE
LAND PLANNING
GRAPHICS

GRAPHICS

BUBEST PLANS ARE COPYRIGHTED AND ARE
SUBJECT TO COPYRIGHT PROTECTION AS AN

THESE PLANS ARE COPYRIGHTED AND AR SUBJECT TO COPYRIGHT PROTECTION AS SUBJECT TO COPYRIGHT PROTECTION AS CO. OF THE COPYRIGHT ACT, IT AS C. AS AMENDED DECEMBER I, 1990 AND KNOWL AS THE "ARCHITECTURAL WORLD FOR THE COPYRIGHT PROTECTION ACT OF 1902". TO COPYRIGHT PROTECTION ACT OF 1902 IT TO THE OFFICE AND ACT OF THE SEGON. USE OF THESE PLANS, WORKS, OR FORMS REPRESENTED CAN LEGALLY RESULT. IN THE CESSATION OF SUCH CONSTRUCTION BUILDINGS BEING SECRED ANDOR RAIL



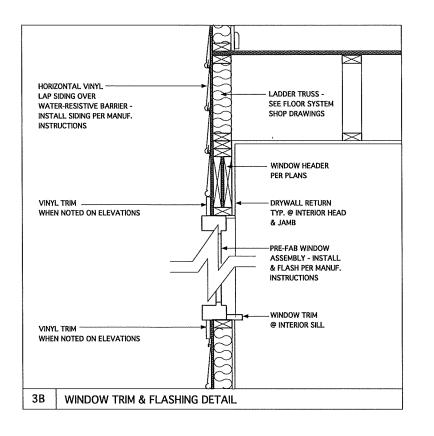
MARK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
АМ	01-14-21	RESTAMP SHEET
АМ	09-09-21	RESTAMP SHEET
3W	02-07-23	NEILL'S POINT/PARM
PROJEC		
	113-8	5
DATE	10-16	-17
SCALE	1-1/2*	= 1'-0* U.N.O.
DRAWN	EY DN	

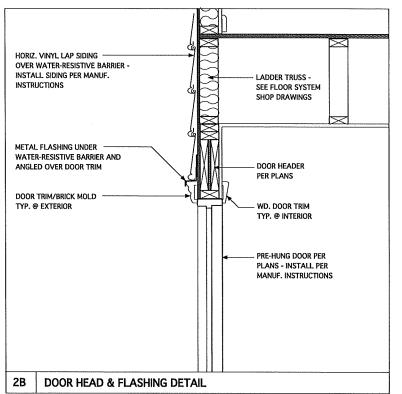
MODEL 6260 -GARAGE RIGHT

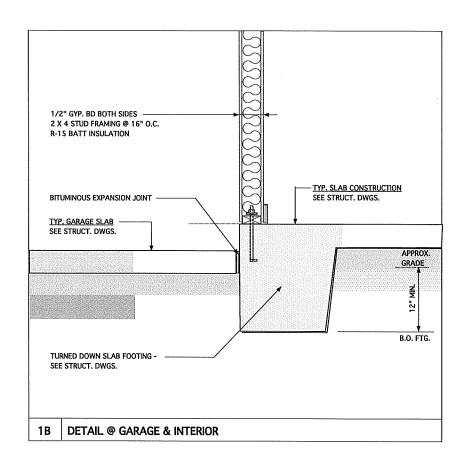
CHESAPEAKE HOMES OF NC 3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

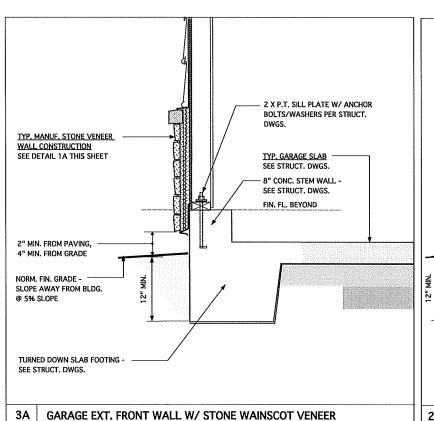
ORAWNG TITLE

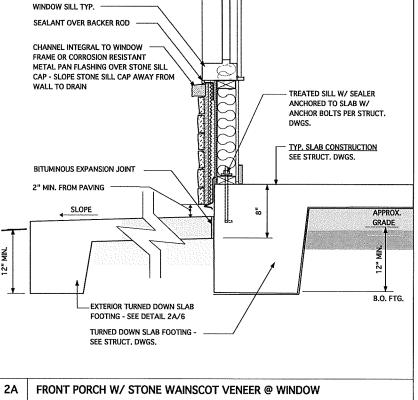
MONOLITHIC SLAB FOUNDATION AND WALL DETAILS

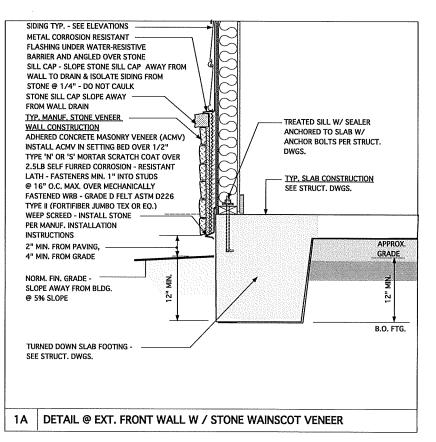














REVIS	IONS	
WAR	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGAT
AM	01-14-21	RESTAMP SHEET
АМ	09-09-21	RESTAMP SHEET
JW	02-15-23	NEILL'S POINT/FARI
PIOÆCT	ю.	
	113-8	8
DATE	10-16	-17
SCALE	1.101.	

PROJECT NO.	
PRICECT NO.	113-88
DATE	10-16-17
SCALE	1-1/2* = 1'-0*
DRAWN BY	DN
CHECOED BY	את
ISSUED FOR	PERMITS/CONSTRUCTION

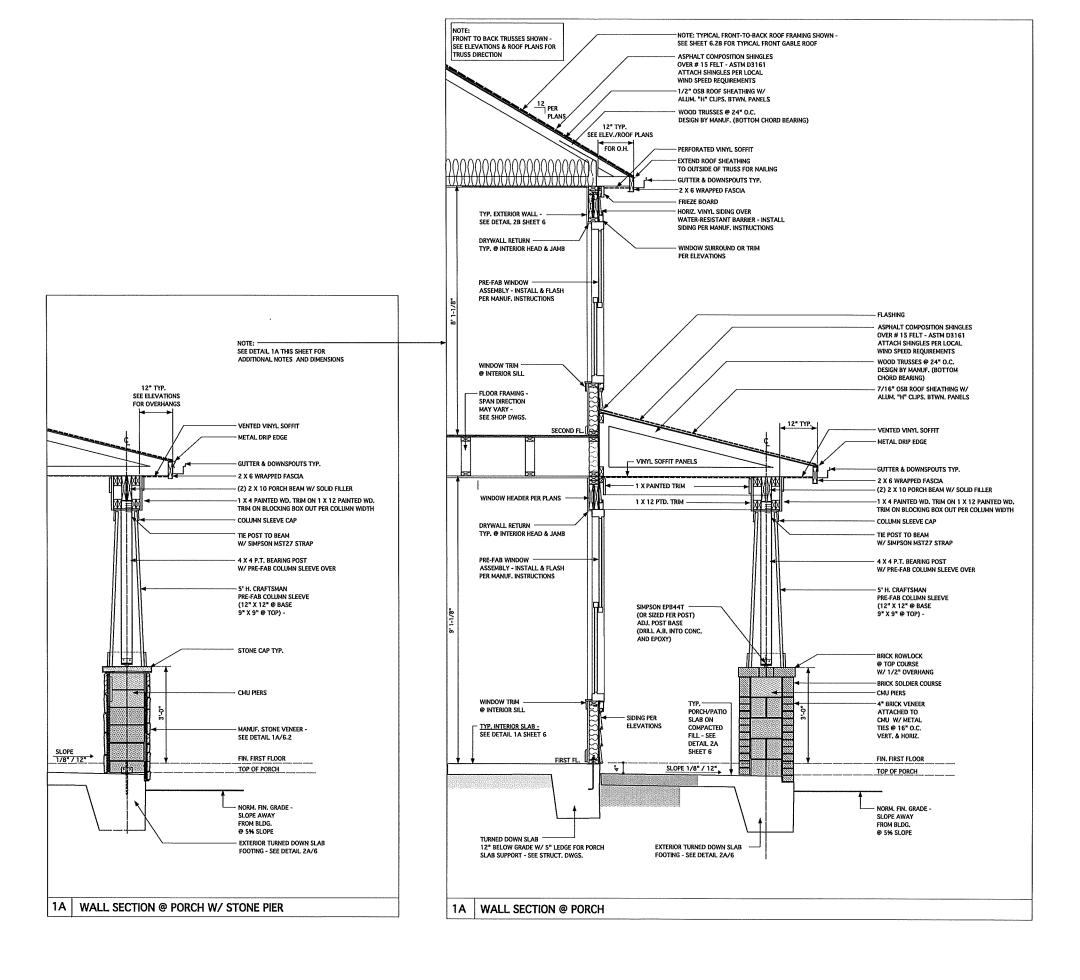
MODEL 6260 -GARAGE RIGHT

CHESAPEAKE
HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

MONOLITHIC SLAB FOUNDATION

6.2

AND WALL DETAILS



JAMES WENTLING/ ARCHITECT

ARCHITECTURE LAND PLANNING

GRAPHICS

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK. UNDER SECTION 10 MENDED COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK. UNDER SECTION 10 MENDED COPYRIGHT SECTION ACT OF 1902. THE PROTECTION ACT OF 1902. THE PROTECTION ACCUDES BUT IN OFT LIMITED ARKANISEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE BESION. UNDER SICCI PROTECTION, UNAUTHORIZED UNDER SICCI PROTECTION, UNAUTHORIZED UNDER SICCI PROTECTION, UNAUTHORIZED UNDER SICCI PROTECTION, UNAUTHORIZED IN THIS CESSATION OF SUCH CONSTRUCTION IN THIS CESSATION OF SUCH CONSTRUCTION OR BUILDINGS BEING SEZED ANDROR RAISED



DATE	DESCRIPTION
12-18-18	CONVERT HIGHGATE
01-14-21	RESTAMP SHEET
09-09-21	RESTAMP SHEET
02-15-23	NEILL'S POINT/FARM
	12-18-18 01-14-21 09-09-21

113-88 01-08-18 3/4" = 1'-0" PERMITS/CONSTRUCTION

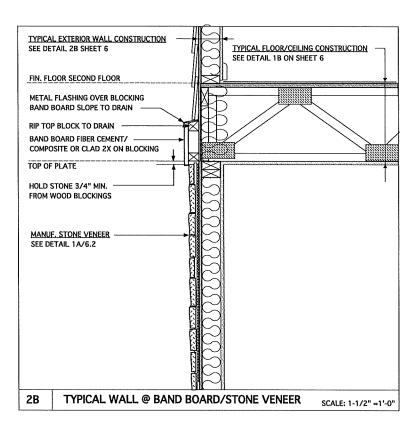
MODEL 6260 -GARAGE RIGHT

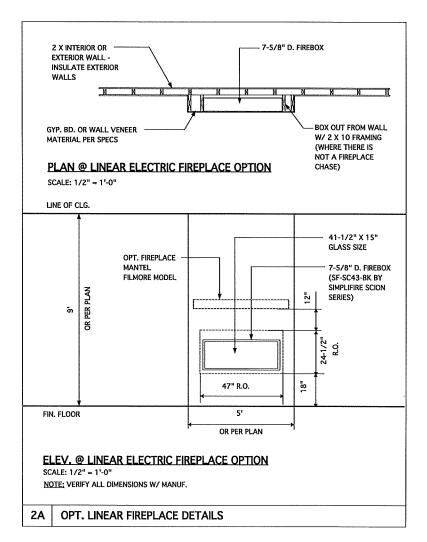
CHESAPEAKE HOMES OF NC

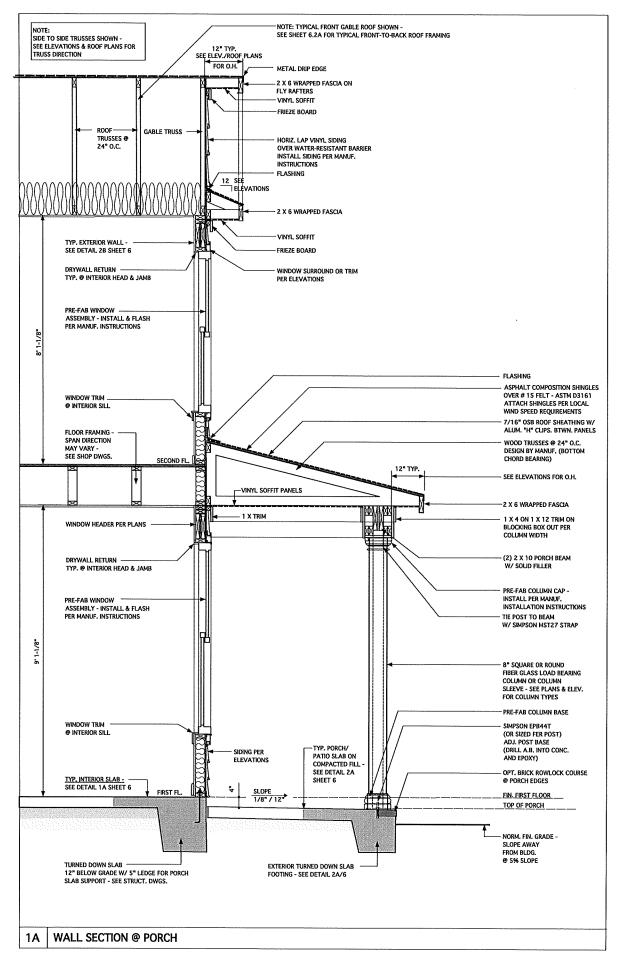
3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

ELEVATION A -DETAILS

6.2A









ARCHITECTURE LAND PLANNING

GRAPHICS

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK 19 MDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DED EDEMBER 1, 1905 AND KNOWN AS THE PARCHITECTURAL WORKS 992. THE PROTECTION INCLUDES BUT 15 NOT LIMITED TO, THE OFFICE AND THE OFFICE AND AREA AND AREA THE TO, THE OFFICE AND AREA AND AREA AND AREA THE OFFICE AND AND AREA AND AREA



REVIS	SIONS	
MAKE	IMTE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
w	02-15-23	NEILL'S POINT/FARM
	—	
	<u> </u>	

	1
PROJECT NO	
	113-88
DATE	01-03-18
SCALE	3/4" = 1'-0" U.N.O.
DRAWN BY	DN
O-ECKED BY	rw .
ISSUED FOR	PERMITS/CONSTRUCTION

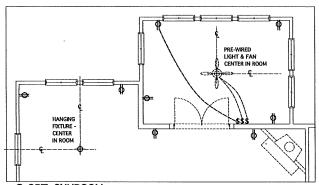
MODEL 6260 -GARAGE RIGHT

CHESAPEAKE HOMES OF NC 3100 Smoketree Court,

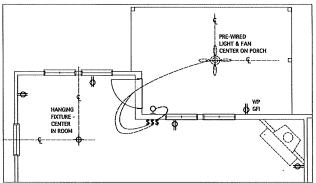
3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

ELEVATION B/C/D/F -DETAILS

6.2B

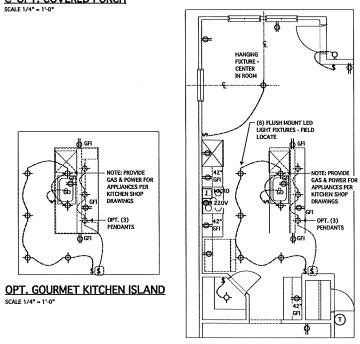


@ OPT. SUNROOM SCALE 1/4" = 1'-0"

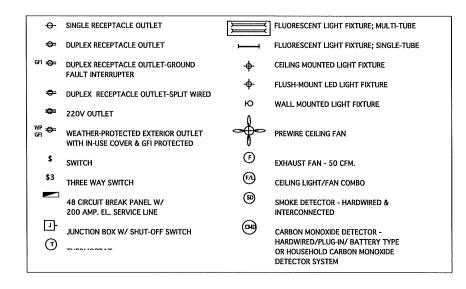


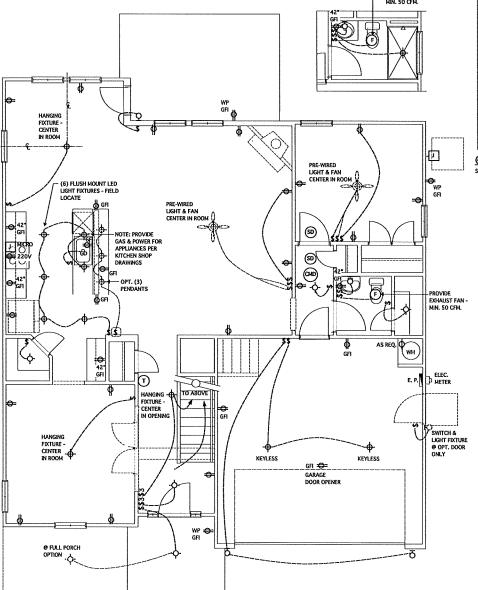
@ OPT. COVERED PORCH

SCALE 1/4" = 1'-0"

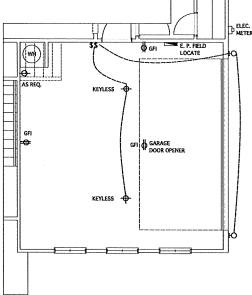


OPT. GOURMET KITCHEN SCALE 1/4" = 1'-0"

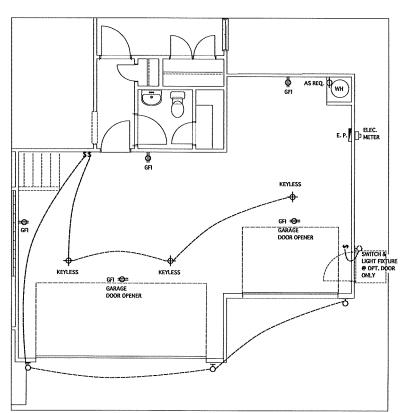


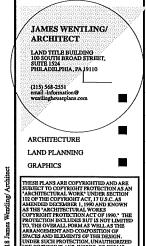


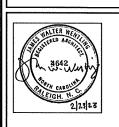
FIRST FLOOR ELECTRICAL PLAN



@ OPT. SIDE-LOAD GARAGE @ ELEV. A







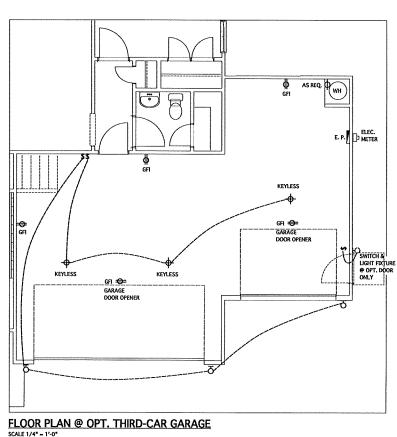
HOX	DATE	DESCRIPTION
DN	01-14-19	STRUCT, DWGS, REV.
СН	05-28-19	ELEVATIONS
СН	12-10-19	3RD CAR GARAGE EXT.
АМ	01-14-21	RESTAMP SHEET
АМ	09-09-21	RESTAMP SHEET
JW.	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT, DWGS, REV.

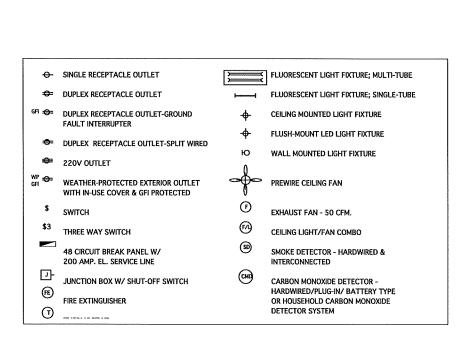
113-88 01-08-18
01-08-18
AS NOTED
ж
л
PERMITS/CONSTRUCTION

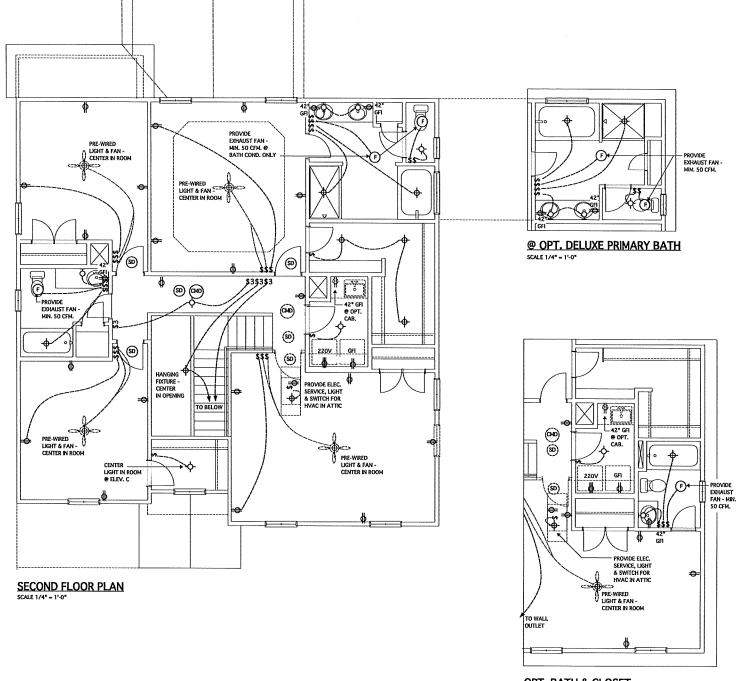
MODEL 6260 -GARAGE RIGHT

CHESAPEAKE HOMES OF NC 3100 Smoketree Cour Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

FIRST FLOOR **ELECTRICAL PLANS**







OPT. BATH & CLOSET
SCALE 1/4" = 1'-0"

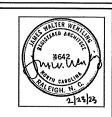
JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110

ARCHITECTURE

LAND PLANNING

GRAPHICS



SIONS	
DATE	DESCRIPTION
01-14-19	STRUCT, DWGS, REV.
05-28-19	FULL PORCH OPT.
01-14-21	RESTAMP SHEET
09-09-21	M. BATH WINDOW REV.
02-15-23	NEILL'S POINT/FARM
02-23-23	1'-0' DINING EXTENSION/ STRUCT, DWGS, REV.
	01-14-19 05-28-19 01-14-21 09-09-21 02-15-23

OXCT NO.	·
	113-88
ATE .	01-08-18
ALE	AS NOTED
LAWN BY	лк
€CXED BY	JW WI
SUED FOR	PERMITS/CONSTRUCTION

MODEL 6260 -GARAGE RIGHT

CHESAPEAKE

HOMES OF NC 3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

SECOND FLOOR ELECTRICAL PLANS

- BESEERS SEAL APPLES ONLY TO STRUCTURAL COMPONENTS INCLIDIOS ROOF RAFTERS, I VALLETS, RIOCES, FLOORS, MALLS, BEANS AND HEADERS, COLLINS, CANTILLYRIS, OFFSET LOAD BEARIN FULLS, PIER I SEGNER SISTEM, FOOTHS, AND FLIES SISTEM, BESINESS SEAL DOES NOT CERTIFY DIFFESCAL ACCURACY OR ARCHITECTRAL LAYOUT RALIDING ROOF SISTEM, AL REGULARDERS FOR PROPESSONAL CERTIFICATION SHALL BE PROVIDED THE APPROPRIATE PROFESSONAL, SOUTHERS HESPESS, PA. CERTIFIES ONLY THE STRUCTUR COMPONENTS SEPECHALLY STATED.
- ALL CONTINUITION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE 2000 NC RESIDENTIAL CODE, FULS ALL LOCAL CODES AND RESULATIONS, THE STRUCTURAL BIGHER FOR REPORT AND THE STRUCTURAL HEAVE, HETHOUS FOR PROCESSED AND THE STRUCTURAL HEAVE, HETHOUS FOR PROCESSED AND THE CONSTRUCTION HEAVE, HE WAS THE RESERVABLE FOR CONTROL TO COURSE TO LOCATION HEAVE, HE WAS THE RESERVABLE HE THE CONTROL TO COURSE TO LOCATE HIS TO CONTROL FOR HEAVE STRUCTURAL HE WAS THE STRUCTURAL HEAVE AND THE STRUCTURAL HEAVE STRUCTURES, THE DIRECTOR HEAVE STRUCTURES, THE DIRECTOR HEAVE STRUCTURES AND THE CONTROL CONTROL HEAVE STRUCTURES, THE DIRECTOR HEAVES AND THE DIRECTOR HEAVES HEAVES AND THE DIRECTOR HEAVES HEAV
- CONTROLAR PACIFIC AND ITE AND IDAD, DEFLECTION ROADS (ILSTED AS LIVE LOAD, DEAD LOAD, DEFLECTION) ROADS (THE THAN BLEPPING ROADS. (40 PEY, IO PSY, L7560) SLEEPING ROADS. (60 PEY, IO PSY, L7560) ATTIC RITHUT PERMANENT STARS. (40 PEY, IO PSY, L7560) ATTIC RITHUT PERMANENT STARS. (20 PEY, IO PSY, L7560) ATTIC RITHUT STORAGE, (30 PEY, IO PSY, L7560) EXTEROR RALCORES. (60 PEY, IO PSY, L7560) EXTEROR RALCORES. (60 PEY, IO PSY, L7560) PSY, L7560 RALCORES. AND INVESTIGATE, OCCUPANT AND INVESTIGATE AND INVESTIGATE, OCCUPANT AND INVESTIGATE AND INV

- NALLS SHALL BE BRACED BY SHEATHENS HALLS ON ALL STORIES HITH MOOD STRUCTURAL PARELS, SEE FRANKS NOTES FOR TRICKNESS AND HAILING REGULARMENTS.
- SEE APPENDIX H (DCA6) FOR EXTERIOR DECK REQUIREMENTS INCLIDING ATTACHMENTS FOR LATERAL LOADS.
- CONCRETE SHALL HAVE A HIRMAM 2D DAY STRENGTH OF 3000 PSI AND A HAVAMM SLIPP OF 5 NOTES INLESS HOTEO OTHERWEE (MO), AND ENTRAINED PER TABLE 4002.2, ALL CONCRETE SHALL BE PROPERTIONED, HAVED, HAVED, AND PROPERTIONED HAVED HAVED AND PROPERTIES HAVED AND PROPERTIES HAVED HA
- ALLOWBLE SOL BEARING PRESSURE ASSURED TO BE 2000 PSF, THE CONTRACTOR MIST CONTACT A GEOTECHICAL BISHRER AND THE STRUCTURAL BISHRER F WEATHSFACTORY SEBERFACE CONTINGOS ARE BECONTINGOS. THE SURFACE AREA ADJUGANT TO THE FOUND AND MIST AND ADJUGANT TO PRESSURE AND SHALL BE PROVIDED WITH ADEQUATE DRAWLINGS, AND SHALL BE GRADED S AS TO DRAW SHAPE, AND SHALL BE GRADED S
- ALL FRANCIS LINDER SHALL DE SET *2 (To = 815 PSI) UNLESS NOTED OTHERWISE (INC), ALL
 TREATED LINDER SHALL BE SITP * 2. PLATE MATERIAL MAY BE SET * 3 OR SITP *3 (Folparp)
- 4. LVL. SHALL BE LAMINATED VENEER LIMBER. Ph-2600 PSI, FY-265 PSI, E-1,940 PSI.

 41. PSI... SHALL BE PARALLE, STRAND LIMBER. Ph-2900 PSI, FY-200 PSI, E-2,040 PSI.

 42. LSI... SHALL BE LAMINATED STRAND LIMBER. Ph-2250 PSI, FY-400 PSI, E-1,5540 PSI.

 INSTALL ALL CONCENTIONS PER HAMPACTIREDS INSTRUCTIONS.
- IO. ALL ROOF TRIES AND I-LOIST LAYOUTS SHALL BE PREPARED IN ACCORDANCE MITH THE SEALED STRUCTURAL TRANSHES, TRISSESS AND I-LOISTS SHALL BE INSTALLED ACCORDING TO THE HAMPACTRIES SPECIFICATIONS, ANY CHANGE IN TRISS OR I-LOIST LAYOUT SHALL BE CORDINATION THIS SUMERY BISHEESS.
- ALL STEATURE STEEL SHALL BE ASSILLABLE STEEL BEING SHALL BE SETWATED AT EACH BEEN HITH A RESIST EXCENSION OF THE SHAPE AND FLILL THE ASSILLABLE SHAPE AND FLICK SCALD BEARNER FROM EACH SEPORT TO FORDINATION. BEING SHALL BE ATTACKED TO EACH SEPORT HITH THO LAS SCREEN OLD FOUNDED TO THE SCALE FLATE, AND SCALE FLATE IN ANGELOR BOOKED THE LOST ARE TOR INJURY TO THE SCALE FLATE, AND SCALE FLATE IN WALED OR BOLTED TO THE BEAM FLAKES 4 89°CO. ALL STEEL FLASE SHALL BE ASTEM ASSO.
- 12. REBAR SHALL BE DEFORMED STEEL, ASTINGUS, GRADE 60. LAP ALL REBAR SPLICES 30 BAR DIAMETERS.
- B. FLITCH BEAMS SHALL BE BOLTED TOSETHER USING (2) RONG OF 1/2" DIAMETER BOLTS (ASTM ASZ) HITH HAMERS PLACED MORR HE THERADED END OF BOLT, BOLTS SHALL BE SPACED AT 24" OG. (MAY, AND STAGEDED AT THE TOP AND BOTTION OF BEAM (2" EDGE DISTANCE), MIN 2 BOLTS LOCATED AT 6" PROM EXAL BED.
- BRICK LINTELS (MEN REGIRED) SHALL BE 3 1/21/3 1/21/41 STEEL ANGLE FOR UP TO 6'-0' SPAN AND 6'14'53'6' STEEL ANGLE NITH 6' LEG VERTICAL FOR SPANG UP TO 9'-0', SEE PLANG FOR SPANG OVER 9'-0', SEE ALSO SECTION RIOSADS LINTELS.

FRAMING NOTES NG (2018 NGRC), Winds 115-120 mph

- BEACES FETICO AND TITE CONTINUEST SEATIND TEP. CO-FEP. UNITE THAT THE PALL DEALES SEATER TRANSPORT HE PLANS DOETHLE AND SEATER THAT THE ANGLE OF THE CARE OF WILL BRACES REQUIRED THE SEATON BOOLD OF THE CORE. SEE WITE BELOW FOR DETALS AND SPECIFICATIONS FOR INVIL. BRACES AND MALL FRANKS.
- 2. DOTERIOR HALL SHEATING HALLS SHALL BE BRACED BY SHEATING HALLS OR ALL STORRES HITH HOOD STRICTBRAL PARE, SHEATING (SHE) (EXPOSURE B. 14/6) FOROURE G. 15/37; SHEATINGS HALL BE ATTRICKED HITH BIS MULE AT A 6/4/2 HALLES PATTERN (6/ °CC AT PARE, 10/6/2 AND 12/6 CAT A 16/3/2 HALLES SHEATING HALL S
- . HE'S HEATING SHALL EXTEND TO THE LIPTERFLOST DAUBLE BEARING FLATE, BLOCK AT ROOF FER SECTION REOZIO/45 AND ATTACH BRACED HALLS FER CODE, HE'S HEATINNG BETWEEN FLOORS SHALL BE SPLICED ALONG CONTINUOUS BAND OR THE HE'S SHEATING MAY BE SPLICED ACROSS STUDIC CONTINUOUS ACROSS FLOOR STIFTED ATH BLOCKING AT PAILL, EDGES, (MBRIM IZ) SET/OND FLOOR BREAK) OR OTHER APPROVED HERIOD.
- 107 HOLDSMI, HOLD-DOWN DRACE (NOTED AS 107 ON PLANS) SHULL BE AN BOO POUD CAPACITY ASSEMBLY AS NOTED ON PLANS, SEE DETAILS FOR HO ASSEMBLY.
 108 CONTROL OF THE MORE OF THE

- INTERIOR BRACED HALL, (NOTED AS "IBM" ON PLAYE) ATTACH 1/2" SYPSIM BOARD (66) ON EACH SIDE OF KALL MITH A MN, OF 54 COCLEY (NALS OR 16 SCREES & 1" O.C. ALONS THE EDSES AND AT MIGREPHATE SUPPORTS.
- RITERIOR BRACED HALL-HOOD STRUCTURAL PANEL (MOTED AS "IBSH-NES" ON PLANS), ATTACH ORE SIDE HITH 1/2" NEW SECATIBNES HITH ACT MALE, STORE HITH 1/2" NEW BEPORTS), BRITLAL BLOCKING AT ALL PANEL, BOSES, ATTACH 60 OVER 16°P AS REGIMED, ATTACH OPPOSITES SIDE HITH 1/2" 68 HITH A HIRL OF SI COOLER WALLS OR 46 SCRENG 6 "1" CG. ALONG THE BOSES, AND AT INTERPEDIATE SUPPORTS.

HEADER/BEAM & COLUMN NOTES

- ALL EXTERIOR AND LOAD BEARING NEADERS SHALL BE MRI (2)2x6 (4" MALL) OR (8)2x6 (6" MALL) MITH (1) SUPPORT STUD, UNLESS NOTED OTHERMISE.
- THE IMPERT SHOPN AT REAM AND HELDER SUPPORTS INDICATES THE NIBER OF SUPPORTS SHOCKLES THE NIBER OF SUPPORTS SHOCKLES THE COLUMN THE SHOCKLES THE SHOCKLES HE SHOULD BE SHOULD AND SHOULD BE SHOULD AND SHOULD BE SHOULD

TRUSS SYSTEM REQUIREMENTS NC (2018 NCRC), Wind, 115-120 mph

- TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE MITH SEALED STRUCTURAL FLANS, MY NEED TO CHANSE TRUSSES SHALL BE COORDINATED WITH SOUTHERN
- TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS HANFACTURER.
- ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SPF #2 OR #3 PLATES OR LEDGERS (MO).
- ALL REGURED AICHORS FOR TRUSCES DIE TO IPLIET OR BEARING SHALL MEET THE REGUREDIENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

- PORCH POST NOTES:

 4 M4 (6/6) TRIP POST (OR BAIAL).

 4 ATIACH INSESS (PAPIERS) AT PORCH HITH HARRICANE CONECTIONS.

 1 BOST LOS SPETSON ACHMAN (ACCHMAN)

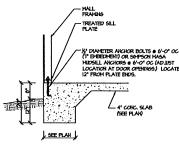
 2 POST LOS AT LOSSES (0) SPETSON LOSA (ATTENDED AT LOSSES). (HIGH NIDA, ADO (1))
- OMTER HEADER AT CORNER!, HIGH MIND, ADD (I)
 SPIESCH HE.

 9. POST BAGE SHPSCH ABUM (ABUG).

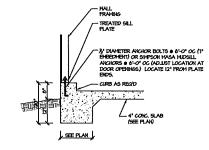
 31. MEMD SP MACHOR (RESED T)

 52. CALL SE MACHOR (EXTED TO FOOTING-HEH HO OIL!)

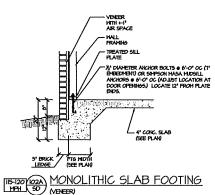
 4. POST BAGE, MOD FOUNDATION (2) SHPSCH CSM STAND AT POSTS. BATTED UT ONTO EACH POST (REPER AND LOWER) OR TO GROCE
- HOTE, EQUIVALENT POST CAP AND BASE ACCEPTARE F

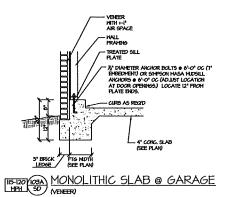


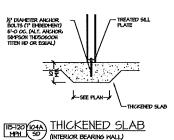
MONOLITHIC SLAB FOOTING (SIDING OR EQUAL)

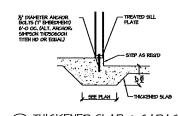


| MONOLITHIC SLAB @ GARAGE

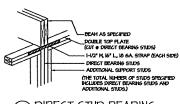


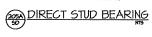


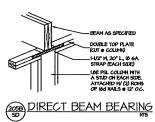


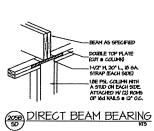


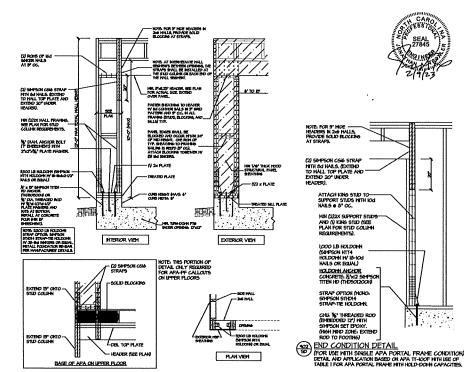












ELEVATION 900 APA FORTAL FRAME W HOLD-DOWNS DETAIL AND APPLICATION BASED ON APA TT-LOOF NITH USE OF TABLE I FOR APA PORTAL FRAME NITH HOLD-DOWN CAPACITIES

BASE OF APA ON UPPER PLOOR

/~# 2× N./36 MEASURE FLATS

GIVE MEASUR \$4V.S. &*

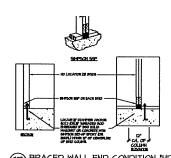
GIVE PROTES HOST AN MEMORY

STAN OF PRICE HOST OF CARRA

TEORE | FEE |

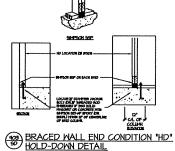
STOOLS HOLDON HTT4 HOLDON HV -B-MAGS-V7 HALS

FLAN VEH



ESCRION (\$20)

APA PORTAL FRAME W HOLD-DOWNS
DETAL NO APPLICATION BASED ON APA THOOP WITH USE
OF TABLE I FOR APA PORTAL FRAME WITH HOLD-DOWN
CAPACITIES.



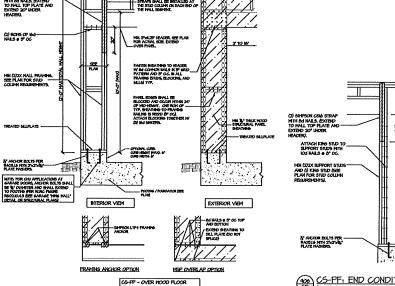
HOLD-DOWN DETAIL

NOTE SEPSON DITLE IS ACCEPTABLE ALTERNATE

NOTE ALTERNATE HO HOLD-DOWN DEVACES OR SYSTEMS HAY

BE USED TO HEET THE CADE REQUIRED SOO LIB CAPACITY IN

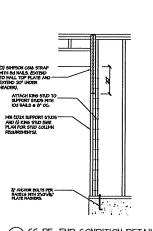
LEU OF THE ABOVE DETAIL.



SR4PSON HTT4 SR4PSON STHOIA

CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION

90 DETAL NO APPLICATION BASED ON NEAR FISURE
REGIZOJ - PORTAL FRAME CONSTRUCTION



(95) CS-PF: END CONDITION DETAIL
(90) FOR USE INTH SHIBLE CS-PF CONDITION
DETAIL AND APPLICATION BASED ON INCRC FIGURE
RECOLOIS - PORTAL PRANE CONSTRUCTION

PROJECT # Multiple

SEAL 27845

brought to the to do so will date of seal. & conditions to be b Failure

on this

seal applies only to structural components or include construction means. methode Engineers se document.
Seal does not sequences, pr
Any deviation immediate a void Souther.
Seal is valid f Use of these defined in the

P.A. 27609

Southern Engineers, I 3716 Benson Drive, Raleigh, NC 2 Phone: (919) 878-1617 License: C-4772 Š

'entling, Architect ames

of

Detail Notes Homes tandard Chesapeake and S

SD-1 **MONO**



Initial Application Date:	n Date:			Application #
=				DRB # CU #
Central Permitting (C(Physical) 420 McKinney Pkwy, Lillington, NC 27546	COM COUNTY OF HARNE: C 27546 (Mailing) PO Box 65 Lillii	COMMERCIAL COUNTY OF HARNETT LAND USE APPLICATION 46 (Mailing) PO Box 65 Lillington NC 27546 Phone: (910) 893-7525 opt # 1	TION 893-7525 opt # 1 Fax: (910) 893-2793 www.harnett.org/permits
LANDOWNER:_		Ma	Mailing Address:	
City:	State:	Zip: Contact #	act#	Email:
APPLICANT*:		Ma	Mailing Address:	
City: *Please fill out appli	City:State:State:	Zip: Contact #	act#	Email:
CONTACT NAMI	CONTACT NAME APPLYING IN OFFICE:			Phone #_
Address:		PIN:		
Zoning:	Watershed: Flood:	d:Deed Book Page:	ok Page:/	
Setbacks – F	Front:Back:	Side:	Corner:	
PROPOSED USE: ☐ Multi-Family Dwelling)E: y Dwelling No. Units:	No. Bedrooms/Unit:	i i	
□ Business	Sq. Ft. Retail Space:	Type:	# Employees:	ees: Hours of Operation:
□ Daycare	# Preschoolers:	# Afterschoolers:	# Employees: _	Hours of Operation:
□ Industry	Sq. Ft:Type:		# Employees: _	Hours of Operation:
Church	Seating Capacity:	# Bath	#Bathrooms:	Kitchen:
☐ Accessory/A	Accessory/Addition/Other (Sizex	_) Use:		
Water Supply: Sewage Supply: ((County Existing New Septic Tank Complete Environmental Heal	ansion	Zation Tank) *Must have operable water before final at the same time as New Tank) County Sewer
Comments:				
permits are gra	If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regul hereby state that foregoing statements are accurate and correct to the best of my knowledge. Perm	inances and laws of the State and correct to the best	ate of North Carolina regu of my knowledge. Permit	ulating such work and the specifications of plans submitted. it subject to revocation if false information is provided.
	Signature of Ow	Signature of Owner or Owner's Agent		Date

It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications. **This application expires 6 months from the initial date if permits have not been issued**
RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION

strong roots • new growth



This application expires 6 months from the initial date if permits have not been issued APPLICATION CONTINUES ON BACK

This application expires 6 months from the initial date if permits have not been issued

*This application to be filled out when applying for

County Health Department Application for Improvement Permit and/or Authorization to Construct IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration

- Environmental Health New Septic System
 All property irons must be made visible. Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting. decks, out
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the <u>undergrowth</u> to a evaluation to be performed. Inspectors should be able to walk freely around site. *Do not grade property.*All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready. to allow the soil

Environmental Health Existing Tank Inspections

- Follow above instructions for placing flags and card on property.

 Prepare for inspection by removing soil over **outlet end** of tank as diagram indicates, and lift and then **put lid back in place**. (Unless inspection is for a septic tank in a mobile home park)

 DO NOT LEAVE LIDS OFF OF SEPTIC TANK and lift lid straight up (if possible)

"MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION"

SEPTIC If applying for authorization	SEPTIC If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.	
{} Accepted	{} Innovative {} Conventional {} Any	
{}} Alternative	{}} Other	
The applicant shall notif question. If the answer	The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant MUST ATTACH SUPPORTING DOCUMENTATION:	Ħ.
{_}YES {_}NO	Does the site contain any Jurisdictional Wetlands?	
{_}}YES {}NO	Do you plan to have an irrigation system now or in the future?	
{_}}YES {}NO	Does or will the building contain any <u>drains</u> ? Please explain.	
	Are there any existing wells, springs, waterlines or Wastewater Systems on this property?	
{_}}YES {}NO	Is any wastewater going to be generated on the site other than domestic sewage?	
{_}}YES {}NO	Is the site subject to approval by any other Public Agency?	
{_}}YES	Are there any Easements or Right of Ways on this property?	
{_}}YES {}NO	Does the site contain any existing water, cable, phone or underground electric lines?	
	If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.	

Accessible So That A Complete Site Evaluation Can Be Performed. Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State