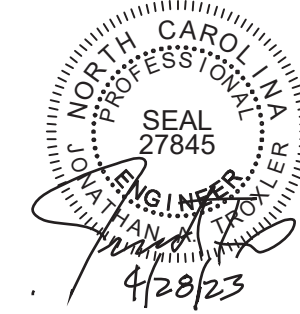
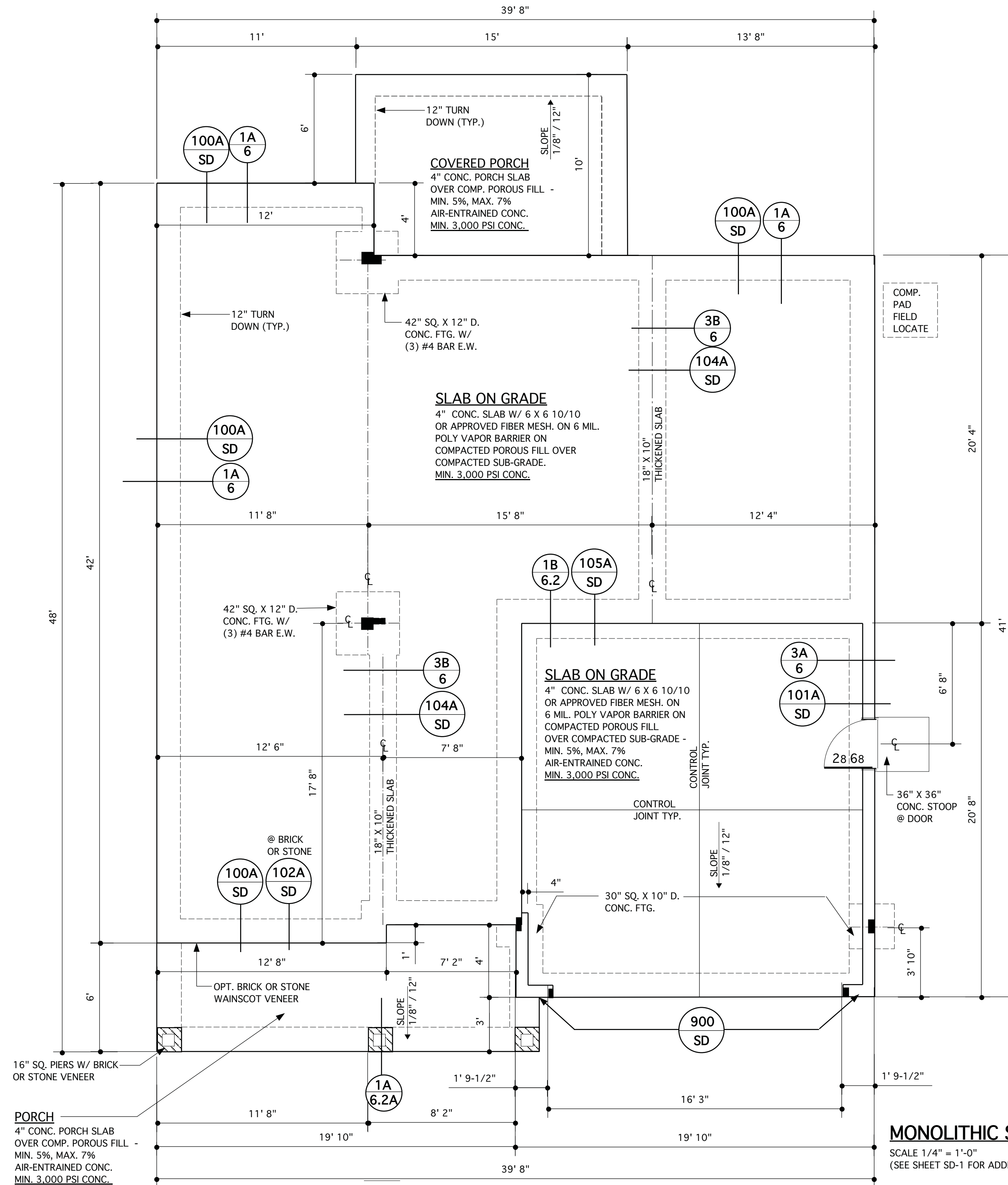


STRUCTURAL DESIGN BY:
SOUTHERN ENGINEERS, P.A.
3716 BENSON DR., RALEIGH, NC 27609
LICENSE: C-4772, PHONE: 919-878-1617
PROJECT # 19-1000

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REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.



MONOLITHIC SLAB FOUNDATION PLAN
SCALE 1/4" = 1'-0"
(SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)

**JAMES WENTLING/
ARCHITECT**
LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 1524
PHILADELPHIA, PA 19110

(215) 568-2551
email - information@
wentlinghouseplans.com

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LAND PLANNING
GRAPHICS

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REVISIONS		
MARK	DATE	DESCRIPTION
CH	12-10-19	3RD CAR GARAGE EXT.
AM	01-14-21	RESTAMP SHEET
DN	02-09-21	OPT. PORCH FOOTINGS
AM	09-09-21	RESTAMP SHEET
JW	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.
TF	04-19-23	SALES OFFICE - LOT 104

PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	JK
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

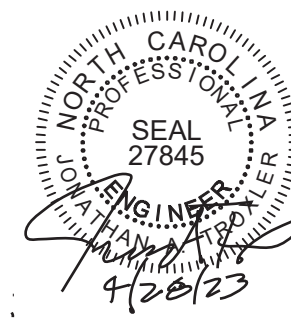
**MODEL 6260 -
GARAGE RIGHT
THE FARM AT NEILL'S
CREEK - SALES OFFICE -
LOT 104**

CLIENT:
**CHESAPEAKE
HOMES OF NC**
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
**MONOLITHIC SLAB
FOUNDATION PLAN**

SHEET
2

STRUCTURAL DESIGN BY:
SOUTHERN ENGINEERS, P.A.
3716 BENSON DR., RALEIGH, NC 27609
LICENSE: C-4772, PHONE: 919-878-1617
PROJECT # 19-1000



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PORTAL FRAME LEGEND

SEE SD SHEETS FOR PORTAL FRAME DETAILS
APA-PF: APA PORTAL FRAME
APA-PF-END: END CONDITION FOR APA PORTAL FRAME
CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION
CS-PF-END: END CONDITION FOR CONTINUOUS PORTAL FRAME

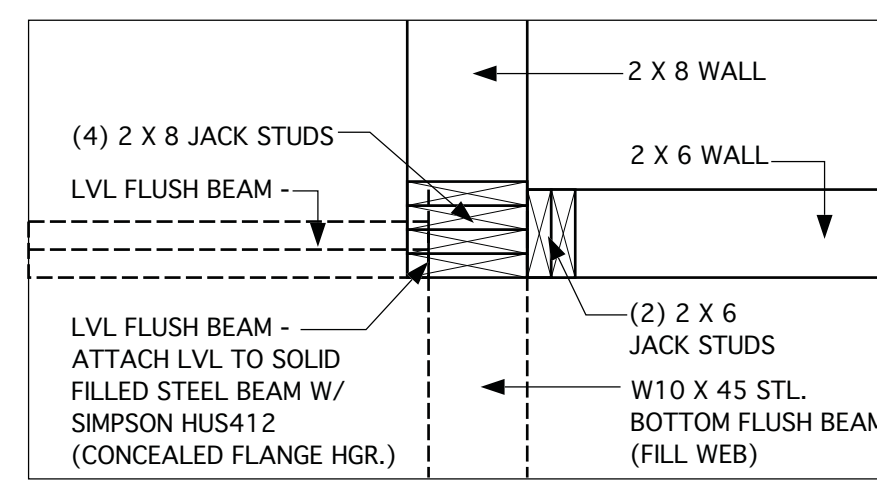
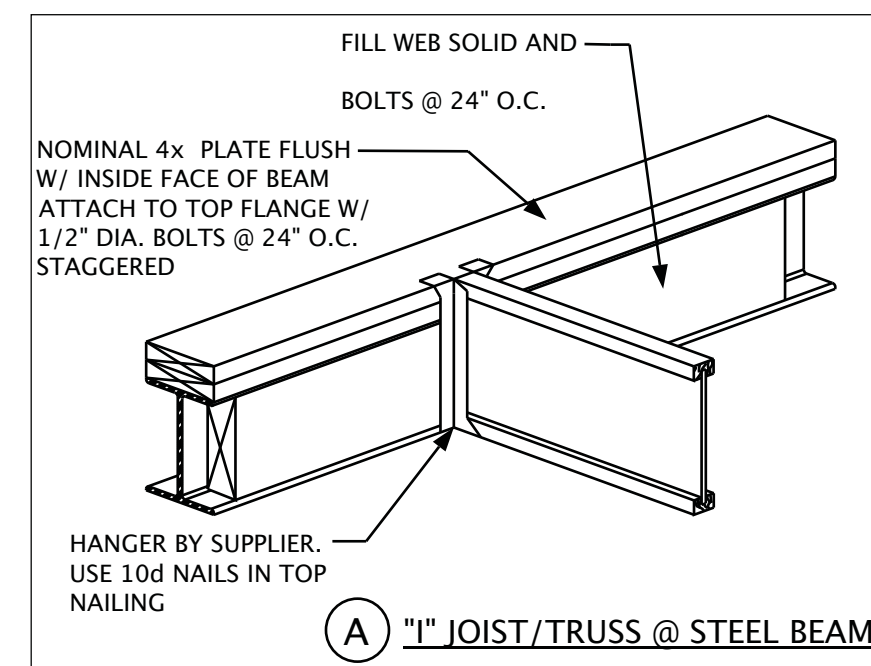
REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.

NOTES:

WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWISE. (SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)
 (SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FOR ADDITIONAL INFORMATION AND TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS.)
 NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS

LEGEND

INTERIOR LOAD BEARING WALL
 DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE
 SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES



BEAM/STUD CONNECTION DETAIL 2
 SCALE 1" = 1'-0"

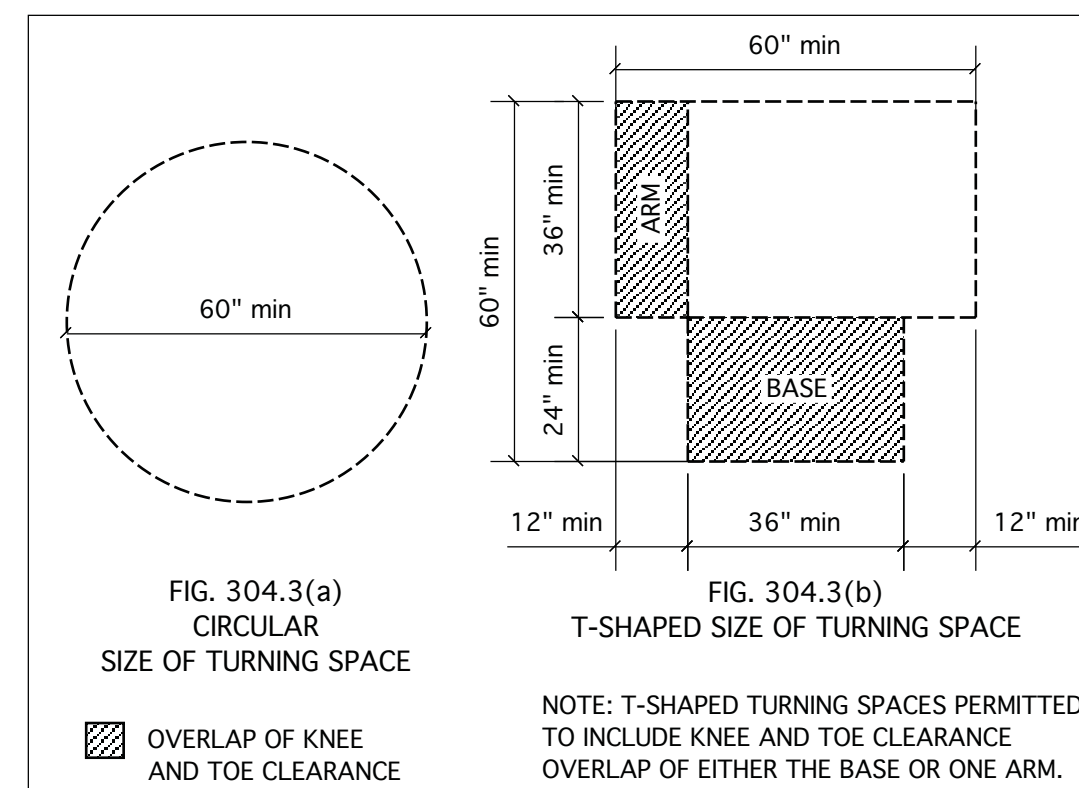


FIGURE REFERENCE: ANSI A117.1-2009

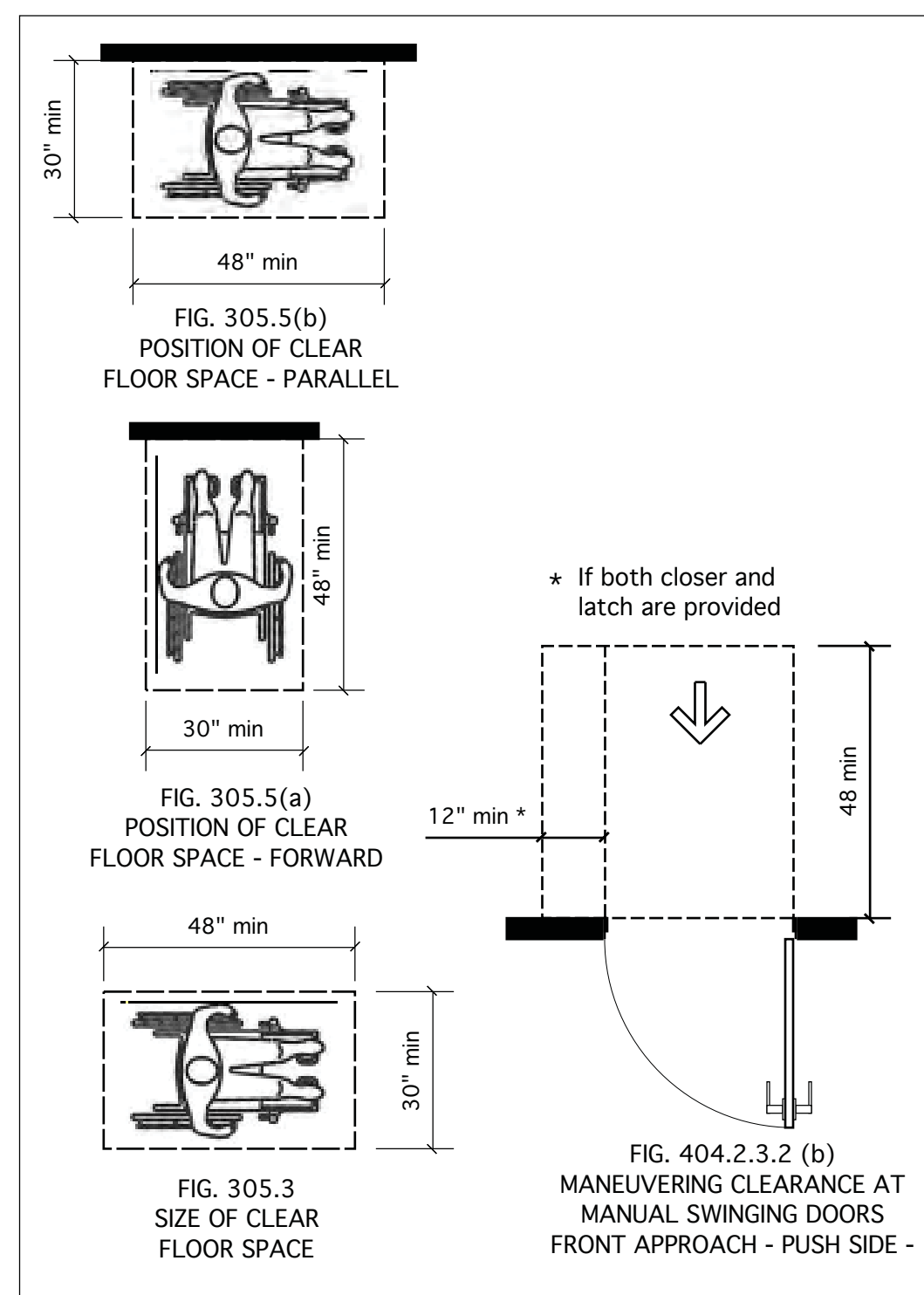
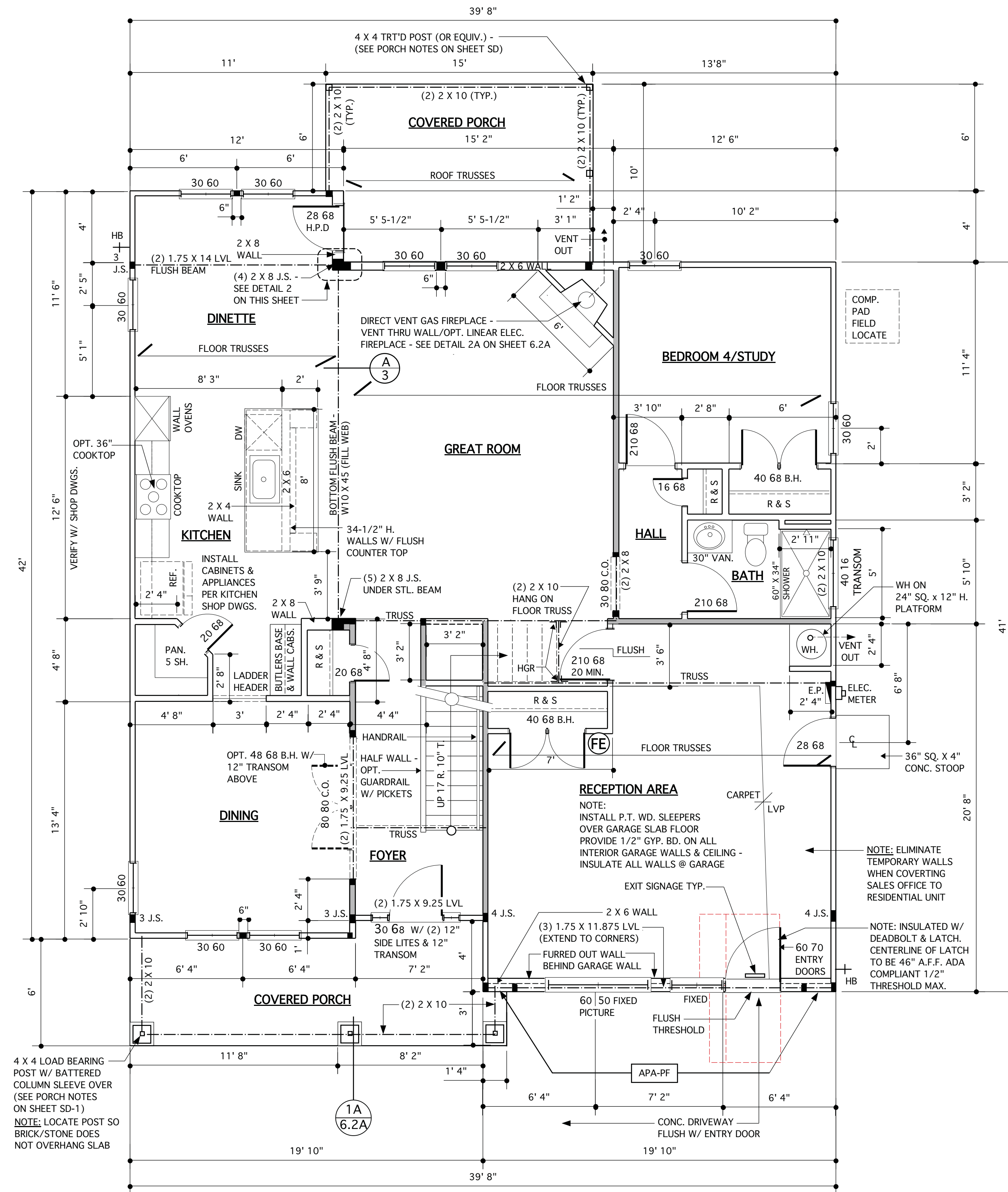


FIGURE REFERENCE: ANSI A117.1-2009



FIRST FLOOR PLAN @ ELEV. A
 SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.

**JAMES WENTLING/
 ARCHITECT**

LAND TITLE BUILDING
 100 SOUTH BROAD STREET,
 SUITE 1524
 PHILADELPHIA, PA 19110

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REVISIONS

MARK	DATE	DESCRIPTION
CH	05-28-19	ELEVATIONS
CH	12-10-19	3RD CAR GARAGE EXT.
AM	01-14-21	RE-STAMP SHEET
AM	09-09-21	RE-STAMP SHEET
JW	02-15-23	NEILL'S POINT FARM
DN	02-23-23	1'-0" DINING EXTENSION/ STRUC. DWGS. REV.
TF	04-19-23	SALES OFFICE - LOT 104

PROJECT NO.

113-88

DATE

01-08-18

SCALE

AS NOTED

DRAWN BY

JK

CHECKED BY

JW

ISSUED FOR

PERMITS/CONSTRUCTION

PROJECT TITLE

MODEL 6260 - GARAGE RIGHT THE FARM AT NEILL'S CREEK - SALES OFFICE - LOT 104

CLIENT

CHESAPEAKE HOMES OF NC
 3100 Smoketree Court,
 Suite 210
 Raleigh, NC 27604
 (919) 256-3060
 (919) 556-0690 Fax

DRAWING TITLE

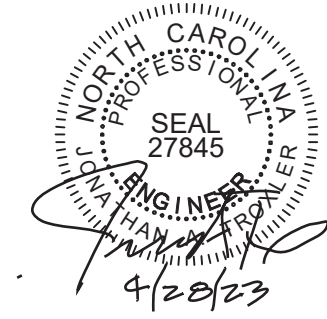
FIRST FLOOR PLANS

SHEET

3

STRUCTURAL DESIGN BY:
SOUTHERN ENGINEERS, P.A.
3716 BENSON DR., RALEIGH, NC 27609
LICENSE: C-4772, PHONE: 919-878-1617
PROJECT # 19-1000

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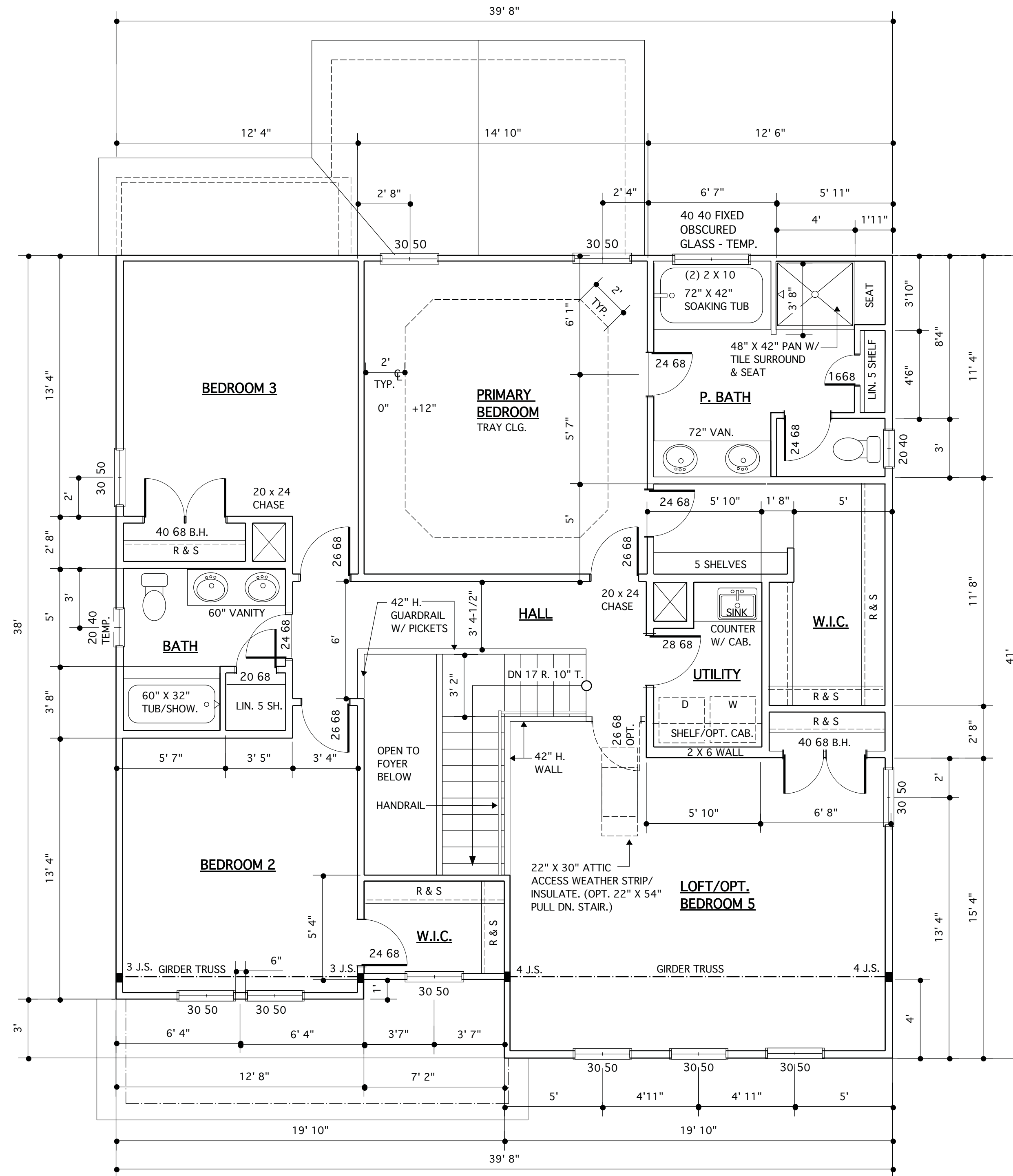
REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.

NOTES:

WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWISE. (SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)
(SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FOR ADDITIONAL INFORMATION AND TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS.)
NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS

LEGEND

INTERIOR LOAD BEARING WALL
DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE
SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES



SECOND FLOOR PLAN @ ELEV. A

SCALE 1/4" = 1'-0" - 8'-0" CLG.
SEE ELEV. SHEET FOR ROOF PLAN

**JAMES WENTLING/
ARCHITECT**

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REVISIONS

MARK	DATE	DESCRIPTION
CH	05-28-19	FULL PORCH OPT.
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	M. BATH WINDOW REV.
JW	02-07-23	NEILL'S POINT/FARM
DN	02-15-23	OPT. EXT. FINISHES
DN	02-23-23	1'-0" DINING EXTENSION/STRUCT. DWGS. REV.
TF	04-19-23	SALES OFFICE - LOT 104

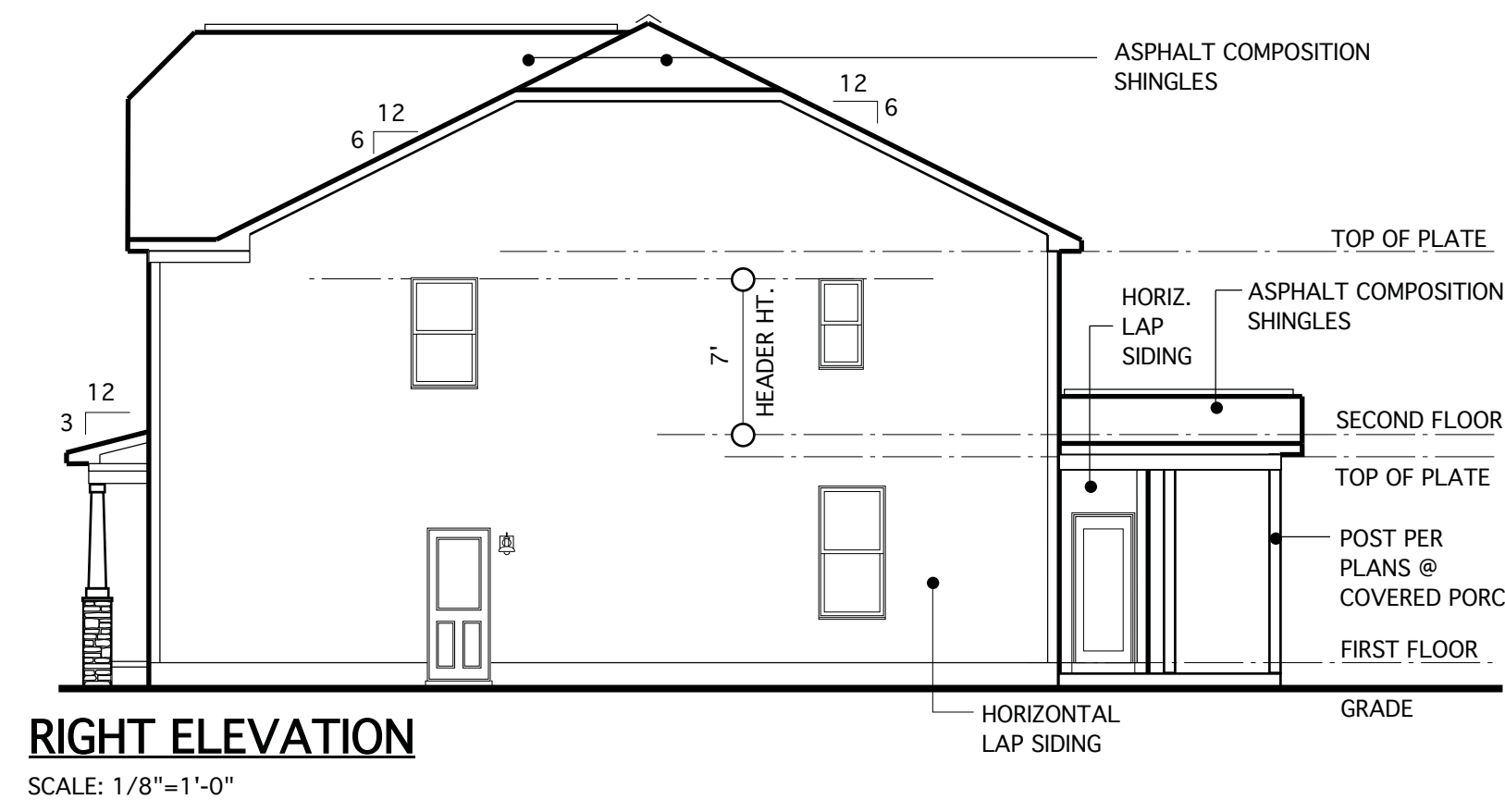
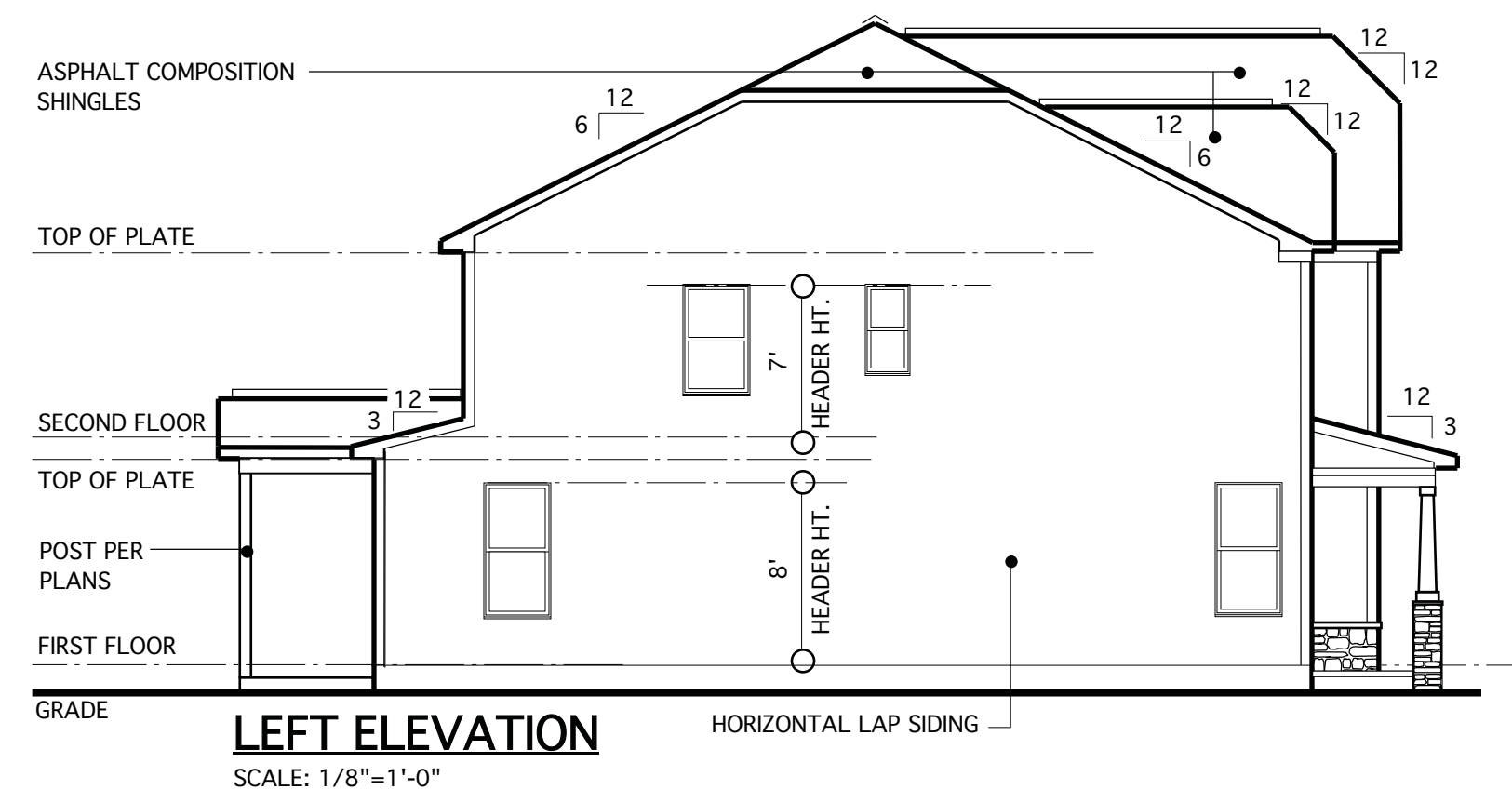
PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	JK
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT
THE FARM AT NEILL'S
CREEK - SALES OFFICE -
LOT 104**

CLIENT
**CHESAPEAKE
HOMES OF NC**
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
**SECOND FLOOR
PLANS**

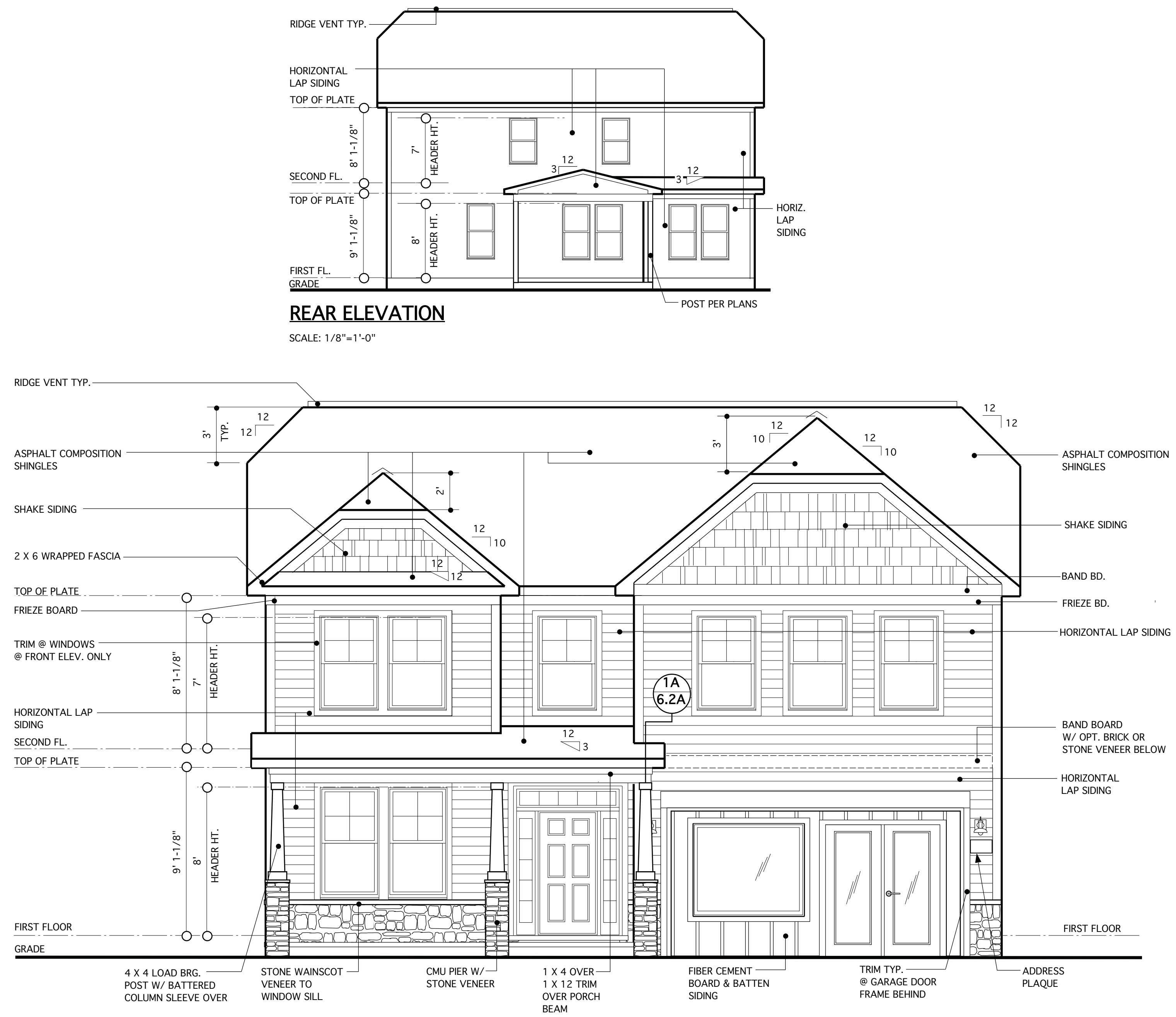
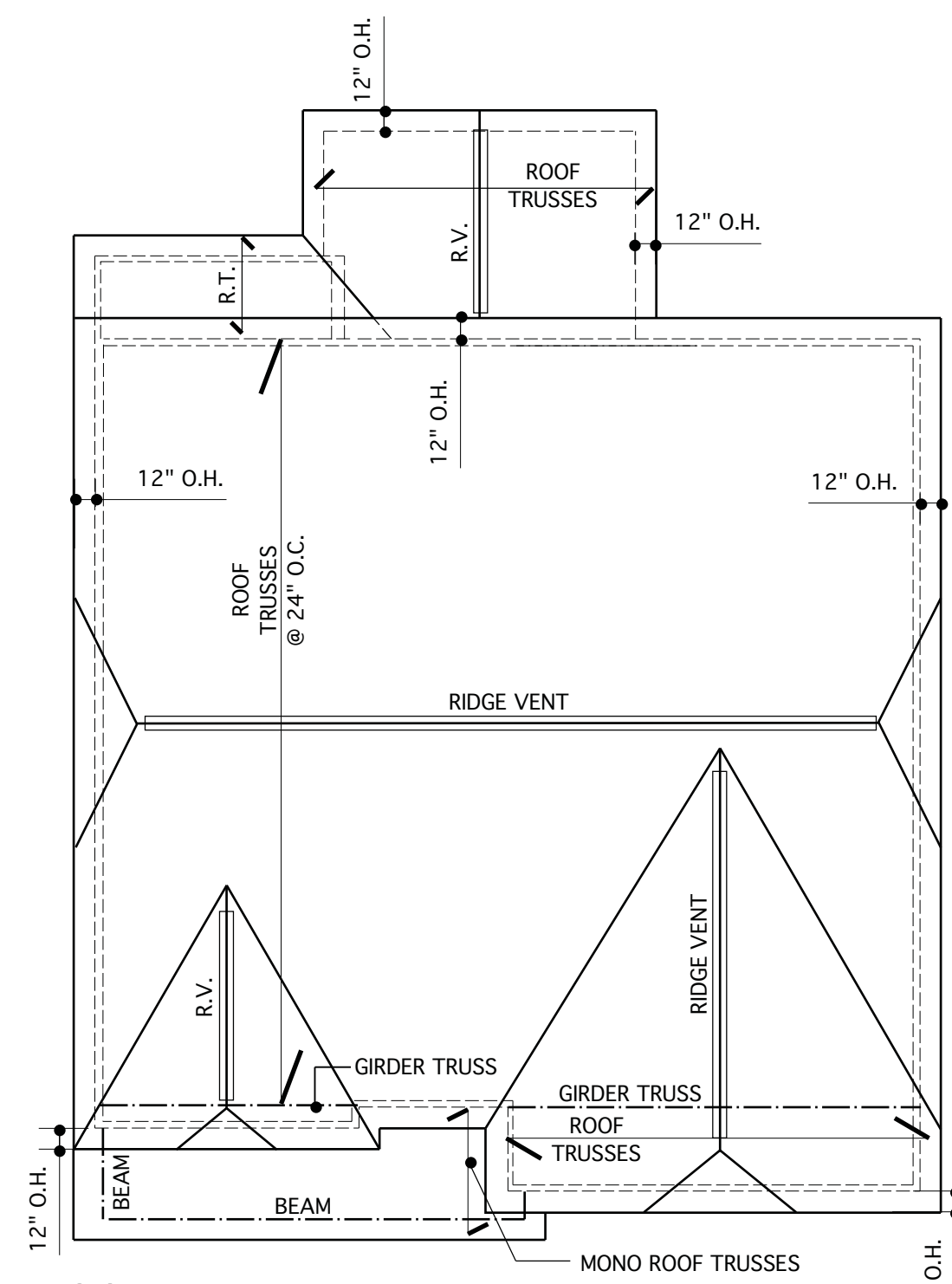
SHEET
3.1



REQUIRED VENTILATION SCHEDULE		
	1,942 SQ. FT. OF CEILING AREA / 300	= 6.48 SQ. FT. REQ.
ROOF VENTS	6.48 X 0.5 = 3.24 SQ. FT. 3.24 SQ. FT. X 144 = 466 SQ. IN. 466 SQ. IN. / 18 SQ. IN. = 26 (18 SQ. IN. PER LIN. FT.)	= 26 LIN. FT. REQ. 74 LIN. FT. PROVIDED
SOFFIT VENTS	6.48 X 0.5 = 3.24 SQ. FT. 3.24 SQ. FT. X 144 = 466 SQ. IN. 466 SQ. IN. / 9 SQ. IN. = 52 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.)	= 52 LIN. FT. REQ. 82 LIN. FT. PROVIDED

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

NOTE:
BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS



**JAMES WENTLING/
ARCHITECT**

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SUITE 1524
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REVISIONS		
MARK	DATE	DESCRIPTION
AM	01-14-21	RE stamps SHEET
AM	09-09-21	M. BATH WINDOW
JW	02-07-23	NEILL'S POINT/FARM
DN	02-15-23	OPT. EXT. FINISHES
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.
TF	04-19-23	SALES OFFICE - LOT 104

PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT
THE FARM AT NEILL'S
CREEK - SALES OFFICE -
LOT 104**

CLIENT
**CHESAPEAKE
HOMES OF NC**
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE
**ELEVATION A
AND ROOF PLAN**

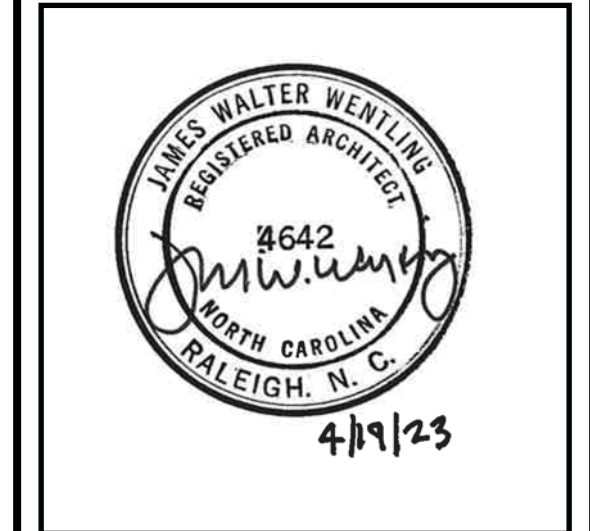
SHEET
4

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ARCHITECT**
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SUITE 1524
PHILADELPHIA, PA 19110

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REVISIONS

MARK	DATE	DESCRIPTION
DN	03-30-20	BLDG. HT./CITY COMMENTS
DN	05-11-20	ADJUSTMENTS/NOTATIONS - CITY COMMENTS
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
JW	02-07-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/STRUCT. DWGS. REV.
TF	04-19-23	SALES OFFICE - LOT 104

PROJECT NO. 113-88

DATE 01-08-18

SCALE AS NOTED

DRAWN BY JK

CHECKED BY JW

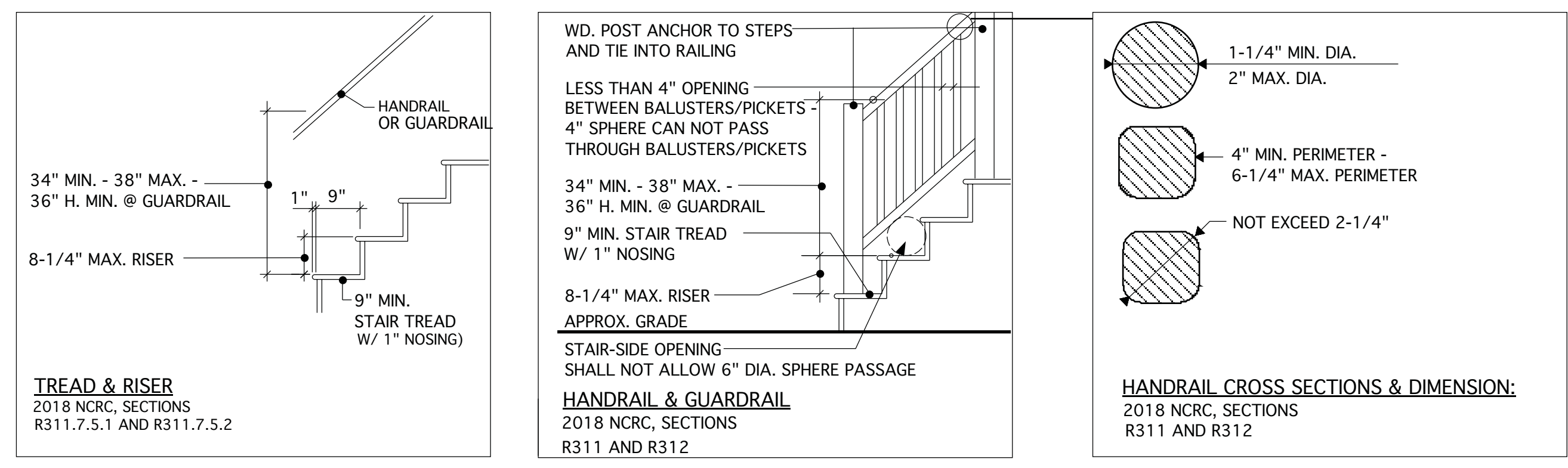
ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT THE FARM AT NEILL'S CREEK - SALES OFFICE LOT 104

CLIENT
CHESAPEAKE HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

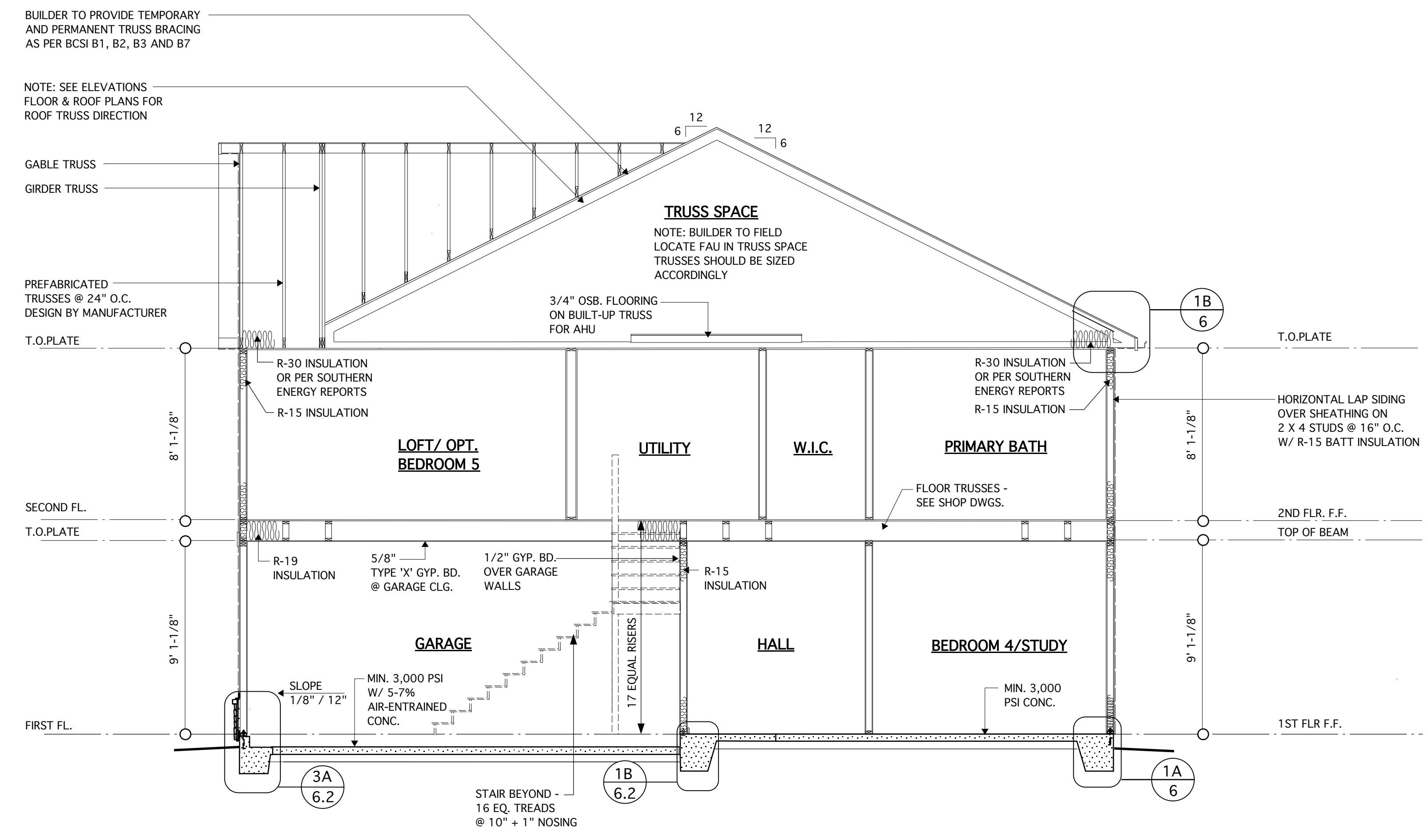
DRAWING TITLE
BUILDING SECTION

SHEET
5



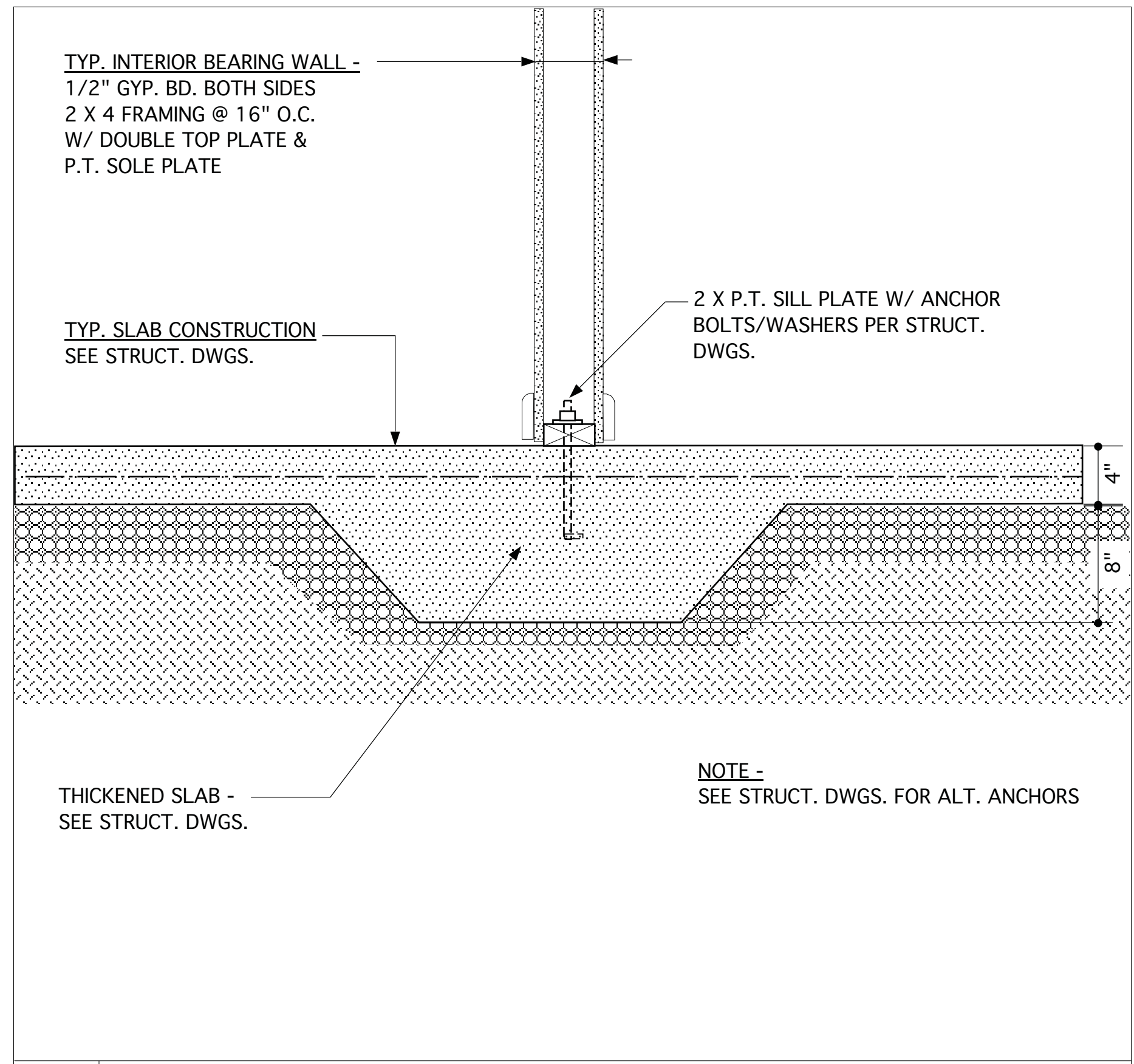
TYP. STAIR SECTION
NO SCALE
ALL STAIR AND GUARD REQUIREMENTS TO COMPLY WITH R-311 AND R312 NCRC 2018

TYPICAL RAILING @ PORCH/DECK
SCALE: 1/2" = 1'-0"
(PROVIDE GUARDRAIL BOTH SIDES WHEN HEIGHT ABOVE GRADE EXCEEDS 30"/ (PROVIDE HANDRAIL ONE SIDE OF STEPS WHERE 4 OR MORE RISERS)

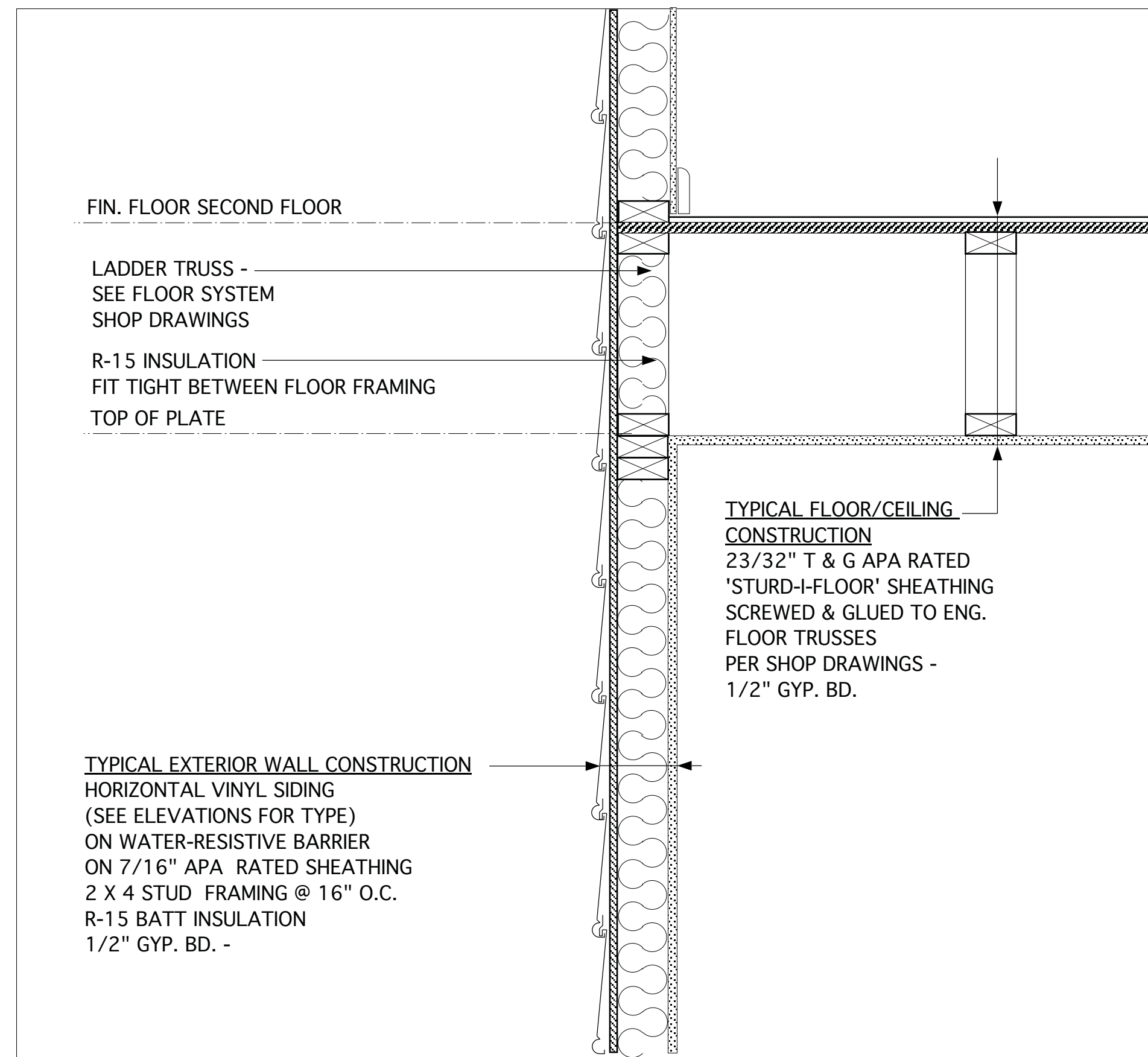


TYPICAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

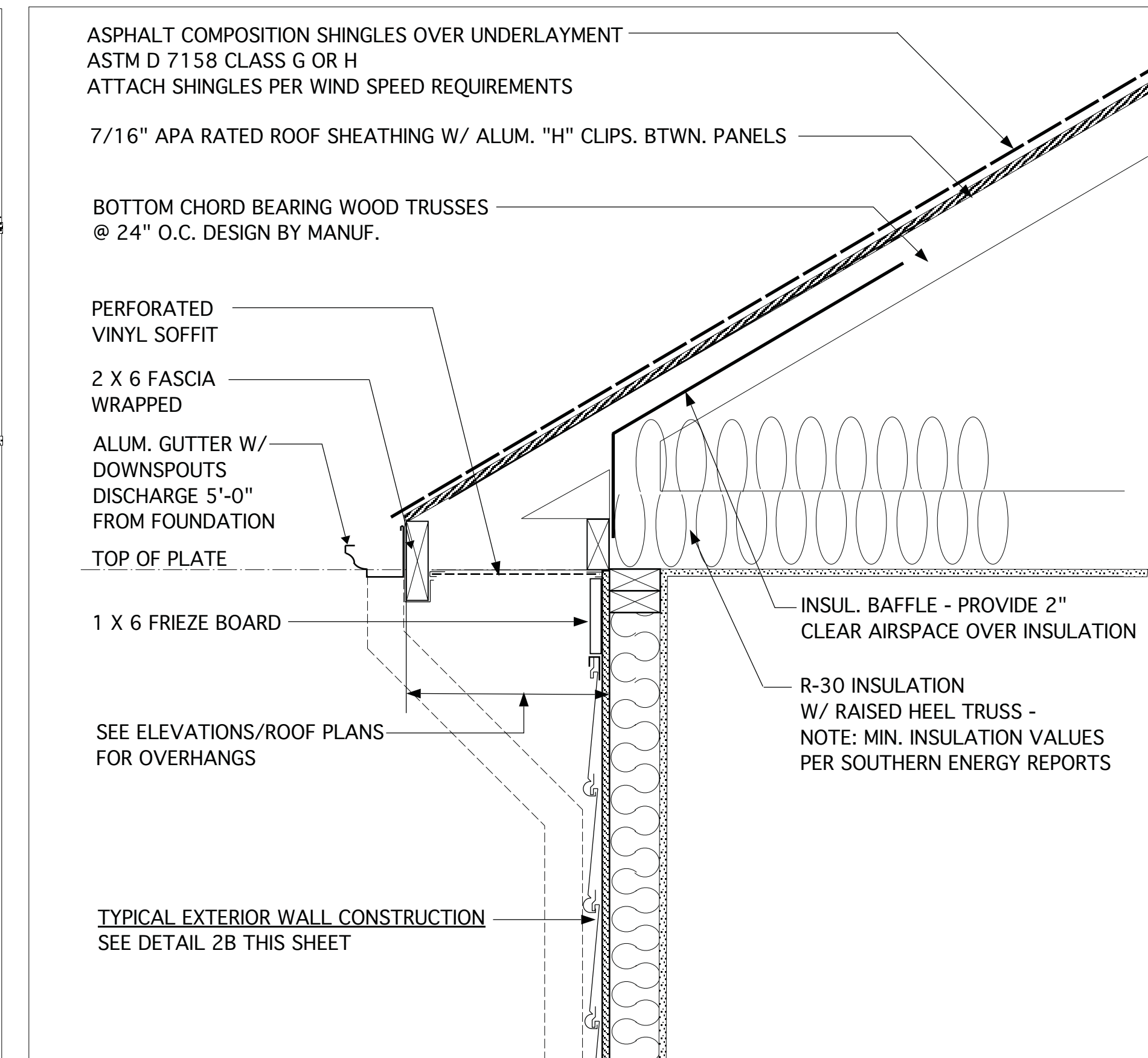
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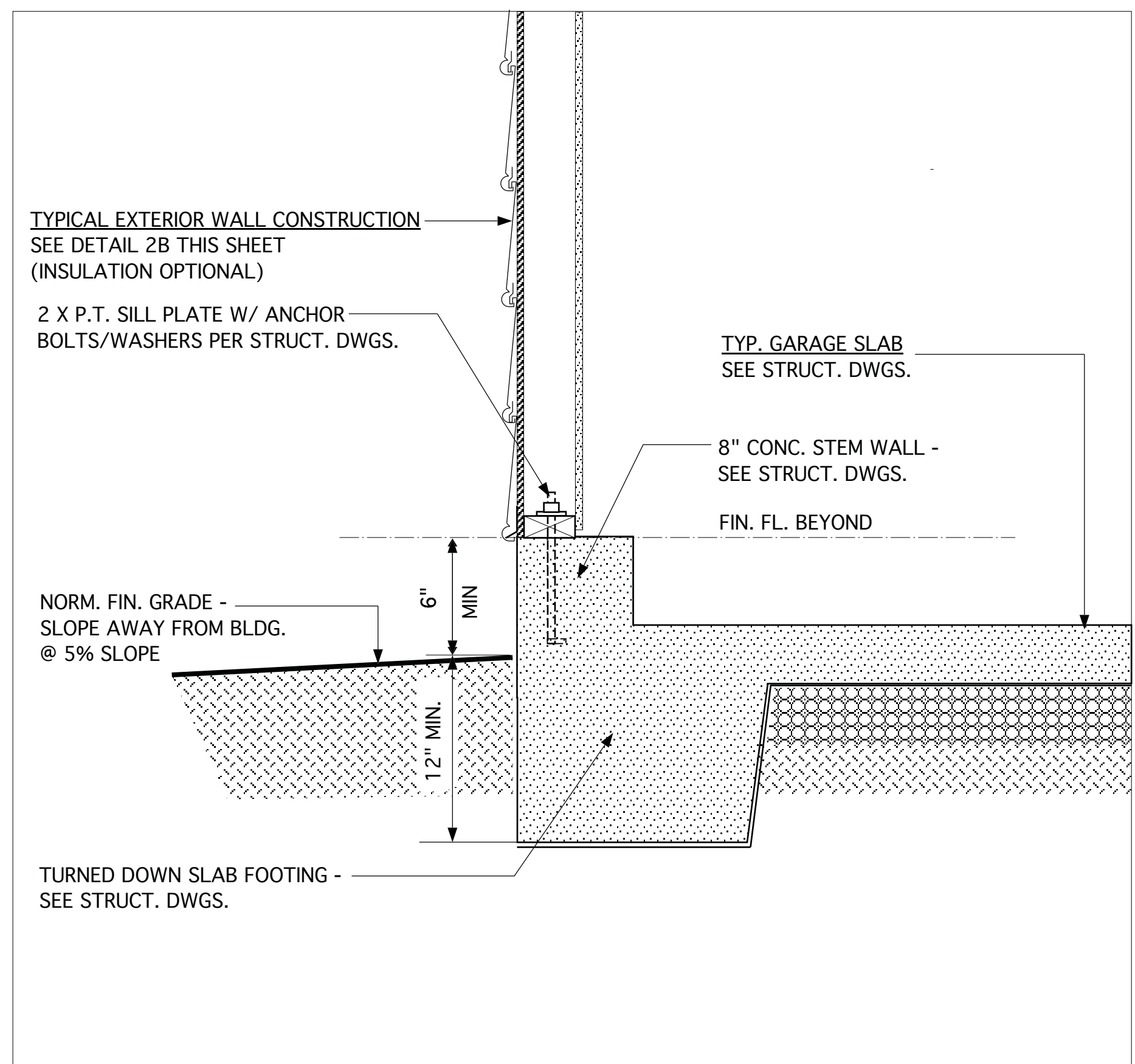
3B FOUNDATION DETAIL @ INTERIOR THICKENED SLAB



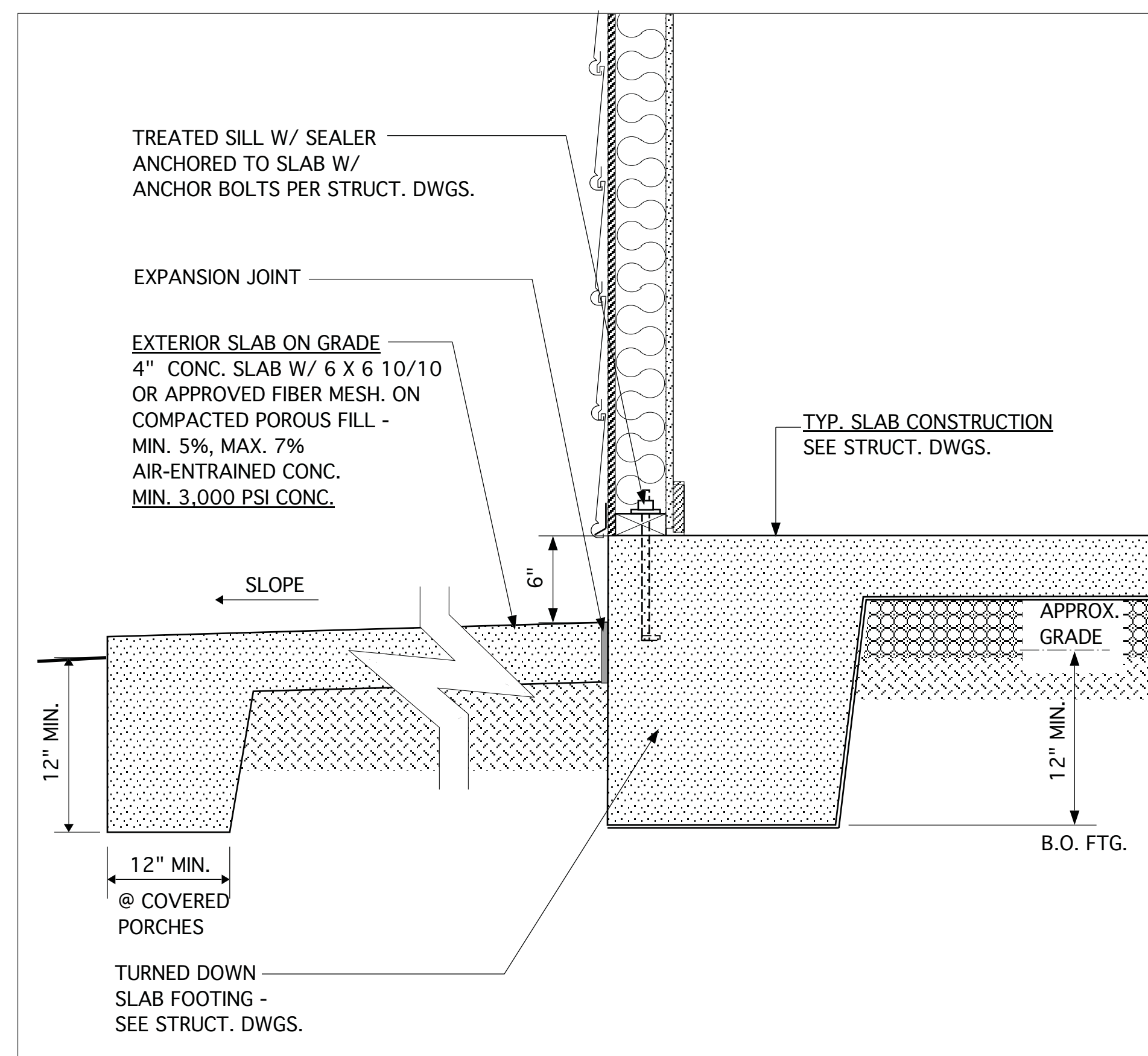
2B TYPICAL FLOOR / WALL DETAIL



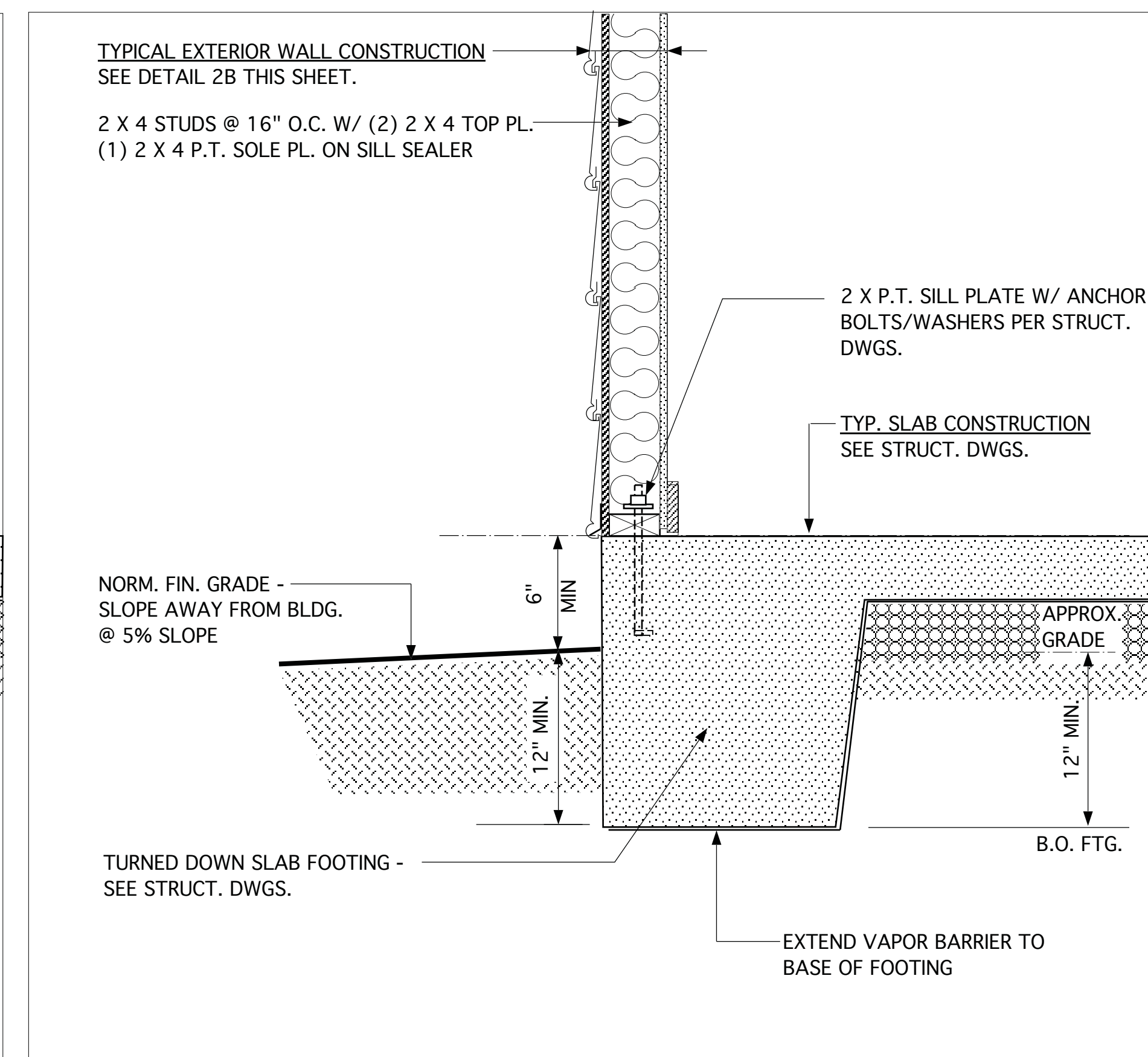
1B TYPICAL SOFFIT DETAIL



3A FOUND. DETAIL @ GARAGE EXTERIOR SIDE WALL



2A FOUND. DETAIL @ PATIO OR REAR COVERED PORCH



1A FOUND. DETAIL @ EXTERIOR WALL

**JAMES WENTLING/
 ARCHITECT**

LAND TITLE BUILDING
 100 SOUTH BROAD STREET,
 SUITE 1524
 PHILADELPHIA, PA 19110

(215) 568-2551
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 wentlinghouseplans.com

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JAMES WALTER WENTLING
 REGISTERED ARCHITECT
 4642
 NORTH CAROLINA
 RALEIGH, N. C.
 4/19/23

REVISIONS		
MARK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
DN	01-14-19	MINOR UPDATE
AM	01-14-21	RE stamps SHEET
DN	02-09-21	OPT. PORCH FOOTINGS
AM	09-09-21	RE stamps SHEET
JW	02-07-23	NEILL'S POINT/FARM
DN	04-19-23	SALES OFFICE - LOT 104

PROJECT NO.
113-88

DATE
10-16-17

SCALE
1-1/2" = 1'-0"

DRAWN BY
DN

CHECKED BY
JW

ISSUED FOR
PERMITS/CONSTRUCTION

PROJECT TITLE
**MODEL 6260 -
 GARAGE RIGHT
 THE FARM AT NEILL'S
 CREEK - SALES OFFICE -
 LOT 104**

CLIENT
**CHESAPEAKE
 HOMES OF NC**
 3100 Smoketree Court,
 Suite 210
 Raleigh, NC 27604
 (919) 256-3060
 (919) 556-0690 Fax

DRAWING TITLE
**MONOLITHIC SLAB
 FOUNDATION, WALL
 AND SOFFIT DETAILS**

SHEET
6

**JAMES WENTLING/
ARCHITECT**
LAND TITLE BUILDING
100 SOUTH BROAD STREET,
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REVISIONS		
MARK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
JW	02-07-23	NEILL'S POINT/FARM
DN	04-19-23	SALES OFFICE - LOT 104

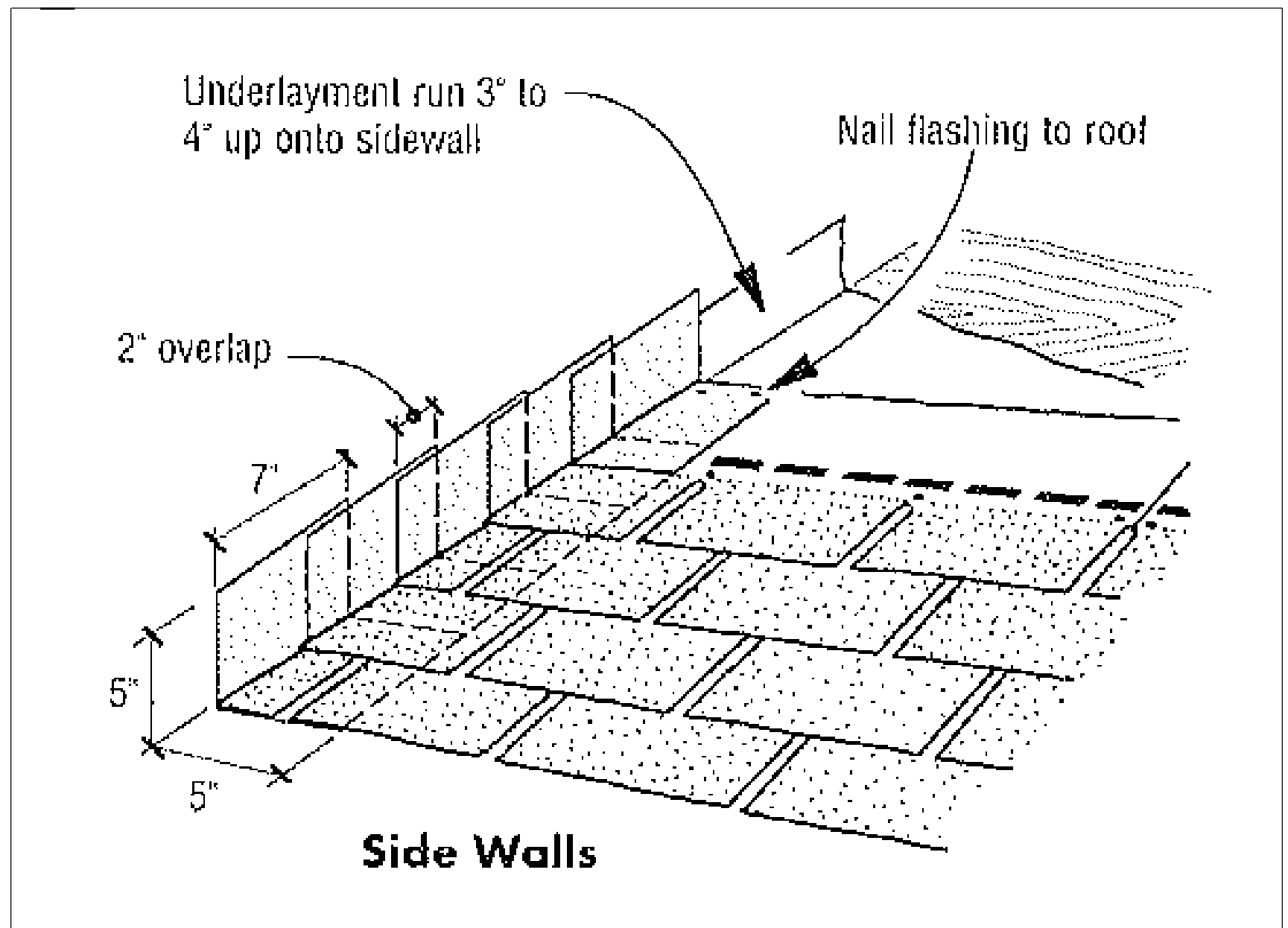
PROJECT NO. 113-88
DATE 10-16-17
SCALE 1-1/2" = 1'-0" U.N.O.
DRAWN BY DN
CHECKED BY JW
ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT THE FARM AT NEILL'S CREEK - SALES OFFICE - LOT 104

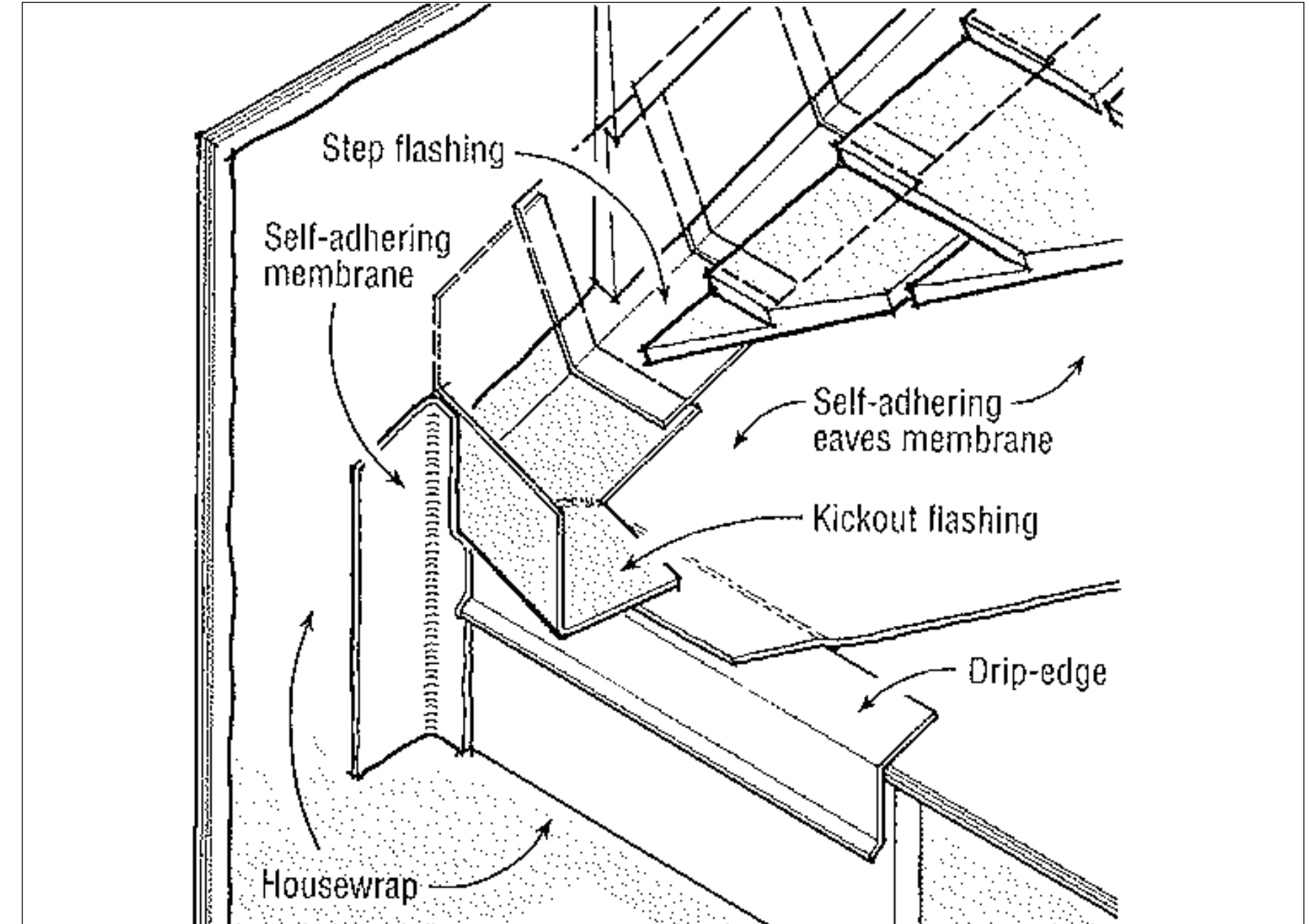
CLIENT
CHESAPEAKE HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
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DRAWING TITLE
MONOLITHIC SLAB FOUNDATION AND WALL DETAILS

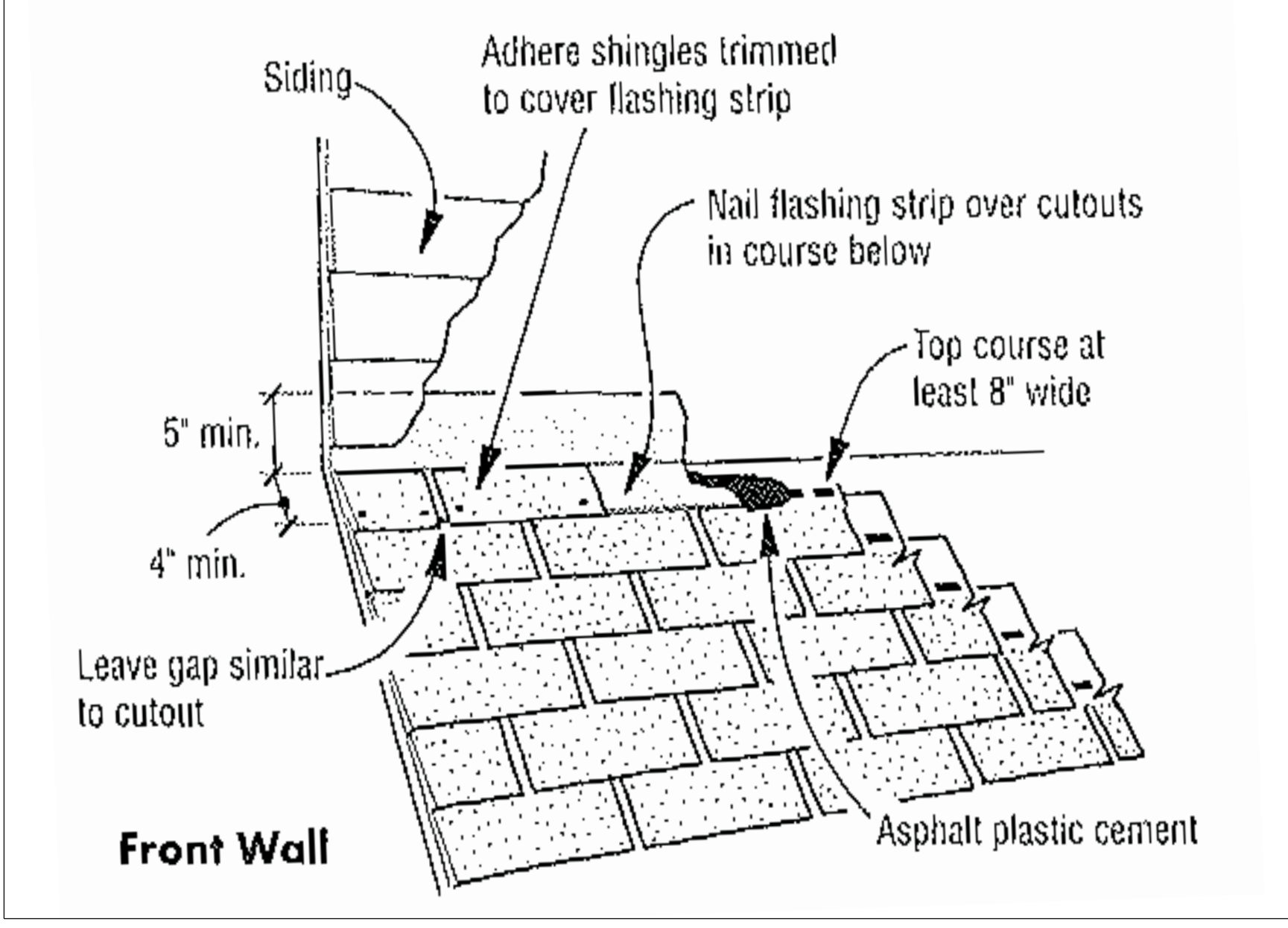
SHEET
6.1



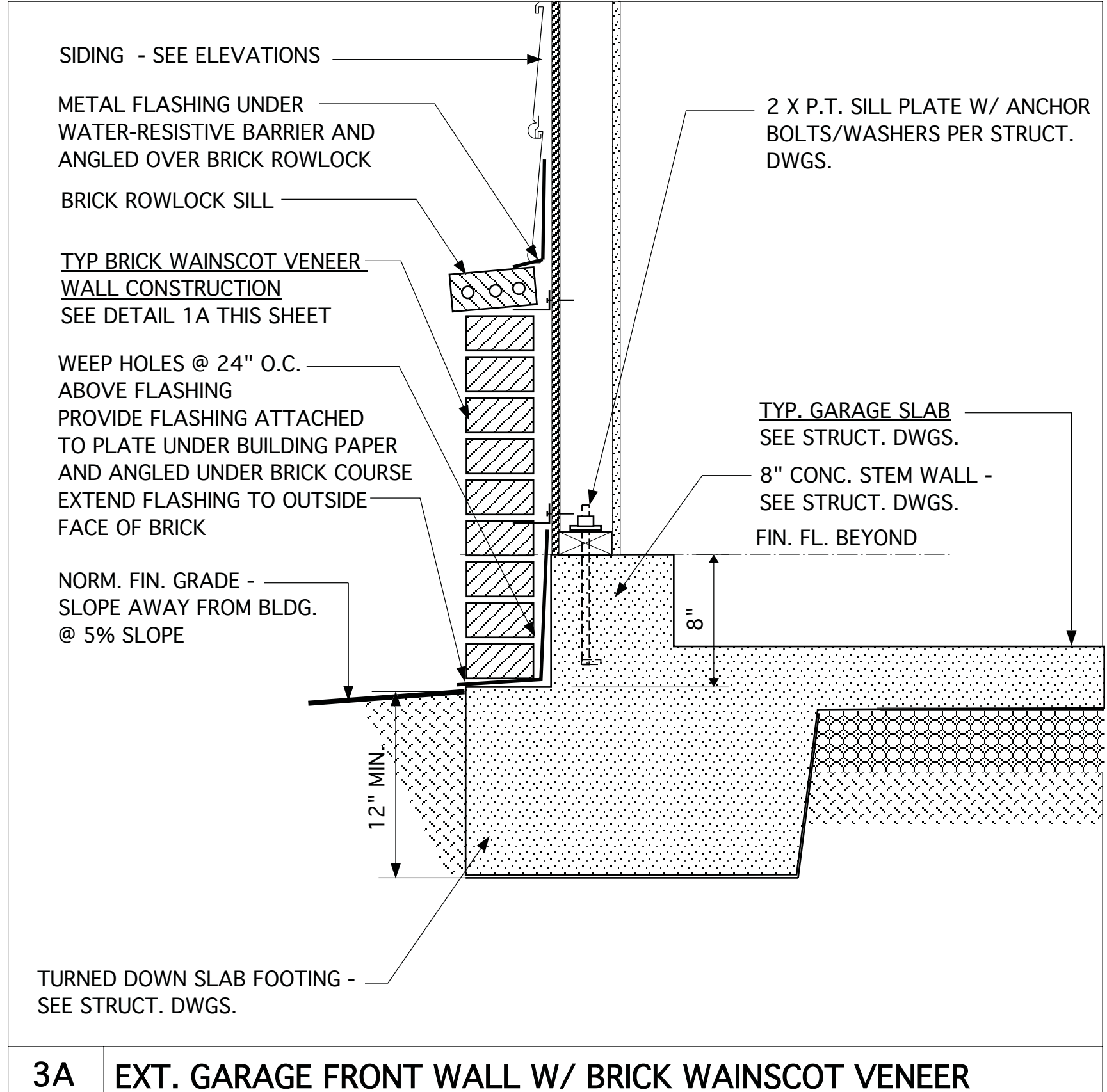
3B ROOF FLASHING AGAINST SIDE WALL DETAIL
N.T.S.



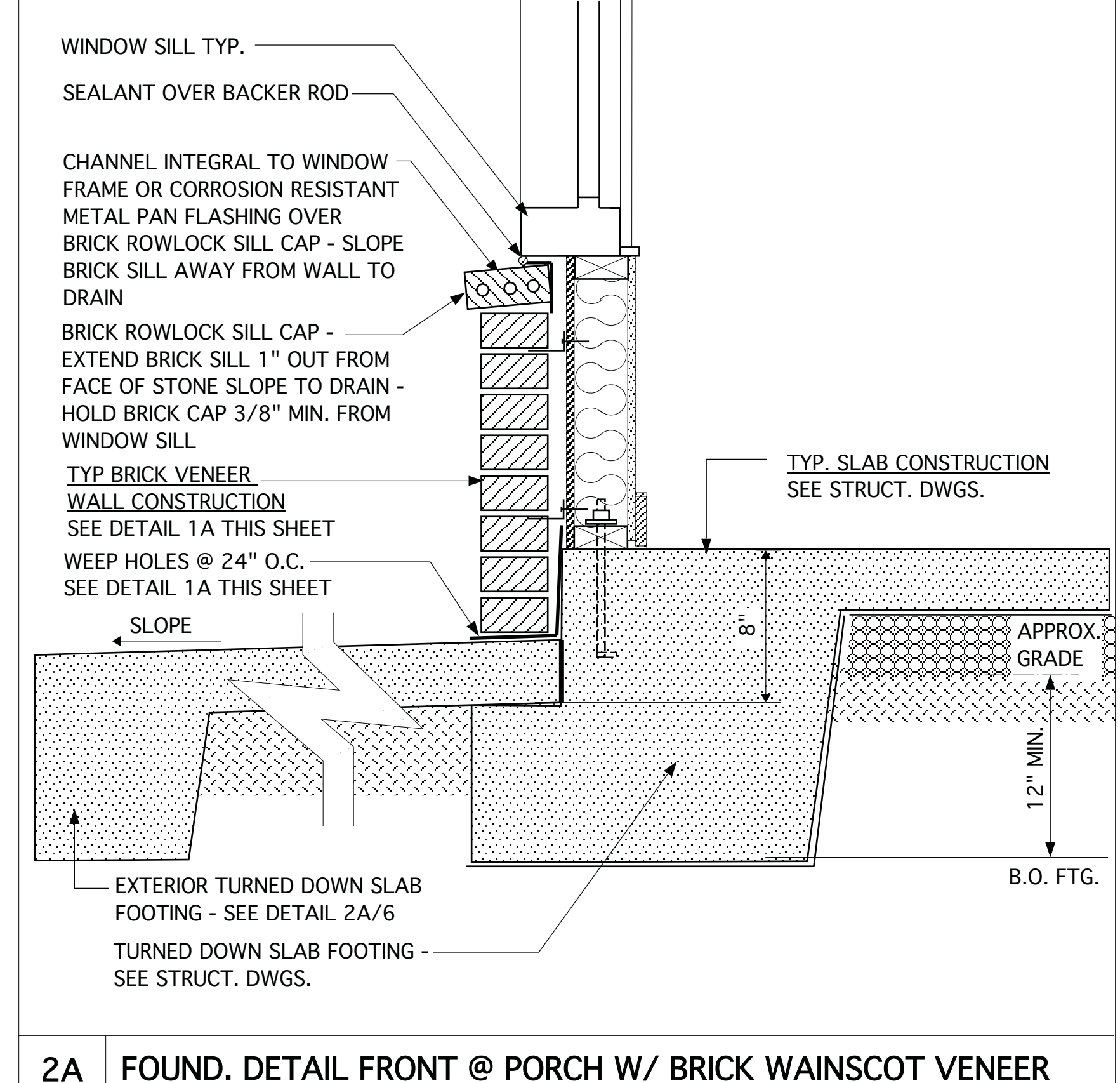
2B KICK-OUT FLASHING DETAIL AT ROOF FASCIA/WALL INTERSECTION
N.T.S.



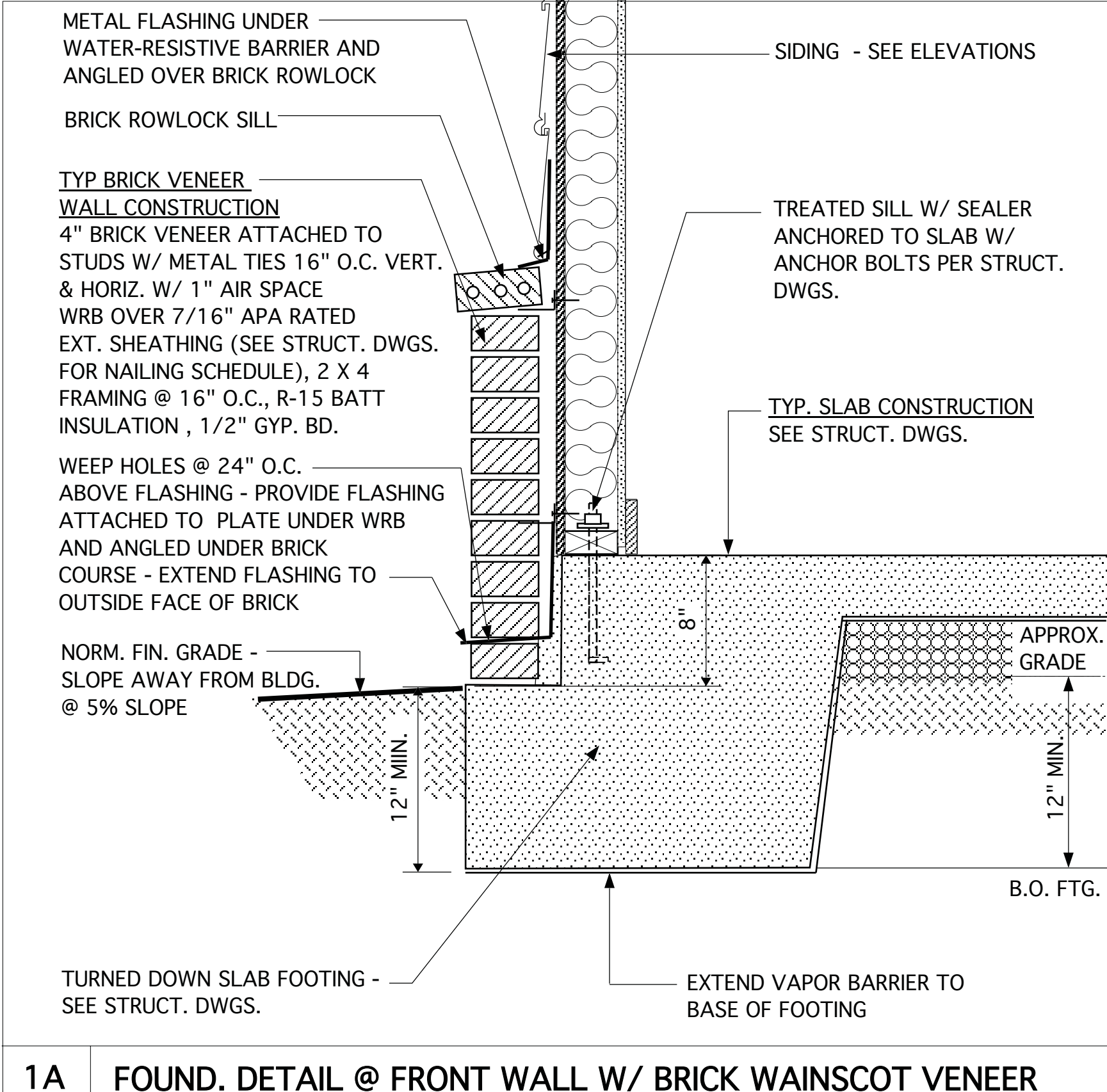
1B ROOF FLASHING AGAINST FRONT WALL DETAIL
N.T.S.



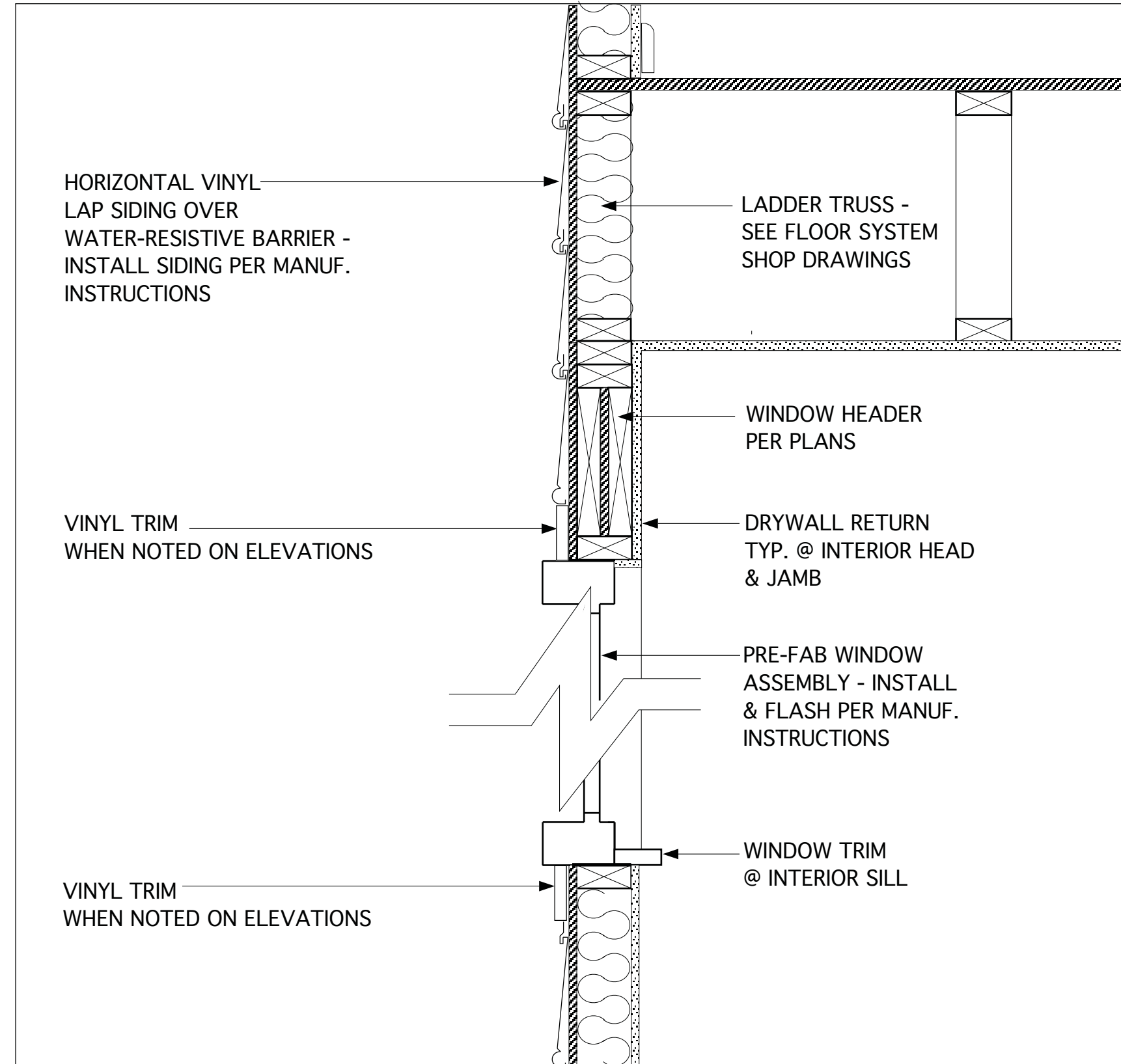
3A EXT. GARAGE FRONT WALL W/ BRICK WAINSCOT VENEER



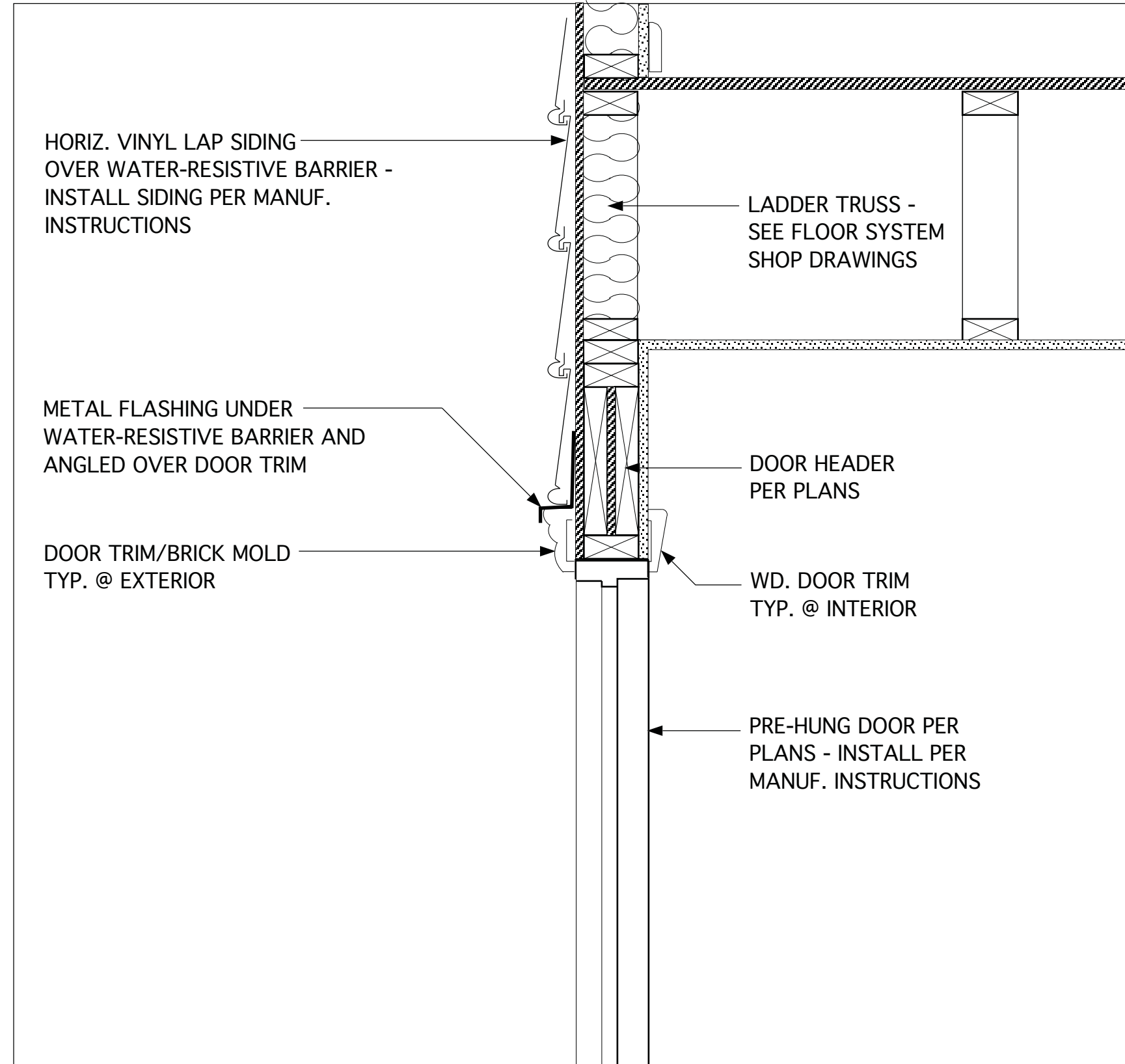
2A FOUND. DETAIL FRONT @ PORCH W/ BRICK WAINSCOT VENEER



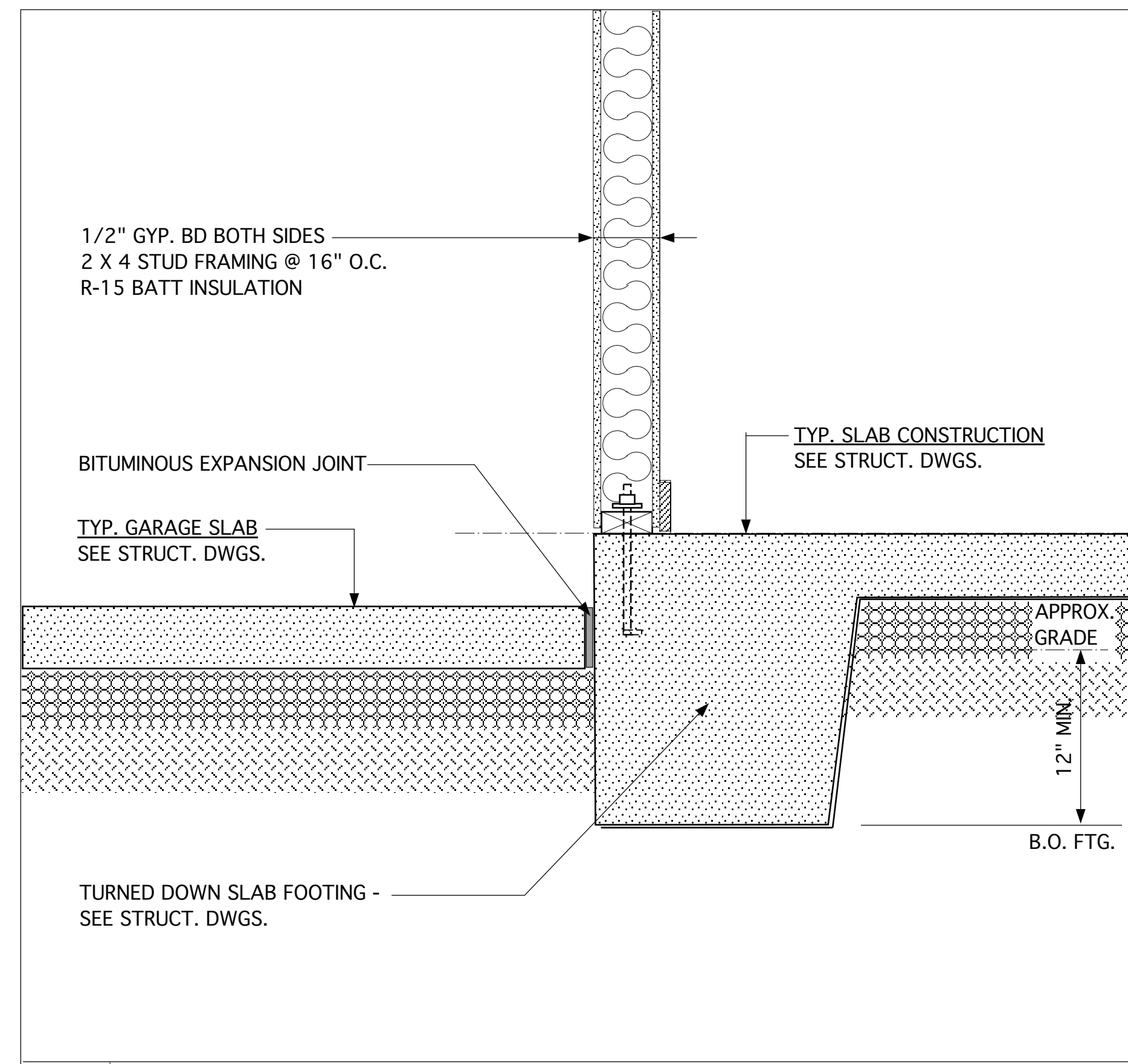
1A FOUND. DETAIL @ FRONT WALL W/ BRICK WAINSCOT VENEER



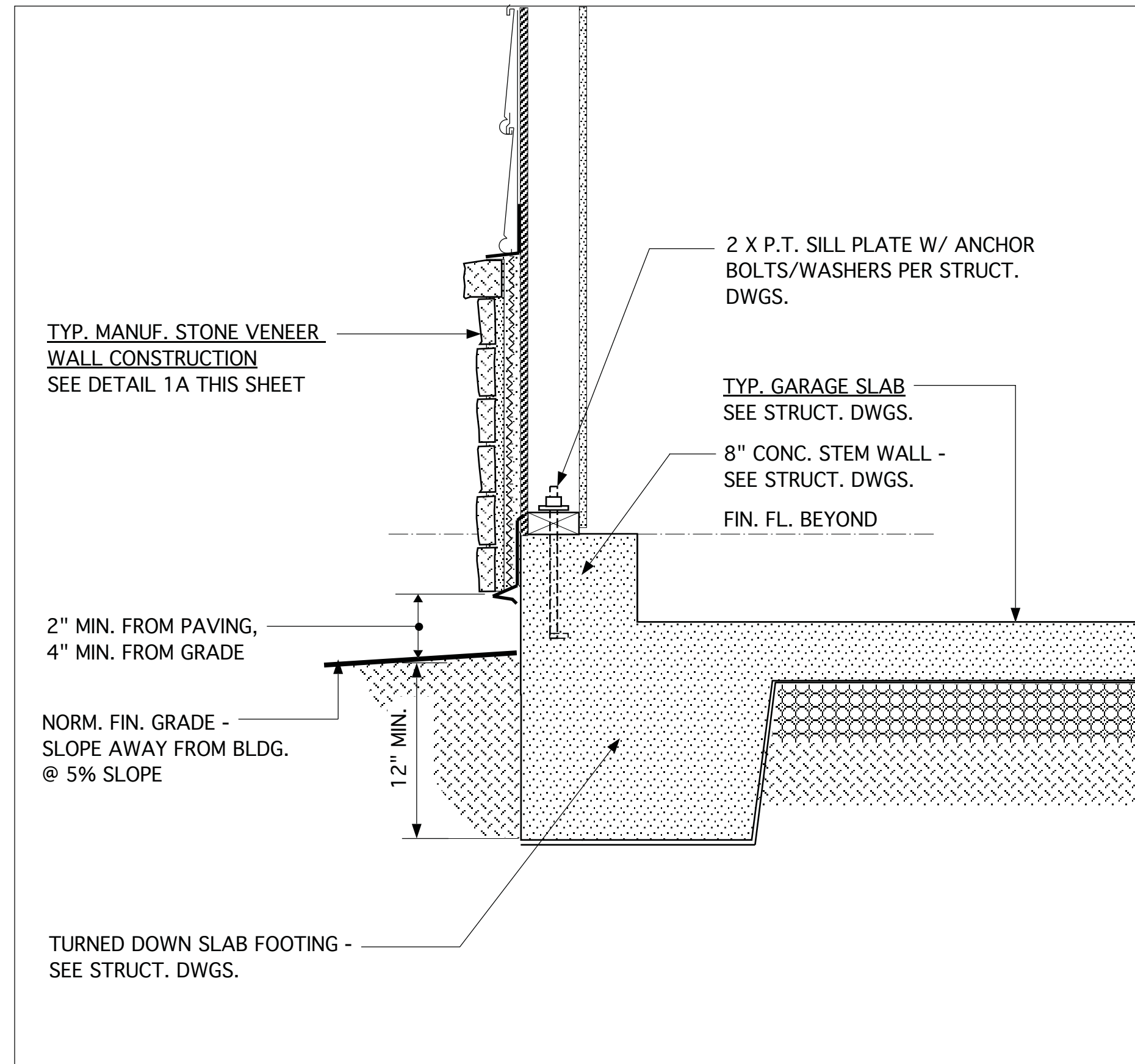
3B WINDOW TRIM & FLASHING DETAIL



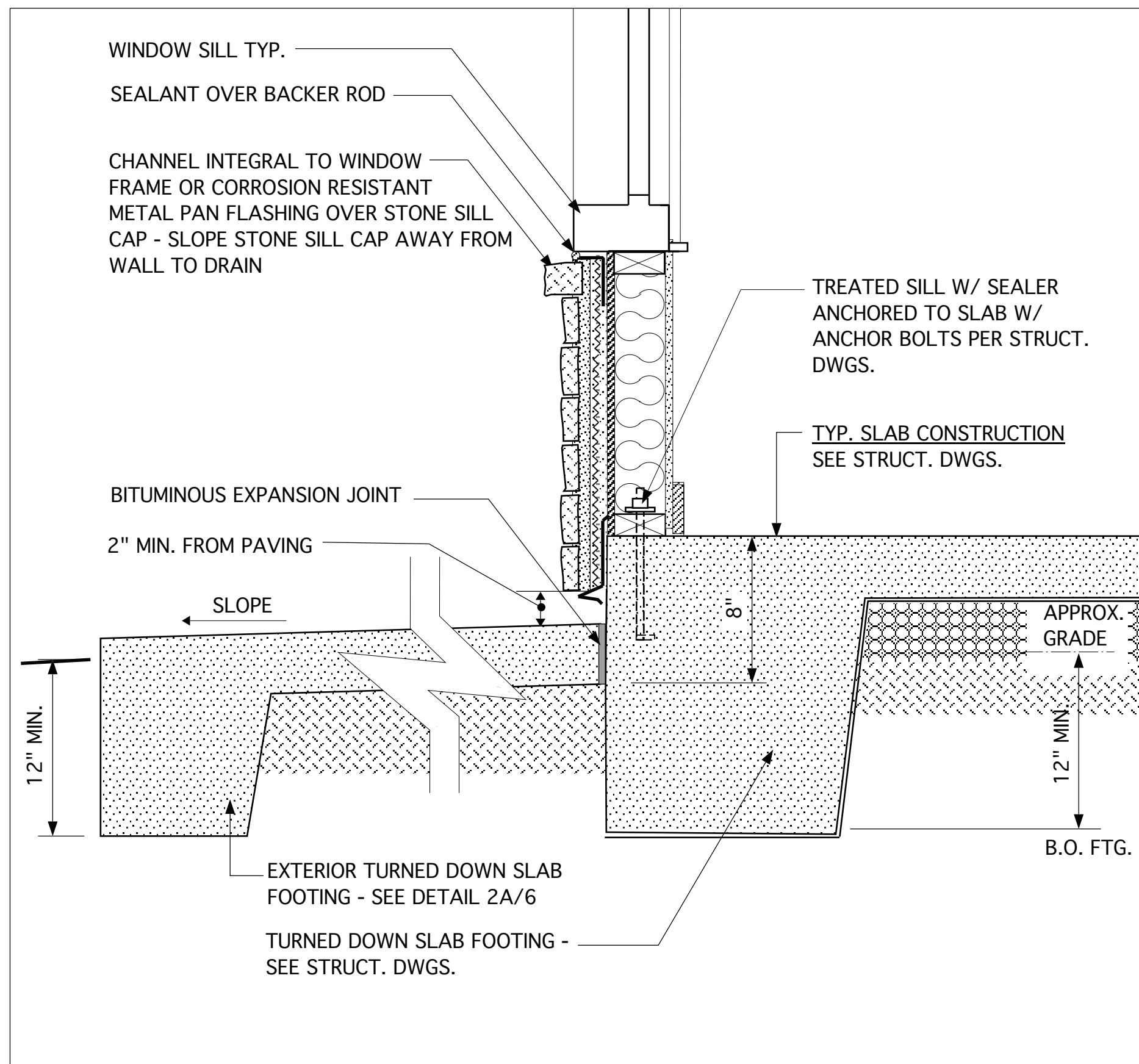
2B DOOR HEAD & FLASHING DETAIL



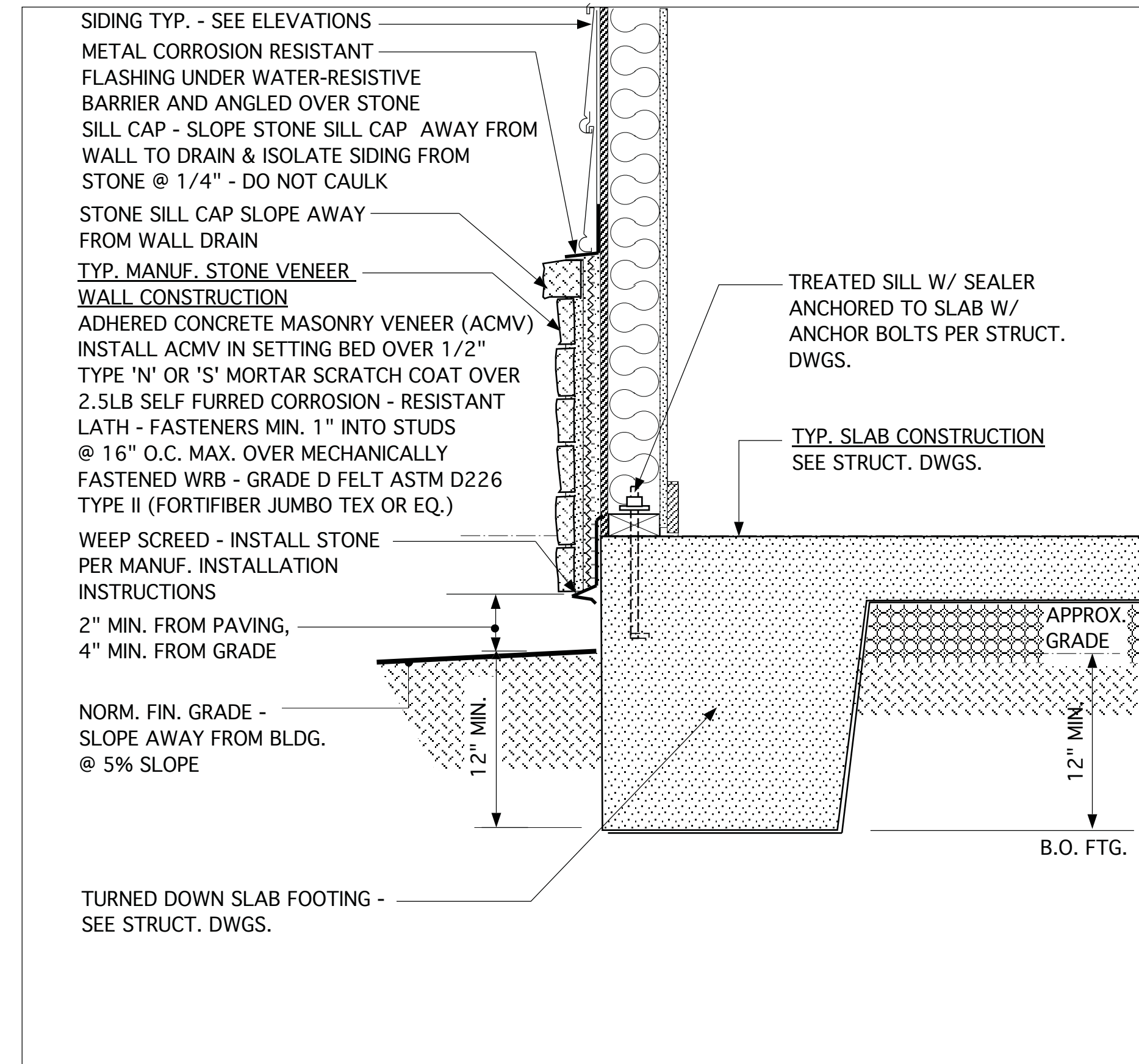
1B DETAIL @ GARAGE & INTERIOR



3A GARAGE EXT. FRONT WALL W/ STONE WAINSCOT VENEER



2A FRONT PORCH W/ STONE WAINSCOT VENEER @ WINDOW



1A DETAIL @ EXT. FRONT WALL W / STONE WAINSCOT VENEER

**JAMES WENTLING/
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LAND TITLE BUILDING
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ARCHITECTURE
LAND PLANNING
GRAPHICS

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REVISIONS		
MARK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
JW	02-15-23	NEILL'S POINT/FARM
DN	04-19-23	SALES OFFICE - LOT 104

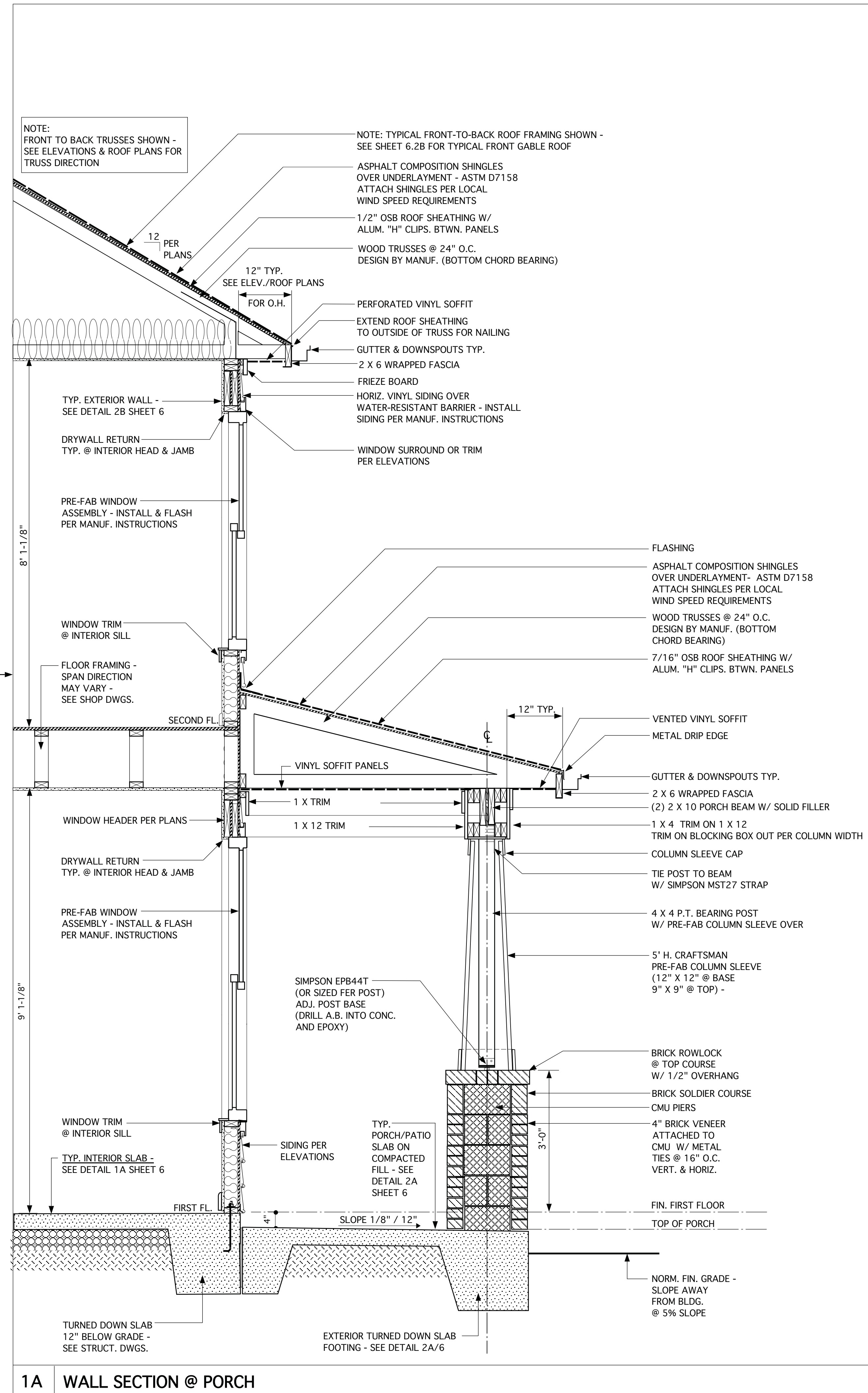
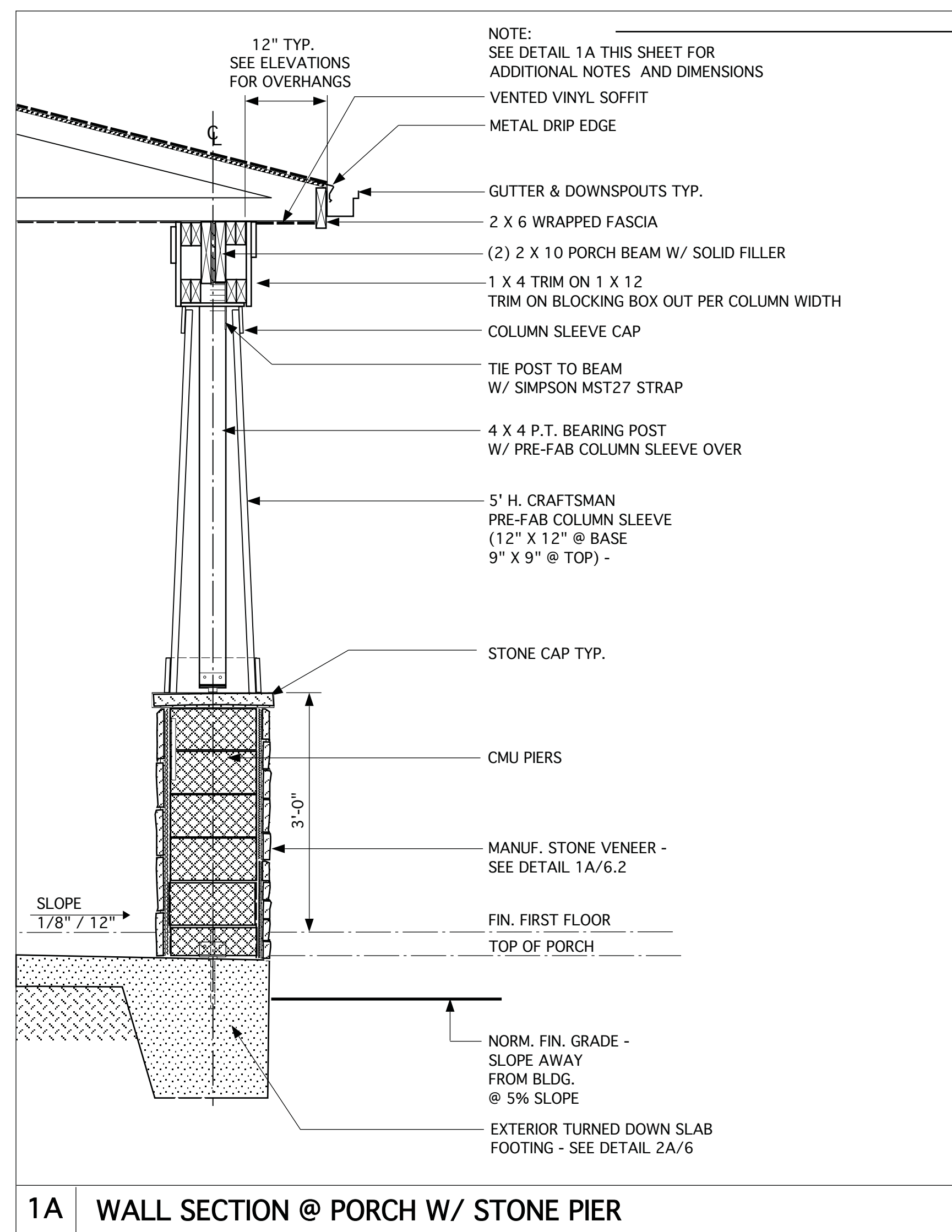
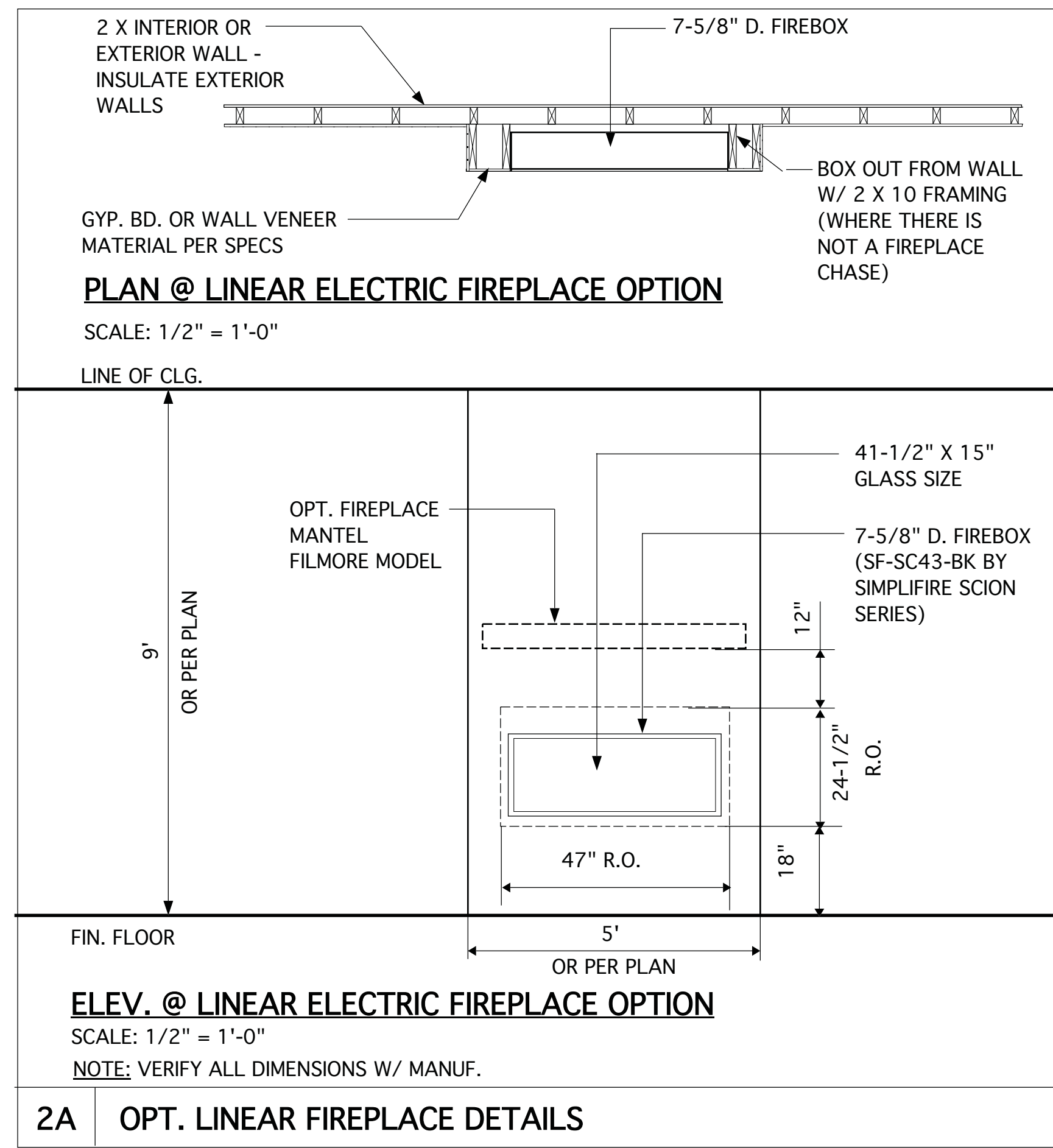
PROJECT NO.	113-88
DATE	10-16-17
SCALE	1-1/2" = 1'-0"
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT
THE FARM AT NEILL'S
CREEK - SALES OFFICE -
LOT 104**

CLIENT
**CHESAPEAKE
HOMES OF NC**
3100 Smoketree Court,
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Raleigh, NC 27604
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DRAWING TITLE
**MONOLITHIC SLAB
FOUNDATION
AND WALL DETAILS**

SHEET
6.2



JAMES WENTLING/ ARCHITECT

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JAMES WALTER WENTLING
REGISTERED ARCHITECT
3642
NORTH CAROLINA
RALEIGH, N. C.
4/19/23

MARK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
JW	02-15-23	NEILL'S POINT/FARM
DN	04-19-23	SALES OFFICE - LOT 104

PROJECT NO. 113-88

DATE 01-08-18

SCALE 3/4" = 1'-0"

DRAWN BY DN

CHECKED BY JW

ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE
MODEL 6260 - GARAGE RIGHT THE FARM AT NEILL'S CREEK - SALES OFFICE - LOT 104

CLIENT
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Suite 210
Raleigh, NC 27604
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DRAWING TITLE
ELEVATION A - DETAILS

SHEET
6.2A

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REVISIONS

MARK	DATE	DESCRIPTION
CH	05-28-19	ELEVATIONS
CH	12-10-19	3RD CAR GARAGE EXT.
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
JW	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.
TF	04-19-23	SALES OFFICE - LOT 104

PROJECT NO.

113-88

DATE

01-08-18

SCALE

AS NOTED

DRAWN BY

JK

CHECKED BY

JW

ISSUED FOR

PERMITS/CONSTRUCTION

PROJECT TITLE

**MODEL 6260 -
GARAGE RIGHT
THE FARM AT NEILL'S
CREEK - SALES OFFICE -
LOT 104**

CLIENT

**CHESAPEAKE
HOMES OF NC**
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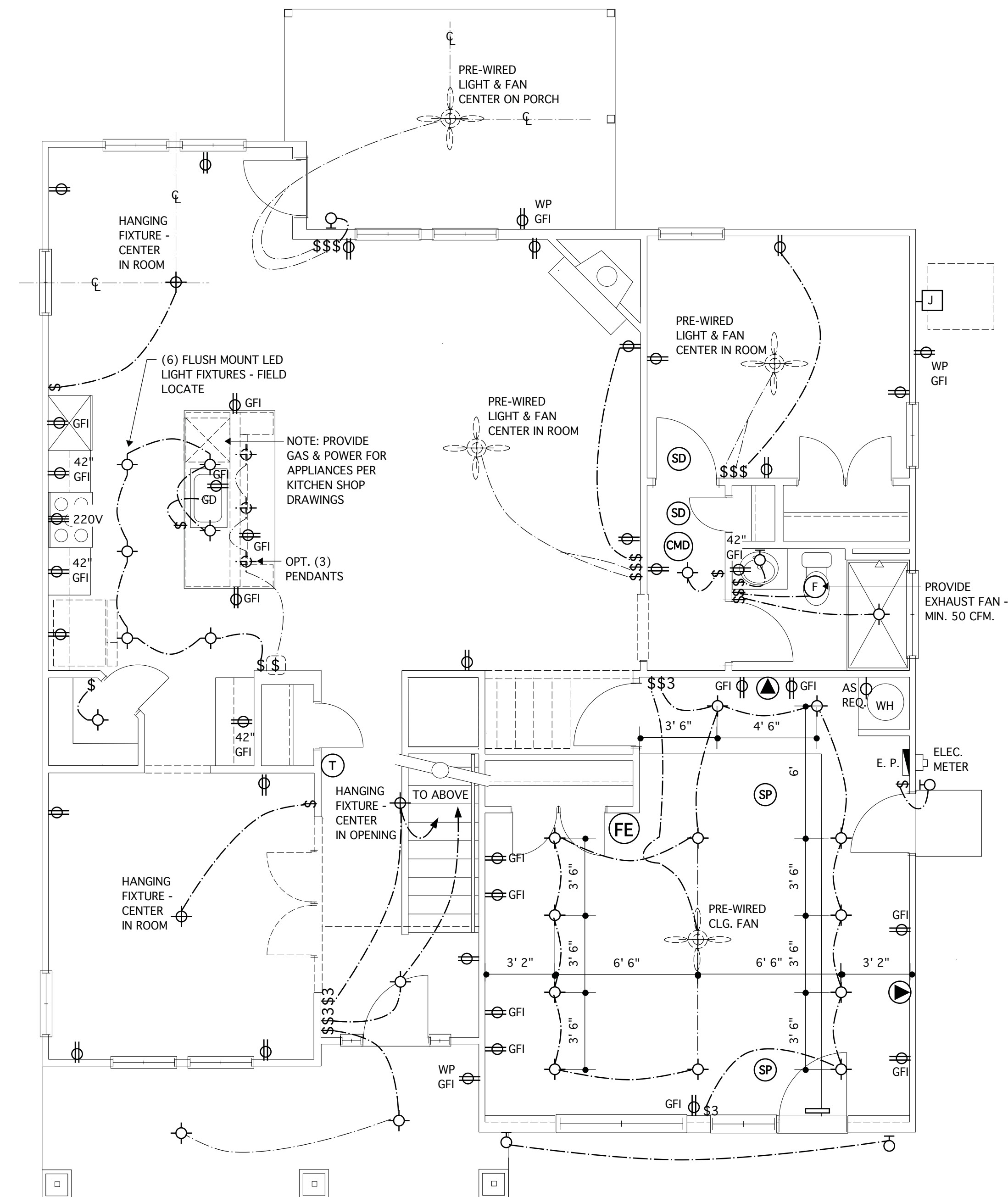
DRAWING TITLE

**FIRST FLOOR
ELECTRICAL PLANS**

SHEET

7

	SINGLE RECEPTACLE OUTLET		CEILING MOUNTED LIGHT FIXTURE
	DUPLEX RECEPTACLE OUTLET		CEILING LIGHT/FAN COMBO
	DUPLEX RECEPTACLE OUTLET-GROUND FAULT INTERRUPTER		EXHAUST FAN - 50 CFM.
	DUPLEX RECEPTACLE OUTLET-SPLIT WIRED		FLUSH MOUNT LED LIGHT FIXTURE
	220V OUTLET		SMOKE DETECTOR - HARDWIRED & INTERCONNECTED
	WEATHER-PROTECTED EXTERIOR OUTLET WITH IN-USE COVER & GFI PROTECTED		48 CIRCUIT BREAK PANEL W/ 200 AMP. EL. SERVICE LINE
	SWITCH		WALL MOUNTED LIGHT FIXTURE
	THREE WAY SWITCH		PREWIRE CEILING FAN
	FLUORESCENT LIGHT FIXTURE; MULTI-TUBE		THERMOSTAT
	FLUORESCENT LIGHT FIXTURE; SINGLE-TUBE		JUNCTION BOX W/ SHUT-OFF SWITCH
	CARBON MONOXIDE DETECTOR - HARDWIRED/PLUG-IN/ BATTERY TYPE		EXIT SIGNAGE TYP.
	8 LB. FIRE EXTINGUISHER UL LISTED CLASSIFICATION: 3-A: 40-B:C SIZE 1		MUSIC DISTRIBUTION SPEAKERS (FLUSH MOUNTED)
	MULTI-PORT		



FIRST FLOOR ELECTRICAL PLAN

SCALE 1/4" = 1'-0"

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LAND PLANNING
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REVISIONS

MARK	DATE	DESCRIPTION
DN	01-14-19	STRUCT. DWGS. REV.
CH	05-28-19	FULL PORCH OPT.
AM	01-14-21	RE-STAMP SHEET
AM	09-09-21	M. BATH WINDOW REV.
JW	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.
TF	04-19-23	SALES OFFICE - LOT 104

PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	JK
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

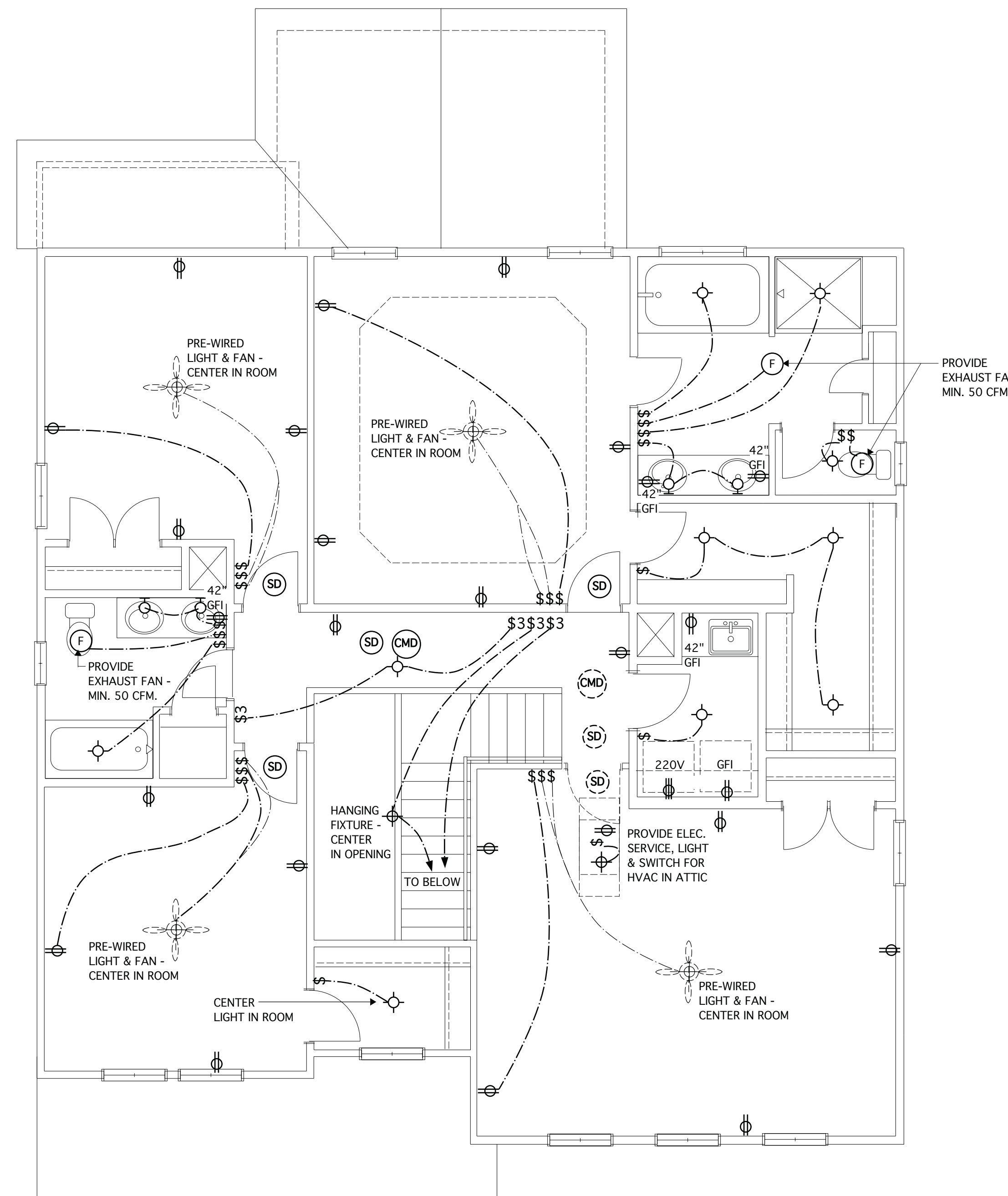
PROJECT TITLE
**MODEL 6260 -
GARAGE RIGHT
THE FARM AT NEILL'S
CREEK - SALES OFFICE -
LOT 104**

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DRAWING TITLE
**SECOND FLOOR
ELECTRICAL PLANS**

SHEET
7.1

	SINGLE RECEPTACLE OUTLET		CEILING MOUNTED LIGHT FIXTURE
	DUPLEX RECEPTACLE OUTLET		CEILING LIGHT/FAN COMBO
	DUPLEX RECEPTACLE OUTLET-GROUND FAULT INTERRUPTER		EXHAUST FAN - 50 CFM.
	DUPLEX RECEPTACLE OUTLET-SPLIT WIRED		FLUSH MOUNT LED LIGHT FIXTURE
	220V OUTLET		SMOKE DETECTOR - HARDWIRED & INTERCONNECTED
	WEATHER-PROTECTED EXTERIOR OUTLET WITH IN-USE COVER & GFI PROTECTED		48 CIRCUIT BREAK PANEL W/ 200 AMP. EL. SERVICE LINE
	SWITCH		WALL MOUNTED LIGHT FIXTURE
	THREE WAY SWITCH		PREWIRE CEILING FAN
	FLUORESCENT LIGHT FIXTURE; MULTI-TUBE		THERMOSTAT
	FLUORESCENT LIGHT FIXTURE; SINGLE-TUBE		JUNCTION BOX W/ SHUT-OFF SWITCH
	CARBON MONOXIDE DETECTOR - HARDWIRED/PLUG-IN/ BATTERY TYPE		



SECOND FLOOR ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

STRUCTURAL NOTES

NC (2018 NCRG); Wind: 115-120 mph

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPs, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS AND HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIER & GIRDER SYSTEM FOOTING, AND PILING SYSTEM. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM. ALL REQUIREMENTS FOR PROFESSIONAL CERTIFICATION SHALL BE PROVIDED BY THE APPROPRIATE PROFESSIONAL SOUTHERN ENGINEERS, P.A. CERTIFIES ONLY THE STRUCTURAL COMPONENTS AS SPECIFICALLY STATED.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE 2018 NC RESIDENTIAL CODE, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK, NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. "CONSTRUCTION REVIEW" SERVICES ARE NOT PART OF OUR CONTRACT. ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED AND BRACED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE AND THE BUILDING CODE.
- DESIGN LOADS (LISTED AS: LIVE LOAD, DEAD LOAD, DEFLECTION)
 - ROOMS OTHER THAN SLEEPING ROOMS: (40 PSF, 10 PSF, L/360)
 - SLEEPING ROOMS: (30 PSF, 10 PSF, L/360)
 - ATTIC WITH PERMANENT STAIRS: (40 PSF, 10 PSF, L/360)
 - ATTIC WITHOUT PERMANENT STAIRS: (20 PSF, 10 PSF, L/360)
 - ATTIC WITHOUT STORAGE: (10 PSF, 10 PSF, L/240)
 - STAIRS: (40 PSF, 10 PSF, L/360)
 - EXTERIOR BALCONIES: (60 PSF, 10 PSF, L/360)
 - DECKS: (40 PSF, 10 PSF, L/360)
 - GUARDRAILS AND HANDRAILS: (200 LBS)
 - PASSENGER VEHICLE GARAGES: (50 PSF, 10 PSF, L/360)
 - FIRE ESCAPES: (40 PSF, 10 PSF, L/360)
 - SNOW: (20 PSF)
- WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORIES WITH WOOD STRUCTURAL PANELS. SEE FRAMING NOTES FOR THICKNESS AND NAILING REQUIREMENTS.
- SEE APPENDIX M (DC46) FOR EXTERIOR DECK REQUIREMENTS INCLUDING ATTACHMENTS FOR LATERAL LOADS.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (NO). AIR ENTRAINMENT PER TABLE 402.2. ALL CONCRETE SHALL BE PROPORTIONED, MIXED, HANDLED, SAMPLED, TESTED, AND PLACED IN ACCORDANCE WITH ACI STANDARDS. ALL SAMPLES FOR FINISH SHALL BE TAKEN FROM THE EXT. END OF THE PUMP. CONTROL JOINTS IN SLABS SHALL BE SPACED ON A GRID OF +30 TIMES THE DEPTH (D). CONTROL JOINTS SHALL BE SAUCUT TO A DEPTH OF 1/2 (I.E. 4" CONCRETE SLABS SHALL HAVE 1/2" DEEP CONTROL JOINTS SAUCUT IN SLAB ON A +10'-0" x +10'-0" GRID).
- ALLOWABLE SOIL BEARING PRESSURE ASSUMED TO BE 2000 PSF. THE CONTRACTOR MUST CONTACT A GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER IF UNSATISFACTORY SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE SURFACE AREA ADJACENT TO THE FOUNDATION WALL SHALL BE PROVIDED WITH ADEQUATE DRAINAGE, AND SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS.
- ALL FRAMING LUMBER SHALL BE SYP #2 (Fb = 875 PSF) UNLESS NOTED OTHERWISE (NO). ALL TREATED LUMBER SHALL BE SYP #2. PLATE MATERIAL MAY BE SYP #3 OR SYP #3 (F_uperp) = 425 PSI - MIN.
- L.V.L. SHALL BE LAMINATED VENEER LUMBER: Fb=2600 PSI, Fv=285 PSI, E=1.4x10⁶ PSI.
 - F.S.L. SHALL BE PARALLEL STRAND LUMBER: Fb=2400 PSI, Fv=290 PSI, E=2.0x10⁶ PSI.
 - L.S.L. SHALL BE LAMINATED STRAND LUMBER: Fb=2250 PSI, Fv=400 PSI, E=1.55x10⁶ PSI.
 INSTALL ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS.
- ALL ROOF TRUSS AND I-JOIST LAYOUTS SHALL BE PREPARED IN ACCORDANCE WITH THE SEALED STRUCTURAL DRAWINGS. TRUSSES AND I-JOISTS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. ANY CHANGE IN TRUSS OR I-JOIST LAYOUT SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- ALL STRUCTURAL STEEL SHALL BE ASTM A-36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" INCHES AND FULL FLANGE WIDTH. PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO LAG SCREWS (1/2" DIAMETER x 4" LONG). LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOIST ARE TOE NAILED TO THE SOLE PLATE, AND SOLE PLATE IS NAILED OR BOLTED TO THE BEAM FLANGE @ 48" O.C. ALL STEEL TUBING SHALL BE ASTM A500.
- REBAR SHALL BE DEFORMED STEEL, ASTM#615, GRADE 60. LAP ALL REBAR SPLICES 30 BAR DIAMETERS.
- FLITCH BEAMS SHALL BE BOLTED TOGETHER USING (2) ROWS OF 1/2" DIAMETER BOLTS (ASTM A325) WITH WASHERS PLACED UNDER THE THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" O.C. (MAX) AND STAGGERED AT THE TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH 2 BOLTS LOCATED AT 6" FROM EACH END.
- BRICK LINTELS (WHEN REQUIRED) SHALL BE 3 1/2"x3 1/2"x1/4" STEEL ANGLE FOR UP TO 6'-0" SPAN AND 6"x4"x3/8" STEEL ANGLE WITH 6" LEG VERTICAL FOR SPANS UP TO 9'-0". SEE PLANS FOR SPANS OVER 9'-0". SEE ALSO SECTION R103.B.3 LINTELS.

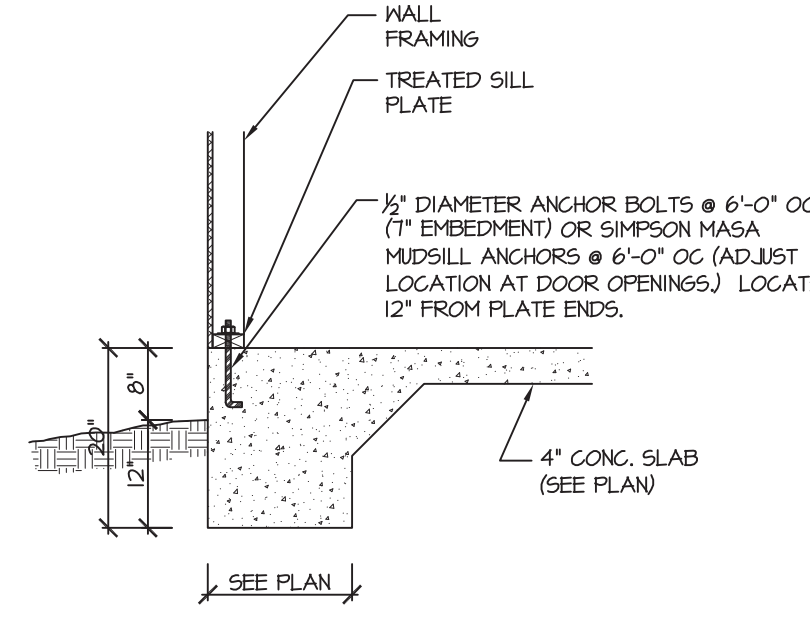
FRAMING NOTES

NC (2018 NCRG); Wind: 115-120 mph

- BRACING METHOD AND TYPE. CONTINUOUSLY SHEATHED WSP, CS-WSP. NOTE THAT THE WALL BRACING AMOUNT PROVIDED ON THE PLANS (DETAILS AND SPECIFICATIONS) IS GREATER THAN THE AMOUNT OF WALL BRACING REQUIRED BY SECTION R602.10 OF THE CODE. SEE NOTES BELOW FOR DETAILS AND SPECIFICATIONS FOR WALL BRACING AND WALL FRAMING.
- EXTERIOR WALL SHEATHING: WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORIES WITH WOOD STRUCTURAL PANEL SHEATHING (WSP) (EXPOSURE B, 7/16" EXPOSURE C, 15/32"). SHEATHING SHALL BE ATTACHED WITH 8d NAILS AT A 6"x12" NAILING PATTERN (6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES.
- WSP SHEATHING SHALL EXTEND TO THE UPPERMOST DOUBLE BEARING PLATE. BLOCK AT ROOF PER SECTION R602.10.4.5 AND ATTACH BRACED WALLS PER CODE. WSP SHEATHING BETWEEN FLOORS SHALL BE SPICED ALONG CONTINUOUS BAND OR THE WSP SHEATHING MAY BE SPICED ACROSS STUDS (CONTINUOUS ACROSS FLOOR SYSTEM) WITH BLOCKING AT PANEL EDGES, (MINIMUM 12" BEYOND FLOOR BREAK) OR OTHER APPROVED METHOD.
- "HD" = HOLD-DOWN. HOLD-DOWN DEVICE (NOTED AS "HD" ON PLANS) SHALL BE AN 800 POUND CAPACITY ASSEMBLY AS NOTED ON PLANS. SEE DETAILS FOR HD ASSEMBLY.
 - **SECOND/FIRST FLOOR: USE "HD HOLD-DOWN DETAIL" ON SD SHEET (OR EQUIV.)
 - **UPPER FLOORS: ATTACH BASE OF KING STUD WITH A SIMPSON CS22 STRAP DOWN ACROSS THE BAND AND DOWN TO A STUD BELOW OR HEADER BELOW. EXTEND STRAP 1" MIN ALONG EACH STUD (OR HEADER) AND ATTACH EACH END W/ (1) 8d NAILS.
- INTERIOR BRACED WALL: (NOTED AS "IBW" ON PLANS) ATTACH 1/2" GYPSUM BOARD (GB) ON EACH SIDE OF WALL WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 1' O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.
- INTERIOR BRACED WALL-WOOD STRUCTURAL PANEL: (NOTED AS "IBW" ON PLANS). ATTACH ONE SIDE WITH 3/8" WSP SHEATHING WITH 8d NAILS AT A 6"x12" NAILING PATTERN (6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES. ATTACH GB OVER WSP AS REQUIRED. ATTACH OPPOSITE SIDE WITH 5d GB WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 1' O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.

HEADER/BEAM & COLUMN NOTES

- ALL EXTERIOR AND LOAD BEARING HEADERS SHALL BE MIN. (2)2x6 (4" WALL) OR (3)2x6 (6" WALL) WITH (1) SUPPORT STUD, UNLESS NOTED OTHERWISE.
- THE NUMBER SHOWN AT BEAM AND HEADER SUPPORTS INDICATES THE NUMBER OF SUPPORT STUDS REQUIRED IN STUD POCKET OR COLUMN. THE NUMBER OF KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS SHALL BE ACCORDING TO ITEM 15" IN TABLE R602.3(5) OR AS BELOW PER NCGO1 COMMENTARY "KING STUDS AT WALL OPENINGS" REVISED 1-4-2020.
 - UP TO 3' SPAN: (1) KING STUD
 - OVER 3' UP TO 6' SPAN: (2) KING STUDS
 - OVER 6' UP TO 12' SPAN: (3) KING STUDS
 - OVER 12' UP TO 15' SPAN: (4) KING STUDS
 - OVER 15' UP TO 18' SPAN: (5) KING STUDS



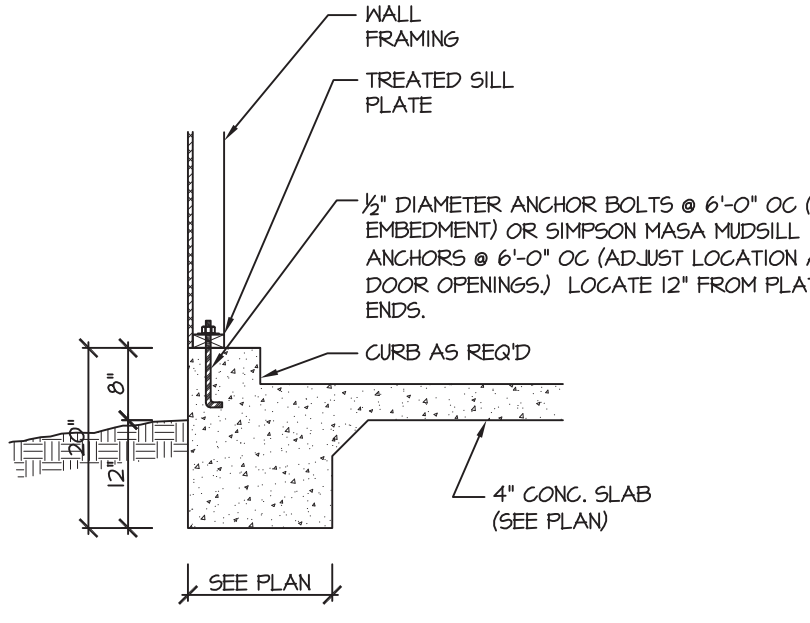
115-120 MPH (104A) SD THICKENED SLAB (INTERIOR BEARING WALL)

TRUSS SYSTEM REQUIREMENTS

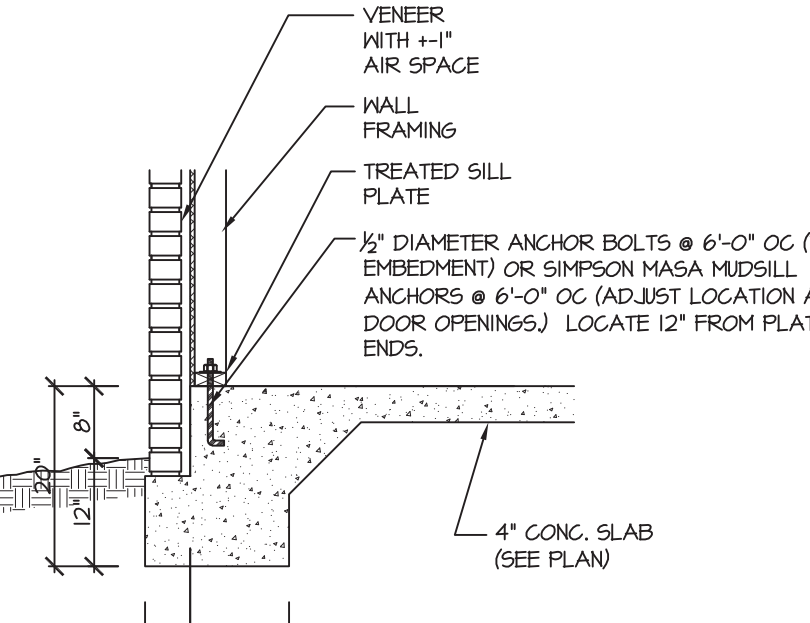
NC (2018 NCRG); Wind: 115-120 mph

- TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
- ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SFP #2 OR #3 PLATES OR LEDGERS (MIN).
- ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

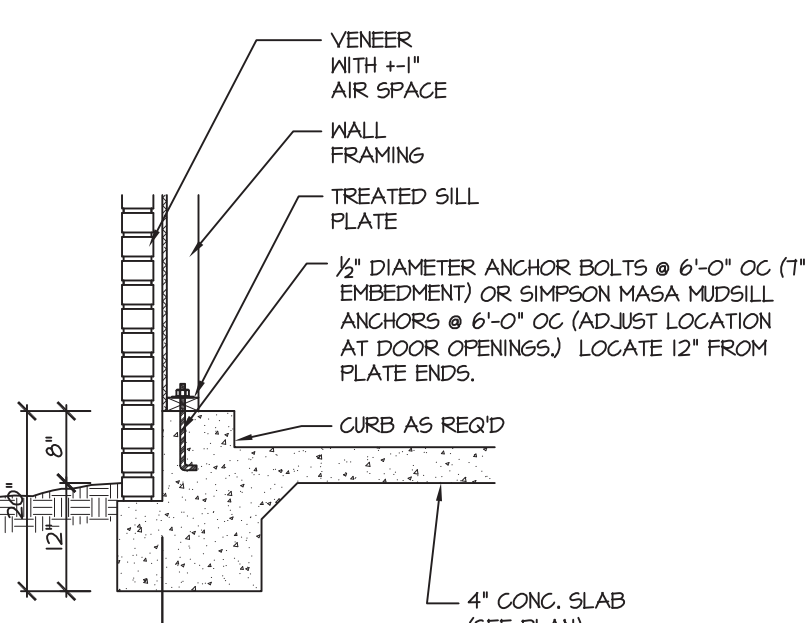
115-120 MPH (100A) SD MONOLITHIC SLAB FOOTING (SIDING OR EQUAL)



115-120 MPH (101A) SD MONOLITHIC SLAB @ GARAGE (SIDING OR EQUAL)

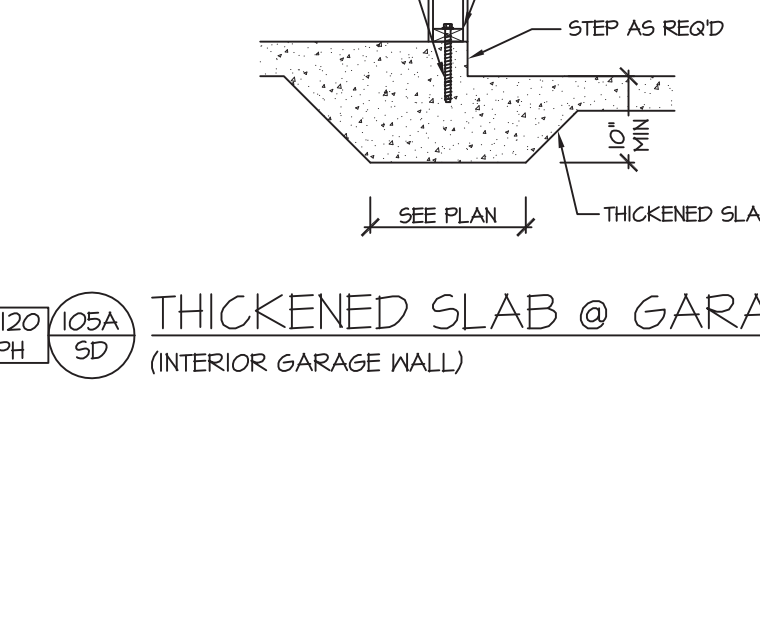


115-120 MPH (102A) SD MONOLITHIC SLAB FOOTING (VENEER)

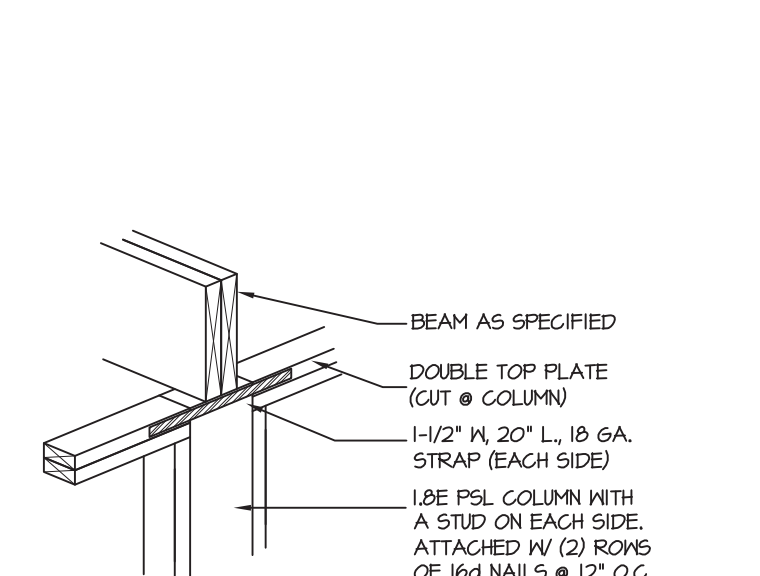


115-120 MPH (103A) SD MONOLITHIC SLAB @ GARAGE (VENEER)

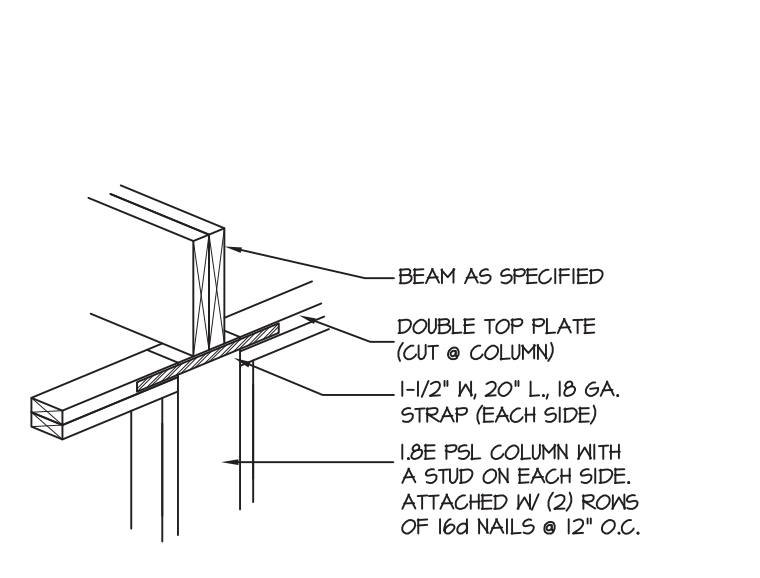
115-120 MPH (105A) SD THICKENED SLAB @ GARAGE (INTERIOR GARAGE WALL)



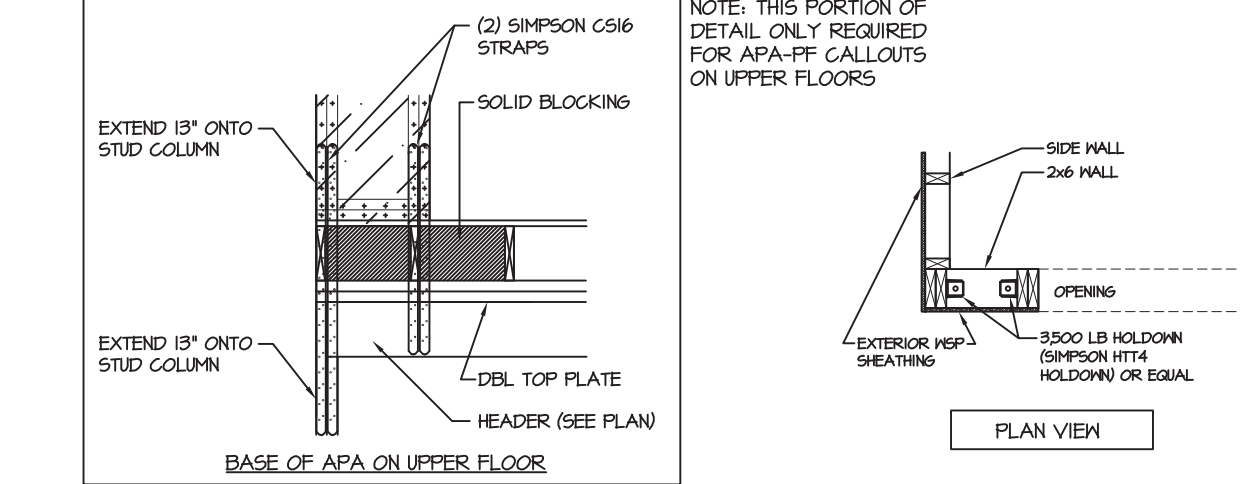
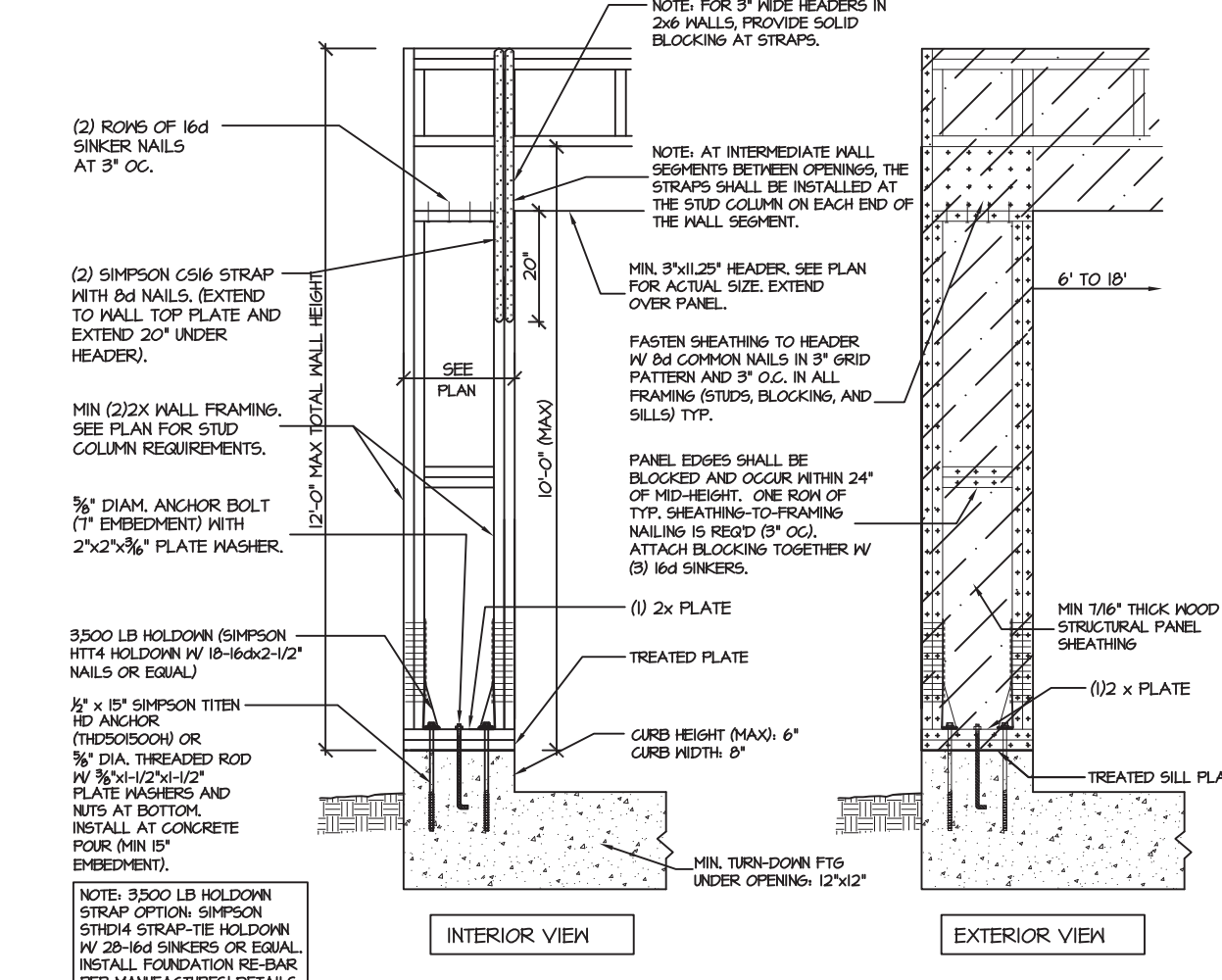
209A SD DIRECT STUD BEARING (NTS)



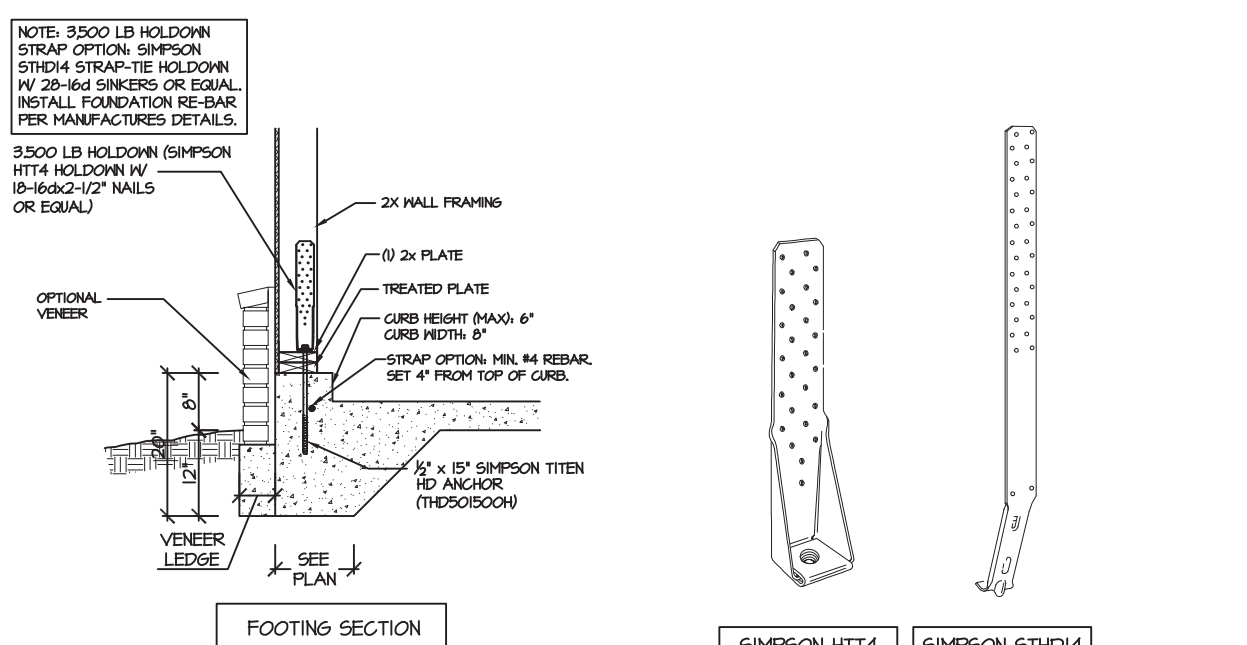
209B SD DIRECT BEAM BEARING (NTS)



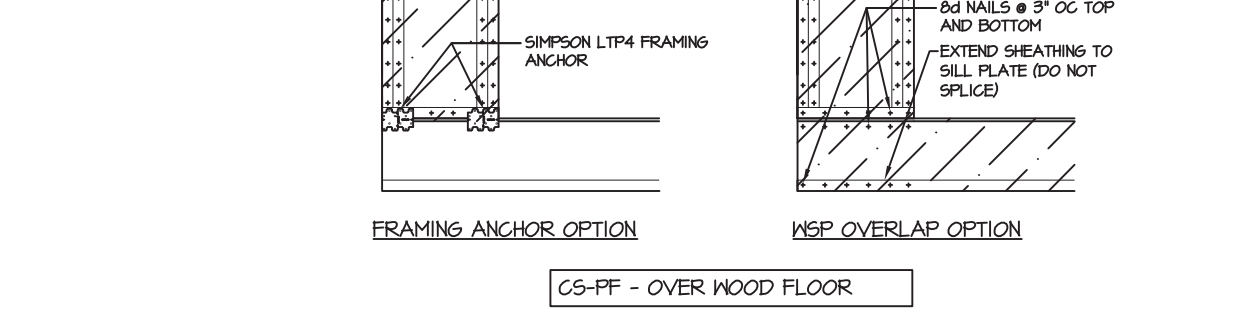
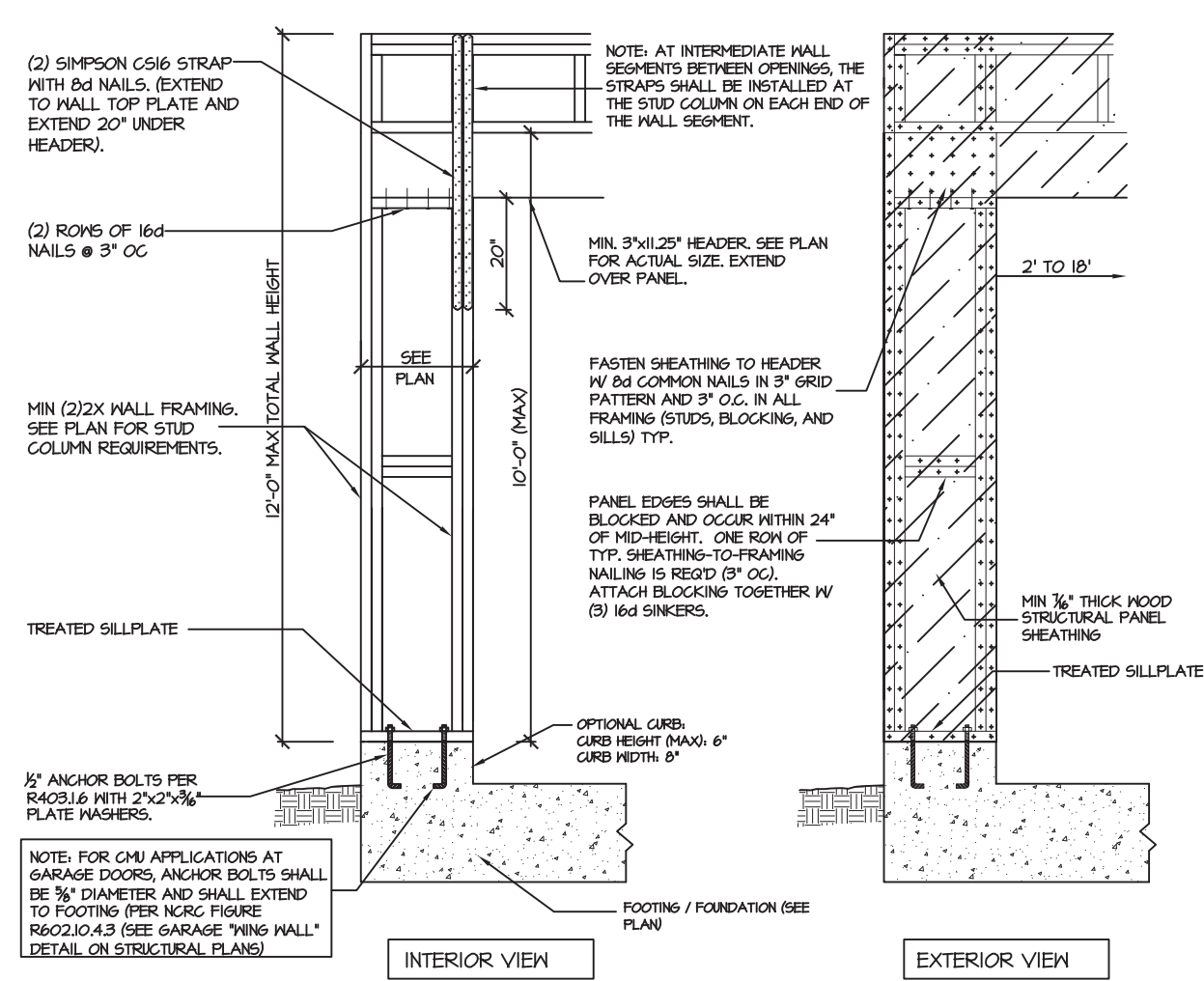
209B SD DIRECT BEAM BEARING (NTS)



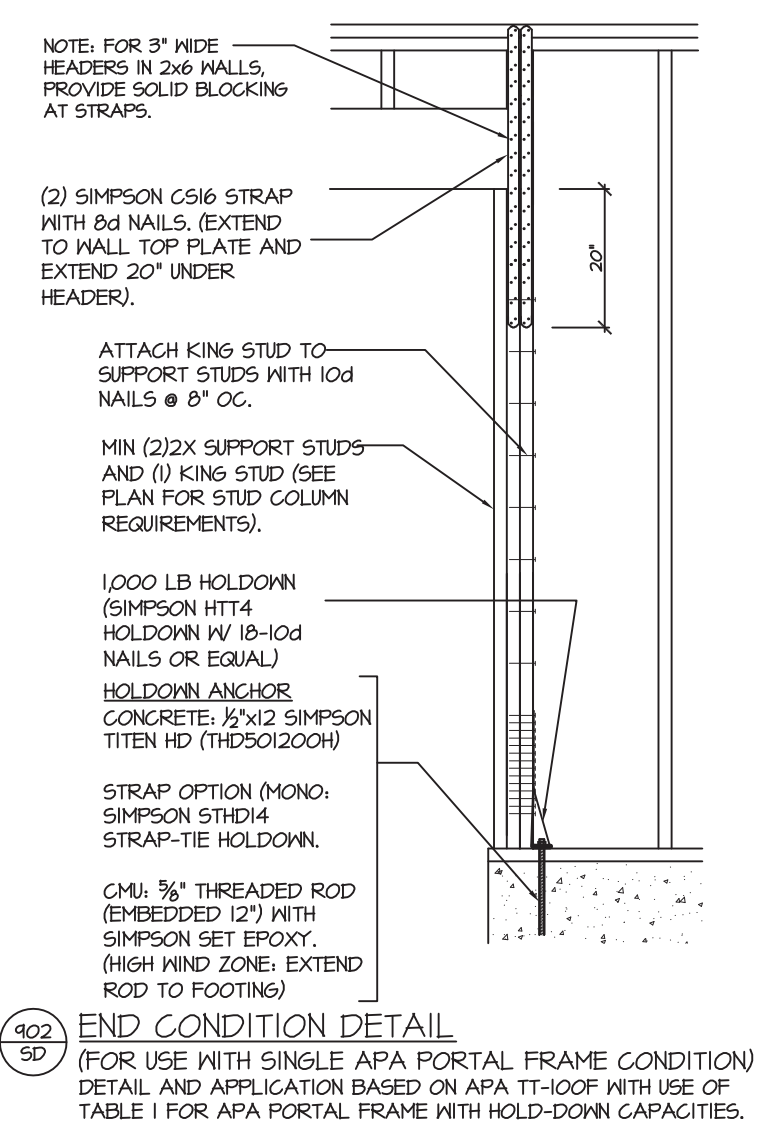
400 SD APA PORTAL FRAME W/ HOLD-DOWNS (DETAIL AND APPLICATION BASED ON APA TT-100P WITH USE OF TABLE 1 FOR APA PORTAL FRAME WITH HOLD-DOWN CAPACITIES)



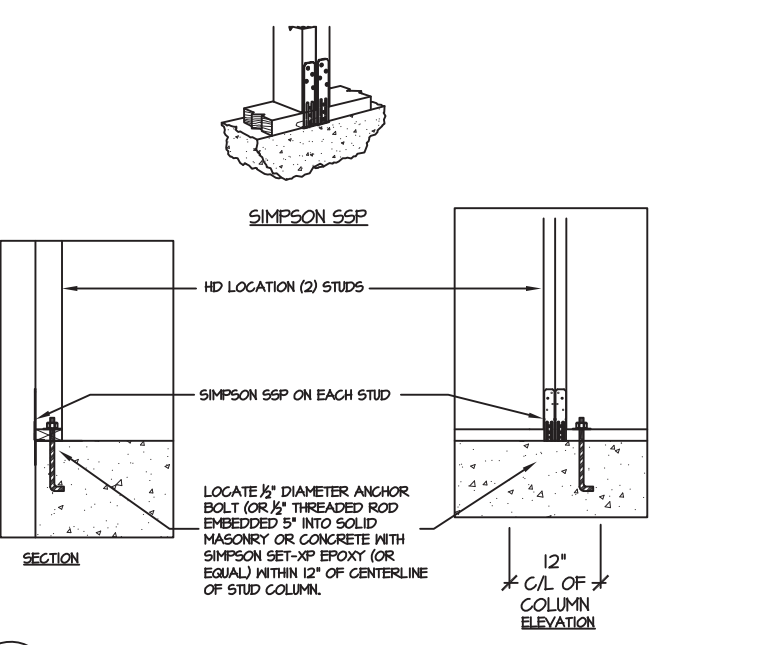
400 SD APA PORTAL FRAME W/ HOLD-DOWNS (DETAIL AND APPLICATION BASED ON APA TT-100P WITH USE OF TABLE 1 FOR APA PORTAL FRAME WITH HOLD-DOWN CAPACITIES)



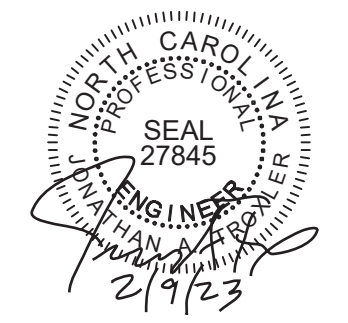
406 SD CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION (FOR USE WITH SINGLE CS-PF CONDITION) DETAIL AND APPLICATION BASED ON NCRG FIGURE R602.10.1 - PORTAL FRAME CONSTRUCTION



409 SD BRACED WALL END CONDITION 'HD' HOLD-DOWN DETAIL (FOR USE WITH SINGLE APA PORTAL FRAME CONDITION) DETAIL AND APPLICATION BASED ON APA TT-100P WITH USE OF TABLE 1 FOR APA PORTAL FRAME WITH HOLD-DOWN CAPACITIES.



406 SD CS-PF: END CONDITION DETAIL (FOR USE WITH SINGLE CS-PF CONDITION) DETAIL AND APPLICATION BASED ON NCRG FIGURE R602.10.1 - PORTAL FRAME CONSTRUCTION



PROJECT #
Multiple

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Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability.
Seal is valid for projects constituting approval of terms & conditions as defined in the customer agreement.

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James Wentling,
Architect

Standard Details
and Notes
Chesapeake Homes of NC

SD-1
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