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NOTICE TO CONTRACTOR:  
All construction shall comply with current NC Building Code  
and its related codes, standards and amendments.

Reviewed for Code Compliance

04/21/2023

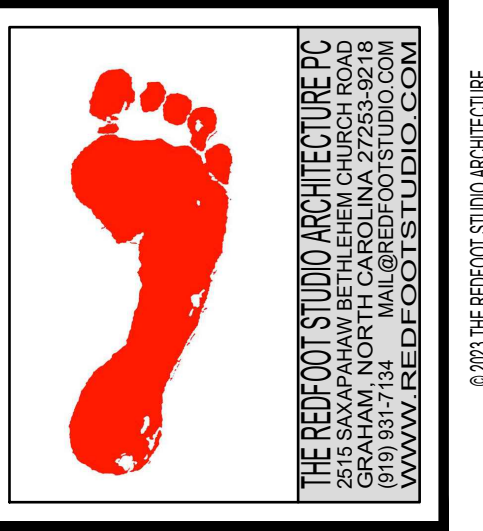
## 2018 APPENDIX B - BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

<p>NAME OF PROJECT: BILINGUAL THERAPY SERVICES            BUILDING ADDRESS: 2293 NC HIGHWAY 24-87 ZIP CODE: 28326            PROPOSED USE: THERAPY OFFICE            OWNER OR AUTHORIZED AGENT: BRYANT DICKINSON PHONE: (919) 888-1427 EMAIL: BRYANT@HMDEVELOPMENT.COM            OWNER BY: CITY/COUNTY PRIVATE STATE            CODE ENFORCEMENT JURISDICTION: CITY CAMERON COUNTY STATE</p>	<p>FIRE PROTECTION REQUIREMENTS</p> <p>BUILDING ELEMENT FIRE SEPARATION DISTANCE (FEET) RATING PROVIDED (W/ NA * REDUCTION) DETAIL # AND SHEET # DESIGN # FOR RATED ASSEMBLY SHEET # FOR RATED PENETRATION SHEET # FOR RATED JOINTS</p> <p>STRUCTURAL FRAME, INCLUDING COLUMNS, GRIDDERS, TRUSSES NA 0 0 NA NA NA NA</p> <p>BEARING WALLS NA NA NA NA NA NA NA NA</p> <p>EXTERIOR NA NA NA NA NA NA NA NA</p> <p>NORTH NA NA NA NA NA NA NA NA</p> <p>EAST NA NA NA NA NA NA NA NA</p> <p>WEST NA NA NA NA NA NA NA NA</p> <p>SOUTH NA NA NA NA NA NA NA NA</p> <p>INTERIOR NA NA NA NA NA NA NA NA</p> <p>NON-BEARING WALLS AND PARTITIONS NA NA NA NA NA NA NA NA</p> <p>EXTERIOR WALLS NA NA NA NA NA NA NA NA</p> <p>NORTH 30+ 0 0 NA NA NA NA NA NA</p> <p>EAST 30+ 0 0 NA NA NA NA NA NA</p> <p>WEST 30+ 0 0 NA NA NA NA NA NA</p> <p>SOUTH 30+ 0 0 NA NA NA NA NA NA</p> <p>INTERIOR WALLS AND PARTITIONS NA 0 0 NA NA NA NA NA NA</p> <p>FLOOR CONSTRUCTION, INCLUDING SUPPORTING BEAMS AND JOISTS NA 0 0 NA NA NA NA NA NA</p> <p>FLOOR CEILING ASSEMBLY NA NA NA NA NA NA NA NA NA NA</p> <p>COLUMNS SUPPORTING FLOORS NA 0 NA NA NA NA NA NA NA NA</p> <p>ROOF CONSTRUCTION, INCLUDING SUPPORTING BEAMS AND JOISTS NA 0 0 NA NA NA NA NA NA</p> <p>ROOF CEILING ASSEMBLY NA 0 0 NA NA NA NA NA NA</p> <p>COLUMNS SUPPORTING ROOF NA 0 0 NA NA NA NA NA NA</p> <p>SHaft ENCLOSURES - EXIT NA NA NA NA NA NA NA NA NA NA</p> <p>SHaft ENCLOSURES - STAIR NA NA NA NA NA NA NA NA NA NA</p> <p>CORRIDOR SEPARATION NA 0 0 NA NA NA NA NA NA</p> <p>OCCUPANCY/FIRE BARRIER SEPARATION NA 2 2-EXISTING 100.0 UL L419 WL 1001 NA NA NA NA</p> <p>PARTY/FIRE WALL SEPARATION NA NA NA NA NA NA NA NA NA NA</p> <p>SMOKE BARRIER SEPARATION NA NA NA NA NA NA NA NA NA NA</p> <p>SMOKE PARTITION NA NA NA NA NA NA NA NA NA NA</p> <p>TENANT DWELLING UNIT / SLEEPING UNIT SEPARATION NA 1 1 100.0 UL L419 WL 1001 NA NA NA NA NA NA</p> <p>INCIDENTAL USE SEPARATION NA NA NA NA NA NA NA NA NA NA</p> <p>MEDICAL GAS CLOSET NA NA NA NA NA NA NA NA NA NA</p>																																																																
<p>2018 NC BUILDING CODE: <input type="checkbox"/> NEW BUILDING <input type="checkbox"/> ADDITION <input type="checkbox"/> RENOVATION  <input type="checkbox"/> 1ST TIME INTERIOR COMPLETION  <input type="checkbox"/> SHELLCORE - CONTACT THE LOCAL INSPECTION JURISDICTION FOR POSSIBLE ADDITIONAL PROCEDURES AND REQUIREMENTS  <input type="checkbox"/> PHASED CONSTRUCTION - SHELLCORE - CONTACT THE LOCAL INSPECTION JURISDICTION FOR POSSIBLE ADDITIONAL PROCEDURES AND REQUIREMENTS</p> <p>2018 NC EXISTING BUILDING CODE: <input type="checkbox"/> PRESCRIPTIVE <input type="checkbox"/> REPAIR <input type="checkbox"/> CHAPTER 14  <input type="checkbox"/> LEVEL I <input type="checkbox"/> LEVEL II <input type="checkbox"/> LEVEL III  <input type="checkbox"/> HISTORIC PROPERTY <input type="checkbox"/> CHANGE OF USE</p> <p>CONSTRUCTED (date): 2022 CURRENT OCCUPANCY(S) (Ch. 3): NA            RENOVATED (date): NA PROPOSED OCCUPANCY(S) (Ch. 3): B</p> <p>RISK CATEGORY (TABLE 1604.5): CURRENT: <input type="checkbox"/> I <input type="checkbox"/> II <input type="checkbox"/> III <input type="checkbox"/> IV            PROPOSED: <input type="checkbox"/> I <input checked="" type="checkbox"/> II <input type="checkbox"/> III <input type="checkbox"/> IV</p>	<p>PLUMBING REQUIREMENTS</p> <table border="1"> <thead> <tr> <th rowspan="2">SPACE</th> <th rowspan="2">USE</th> <th colspan="2">WATER CLOSET</th> <th rowspan="2">URINALS</th> <th colspan="2">LAVATORIES</th> <th rowspan="2">SHOWERS &amp; TUBS</th> <th rowspan="2">DRINKING FOUNTAINS</th> </tr> <tr> <th>MALE</th> <th>FEMALE</th> <th>MALE</th> <th>FEMALE</th> </tr> </thead> <tbody> <tr> <td>EXISTING</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>NEW</td> <td>1</td> <td>1</td> <td>0</td> <td>1</td> <td>1</td> <td>0</td> <td>1</td> <td>1</td> </tr> <tr> <td>REQUIRED</td> <td>1</td> <td>1</td> <td>0</td> <td>1</td> <td>1</td> <td>0</td> <td>1</td> <td>1</td> </tr> </tbody> </table> <p>SPECIAL APPROVALS (LOCAL JURISDICTION, DEPARTMENT OF INSURANCE, OSC, DPI, DHHS, ETC., DESCRIBE BELOW)            NA</p> <p>ENERGY REQUIREMENTS</p> <p>THE FOLLOWING DATA SHALL BE CONSIDERED MINIMUM AND ANY SPECIAL ATTRIBUTE REQUIRED TO MEET THE ENERGY CODE SHALL ALSO BE PROVIDED. EACH DESIGNER SHALL FURNISH THE REQUIRED PORTIONS OF THE PROJECT INFORMATION FOR THE PLAN DATA SHEET. IF PERFORMANCE METHOD, STATE THE ANNUAL ENERGY COST BUDGET FOR THE STANDARD REFERENCE DESIGN VERSUS ANNUAL ENERGY COST FOR THE PROPOSED DESIGN.</p> <p>EXISTING BUILDING ENVELOPE COMPLIES WITH CODE: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (THE REMAINDER OF THIS SECTION IS NOT APPLICABLE) NA</p> <p>EXEMPT BUILDING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (PROVIDE CODE OR STATUTORY REFERENCE) NA</p> <p>CLIMATE ZONE: <input type="checkbox"/> 3A <input checked="" type="checkbox"/> 4A <input type="checkbox"/> 5A</p> <p>METHOD OF COMPLIANCE:            ENERGY CODE: <input type="checkbox"/> PERFORMANCE <input checked="" type="checkbox"/> PRESCRIPTIVE            ASHRAE 90.1: <input type="checkbox"/> PERFORMANCE <input type="checkbox"/> PRESCRIPTIVE            (IF OTHER SPECIFY SOURCE HERE)</p> <p>THERMAL ENVELOPE (PRESCRIPTIVE METHOD ONLY)</p> <p>ROOF/CEILING ASSEMBLY (each assembly):            DESCRIPTION OF ASSEMBLY: NA            U-VALUE OF TOTAL ASSEMBLY: NA            R-VALUE OF INSULATION: NA            SKYLIGHTS IN EACH ASSEMBLY:            U-VALUE OF SKYLIGHT: NA            TOTAL SQ FT OF SKYLIGHTS IN EACH ASSEMBLY: NA</p> <p>EXTERIOR WALLS (each assembly):            DESCRIPTION OF ASSEMBLY: NA            U-VALUE OF TOTAL ASSEMBLY: NA            R-VALUE OF INSULATION: NA            OPENINGS (WINDOWS OR DOORS WITH GLAZING)            U-VALUE OF ASSEMBLY: NA            SOLAR HEAT GAIN COEFFICIENT:            PROTECTION FACTOR: NA            DOOR R-VALUES: NA</p> <p>WALLS BELOW GRADE (each assembly):            DESCRIPTION OF ASSEMBLY: NA            U-VALUE OF TOTAL ASSEMBLY: NA            R-VALUE OF INSULATION: NA</p> <p>FLOORS OVER UNCONDITIONED SPACE (each assembly):            DESCRIPTION OF ASSEMBLY: NA            U-VALUE OF TOTAL ASSEMBLY: NA            R-VALUE OF INSULATION: NA</p> <p>FLOORS SLAB ON GRADE:            DESCRIPTION OF ASSEMBLY: NA            U-VALUE OF TOTAL ASSEMBLY: NA            R-VALUE OF INSULATION: NA            HORIZONTAL VERTICAL REQUIREMENT:            SLAB HEATED: NA</p>	SPACE	USE	WATER CLOSET		URINALS	LAVATORIES		SHOWERS & TUBS	DRINKING FOUNTAINS	MALE	FEMALE	MALE	FEMALE	EXISTING	0	0	0	0	0	0	0	0	NEW	1	1	0	1	1	0	1	1	REQUIRED	1	1	0	1	1	0	1	1																								
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THE MOST RESTRICTIVE TYPE OF CONSTRUCTION, SO DETERMINED, SHALL APPLY TO THE ENTIRE BUILDING.</p> <p><input type="checkbox"/> SEPARATED USE (508.4) - SEE BELOW FOR AREA CALCULATIONS FOR EACH STORY. THE AREA OF THE OCCUPANCY SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL FLOOR AREA OF EACH USE DIVIDED BY THE ALLOWABLE FLOOR AREA FOR EACH USE SHALL NOT EXCEED 1.</p> <p>ACTUAL AREA OF OCCUPANCY A / ALLOWABLE AREA OF OCCUPANCY A + ACTUAL AREA OF OCCUPANCY B / ALLOWABLE AREA OF OCCUPANCY B ≤ 1</p>	FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL	3RD FLOOR	NA	NA	NA	2ND FLOOR	NA	NA	NA	MEZZANINE	NA	NA	NA	1ST FLOOR	17,178	2,908 (AREA OF WORK)	17,178 (2,908)	BASEMENT	NA	NA	NA	TOTAL	17,178	2,908 (AREA OF WORK)	17,178 (2,908)	<p>LIFE SAFETY SYSTEM REQUIREMENTS</p> <p>EMERGENCY LIGHTING: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES            EXIT SIGNS: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES            FIRE ALARM: <input checked="" type="checkbox"/> YES <input type="checkbox"/> PARTIAL            SMOKE DETECTION SYSTEMS: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO            CARBON MONOXIDE DETECTION: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>LIFE SAFETY PLAN REQUIREMENTS</p> <p>LIFE SAFETY PLAN SHEET # 3A/2</p> <p><input checked="" type="checkbox"/> FIRE AND SMOKE RATED WALL LOCATIONS (CHAPTER 7)  <input type="checkbox"/> ASSUMED AND REAL PROPERTY LINE LOCATIONS (IF NOT ON THE SITE PLAN)  <input type="checkbox"/> EXTERIOR WALL OPENINGS WITH RESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8)  <input checked="" type="checkbox"/> OCCUPANCY USE FOR EACH AREA AS IT RELATES TO OCCUPANT LOAD CALCULATION (TABLE 1004.1.2)  <input checked="" type="checkbox"/> OCCUPANT LOADS FOR EACH AREA  <input checked="" type="checkbox"/> EXIT ACCESS TRAVEL DISTANCE (1017)  <input checked="" type="checkbox"/> COMMON PATH OF TRAVEL DISTANCES (TABLES 1006.2.1 &amp; 1006.3.2 (1))  <input type="checkbox"/> DEAD END LENGTHS (1020.4)  <input checked="" type="checkbox"/> CLEAR EXIT WIDTHS FOR EACH EXIT DOOR  <input checked="" type="checkbox"/> MAXIMUM CALCULATED OCCUPANT LOAD CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON EGRESS WIDTH (1005.3)  <input checked="" type="checkbox"/> ACTUAL OCCUPANT LOAD FOR EACH EXIT DOOR  <input type="checkbox"/> A SEPARATE SCHEMATIC PLAN INDICATING WHERE FIRE RATED FLOOR/CEILING AND/OR ROOF STRUCTURE IS PROVIDED FOR PURPOSES OF OCCUPANCY SEPARATION  <input type="checkbox"/> LOCATION OF DOORS WITH PANIC HARDWARE (1010.1.10)  <input type="checkbox"/> LOCATION OF DOORS WITH DELAYED EGRESS LOCKS AND THE AMOUNT OF DELAY (1010.1.8.7)  <input type="checkbox"/> LOCATION OF DOORS EQUIPPED WITH HOLD-OPEN DEVICES  <input type="checkbox"/> LOCATION OF EMERGENCY ESCAPE WINDOWS (1030)  <input type="checkbox"/> THE SQUARE FOOTAGE OF EACH FIRE AREA (202)  <input type="checkbox"/> THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT FOR OCCUPANCY CLASSIFICATION I-2 (407.5)  <input type="checkbox"/> NOTE ANY CODE EXCEPTIONS OR TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ABOVE</p>																																				
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<p>ACCESSIBLE DWELLING UNITS (SECTION 1107): NA - NO DWELLING UNITS</p> <table border="1"> <thead> <tr> <th>TOTAL UNITS</th> <th>ACCESSIBLE UNITS REQUIRED</th> <th>ACCESSIBLE UNITS PROVIDED</th> <th>TYPE 'A' UNITS REQUIRED</th> <th>TYPE 'A' UNITS PROVIDED</th> <th>TYPE 'B' UNITS REQUIRED</th> <th>TYPE 'B' UNITS PROVIDED</th> <th>TOTAL ACCESSIBLE UNITS PROVIDED</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE 'A' UNITS REQUIRED	TYPE 'A' UNITS PROVIDED	TYPE 'B' UNITS REQUIRED	TYPE 'B' UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED									<p>MECHANICAL SUMMARY</p> <h3>SEE MECHANICAL DRAWINGS</h3> <p>MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT</p> <p>THERMAL ZONE: WINTER DRY BALL, SUMMER DRY BALL</p> <p>INTERIOR DESIGN CONDITIONS: WINTER DRY BALL, SUMMER DRY BALL, RELATIVE HUMIDITY</p> <p>BUILDING HEATING LOAD</p> <p>BUILDING COOLING LOAD</p> <p>MECHANICAL SPACING CONDITIONING SYSTEM</p> <p>UNITARY</p> <p>DESCRIPTION OF UNIT: _____            HEATING EFFICIENCY: _____            COOLING EFFICIENCY: _____            SIZE CATEGORY OF UNIT: _____</p> <p>BOILER</p> <p>SIZE CATEGORY: IF OVERSIZED, STATE REASON _____</p> <p>CHILLER</p> <p>SIZE CATEGORY: IF OVERSIZED, STATE REASON _____</p> <p>LIST EQUIPMENT EFFICIENCIES: _____</p>																																																
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<table border="1"> <thead> <tr> <th>STORY NO.</th> <th>DESCRIPTION AND USE</th> <th>(A) BLDG. AREA PER STORY (ACTUAL)</th> <th>(B) TABLE 508.2.4 AREA</th> <th>(C) AREA FOR FRONTAGE INCREASE<sup>5</sup></th> <th>(E) ALLOWABLE AREA PER STORY OR UNLIMITED<sup>1,2,3</sup></th> </tr> </thead> <tbody> <tr> <td>1</td> <td>B</td> <td>17,178</td> <td>69,000</td> <td>NOT USED</td> <td>69,000</td> </tr> </tbody> </table> <p><sup>1</sup> FRONTAGE AREA INCREASES FROM SECTION 508.2 ARE COMPUTED THIS:            A. PERIMETER WHICH FRONTS A PUBLIC WAY OR OPEN SPACE HAVING 20 FEET MINIMUM WIDTH = _____ (F)            B. TOTAL BUILDING PERIMETER = _____ (P)            C. RATIO (F/P) = _____ (F/P)            D. W = MINIMUM WIDTH OF PUBLIC WAY = _____ (W)            E. PERCENT OF FRONTAGE INCREASE I<sub>f</sub> = 100 [(F/P) - 2.25] x W/30 = _____ (%)</p> <p><sup>2</sup> UNLIMITED AREA APPLICABLE UNDER CONDITIONS OF SECTION 507</p> <p><sup>3</sup> MAXIMUM BUILDING AREA = TOTAL NUMBER OF STORIES IN THE BUILDING x D (MAXIMUM 3 STORIES) (508.2)</p> <p><sup>4</sup> THE MAXIMUM AREA OF OPEN PARKING GARAGES MUST COMPLY WITH 406.5.4. THE MAXIMUM AREA OF AIR TRAFFIC CONTROL TOWERS MUST COMPLY WITH 412.3.1.</p> <p><sup>5</sup> FRONTAGE INCREASE BASED ON THE UNSPRINKLERED AREA VALUE IN TABLE 506.2.</p> <p>ALLOWABLE HEIGHT</p> <table border="1"> <thead> <tr> <th></th> <th>ALLOWABLE</th> <th>SHOWN ON PLANS</th> <th>CODE REFERENCE</th> </tr> </thead> <tbody> <tr> <td>BUILDING HEIGHT IN FEET (TABLE 504.3)</td> <td>NA - EXISTING TO REMAIN</td> <td></td> <td></td> </tr> <tr> <td>BUILDING HEIGHT IN STORES (TABLE 504.4)</td> <td>NA - EXISTING TO REMAIN</td> <td></td> <td></td> </tr> </tbody> </table>	STORY NO.	DESCRIPTION AND USE	(A) BLDG. 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	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE																																																														
BUILDING HEIGHT IN FEET (TABLE 504.3)	NA - EXISTING TO REMAIN																																																																
BUILDING HEIGHT IN STORES (TABLE 504.4)	NA - EXISTING TO REMAIN																																																																
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED																																																											
	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS AISLE	132' ACCESS AISLE	8' ACCESS AISLE																																																												
USE 1																																																																	
USE 2																																																																	
USE 3																																																																	
TOTAL																																																																	



THE REDFOOT STUDIO ARCHITECTURE PC  
 2515 SAXAPAHAW-BETHEHEM CHURCH ROAD  
 GRAHAM NORTH CAROLINA 27253-9218  
 (919) 931-7134 MAIL@REDFOOTSTUDIO.COM  
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# BILINGUAL THERAPY SERVICES



BILINGUAL THERAPY SERVICES
2293 NC HIGHWAY 24-87
CAMERON, NORTH CAROLINA

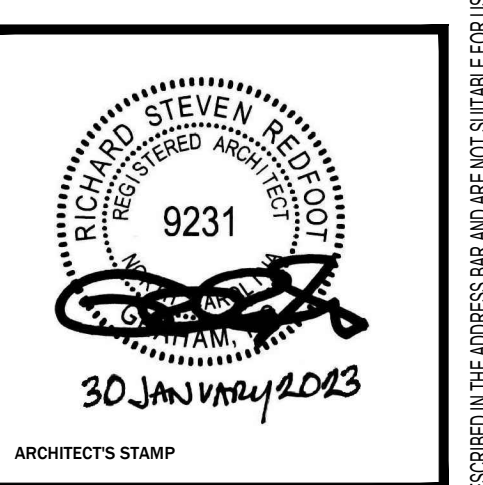
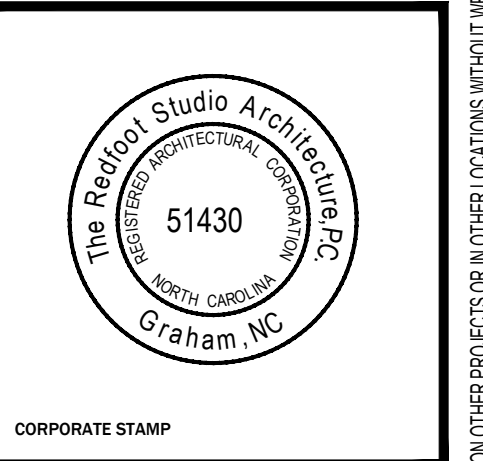


Table with columns: No, Rev./Submissions, Date. Includes a PERMIT entry dated 01/30/23.

GENERAL NOTES, LEGENDS AND SCHEDULES
DRAWING NO. A0.0

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Design No. U419
Non Bearing Wall Ratings—1, 2, 3 or 4 Hr (See Items 3 & 4)
Includes diagrams of wall sections and detailed specifications for floor and ceiling runners, steel studs, batts and blankets, wallboard, gypsum, joint tape, and fasteners.

UL #U419
NOT TO SCALE

System No. WL 1001
F Ratings - 1, 2, 3 & 4 Hr (See Items 2 & 3)
L Rating At Ambient - less than 1 CFM/sq ft
L Rating At 400 F - less than 1 CFM/sq ft
Includes diagram of wall assembly and detailed specifications for wall assembly, furring channels, joint tape, and fasteners.

W-L 1001
NOT TO SCALE

DOOR AND FRAME SCHEDULE
Table with columns: DOOR NO., SIZE (WD, HGT, THK), MATL, FRAME (MATL, SET, KEYSIDE RM NO), HARDWARE, REMARKS. Lists various door types and specifications.

GENERAL DOOR SCHEDULE NOTES
A. ALL DOORS ARE FACTORY FINISHED, SOLID CORE, PLAIN SLICED WHITE BIRCH.
B. PROVIDE DOUBLE JACK STUDS AT ALL DOOR JAMBS.
C. DOORS WITH NO NUMBER ARE EXISTING TO REMAIN.
D. DOOR HARDWARE TO BE COMMERCIAL GRADE AND ADA COMPLIANT.

HARDWARE LEGEND
Table with columns: P.L., P.R.L., C.L., M.L., C.R.L., D.B., A.L.T., W.S., CLASSROOM LOCKSET, DEADBOLT, ALUMINUM THRESHOLD, WOOD THRESHOLD, O.C., D.H., W.S., OVERHEAD CLOSER, 1 1/2 HINGES, WEATHER STRIPPING, DOOR STOP, C.H., D.S., COAT HOOK, DOOR SWEEP.

REMARKS
1. FULL GLASS DOOR(S). GLAZING TO BE TEMPERED.
2. BLACK ANODIZED ALUMINUM STOREFRONT DOOR ASSEMBLY.
3. BARN DOOR AND FRAME ASSEMBLY. IN FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FOR BOTH SIDES AND WIDTH OF DOOR OPENING SHALL BE A MINIMUM OF 32" CLEAR.

ROOM FINISH SCHEDULE
Table with columns: ROOM NO., ROOM NAME, FLOOR, BASE, WALLS (N, S, E, W), CEILING, REMARKS. Lists finishes for various rooms like WAITING, RECEPTION, HALL, YOGA, CONFERENCE, etc.

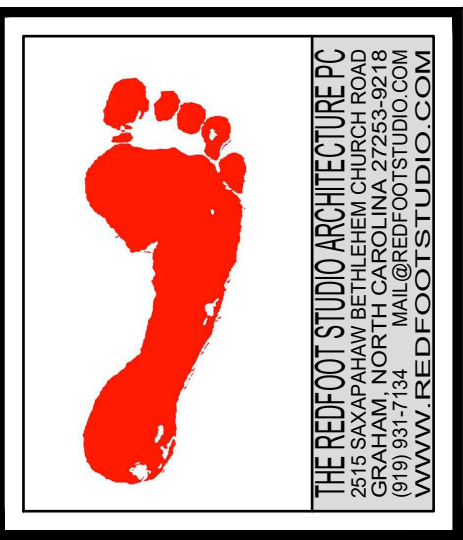
GENERAL FINISH SCHEDULE NOTES
A. COORDINATE AND VERIFY FINISHES AND COLORS WITH OWNER.
B. WALL PAINT TO BE BENJAMIN MOORE OR APPROVED EQUAL. ONE COAT OF PRIMER TINTED TO WALL COLOR, TWO COATS OF PAINT. SATIN FINISH. COLOR TO BE SELECTED BY OWNER.
C. ALL NEW GYPSUM WALLBOARD TO BE 5/8" PROVIDE 5/8" GREENBOARD AT ALL WET LOCATIONS.
D. PROVIDE HONEY COMB SHADES AT ALL WINDOWS. GRABER, HUNTER DOUGLAS OR APPROVED EQUAL.

FINISHES
Table with columns: LVP, CPT TILE, CERAMIC, RUBBER, GWB, ACT, LUXURY VINYL PLANK, CARPET TILE, CERAMIC TILE, RUBBER COVE BASE, GYPSUM WALLBOARD, ACUSTIC CEILING TILE, TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS, TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS, NEW OR EXISTING GYPSUM WALLBOARD, PAINTED SUSPENDED 2'X2' ACUSTIC CEILING TILE SYSTEM, ARMSTRONG 1774 'DUNE' W/ TEGULAR EDGE, 15/16" STANDARD GRID.

ALLOWANCES (INCLUDES LABOR AND MATERIAL)
NONE
REMARKS
1. PROVIDE 1X WOOD FINISH AT RECESSED SECTION AT RECEPTION COUNTER WALL FROM FLOOR TO CEILING, VERIFY AND COORDINATE FINISH W/ OWNER.

GENERAL NOTES

- 1. GENERAL NOTES APPLY TO ALL SHEETS.
2. THE DRAWINGS AND SPECIFICATIONS SHALL BE THOROUGHLY REVIEWED PRIOR TO ORDERING, PURCHASING AND INSTALLING MATERIALS AND SYSTEMS. ALL DISCREPANCIES, INTERFERENCES, AND OMISSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
3. ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS DURING CONSTRUCTION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE CODE, ALL LOCAL AND OTHER APPLICABLE CODES.
5. CONTRACTOR TO VISIT SITE PRIOR TO SUBMITTAL OF BID. CONTRACTOR TO ESTABLISH SCOPE OF WORK FROM CONSTRUCTION DOCUMENTS AND ACTUAL SITE VISIT. ANY OMISSIONS, DISCREPANCIES OR CLARIFICATIONS TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
6. CONTRACTOR TO ITEMIZE ALL COSTS AND SCOPE OF WORK RELATED TO ANY CHANGE ORDER. THIS INFORMATION MUST BE PRESENTED TO THE OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ANY WORK BEING EXECUTED.
7. NOTED DIMENSIONS TAKE PRECEDENCE OVER OVER SCALED DIMENSIONS, DO NOT SCALE DIMENSIONS.
8. DIMENSIONS ARE TO FACE OF METAL STUDS OR EXISTING GYPSUM WALLBOARD.
9. COORDINATE ALL FINISHES AND MATERIALS WITH OWNER. ALL COLORS AND MATERIALS SHALL BE APPROVED BY OWNER PRIOR TO ORDERING MATERIALS.
10. PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION AND SUPPORT OF FIXTURES, GRAB BARS, TOILET ACCESSORIES, CABINETS, TELEVISIONS, EQUIPMENT, ETC.. BLOCKING FOR ADJUSTABLE SHELVING TO BE CONTINUOUS FROM FLOOR TO 8'-0" AFF.
11. COORDINATE INSTALLATION OF ALL EQUIPMENT AND APPLIANCES, INCLUDING BOTH CONTRACTOR AND OWNER SUPPLIED ITEMS, WITH MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS.
12. TOP OF PARTITIONS STOP 1" TO 6" ABOVE CEILING. PROVIDE LATERAL BRACING, SECURED TO TOP OF WALL AND ROOF STRUCTURE ABOVE, U.O.N.
13. ALL GYPSUM WALLBOARD TO BE FINISHED TO LEVEL 4 PER GYPSUM ASSOCIATION GUIDELINES AS DETAILED IN GA 214-10.
14. EXISTING BUILDING ASSEMBLIES, COMPONENTS, AND SYSTEMS TO REMAIN UNLESS OTHERWISE REQUIRED BY NEW WORK OR NOTED IN THE DOCUMENTS.
15. CONTRACTOR TO USE LANDLORD'S ROOFING CONTRACTOR FOR ALL ROOF WORK.
16. ANY WOOD BLOCKING, FRAMING, OR SHEATHING NOT ENCASED WITHIN GYPSUM WALLBOARD OF WALL TO BE FIRE-TREATED.
17. COORDINATE INFRASTRUCTURE AS REQUIRED FOR OFFICE AUDIO SYSTEM WITH OWNER'S SUBCONTRACTOR.
18. ALL CABINETS PROVIDED BY GENERAL CONTRACTOR. PROVIDE SHOP DRAWINGS FOR OWNER REVIEW AND APPROVAL.
19. ALL SINKS AND FAUCETS TO BE SELECTED BY OWNER.
20. ALL DOOR HARDWARE TO BE SELECTED BY OWNER.

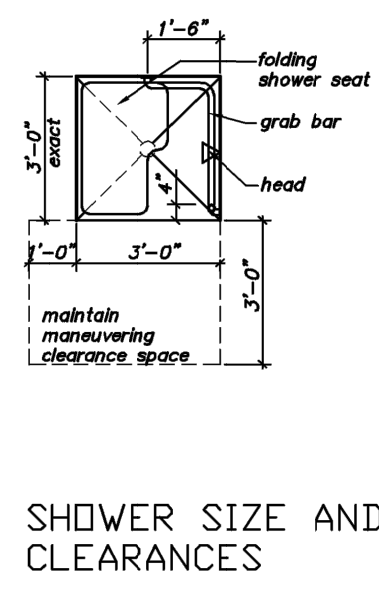
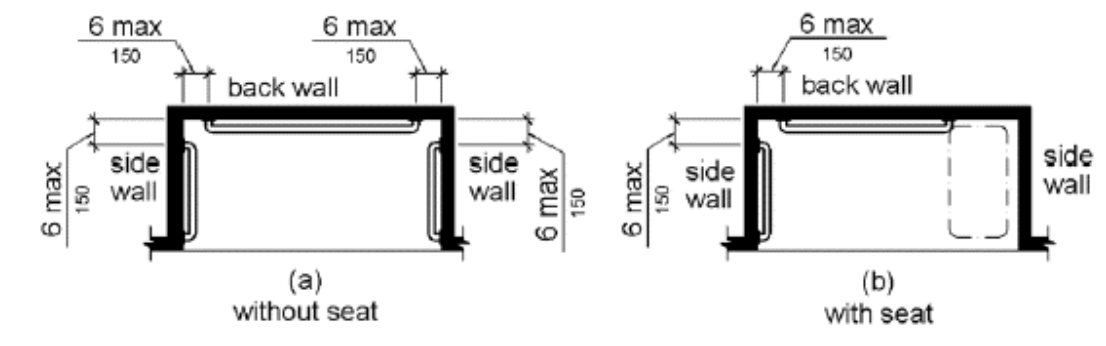


**BILINGUAL THERAPY SERVICES**  
 2293 NC HIGHWAY 24-87  
 CAMERON, NORTH CAROLINA

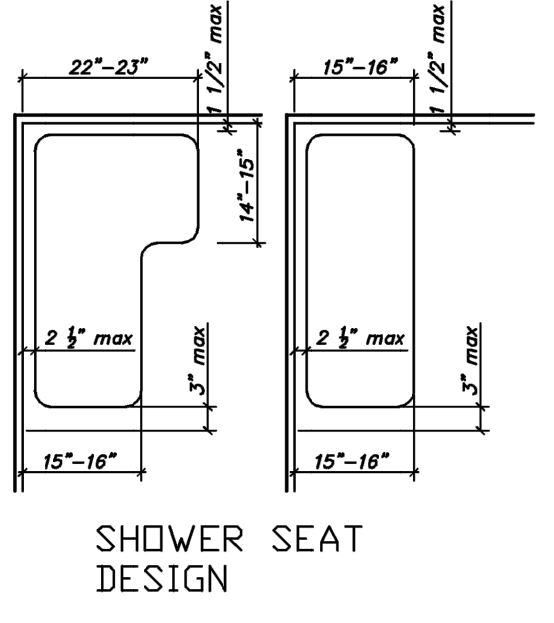


No	Rev./Submissions	Date
	PERMIT	01/30/23
SCALE	PROJECT NO	
AS NOTED	221104	
DESIGNED	DATE	
RSR	30 JAN 23	
DRAWN	CHECKED	
RSR	RSR	

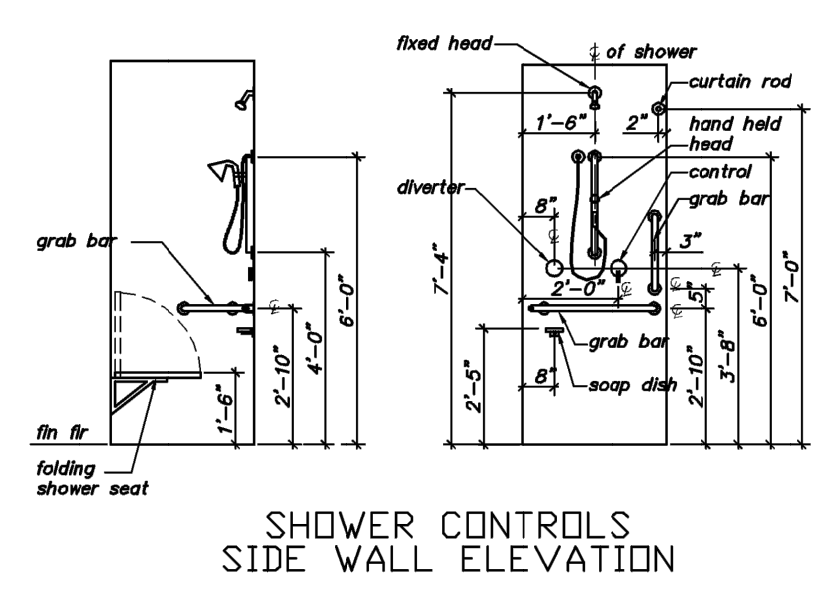
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 DRAWING NO  
**A0.1**



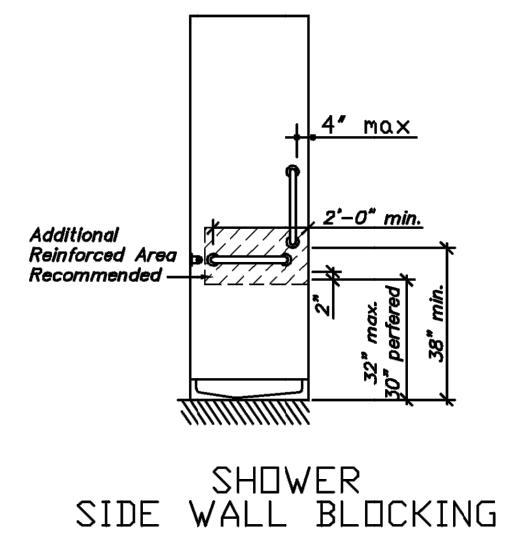
SHOWER SIZE AND CLEARANCES



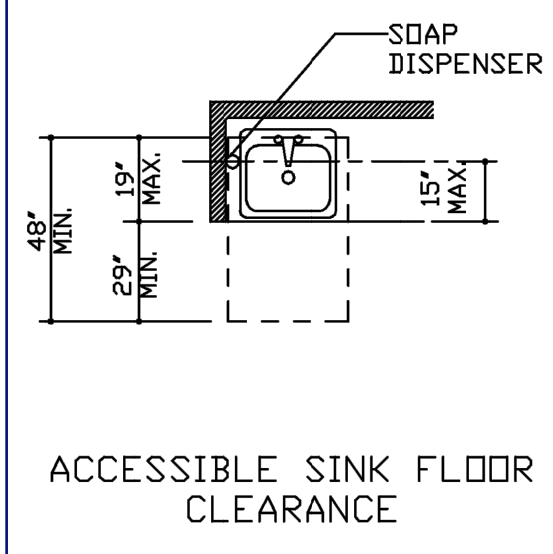
SHOWER SEAT DESIGN



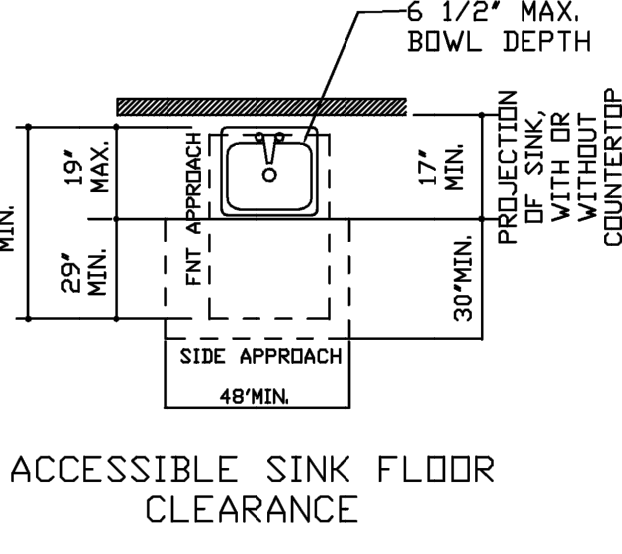
SHOWER CONTROLS SIDE WALL ELEVATION



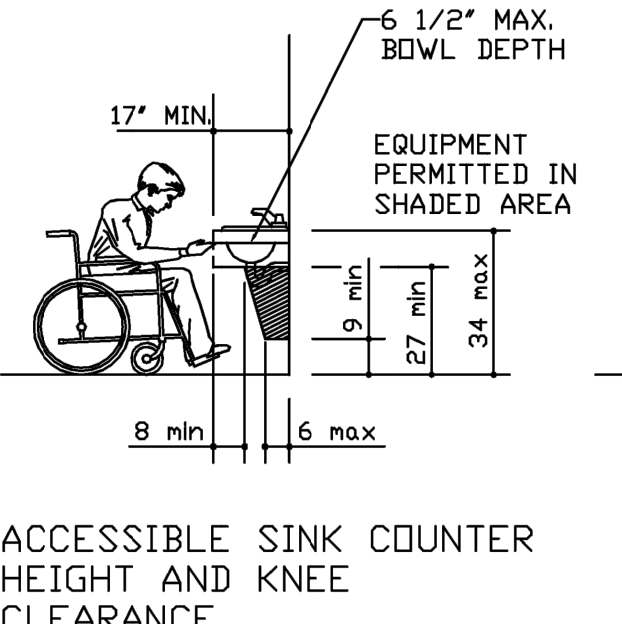
SHOWER SIDE WALL BLOCKING



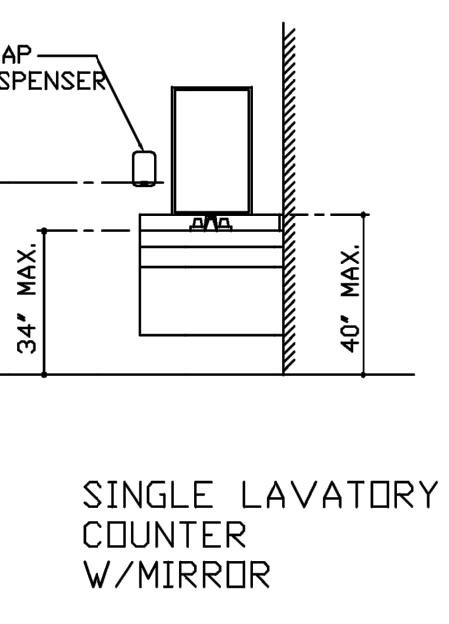
ACCESSIBLE SINK FLOOR CLEARANCE



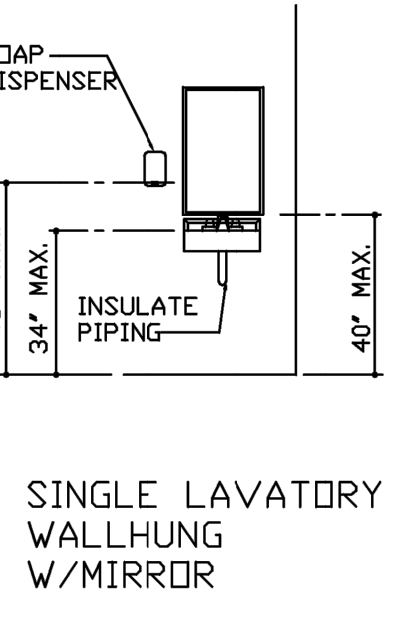
ACCESSIBLE SINK FLOOR CLEARANCE



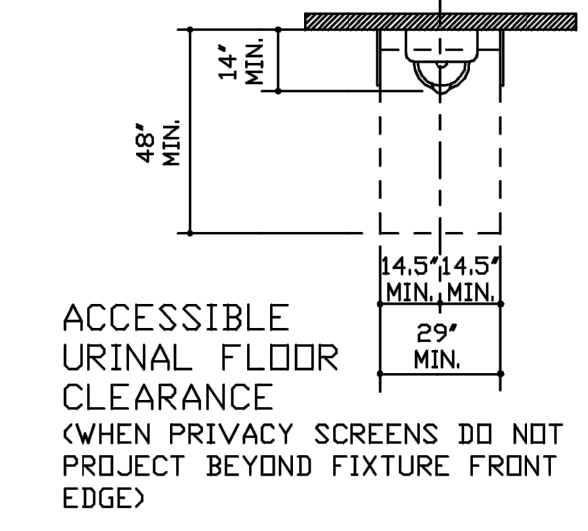
ACCESSIBLE SINK COUNTER HEIGHT AND KNEE CLEARANCE



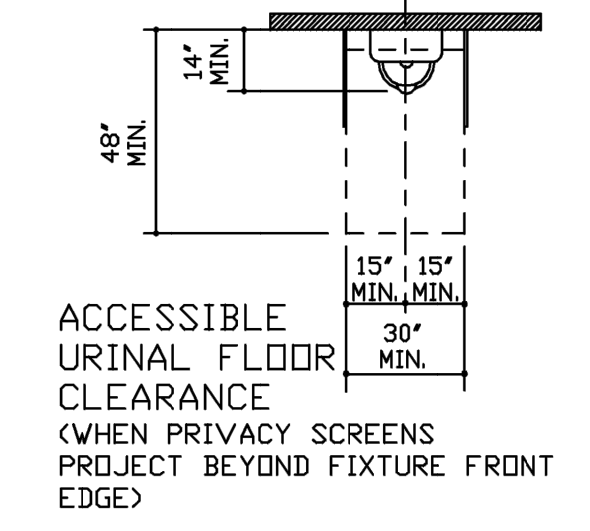
SINGLE LAVATORY COUNTER W/MIRROR



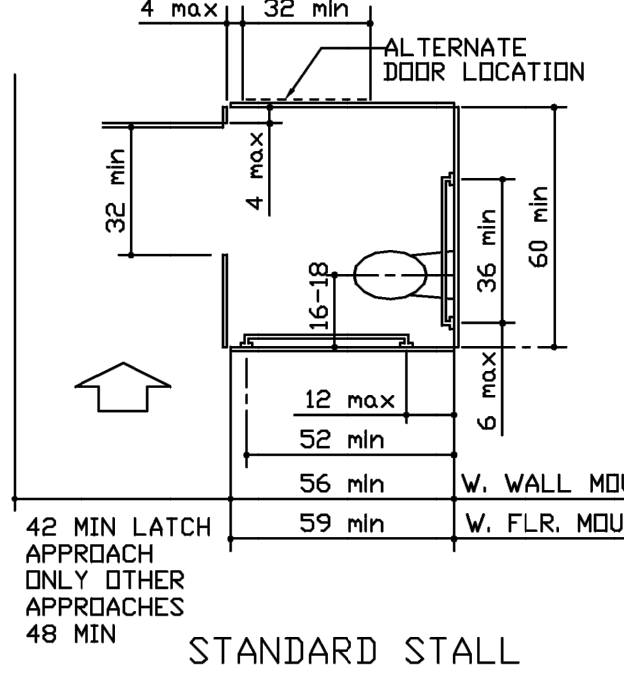
SINGLE LAVATORY WALLHUNG W/MIRROR



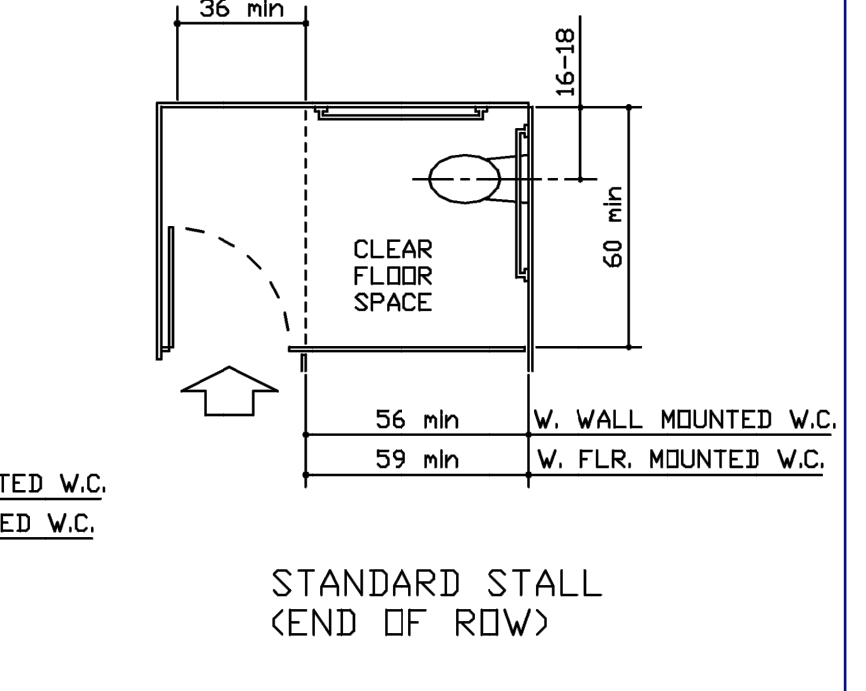
ACCESSIBLE URINAL FLOOR CLEARANCE (WHEN PRIVACY SCREENS DO NOT PROJECT BEYOND FIXTURE FRONT EDGE)



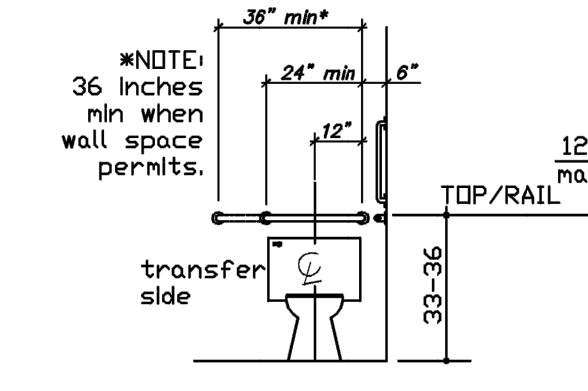
ACCESSIBLE URINAL FLOOR CLEARANCE (WHEN PRIVACY SCREENS PROJECT BEYOND FIXTURE FRONT EDGE)



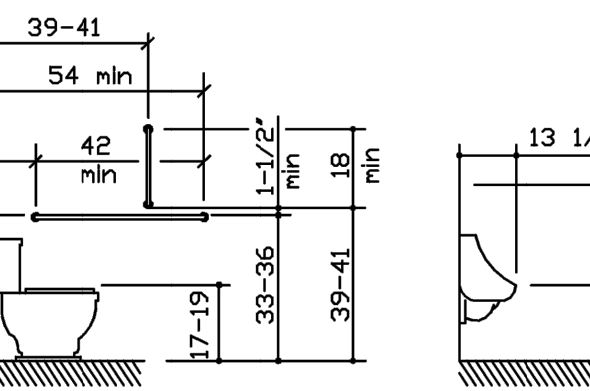
STANDARD STALL



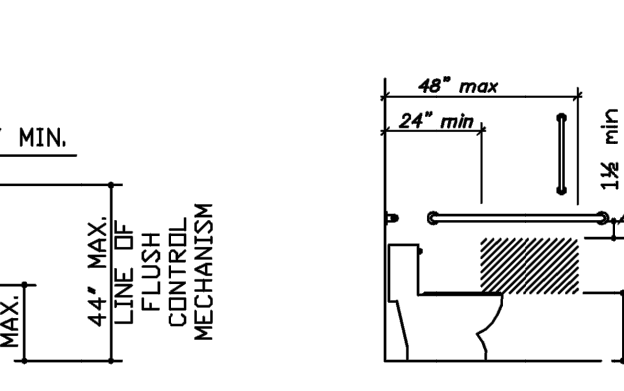
STANDARD STALL (END OF ROW)



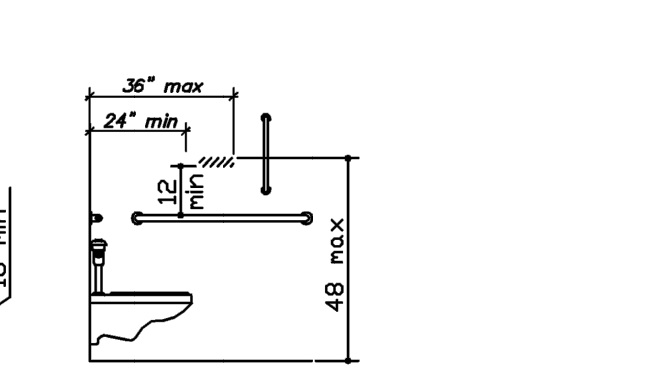
BACK WALL GRAB BARS AT WATER CLOSETS



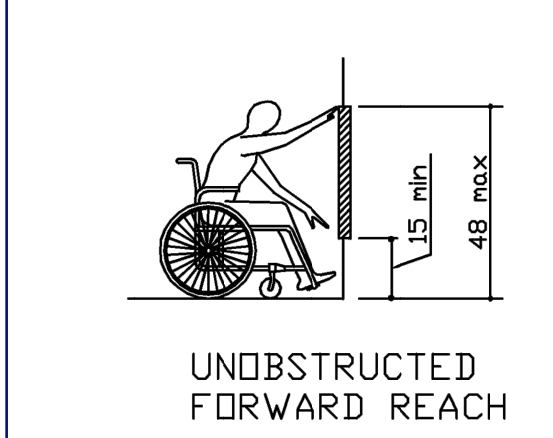
SIDE WALL GRAB BARS AT WATER CLOSETS



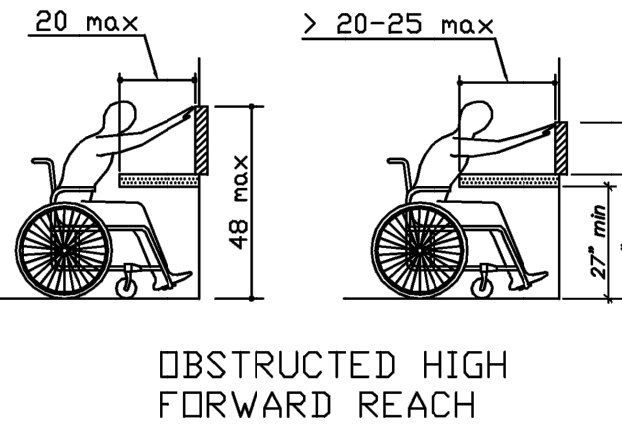
SIDE WALL ACCESSIBLE WALL HUNG URINAL



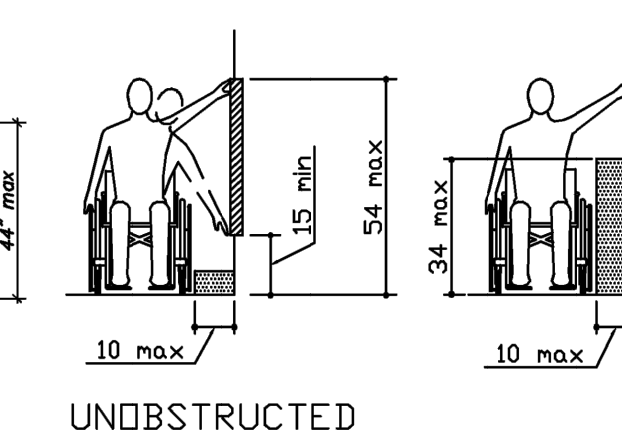
below grab bar above grab bar TOILET PAPER DISPENSER LOCATION



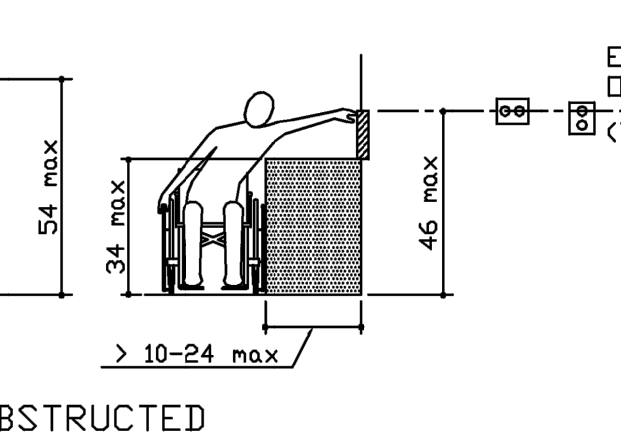
UNOBSTRUCTED FORWARD REACH



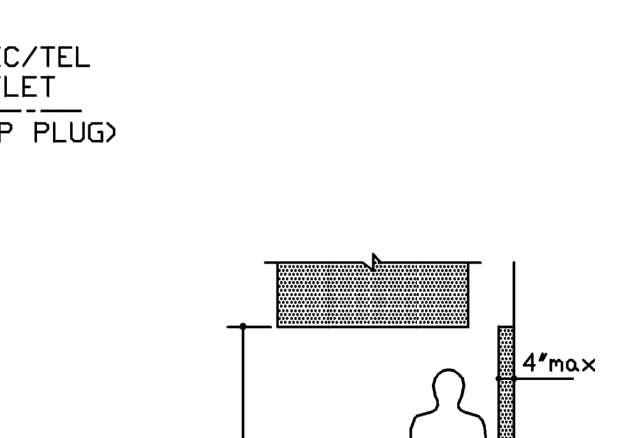
OBSTRUCTED HIGH FORWARD REACH



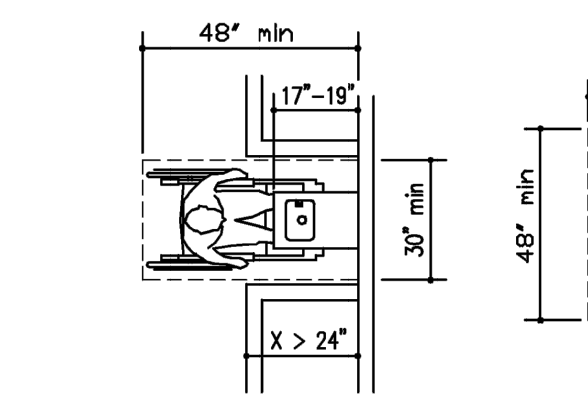
UNOBSTRUCTED SIDE REACH



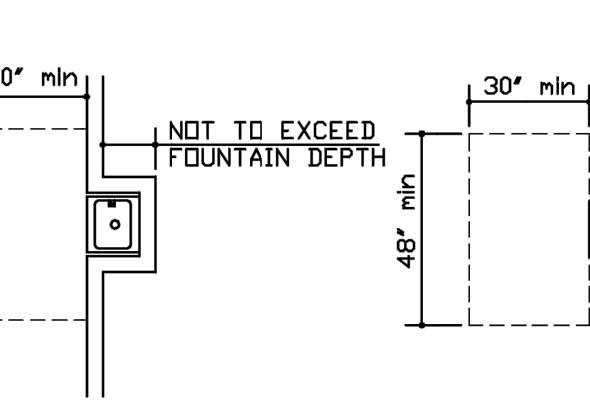
OBSTRUCTED HIGH SIDE REACH



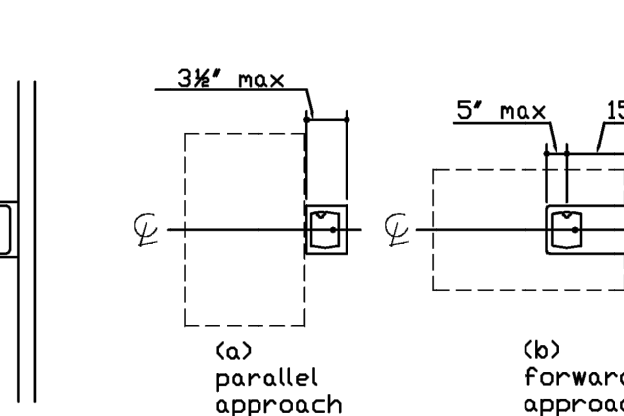
LIMIT OF PROTRUDING OBJECTS



WATER COOLER CLEAR FLOOR SPACE



BUILT-IN FOUNTAIN OR COOLER



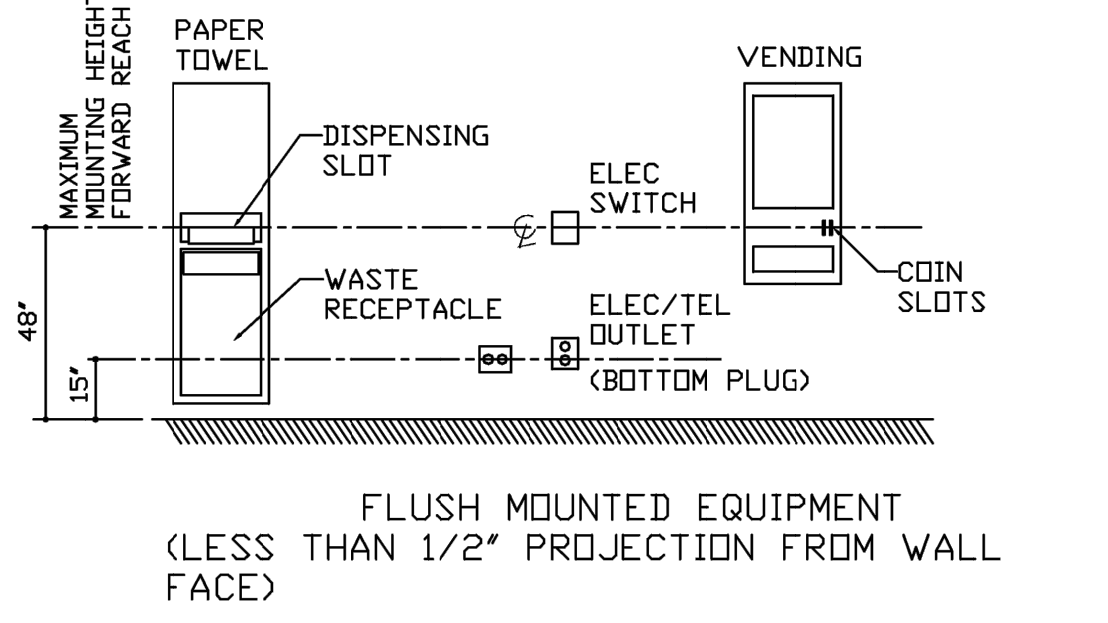
FREESTANDING FOUNTAIN OR COOLER



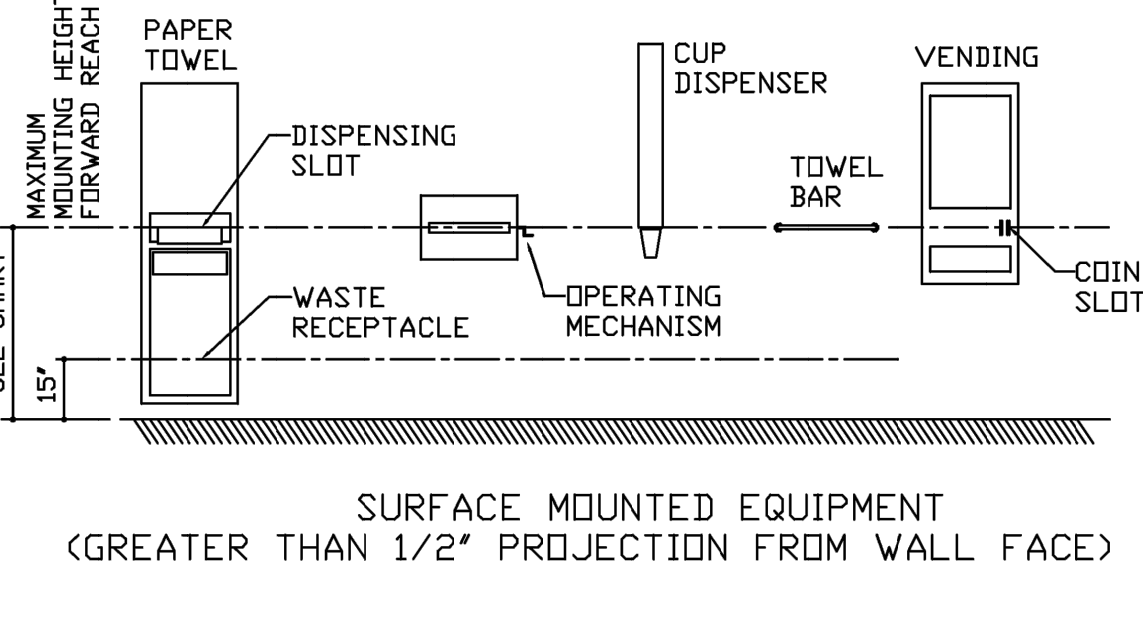
DRINKING FOUNTAIN SPOUT LOCATION

SURFACE MOUNTED ACCESSORIES  
 MAXIMUM REACH DEPTH AND HEIGHT (FORWARD APPROACH)

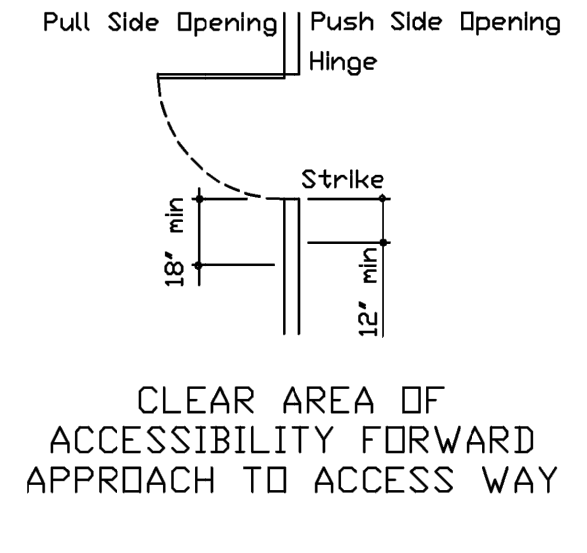
PROJECTED DIM FROM WALL FACE	.5 INCH	2 INCHES	5 INCHES	6 INCHES	9 INCHES	11 INCHES
MAXIMUM MOUNTING HEIGHT	48 INCH	46 INCH	42 INCH	40 INCH	36 INCH	34 INCH



FLUSH MOUNTED EQUIPMENT (LESS THAN 1/2" PROJECTION FROM WALL FACE)

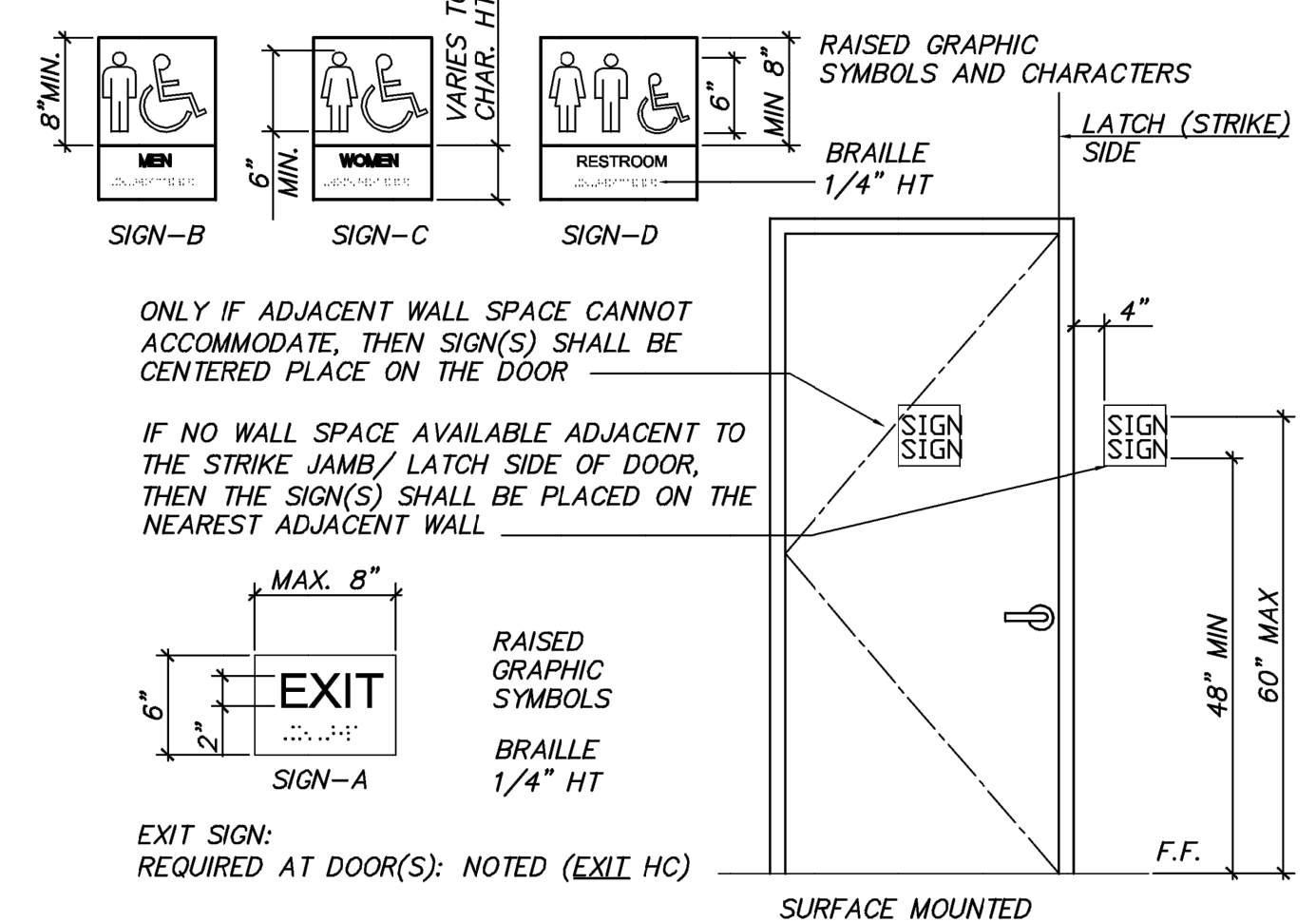


SURFACE MOUNTED EQUIPMENT (GREATER THAN 1/2" PROJECTION FROM WALL FACE)



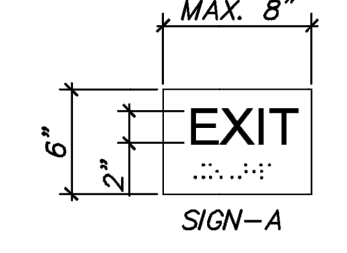
CLEAR AREA OF ACCESSIBILITY FORWARD APPROACH TO ACCESS WAY

IDENTIFICATION SIGNAGE AT 60" A.F.F., ARE TO BE DISTINCTLY DIFFERENT FROM THE DOOR OR WALL IN COLOR AND CONTRAST.



ONLY IF ADJACENT WALL SPACE CANNOT ACCOMMODATE, THEN SIGN(S) SHALL BE CENTERED PLACE ON THE DOOR.

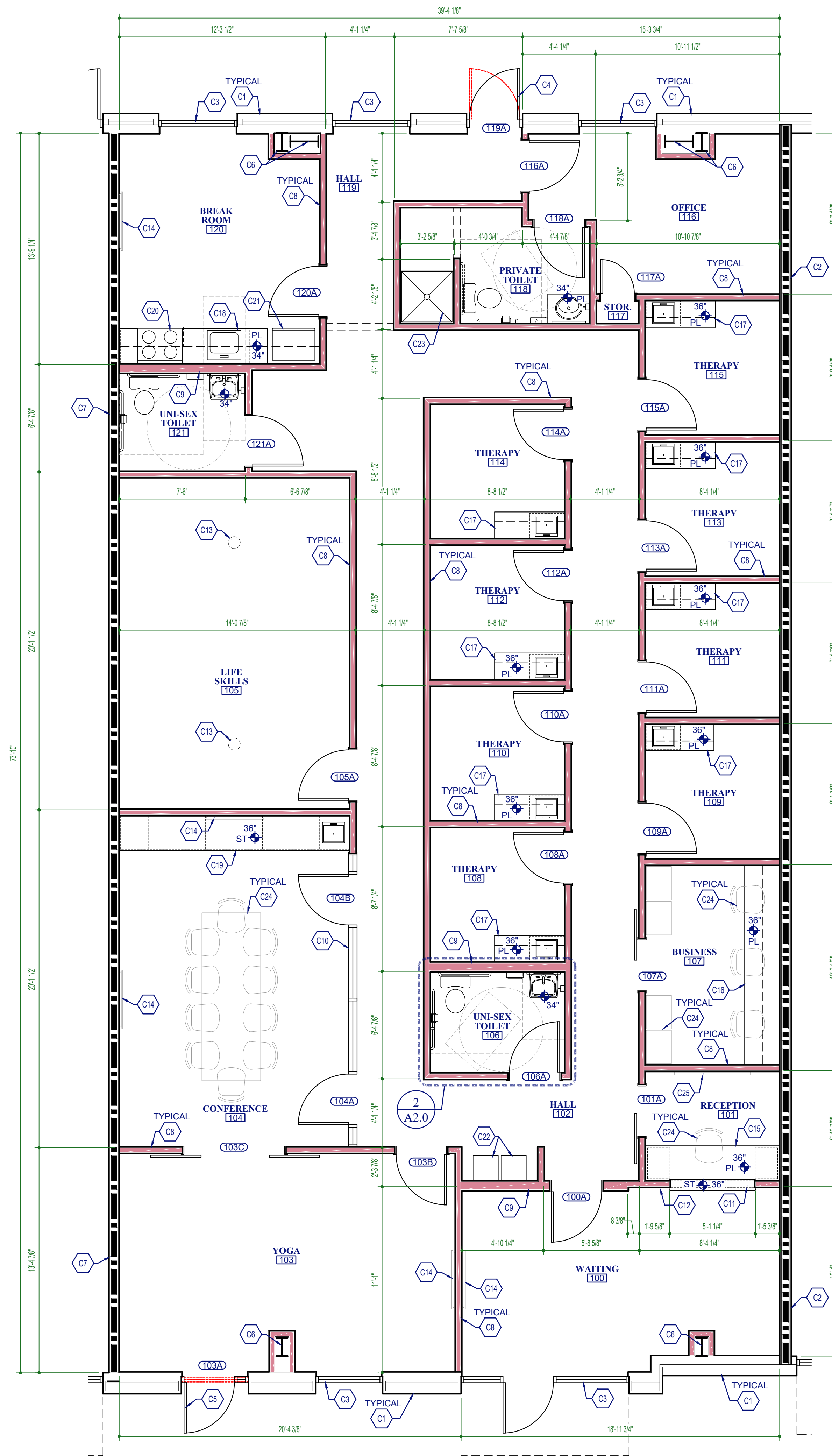
IF NO WALL SPACE AVAILABLE ADJACENT TO THE STRIKE JAMB/LATCH SIDE OF DOOR, THEN THE SIGN(S) SHALL BE PLACED ON THE NEAREST ADJACENT WALL.



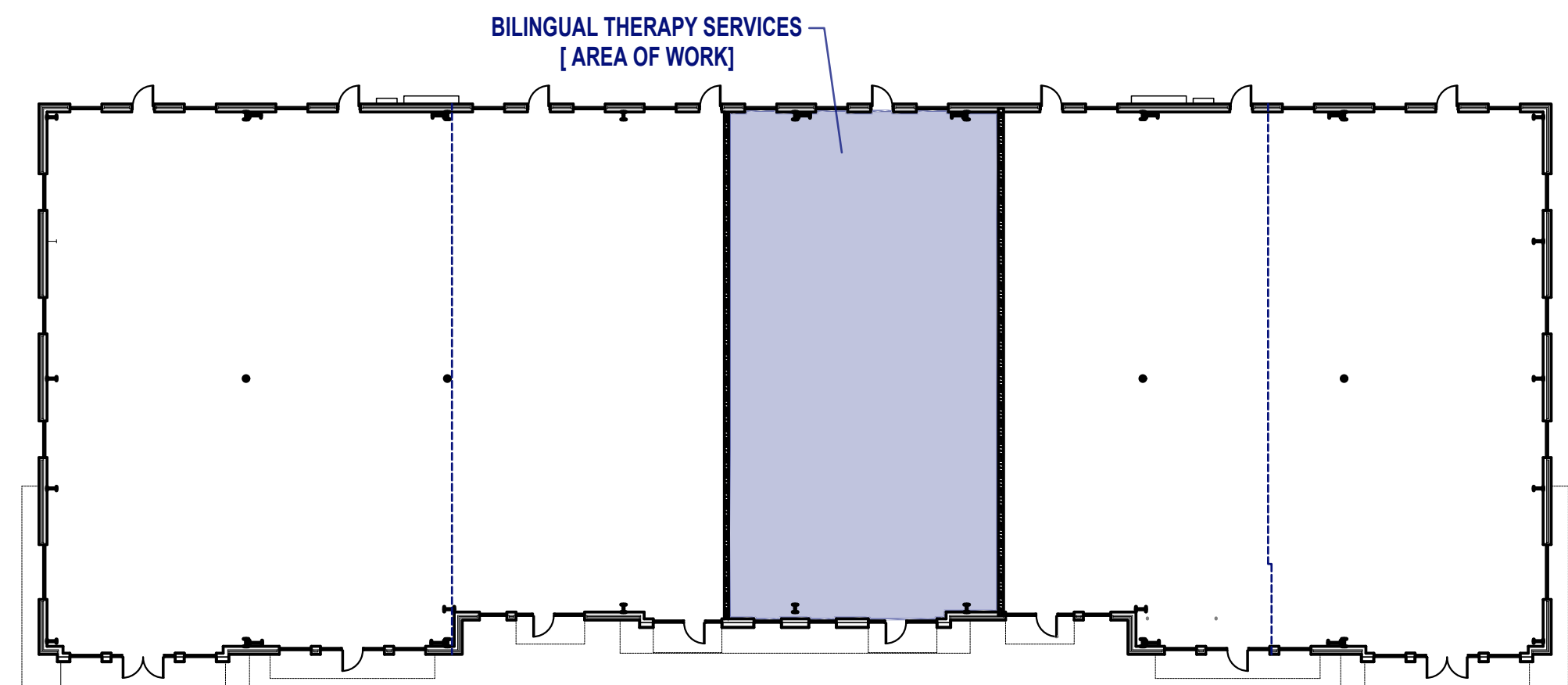
EXIT SIGN: REQUIRED AT DOOR(S): NOTED (EXIT HC)

**1 Accessibility Details and Requirements**  
 SCALE 1 1/2"=1'-0"

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**1 Floor Plan**  
SCALE 1/4" = 1'-0"



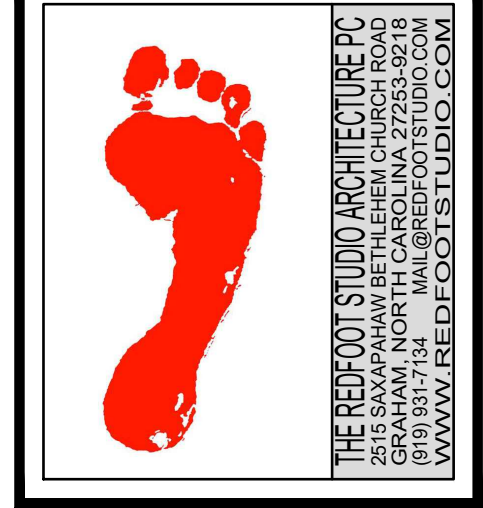
**1 Key Plan**  
NOT TO SCALE

**CONSTRUCTION NOTES:**

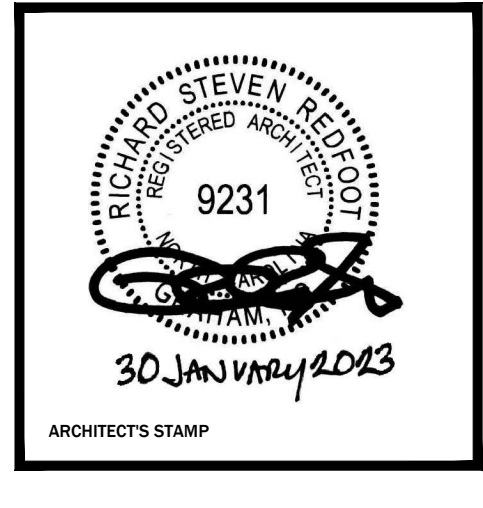
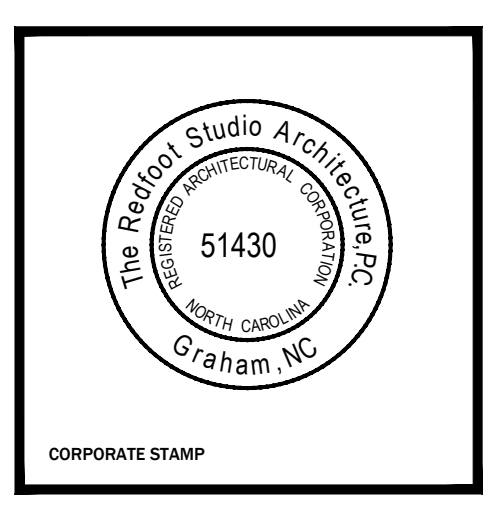
- C1 EXISTING INSULATED EXTERIOR WALL TO REMAIN. PROVIDE GYPSUM WALLBOARD ON INTERIOR SIDE TO DECK ABOVE, TYPICAL
- C2 EXISTING 2-HOUR FIRE-RATED FIRE WALL TO REMAIN. ANY WORK TO WALL PER UL U419, SEE 1/A0.0, TYPICAL
- C3 EXISTING STOREFRONT WINDOW OR ENTRY ASSEMBLY TO REMAIN, CASE OPENING W/ GYPSUM WALLBOARD
- C4 EXISTING HOLLOW METAL DOOR AND FRAME ASSEMBLY, MODIFY DOOR AS REQUIRED TO REVERSE HAND OF DOOR, PAINT, CASE OPENING W/ GYPSUM WALLBOARD
- C5 EXISTING STOREFRONT WINDOW ASSEMBLY, MODIFY AS REQUIRED TO PROVIDE 3'-0" FULL GLASS DOOR WITH SIDELIGHT AND TRANSOM, GLAZING TO BE TEMPERED, OVERALL OPENING SIZE TO REMAIN UNCHANGED, CASE OPENING W/ GYPSUM WALLBOARD
- C6 EXISTING STEEL COLUMN(S) TO REMAIN. ENCASE THE COLUMN W/ FRAMING AND GYPSUM WALLBOARD, KEEP ENCLOSURE AS CLOSE TO COLUMN AS FEASIBLE
- C7 PROVIDE NEW 1-HOUR FIRE-RATED TENANT DEMISING WALL TO ROOF DECK, PER UL U419, SEE 1/A0.0, TYPICAL
- C8 PROVIDE NEW INTERIOR 3-5/8" METAL STUD WALL, SEE 1/A3.0, TYPICAL WHERE SHOWN THUS
- C9 PROVIDE NEW INTERIOR 6" METAL STUD WALL, SIMILAR TO 1/A3.0
- C10 STOREFRONT WALL ASSEMBLY, SEE DOOR SCHEDULE AND 2/A3.0
- C11 CASSED OPENING, HEAD OF OPENING AT 7'-0" AFF
- C12 PROVIDE 1X WOOD FINISH AT RECESSED SECTION AT RECEPTION COUNTER WALL FROM FLOOR TO CEILING, VERIFY AND COORDINATE FINISH W/ OWNER
- C13 PROVIDE STEEL EYE HOOK IN CEILING FOR SWING OR OTHER EXERCISE EQUIPMENT. COORDINATE FINAL LOCATION W/ OWNER DURING FRAMING, VERIFY ANY REINFORCING REQUIREMENTS W/ STRUCTURAL ENGINEER.
- C14 PROVIDE BLOCKING, POWER, AND DATA FOR TELEVISION, COORDINATE FINAL LOCATION IN FIELD W/ OWNER
- C15 RECEPTION DESK, LEVEL 2 GRANITE TRANSACTION COUNTER AT 36" AFF, PLASTIC LAMINATE WORK COUNTER AT 30" AFF, OPEN BELOW WORK COUNTER, PROVIDE (2) ROLLING BELOW COUNTER LOCKABLE FILE CABINETS
- C16 BUSINESS DESK AND CABINETS WITH PLASTIC LAMINATE COUNTERTOP, SEE 3/A3.0
- C17 THERAPY DESK WITH PLASTIC LAMINATE COUNTERTOP, SEE 6/A3.0
- C18 STAFF LOUNGE CABINETS, PLASTIC LAMINATE COUNTERTOP AT 34" AFF, PROVIDE MINIMUM (1) UPPER CABINET STORAGE SHELF AT 48" AFF, FRONT APPROACH ACCESSIBLE SINK, SEE 5/A3.0
- C19 CONFERENCE ROOM CABINETS WITH LEVEL 2 GRANITE COUNTERTOP, SEE 4/A3.0
- C20 OVEN AND COOKTOP W/ INTEGRAL HOOD, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR
- C21 REFRIGERATOR, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR
- C22 ACCESSIBLE HIGH-LOW DRINKING FOUNTAINS, SEE PLUMBING AND ELECTRICAL DRAWINGS
- C23 MOP SINK, SEE PLUMBING DRAWINGS
- C24 FURNITURE OR EQUIPMENT, BY OWNER
- C25 PROPOSED LOCATION FOR LOGO ON WALL, PROVIDE BLOCKING IN WALL, PROVIDE POWER FOR LOGO, COORDINATE W/ OWNER

**FLOOR PLAN NOTES:**

1. COORDINATE SELECTION OF ALL FINISHES AND COLORS WITH OWNER.
2. DIMENSIONS ARE TO FACE OF FRAMING EXCEPT AT DEMISING WALLS DIMENSIONS ARE TO FACE OF GYPSUM WALLBOARD.
3. 5/8" GYPSUM WALLBOARD, TYPICAL EXCEPT 5/8" GREENBOARD AT WET LOCATIONS.
4. PROVIDE GYPSUM WALLBOARD TO DECK ABOVE AT ALL EXTERIOR AND DEMISING WALLS.
5. PROVIDE TRANSITION STRIPS BETWEEN DIFFERENT FLOORING MATERIALS.
6. COORDINATE DESIGN OF ALL CABINERY AND CASEWORK W/ OWNER. PROVIDE CABINERY SHOP DRAWINGS FOR OWNER REVIEW.
7. ALL 3-5/8" STUD WALLS TO BE INSULATED WITH R-11 BATT INSULATION. ALL 6" METAL STUD WALLS TO BE INSULATED WITH R-19 BATT INSULATION.
8. PROVIDE TYPE 2A 10BC FIRE EXTINGUISHER AS REQUIRED FOR MAX. 75' TRAVEL DISTANCE TO EXTINGUISHER FROM ANYWHERE IN OFFICE. VERIFY FINAL LOCATION AND NUMBER OF FIRE EXTINGUISHERS WITH FIRE MARSHAL.
9. PROVIDE BLOCKING AS REQUIRED FOR ALL CABINERY, EQUIPMENT, AND CASEWORK. PROVIDE CONTINUOUS BLOCKING FROM FLOOR TO CEILING AT ALL ADJUSTABLE SHELVING LOCATIONS.
10. VERIFY INSTALLATION REQUIREMENTS AND LOCATIONS OF ALL THERAPY EQUIPMENT W/ OWNER. VERIFY ANY REINFORCING OR SUPPORT REQUIREMENTS W/ STRUCTURAL ENGINEER.



**BILINGUAL THERAPY SERVICES**  
2293 NC HIGHWAY 24-87  
CAMERON, NORTH CAROLINA



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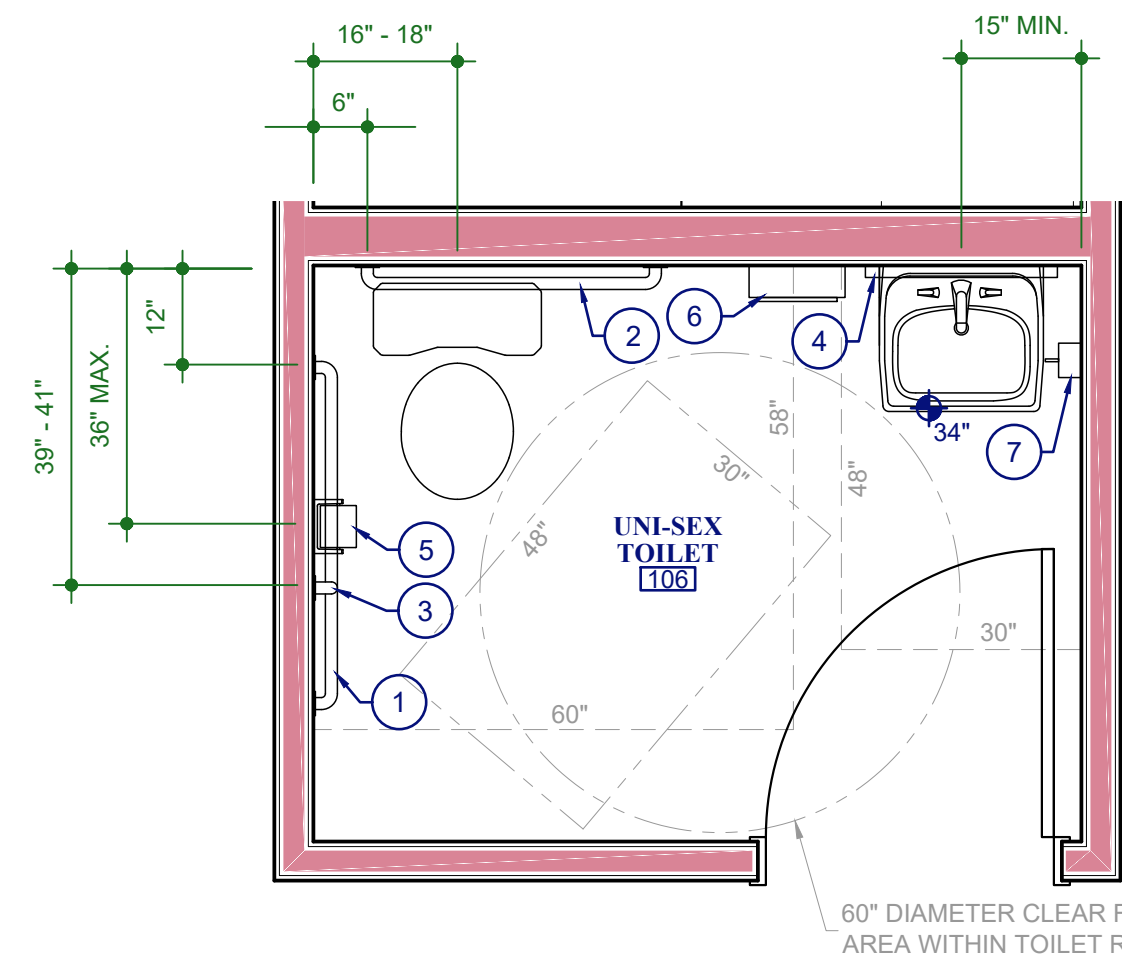
**KEY PLAN AND FLOOR PLAN**  
DRAWING NO. **A1.0**

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### Toilet Accessory Schedule

1	42" GRAB BAR, CENTERLINE OF GRAB BAR AT 34" A.F.F.
2	36" GRAB BAR, CENTERLINE OF GRAB BAR AT 34" A.F.F.
3	18" VERTICAL GRAB BAR, BOTTOM OF GRAB BAR AT 39"-41" A.F.F.
4	18" x 36" STAINLESS STEEL MIRROR, BOTTOM EDGE OF MIRROR 40" AFF, MAX.
5	TOILET PAPER DISPENSER, 19" AFF MIN. TO CENTERLINE OF TOILET PAPER ROLL
6	PAPER TOWEL DISPENSER, 48" AFF MAX. TO TOWEL DISPENSER SLOT OR OPERATING MECHANISM
7	SOAP DISPENSER, 48" AFF MAX. TO DISPENSER

**SCHEDULE NOTES:**  
 1. ALL FIXTURES AND TOILET ACCESSORIES TO MEET ADA REQUIREMENTS AND BE INSTALLED PER ADA GUIDELINES.  
 2. PROVIDE BLOCKING IN WALLS AS REQUIRED TO INSTALL ALL TOILET ACCESSORIES.

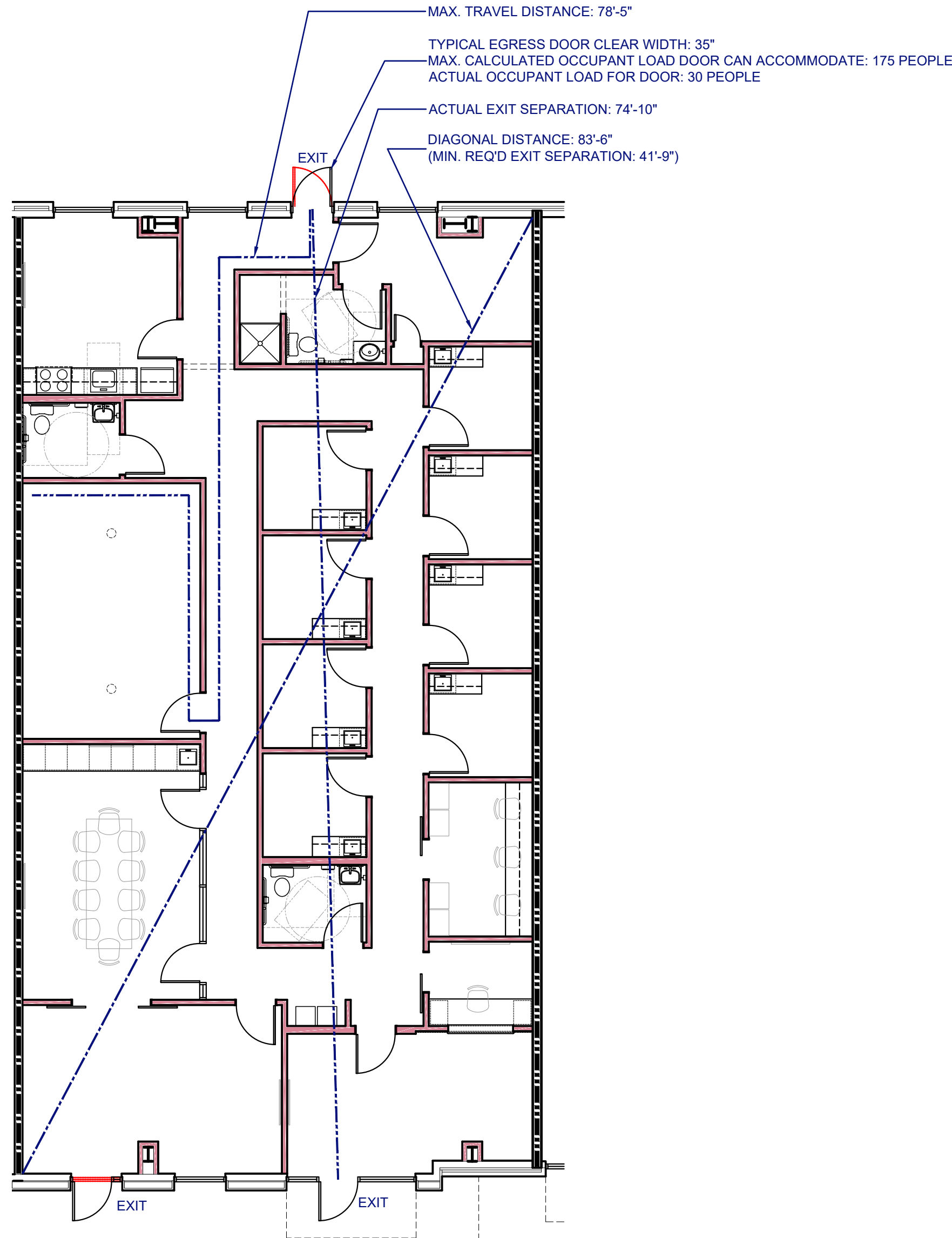
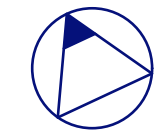


**TOILET PLAN NOTES:**  
 1. PROVIDE ALL BLOCKING REQUIRED FOR GRAB BARS AND OTHER ACCESSORIES.  
 2. UNI-SEX TOILET 106 IS SHOWN, ALL OTHER TOILET ROOMS ARE SIMILAR.

PROJECT NORTH

### 2 Enlarged Toilet Plan

SCALE 1/2" = 1'-0"

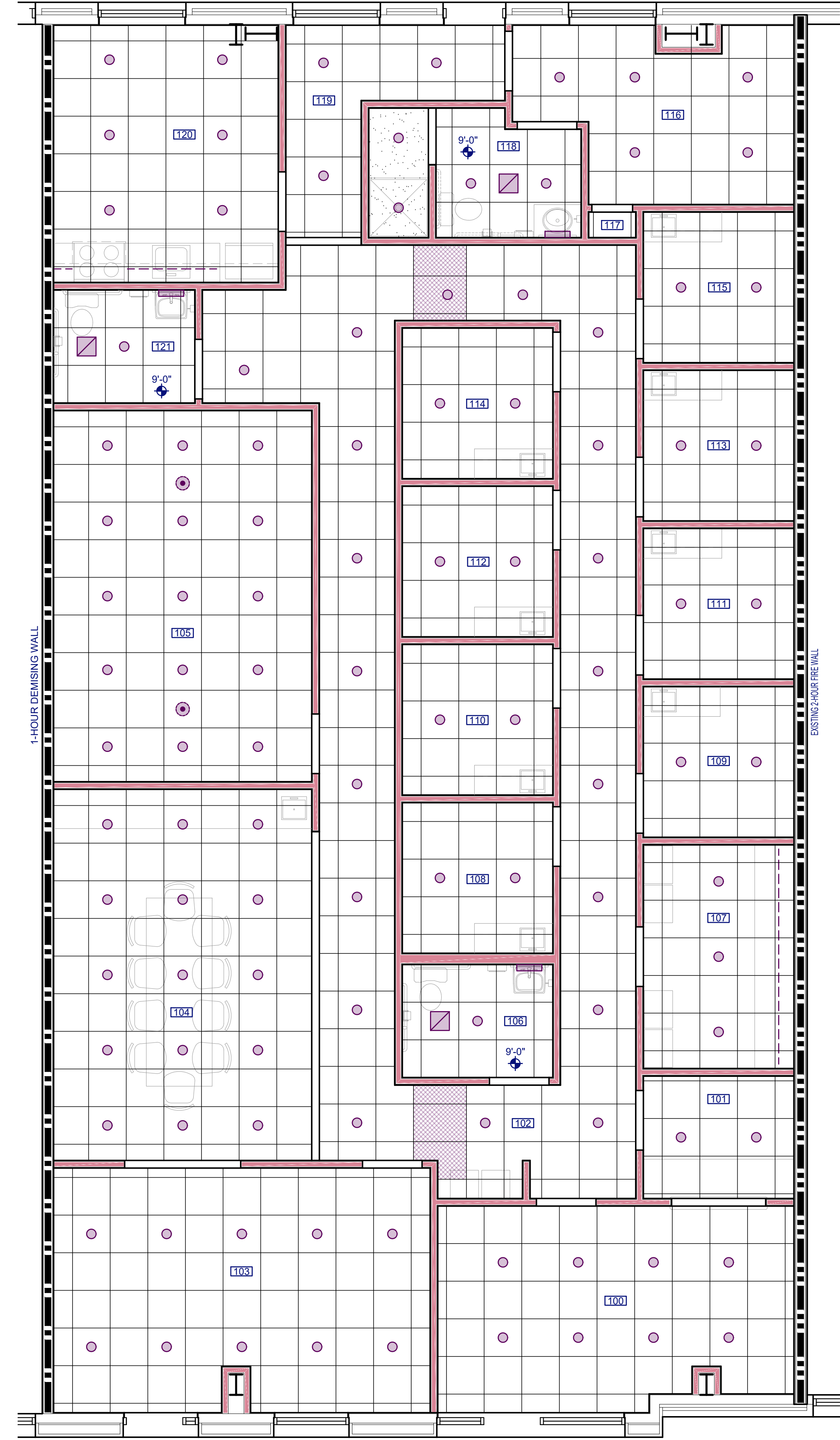
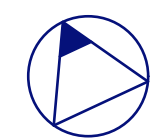


**OCCUPANT LOADS:**  
 BUSINESS: 2,906 SF/100 GROSS SF/PERSON = 30 PEOPLE

PROJECT NORTH

### 3 Life Safety Plan

SCALE 1/8" = 1'-0"



- 2X4 CEILING TILE CUT TO SIZE
- RECESSED CAN LIGHT
- VANITY LIGHT
- BELOW CABINET LIGHT
- EXHAUST FAN
- EXERCISE HOOK IN CEILING

### 1 Reflected Ceiling Plan

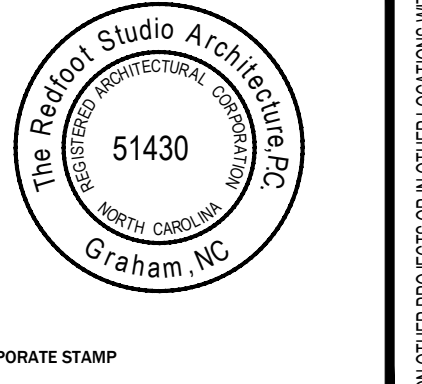
SCALE 1/4" = 1'-0"

PROJECT NORTH

**REFLECTED CEILING PLAN NOTES:**  
 1. CEILING HEIGHT TO BE 10'-0" AFF, TYPICAL U.O.N.  
 2. SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL NOTES AND INFORMATION.  
 3. BATH FANS AND LIGHTS SWITCHED SEPARATELY.  
 4. ALL LIGHTS ON DIMMER SWITCHES.



**BILINGUAL THERAPY SERVICES**  
 2293 NC HIGHWAY 24-87  
 CAMERON, NORTH CAROLINA



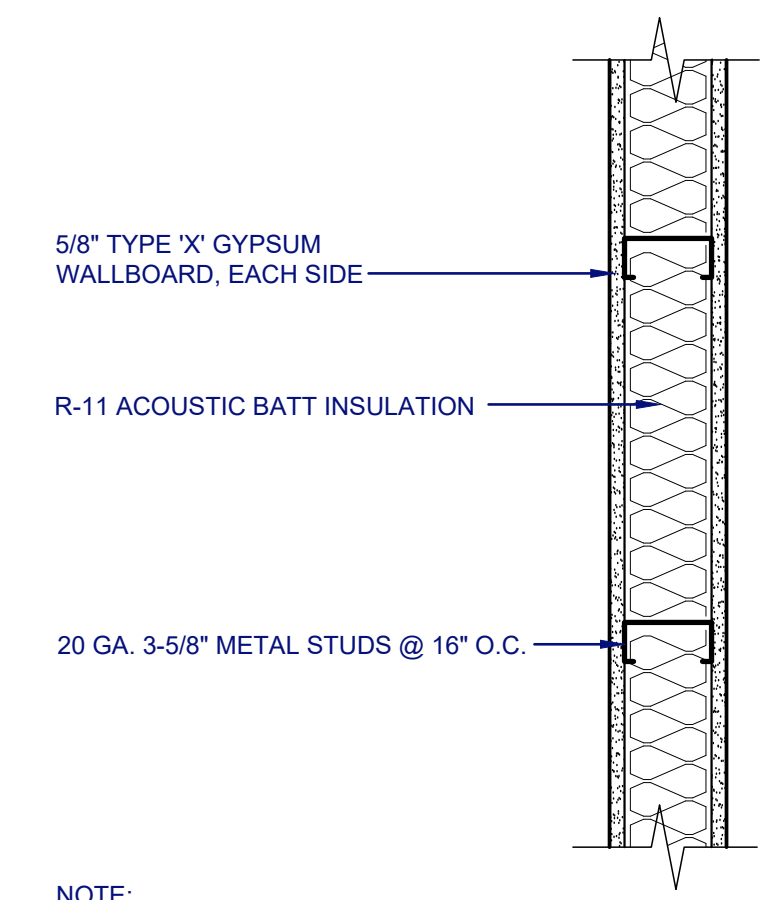
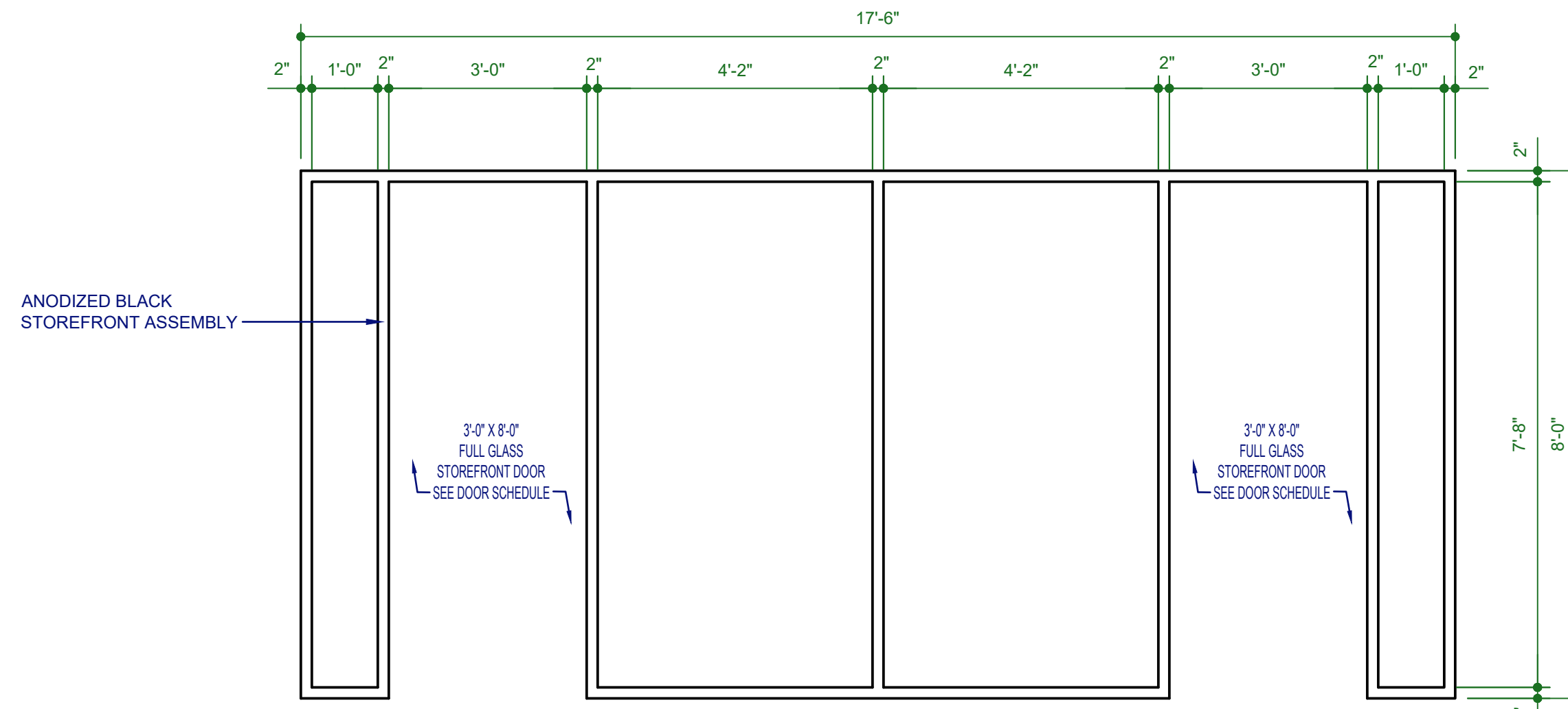
No	Rev./Submissions	Date
	PERMIT	01/30/23

SCALE	PROJECT NO
AS NOTED	221104
DESIGNED	DATE
RSR	30 JAN 23
DRAWN	CHECKED
RSR	RSR

DRAWINGS  
 CEILING,  
 TOILET, AND LIFE  
 SAFETY PLANS

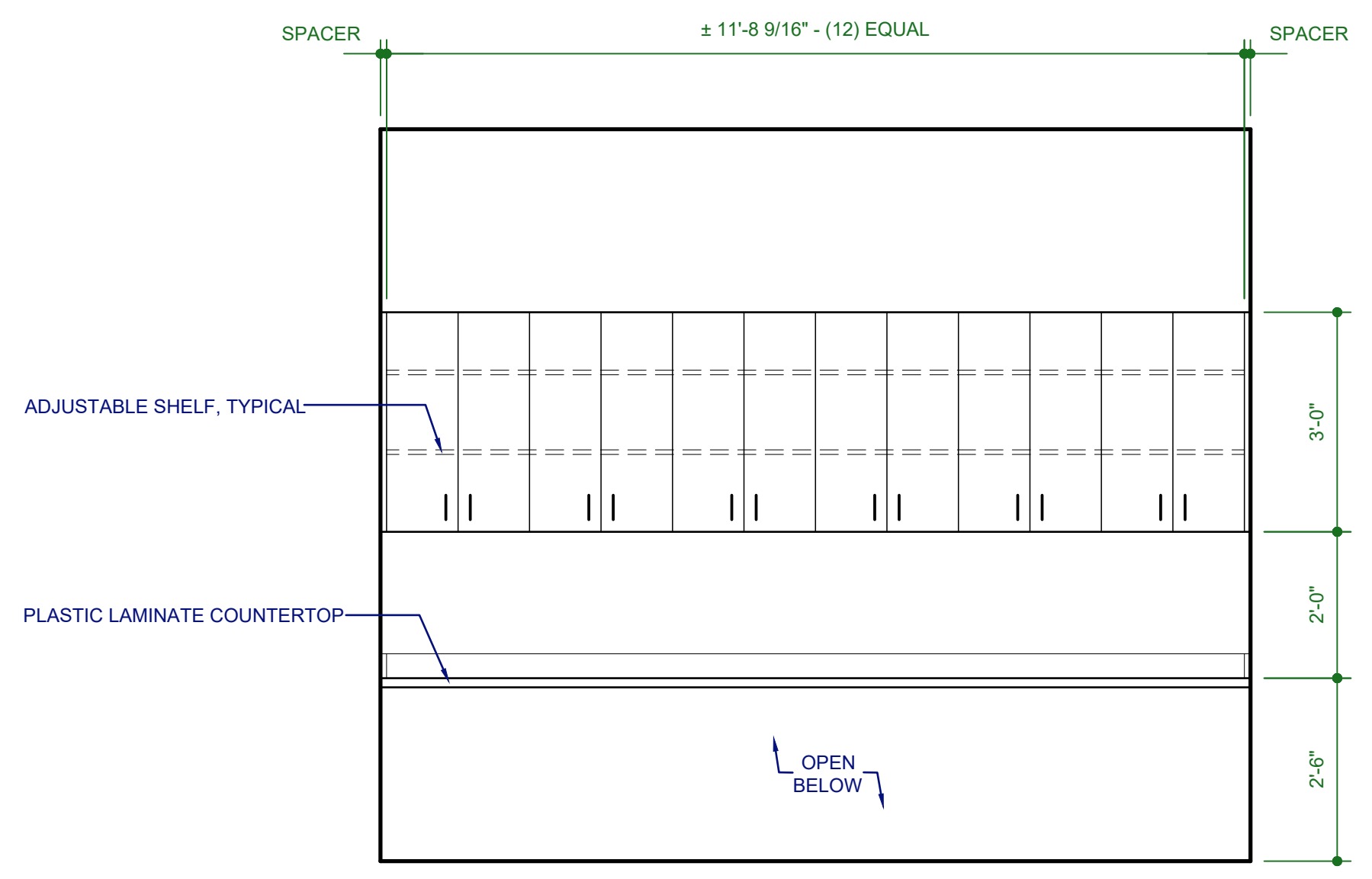
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**A2.0**

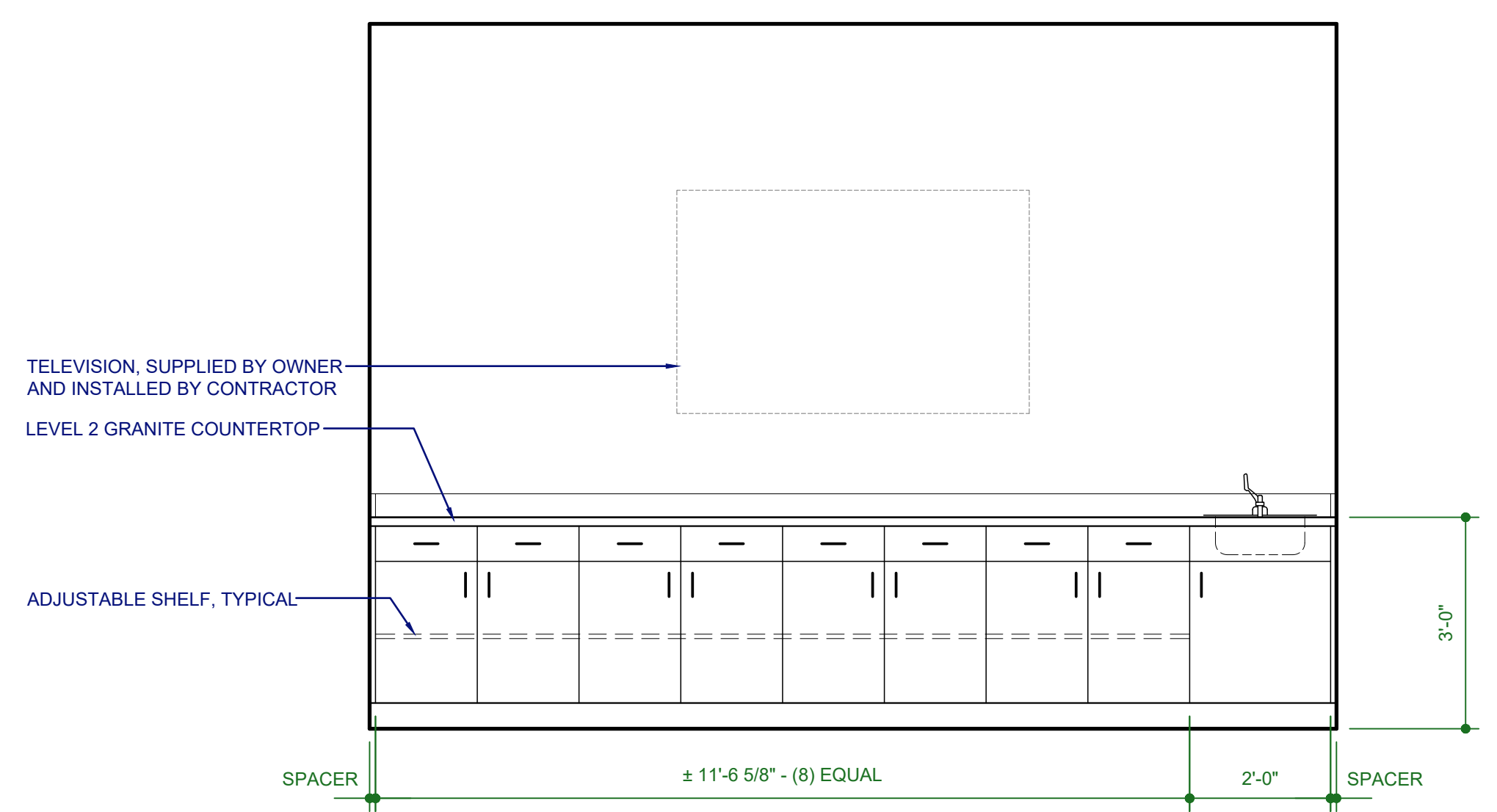


**2 Storefront Wall**  
SCALE 1 1/2" = 1'-0"

**1 Interior Wall**  
SCALE 1 1/2" = 1'-0"

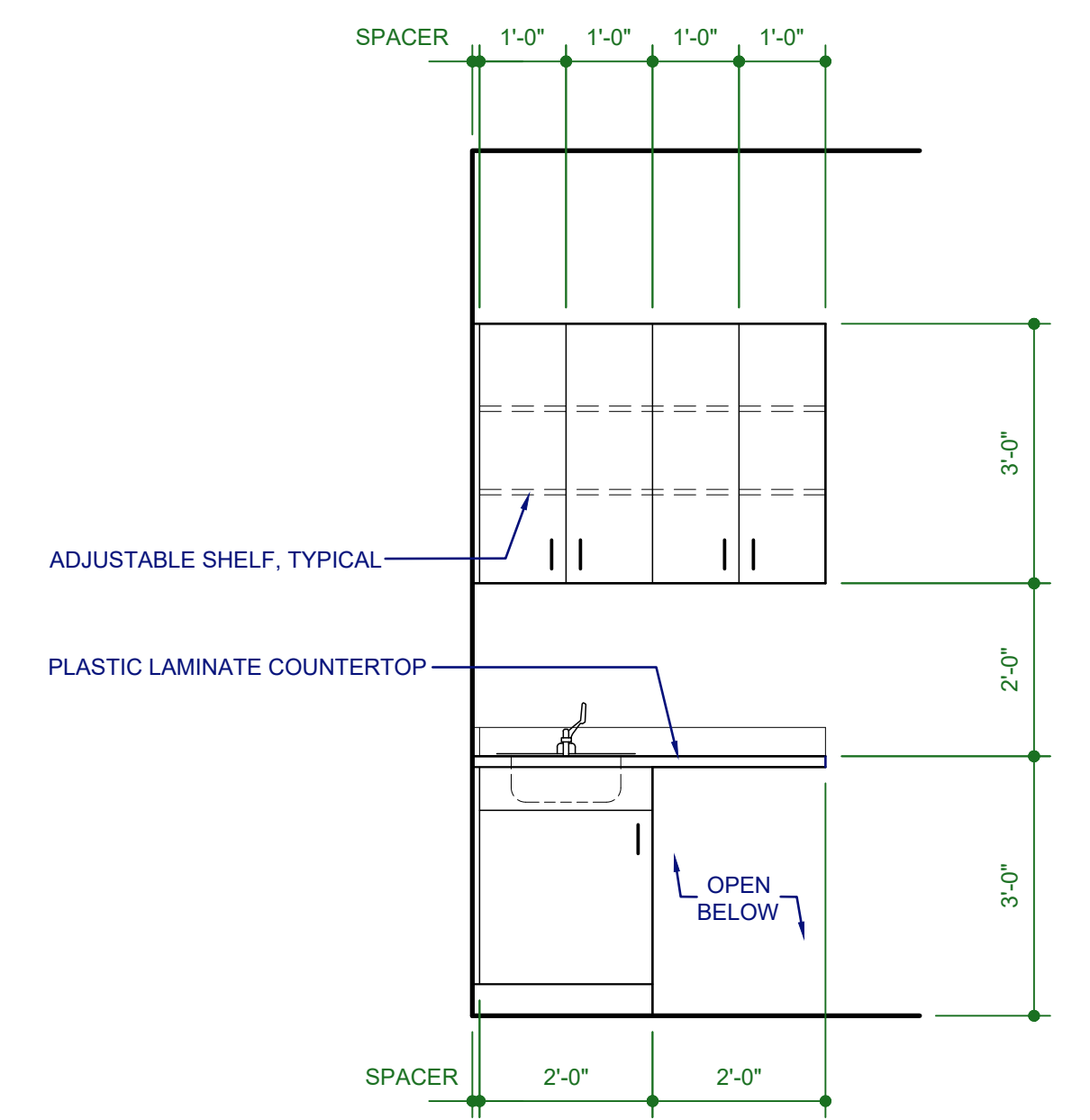


**4 Business Desk & Cabinets**  
SCALE 1/2" = 1'-0"

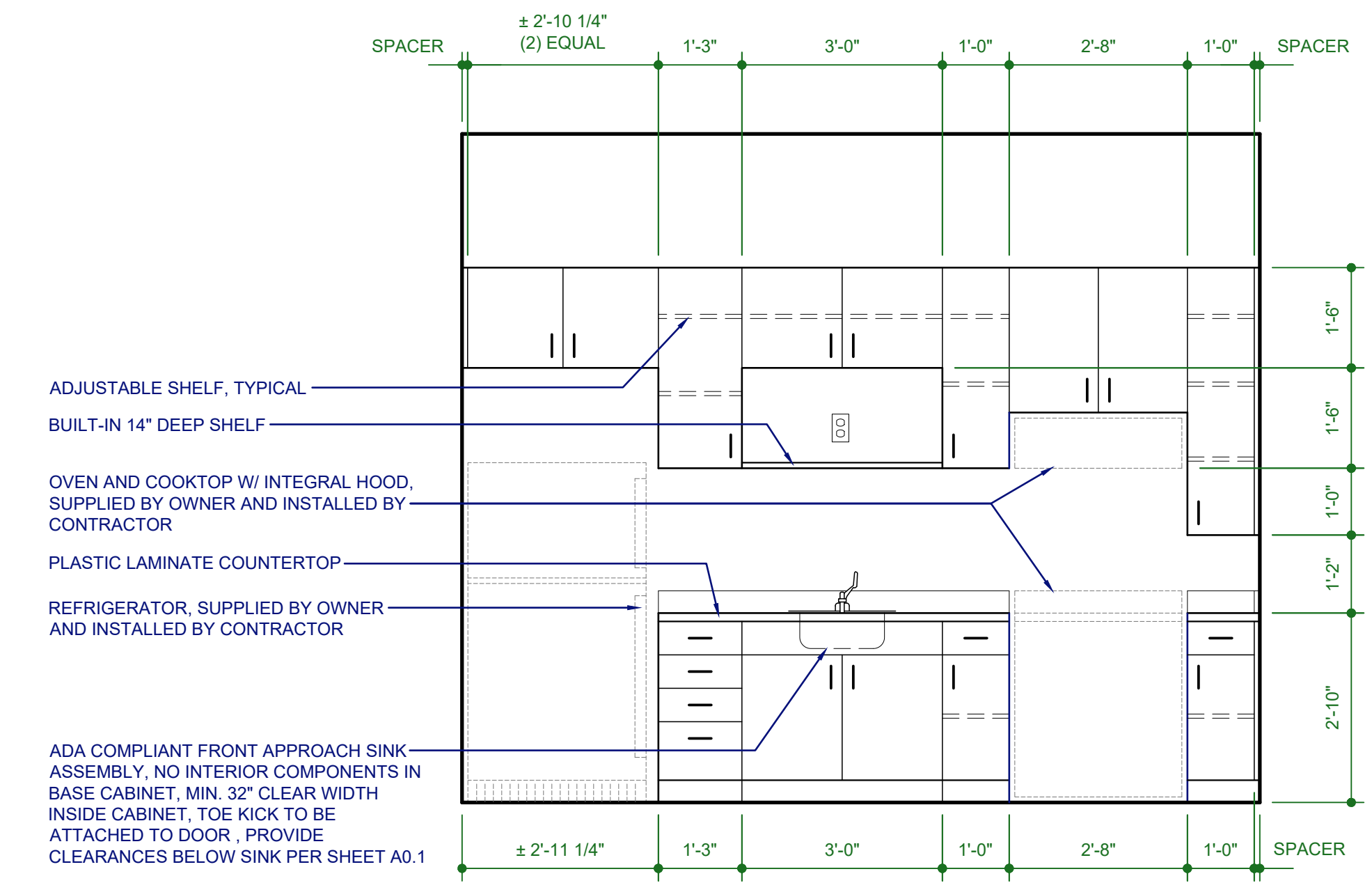


**3 Conference Room**  
SCALE 1/2" = 1'-0"

- CABINET NOTES:**
1. PROVIDE SHOP DRAWINGS FOR OWNER REVIEW OF ALL CABINETS AND CASEWORK.
  2. PLASTIC LAMINATE FINISH FOR CABINET EXTERIOR FROM MANUFACTURER'S STANDARD COLORS. WHITE MELAMINE FINISH AT INTERIOR OF ALL CABINETS.
  3. ALL COUNTERTOPS PLASTIC LAMINATE. PROVIDE ALTERNATE FOR LEVEL 2 SOLID SURFACE OR LEVEL 2 GRANITE FOR RECEPTION TRANSACTION COUNTER.
  4. ALL CABINET HARDWARE TO BE COMMERCIAL GRADE HARDWARE TO BE SELECTED BY OWNER.



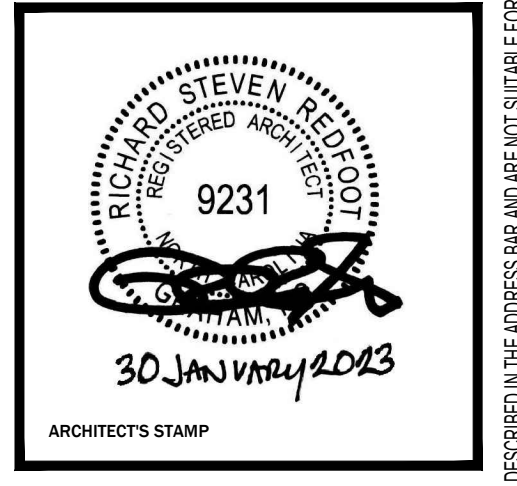
**6 Therapy Desk**  
SCALE 1/2" = 1'-0"



**5 Staff Lounge**  
SCALE 1/2" = 1'-0"



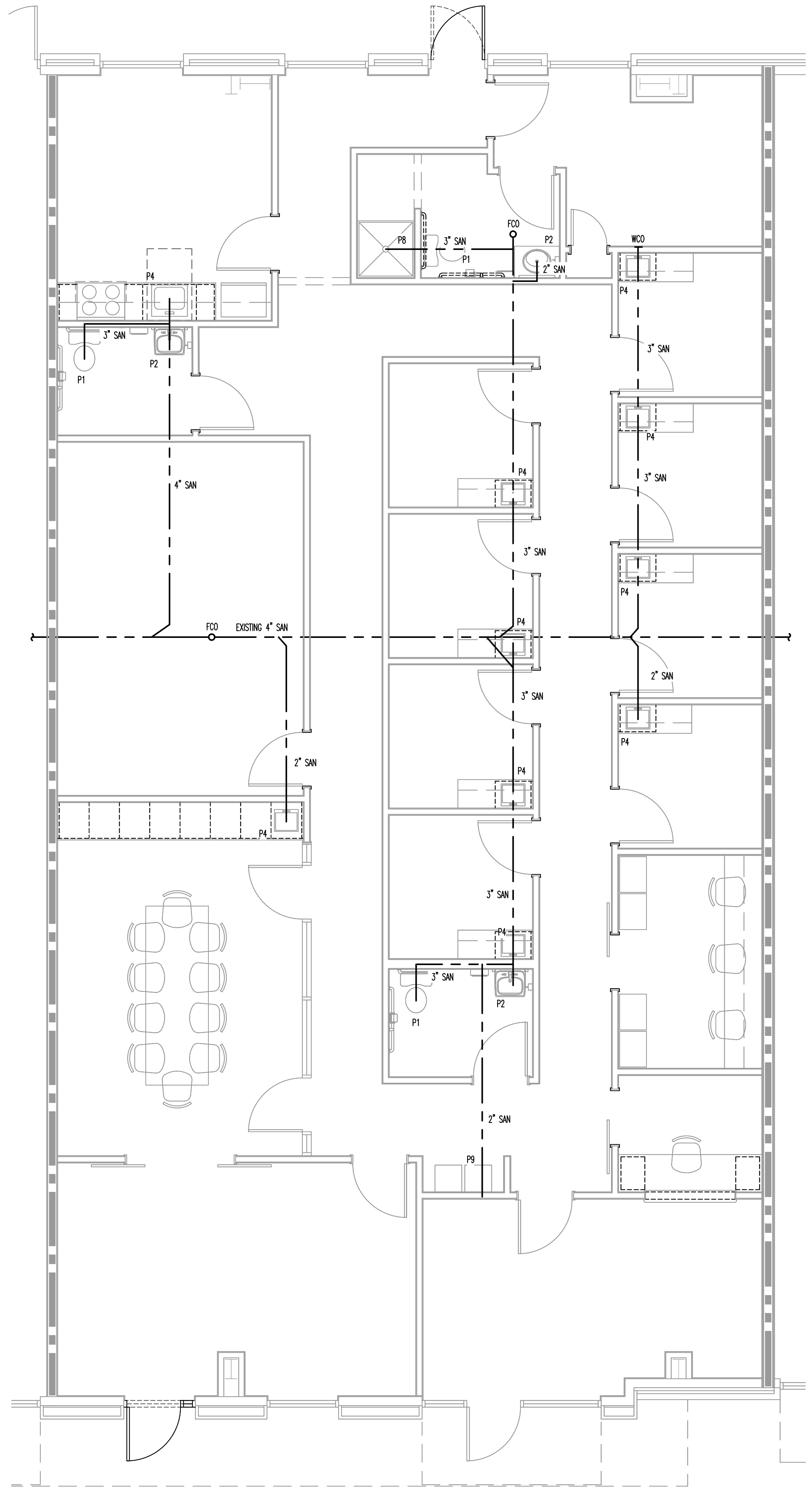
**BILINGUAL THERAPY SERVICES**  
2293 NC HIGHWAY 24-87  
CAMERON, NORTH CAROLINA



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	PERMIT	01/30/23
SCALE	PROJECT NO	
AS NOTED	221104	
DESIGNED	DATE	
RSR	30 JAN 23	
DRAWN	CHECKED	
RSR	RSR	

DETAILS & CABINETS  
DRAWING NO  
**A3.0**

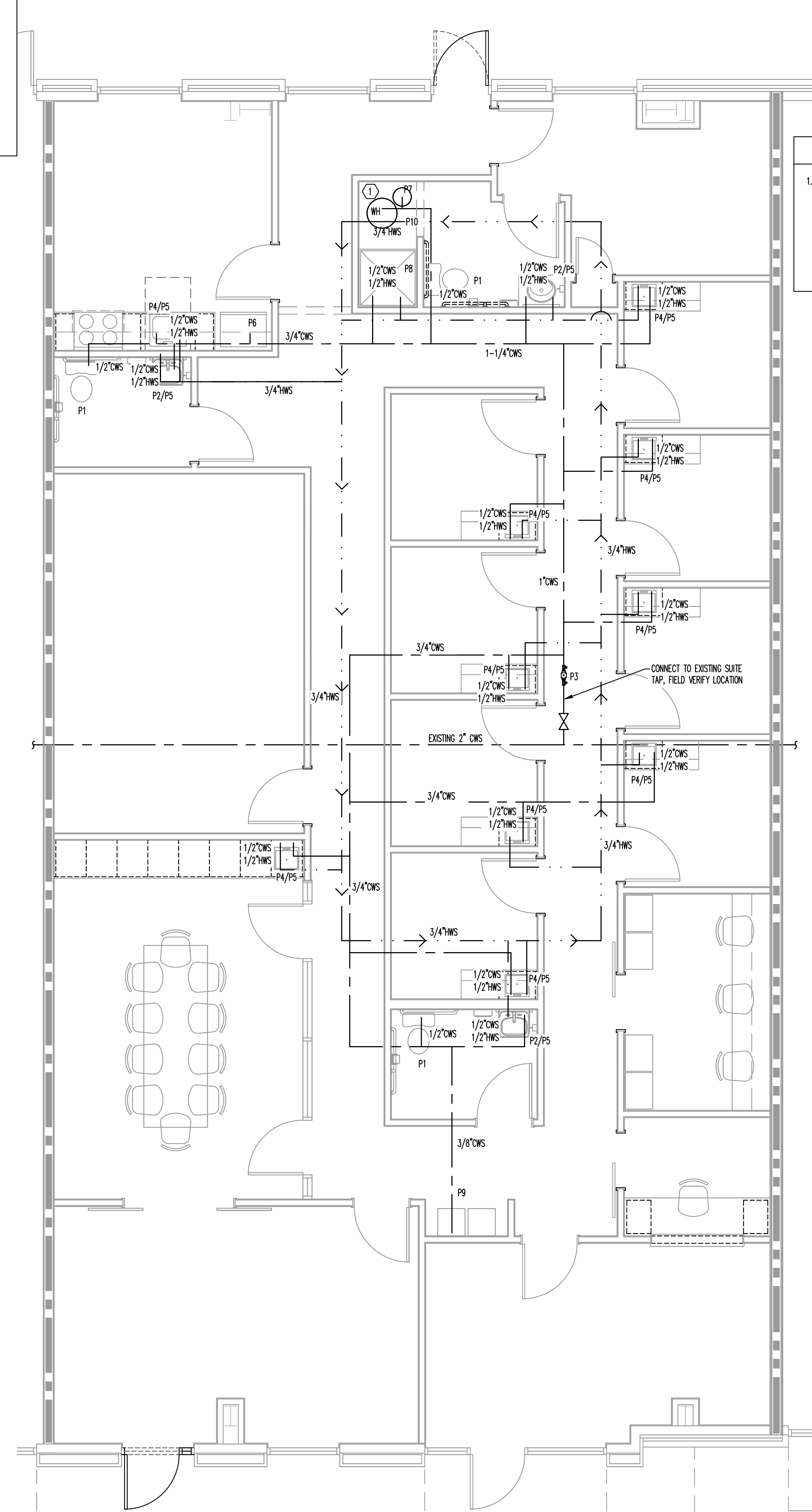




WASTE PLAN - SCALE: 1/4" = 1'-0" | 1

RATED WALL LEGEND

2 HOUR RATED WALL	
3 HOUR RATED WALL	

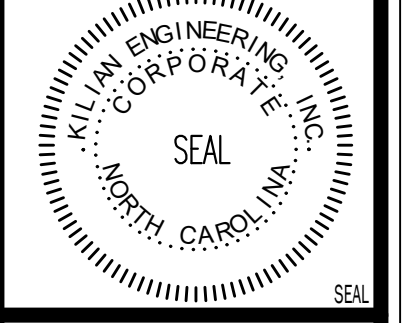
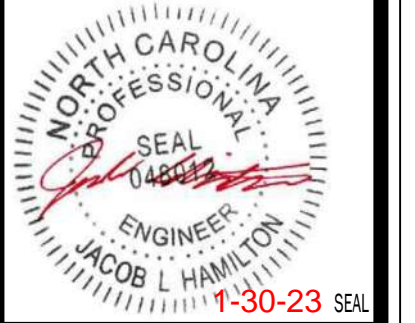


SUPPLY PLAN HEX NOTES

- MOUNT WATER HEATER ABOVE CEILING.

CONNECT TO EXISTING SUITE TAP. FIELD VERIFY LOCATION

SUPPLY PLAN - SCALE: 1/4" = 1'-0" | 2



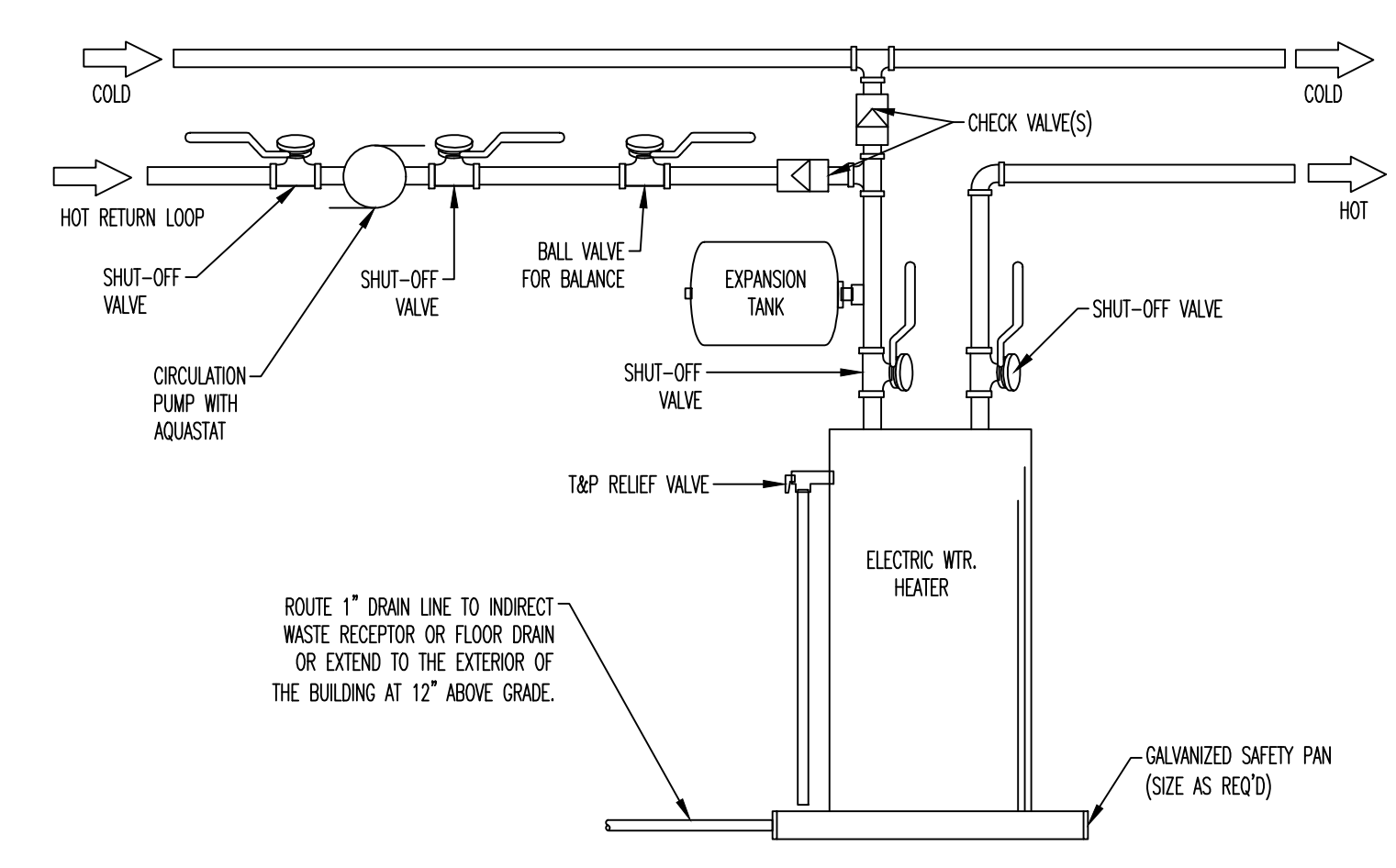
UPFIT FOR  
**BILINGUAL THERAPY SERVICES**  
 2293 NC HIGHWAY 24-87, SUITE  
 CAMERON, NORTH CAROLINA

REVISION:

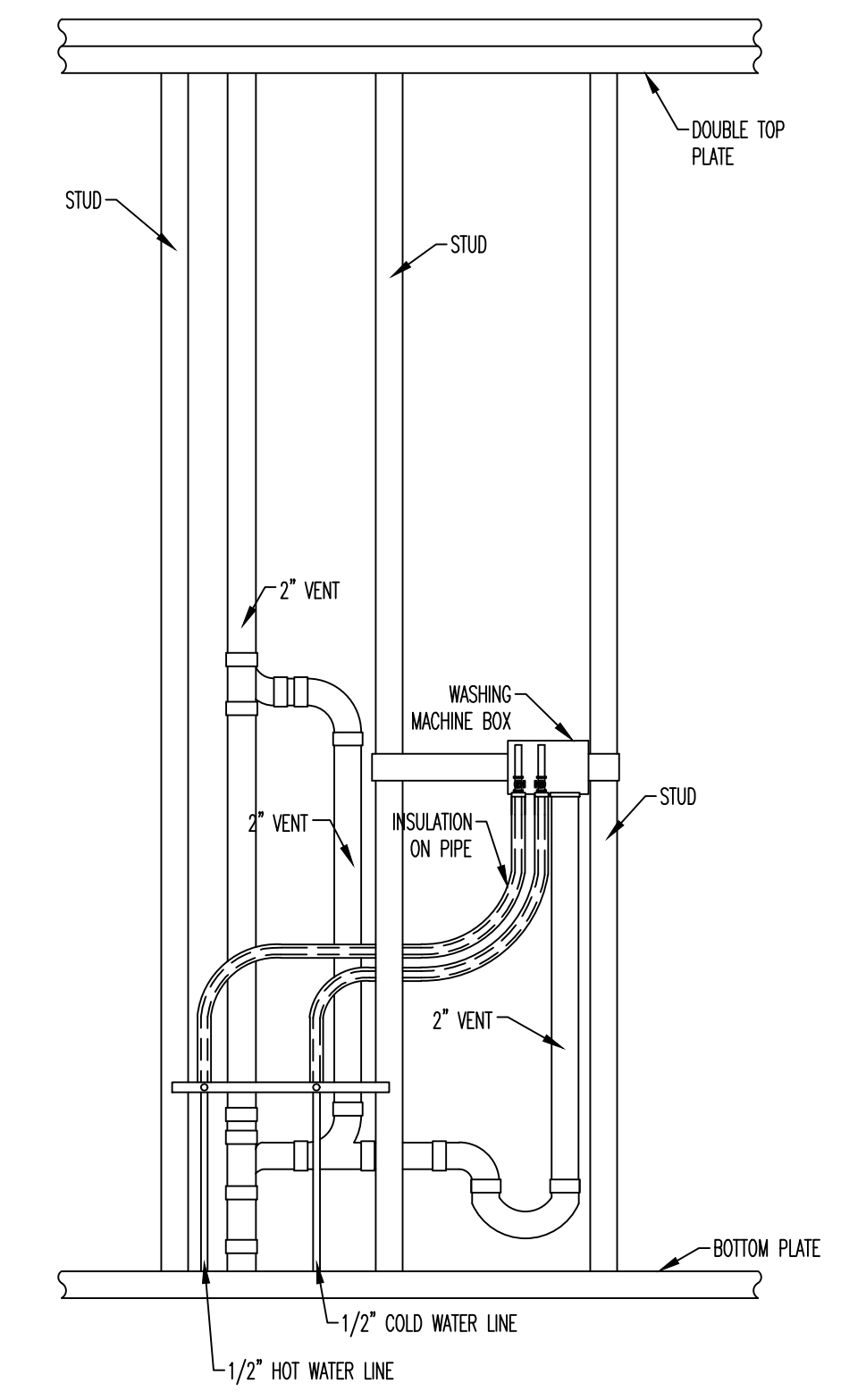

ISSUED:


DRAWN BY: CJS  
 CHECKED BY: JLM  
**WASTE & SUPPLY PLANS**

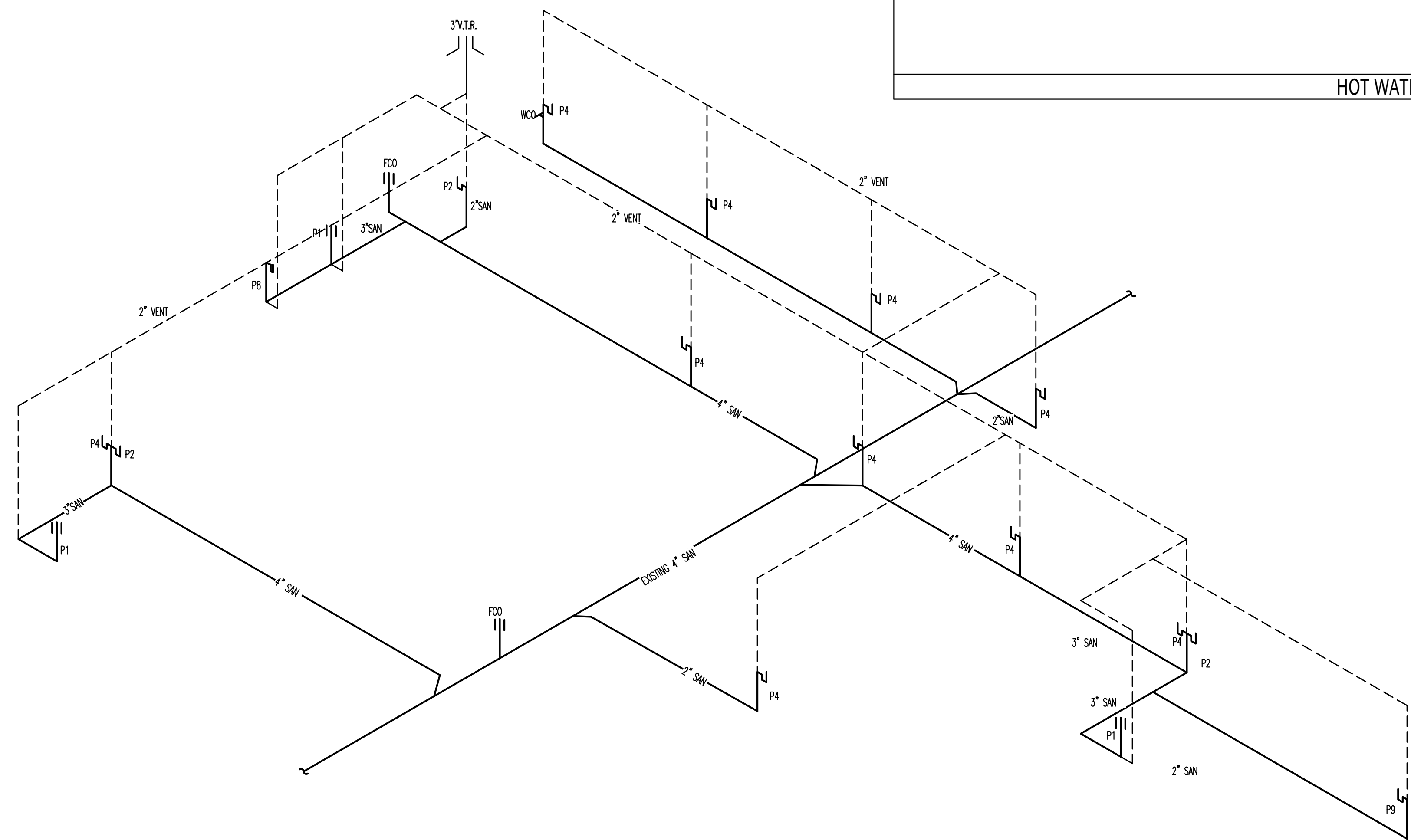




HOT WATER CIRCUL. LOOP ELECTRIC WH DETAIL - NO SCALE | 1

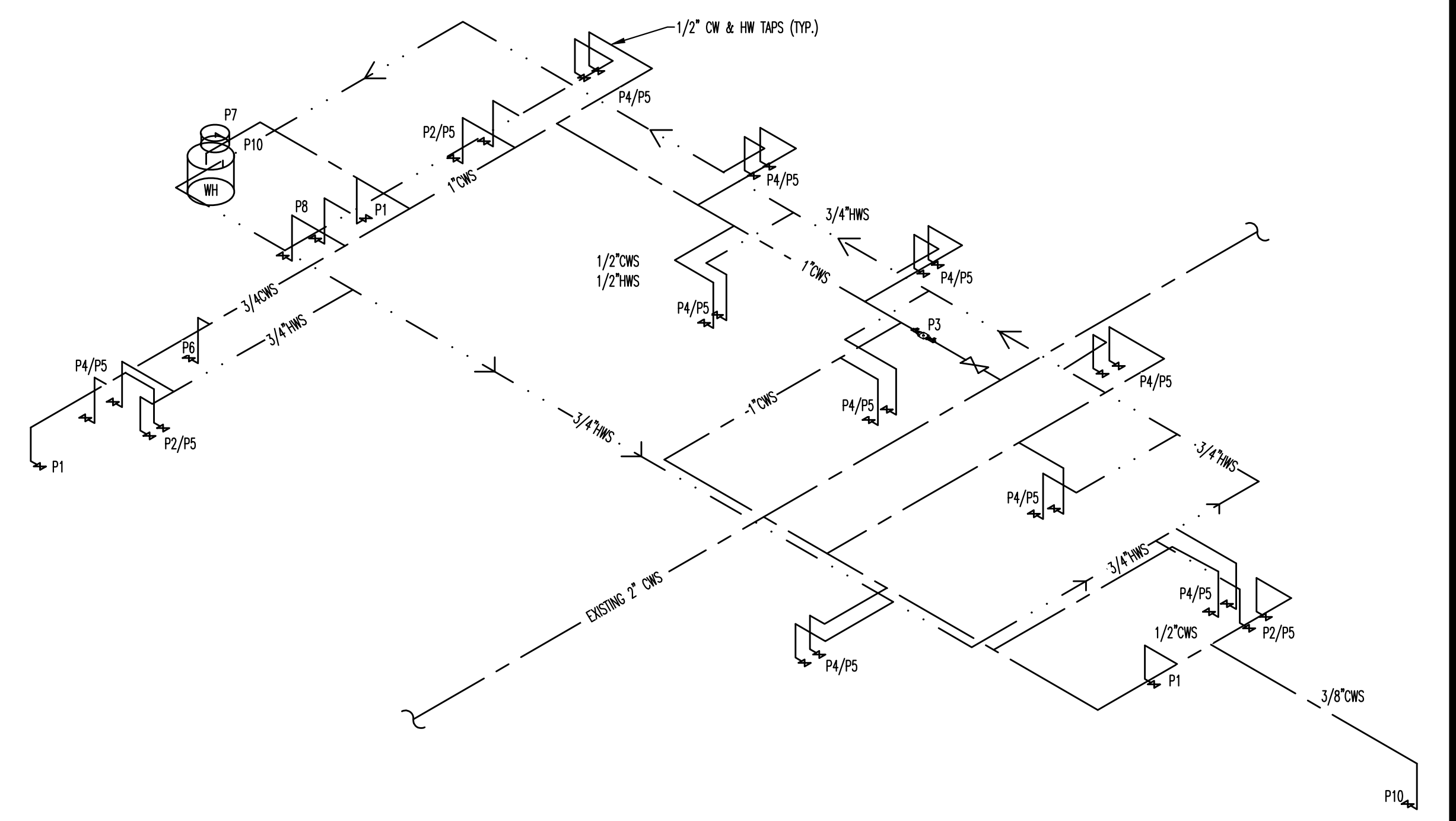


WASHING MACHINE VENTING DETAIL - NOT TO SCALE | 2



ALL VENTS MUST RISE AT LEAST 6\"/>

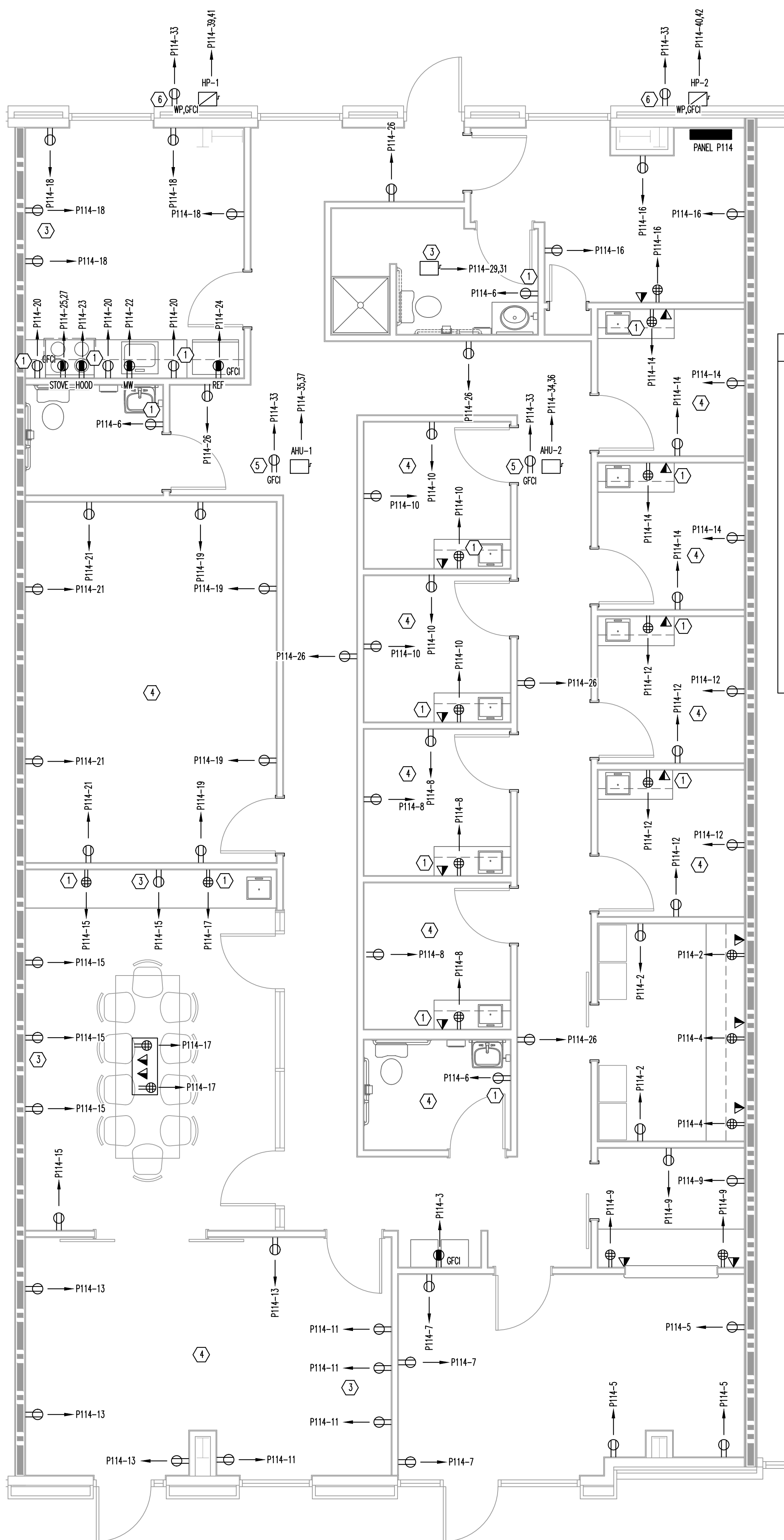
WASTE RISER - NO SCALE | 3



SUPPLY RISER - NO SCALE | 4





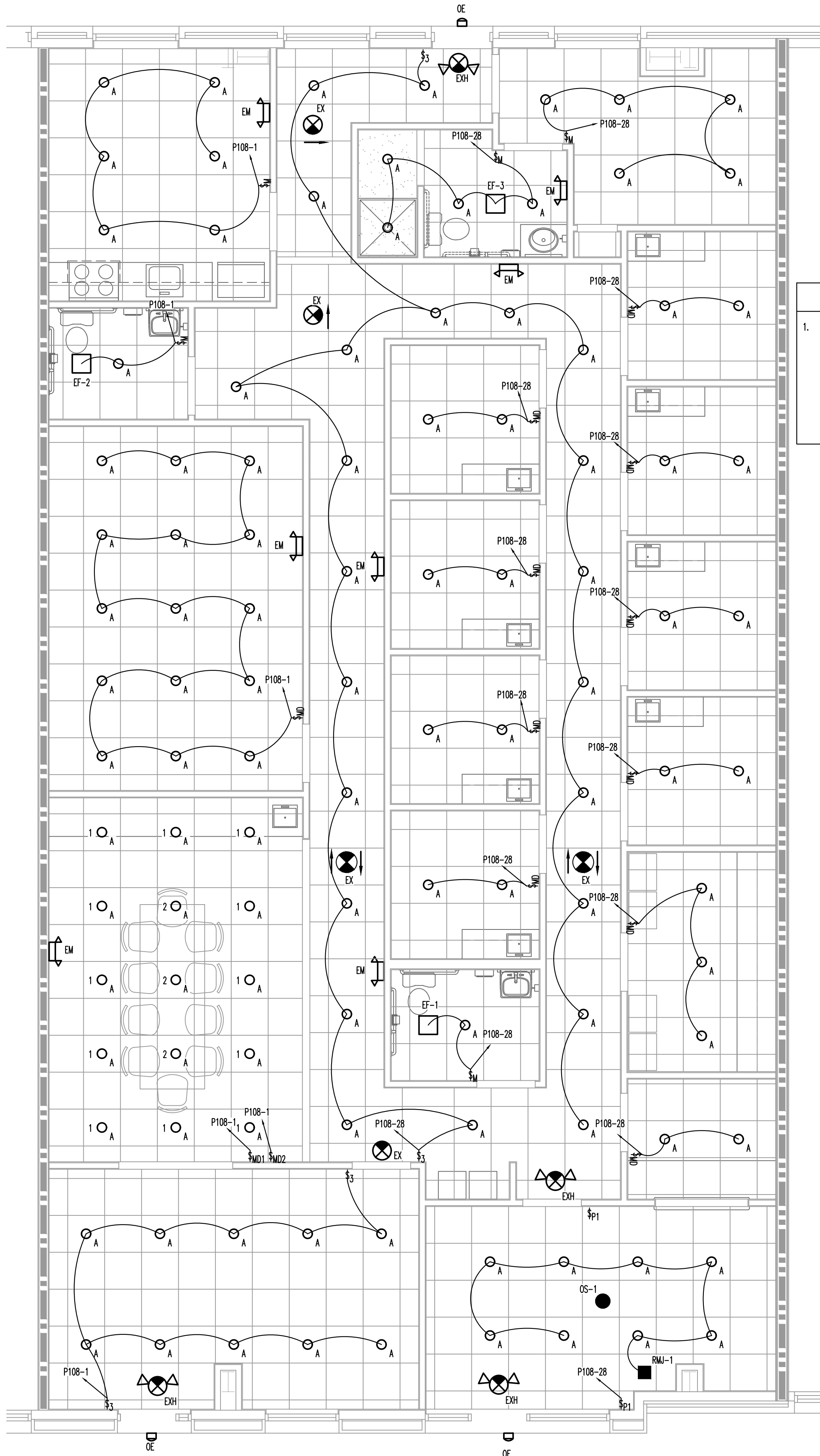


**RATED WALL LEGEND**

2 HOUR RATED WALL: [Dashed Line]

3 HOUR RATED WALL: [Thick Dashed Line]

- POWER PLAN HEX NOTES**
1. MOUNT GFCI RECEPTACLE AT 48" A.F.F.
  2. MOUNT RECEPTACLE AND DATA JACK AT 78" A.F.F. FOR TV.
  3. DISCONNECT FOR TANK TYPE WATER HEATER LOCATED ABOVE CEILING WITH WATER HEATER.
  4. ALL WIRING IN THIS ROOM SHALL COMPLY WITH 2020 NEC 517.13.
  5. DISCONNECT FOR AHU-1 AND GFCI SERVICE RECEPTACLE LOCATED ABOVE CEILING.
  6. DISCONNECT FOR HP-1 AND WP GFCI SERVICE RECEPTACLE AND LOCATION DESIGNATED FOR THIS SUITE'S OUTDOOR UNIT.



- LIGHTING PLAN NOTES**
1. VERIFY SWITCH CONFIGURATION WITH TENANT PRIOR TO ROUGH-IN

POWER PLAN - SCALE - 1/4" = 1'-0" | 1

LIGHTING PLAN - SCALE - 1/4" = 1'-0" | 2

REVISION:

ISSUED:

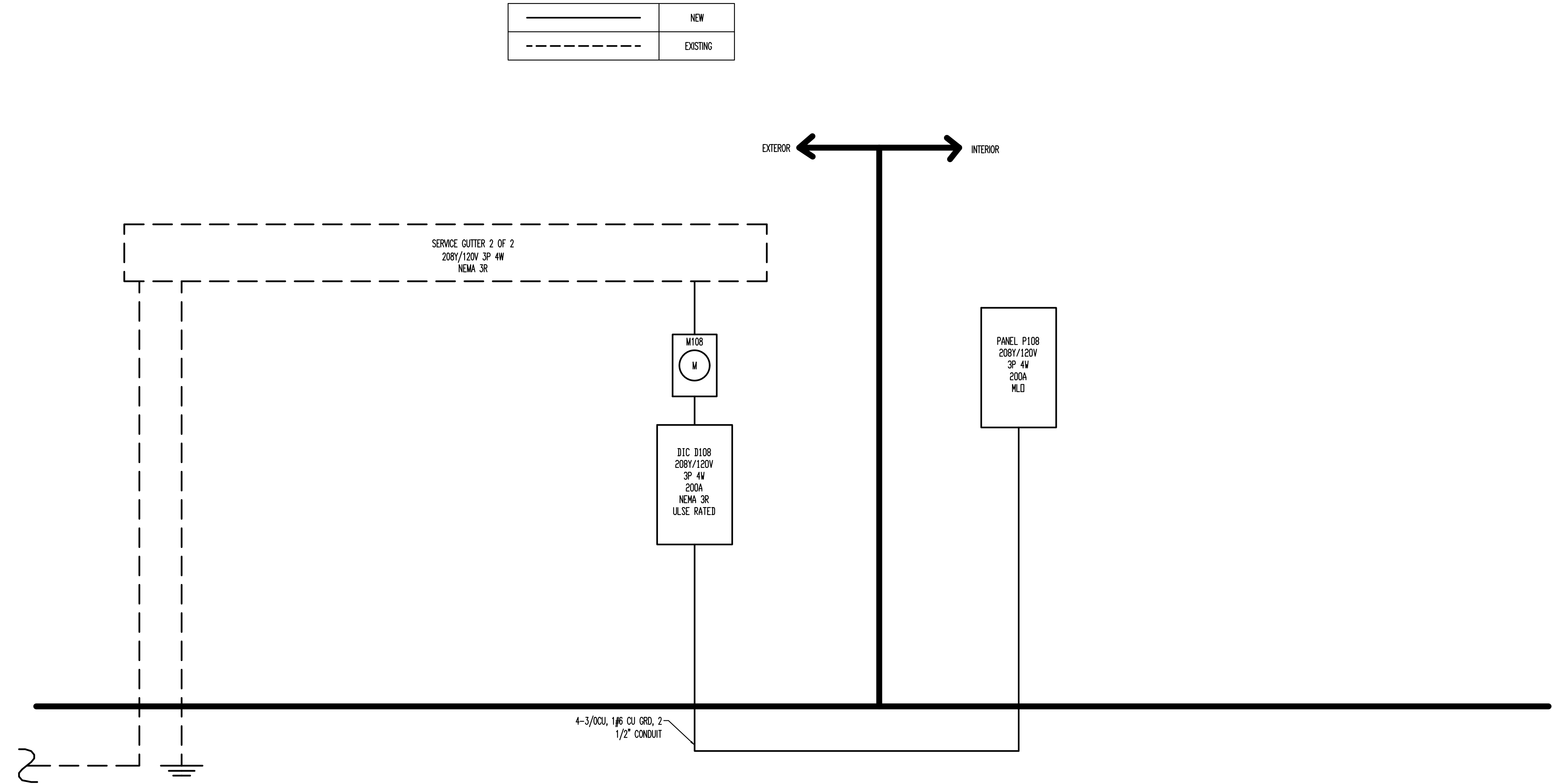
DRAWN BY: CLS  
 CHECKED BY: JLM  
**POWER & LIGHTING PLANS**

SHEET NO.  
**E2**  
 PROJECT NO: 230047

PANEL P108								
CXT	LOAD	BKR	LOAD			BKR	LOAD	CXT
			KVA	PH	KVA			
1	108 LIGHTS	20/1	1.09	A	0.72	20/1	REC-BUSINESS	2
3	WATER COOLER	20/1	0.18	B	0.72	20/1	REC-BUSINESS	4
5	REC- RECEPTION AREA	20/1	0.54	C	0.72	20/1	REC-UNI-SEX TOILET	6
7	REC- RECEPTION AREA	20/1	0.54	A	1.44	20/1	REC-108, 110 THERAPY	8
9	REC- RECEPTION OFFICE	20/1	1.08	B	1.44	20/1	REC-112, 114 THERAPY	10
11	REC-YOGAROOM	20/1	0.72	C	1.44	20/1	REC-109, 111 THERAPY	12
13	REC-YOGAROOM	20/1	0.72	A	1.44	20/1	REC-113, 115 THERAPY	14
15	REC-CONFERENCE	20/1	1.26	B	0.90	20/1	REC-OFFICE	16
17	REC-CONFERENCE	20/1	0.08	C	0.90	20/1	REC-BREAK ROOM	18
19	REC-LIFESKILLS ROOM	20/1	0.72	A	0.54	20/1	REC-BREAK ROOM	20
21	REC-LIFESKILLS ROOM	20/1	0.72	B	0.18	20/1	MW-BREAK ROOM	22
23	HOOD	20/1	0.18	C	1.00	20/1	REFRIGERATOR	24
25	RANGE	50/2	4.16	A	1.26	20/1	REC-HALL	26
27	RANGE	50/2	4.16	B	1.02	20/1	108 LIGHTS	28
29	WATER HEATER-TANK TYPE	25/2	2.81	C	0.00	-	SPACE	30
31	WATER HEATER-TANK TYPE	25/2	2.81	A	0.00	-	SPACE	32
33	REC-HVAC SERVICE	20/1	0.72	B	3.19	30/2	AHU-2	34
35	AHU-1	30/2	3.19	C	3.19	-	SPACE	36
37	AHU-1	30/2	3.19	A	0.00	-	SPACE	38
39	HP-1	50/2	2.71	B	2.71	50/2	HP-2	40
41	HP-1	50/2	2.71	C	2.71	-	-	42
			KVA	PH	AMPS			
			18.6	A	155			
			21.0	B	175			
			20.2	C	168			
VOLTAGE/PHASE		208Y/120V, 3P, 4W						
BUS RATING		200A						
MAIN CIRCUIT BREAKER RATING		MLD						
AIC RATING		22K						
SERVICE ENTRANCE RATED		ND						
ENCLOSURE		NEMA 1						
MOUNTING		RECESSED						

NEC ELECTRIC DEMAND SUMMARY 208Y/120V, 3P, 4W							
EQUIPMENT	DEMAND FACTOR	KVA			LOAD KVA	NEC REFERENCE	NOTES/CALCULATIONS
		A	B	C			
LIGHTING	125%	1.55	1.55	1.55	4.65	220.12	2900 SF X 1.6 VA/SF
RECEPTACLES < 10 KVA	100%	7.40	7.2	5.4	20.00	220.44	
RECEPTACLES > 10 KVA	50%	0.00	0.00	0.00	0.00	220.44	
HVAC	100%	6.40	5.40	11.80	23.60	--	BASED ON MCA
WATER HEATER	125%	2.81	0.00	2.81	5.62	422.13	STORAGE TANK <120 GAL @ 125%
EQUIPMENT	100%	4.20	4.2	0.20	8.60	--	BASED ON MCA
DEMAND KVA PER PHASE		22.36	18.35	21.76			
DEMAND AMPS PER PHASE		186	153	181			

THE CALCULATED LIGHTING LOAD EXCEEDS THE CONNECTED LIGHTING LOAD.



	NEW
	EXISTING