

*Each section below must be filled out by whoever is performing the work. Must be owner or licensed contractor. Address, company name & phone must match information on state license.

Application # _____

Harnett County Central Permitting

420 McKinney Pkwy Lillington, NC 27546

PO Box 65 Lillington, NC 27546

910-893-7525 ext. 1 Fax 910-893-2793 www.harnett.org/permits

COMMERCIAL

Application for Building and Trades Permit

Owner's Name: University Storage, LLC Date: 2/27/2023

Site Address: 305 Masonic Road, Erwin, NC Phone: (910) 890-3256

Directions to job site from Lillington: Take Hwy. 421 from Lillington to Erwin.

Turn right on Masonic Rd. 305 Masonic Rd. is on the corner of Masonic Rd. and Hwy. 421

Subdivision: N/A Lot: _____

Description of Proposed Work: Construction of self storage facility

Heated SF _____ Unheated SF _____

General Contractor Information: Building Cost \$ 797,935.⁰⁰

Barefoot Building Company, LLC

(910) 890-3256

Building Contractor's Company Name

Telephone

P.O. Box 1411, Coats, NC

wrbarefoot@yahoo.com

Address

Email Address

[Signature]

81627

Signature of Owner/Contractor/Officer(s) of Corporation

License #

Electrical Contractor Information: Electrical Cost \$ 60,744.⁰⁰

Description of Work installation of electrical Service Size: 200 Amps #T-Poles _____

Reliant Electric and Power System

(919) 632-6963

Electrical Contractor's Company Name

Telephone

222 Normandy Drive, Clayton, NC

Email Address

Address

295884

Signature of Owner/Contractor/Officer(s) of Corporation

License #

Mechanical Contractor Information: Mechanical Cost \$ 40,714.⁰⁰

Description of Work installation of HVAC system # Units 4

J&M Heatly & Air Condition Co., Inc.

(910) 897-5501

Mechanical Contractor's Company Name

Telephone

724 Turlington Road, Dunn, NC 28334

jandmhvac@centurylink.net

Address

Email Address

[Signature]

L-17164

Signature of Owner/Contractor/Officer(s) of Corporation

License #

Plumbing Contractor Information: Plumbing Cost \$ _____

Description of Work ~~installation of plumbing system~~ # Baths _____

Plumbing Contractor's Company Name

Telephone

Address

Email Address

Signature of Owner/Contractor/Officer(s) of Corporation

License #

Insulation Contractor Information

* installed by erector / manufacturer

Insulation Contractor's Company Name & Address

Telephone

*NOTE: General Contractor must fill out and sign the second page of this application

Sprinkler Contractor Information

Sprinkler Contractor's Company Name _____ Telephone _____
Address _____ Email Address _____
Signature of Officer(s) of Corporation _____ License # _____

Fire Alarm Contractor Information

Fire Alarm Contractor's Company Name _____ Telephone _____
Address _____ Email Address _____
Signature of Officer(s) of Corporation _____ License # _____

Driveway Access - NC Department of Transportation Driveway Access/Permit? ____ Yes ____ No

I hereby certify that I have the authority to make necessary application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes, and the Harnett County Zoning Ordinance. I state the information on the above contractors is correct as known to me and if **any** changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of any and all changes.

Expired Permit Fees - 6 months to 2 years permit re-issue fee is \$150.00. After 2 years re-issue fee is charged at full price per current fee schedule.

Val R Bl
Signature of Owner/Contractor/Officer(s) of Corporation

2/27/2023
Date

Affidavit for Worker's Compensation N.C.G.S. 87-14

The undersigned applicant being the:

General Contractor Owner Officer/Agent of the Contractor or Owner

Do hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:

Has three (3) or more employees and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) who has their own policy of workers' compensation insurance covering themselves.

Has no more than two (2) employees and no subcontractors.

While working on the project for which this permit is sought it is understood that the Central Permitting Department issuing the permit may require certificates of coverage of worker's compensation insurance prior to issuance of the permit and at any time during the permitted work from any person, firm or corporation carrying out the work.

Company or Name: Barefoot Building Company, LLC

Sign w/Title: Val R Bl, Member/Manager Date: 2/27/2023



Initial Application Date: _____

Application # _____

DRB # _____ CU # _____

**COMMERCIAL
COUNTY OF HARNETT LAND USE APPLICATION**

Central Permitting (Physical) 420 McKinney Pkwy, Lillington, NC 27546 (Mailing) PO Box 65 Lillington NC 27546 Phone: (910) 893-7525 opt # 1 Fax: (910) 893-2793 www.harnett.org/permits

LANDOWNER: University Storage, LLC Mailing Address: 105 Sommerville Park Rd., Raleigh, NC

City: Raleigh State: NC Zip: 27603 Contact # 910-890-3256 Email: wrbarefoot@yahoo.com

APPLICANT*: Barefoot Building Company, LLC Mailing Address: PO Box 1411

City: Coats State: NC Zip: 27521 Contact # (910) 890-3256 Email: wrbarefoot@yahoo.com

*Please fill out applicant information if different than landowner
CONTACT NAME APPLYING IN OFFICE: Robert Barefoot Phone # (910) 890-3256

Address: 305 Masonic Rd., Erwin, NC PIN: 1507-14-3421,000

Zoning: _____ Watershed: _____ Flood: _____ Deed Book Page: _____ / _____

Setbacks – Front: _____ Back: _____ Side: _____ Corner: _____

PROPOSED USE:

Multi-Family Dwelling No. Units: _____ No. Bedrooms/Unit: _____

Business Sq. Ft. Retail Space: 22,000 sq ft self-storage # Employees: 1 (managed off-site from our office in Coats, 6am-10pm)
Hours of Operation: _____

Daycare # Preschoolers: _____ # Afterschoolers: _____ # Employees: _____ Hours of Operation: _____

Industry Sq. Ft: _____ Type: _____ # Employees: _____ Hours of Operation: _____

Church Seating Capacity: _____ # Bathrooms: _____ Kitchen: _____

Accessory/Additional Other (Size _____ x _____) Use: _____

Water Supply: County _____ Existing Well _____ New Well (# of dwellings using well _____) *Must have operable water before final
(Need to Complete New Well Application at the same time as New Tank)

Sewage Supply: _____ New Septic Tank _____ Expansion _____ Relocation _____ Existing Septic Tank County Sewer
(Complete Environmental Health Checklist on other side of application if Septic)

Comments: _____

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

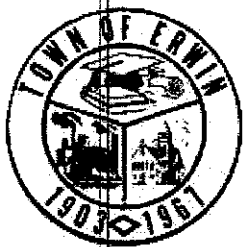
[Signature]
Signature of Owner or Owner's Agent

2/21/2023
Date

This application expires 6 months from the initial date if permits have not been issued

RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION

It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.



TOWN OF ERWIN

P.O. Box 459 · Erwin, NC 28339
Ph: 910-897-5140 · Fax: 910-897-5543
www.erwin-nc.org

Mayor
Randy L. Baker
Mayor Pro Tem
Ricky W. Blackmon
Commissioners
Alvester L. McKoy
Timothy D. Marbell
Charles L. Byrd
David L. Nelson
William R. Turnage

Memo to: Robert Barefoot, Owner University Storage, and LLC.

From: Snow Bowden, Town Manager

Subject: University Storage Expansion Plans

Date: 12/14/2022

Please accept this correspondence from the Town of Erwin as a verification of approval for your plans to build an additional one story climate controlled building for self-storage on the vacant parcel that is adjacent to you existing self-storage facility located at 303 Masonic Road. The vacant parcel the new building is on does not have an address but it can be identified by its Harnett County Tax PIN #1507-14-3421.000

Please submit all required documents to Harnett County Development services to obtain all required permits. The Harnett County Fire Marshall's Office will handle your fire inspections. You will need to submit a sign permit for the proposed sign on the new building separately.

All new construction on this site needs to be completed as proposed on the plans submitted to the Town of Erwin including your site plan, (land) grading plan, and landscaping plan.

I am looking forward to seeing the expansion at your existing business in Erwin. I believe that is will be an improvement to this vacant parcel and a great addition to the Town of Erwin. If you need any additional information from me please let me know. I can be reached by email at townmanager@erwin-nc.org or by phone at 910-591-4200.

Regards,

Snow Bowden
Town Manager



Town of Erwin
Zoning Application & Permit
Planning & Inspections Department

Permit #

Rev Sep 2014

Each application should be submitted with an attached plot/site plan with the proposed use/structure showing lot shape, existing and proposed buildings, parking and loading areas, access drives and front, rear, and side yard dimensions.

Name of Applicant	University Storage, LLC	Property Owner	University Storage, LLC
Home Address	165 Sommersville Park Rd.	Home Address	165 Sommersville Park Rd.
City, State, Zip	Raleigh, NC 27603	City, State, Zip	Raleigh, NC 27603
Telephone	910-890-3256	Telephone	910-890-3256
Email	wrbarefoot@yahoo.com	Email	wrbarefoot@yahoo.com

Address of Proposed Property	305 Masonic Rd., Erwin, NC 28339		
Parcel Identification Number(s) (PIN)	1507-14-3421-000	Estimated Project Cost	\$1,193,064.51
What is the applicant requesting to build / what is the proposed use of the subject property? Be specific.	One story climate controlled building for self storage.		
Description of any proposed improvements to the building or property	N/A		
What was the Previous Use of the subject property?	Vacant lot		
Does the Property Access DOT road?	No		
Number of dwelling/structures on the property already	0	Property/Parcel size	1.22 acres
Floodplain SEHA	Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/>	Watershed	Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/>
Wetlands	Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/>		
MUST circle one that applies to property	Existing/Proposed Septic System <input type="checkbox"/> Or Existing/Proposed County/City Sewer <input checked="" type="checkbox"/>		

Owner/Applicant Must Read and Sign

The undersigned property owner, or duly authorized agent/representative thereof certifies that this application and the forgoing answers, statements, and other information herewith submitted are in all respects true and correct to the best of their knowledge and belief. The undersigning party understands that any incorrect information submitted may result in the revocation of this application. Upon issuance of this permit, the undersigning party agrees to conform to all applicable town ordinances, zoning regulations, and the laws of the State of North Carolina regulating such work and to the specifications of plans herein submitted. The undersigning party authorizes the Town of Erwin to review this request and conduct a site inspection to ensure compliance to this application as approved.

Print Name	Robert Barefoot	Signature of Owner or Representative	<i>[Signature]</i>	Date	10/21/2022
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For Office Use

Zoning District	B2	Existing Nonconforming Uses or Features	
Front Yard Setback	20	Other Permits Required	Conditional Use <input type="checkbox"/> Building <input type="checkbox"/> Fire Marshal <input checked="" type="checkbox"/> Other <input type="checkbox"/>
Side Yard Setback		Requires Town Zoning Inspection(s)	X Foundation <input type="checkbox"/> Prior to C. of O. <input type="checkbox"/>
Rear Yard Setback	20	Zoning Permit Status	X Approved <input type="checkbox"/> Denied <input type="checkbox"/>
		Fee Paid:	100
		Date Paid:	12/15/22
		Staff Initials:	VB

Comments	New Construction -> expansion of existing Storage Unit facility
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Signature of Town Representative:	<i>[Signature]</i>	Date Approved/Denied:	12/14/2022
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PAID

DEC 15 2022

CHK 1084

TOWN OF ERWIN

- please obtain permits for Harvest Court Development series 910-893-7525

- Sign our new signs will require a sign permit from the Town of Erwin

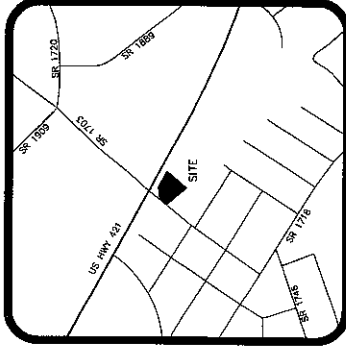
PRELIMINARY SITE PLANS FOR:
UNIVERSITY STORAGE LLC
ERWIN SELF-STORAGE BUILDING

MASONIC RD.
 DUKE TOWNSHIP
 HARNETT COUNTY
 NORTH CAROLINA

OWNER / DEVELOPER:
 T&L COATS, LLC
 165 SOMMERSVILLE PARK RD.
 RALEIGH, NC 27603

SHEET INDEX

S-1	COVER
S-2	PRELIMINARY SITE PLAN
S-3	GRADING PLAN
S-4	LANDSCAPE PLAN
S-5	STORMWATER PLAN



Enoch
 Engineers, P.A.
 CONSULTING ENGINEERS & SURVEYORS
 1000 UNIVERSITY DRIVE, SUITE 100
 RALEIGH, NC 27603
 P: 919.747.7474 FAX: 919.747.7475
 E: info@enochengineers.com
 NC License # 042004

DESIGNED BY:

DATE: **November 18, 2021**

PROJECT NO.: 5145

REVISED:



As the owner of record, I hereby formally consent to the proposed development shown on the site plan and all regulations and requirements of the Harnett County ordinances.

Sign _____ Date _____

LOCATION	105 WILSON RD EMERY NORTH CAROLINA 27538
PROJECT	1575 METAL STORAGE- AGRICULTURAL LOCATION
DATE	06/15/07
SCALE	1" = 40'
DESIGNER	ROBINSON AND PLANTE, P.C.
PREPARED BY	EMERY, JR.
DATE	06/15/07
VERTICAL SCALE	1" = 4'
HORIZONTAL SCALE	1" = 40'

EDWARD E. MILLER, SR.
PIN: 1507-14-7076
DEED BOOK 3594 PG 394
PLAT BOOK 2013 PG 201
ZONED: B2

US HWY 421
SR 1720
SR 1720
SR 1720
SR 1720

SITE VICINITY NTS

1" = 40'

GRAPHIC SCALE
1" = 40' FT

INSET (NTS)

AREA OF PROPERTY DISPUTE (AS SHOWN IN INSET)

PROPOSED NEW BUILD AREA

PROPOSED NEW PARCEL BOUNDARY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

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UNIVERSITY STORAGE LLC
165 SOMMERVILLE PARK RD.
RALEIGH, NC 27603-4757
ROBERT BAREFOOT (910)-890-3255
rwbarefoot@vtdoo.com
PIN: 1507-14-3421
PID: 061507 0295
DEED BOOK 4017 PAGE 319
ZONED: B2

LAND USE: HIGHWAY BUSINESS

AREA: 1.281 ACRES/55,801 SQFT (EXCLUDES AREA BETWEEN
DEEDED PROPERTY LINE AND MASONIC ROADWAY)

ADJACENT OWNED PROPERTY:
PIN: 1507-14-0199
PID: 061507 0296
PLAT BOOK 7 PAGE 12 (LOTS 67-70)
AREA: 1.008 ACRES/43,925 SQFT

CLIMATE CONTROL SYSTEM TO BE PLACED ON ROOF
NO WATER OR SEWER TO SITE

SITE IS LOCATED WITHIN 1 MILE OF AGRICULTURAL DISTRICT
WATERSHED DISTRICT: LOWER BLACK RIVER
FLOOD PLAIN MAP 3720150600J EFFECTIVE 10/3/2006
FLOOD ZONE: ZONE X

SURVEY CONDUCTED BY ROBINSON AND PLANTE, P.C.

DEED BOOK 3217 PG 396
PLAT BOOK 7 PG 12
ZONED: B2

FUNERAL HOME
NORMAN L. DUKIN AND
BONNIE L. DUKIN
PIN: 1507-14-2077
DEED BOOK 3217 PG 396
PLAT BOOK 7 PG 12
ZONED: B2

PROPOSED BUILDING FOOTPRINT
BUILDING AREA: 30,247.96 SQFT
FINAL GRADE ELEVATION: 150.687
TOTAL DISTURBED AREA:
0.972 ACRES

PRELIMINARY NOT FOR CONSTRUCTION

AREA BETWEEN DEEDED PROPERTY LINE AND
MASONIC ROADWAY = 0.028 ACRES/1218 SQFT

NOTES:
1. THIS IS A PRELIMINARY SITE PLAN.
2. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
3. SEE ALL NOTES ON SHEET 1507-14-0199.

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UNIVERSITY STORAGE LLC
165 SOMMERVILLE PARK RD.
RALEIGH, NC 27603-4757
ROBERT BAREFOOT (910)-890-3255
rwbarefoot@vtdoo.com
PIN: 1507-14-3421
PID: 061507 0295
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NORMAN L. DUKIN AND
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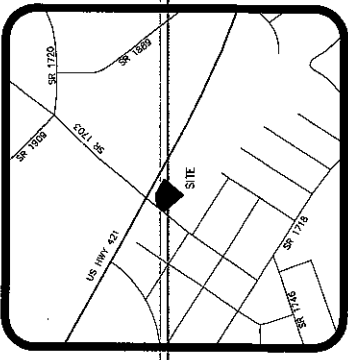
EXISTING DRIVEWAY

EXISTING DRIVEWAY

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EXISTING DRIVEWAY

EXISTING DRIVEWAY



SITE VICINITY
NTS

BUFFER LENGTH: ~583' 8 SHRUBS, 1 TREE PER 40'

* - SHRUBS - 177
 (R) - SHADE TREES - 5
 (C) - SHADY/ORNAMENTAL TREES - 19
 --- WETLAND

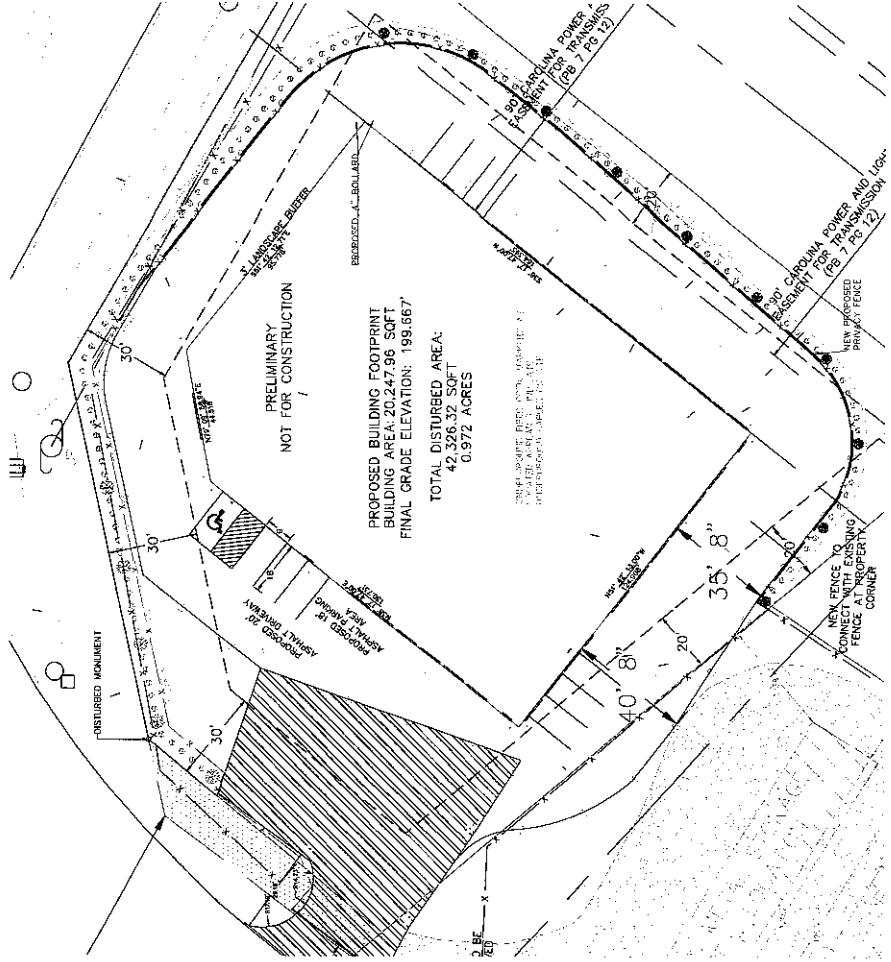
NO EXISTING TREES OR SHRUBS TO BE PRESERVED. GRASS WILL BE PRESERVED AS POSSIBLE BY MINIMIZING THE DISTURBED AREA. TREES ADJACENT TO THE RIGHT-OF-WAY MUST BE SHADE TREES. TREES NOT ADJACENT TO THE RIGHT-OF-WAY CAN BE SHADE OR ORNAMENTAL TREES

ORNAMENTAL TREES CAN BE SUBSTITUTED FOR SHADE TREES AT 1:1 RATIO WHEN PLANTING NEAR OVERHEAD UTILITY WIRES

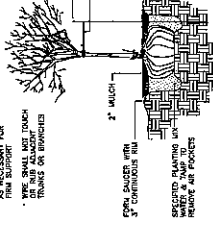
SHRUBS MUST BE EVERGREEN AND HAVE A MINIMUM HEIGHT OF 3' AND VOLUME OF 3 GALLONS WHEN PLANTING

SHADE TREE - DECIDUOUS/LEAF BEARING, IN EXCESS OF 40' WHEN FULLY MATURED, 2" CALIPER OR 8' HEIGHT WHEN PLANTING ORNAMENTAL TREE - DECIDUOUS/EVERGREEN, ORNAMENTAL PATTERN, LESS THAN 40' WHEN FULLY MATURED, 1.5" CALIPER OR 6' HEIGHT WHEN PLANTING

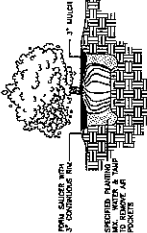
EXACT PLANT SPECIES WILL BE LEFT TO OWNER DISCRETION. RECOMMENDED PLANTS BY TYPE CAN BE FOUND IN CITY OF ERWIN CODE OF ORDINANCE ARTICLE XV SECTION 36-436 PART 18



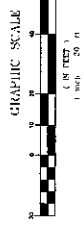
NOTE:
 * STAKE TO FIRST BRANCHES
 * STAKE TO TOP OF TRUNK FOR TREE PLANTING
 * WIRE SHALL NOT TOUCH TRUNK OR BRANCHES



TREE PLANTING
SCALE: NOT TO SCALE



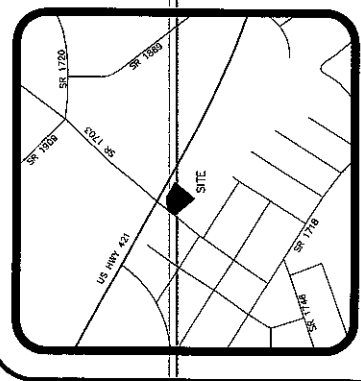
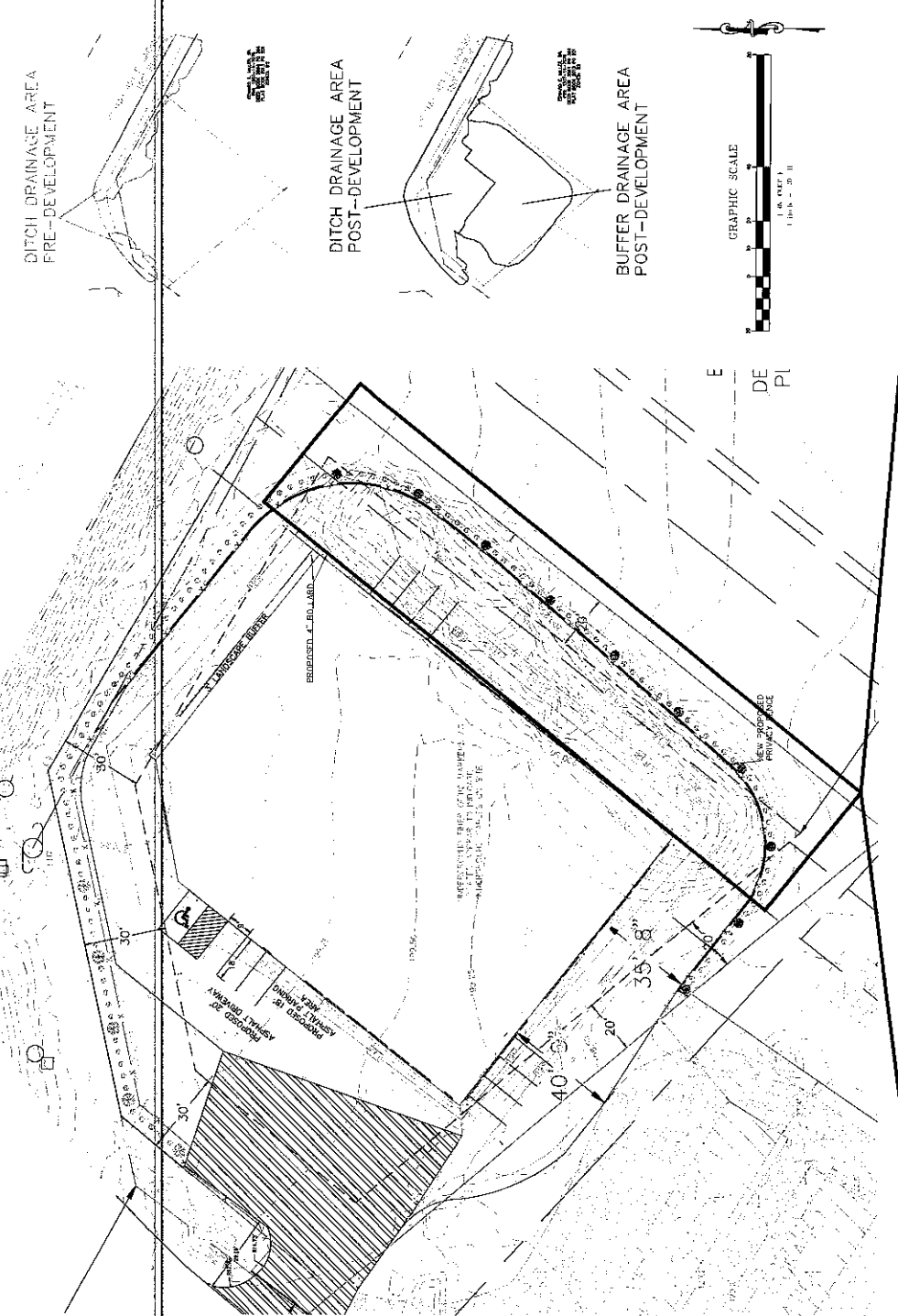
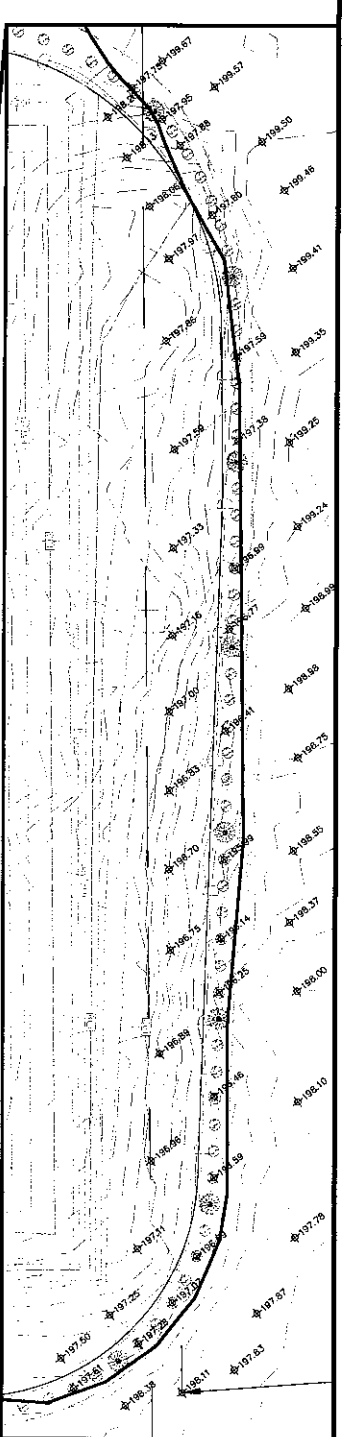
SHRUB PLANTING
SCALE: NOT TO SCALE



CAUTION

N.C. UNDERGROUND UTILITIES
 BEFORE YOU DIG... CALL 811
 1-800-4-A-UTILITY
 1-800-4-4-UTILITY
 1-800-4-4-UTILITY

- LANDSCAPING NOTES
1. Exact location of underground utilities shall be verified by the field by the Contractor.
 2. Shrub planting and tree planting shall be done in accordance with the specifications in the City of Erwin Code of Ordinance, Article XV, Section 36-436 Part 18.
 3. By the Contractor. Any trees determined to be the species and grade of proposed plant.
 4. Plant material shall be planted so as to have the same relationship to grade as in the field.
 5. Main or disturbed area with a minimum of 3 inch deep layer of levelized pine bark mulch.
 6. Shrub plants or trees shall be planted in accordance with the specifications in the City of Erwin Code of Ordinance, Article XV, Section 36-436 Part 18.
 7. Water, fertilizer, irrigation and other care, at right angles to the main stem, shall be given to all plants when on the job.
 8. The Contractor shall be responsible for the maintenance of the site and vicinity. Contractor is responsible for all plants when on the job.



SITE VICINITY
 NTS

PREPARED BY: [Name]
 DRAWING NO.: [Number]
 DATE: [Date]
 SCALE: [Scale]
 PROJECT: [Project Name]

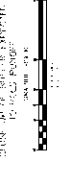
NOTE: ALL DIMENSIONS ARE AS SHOWN UNLESS OTHERWISE NOTED.
 STORMWATER INFLOW: [Value]
 STORMWATER OUTFLOW: [Value]
 STORMWATER STORAGE: [Value]

1. DRAINAGE AREA: [Value]
 2. DRAINAGE COEFFICIENT: [Value]
 3. TIME OF CONCENTRATION: [Value]
 4. PEAK FLOW RATE: [Value]

5. DRAINAGE CANALS: [Value]
 6. DRAINAGE STRUCTURES: [Value]
 7. DRAINAGE INFRASTRUCTURE: [Value]

8. DRAINAGE INFRASTRUCTURE: [Value]
 9. DRAINAGE INFRASTRUCTURE: [Value]
 10. DRAINAGE INFRASTRUCTURE: [Value]

11. DRAINAGE INFRASTRUCTURE: [Value]
 12. DRAINAGE INFRASTRUCTURE: [Value]
 13. DRAINAGE INFRASTRUCTURE: [Value]



DATE: [Date]
 TIME: [Time]