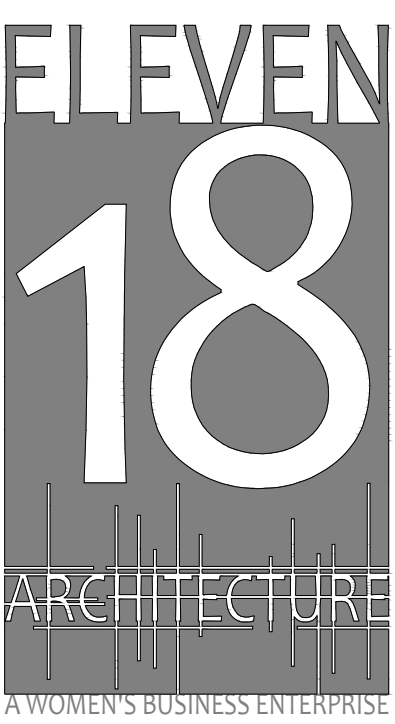




20 JUNE, 2023



Matthew A. Conte, AIA  
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PROJECT CLIENT:  
**CAROLINA COMMERCIAL CONTRACTORS**

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#	DATE	DESC.
--		PERMIT SUBMITTAL
1	1/20/23	REV01
2	3/13/23	REV02
4	4/11/23	REV04
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6	6/20/23	REV06

## CODE REVIEW

	PLUMBING FIXTURE CALCULATIONS						PLUMBING FIXTURE CALCULATIONS					
	MALE			FEMALE			MALE			FEMALE		
	WATER CLOSET	LAVATORY		WATER CLOSET	LAVATORY		WATER CLOSET	LAVATORY		WATER CLOSET	LAVATORY	
	FACTOR	REQ'D	PROV'D	FACTOR	REQ'D	PROV'D	FACTOR	REQ'D	PROV'D	FACTOR	REQ'D	PROV'D
BUSINESS 6	1/25	.08		1/40	.2		1/25	.08		1/40	.2	
ASSEMBLY 191	1/75	2.5		1/200	.95		1/75	2.5		1/200	.95	
STORAGE 3	1/100	.03		1/100	.03		1/100	.03		1/100	.03	
STIT. 1-2 PATIENTS 33	1 PER ROOM		26	1 PER ROOM		26	1 PER ROOM		27	1 PER ROOM		27
INSTIT. 1-2 EMPLOYEES 5	1/25	0.2	3	1/35	.14	3	1/25	0.2	3	1/35	.14	3
INSTIT. 1-2 VISITORS 5	1/75	.07	2	1/100	.05	2	1/75	.07	2	1/100	.05	2
<b>TOTAL</b>			<b>8 31</b>			<b>6 31</b>			<b>8 32</b>			<b>6 32</b>

REQ'D	PROV'D	MOP SINK		DRINKING FOUNTAINS	
		1	2	1/100 BUSINESS OCCUPANTS	1/100 ASSEMBLY OCCUPANTS
				= .03	1
				= 0.35	1
				1	2

ALL WALL, FLOOR AND CEILING FINISHES SHALL COMPLY WITH NFPA 101 SECTION 10.2.  
 REQUIRED FIRE-RESISTANCE FOR BUILDING ELEMENTS (NCSBC TABLE 601)  
 STRUCTURAL FRAME - 1 HOURS (UL DESIGN NO. X528 or Y616) **4**  
 BEARING WALLS (INTERIOR) - 1 HOURS (UL DESIGN NO. U305) **4**  
 BEARING WALLS (EXTERIOR) - 1 HOURS (UL DESIGN NO. U356) **4**  
 WALLS BETWEEN SLEEPING ROOMS - 0 HOUR  
 NONBEARING WALLS (INTERIOR) - 0 HOURS  
 NONBEARING WALLS (EXTERIOR) - 0 HOURS  
 FLOOR CONSTRUCTION - 1 HOURS  
 ROOF CONSTRUCTION - 1 HOURS (UL DESIGN NO. P522) **2**

**PROJECT NARRATIVE**  
 THIS WORK IS FOR A NEW ASSISTED LIVING BUILDING OF APPROXIMATELY 33,184 GSF. THE PROPOSED USE IS AN INSTITUTIONAL OCCUPANCY, WHICH IS CONSISTENT WITH THE ZONING OF THE PROPERTY, NURSING CARE HOMES/ INTERMEDIATE CARE HOMES, AS AN ALLOWABLE USE IN PU-MU.

THE PROPOSED SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO, CONCRETE SLAB-ON-GRADE, INTERIOR WOOD FRAMED NON-BEARING PARTITIONS, NEW RESTROOMS, NEW FINISHES INCLUDING LAY-IN ACOUSTIC CEILING, GYPSUM CEILING, MILLWORK, NEW KITCHEN EQUIPMENT, NEW ELECTRICAL FIXTURES AND NEW ELECTRICAL PANEL, AND MECHANICAL AND PLUMBING SYSTEMS.

**REFERENCED CODES**  
 NORTH CAROLINA STATE BUILDING CODE (NCSBC) (2018)  
 NORTH CAROLINA STATE PLUMBING CODE (2018)  
 NORTH CAROLINA STATE FUEL GAS CODE (2018)  
 NORTH CAROLINA STATE MECHANICAL CODE (2018)  
 NORTH CAROLINA STATE ELECTRICAL CODE (2020)  
 NORTH CAROLINA STATE ENERGY CONSERVATION CODE (2018)  
 NORTH CAROLINA STATE FIRE PREVENTION CODE (2018)  
 NATIONAL FIRE PROTECTION ASSOCIATION - NFPA 1 FIRE CODE - 2015  
 NATIONAL FIRE PROTECTION ASSOCIATION - NFPA 101 LIFE SAFETY

**CODE ANALYSIS**  
 PARCEL ID: 05104016E  
 ZONING CLASSIFICATION: PD-MU - PLANNED DEVELOPMENT MIXED USE.  
 OCCUPANCY CLASSIFICATION: I-2 INSTITUTIONAL  
 CONSTRUCTION TYPE: TYPE V-A SPRINKLERED  
 BUILDING AREA: 33,184 GSF (MAX ALLOWABLE PER NCSBC TABLE 506.2 = 38,000 SF PER FLOOR)  
 MAX ALLOWABLE AREA FOR SINGLE STORY TYPE V-A SPRINKLERED & I-2 OCCUPANCY: 38,000 SF.  
 BUILDING HEIGHT: 23'-1" TO HIGHEST POINT (MAX ALLOWABLE HEIGHT PER NCSBC TABLE 504.3 = 50'-0")  
 BUILDING STORIES ABOVE GRADE PLANE: I-2 SPRINKLERED: 1 STORY (MAX ALLOWABLE STORIES PER NCSBC TABLE 504.4 = 1)  
 OCCUPANCY LOAD (PER NCSBC TABLE 1004.1.2)  
 INSTITUTIONAL I-2 14,516 GSF / 15 NET = 121  
 ASSEMBLY 4,618 GSF / 15 NET = 308  
 BUSINESS AREA 1,094 GSF / 200 GROSS = 11  
 KITCHEN 613 GSF / 200 GROSS = 11  
 ACCESSORY STORAGE 1,647 GSF / 300 GROSS = 0  
 UNOCCUPIABLE 8,184 GSF = 0  
 TOTAL OCCUPANCY 449  
 MINIMUM EGRESS WIDTH (PER NCSBC SECTION 1005)  
 REQUIRED EGRESS WIDTH = 449 PEOPLE X 0.2 = 90"  
 PROVIDED EGRESS WIDTH = 182"  
 MINIMUM EXITS REQUIRED (PER NCSBC SECTION 1006)  
 OCCUPANT LOAD FIRST STORY > 449  
 REQUIRED: 2 PROVIDED: 5  
 MAXIMUM TRAVEL DISTANCE (PER NCSBC TABLE 1017.2)  
 EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200'  
 NO TRAVEL DISTANCE EXCEEDS THIS DISTANCE.  
 MINIMUM PLUMBING FIXTURES (PER NORTH CAROLINA STATE PLUMBING CODE TABLE 403.1 & IBC TABLE 2902.1)

## LIFE SAFETY PLAN NOTES

- NOT USED.
- AUTOMATIC FIRE SPRINKLER AND FIRE ALARM SYSTEMS MUST BE REVIEWED AND APPROVED BY THE AHJ.
- WALL RATINGS INDICATED ON LIFE SAFETY PLANS FOR OCCUPANT LIFE SAFETY.
- REFERENCE THE CODE REVIEW SECTION IN SHEET A-002 FOR RATINGS OF STRUCTURAL ELEMENTS.
- FIRE EXTINGUISHERS SHALL BE LOCATED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 10 & SECTION 13.6 OF NFPA 1 LOCATED SO THAT ALL AREAS ARE WITHIN 75' OF AN EXTINGUISHER. FOR MECHANICAL & ELECTRICAL ROOMS, USE A "2A:10B:C" LOCATED SO THAT ALL AREAS ARE WITHIN 50' OF AN EXTINGUISHER. FOR KITCHENS USE A "K" EXTINGUISHER SO THAT ALL AREAS ARE WITHIN 30' OF AN EXTINGUISHER.
- UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS OR OTHERWISE INSTRUCTED BY THE ARCHITECT, ELECTRICAL DEVICES SHALL HAVE THE FOLLOWING MOUNTING HEIGHTS. DIMENSIONS ARE TO CENTER OF BOX UNLESS OTHERWISE NOTED:  
 MANUAL FIRE ALARM PULL STATIONS - 48" A.F.F. MAX. TO TOP OF BOX;  
 FIRE ALARM SPEAKER/HORN - 1'-0" BELOW CEILING, OR IN CEILING AS REQUIRED;  
 FIRE ALARM STROBE - 80" A.F.F. OR 6" BELOW CEILING, WHICHEVER IS LOWER.
- TACTILE SIGNAGE SHALL BE PROVIDED AT ALL EXIT DOORS TO MEET THE FOLLOWING CRITERIA:  
 TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN;  
 TACTILE SIGNAGE SHALL BE READ AS FOLLOWS: "EXIT";  
 TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A 117.1.
- NOT USED.
- EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD POSTED PER NCSBC 1004.3

## LIFE SAFETY LEGEND

REFERENCE MEP DWGS FOR DESCRIPTIONS, MANUFACTURER & SPECS.

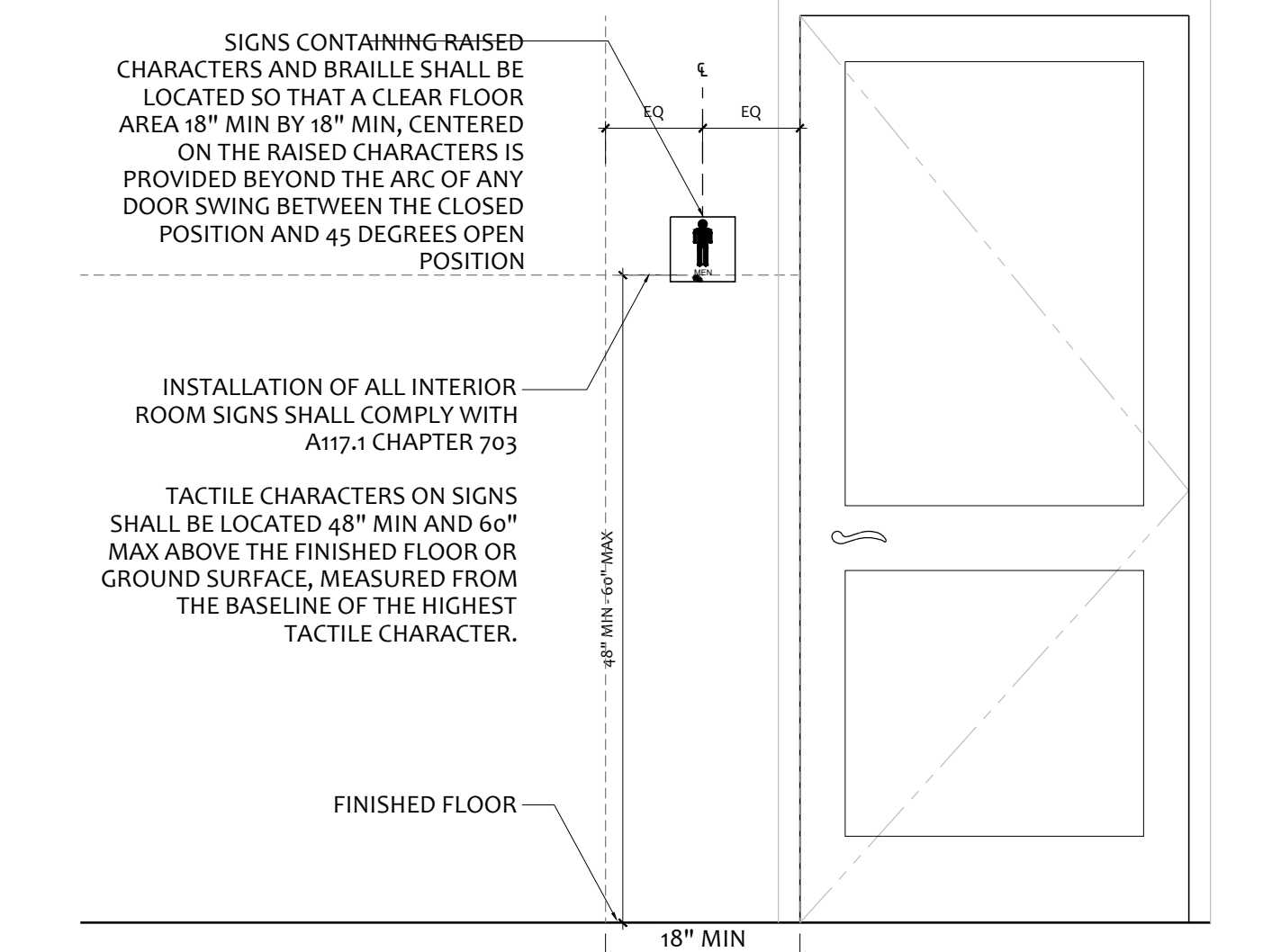
	EXIT WIDTH INDICATOR (SHOWING CLEAR WIDTH OF OPENING AND NUMBER OF OCCUPANTS THAT CLEAR WIDTH CAN SERVE PER CODE)
	TRAVEL DISTANCE INDICATOR (SHOWING EXIT ACCESS TRAVEL DISTANCE FROM MOST REMOTE POINTS IN EACH AREA) CITY OF ORLANDO APPROVED AN EQUIVALENCE REQUEST TO ALLOW 400' MAX TRAVEL DISTANCE FROM ANY LOCATION IN THE MALL OR TENANT SPACE.
	FIRE EXTINGUISHER IN RECESSED CABINET
	COMBO EXIT/EMERGENCY SIGN (SEE ELECTRICAL) - WALL MOUNT ABOVE DOOR
	1-HR FIRE-RATED WALL, SEE UL U305 ON SHEET A-008 <b>4</b>
	SMOKE PARTITION
	1-HR SMOKE BARRIER, 1 HR RATED, SEE UL U305 ON SHEET A-008
	EMERGENCY LIGHT
	MAG LOCK
	ELECTRIC STRIKE
	ELECTRIC STRIKE - CONTROLS ACCESS TO COURTYARD - EGRESS BACK INTO BUILDING FROM COURTYARD ALWAYS AVAILABLE

## LIFE SAFETY SUMMARY CHART LEVEL 1

OCCUPANCY	AREA	SF PER OCCUPANT	OCCUPANT LOAD	EGRESS WIDTH REQUIRED	EGRESS WIDTH PROVIDED	OCCUPANCY LEGEND
ASSEMBLY	4,618 SF	15 NET	308	96	--	
BUSINESS	1,094 SF	100 GROSS	11	3	--	
KITCHEN	613 SF	200 GROSS	3	2	--	
I-2	14,516 SF	120 GROSS	121	25	--	
STORAGE	1,647 SF	300 GROSS	6	2	--	
UNOCCUPIED	8,184 SF	--	--	--	--	
<b>TOTAL:</b>	<b>33,184 SF</b>	--	<b>617</b>	<b>128</b>	<b>416</b>	

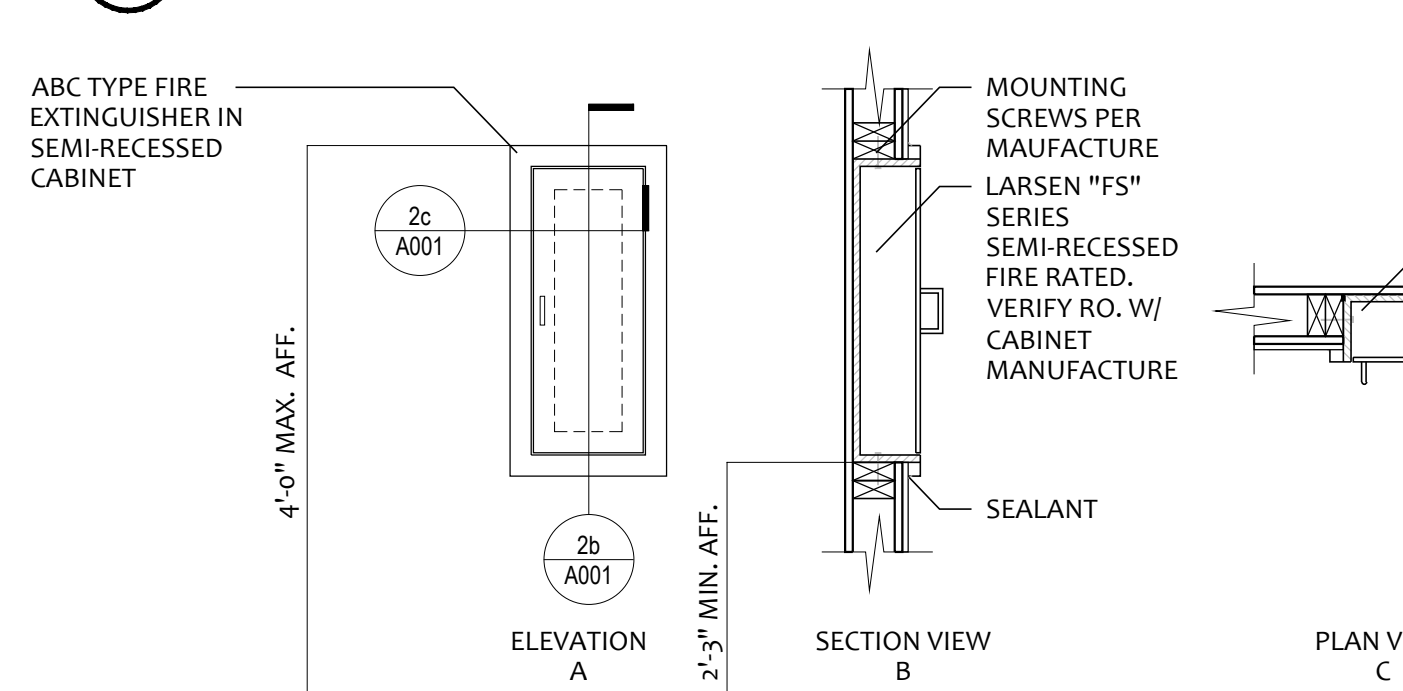
## PER CODE [10A NCAC 13F.0308 (A)] FIRE EXTINGUISHER REQUIREMENTS

SQFT	FIRE EXTINGUISHERS REQUIRED	FIRE EXTINGUISHERS PROVIDED	FIRE EXTINGUISHERS CLASS	SIZE
32,571	13 FE	14 FE	ABC	5 Lb.
613	01 FE	02 FE	K	5 Lb.



## ROOM SIGNS DETAIL

3/4" = 1'-0"

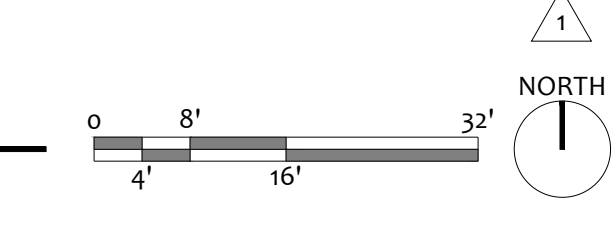
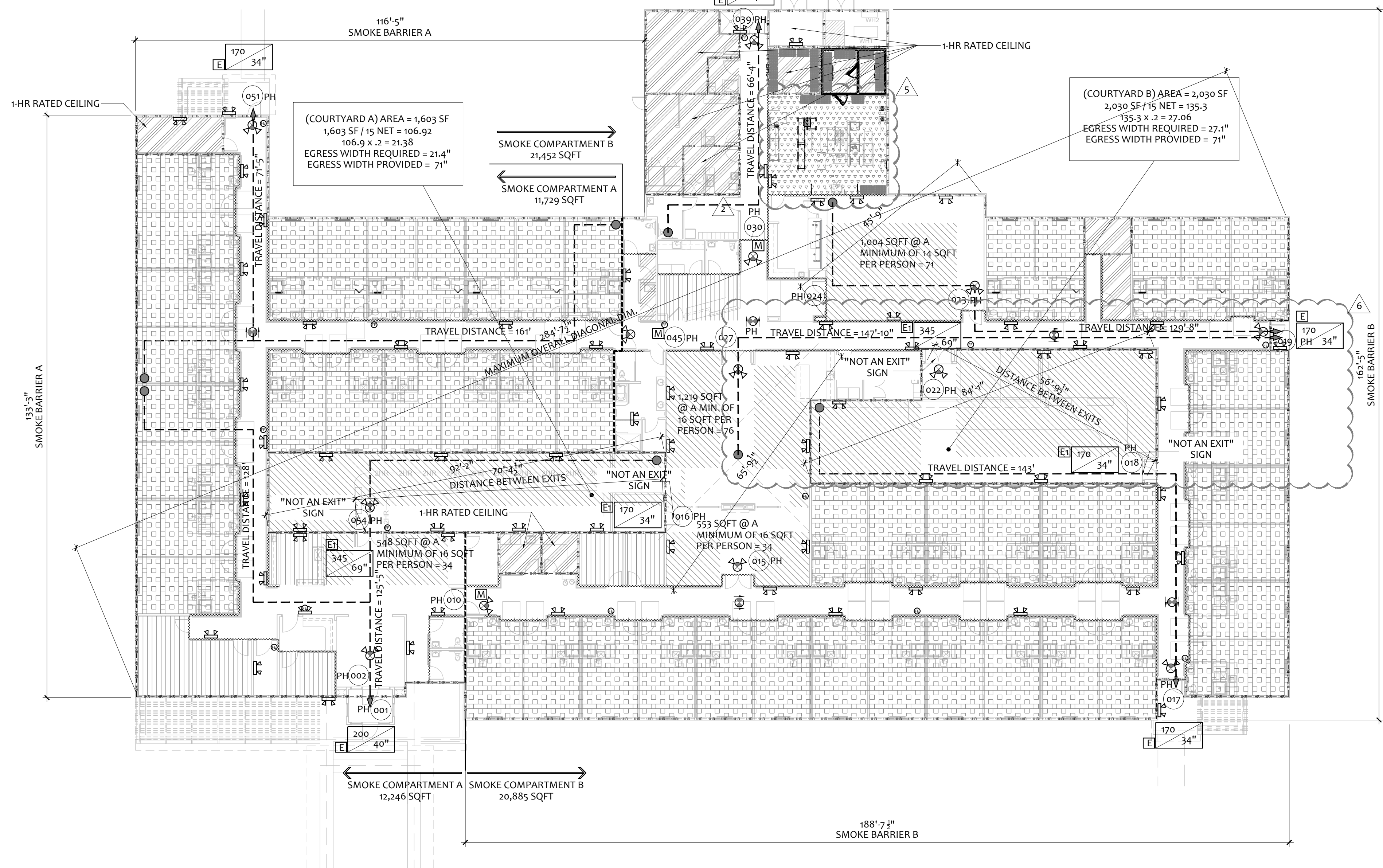


## FIRE EXTINGUISHER ELEV. DETAILS

3/4" = 1'-0"

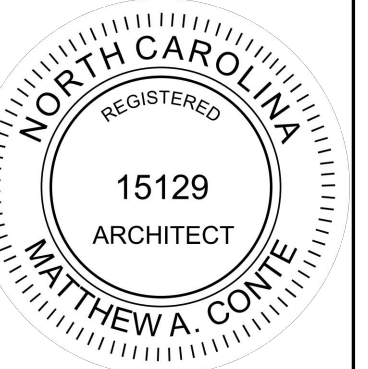
## LIFE SAFETY PLAN

1/16" = 1'-0"

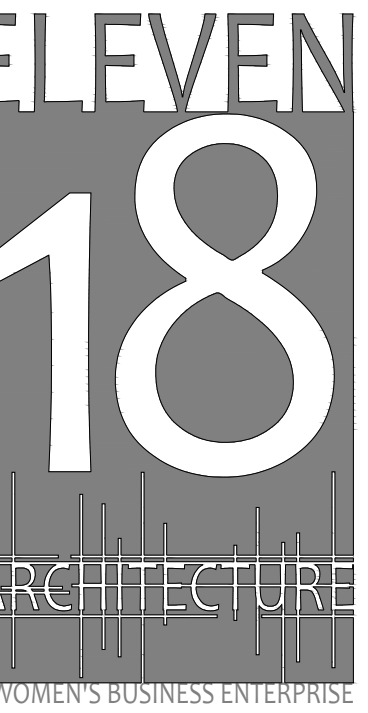




20 JUNE, 2023



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PROJECT NAME:  
**THE SPRINGS OF BALLENTINE**  
 40 RAWLS CLUB RD  
 FUQUAY-VARINA NC.

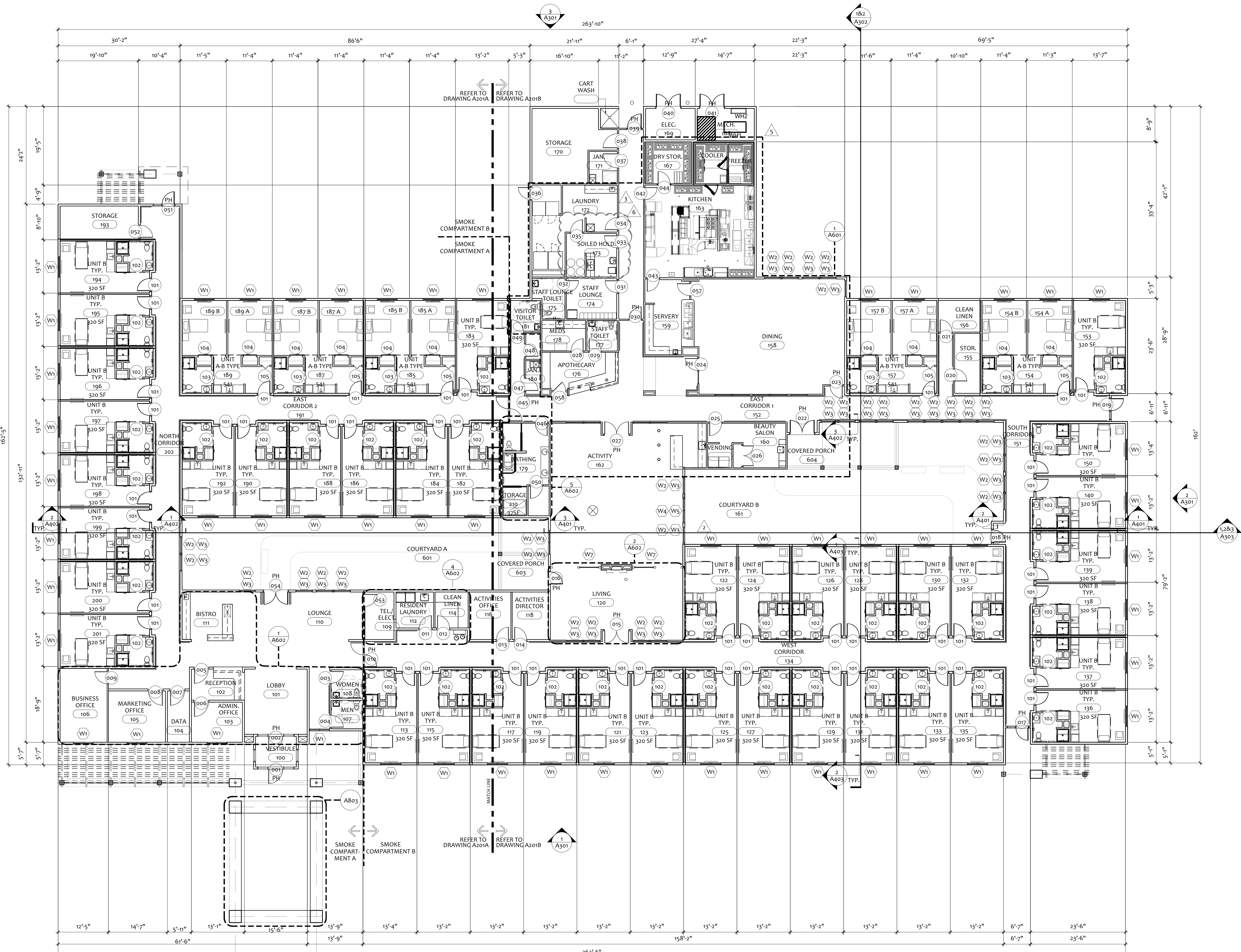
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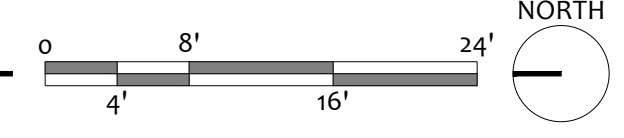
PROJECT TEAM:  
 Gabriela Salazar  
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REVISIONS		
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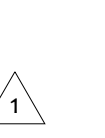
**A201**  
 OVERALL FLOOR PLAN

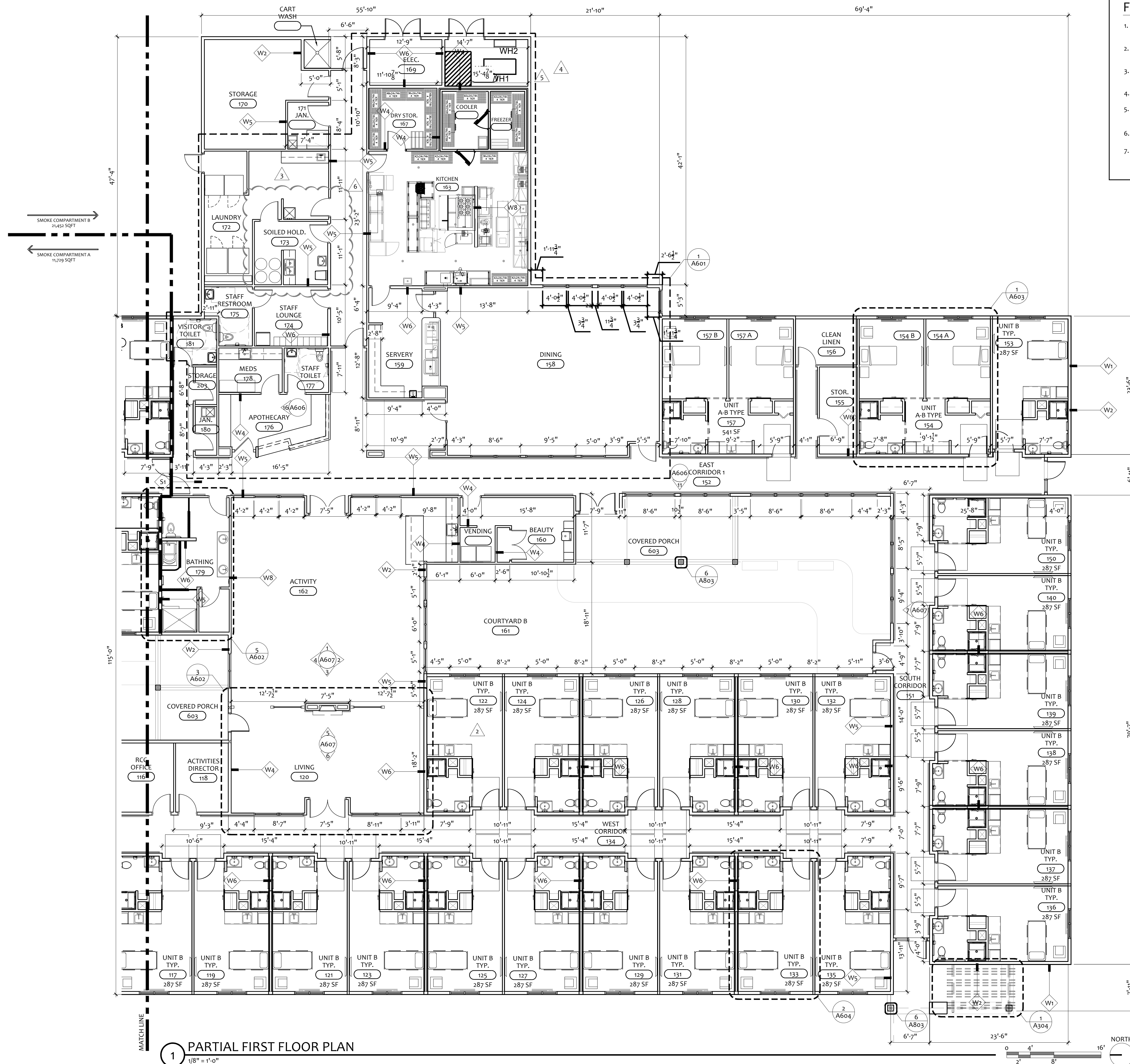


**1 OVERALL FLOOR PLAN**  
 3/32" = 1'-0"



ENTIRE SHEET  
 UPDATED





1 PARTIAL FIRST FLOOR PLAN  
1/8" = 1'-0"

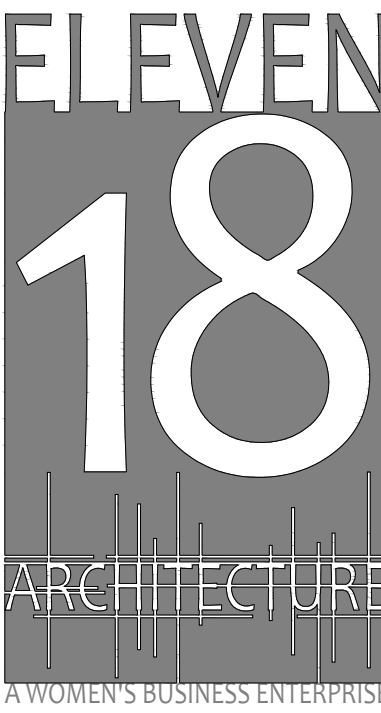
- ### FLOOR PLAN NOTES
1. REFERENCE SHEET A-002 FOR GENERAL CONDITIONS AND ADDITIONAL REQUIREMENTS AFFECTING THIS WORK.
  2. FINISH FLOOR DATUM (REFERENCE) = 0'-0" IS TO TOP OF SLAB. REFER TO CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATION.
  3. CONTRACTOR SHALL COORDINATE ALL WORK ON THIS SHEET. THE MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE PROTECTION DRAWINGS.
  4. REFERENCE THE A-700 SERIES SHEETS FOR DOOR AND GLAZING SCHEDULES.
  5. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLASS. ALL GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED FOR IMPACT RESISTANCE.
  6. ALL GYPSUM BOARD IN CORRIDORS SHALL BE HUNG VERTICALLY.
  7. REFER TO ENLARGED PLANS FOR ADDITIONAL INFO. INCLUDING DIMENSIONS, DOOR TAGS, WALL TYPES, GLAZING LAYOUT, AND CONSTRUCTION DETAILS. ENLARGED PLANS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. NOTIFY ARCHITECT OF ANY CONFLICT BEFORE PROCEEDING.

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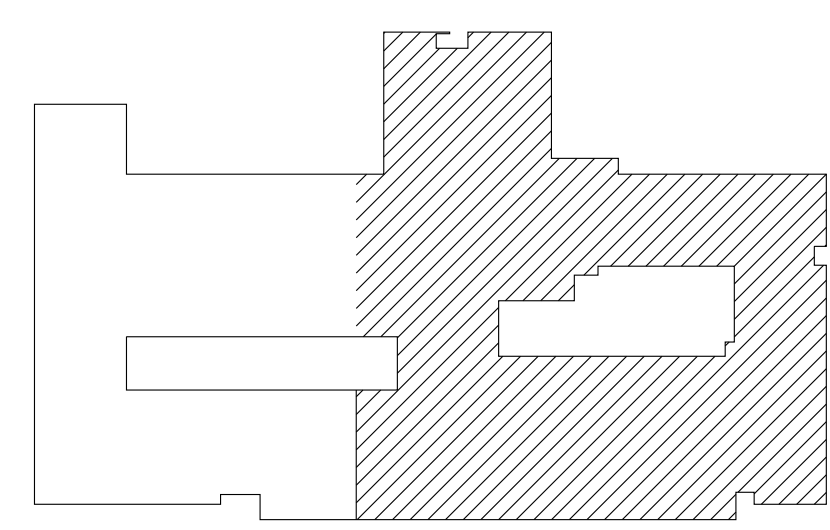
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**THE SPRINGS OF BALLENTINE**  
40 RAWLS CLUB RD  
FUQUAY-VARINA NC.

PROJECT CLIENT:  
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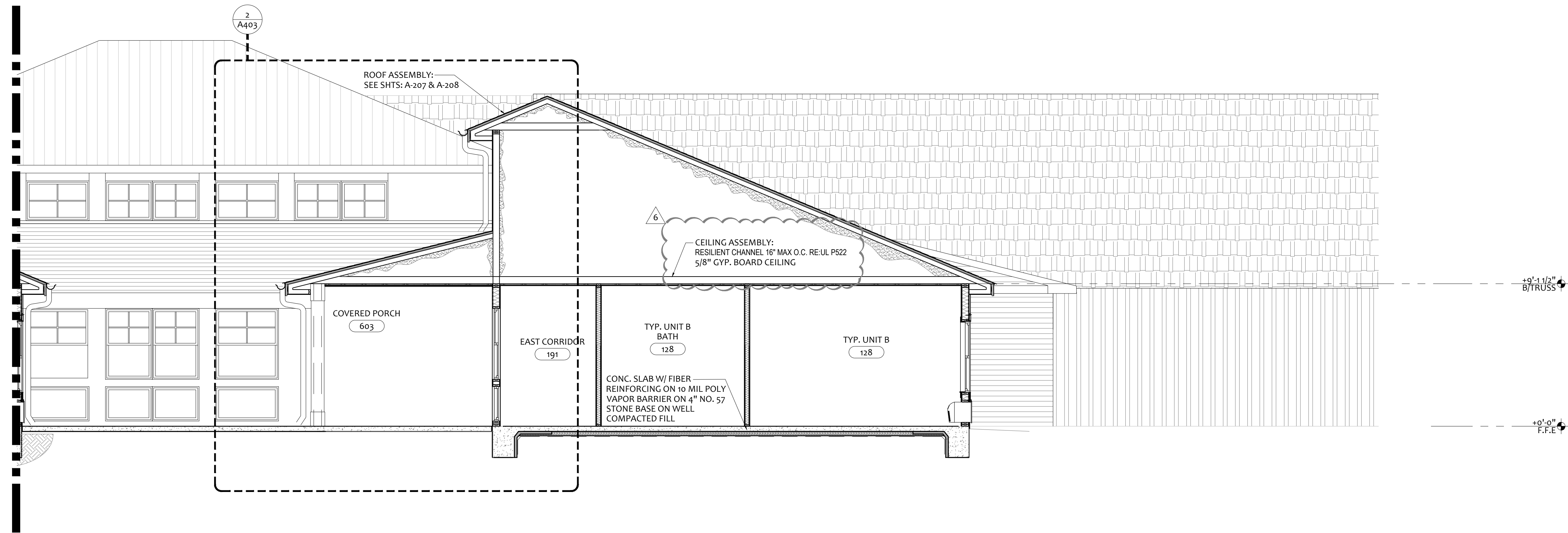
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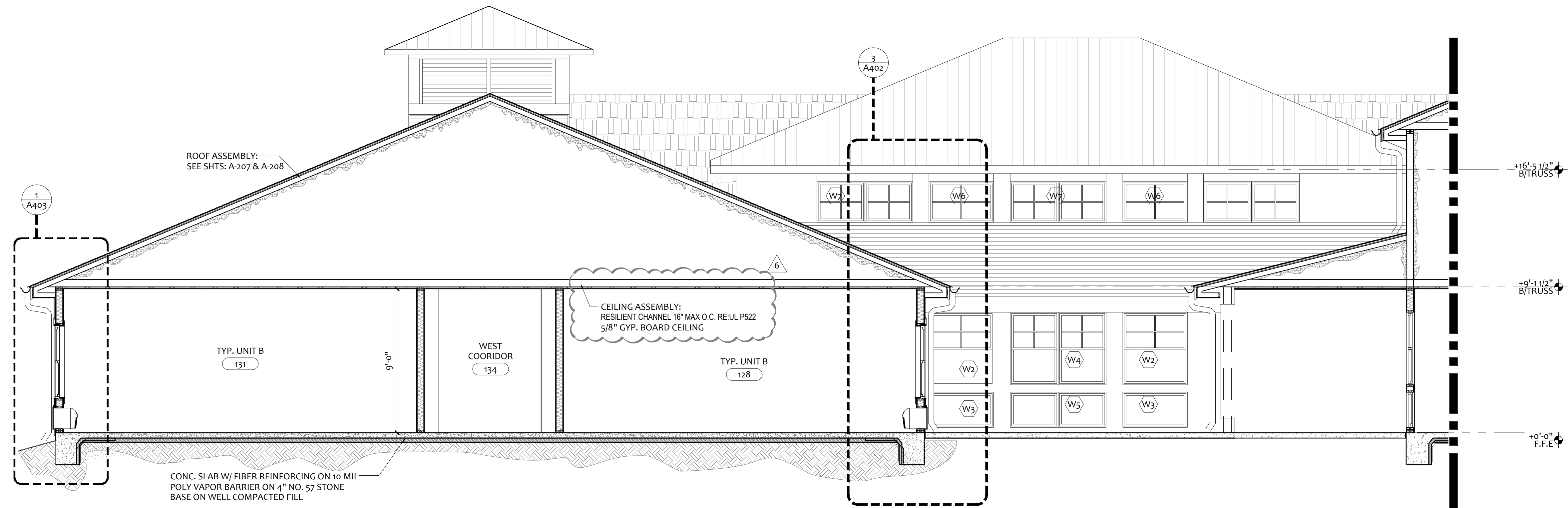
KEY PLAN

ENTIRE SHEET UPDATED

**A203**  
PARTIAL FLOOR PLAN



2 PARTIAL BUILDING SECTION  
1/4" = 1'-0"



1 PARTIAL BUILDING SECTION  
1/4" = 1'-0"

ENTIRE SHEET  
UPDATED

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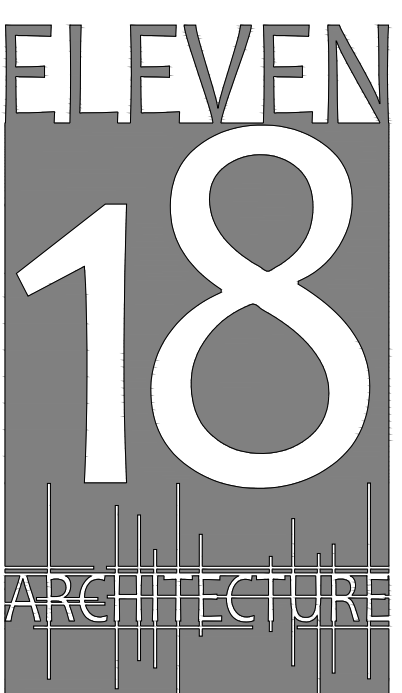
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**A302**  
BUILDING SECTIONS

20 JUNE, 2023



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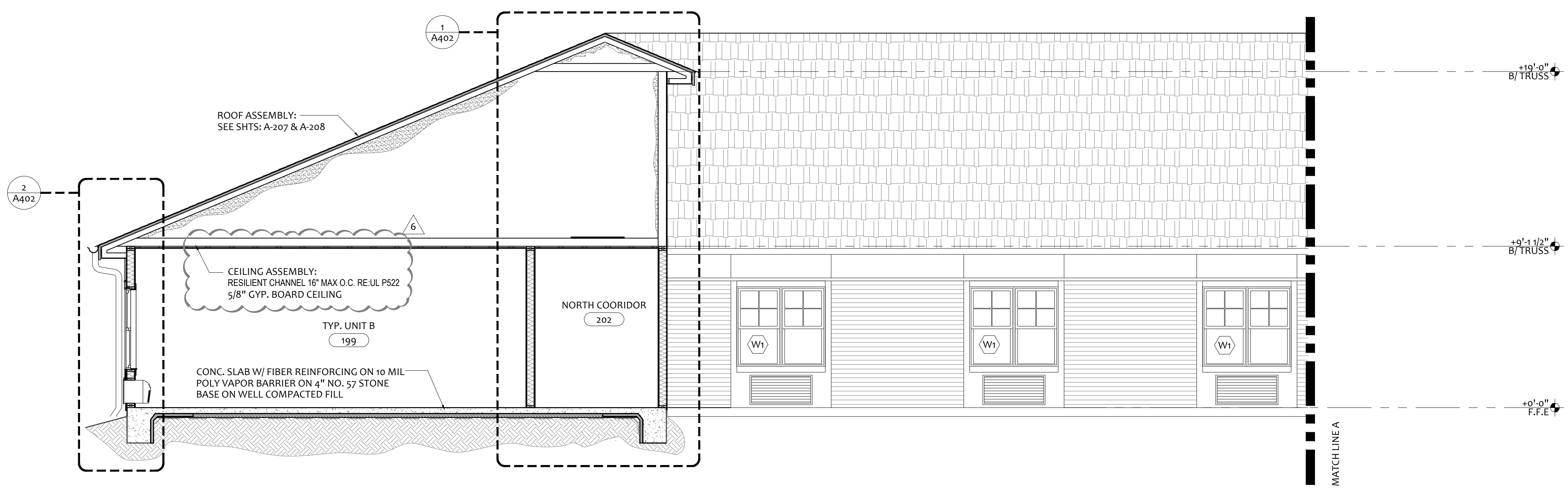
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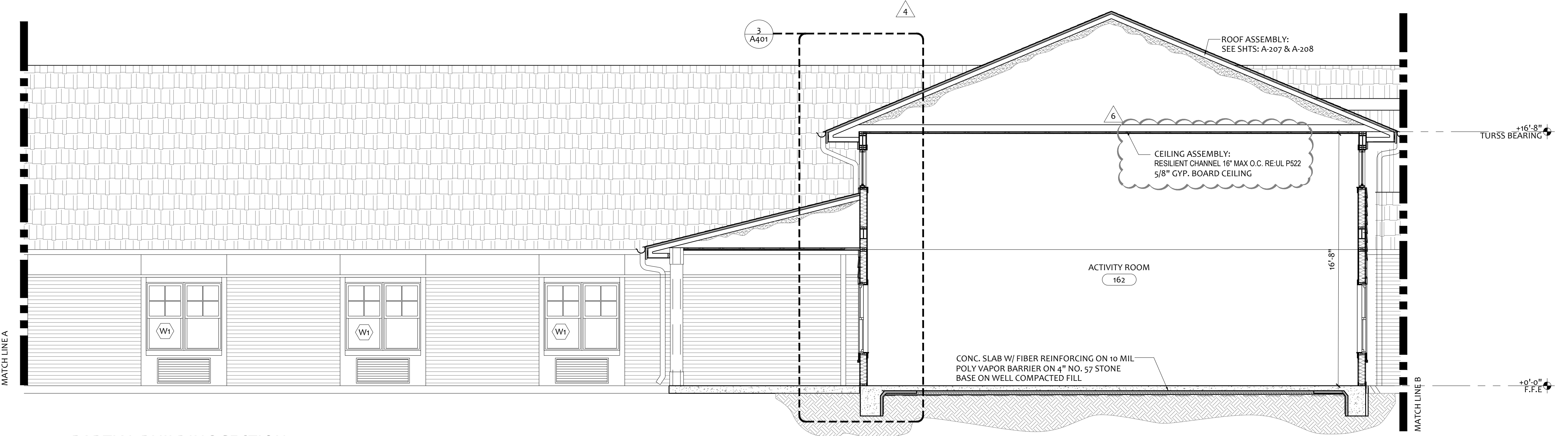
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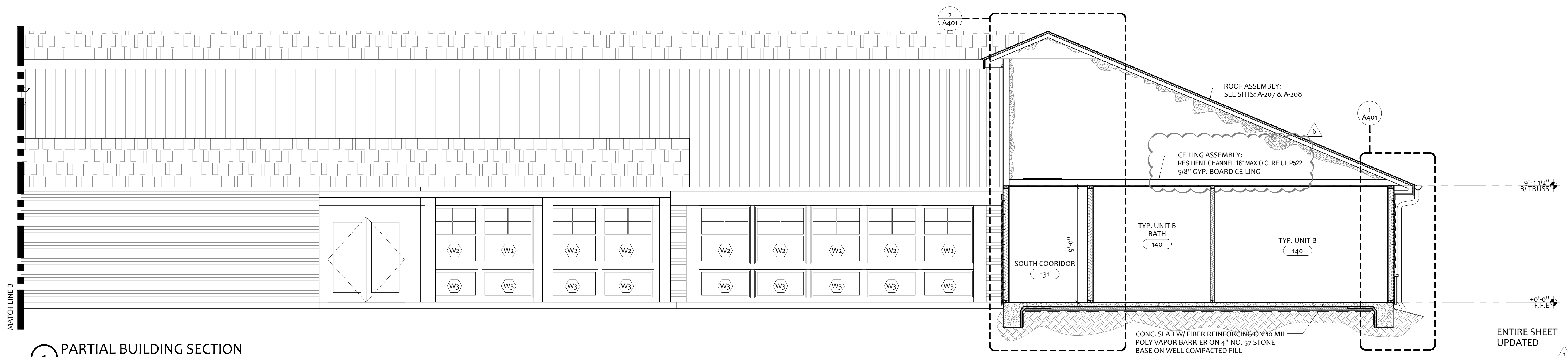
**A303**  
 BUILDING SECTIONS



**3 PARTIAL BUILDING SECTION**  
 1/4" = 1'-0"



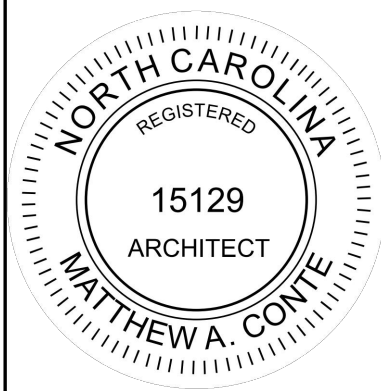
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 1/4" = 1'-0"



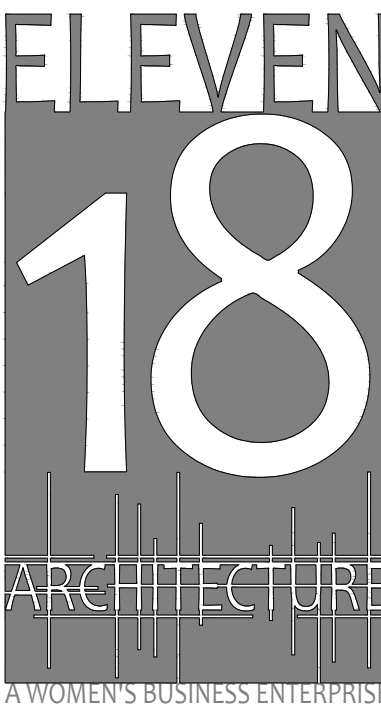
**1 PARTIAL BUILDING SECTION**  
 1/4" = 1'-0"

ENTIRE SHEET  
 UPDATED

20 JUNE, 2023



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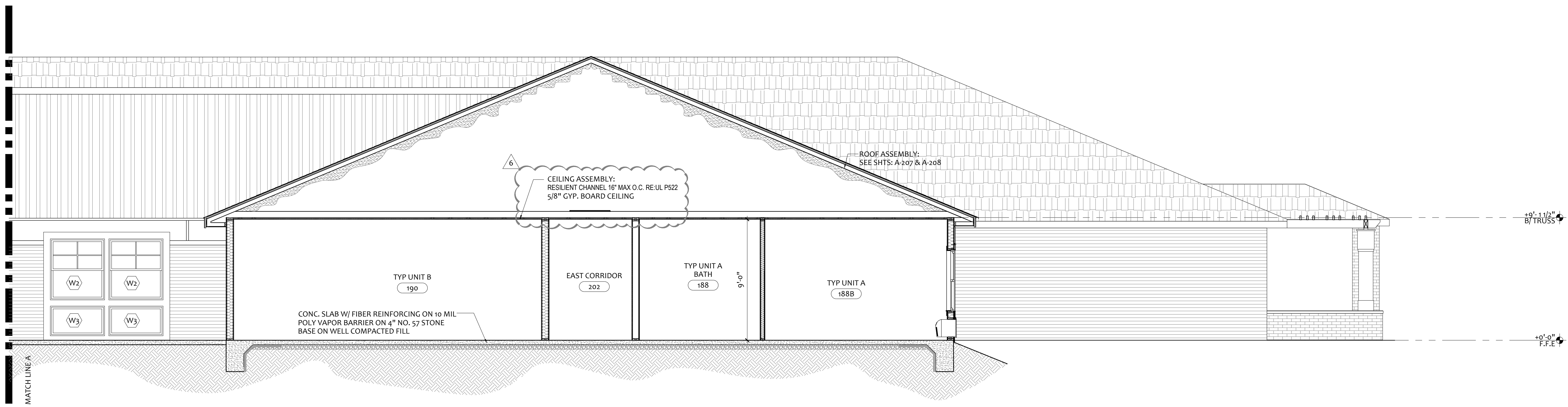
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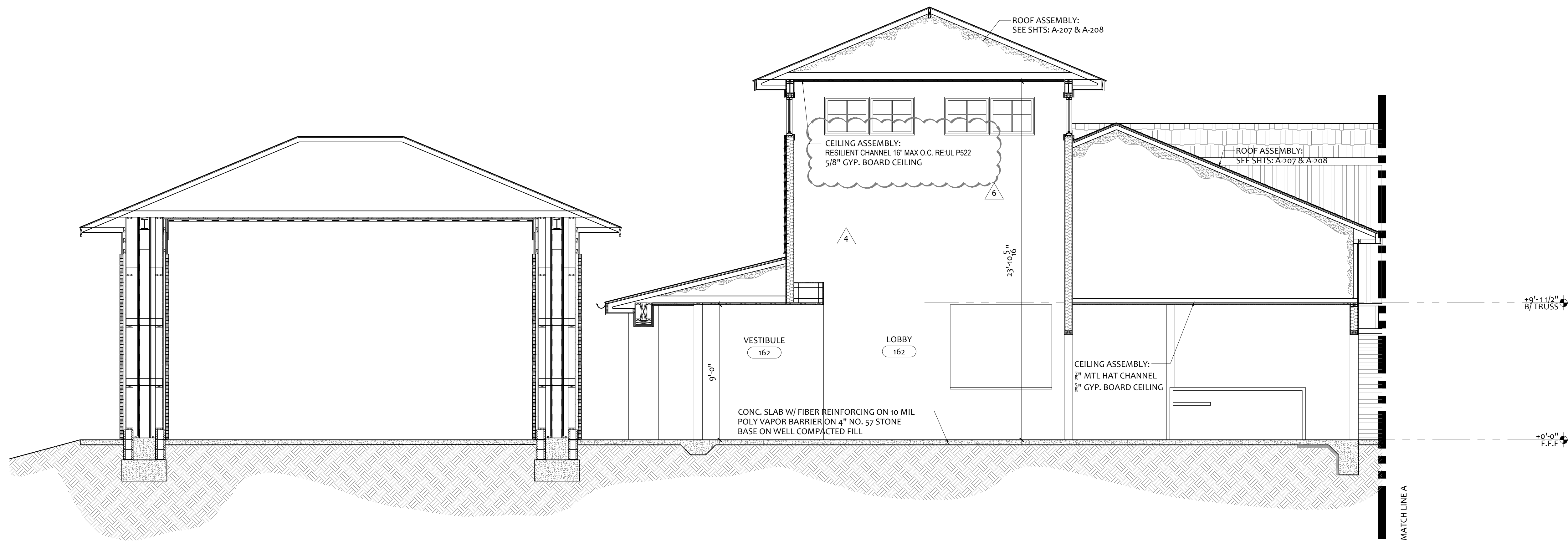
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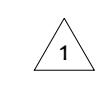


3 PARTIAL BUILDING SECTION  
 1/4" = 1'-0"



1 PARTIAL BUILDING SECTION  
 1/4" = 1'-0"

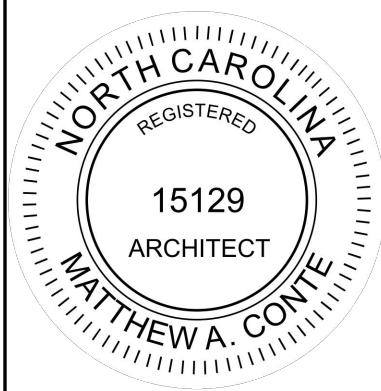
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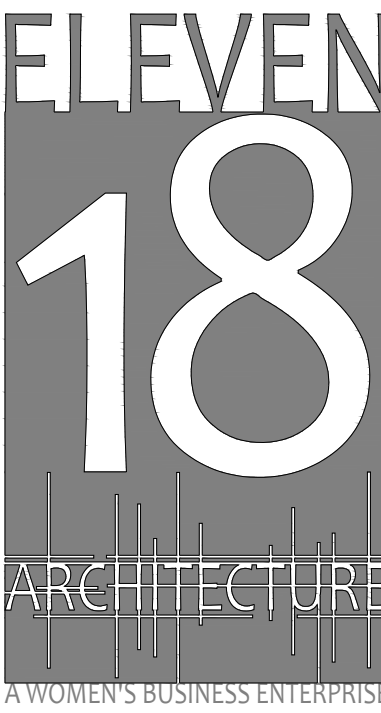


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20 JUNE, 2023



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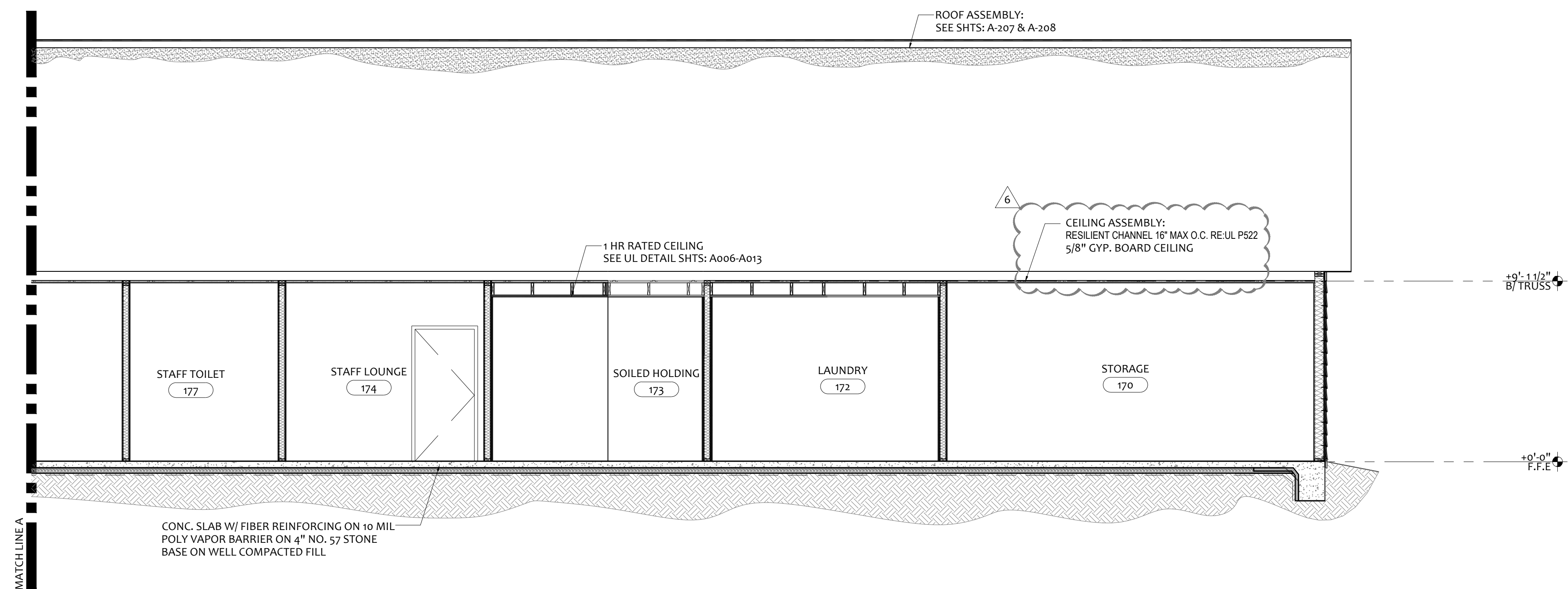
PROJECT NAME:  
**THE SPRINGS OF BALLENTINE**  
 40 RAWLS CLUB RD  
 FUQUAY-VARINA NC.

PROJECT CLIENT:  
**CAROLINA COMMERCIAL CONTRACTORS**

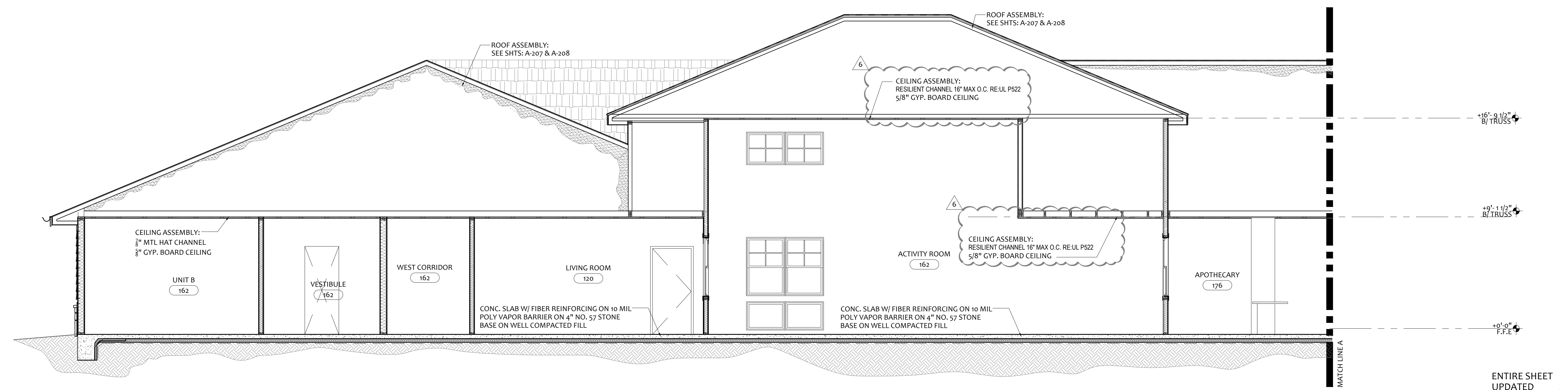
ELEVEN18 PROJECT LEAD:  
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1	1/20/23	REV01
6	6/20/23	REV06



2 PARTIAL BUILDING SECTION  
 1/4" = 1'-0"

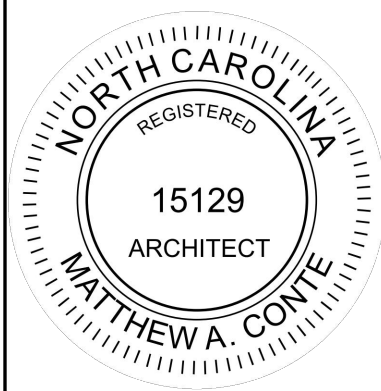


1 PARTIAL BUILDING SECTION  
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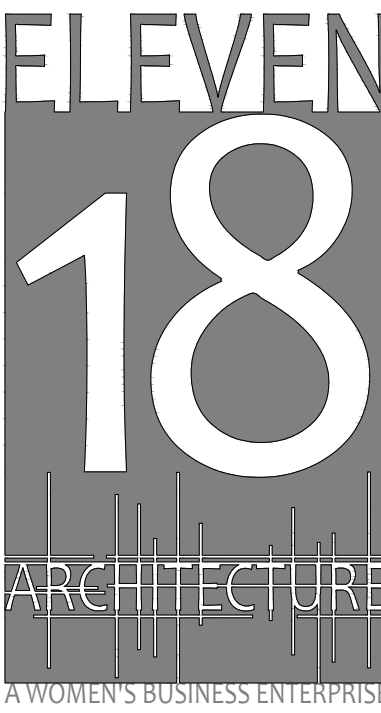
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**A305**  
 BUILDING SECTIONS

20 JUNE, 2023



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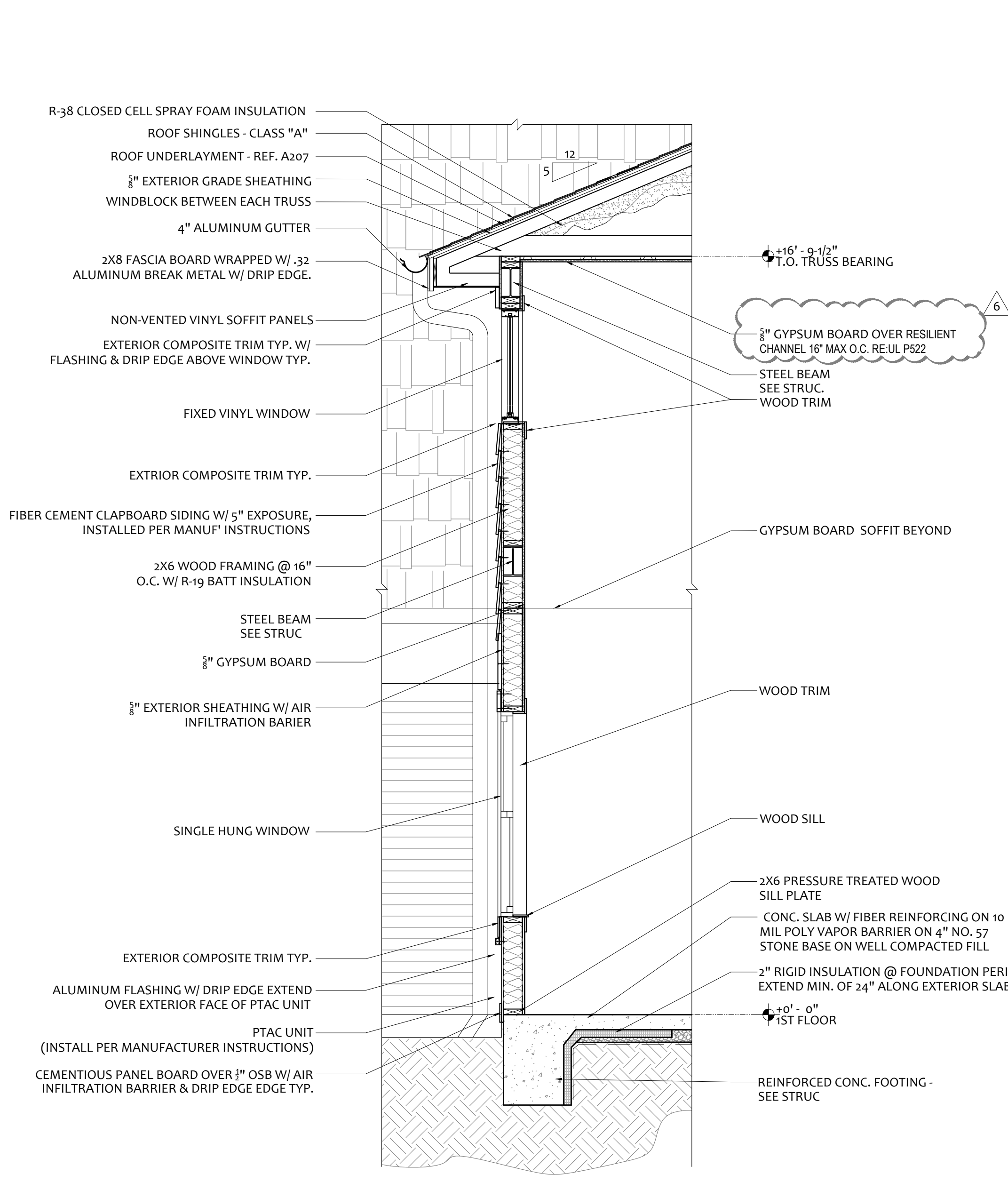
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**THE SPRINGS OF BALLENTINE**  
 40 RAWLDS CLUB RD  
 FUQUAY-VARINA NC.

PROJECT CLIENT:  
**CAROLINA CONTRACTORS**

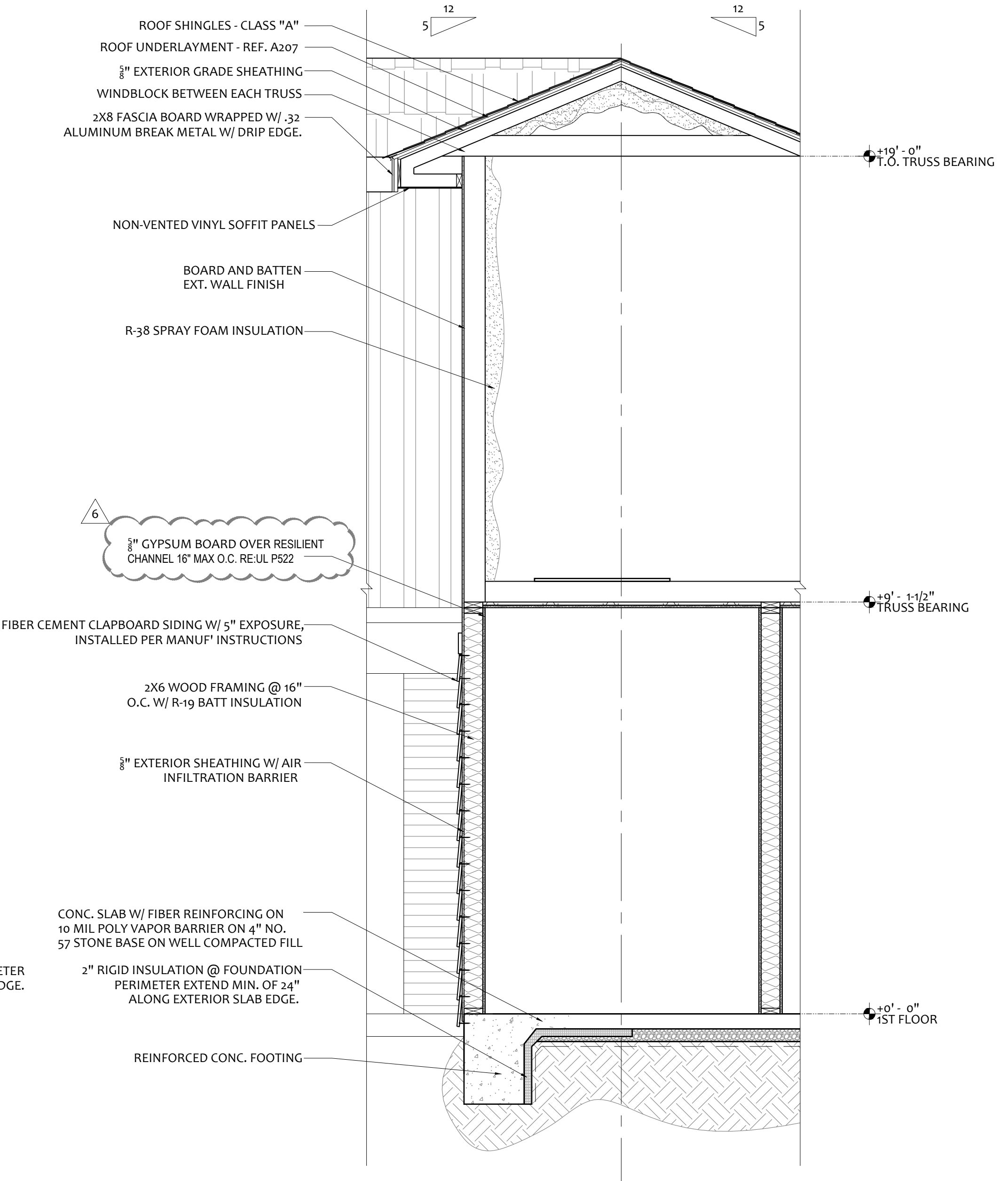
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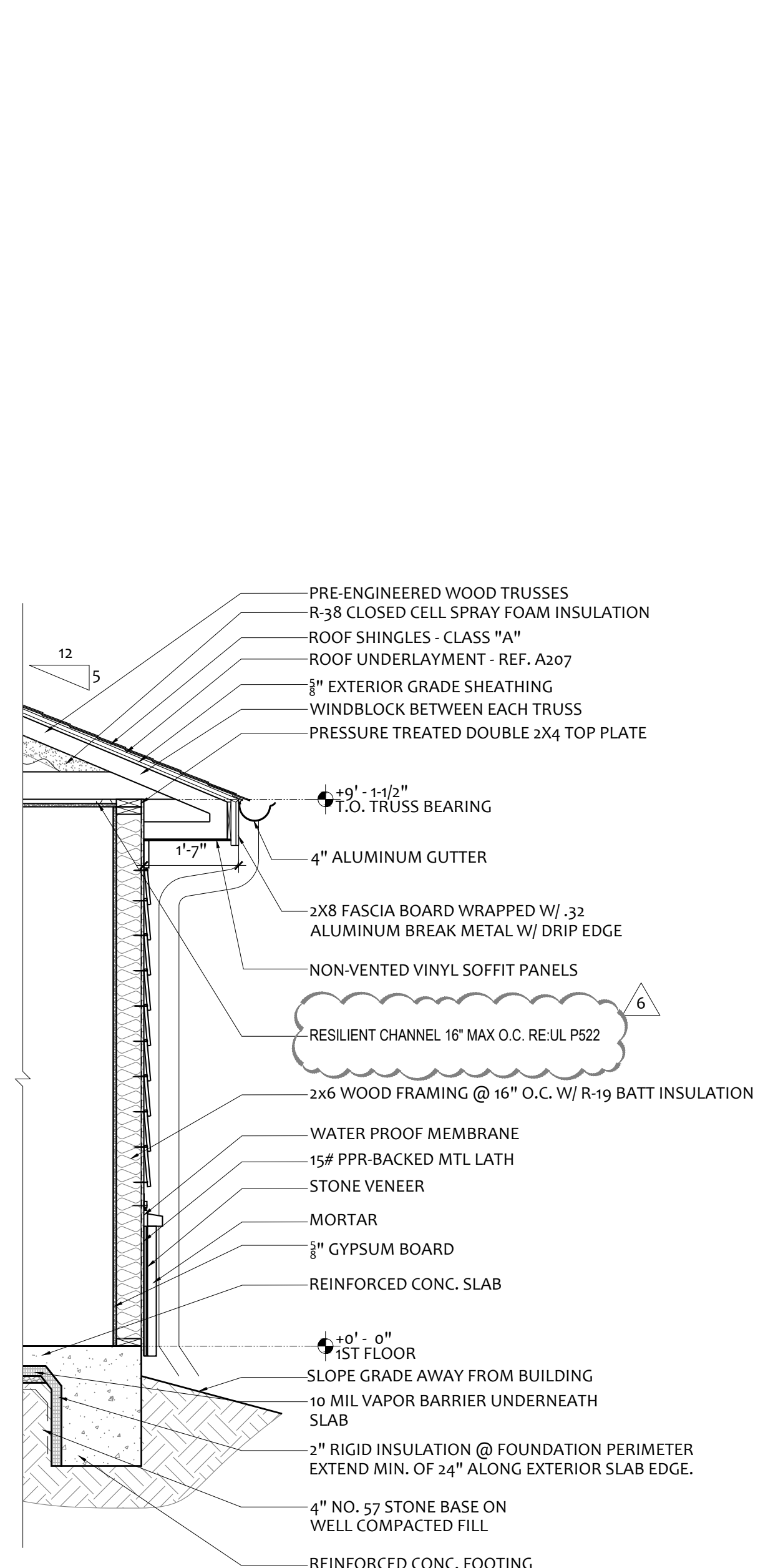
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#	DATE	DESC.
--	1/20/23	PERMIT SUBMITTAL
1	1/20/23	REV01
6	6/20/23	REV06



**3 BUILDING SECTION**  
 1/2" = 1'-0"



**2 BUILDING SECTION**  
 1/2" = 1'-0"

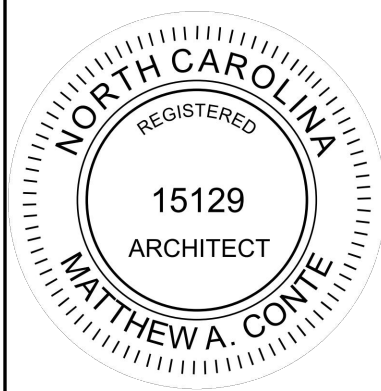


**1 BUILDING SECTION**  
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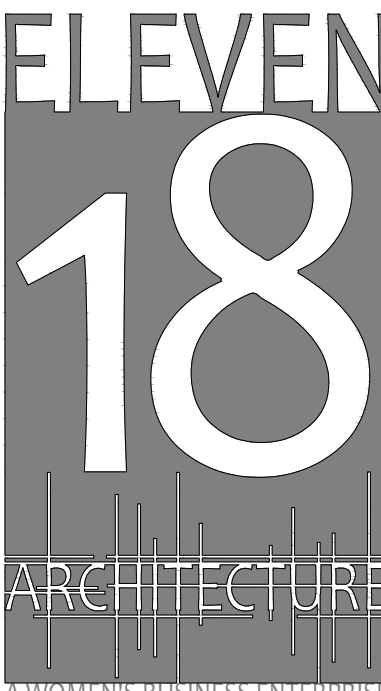
ENTIRE SHEET  
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**A401**  
 WALL SECTIONS

20 JUNE, 2023



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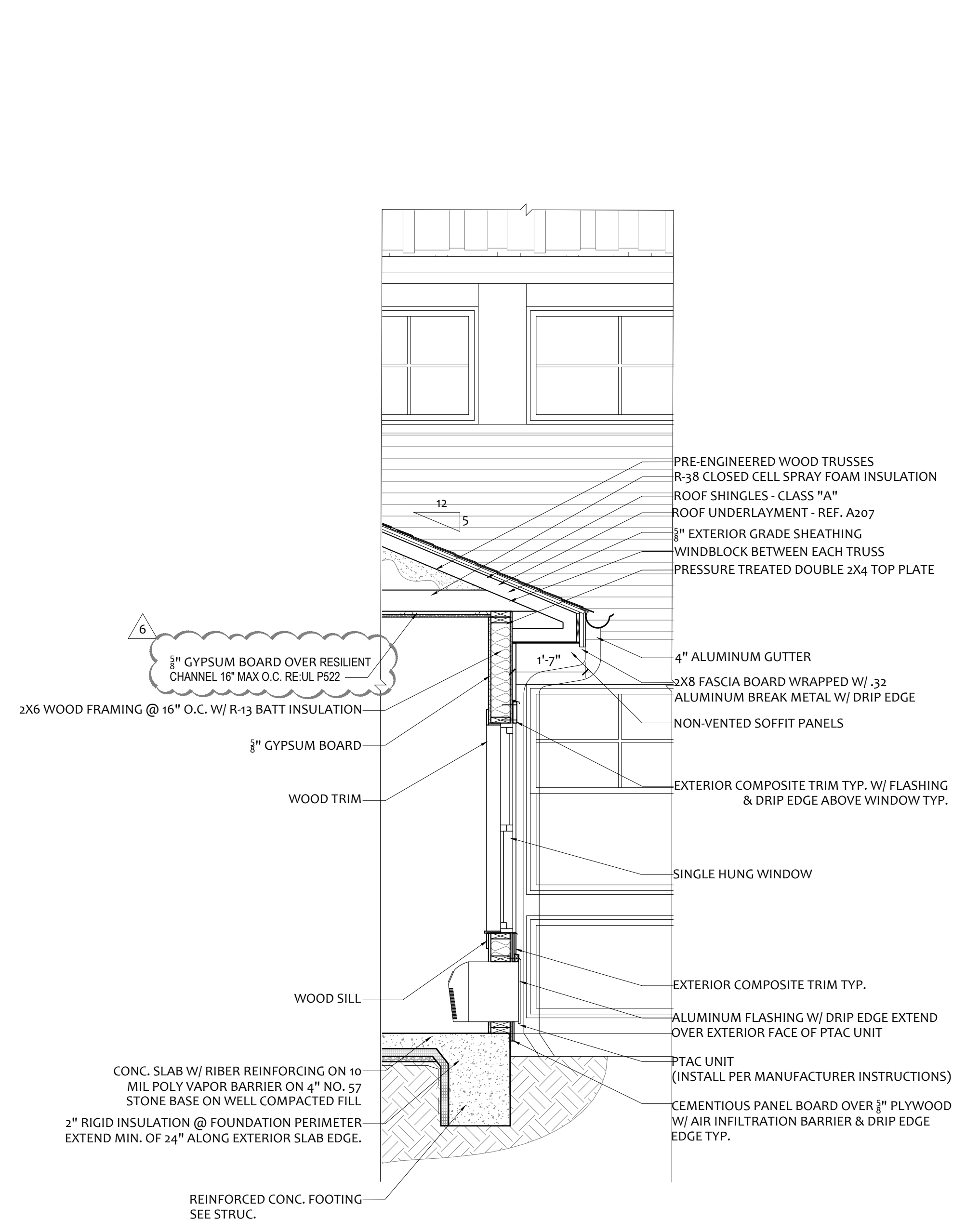
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**THE SPRINGS OF BALLENTINE**  
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**CAROLINA CONTRACTORS**

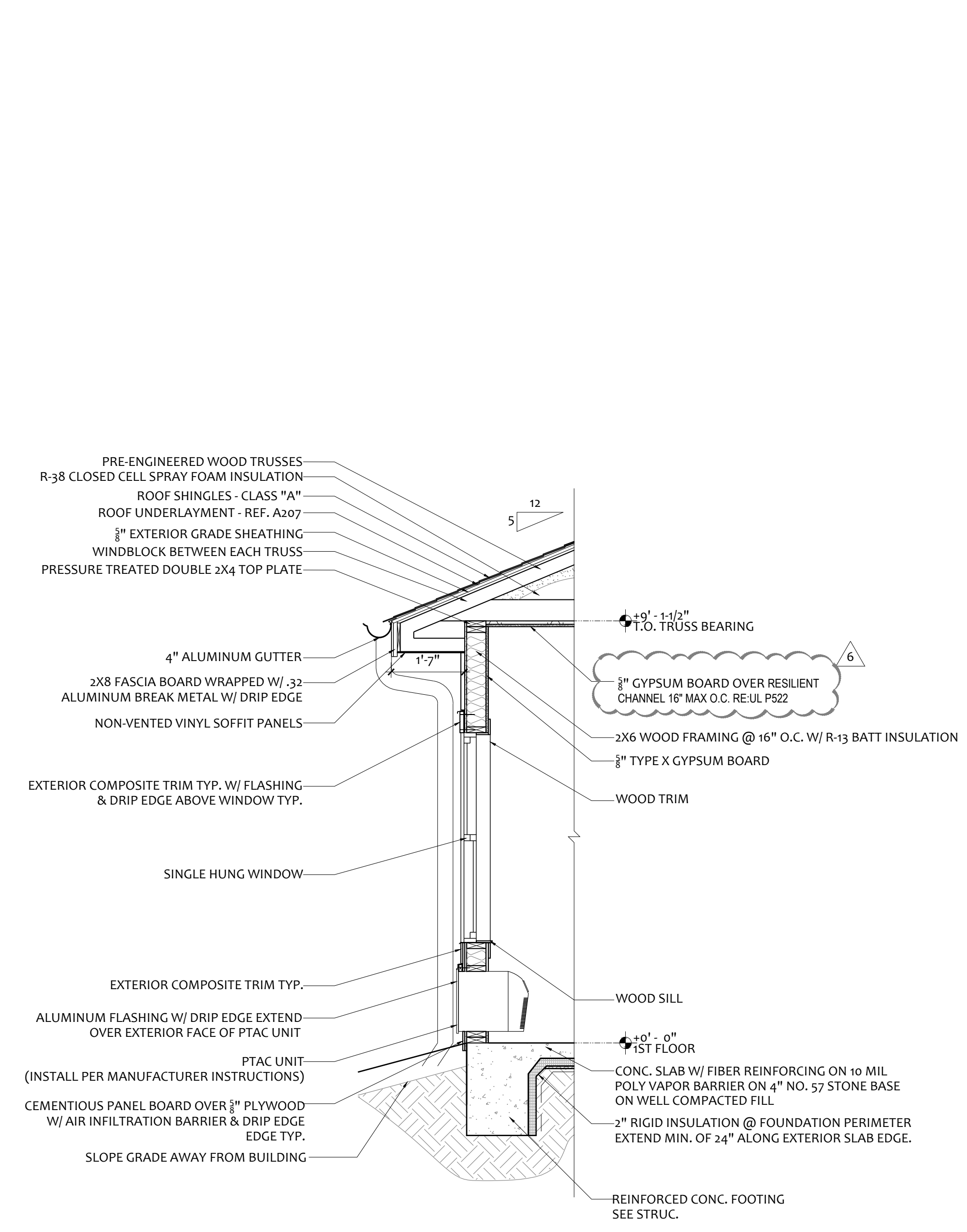
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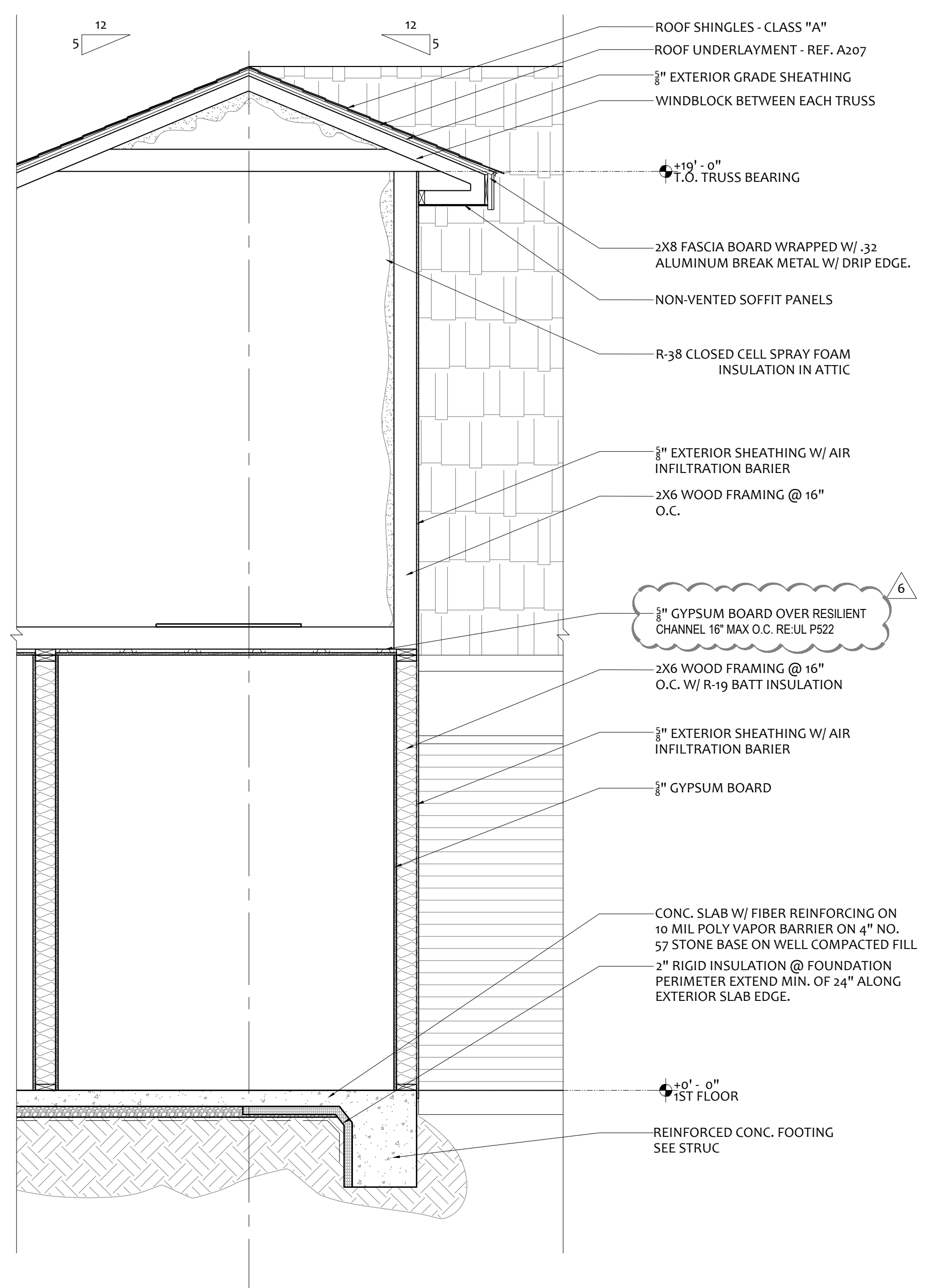
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#	DATE	DESC.
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1	1/20/23	REV01
6	6/20/23	REV06



**3 BUILDING SECTION**  
 1/2" = 1'-0"



**2 BUILDING SECTION**  
 1/2" = 1'-0"



**1 BUILDING SECTION**  
 1/2" = 1'-0"

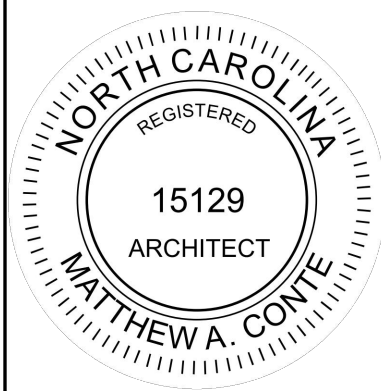
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**A402**  
 WALL SECTIONS

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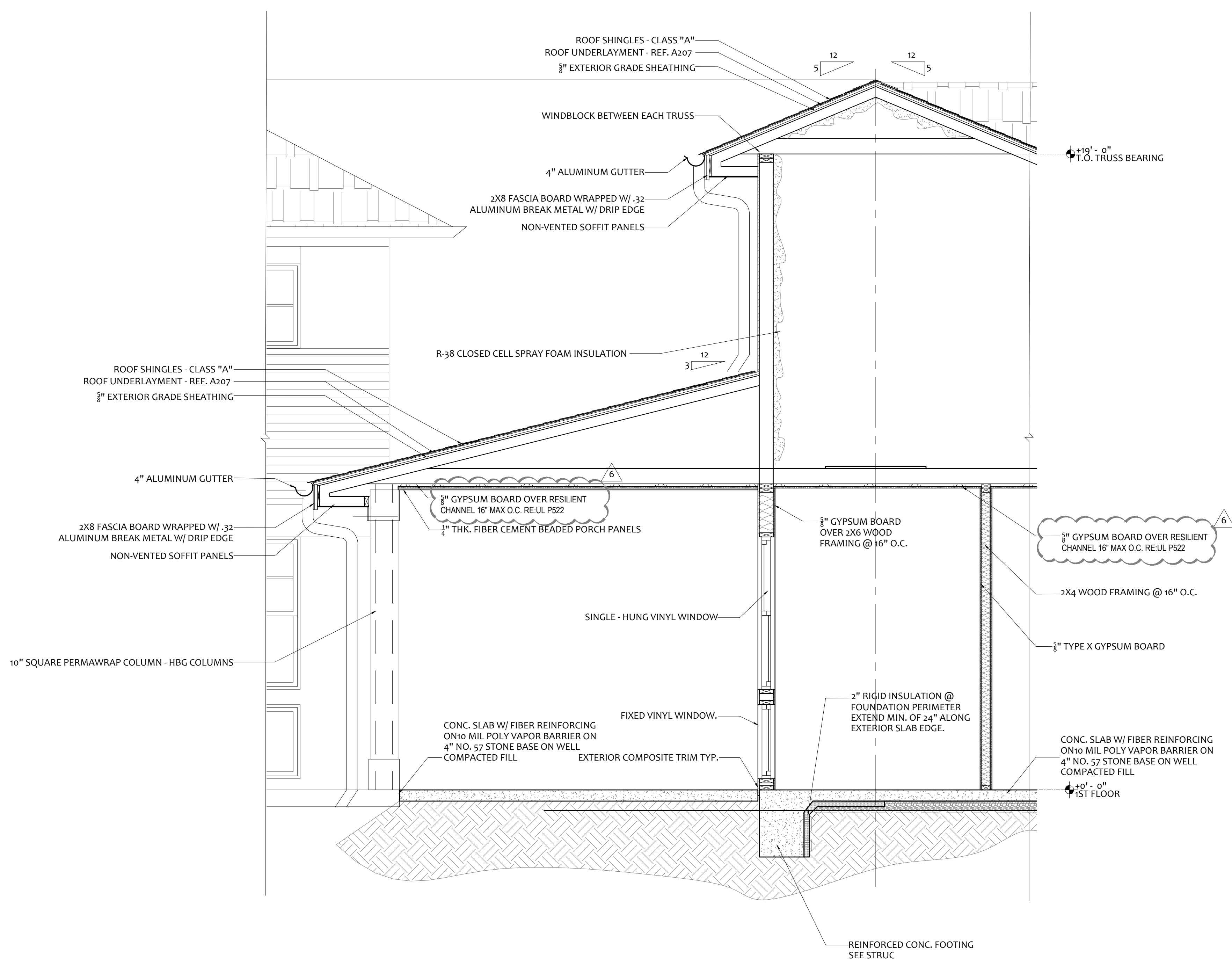
PROJECT NAME:  
**THE SPRINGS OF BALLENTINE**  
 40 RAWLFS CLUB RD  
 FUQUAY-VARINA NC.

PROJECT CLIENT:  
**CAROLINA CONTRACTORS**

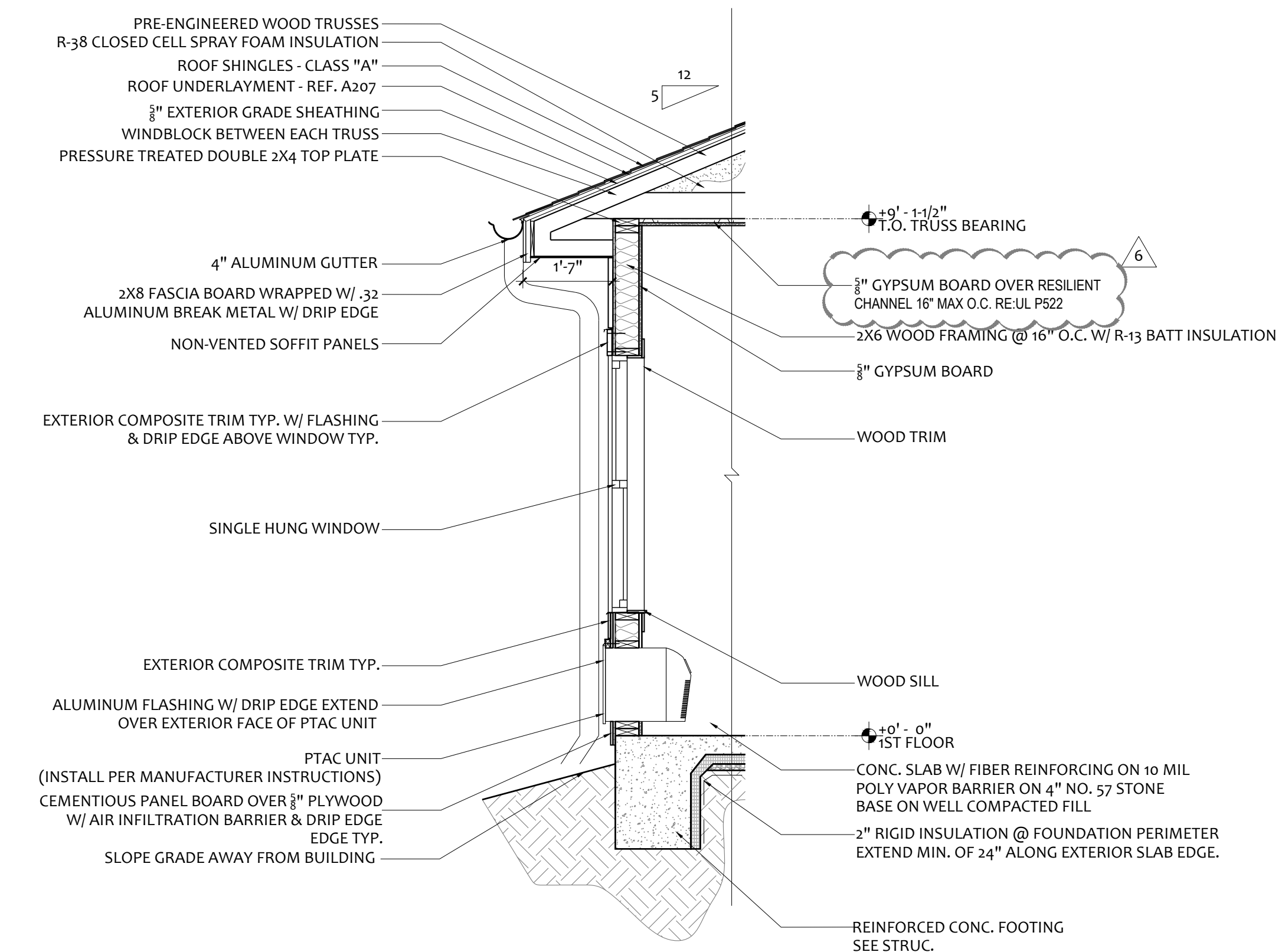
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REVISIONS		
#	DATE	DESC.
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1	1/20/23	REV01
6	6/20/23	REV06



**2 BUILDING SECTION**  
 1/2" = 1'-0"



**1 BUILDING SECTION**  
 1/2" = 1'-0"

ENTIRE SHEET  
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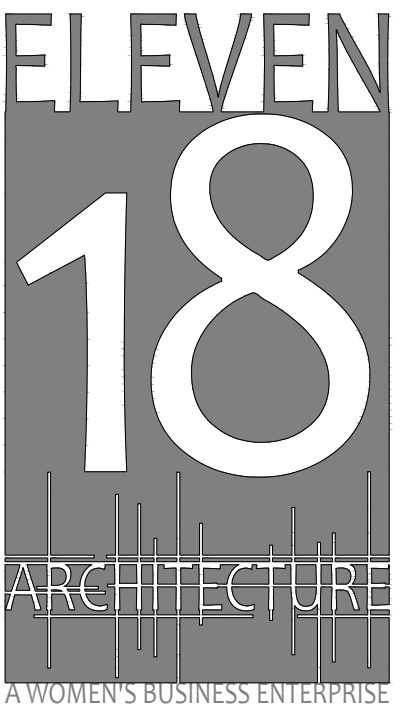


**A403**  
 BUILDING SECTIONS

20 JUNE, 2023



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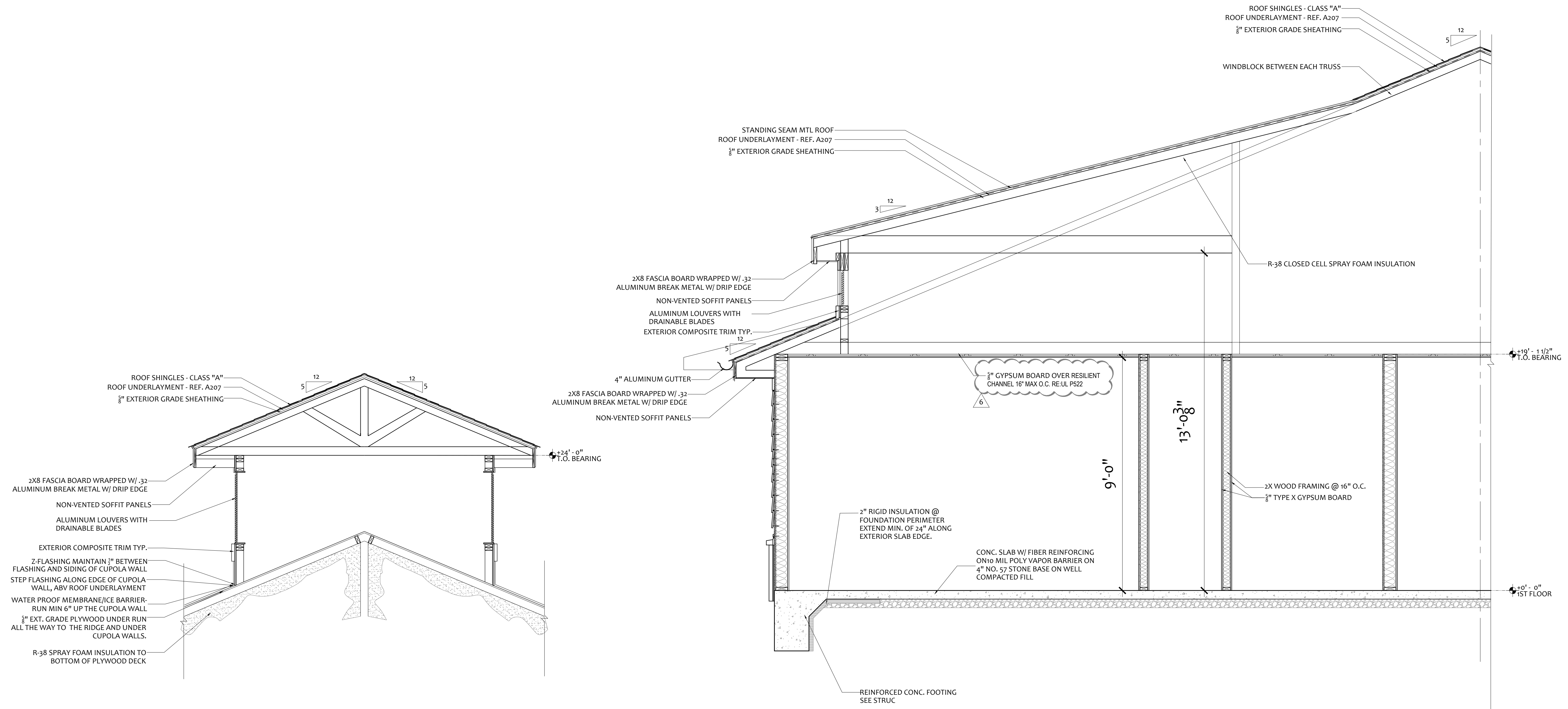
PROJECT NAME:  
**THE SPRINGS OF BALLENTINE**  
 40 RAWLS CLUB RD  
 FUQUAY-VARINA NC.

PROJECT CLIENT:  
**CAROLINA CONTRACTORS**

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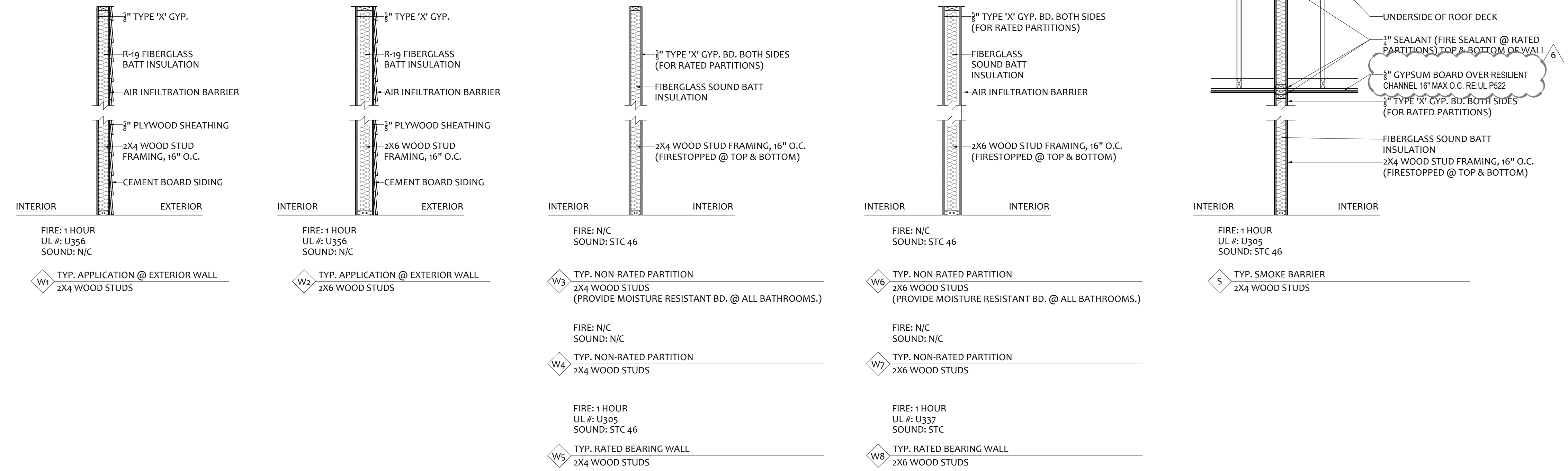
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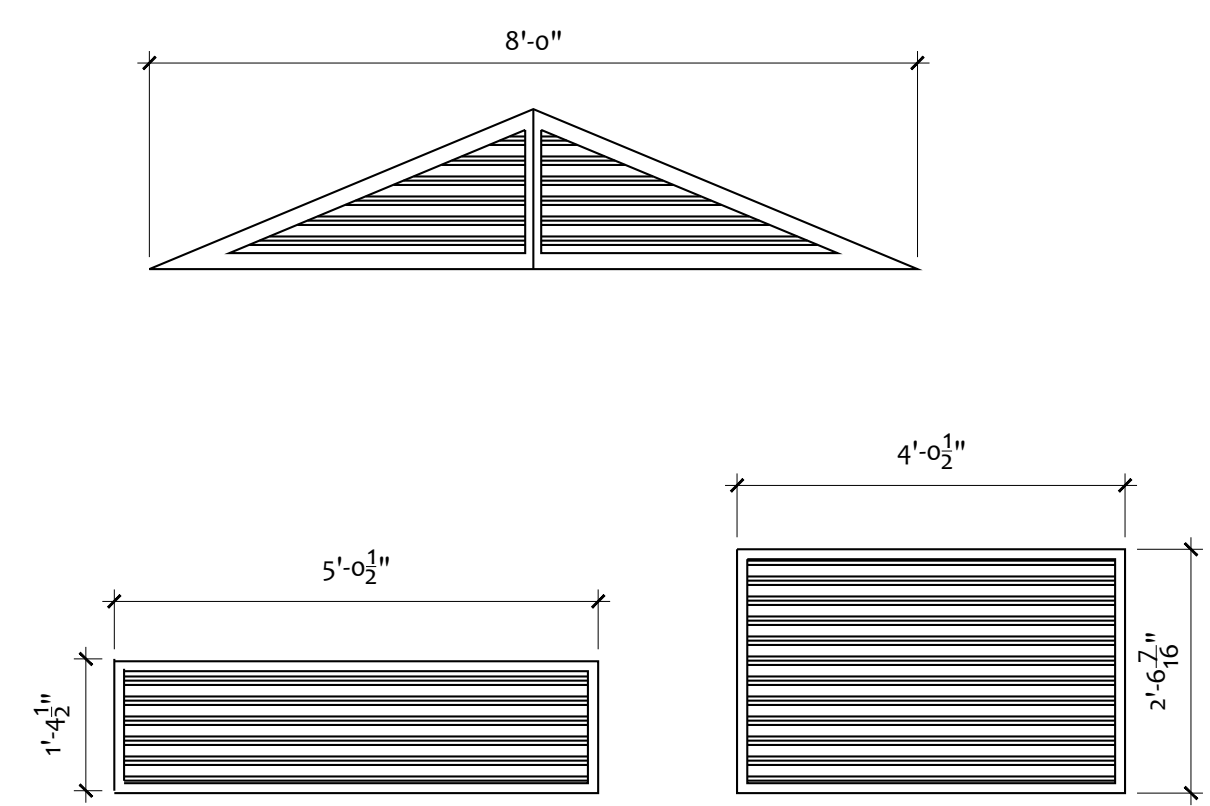
**2 CUPOLA BUILDING SECTION**  
 1/2" = 1'-0"

**1 BUILDING SECTION**  
 1/2" = 1'-0"

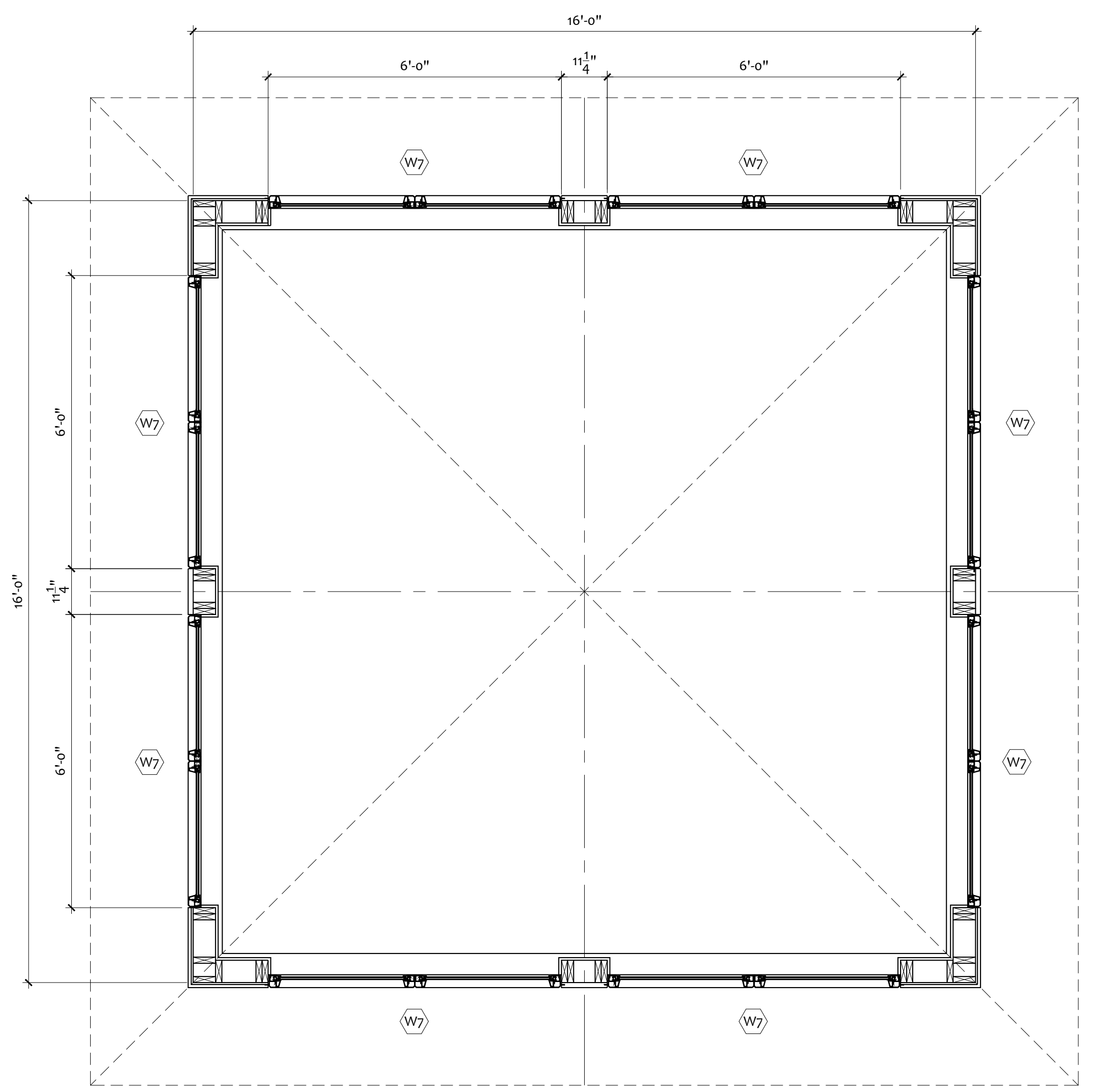
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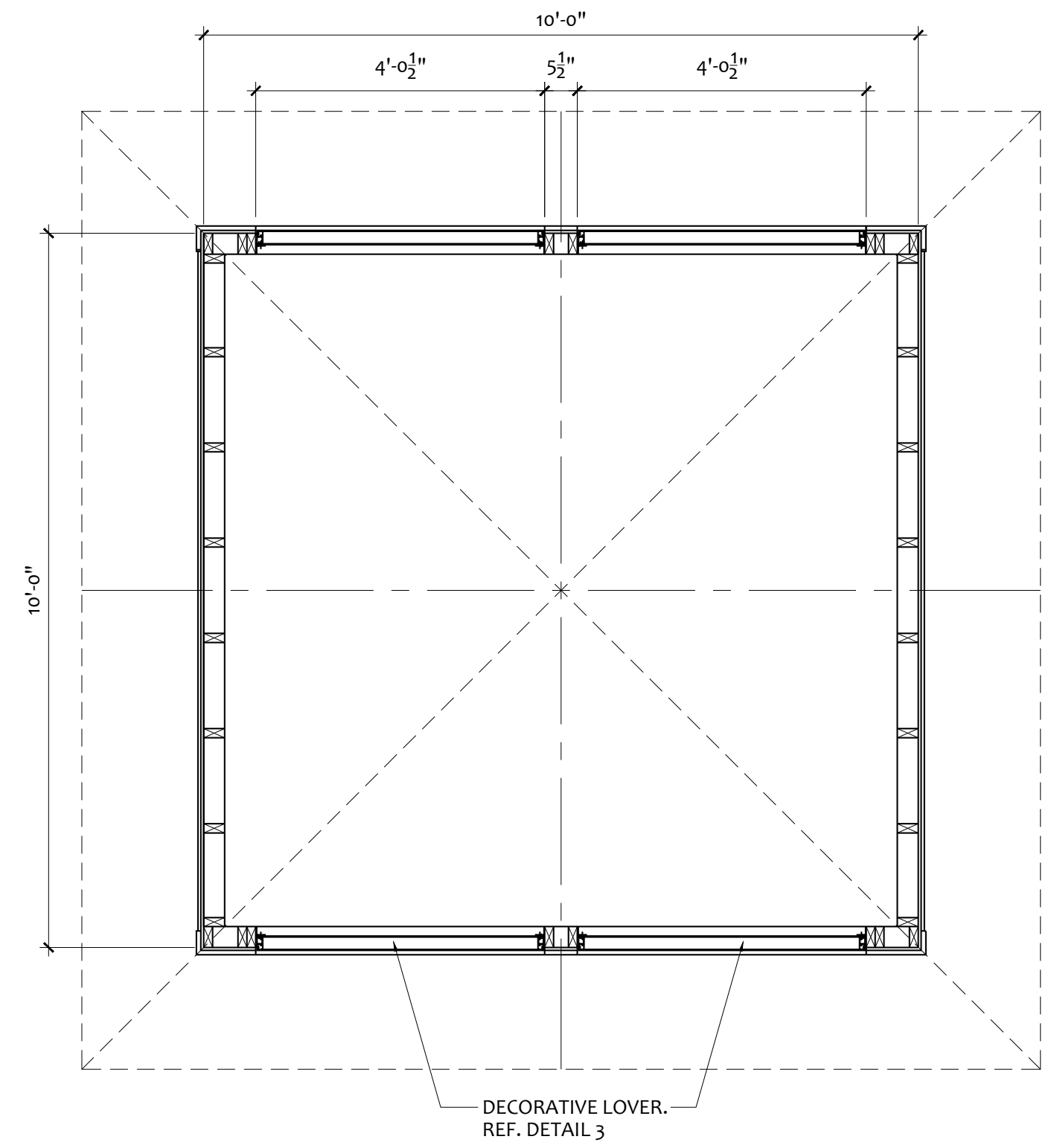
**4 WALL TYPES**  
 1/2" = 1'-0"



**3 LOUVER TYPES**  
 1/2" = 1'-0"

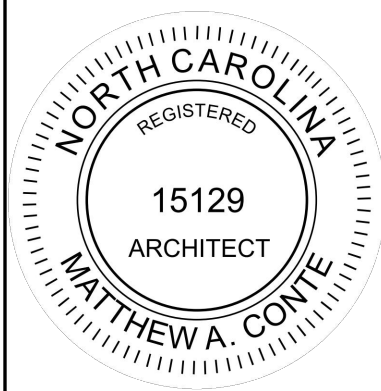


**2 ENTRANCE CUPOLA PLAN DETAIL**  
 1/2" = 1'-0"

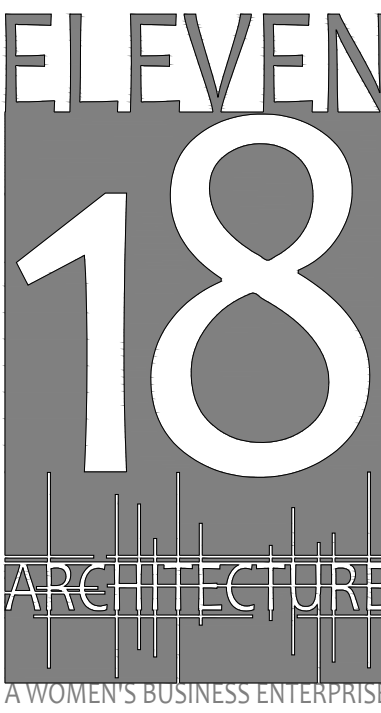


**1 ROOF CUPOLA PLAN DETAIL**  
 1/2" = 1'-0"

20 JUNE, 2023



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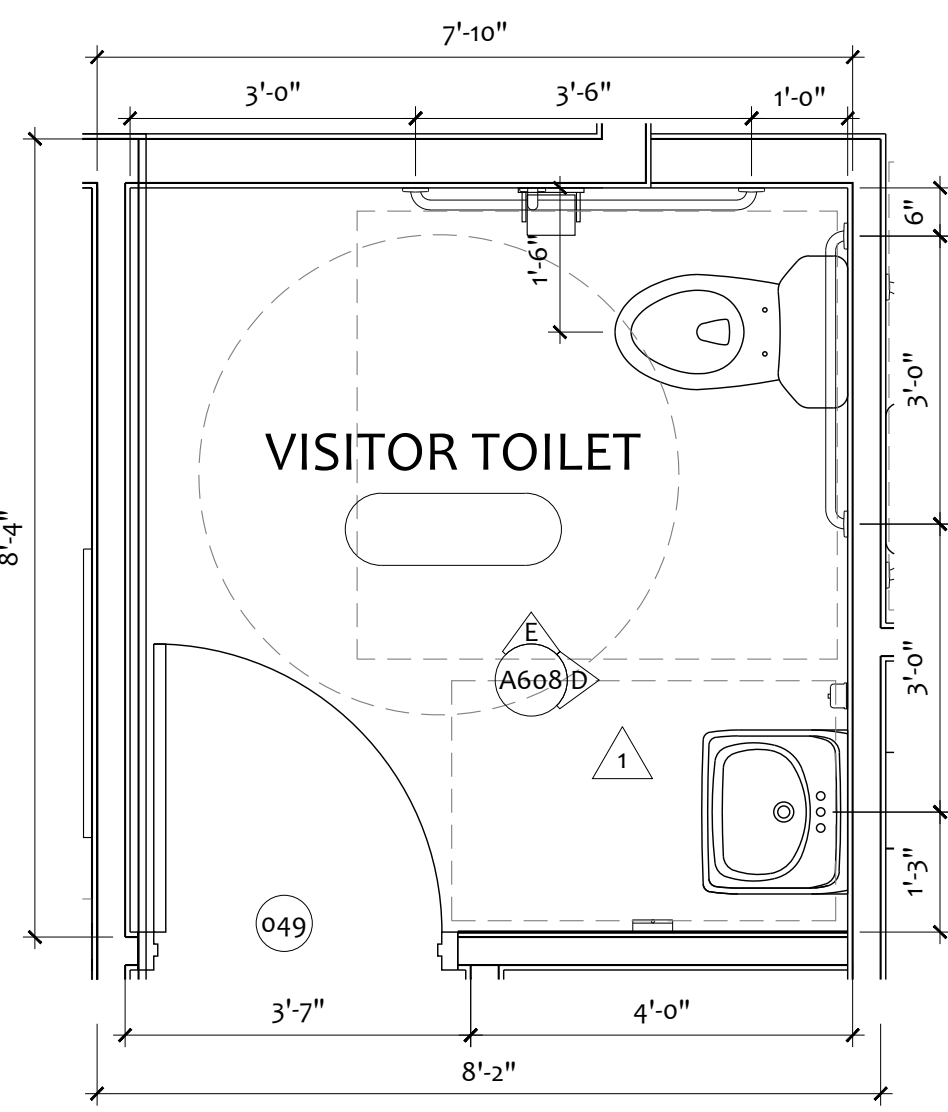
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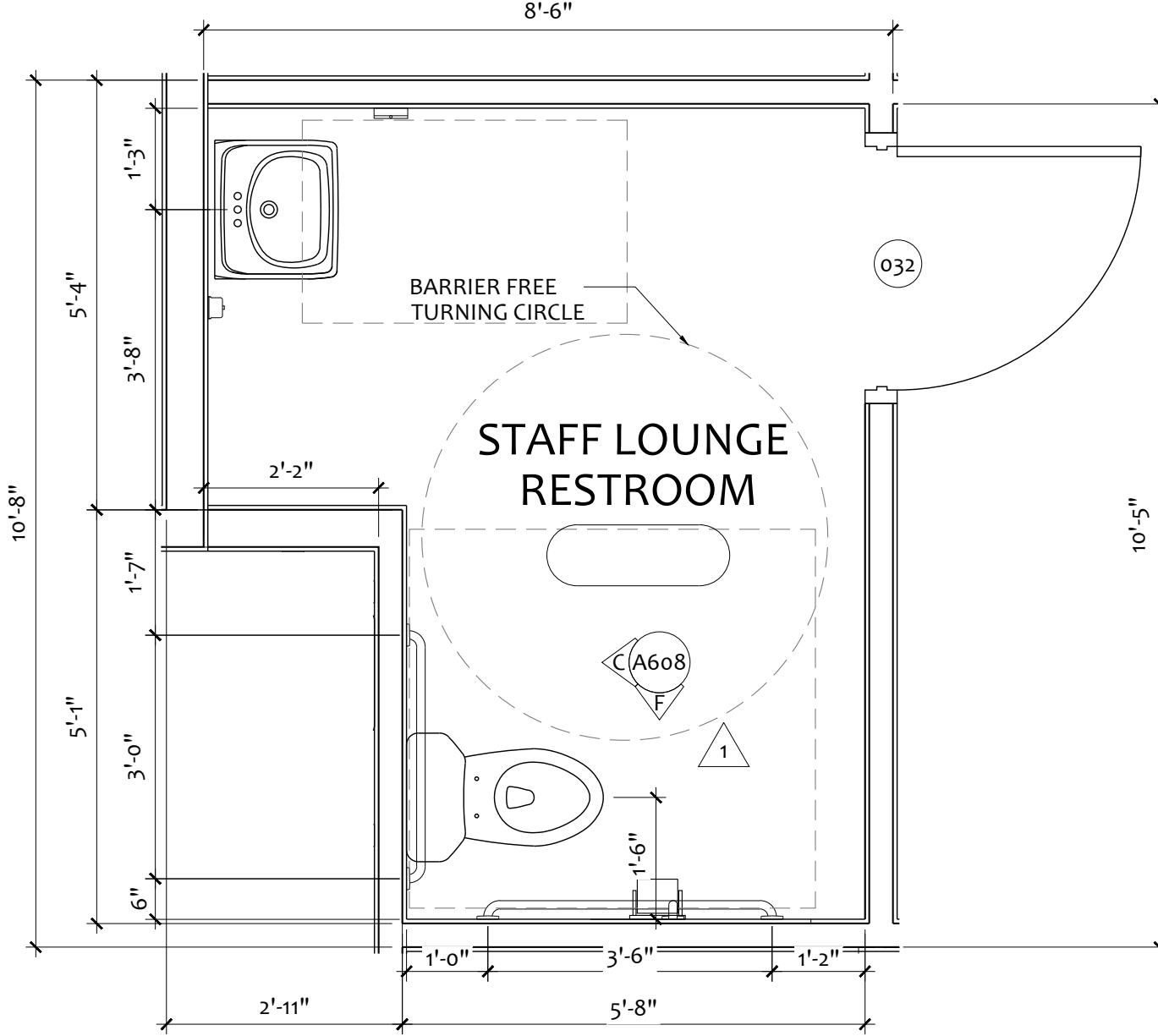
REVISIONS		
#	DATE	DESC.
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1	1/20/23	REV01
6	6/20/23	REV06

**A405**  
 PARTITION, WINDOW & LOUVER TYPES

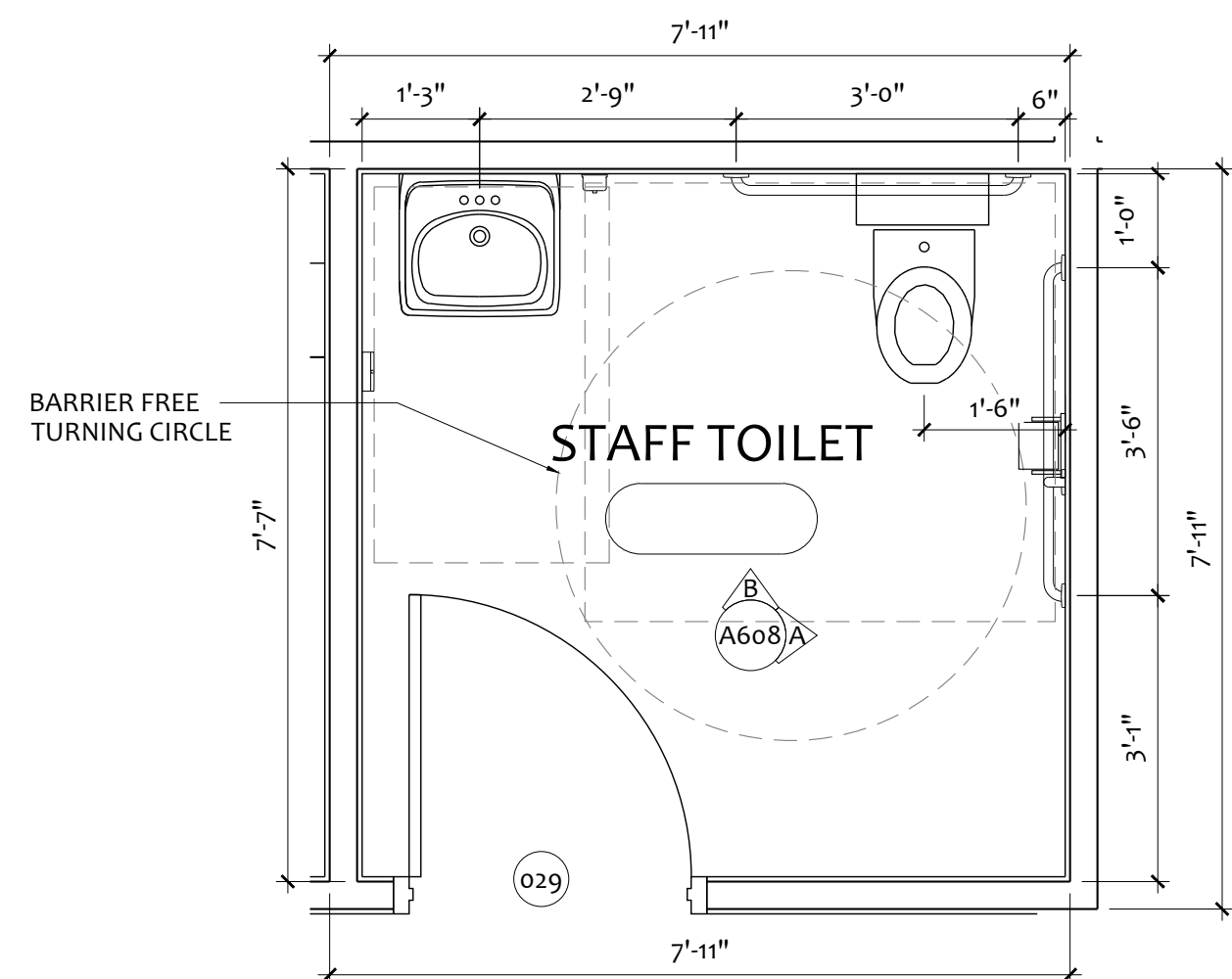
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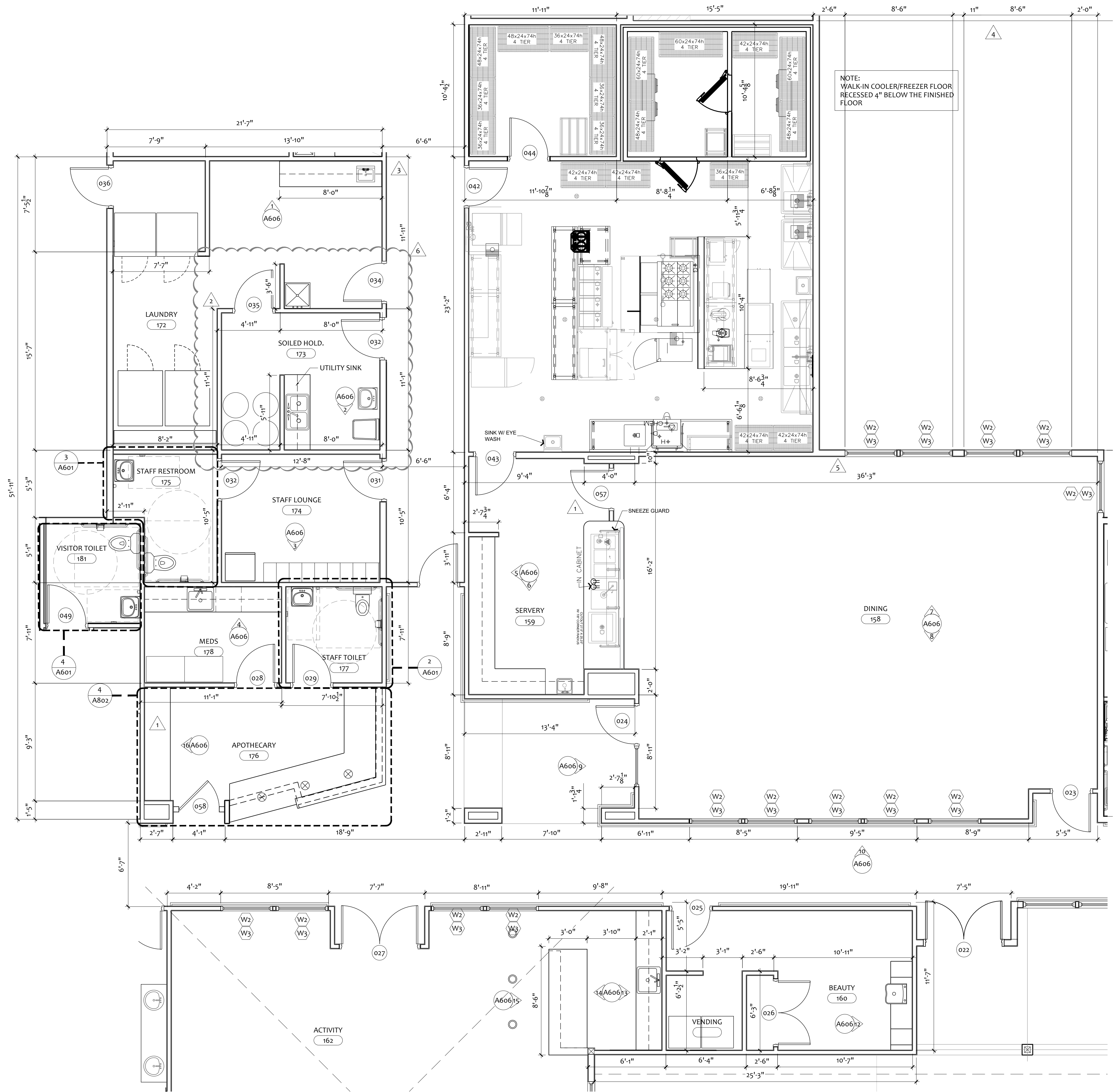
**4 VISITOR TOILET**  
1/2" = 1'-0"



**3 STAFF LONGE RESTROOM**  
1/2" = 1'-0"



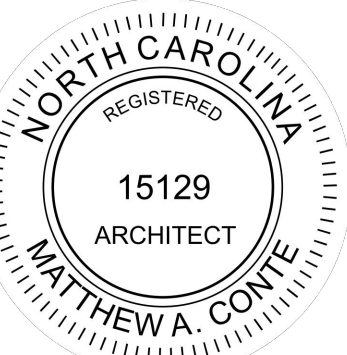
**2 STAFF TOILET**  
1/2" = 1'-0"



**1 LAUNDRY/CARE BASE/MEDS/SERVERY/STAFF LOUNGE & BEAUTY**  
1/4" = 1'-0"

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**THE SPRINGS OF BALLENTINE**

40 RAWL'S CLUB RD  
FUQUAY-VARINA NC.

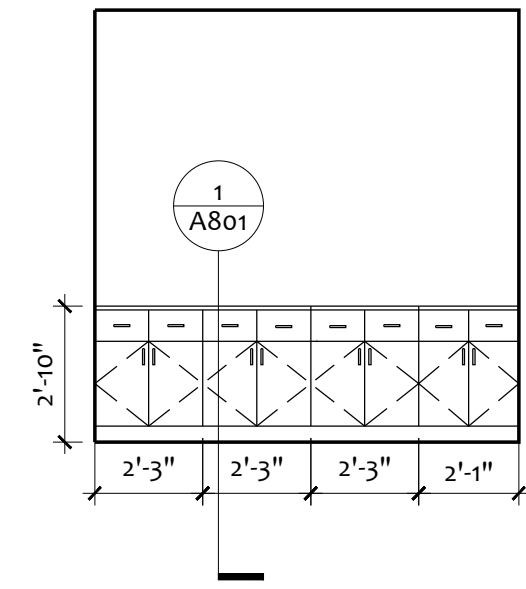
PROJECT CLIENT:  
**CAROLINA CONTRACTORS**

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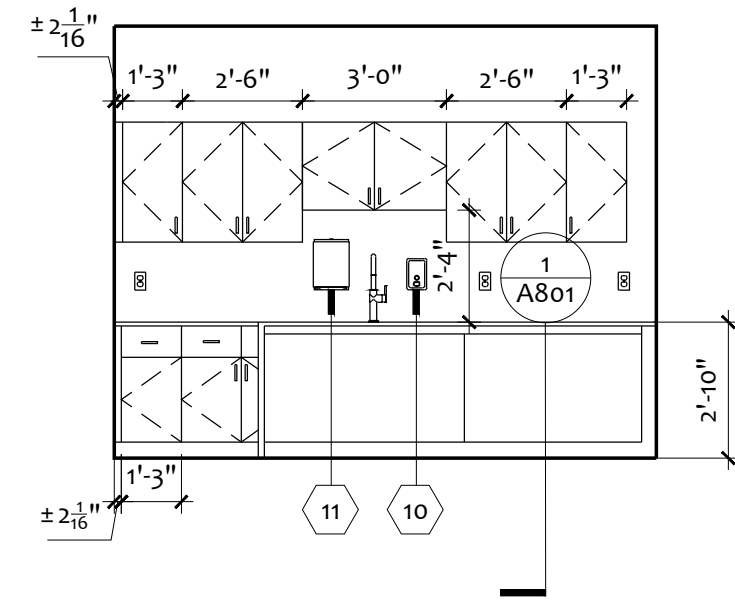
PROJECT TEAM:  
Gabriela Salazar  
Pamela Friday  
Yuan Ping-Lien

REVISIONS		
#	DATE	DESC.
-	1/20/23	PERMIT SUBMITTAL
1	1/20/23	REV01
2	3/3/23	REV02
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5	5/31/23	REV05
6	6/20/23	REV06

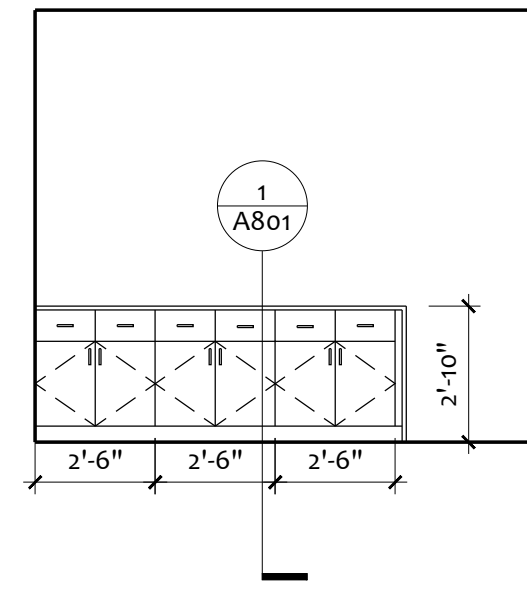
**A601**  
ENLARGED PLANS



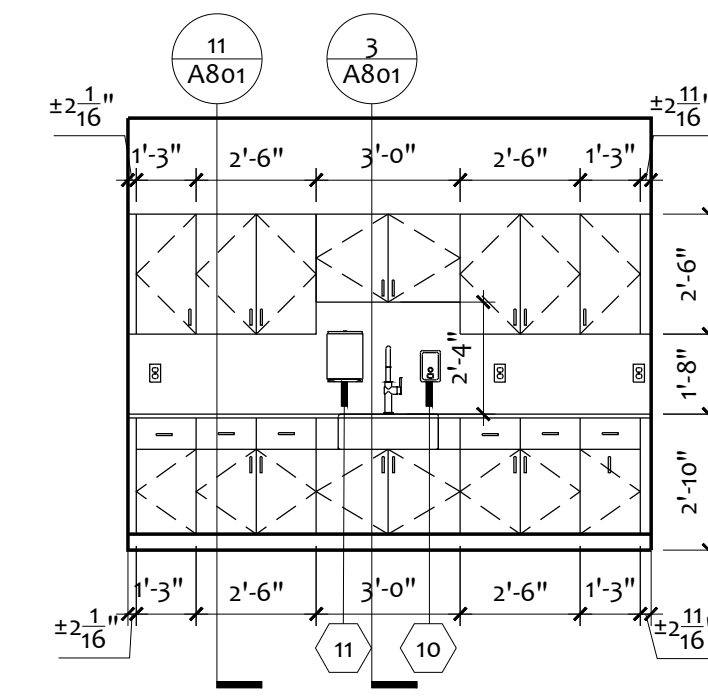
16 APOTHECARY ELEVATION  
 1/4" = 1'-0"



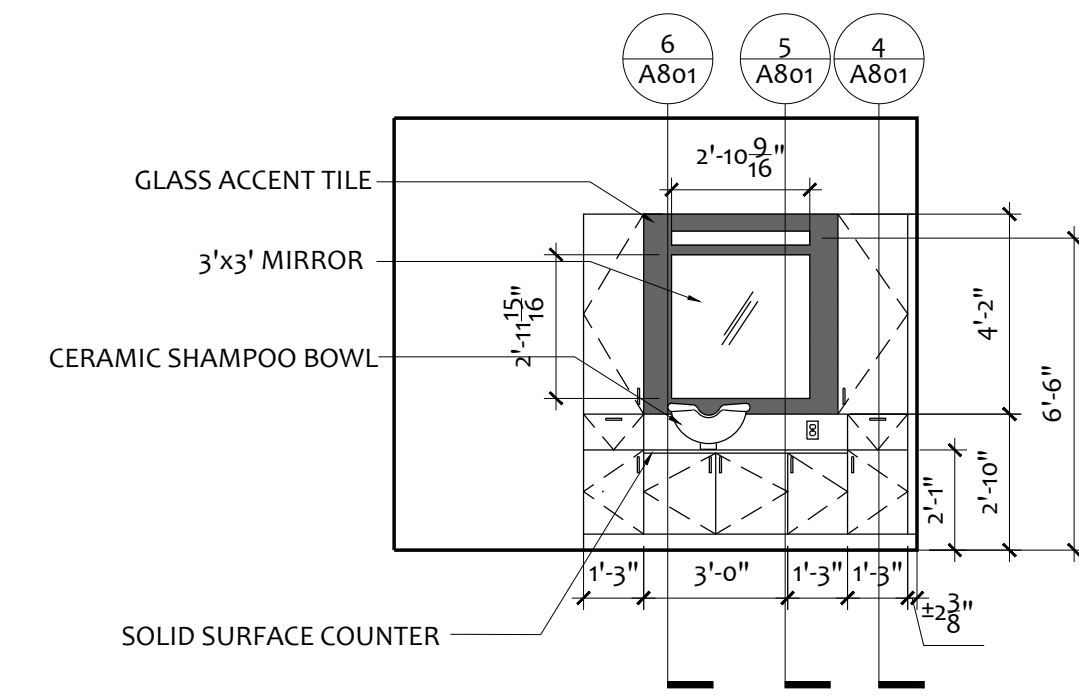
15 ACTIVITY ISLAND WITH KITCHEN ELEVATION  
 1/4" = 1'-0"



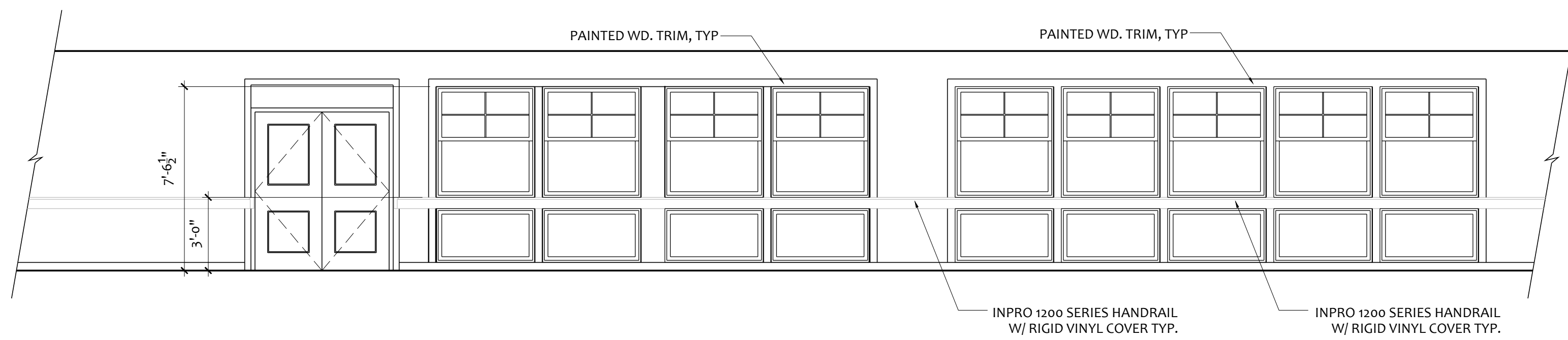
14 ACTIVITY ISLAND ELEVATION  
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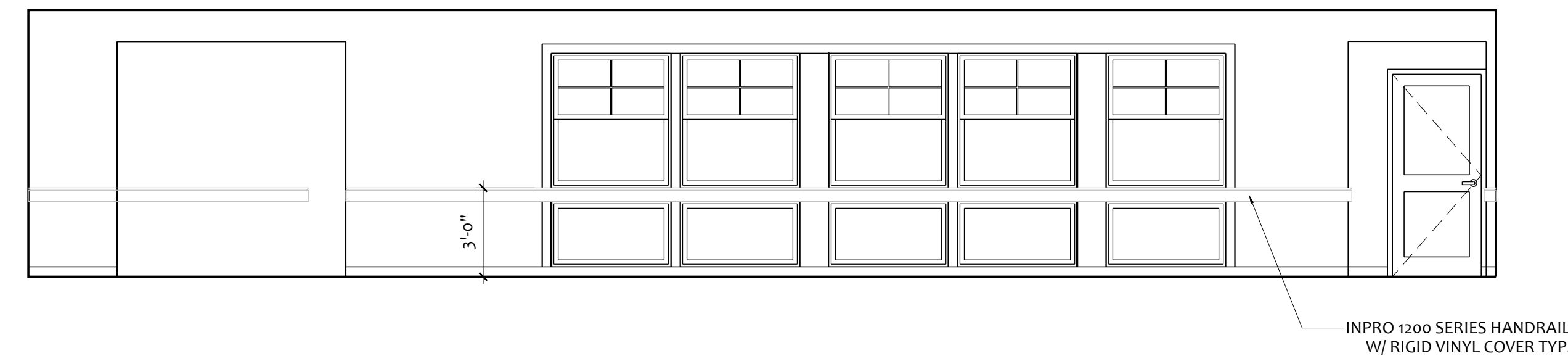
13 ACTIVITY SINK WALL ELEVATION  
 1/4" = 1'-0"



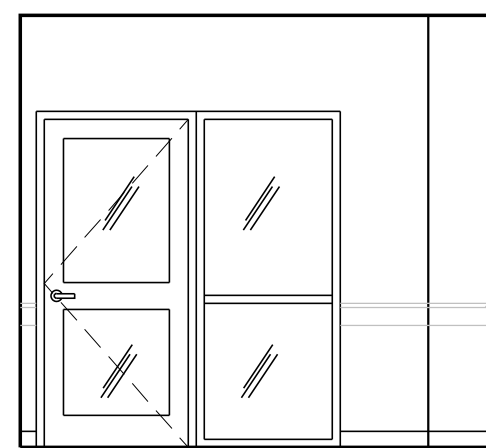
12 BEAUTY ELEVATION  
 1/4" = 1'-0"



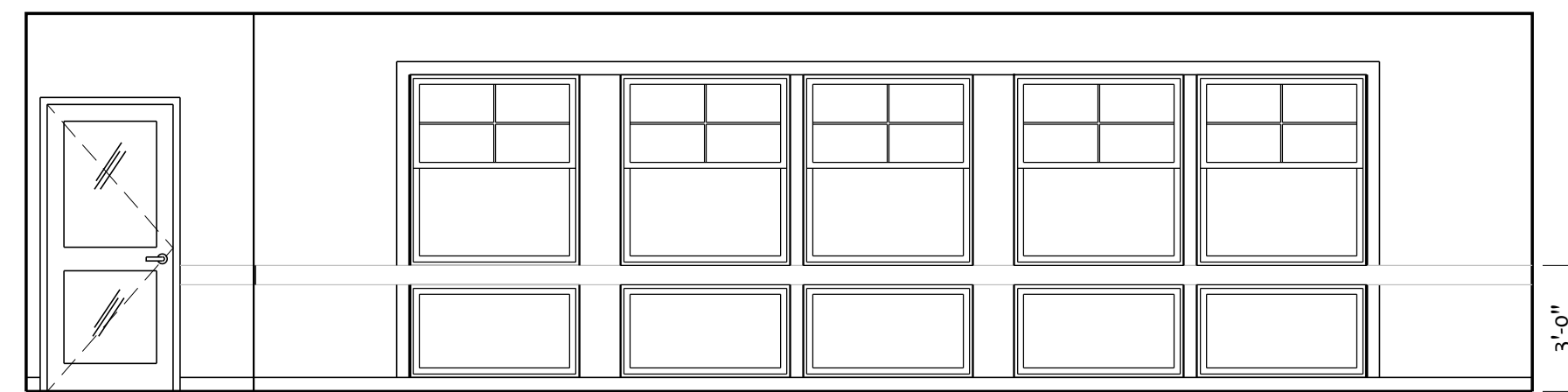
11 CORRIDOR AT COVERED PORCH ELEVATION  
 1/4" = 1'-0"



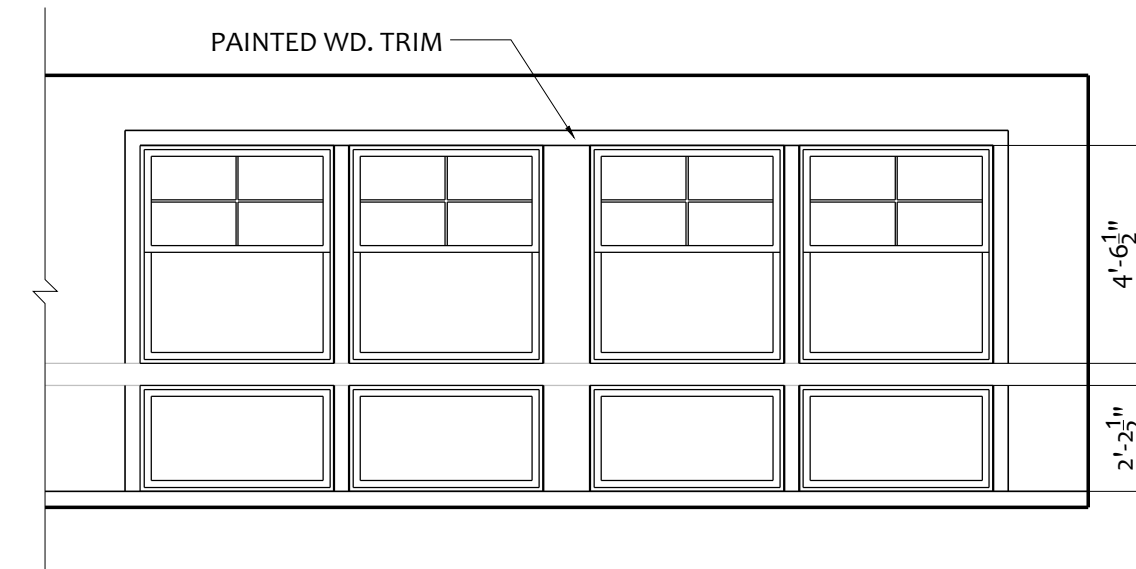
10 CORRIDOR AT DINING ELEVATION  
 1/4" = 1'-0"



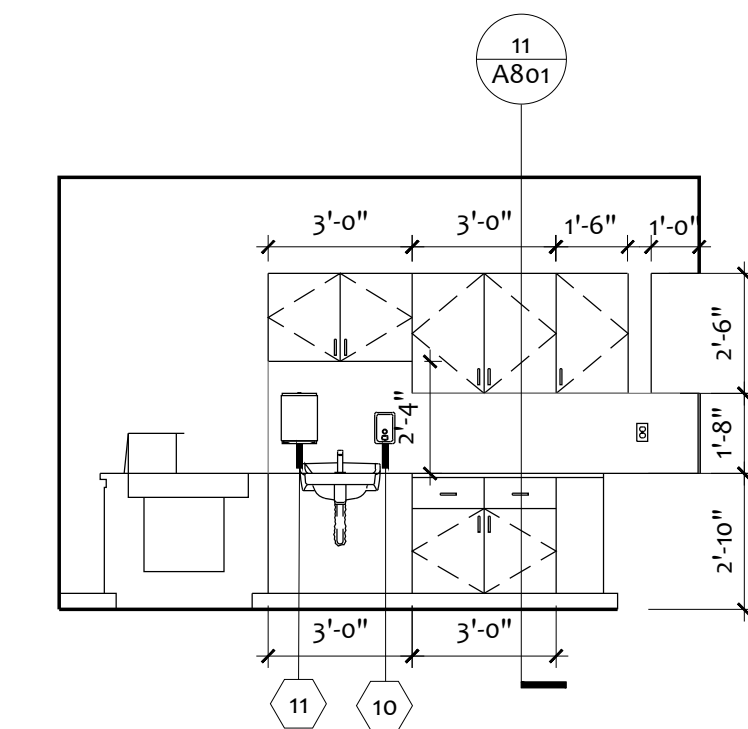
9 DINING ENTRY ELEVATION  
 1/4" = 1'-0"



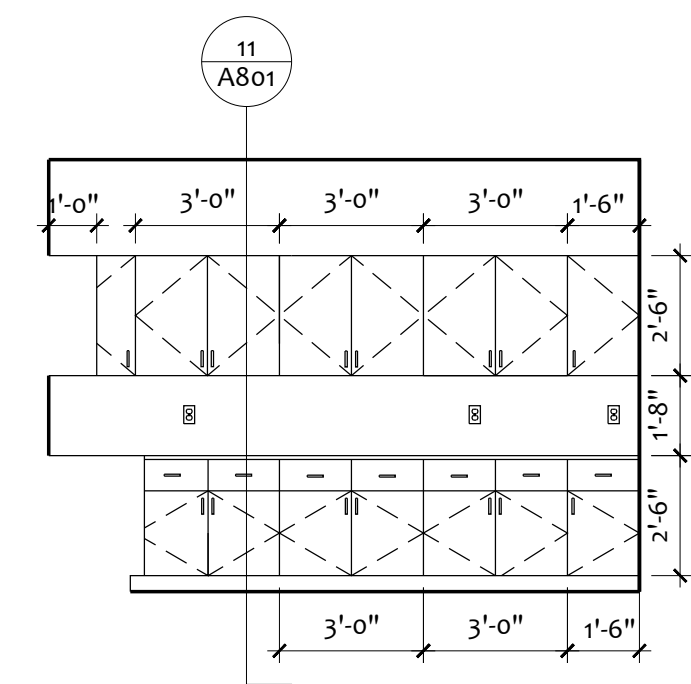
8 DINING WEST WALL ELEVATION  
 1/4" = 1'-0"



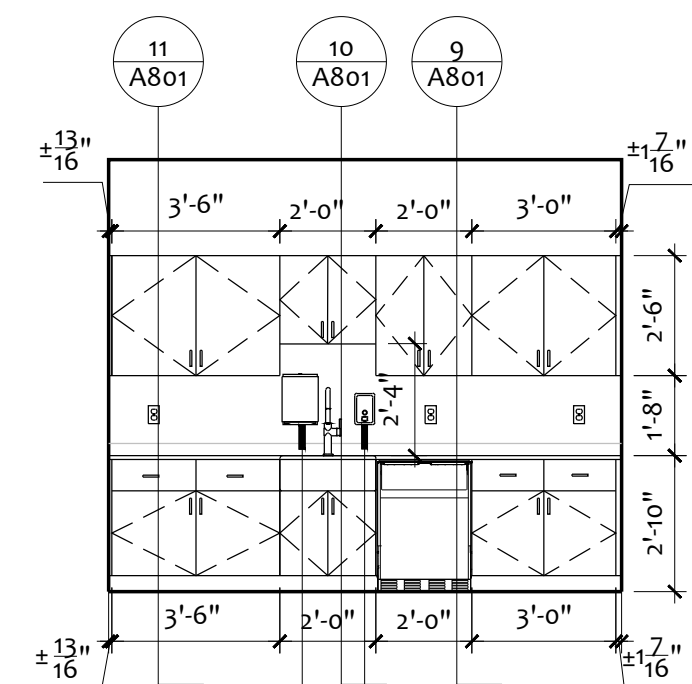
7 DINING EAST WALL ELEVATION  
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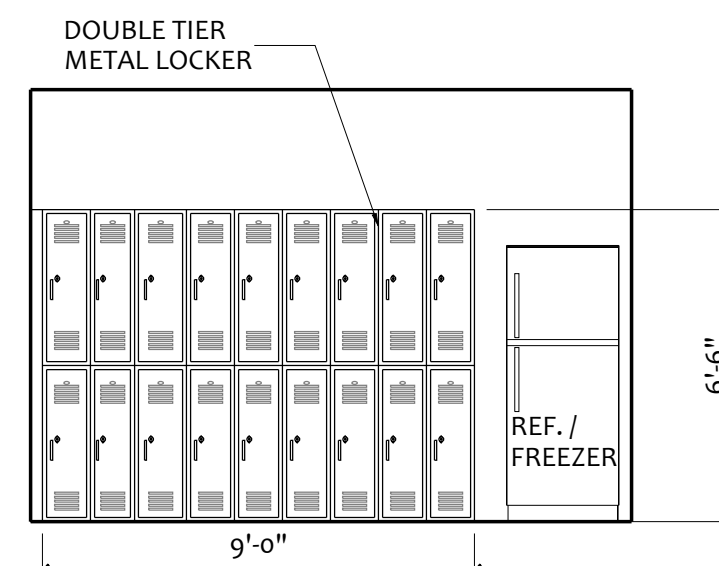
6 SERVERY WEST ELEVATION  
 1/4" = 1'-0"



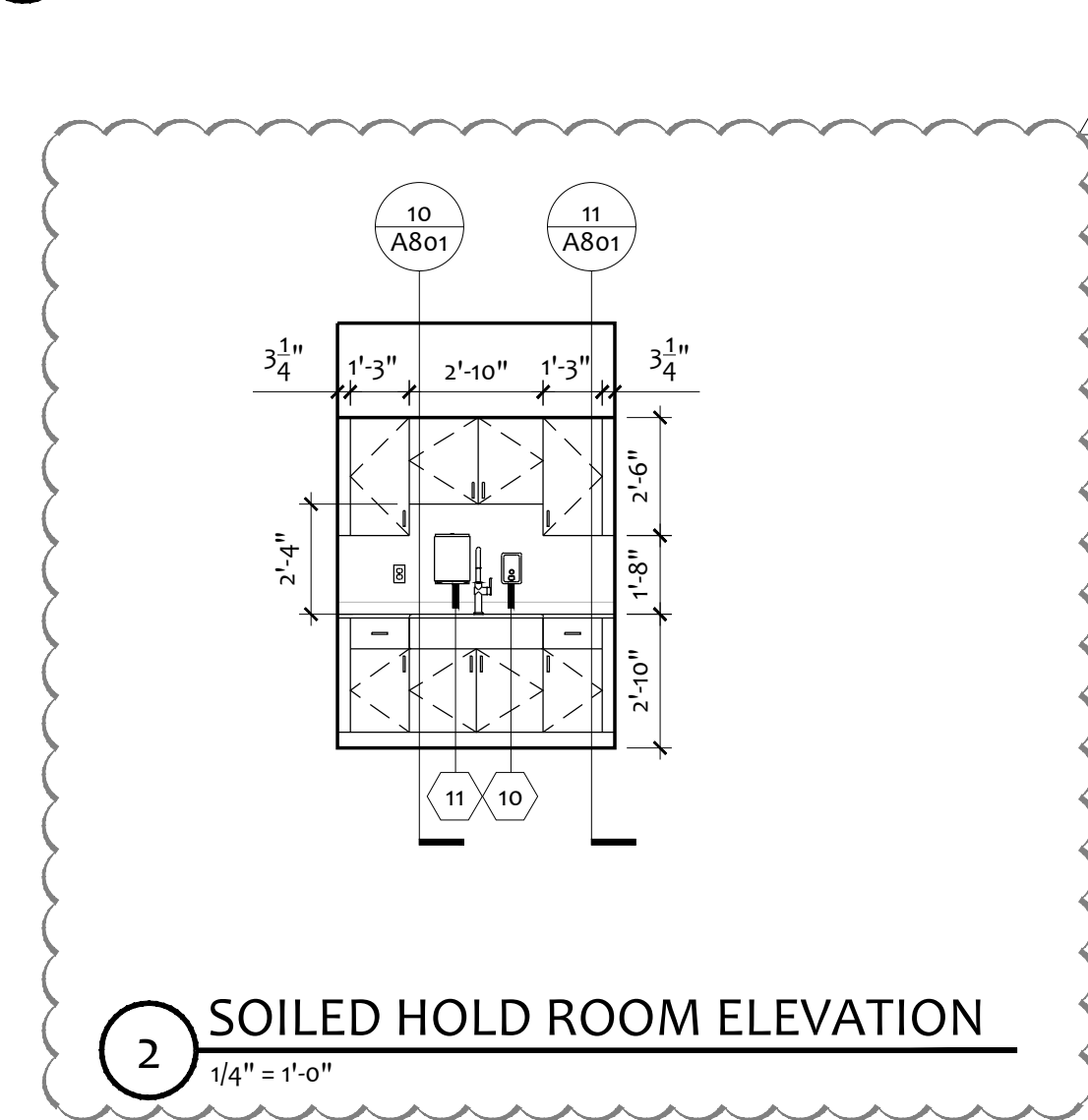
5 SERVERY NORTH ELEVATION  
 1/4" = 1'-0"



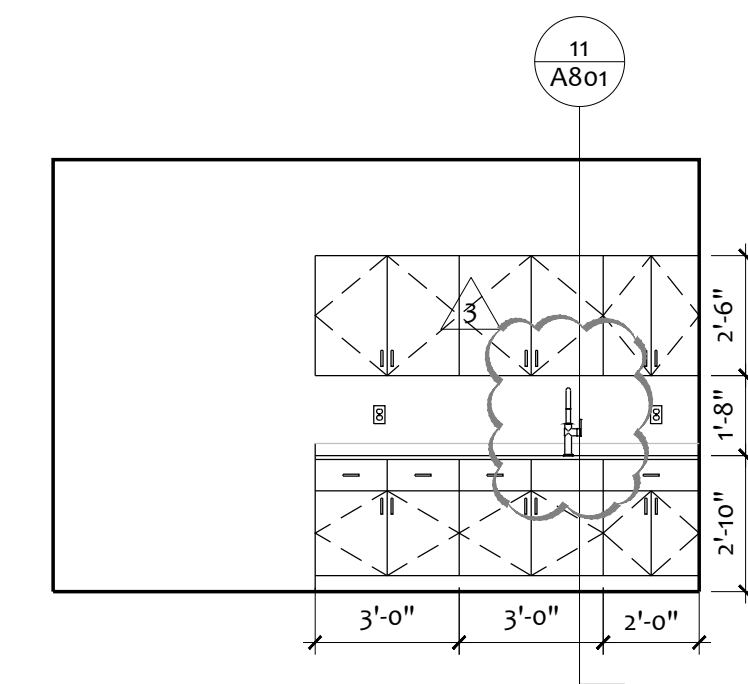
4 MEDS ELEVATION  
 1/4" = 1'-0"



3 STAFF LOUNGE ELEVATION  
 1/4" = 1'-0"



2 SOILED HOLD ROOM ELEVATION  
 1/4" = 1'-0"

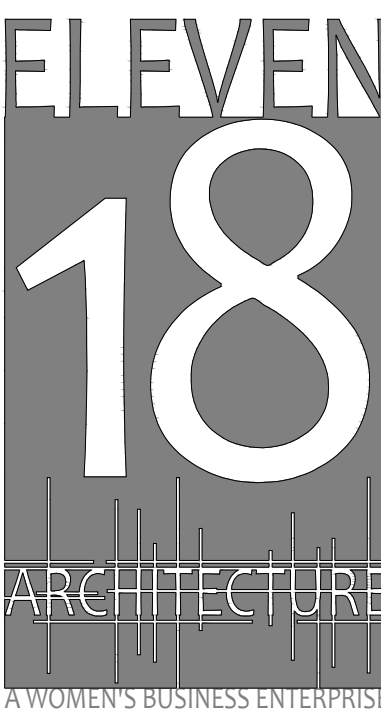


1 LAUNDRY ROOM ELEVATION  
 1/4" = 1'-0"

20 JUNE, 2023



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PROJECT NAME:  
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 FUQUAY-VARINA NC.

PROJECT CLIENT:  
**CAROLINA CONTRACTORS**

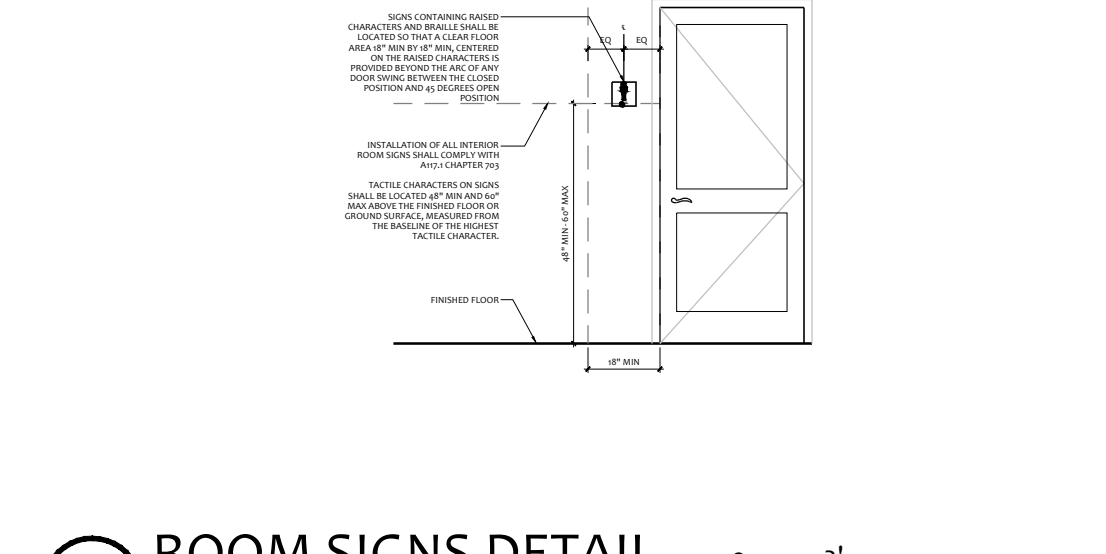
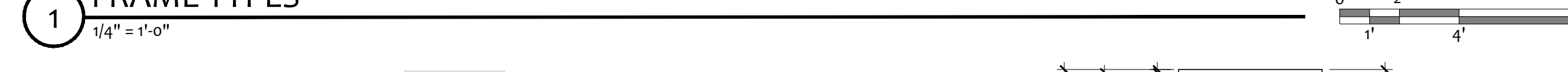
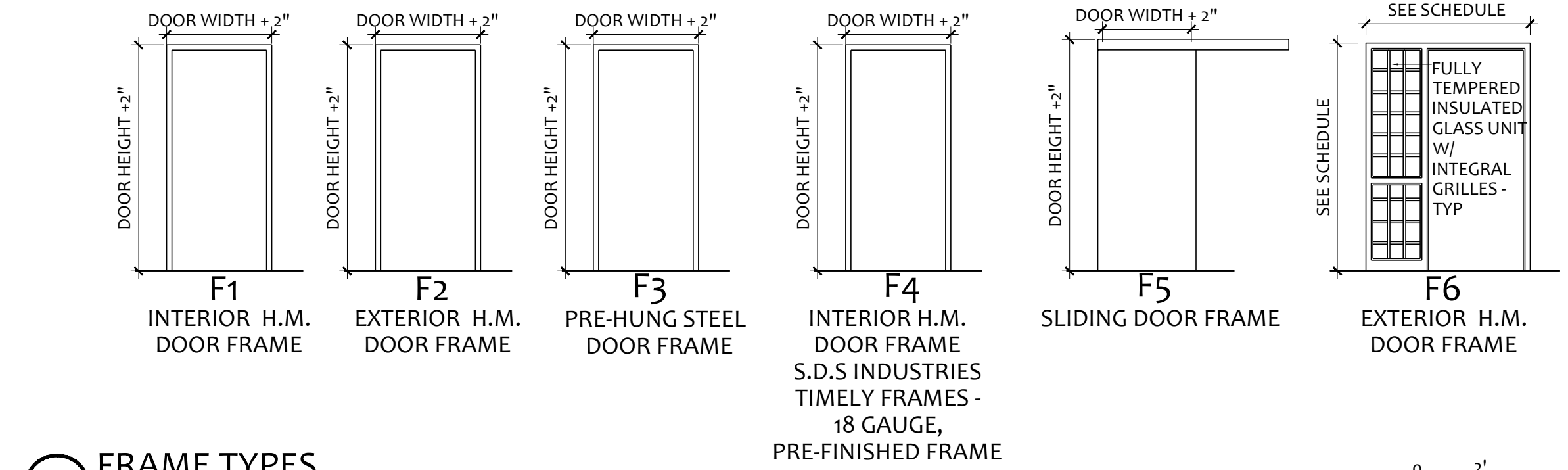
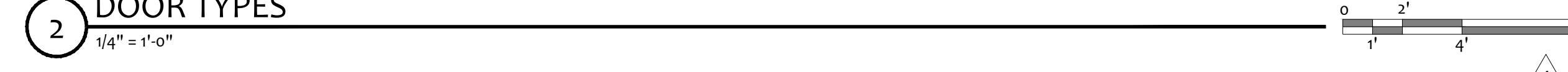
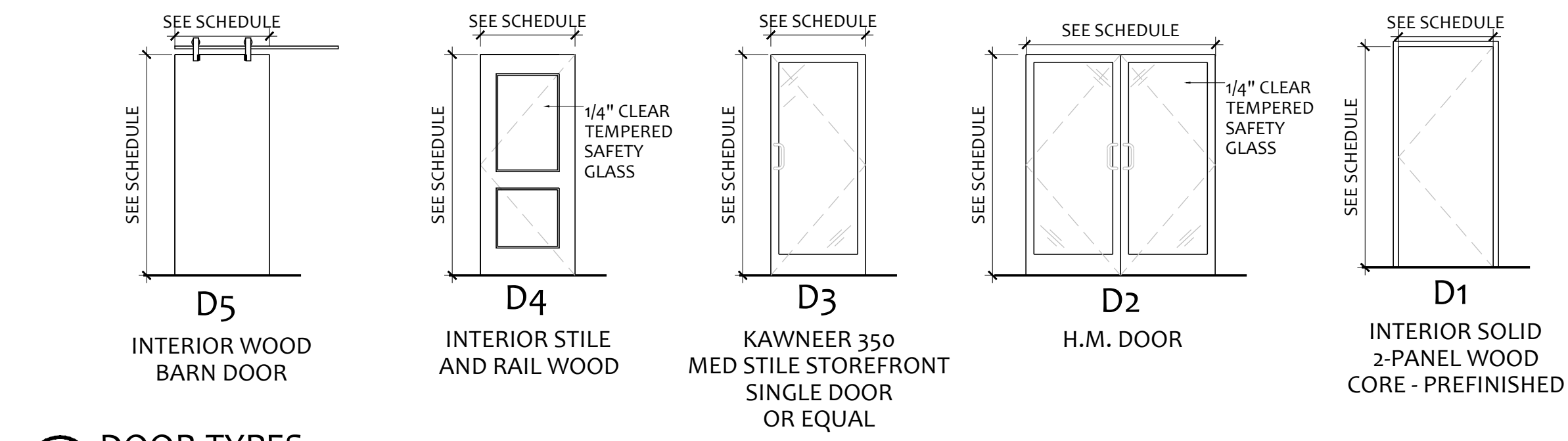
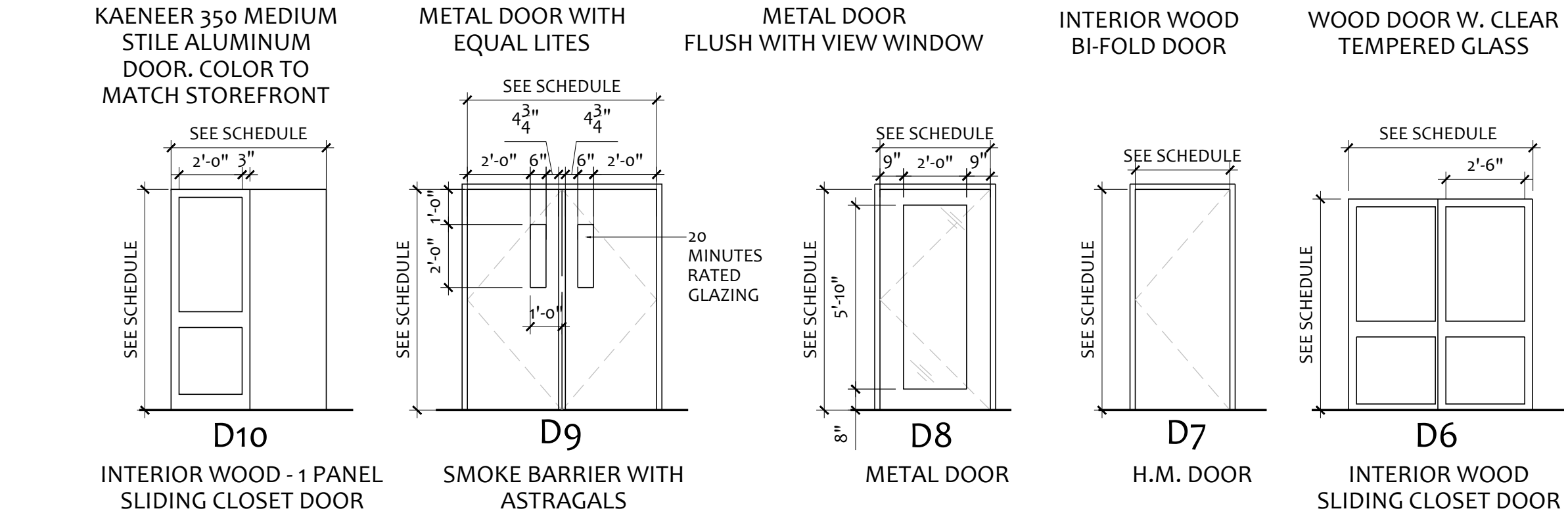
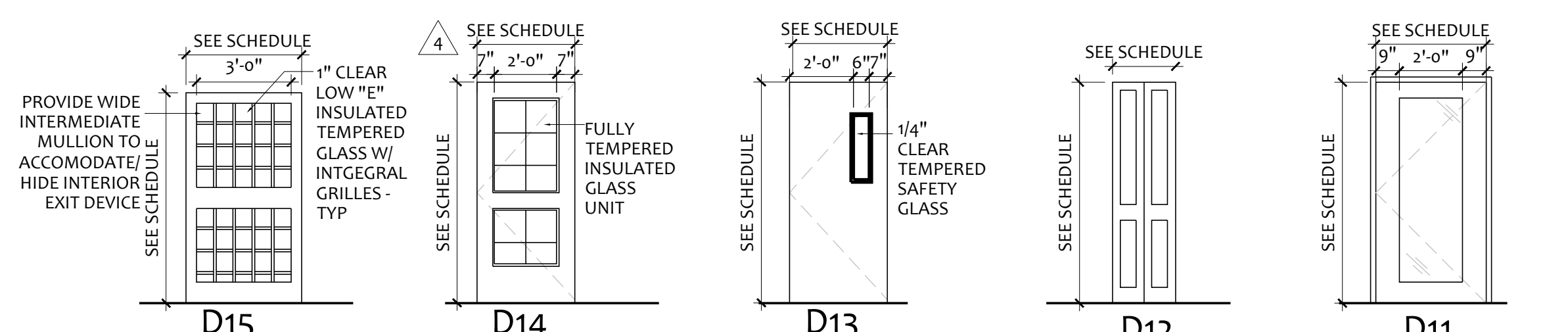
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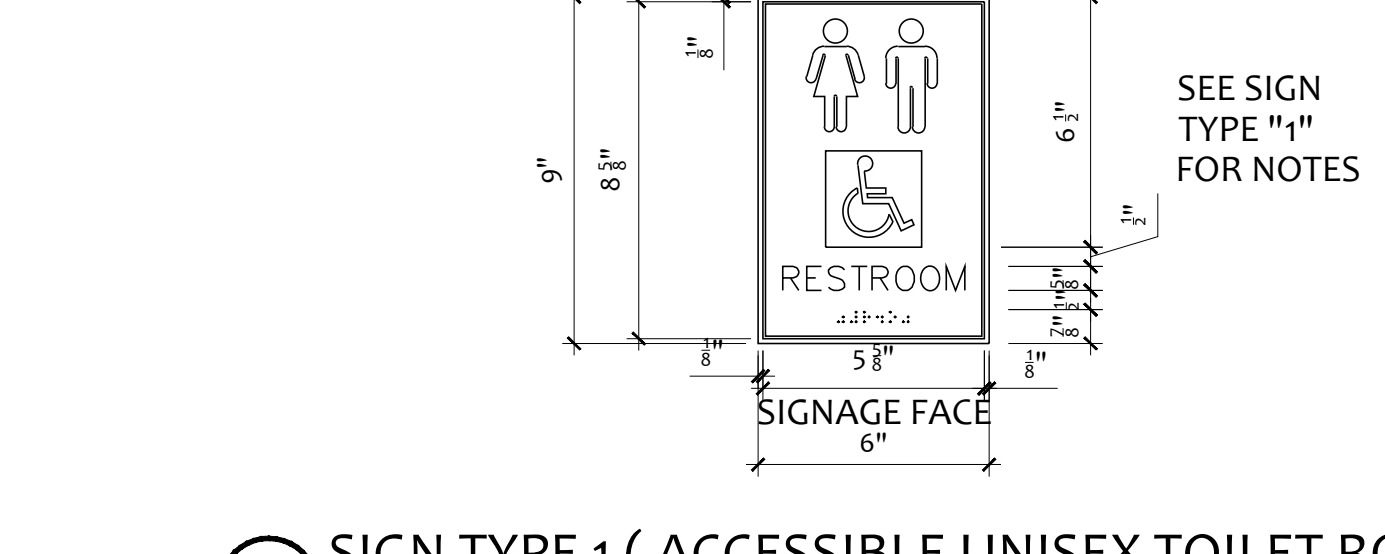
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#	DATE	DESC.
-	1/20/23	PERMIT SUBMITTAL
1	1/20/23	REV01
3	3/22/23	REV03
6	6/20/23	REV06

**A606**  
 INTERIOR ELEVATIONS

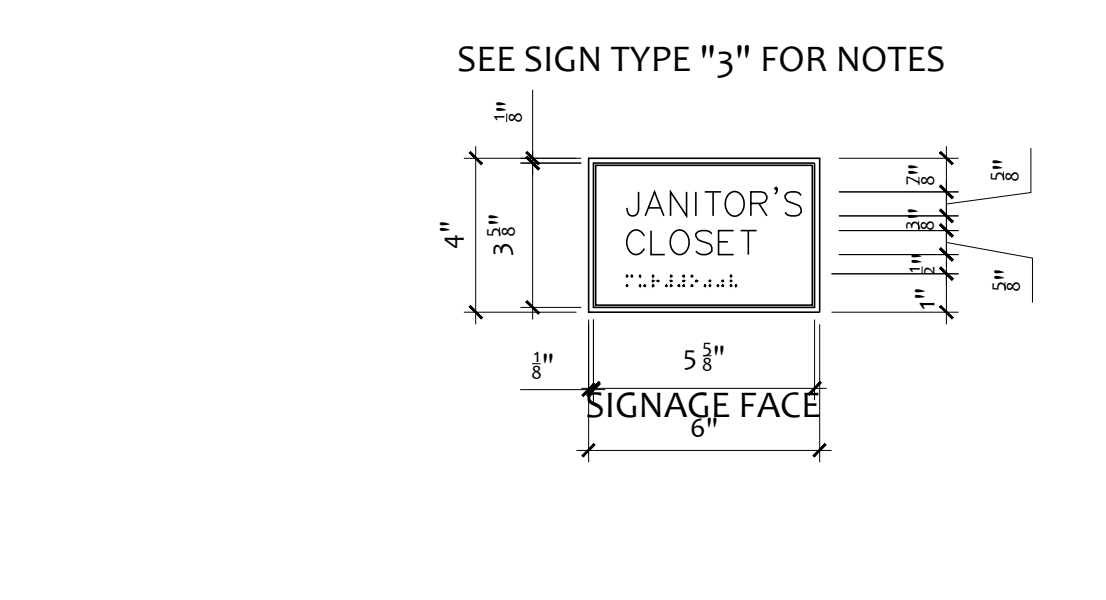




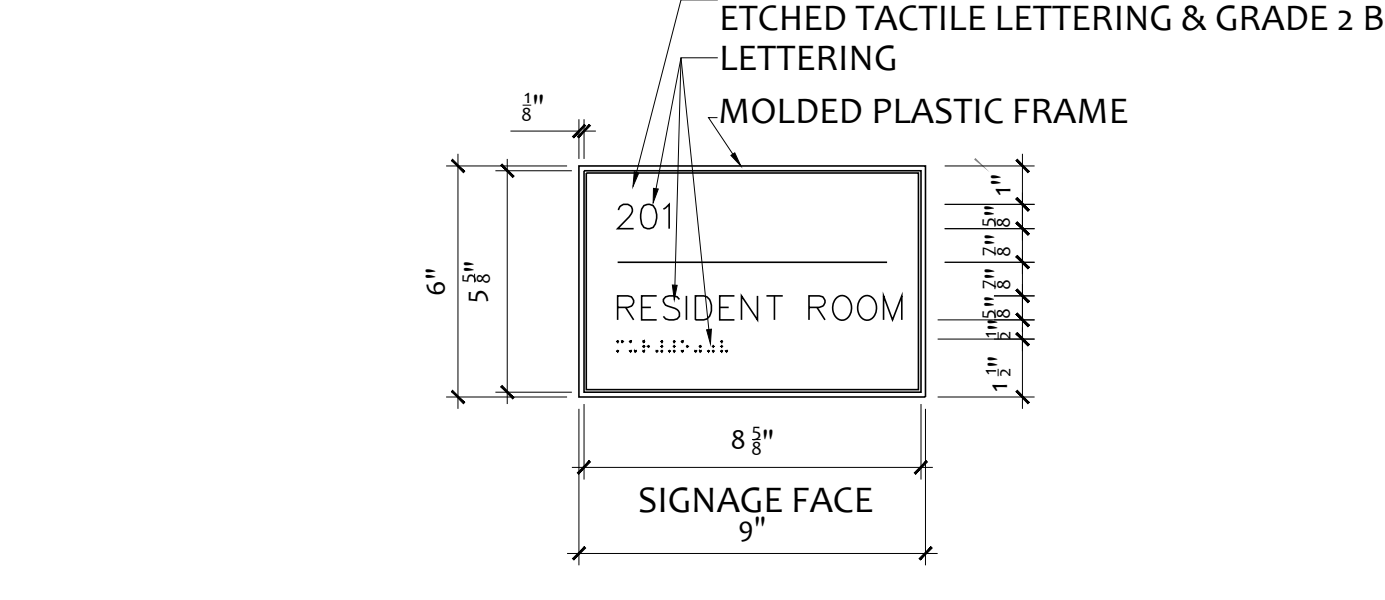
**A ROOM SIGNS DETAIL**  
1/2" = 1'-0"



**B SIGN TYPE 1 (ACCESSIBLE UNISEX TOILET ROOM)**  
N.T.S. (BY OWNER)



**C SIGN TYPE 2 (STORAGE AND ANCILLARY ROOMS)**  
N.T.S. (BY OWNER)



**D SIGN TYPE 3**  
N.T.S. (BY OWNER)

ROOM NAME	DOOR #	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR TYPE	FRAME TYPE	MATERIALS AND FINISHES				HARDWARE	FIRE RATING	COMMENTS
							DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH			
							VESTIBULE EXT.	001	3'-8"	6'-8"			
VESTIBULE INT.	002	3'-8"	6'-8"	1-3/4"	D15	-	GLASS	-	ALUM	-	2	-	(2) (3)
WOMEN TLT.	003	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	6	-	
MEN TLT.	004	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	6	-	
RECEPTION	005	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	3	-	
ADM. OFFICE	006	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	3	-	
DATA ROOM	007	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	10	-	
MKTG OFFICE	008	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	3	-	
BUS. OFFICE	009	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	3	-	
CORRIDOR	010	2@3'-0"	6'-8"	1-3/4"	D9	F1	HM	-	HM	-	18	1/3 HR	(3) (5)
RES. LAUNDRY	011	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	10	-	
CLEAN LINEN	012	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	10	3/4HR	
ACTIV. OFFICE	013	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	3	-	
ACTIV. DIRECT.	014	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	3	-	
LIVING	015	2@3'-0"	6'-8"	1-3/4"	D4	F1	WOOD	-	HM	-	30	-	(3)
COV. PORCH 2	016	3'-0"	6'-8"	1-3/4"	D14	F4	HM	-	HM	-	17	-	(4)
SOUTH CORR.	017	4'-0"	6'-8"	1-3/4"	D14	F6	HM	-	HM	-	8	-	(2) (3)
COURTYARD 01	018	3'-0"	6'-8"	1-3/4"	D14	F4	HM	-	HM	-	17	-	(4) (3)
EAST CORR. 01	019	4'-0"	6'-8"	1-3/4"	D7	F6	HM	-	HM	-	8	-	(2) (3)
STORAGE	020	3'-0"	6'-8"	1-3/4"	D1	F1	HM	-	HM	-	10	-	
CLEAN LINEN	021	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	10	3/4HR	
COV. PORCH 1	022	6'-0"	6'-8"	1-3/4"	D14	F1	HM	-	HM	-	17	-	(3)
DINING	023	3'-0"	6'-8"	1-3/4"	D11	F4	WOOD	-	HM	-	7	-	(3)
DINING	024	3'-0"	6'-8"	1-3/4"	D11	F4	WOOD	-	HM	-	7	-	(3)
BEAUTY SALON	025	3'-0"	6'-8"	1-3/4"	D3	F1	GLASS	-	HM	-	11	-	
BEAUTY STOR.	026	2@2'-0"	6'-8"	1-3/4"	D12	F4	WOOD	-	HM	-	10	-	
ACTIVITY	027	6'-0"	6'-8"	1-3/4"	D4	F1	WOOD	-	HM	-	30	-	(3)
MED ROOM	028	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	10	-	
STAFF TOILET	029	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	6	-	
SERVICE CORR.	030	3'-0"	6'-8"	1-3/4"	D11	F4	WOOD	-	HM	-	25	-	(3)
STAFF LOUNGE	031	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	7	1HR	
STAFF L. TOILET	032	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	13	-	
SOILED UTILITY	033	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	12	3/4HR	
LAUNDRY	034	3'-0"	6'-8"	1-3/4"	D1	F1	WOOD	-	HM	-	12	3/4HR	
SOILED UTILITY	035	3'-0"	6'-8"	1-3/4"	D1	F1	WOOD	-	HM	-	12	3/4HR	
EXIT LAUNDRY	036	3'-0"	6'-8"	1-3/4"	D7	F2	HM	-	HM	-	14	-	
JAN. CLOSET	037	3'-0"	6'-8"	1-3/4"	D1	F1	WOOD	-	HM	-	10	3/4HR	
STORAGE	038	3'-0"	6'-8"	1-3/4"	D1	F1	HM	-	HM	-	10	3/4HR	
EXIT SVC. CORR.	039	4'-0"	6'-8"	1-3/4"	D7	F2	HM	-	HM	-	8	-	(2) (3)
ELECTRICAL RM	040	2@3'-0"	6'-8"	1-3/4"	D1	F1	HM	-	HM	-	16	-	(3)
MECH. ROOM	041	2@3'-0"	6'-8"	1-3/4"	D1	F1	HM	-	HM	-	16	-	(3)
KITCHEN	042	3'-0"	6'-8"	1-3/4"	D7	F4	HM	-	HM	-	11	-	
SERVERY	043	3'-0"	6'-8"	1-3/4"	D1	F4	HM	-	HM	-	11	-	
KITCHEN	044	3'-0"	6'-8"	1-3/4"	D7	F1	WOOD	-	HM	-	15	-	
EAST CORR. 02	045	2@3'-0"	6'-8"	1-3/4"	D9	F1	HM	-	HM	-	18	1HR	(3) (5)
BATHING	046	3'-0"	6'-8"	1-3/4"	D1	F1	WOOD	-	HM	-	4	-	
JAN. CLOSET	047	3'-0"	6'-8"	1-3/4"	D1	F1	WOOD	-	HM	-	10	-	
STORAGE	048	3'-0"	6'-8"	1-3/4"	D1	F1	HM	-	HM	-	10	-	
VISITOR TOILET	049	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	6	-	
BATHING	050	3'-0"	6'-8"	1-3/4"	D7	F2	HM	-	HM	-	10	-	
NORTH CORR.	051	4'-0"	6'-8"	1-3/4"	D14	F6	HM	-	HM	-	8	-	(2) (3)
STORAGE	052	3'-0"	6'-8"	1-3/4"	D1	F1	HM	-	HM	-	10	3/4HR	
TEL./ELEC.	053	3'-0"	6'-8"	1-3/4"	D1	F1	HM	-	HM	-	10	1HR	
LOUNGE	054	6'-0"	6'-8"	1-3/4"	D14	F1	HM	-	HM	-	17	-	(4) (3)
ACTIVITY													
ACTIVITY													
SERVERY	057	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	11	-	
APOTHECANY	058	3'-0"	6'-8"	1-3/4"	D1	F4	WOOD	-	HM	-	11	-	

**DOOR / FRAME SCHEDULE NOTES:**

(1) DOOR TO BE PROVIDED WITH KEY PAD ON EACH SIDE OF DOOR

(2) DOOR TO BE PROVIDED WITH MAGNETIC LOCK HAVING THE FOLLOWING OPERATIONAL SEQUENCE:  
 A. MAGNETIC LOCK WILL UNLOCK WHEN FIRE ALARM IS ACTIVATED.  
 B. NOTE REMOVED.  
 C. ATTENDANT WILL ASSESS CONDITION AND ACTIVATE AN ALARM IF NEEDED. THIS ALARM WILL UNLOCK THE MAGNETIC LOCKS.  
 D. MAGNETIC LOCK SYSTEM SHALL BE INSTALLED IN KEEPING WITH 2018 NCBC 407.12 "SPECIAL LOCKING ARRANGEMENTS FOR LICENSED GROUP 1-2 AND LARGE RESIDENTIAL CARE FACILITIES AS DESCRIBED IN SECTION 425" AND 2018 NCBC 1010.1.9.6 CONTROLLED EGRESS DOORS IN 1-1 AND 1-2

(3) PANIC HARDWARE REQUIRED

(4) INCLUDE "NOT AN EXIT" SIGNAGE ON INTERIOR SIDE OF DOOR & INSTALL PANIC HARDWARE ON EXTERIOR OF DOOR

(5) DOUBLE EGRESS

HARDWARE SET 1			
• 1 CONTINUOUS HINGE (1)	• 1 EXIT DEVICE	• 1 EXT. TRIM W/ LEVER	• 1 MAGNETIC LOCK
• 2 KEYPADS	• 1 CLOSER W/ HOLD OPEN (1)	• 1 THRESHOLD (1)	(1) PROVIDED BY DOOR/STOREFRONT VENDOR
HARDWARE SET 2			
• 1 CONTINUOUS HINGE (1)	• 1 EXIT DEVICE	• 1 EXT. TRIM W/ LEVER HANDLE	• 1 CYLINDER
• 1 CLOSER W/ HOLD OPEN (1)	• 1 WEATHERSTRIPPING SET (1)	• 1 BOTTOM SWEEP	• 1 THRESHOLD (1)
• 1 MAGNETIC LOCK	• 1 CLOSER	• 1 WALL BUMPER	• 1 KICKPLATE
• 1 SET SMOKE SEAL	• 1 SET SILENCERS		
HARDWARE SET 3			
• 3 HINGES	• 1 OFFICE LOCKSET	• 1 WALL BUMPER	• 1 SET SMOKE SEAL
• 1 SET SILENCERS			
HARDWARE SET 4			
• 3 HINGES	• 1 PASSAGE SET	• 1 CLOSER (OMIT DOOR NOB)	• 1 WALL BUMPER
• 1 SET SILENCERS			
HARDWARE SET 5			
HARDWARE SET NOT USED			
HARDWARE SET 6			
• 3 HINGES	• 1 PRIVACY SET	• 1 CLOSER	• 1 WALL BUMPER
• 1 SET SILENCERS			
HARDWARE SET 7			
• 3 HINGES	• 1 PASSAGE SET	• 1 EXT. TRIM W/ LEVER HANDLE	• 1 INTR. TRIM W/ LEVER HANDLE
• 1 CYLINDER	• 1 DUMMY EXT. TRIM W/ LEVER HANDLE - FOR INACTIVE LEAF	• 1 SET FLUSH BOLTS	• 1 DUST PROOF FLUSH BOLT STRIKE
• 1 LATCH PROTECTOR	• 2 CLOSER	• 2 KICKPLATES	• 1 WEATHERSTRIPPING SET
• 1 THRESHOLD (72")	• 1 SET SILENCERS		
HARDWARE SET 8			
• 3 HINGES	• 1 CLOSER	• 1 KICKPLATE	• 1 EXT. TRIM W/ LEVER HANDLE
• 1 WALL BUMPER	• 1 SET SILENCERS		
HARDWARE SET 9			
HARDWARE SET NOT USED			
HARDWARE SET 10			
• 3 HINGES	• 1 STOREROOM LOCKSET	• 1 CLOSER	• 1 WALL BUMPER
• 1 KICKPLATE	• 1 SET SILENCERS		
HARDWARE SET 11			
• 3 HINGES	• 1 CLASSROOM SET	• 1 WALL BUMPER	• 1 KICKPLATE
• 1 SET SILENCERS			
HARDWARE SET 12			
• 3 HINGES	• 1 PASSAGE SET	• 1 CLOSER	• 1 WALL BUMPER
• 1 KICKPLATE	• 1 SET SILENCERS		
HARDWARE SET 13			
• 3 HINGES	• 1 PRIVACY SET	• 1 WALL BUMPER	• 1 KICKPLATE
• 1 SET SILENCERS			
HARDWARE SET 14			
• 3 HINGES	• 1 STOREROOM LOCKSET	• 1 CLOSER	• 1 WEATHERSTRIPPING SET
• 1 THRESHOLD	• 1 SET SILENCERS		
HARDWARE SET 15			
• 3 HINGES	• 1 STOREROOM LOCKSET	• 1 OVERHEAD STOP	• 1 SET SILENCERS
• 1 SET SILENCERS			
HARDWARE SET 16			
• 6 HINGES	• 1 EXIT DEVICE	• 1 EXT. TRIM W/ LEVER HANDLE	• 1 CYLINDER
• 1 DUMMY EXT. TRIM W/ LEVER HANDLE - FOR INACTIVE LEAF	• 1 SET FLUSH BOLTS	• 1 DUST PROOF FLUSH BOLT STRIKE	• 1 LATCH PROTECTOR
• 2 CLOSER	• 2 KICKPLATES	• 1 WEATHERSTRIPPING SET	• 1 THRESHOLD (72")
• 1 SET SILENCERS			
HARDWARE SET 17			
• 3 HINGES	• 1 EXIT DEVICE (MOUNTED ON EXTR)	• 1 INTR. TRIM W/ LEVER HANDLE	• 1 CYLINDER
• 1 ELECTRIC STRIKE (SHOWN ON ELEC)	• 1 CLOSER	• 1 KICKPLATE	• 1 WALL BUMPER
• 1 SET SILENCERS			
HARDWARE SET 18			
• 6 HINGES	• 2 EXIT DEVICES	• 2 PARALLEL ARM CLOSERS	• 2 WALL MOUNTED MAGNETIC DOOR HOLDERS
• 1 ASTRAGAL	• 2 WALL BUMPER	• 2 KICKPLATES	• 1 SET SMOKE SEAL (DOUBLE DOORS)
• 2 SET SILENCERS			
HARDWARE SET 19			
• 6 HINGES	• 1 STOREROOM LOCKSET	• 1 SET FLUSH BOLTS	• 1 DUST PROOF FLUSH BOLT STRIKE
• 1 LATCH PROTECTOR	• 2 CLOSER	• 2 KICKPLATES	• 1 WEATHERSTRIPPING SET
• 1 THRESHOLD (72")	• 1 SET SILENCERS		
HARDWARE SET 20			
• 3 HINGES	• 1 ENTRANCE LOCKSET	• 1 LATCH PROTECTOR	• 1 CLOSER
• 1 KICKPLATE	• 1 WEATHERSTRIPPING SET	• 1 BOTTOM SWEEP	• 1 THRESHOLD
• 1 SET SILENCERS			
HARDWARE SET 21			
HARDWARE SET NOT USED			
HARDWARE SET 22			
• HAGER 3540 PRIVACY SET OR EQUAL	• 3 HINGES	• 1 WALL STOP	• 1 SET SMOKE SEAL
• 1 SET SILENCERS			
HARDWARE SET 23			
• 2 FLUSH PULLS	• 1 SLIDING DOOR KITS (280SWT)	(TRACK LENGTH VARIES)	
HARDWARE SET 24			
• 2 FLUSH PULLS	• 1 SLIDING DOOR KITS (280SWT)	(TRACK LENGTH VARIES)	
• 1 PRIVACY BOLT			
HARDWARE SET 25			
• 3 HINGES	• 1 PUSH PLATES	• 1 PULL BARS	• 1 MAGNETIC LOCKS
• 1 KICKPLATES	• 1 WALL BUMPER	• 1 SET SMOKE SEAL	• 1 SET SILENCERS
HARDWARE SET 26			
HARDWARE SET NOT USED			
HARDWARE SET 27			
• 1 SET HAGER 9570-48 BI-FOLD KIT	PROVIDE 3-4" HINGES BETWEEN LEAVES		
• 2 HAGER 27N FLUSH CUP PULL			
HARDWARE SET 28			
• SLIDING BARN DOOR HARDWARE	• 280SWT KIT	• PROVIDE TRACK HANGERS, TRACK STOPS AND BOTTOM GUIDE	
HARDWARE SET 29			
HARDWARE SET NOT USED			
HARDWARE SET 30			
• *OFFSET PIVOT HINGES	• *KAWNEER 1686 CONCEALED ROD EXIT DEVICE OR SIMILAR	• *SINGLE CYLINDER DEADBOLT	• *FLUSH BOLT TOP & BOTTOM ON INACTIVE LEAF
• *SURFACE MOUNT DOOR CLOSER	• KICKDOWN DOOR STOP	• ARROW RIM-CYLINDER KEY LOCK SET	• *THRESHOLD SILL PLATE
• *PERIMETER WEATHERSTRIPPING	• BOTTOM DOOR SWEEP		
• *PROVIDED BY STOREFRONT VENDOR	• *ON EXTERIOR DOORS ONLY		

**DOOR HARDWARE GENERAL NOTES:**

1. EXIT DOORS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. DEVICES SHALL BE CAPABLE OF OPERATING WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE FINISH FLOOR.

2. DOOR CLOSERS TO BE SET AT MAXIMUM OF 5 LBF.

3. THRESHOLDS: CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAX. IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.

4. DOOR HARDWARE SHALL BE MOUNTED BETWEEN 36" AND 42" ABOVE FLOOR AND BE LEVER TYPE.

5. ALL HARDWARE WILL BE "SCHLAGE" WITH A SATIN CHROME FINISH, UNLESS OTHERWISE NOTED.

6. THE MAIN EXIT DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED. A READILY VISIBLE DURABLE SIGN SHALL BE POSTED ON THE EGRESS SIDE OR ADJACENT TO THE DOOR STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND

7. ALL HARDWARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.

8. DOOR LOCKING SHALL BE AS FOLLOWS:  
 A. DOOR SHALL BE CONTROLLED / LOCKED BY ELECTRIC STRIKE TO PREVENT PASSAGE TO THE OUTSIDE  
 B. DOOR SHALL REMAIN ALWAYS UNLOCKED FROM THE EXTERIOR, ALLOWING EGRESS BACK THROUGH THE BUILDING.

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**20 JUNE, 2023**

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