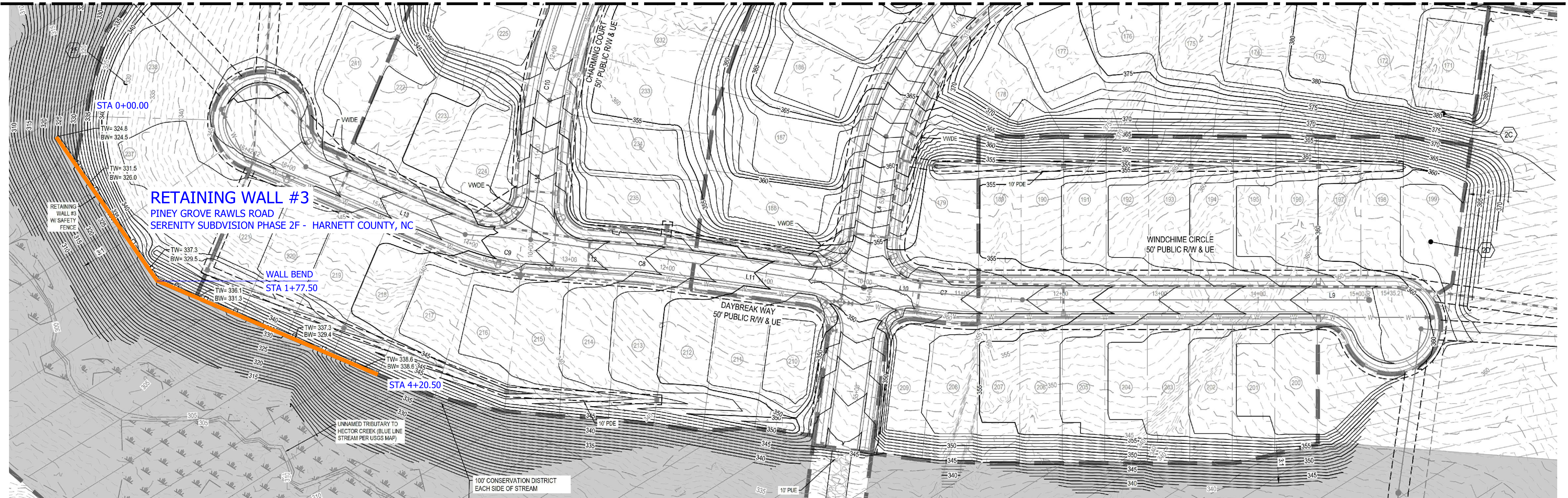


MATCHLINE AA
SEE SHEET C-2A FOR CONTINUATION OF
MATCHLINE AA

MATCHLINE AA
SEE SHEET C-2A FOR CONTINUATION OF
MATCHLINE AA



RETAINING WALL #3
RETAINING WALL SITE PLAN - SERENITY SUBDIVISION
SCALE: 1" = 50'
PINEY GROVE RAWLS ROAD
SERENITY SUBDIVISION PHASE 2C & 2F - HARNETT COUNTY, NC

GEOTECHNICAL GENERAL NOTE:

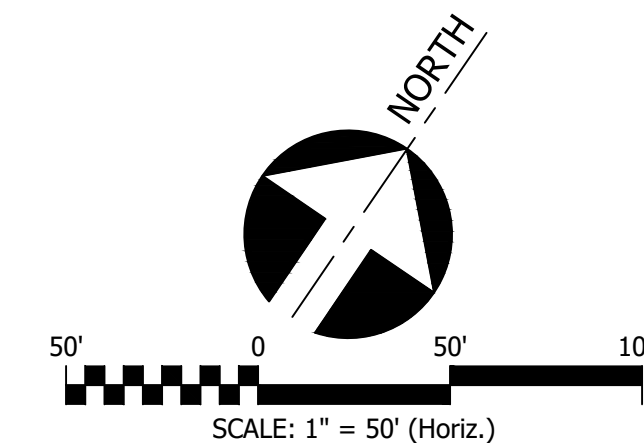
1. GEOTECHNICAL INFORMATION HAS NOT BEEN PROVIDED FOR THIS PROJECT. THEREFORE, ASSUMPTIONS WERE MADE BASED ON SOIL CHARACTERISTICS IN THE AREA (REFER TO SHEET C-1). IF SOILS ARE DIFFERENT IN THE FIELD THAN LISTED IN THE GEOTECHNICAL REPORT, VENTURE ENGINEERING, P.A. MUST BE NOTIFIED IMMEDIATELY BEFORE WORK CAN CONTINUE.
2. A GLOBAL STABILITY ANALYSIS HAS NOT BEEN DONE FOR THIS PROJECT. WE RECOMMEND THAT A GLOBAL STABILITY ANALYSIS BE PERFORMED BY A 3RD PARTY GEOTECHNICAL ENGINEER FOR RETAINING WALLS THAT HAVE SLOPES ABOVE, BELOW, BOTH (SLOPES ABOVE & BELOW THE RETAINING WALL) & MULTI-TIERED RETAINING WALLS.

GENERAL DESIGN NOTE:

1. WALL PROFILES WERE CREATED & DESIGNED BY VENTURE ENGINEERING, P.A. PER EXISTING & PROPOSED GRADES AS SHOWN IN PLAN VIEW ON SHEET C-2 THRU C-2B AS PROVIDED BY WITHERS & RAVENEL SEALED 08/30/21.
2. ALL GRADES SHOWN ON RETAINING WALL SITEPLAN IN THIS SET OF DRAWINGS ARE NOT KNOWN TO BE ORIGINAL DESIGN GRADES OR AS-BUILT GRADES. ALL GRADES TO BE SURVEY STAKED PRIOR TO CONSTRUCTION.

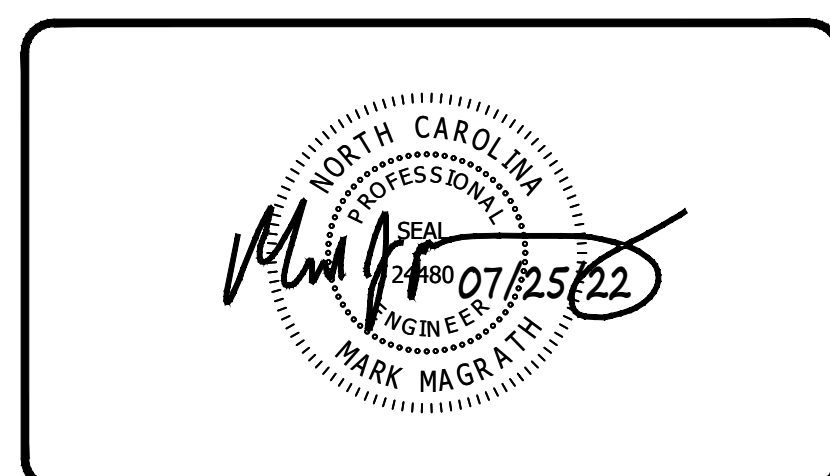
NOTE:

THIS CIVIL SITE GRADING PLAN SHOWN HERE & PLAN VIEWS WERE DONE BY WITHERS & RAVENEL SEALED 08/30/21. VENTURE ENGINEERING, P.A. IS NOT RESPONSIBLE FOR ERRORS/OMMISSIONS ON CIVIL ENGINEERING GRADING PLAN.



This drawing and/or the design shown are the property of Venture Engineering, P.A. The reproduction, alteration, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.
Venture Engineering, P.A.

DESCRIPTIONS	REVISIONS	DATE



VE
Venture Engineering, P.A.
312 WEST MILLBROOK ROAD SUITE 237
RALEIGH, NC 27609
P: 919-676-0303 F: 919-676-0301
EMAIL ADDRESS: BMONDSCH@VENTURE-E.COM
LICENSE NO. C-2590

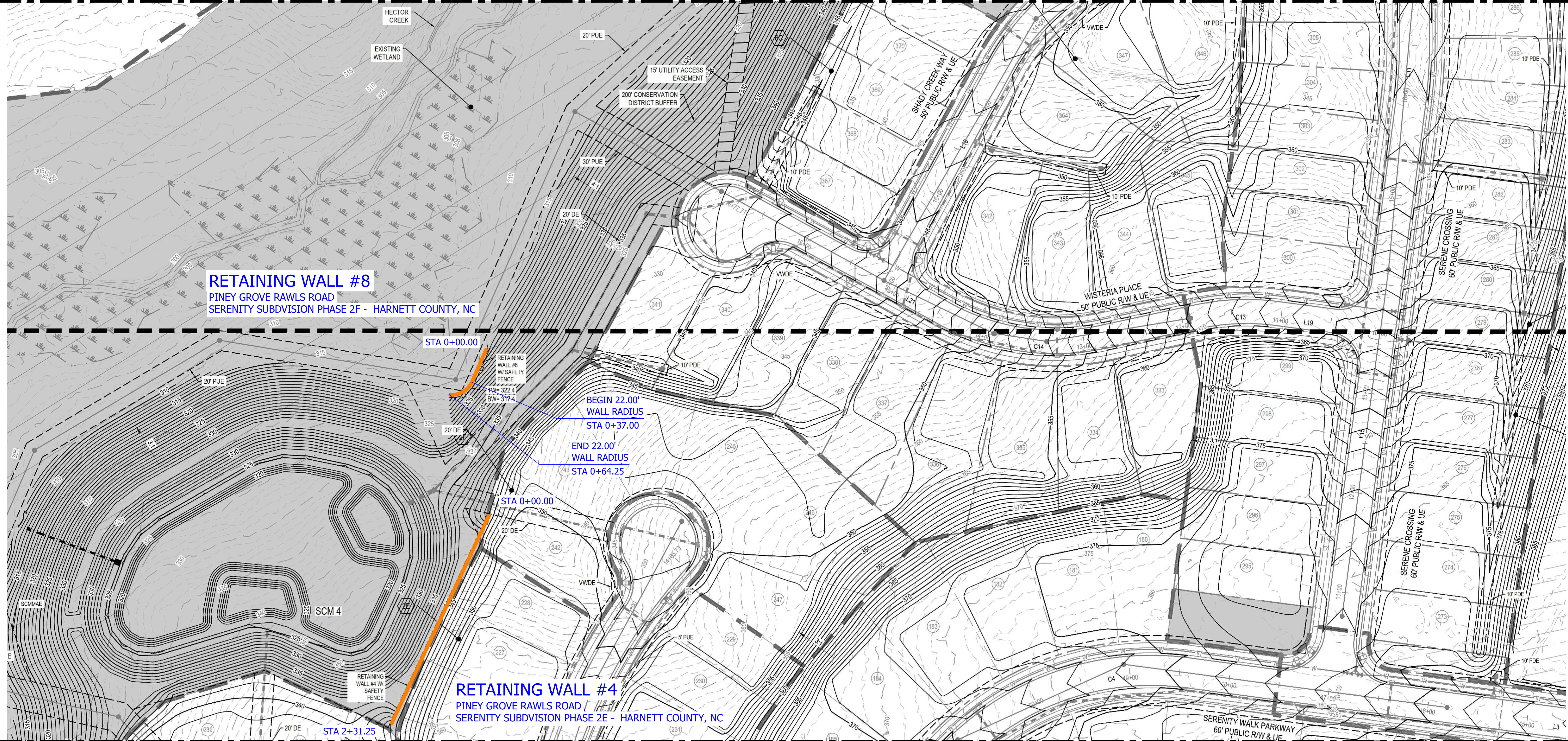
SERENITY SUBDIVISION
PHASE 2C & 2F - RETAINING WALLS
PINEY GROVE RAWLS ROAD
HARNETT COUNTY, NC

RETAINING WALL SITE PLAN - SHEET 1 OF 3
SERENITY SUBDIVISION PHASE 2C & 2F - HARNETT COUNTY, NC
RETAINING WALL #3

DATE: JULY 25, 2022	SCALE	DRAWING NUMBER C-2
DES: TLH	HORIZONTAL: 1" = 50'	
DRAWN: TLH	VERTICAL: N/A	
APPROVED: MJM		

MATCHLINE BB
SEE SITE PLAN (SEPERATE DESIGN/ 6A & 6C)
FOR CONTINUATION OF MATCHLINE BB

MATCHLINE BB
SEE SITE PLAN (SEPERATE DESIGN/ 6A & 6C)
FOR CONTINUATION OF MATCHLINE BB



RETAINING WALL #8
PINEY GROVE RAWLS ROAD
SERENITY SUBDIVISION PHASE 2F - HARNETT COUNTY, NC

RETAINING WALL #4
PINEY GROVE RAWLS ROAD
SERENITY SUBDIVISION PHASE 2E - HARNETT COUNTY, NC

GEOTECHNICAL GENERAL NOTE:

1. GEOTECHNICAL INFORMATION HAS NOT BEEN PROVIDED FOR THIS PROJECT. THEREFORE, ASSUMPTIONS WERE MADE BASED ON SOIL CHARACTERISTICS IN THE AREA (REFER TO SHEET C-1). IF SOILS ARE DIFFERENT IN THE FIELD THAN LISTED IN THE GEOTECHNICAL REPORT, VENTURE ENGINEERING, P.A. MUST BE NOTIFIED IMMEDIATELY BEFORE WORK CAN CONTINUE.
2. A GLOBAL STABILITY ANALYSIS HAS NOT BEEN DONE FOR THIS PROJECT. WE RECOMMEND THAT A GLOBAL STABILITY ANALYSIS BE PERFORMED BY A 3RD PARTY GEOTECHNICAL ENGINEER FOR RETAINING WALLS THAT HAVE SLOPES ABOVE, BELOW, BOTH (SLOPES ABOVE & BELOW THE RETAINING WALL) & MULTI-TIERED RETAINING WALLS.

GENERAL DESIGN NOTE:

1. WALL PROFILES WERE CREATED & DESIGNED BY VENTURE ENGINEERING, P.A. PER EXISTING & PROPOSED GRADES AS SHOWN IN PLAN VIEW ON SHEET C-2 THRU C-2B AS PROVIDED BY WITHERS & RAVENEL SEALED 08/30/21.
2. ALL GRADES SHOWN ON RETAINING WALL SITEPLAN IN THIS SET OF DRAWINGS ARE NOT KNOWN TO BE ORIGINAL DESIGN GRADES OR AS-BUILT GRADES. ALL GRADES TO BE SURVEY STAKED PRIOR TO CONSTRUCTION.

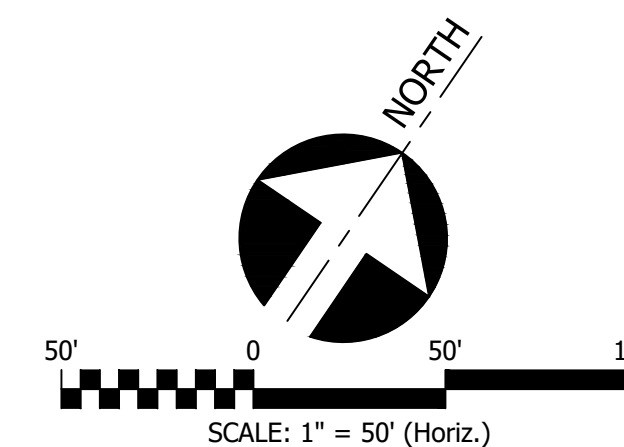
RETAINING WALL #4 & #8
RETAINING WALL SITE PLAN - SERENITY SUBDIVISION
SCALE: 1" = 50'
PINEY GROVE RAWLS ROAD
SERENITY SUBDIVISION PHASE 2E & 2F- HARNETT COUNTY, NC

MATCHLINE AA
SEE SHEET C-2 FOR CONTINUATION OF
MATCHLINE AA

MATCHLINE AA
SEE SHEET C-2 FOR CONTINUATION OF
MATCHLINE AA

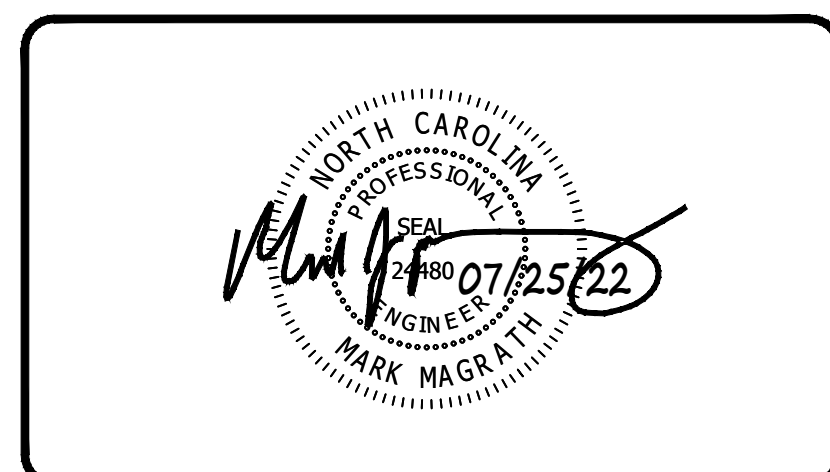
NOTE:

THIS CIVIL SITE GRADING PLAN SHOWN HERE & PLAN VIEWS WERE DONE BY WITHERS & RAVENEL SEALED 08/30/21. VENTURE ENGINEERING, P.A. IS NOT RESPONSIBLE FOR ERRORS/OMMISSIONS ON CIVIL ENGINEERING GRADING PLAN.



This drawing and/or the design shown are the property of Venture Engineering, P.A. The reproduction, alteration, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.
Venture Engineering, P.A.

DESCRIPTIONS	REVISIONS	DATE



VE
Venture Engineering, P.A.
312 WEST MILLBROOK ROAD SUITE 237
RALEIGH, NC 27609
P: 919-676-0303 F: 919-676-0301
EMAIL ADDRESS: BMONDSCH@VENTURE-E.COM
LICENSE NO. C-2590

SERENITY SUBDIVISION
RETAINING WALLS
PINEY GROVE RAWLS ROAD
HARNETT COUNTY, NC

RETAINING WALL SITE PLAN - SHEET 2 OF 3
SERENITY SUBDIVISION PHASE 2E & 2F - HARNETT COUNTY, NC
RETAINING WALL #4 & #8

DATE: JULY 25, 2022
DES: TLH
DRAWN: TLH
APPROVED: MJM

SCALE
HORIZONTAL: 1" = 50'
VERTICAL: N/A

DRAWING NUMBER C-2A



RETAINING WALL #1 & #2
RETAINING WALL SITE PLAN - SERENITY SUBDIVISION
 SCALE: 1" = 50'
 PINEY GROVE RAWLS ROAD
 SERENITY SUBDIVISION PHASE 1D & 2G - HARNETT COUNTY, NC

GEOTECHNICAL GENERAL NOTE:

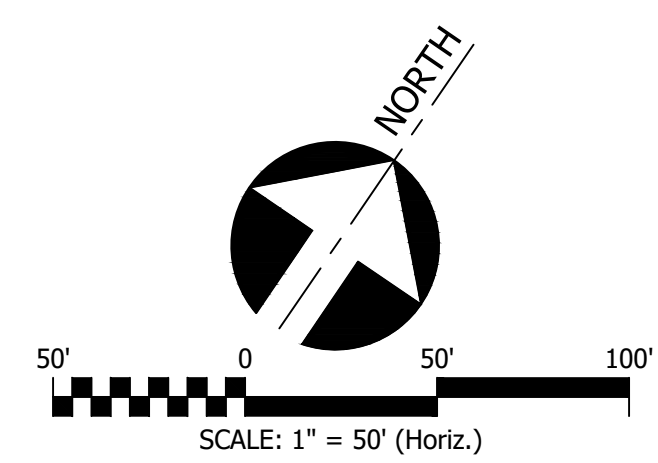
1. GEOTECHNICAL INFORMATION HAS NOT BEEN PROVIDED FOR THIS PROJECT. THEREFORE, ASSUMPTIONS WERE MADE BASED ON SOIL CHARACTERISTICS IN THE AREA (REFER TO SHEET C-1). IF SOILS ARE DIFFERENT IN THE FIELD THAN LISTED IN THE GEOTECHNICAL REPORT, VENTURE ENGINEERING, P.A. MUST BE NOTIFIED IMMEDIATELY BEFORE WORK CAN CONTINUE.
2. A GLOBAL STABILITY ANALYSIS HAS NOT BEEN DONE FOR THIS PROJECT. WE RECOMMEND THAT A GLOBAL STABILITY ANALYSIS BE PERFORMED BY A 3RD PARTY GEOTECHNICAL ENGINEER FOR RETAINING WALLS THAT HAVE SLOPES ABOVE, BELOW, BOTH (SLOPES ABOVE & BELOW THE RETAINING WALL) & MULTI-TIERED RETAINING WALLS.

GENERAL DESIGN NOTE:

1. WALL PROFILES WERE CREATED & DESIGNED BY VENTURE ENGINEERING, P.A. PER EXISTING & PROPOSED GRADES AS SHOWN IN PLAN VIEW ON SHEET C-2 THRU C-2B AS PROVIDED BY WITHERS & RAVENEL SEALED 08/30/21.
2. ALL GRADES SHOWN ON RETAINING WALL SITEPLAN IN THIS SET OF DRAWINGS ARE NOT KNOWN TO BE ORIGINAL DESIGN GRADES OR AS-BUILT GRADES. ALL GRADES TO BE SURVEY STAKED PRIOR TO CONSTRUCTION.

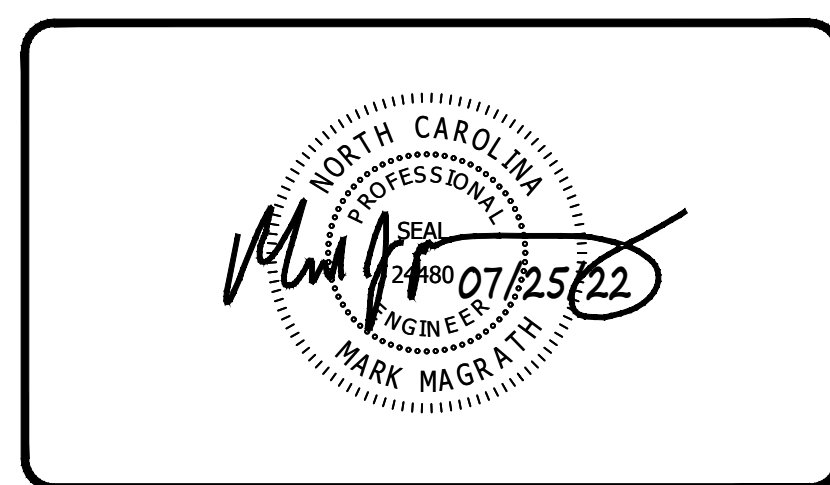
NOTE:

THIS CIVIL SITE GRADING PLAN SHOWN HERE & PLAN VIEWS WERE DONE BY WITHERS & RAVENEL SEALED 08/30/21. VENTURE ENGINEERING, P.A. IS NOT RESPONSIBLE FOR ERRORS/OMMISSIONS ON CIVIL ENGINEERING GRADING PLAN.



This drawing and/or the design shown are the property of Venture Engineering, P.A. The reproduction, alteration, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.
 Venture Engineering, P.A.

DESCRIPTIONS	REVISIONS	DATE

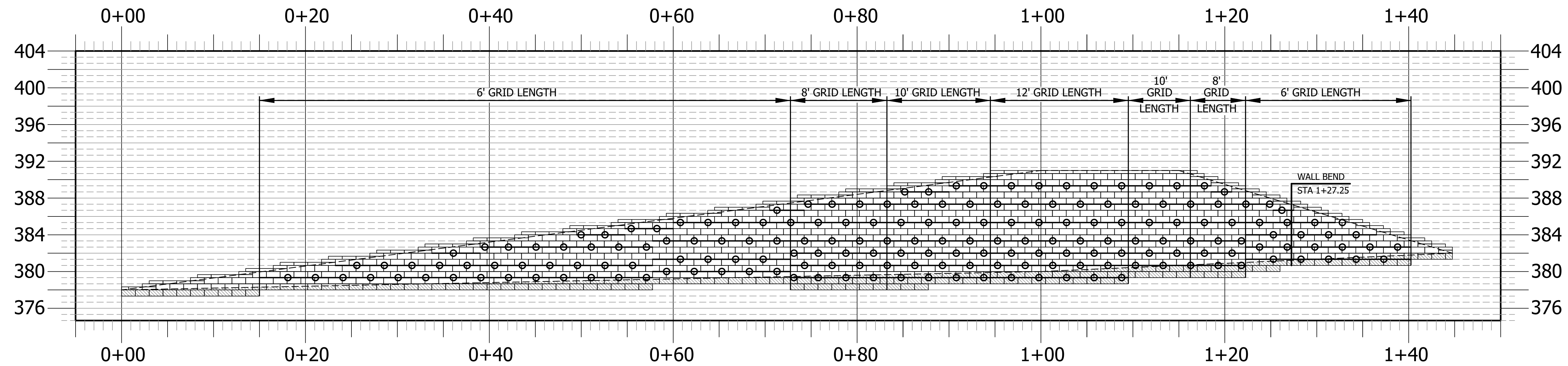



Venture Engineering, P.A.
 312 WEST MILLBROOK ROAD SUITE 237
 RALEIGH, NC 27609
 P: 919-676-0303 F: 919-676-0301
 EMAIL ADDRESS: BMONDSCH@VENTURE-E.COM
 LICENSE NO. C-2590

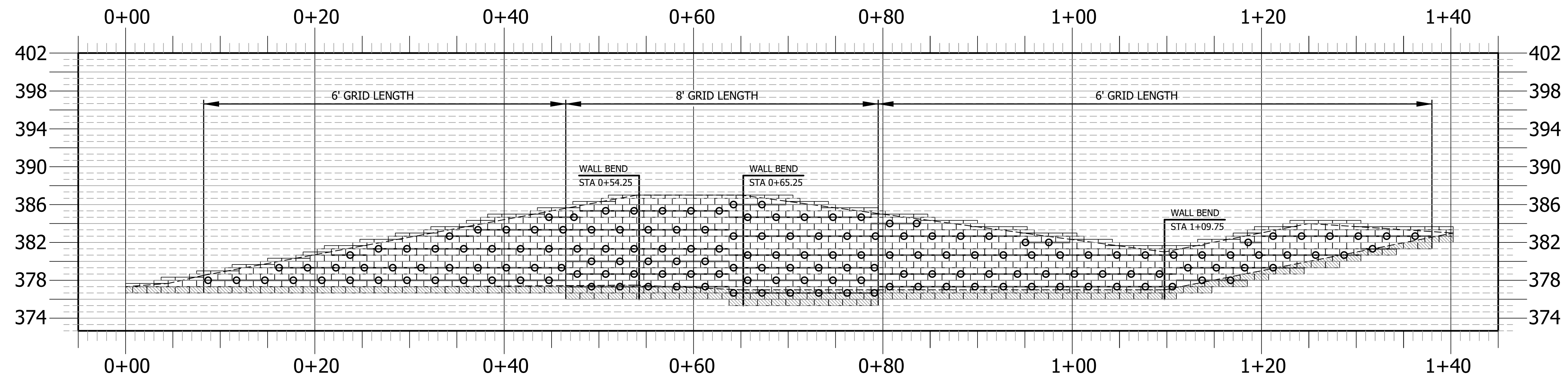
SERENITY SUBDIVISION
 PHASE 1D & 2G - RETAINING WALLS
 PINEY GROVE RAWLS ROAD
 HARNETT COUNTY, NC

RETAINING WALL SITE PLAN - SHEET 3 OF 3
 SERENITY SUBDIVISION PHASE 1D & 2G - HARNETT COUNTY, NC
 RETAINING WALL #1 & #2

DATE: JULY 25, 2022	SCALE	DRAWING NUMBER C-2B
DES: TLH	HORIZONTAL: 1" = 50'	
DRAWN: TLH	VERTICAL: N/A	
APPROVED: MJM		



RETAINING WALL PROFILE #1
 NOT TO SCALE
 PINEY GROVE RAWLS ROAD
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASE 2G



RETAINING WALL PROFILE #2
 NOT TO SCALE
 PINEY GROVE RAWLS ROAD
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASE 2G

GEOTECHNICAL GENERAL NOTE:

1. GEOTECHNICAL INFORMATION HAS NOT BEEN PROVIDED FOR THIS PROJECT. THEREFORE, ASSUMPTIONS WERE MADE BASED ON SOIL CHARACTERISTICS IN THE AREA (REFER TO SHEET C-1). IF SOILS ARE DIFFERENT IN THE FIELD THAN LISTED IN THE GEOTECHNICAL REPORT, VENTURE ENGINEERING, P.A. MUST BE NOTIFIED IMMEDIATELY BEFORE WORK CAN CONTINUE.
2. A GLOBAL STABILITY ANALYSIS HAS NOT BEEN DONE FOR THIS PROJECT. WE RECOMMEND THAT A GLOBAL STABILITY ANALYSIS BE PERFORMED BY A 3RD PARTY GEOTECHNICAL ENGINEER FOR RETAINING WALLS THAT HAVE SLOPES ABOVE, BELOW, BOTH (SLOPES ABOVE & BELOW THE RETAINING WALL) & MULTI-TIERED RETAINING WALLS.

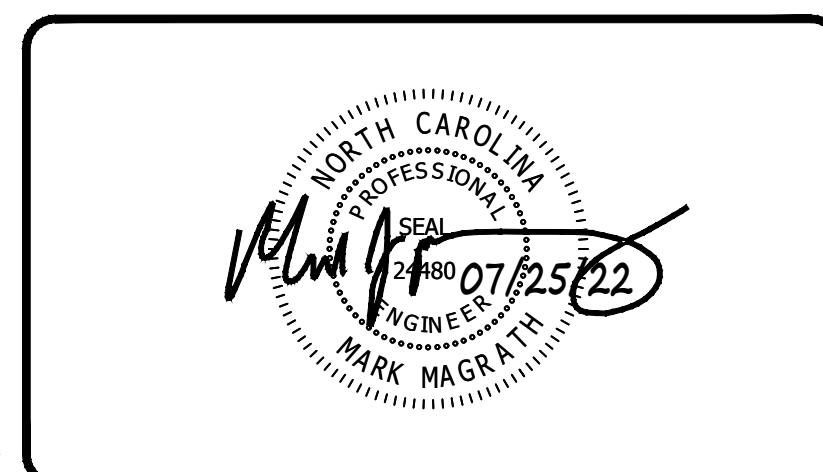
GENERAL DESIGN NOTE:

1. WALL PROFILES WERE CREATED & DESIGNED BY VENTURE ENGINEERING, P.A. PER EXISTING & PROPOSED GRADES AS SHOWN IN PLAN VIEW ON SHEET C-2 THRU C-2B AS PROVIDED BY THE JOHN R. McADAMS COMPANY, INC. DATED 06/09/21 (REVISION).
2. ALL GRADES SHOWN ON RETAINING WALL SITEPLAN IN THIS SET OF DRAWINGS ARE NOT KNOWN TO BE ORIGINAL DESIGN GRADES OR AS-BUILT GRADES. ALL GRADES TO BE SURVEY STAKED PRIOR TO CONSTRUCTION.

LEGEND
 GRIDLOK 370

This drawing and/or the design shown are the property of Venture Engineering, P.A. The reproduction, alteration, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.
 Venture Engineering, P.A.

DESCRIPTIONS	DATE



VE
Venture Engineering, P.A.
 312 WEST MILLBROOK ROAD SUITE 237
 RALEIGH, NC 27609
 P: 919-676-0303 F: 919-676-0301
 EMAIL ADDRESS: BMONDSCH@VENTURE-E.COM
 LICENSE NO. C-2590

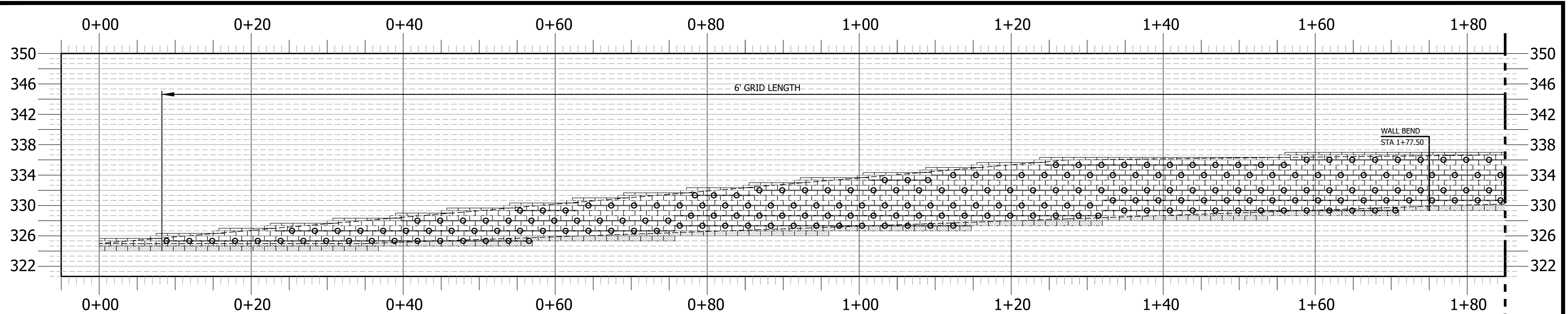
SERENITY SUBDIVISION
 PHASES 1D, 2C & 2E THRU 2G - RETAINING WALLS
 PINEY GROVE RAWLS ROAD
 HARNETT COUNTY, NC

RETAINING WALL PROFILE #1 & #2
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASES 1D, 2C & 2E THRU 2G

DATE: JULY 25, 2022
DES: TLH
DRAWN: TLH
APPROVED: MJM

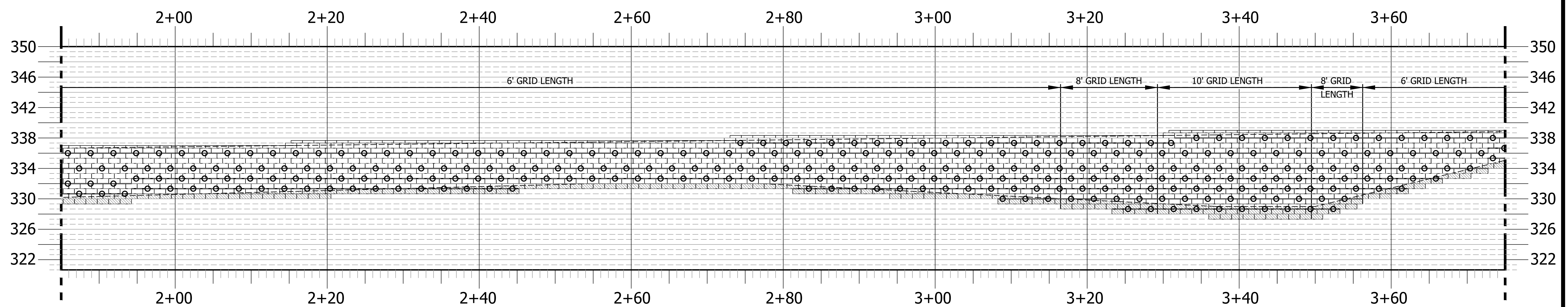
SCALE
HORIZONTAL: N/A
VERTICAL: N/A

DRAWING NUMBER
C-3



RETAINING WALL PROFILE #3
 NOT TO SCALE
 PINEY GROVE RAWLS ROAD
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASE 2F

MATCHLINE A
 SEE THIS SHEET FOR CONTINUATION OF
 MATCHLINE A (STA 1+85)



RETAINING WALL PROFILE #3 (Continued)
 NOT TO SCALE
 PINEY GROVE RAWLS ROAD
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASE 2F

MATCHLINE A
 SEE THIS SHEET FOR CONTINUATION OF
 MATCHLINE A (STA 1+85)

MATCHLINE B
 SEE SHEET C-5 FOR CONTINUATION OF
 MATCHLINE B (STA 3+75)

GEOTECHNICAL GENERAL NOTE:

1. GEOTECHNICAL INFORMATION HAS NOT BEEN PROVIDED FOR THIS PROJECT. THEREFORE, ASSUMPTIONS WERE MADE BASED ON SOIL CHARACTERISTICS IN THE AREA (REFER TO SHEET C-1). IF SOILS ARE DIFFERENT IN THE FIELD THAN LISTED IN THE GEOTECHNICAL REPORT, VENTURE ENGINEERING, P.A. MUST BE NOTIFIED IMMEDIATELY BEFORE WORK CAN CONTINUE.
2. A GLOBAL STABILITY ANALYSIS HAS NOT BEEN DONE FOR THIS PROJECT. WE RECOMMEND THAT A GLOBAL STABILITY ANALYSIS BE PERFORMED BY A 3RD PARTY GEOTECHNICAL ENGINEER FOR RETAINING WALLS THAT HAVE SLOPES ABOVE, BELOW, BOTH (SLOPES ABOVE & BELOW THE RETAINING WALL) & MULTI-TIERED RETAINING WALLS.

GENERAL DESIGN NOTE:

1. WALL PROFILES WERE CREATED & DESIGNED BY VENTURE ENGINEERING, P.A. PER EXISTING & PROPOSED GRADES AS SHOWN IN PLAN VIEW ON SHEET C-2 THRU C-2B AS PROVIDED BY THE JOHN R. McADAMS COMPANY, INC. DATED 06/09/21 (REVISION).
2. ALL GRADES SHOWN ON RETAINING WALL SITEPLAN IN THIS SET OF DRAWINGS ARE NOT KNOWN TO BE ORIGINAL DESIGN GRADES OR AS-BUILT GRADES. ALL GRADES TO BE SURVEY STAKED PRIOR TO CONSTRUCTION.

LEGEND

○ ○ ○ GRIDLOK 370

This drawing and/or the design shown are the property of Venture Engineering, P.A. The reproduction, alteration, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.
 Venture Engineering, P.A.

DESCRIPTIONS	REVISIONS	DATE



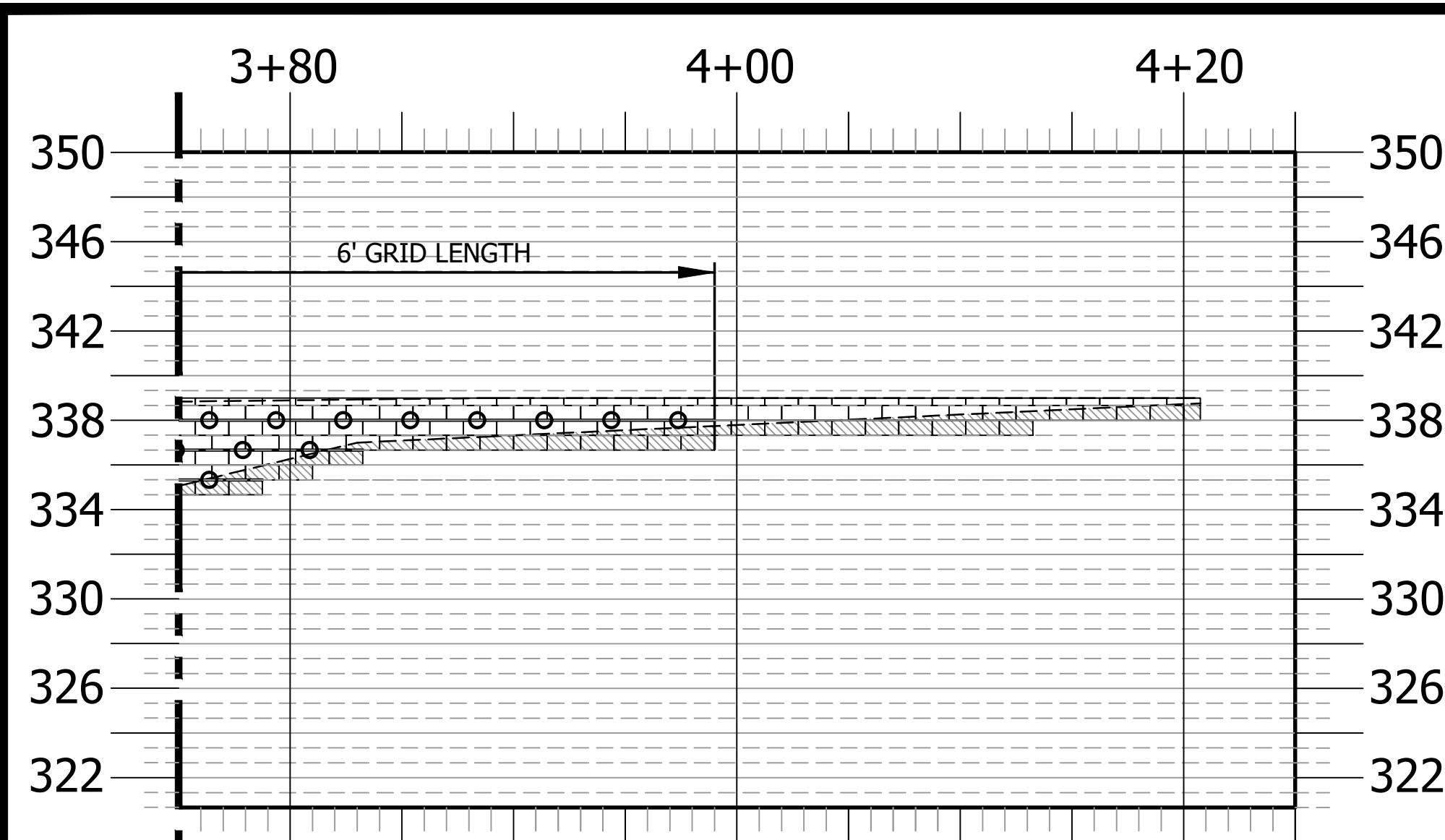
VE
Venture Engineering, P.A.
 312 WEST MILLBROOK ROAD SUITE 237
 RALEIGH, NC 27609
 P: 919-676-0303 F: 919-676-0301
 EMAIL ADDRESS: BMONDSCHER@VENTURE-E.COM
 LICENSE NO. C-2590

SERENITY SUBDIVISION
 PHASES 1D, 2C & 2E THRU 2G - RETAINING WALLS
 PINEY GROVE RAWLS ROAD
 HARNETT COUNTY, NC

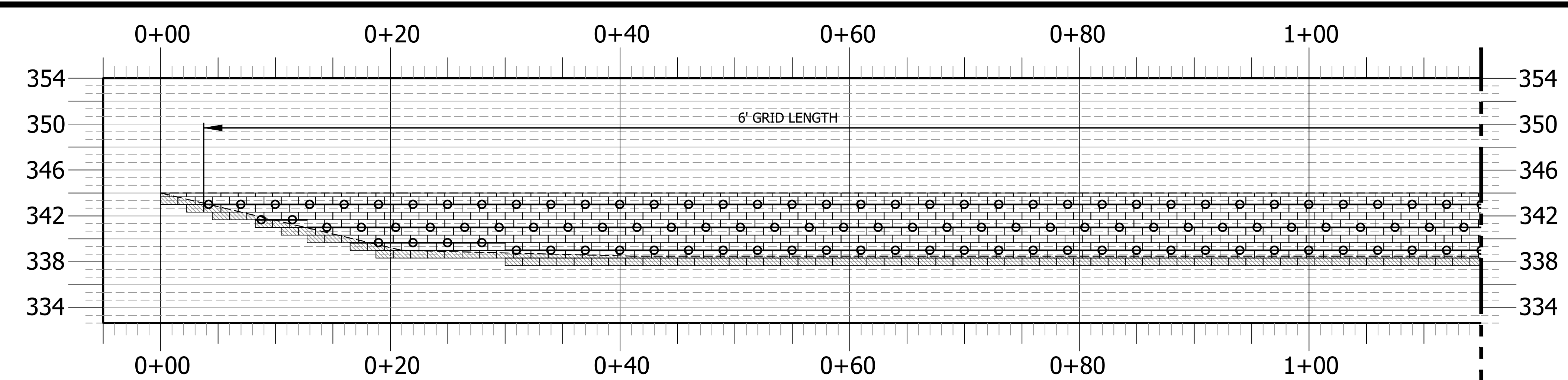
RETAINING WALL PROFILE #3
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASES 1D, 2C & 2E THRU 2G

DATE: JULY 25, 2022	SCALE	DRAWING NUMBER C-4
DES: TLH		
DRAWN: TLH		
APPROVED: MJM	HORIZONTAL: N/A	VERTICAL: N/A

VE PROJECT NO: 00220001 - SERENITY SUBDIVISION - PHASES 1D, 2C & 2E THRU 2G

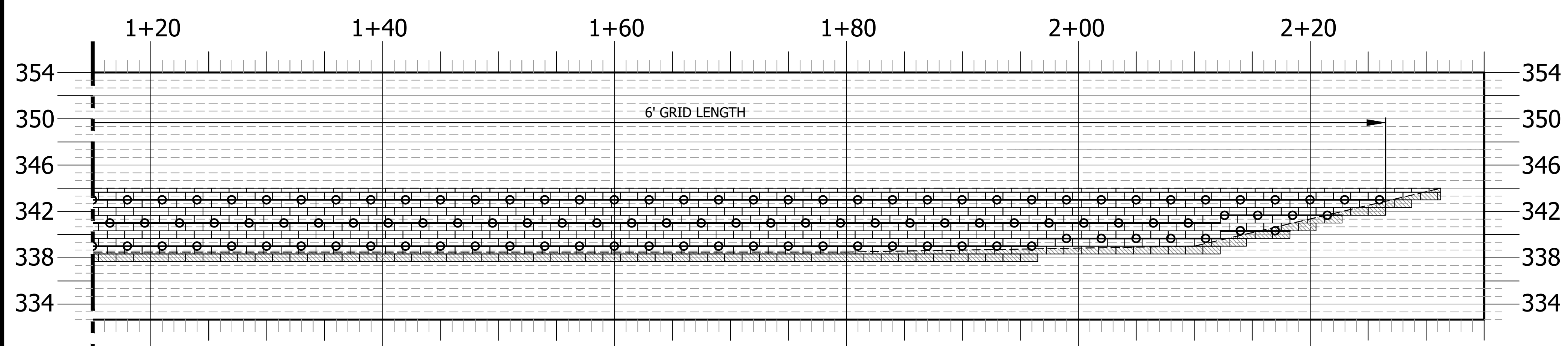


RETAINING WALL PROFILE #3 (Continued)
 NOT TO SCALE
 PINEY GROVE RAWLS ROAD
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASE 2F



RETAINING WALL PROFILE #4
 NOT TO SCALE
 PINEY GROVE RAWLS ROAD
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASE 2E

MATCHLINE C
 SEE THIS SHEET FOR CONTINUATION OF
 MATCHLINE C (STA 1+15)



RETAINING WALL PROFILE #4 (Continued)
 NOT TO SCALE
 PINEY GROVE RAWLS ROAD
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASE 2E

MATCHLINE C
 SEE THIS SHEET FOR CONTINUATION OF
 MATCHLINE C (STA 1+15)

GEOTECHNICAL GENERAL NOTE:

1. GEOTECHNICAL INFORMATION HAS NOT BEEN PROVIDED FOR THIS PROJECT. THEREFORE, ASSUMPTIONS WERE MADE BASED ON SOIL CHARACTERISTICS IN THE AREA (REFER TO SHEET C-1). IF SOILS ARE DIFFERENT IN THE FIELD THAN LISTED IN THE GEOTECHNICAL REPORT, VENTURE ENGINEERING, P.A. MUST BE NOTIFIED IMMEDIATELY BEFORE WORK CAN CONTINUE.
2. A GLOBAL STABILITY ANALYSIS HAS NOT BEEN DONE FOR THIS PROJECT. WE RECOMMEND THAT A GLOBAL STABILITY ANALYSIS BE PERFORMED BY A 3RD PARTY GEOTECHNICAL ENGINEER FOR RETAINING WALLS THAT HAVE SLOPES ABOVE, BELOW, BOTH (SLOPES ABOVE & BELOW THE RETAINING WALL) & MULTI-TIERED RETAINING WALLS.

GENERAL DESIGN NOTE:

1. WALL PROFILES WERE CREATED & DESIGNED BY VENTURE ENGINEERING, P.A. PER EXISTING & PROPOSED GRADES AS SHOWN IN PLAN VIEW ON SHEET C-2 THRU C-2B AS PROVIDED BY THE JOHN R. McADAMS COMPANY, INC. DATED 06/09/21 (REVISION).
2. ALL GRADES SHOWN ON RETAINING WALL SITEPLAN IN THIS SET OF DRAWINGS ARE NOT KNOWN TO BE ORIGINAL DESIGN GRADES OR AS-BUILT GRADES. ALL GRADES TO BE SURVEY STAKED PRIOR TO CONSTRUCTION.

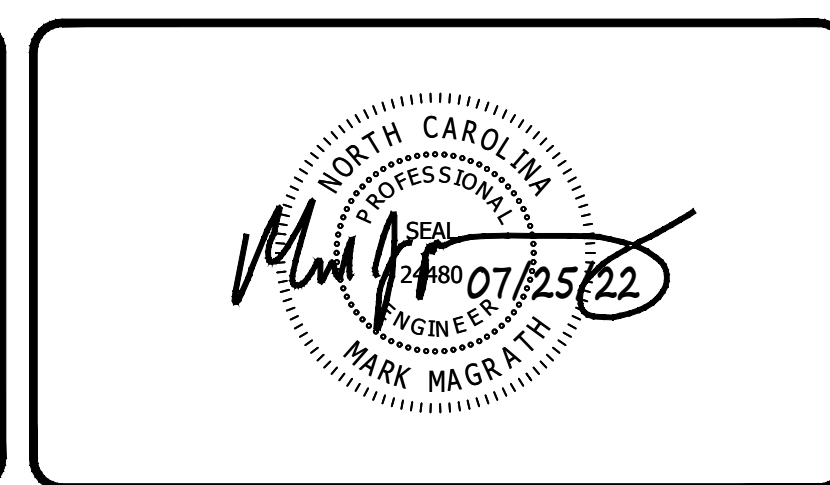
LEGEND

○ ○ ○ GRIDLOK 370

This drawing and/or the design shown are the property of Venture Engineering, P.A. The reproduction, alteration, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

Venture Engineering, P.A.

DESCRIPTIONS	DATE



VE
Venture Engineering, P.A.
 312 WEST MILLBROOK ROAD SUITE 237
 RALEIGH, NC 27609
 P: 919-676-0303 F: 919-676-0301
 EMAIL ADDRESS: BMONDSCH@VENTURE-E.COM
 LICENSE NO. C-2590

SERENITY SUBDIVISION
 PHASES 1D, 2C & 2E THRU 2G - RETAINING WALLS
 PINEY GROVE RAWLS ROAD
 HARNETT COUNTY, NC

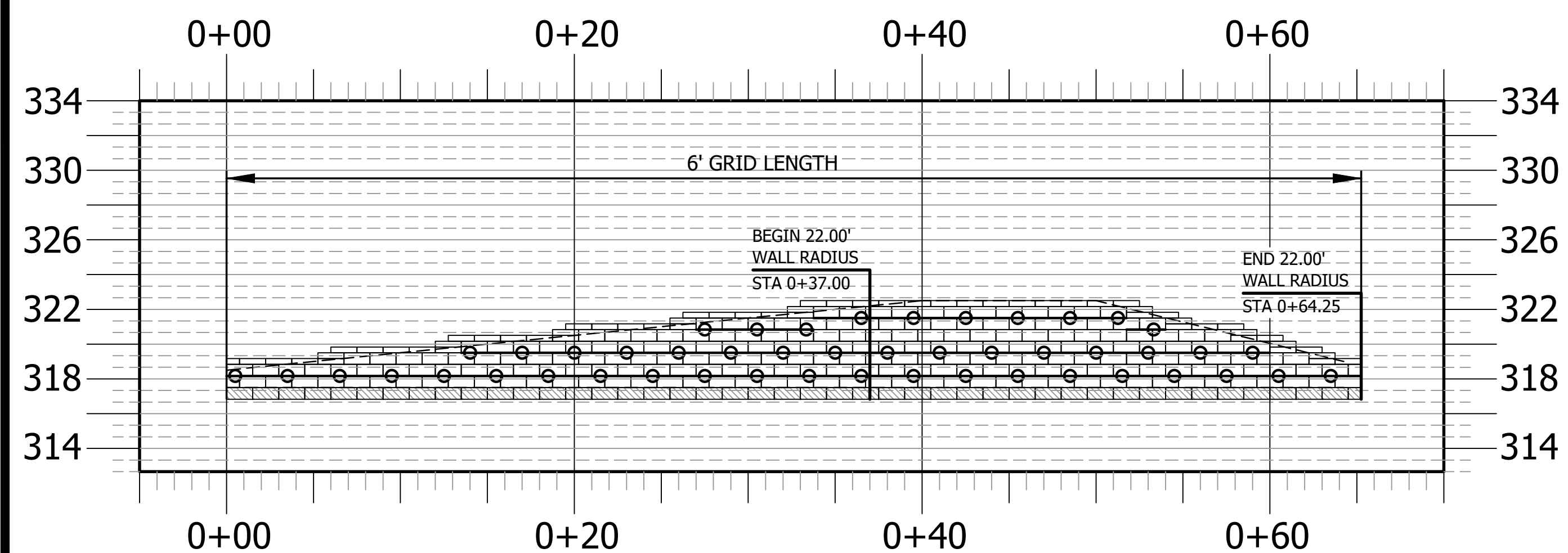
RETAINING WALL PROFILE #3 (Continued) & #4
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASES 1D, 2C & 2E THRU 2G

DATE: JULY 25, 2022
DES: TLH
DRAWN: TLH
APPROVED: MJM

SCALE
HORIZONTAL: N/A
VERTICAL: N/A

DRAWING NUMBER
C-5

VE PROJECT NO: 00220001 - SERENITY SUBDIVISION - PHASES 1D, 2C & 2E THRU 2G - RETAINING WALL CONSTRUCTION - HARNETT COUNTY, NORTH CAROLINA



RETAINING WALL PROFILE #8
 NOT TO SCALE
 PINEY GROVE RAWLS ROAD
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASE 2F

GEOTECHNICAL GENERAL NOTE:

1. GEOTECHNICAL INFORMATION HAS NOT BEEN PROVIDED FOR THIS PROJECT. THEREFORE, ASSUMPTIONS WERE MADE BASED ON SOIL CHARACTERISTICS IN THE AREA (REFER TO SHEET C-1). IF SOILS ARE DIFFERENT IN THE FIELD THAN LISTED IN THE GEOTECHNICAL REPORT, VENTURE ENGINEERING, P.A. MUST BE NOTIFIED IMMEDIATELY BEFORE WORK CAN CONTINUE.
2. A GLOBAL STABILITY ANALYSIS HAS NOT BEEN DONE FOR THIS PROJECT. WE RECOMMEND THAT A GLOBAL STABILITY ANALYSIS BE PERFORMED BY A 3RD PARTY GEOTECHNICAL ENGINEER FOR RETAINING WALLS THAT HAVE SLOPES ABOVE, BELOW, BOTH (SLOPES ABOVE & BELOW THE RETAINING WALL) & MULTI-TIERED RETAINING WALLS.

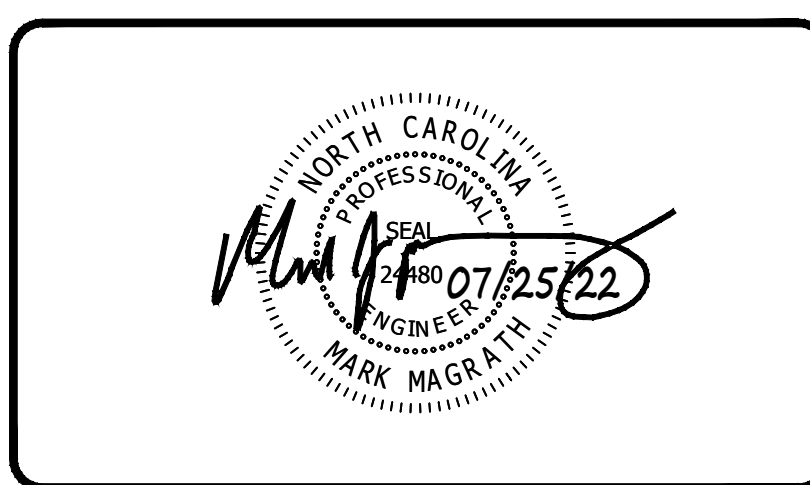
GENERAL DESIGN NOTE:

1. WALL PROFILES WERE CREATED & DESIGNED BY VENTURE ENGINEERING, P.A. PER EXISTING & PROPOSED GRADES AS SHOWN IN PLAN VIEW ON SHEET C-2 THRU C-2B AS PROVIDED BY THE JOHN R. McADAMS COMPANY, INC. DATED 06/09/21 (REVISION).
2. ALL GRADES SHOWN ON RETAINING WALL SITEPLAN IN THIS SET OF DRAWINGS ARE NOT KNOWN TO BE ORIGINAL DESIGN GRADES OR AS-BUILT GRADES. ALL GRADES TO BE SURVEY STAKED PRIOR TO CONSTRUCTION.

LEGEND	
	GRIDLOK 370

This drawing and/or the design shown are the property of Venture Engineering, P.A. The reproduction, alteration, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.
 Venture Engineering, P.A.

DESCRIPTIONS	DATE



Venture Engineering, P.A.
 312 WEST MILLBROOK ROAD SUITE 237
 RALEIGH, NC 27609
 P: 919-676-0303 F: 919-676-0301
 EMAIL ADDRESS: BMONDSCH@VENTURE-E.COM
 LICENSE NO. C-2590

SERENITY SUBDIVISION
 PHASES 1D, 2C & 2E THRU 2G - RETAINING WALLS
 PINEY GROVE RAWLS ROAD
 HARNETT COUNTY, NC

RETAINING WALL PROFILE #8
 SERENITY SUBDIVISION - HARNETT COUNTY, NC
 PHASES 1D, 2C & 2E THRU 2G

DATE: JULY 25, 2022	SCALE HORIZONTAL: N/A VERTICAL: N/A	DRAWING NUMBER C-6
DES: TLH		
DRAWN: TLH		
APPROVED: MJM		

CONSTRUCTION DRAWINGS FOR

SERENITY

PHASES 1D, 1E, 2C, 2D, 2E, 2F, 2G, 6A, 6B, 6C, 6D, 6E, 6F & 6G
HARNETT COUNTY, NORTH CAROLINA
AUGUST 16, 2022

APPROVED

OCT 20 2022

HARNETT REGIONAL WATER
P.O. BOX 1119
LILLINGTON, NC 27546

CONSTRUCTION DRAWINGS
FOR: SERENITY
WR PROJECT NO. 02190647

SITE DATA	
PROJECT:	SERENITY SUBDIVISION
PROPERTY LOCATION:	PINEY GROVE RAWLS ROAD
PINS:	0655-23-9885, 0655-13-8762, 0655-03-4488, 0645-95-9146, 0645-82-8633, 0645-72-7454
ZONING:	RA-40, RA-30, CONSERVATION
TOWNSHIP:	HECTORS CREEK
PROPOSED USE:	RESIDENTIAL
TOTAL TRACT AREA:	579.43 ACRES

PRELIMINARY SUBDIVISION NOTES:
SIDEWALKS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION (HOA), PROPERTY OWNERS ASSOCIATION (POA), CONDOMINIUM OWNERS ASSOCIATION (COA), OR ANY OTHER ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE AND/OR UPKEEP OF THE RESIDENTIAL COMMUNITY SIDEWALK OR STREET TREE INSTALLATIONS THAT ARE DAMAGED AND/OR REMOVED BY HARNETT COUNTY DEPARTMENT OF PUBLIC UTILITIES/ HARNETT REGIONAL WATER OR ITS REPRESENTATIVES, AGENTS, OR CONTRACTORS AS A RESULT OF REPAIR/ MAINTENANCE OF THE PUBLIC WATER AND/OR SEWER LINE WILL BE REPLACED OR REPAIRED BY THE HOME OWNERS ASSOCIATION (HOA), PROPERTY OWNERS ASSOCIATION (POA), CONDOMINIUM OWNERS ASSOCIATION (COA), OR ANY OTHER ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE AND/OR UPKEEP OF THE RESIDENTIAL COMMUNITY.

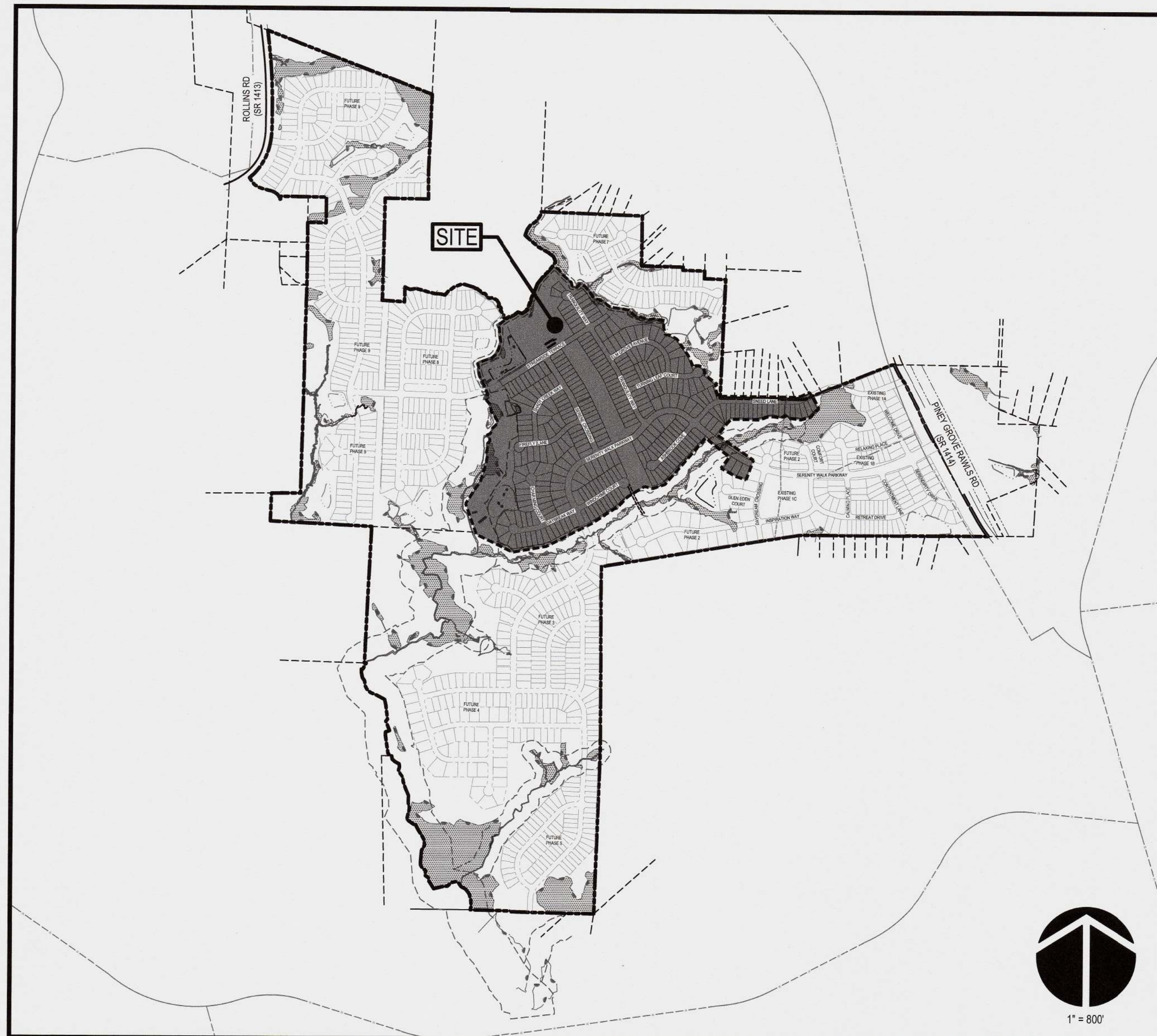
APPROVAL OF THIS PLAT/PLAN DOES NOT GUARANTEE WATER CAPACITY OR WASTEWATER CAPACITY. CURRENT/FUTURE CAPACITY MAY NOT BE AVAILABLE. THIS DEVELOPMENT MAY REQUIRE ADDITIONAL IMPROVEMENTS TO THE EXISTING WATER AND WASTEWATER SYSTEM TO MEET FUTURE WATER AND WASTEWATER DEMANDS PRIOR TO A PRELIMINARY PLAT, CONSTRUCTION PLAN AND/OR FINAL PLAT APPROVAL.

BOA APPROVAL: 07/09/2018
CONDITIONS:

- Garage:** Each single-family house inside product families S2, S3 & S4 shall provide at least a standard two-car garage. All other single family houses shall provide at least a one-car garage.
- Landscaping:** Each house shall provide one of the following: A) minimum of one tree for S1 & S2 product, B) minimum of one tree and four shrubs for S3 & S4, or C) minimum of eight shrubs.
- Amenity:** Amenity plan shall include a minimum of a cabana, a community pool with appropriate deck space, children's "hot" lot, lawn areas or ball fields, gazebos, appropriate parking, and pocket open space areas as outlined on the approved Concept Plan.
- Mail:** Mail pick-up may be provided either by a centralized mail kiosk area, by kiosks placed in individual sections of the community, or a combination of both (as required by USPS).
- Setbacks:** Lot setbacks should be as follows:
 - S1 Product:** minimum 20' front, 15' rear, 12' corner, and side yard options of 1) a zero-lot-line allowance with minimum 6' aggregate between units, or 2) 4' side setbacks.
 - S2 Product:** minimum 20' front, 5' side, 20' rear & 12' corner.
 - S3 Product:** minimum 20' front, 5' side, 20' rear & 12' corner.
 - S4 Product:** minimum 20' front, 5' side, 20' rear & 12' corner.
- Lot Ownership:** All units will be sold as individual lots.

NOTE:

- THIS DEVELOPMENT IS WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT.
- HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKING AREAS, DRIVE AISLES, MAIL KIOSK, EASEMENTS/STORMWATER DEVICES, AND ALL LANDSCAPE BUFFERING.



Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER
C0.1	GENERAL NOTES
C1.0	MASTER EXISTING CONDITIONS
C1.1	OVERALL EXISTING CONDITIONS
C2.0	SUBDIVISION MASTER OPEN SPACE PLAN
C2.1	PHASING PLAN
C3.0	SUBDIVISION MASTER SITE PLAN
C3.1	OVERALL SITE PLAN
C3.2	SITE PLAN
C3.3	SITE PLAN
C3.4	SITE PLAN
C3.5	SITE PLAN
C4.0	SUBDIVISION MASTER UTILITY PLAN
C4.1	OVERALL UTILITY PLAN
C4.2	UTILITY PLAN
C4.3	UTILITY PLAN
C4.4	UTILITY PLAN
C4.5	UTILITY PLAN
C5.1	OVERALL STORM DRAINAGE & GRADING PLAN
C5.2	STORM DRAINAGE PLAN
C5.3	STORM DRAINAGE PLAN
C5.4	STORM DRAINAGE PLAN
C5.5	STORM DRAINAGE PLAN
C5.6	STORM DRAINAGE TABLES
C5.7	GRADING PLAN
C5.8	GRADING PLAN
C5.9	GRADING PLAN
C5.10	GRADING PLAN
C6.1	OVERALL EROSION CONTROL PLAN STAGE I
C6.2	STAGE I EROSION CONTROL PLAN
C6.3	STAGE I EROSION CONTROL PLAN
C6.4	STAGE I EROSION CONTROL PLAN
C6.5	STAGE I EROSION CONTROL PLAN
C6.6	SEWER OUTFALL EC PLAN
C6.7	SEWER OUTFALL EC PLAN
C6.8	OVERALL EROSION CONTROL PLAN STAGE II
C6.9	STAGE II EROSION CONTROL PLAN
C6.10	STAGE II EROSION CONTROL PLAN
C6.11	STAGE II EROSION CONTROL PLAN
C6.12	STAGE II EROSION CONTROL PLAN
C8.1	PLAN AND PROFILE SERENITY WALK PARKWAY STA. 23+50 - 43+50
C8.2	PLAN AND PROFILE SERENITY WALK PARKWAY STA. 43+50 - 59+00

C8.3	PLAN AND PROFILE SNEED LANE STA. 19+00 - 32+50
C8.4	PLAN AND PROFILE ASHBROOK COVE AND TRANQUILITY WAY 2
C8.5	PLAN AND PROFILE TRANQUILITY WAY STA. 9+50 - 22+00
C8.6	PLAN AND PROFILE TURNING LEAF COURT STA. 9+50 - 18+50
C8.7	PLAN AND PROFILE ELM GROVE AVENUE STA. 9+50 - 19+50
C8.8	PLAN AND PROFILE SERENE CROSSING STA. 9+50 - 22+00
C8.9	PLAN AND PROFILE FIREFLY LANE STA. 9+50 - 17+50
C8.10	PLAN AND PROFILE SHADY CREEK WAY STA. 9+50 - 17+50
C8.11	PLAN AND PROFILE STREAMSIDE TERRACE STA. 23+50 - 39+00
C8.12	PLAN AND PROFILE WINDCHIME COURT STA. 9+50 - 16+50
C8.13	PLAN AND PROFILE DAYBREAK WAY AND CHARMING COURT
C8.14	SEWER OUTFALL PLAN AND PROFILE
C8.15	SEWER OUTFALL PLAN AND PROFILE
C8.16	SEWER OUTFALL PLAN AND PROFILE
C8.17	SEWER OUTFALL PLAN AND PROFILE
C8.18	SEWER OUTFALL PLAN AND PROFILE STA. 10+00 - 24+00
C8.19	SEWER OUTFALL PLAN AND PROFILE STA. 24+00 - 38+00
C8.20	SEWER OUTFALL PLAN AND PROFILE STA. 38+00 - 52+00
C8.21	SEWER OUTFALL PLAN AND PROFILE STA. 52+00 - 66+00
C8.22	SEWER OUTFALL PLAN AND PROFILE STA. 66+00 - 73+00
C9.0	WATER DETAILS
C9.1	WATER DETAILS
C9.2	SEWER DETAILS
C9.3	SEWER DETAILS
C9.4	SITE & STORM DETAILS
C9.5	EROSION CONTROL DETAILS
C9.6	EROSION CONTROL DETAILS
C9.7	EROSION CONTROL DETAILS
C9.8	NGC01 DETAILS
C10.0	SCM 3 PLAN AND DETAILS
C10.1	SCM 4 PLAN AND DETAILS
C10.2	SCM DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
L1.3	LANDSCAPE PLAN
L1.4	LANDSCAPE PLAN
L1.5	LANDSCAPE DETAILS
SL1.0	OVERALL LIGHTING PLAN
S1.0	AERIAL SEWER CROSSING 1
S1.1	CROSSING 1 DETAILS AND NOTES
S1.2	CROSSING 1 DETAILS AND QUANTITIES
S2.0	AERIAL SEWER CROSSING 2
S2.1	CROSSING 2 DETAILS AND NOTES
S2.2	CROSSING 2 DETAILS AND QUANTITIES

CONTACT LIST

PROJECT ENGINEER ZACHARY L. FULLER, P.E. WITHERSRAVENEL, INC. 115 MACKENAN DRIVE, CARY, NC 27511 TELEPHONE: (919) 469-3340 zfuller@withersravenel.com	LANDSCAPE ARCHITECT DANIEL WHATLEY WITHERSRAVENEL, INC. 137 S WILMINGTON STREET, RALEIGH, NC 27601 TELEPHONE: (919) 469-3340 dwhatley@withersravenel.com
--	---

PERMITTING AGENCIES

WATER & SEWER: HARNETT REGIONAL WATER	JAY MEYERS (jmayers@harnett.org)
STORMWATER: NCDOT	CRAIG LEE (clee@ncdot.gov)
ROADS: NCDOT	LEE HINES (lhines@ncdot.gov)
EROSION CONTROL: NCDENR	JODI PACE (jodi.pace@ncdenr.gov)

DEVELOPER/OWNER

GREENFIELD SERENITY LLC.
8601 SIX FORKS ROAD, SUITE 270
RALEIGH, NC 27615
919-815-6469

ATTN: MATT BRUBAKER
EMAIL: MBRUBAKER@GREENFIELDCOMMUNITIES.COM

PREPARED BY:

WithersRavenel
Engineers . Planners | Surveyors

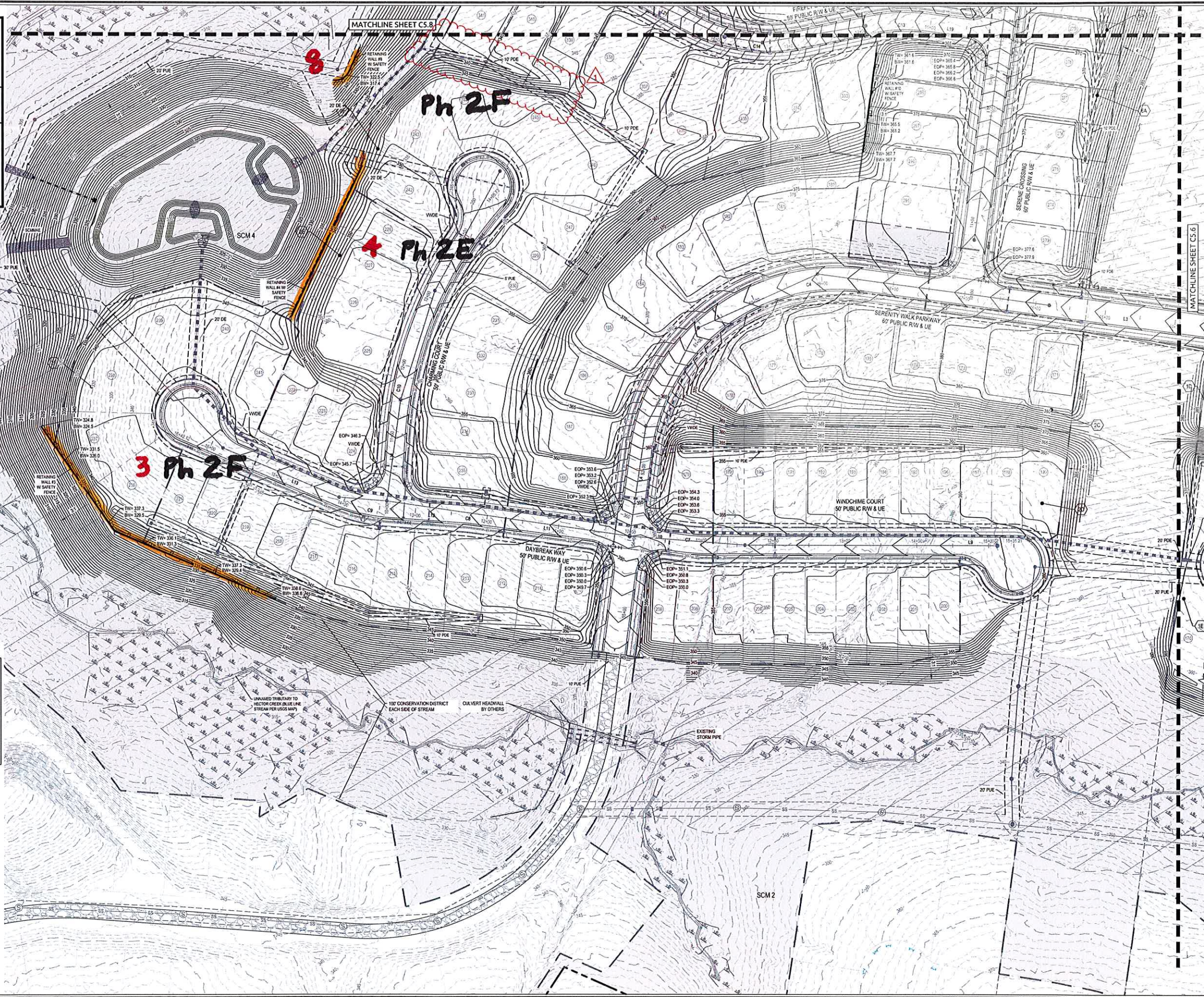
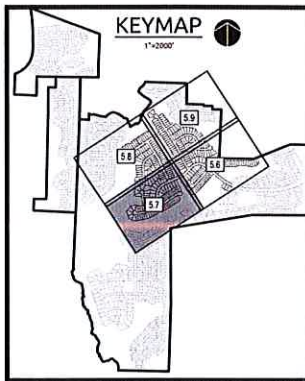
115 MacKenan Drive | Cary, NC 27511 | t: 919.469.3340 | license #: F-1479 | www.withersravenel.com



KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.



9/20/2022



LEGEND

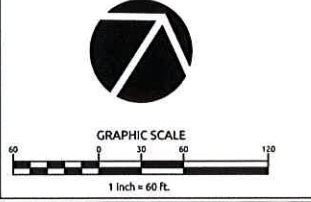
	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PERMETER BUFFER
	ACCESS EASEMENT
	GAS LINE EASEMENT
	POWER LINE EASEMENT
	EXISTING WETLANDS
	STREAM CONSERVATION BUFFER
	OPEN SPACE
	IMPROVED OPEN SPACE
	PHASE 2D

UTILITY ABBREVIATION LEGEND

FHA	FIRE HYDRANT ASSEMBLY
BQA	BLOWOFF ASSEMBLY
GV	GATE VALVE
ARV	AIR RELEASE VALVE
RED	REDUCER

EASEMENT ABBREVIATION LEGEND

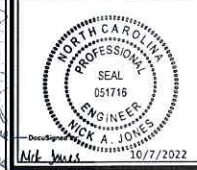
DE	DRAINAGE EASEMENT (PUBLIC)
PDE	PRIVATE DRAINAGE EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PSE	PUBLIC SEWER EASEMENT
PWE	PUBLIC WATER EASEMENT
SCMAE	SCM MAINTENANCE AND ACCESS EASEMENT
SDTE	SIGHT DISTANCE EASEMENT
VWDE	VARIABLE WIDTH DRAINAGE EASEMENT (PUBLIC)



SERENITY
PHASES 1D, 1E, 2C, 2D, 2E, 2F
2G, 6A, 6B, 6C, 6D, 6E, 6F, &
6G
HARNETT COUNTY, NORTH CAROLINA

GRADING PLAN

Job No. 02190647 Drawn By VR
Date 03/01/21 Designer VR



Revisions

1	REVISED PER 1ST HRW COMMENTS	08/30/21
2	REVISED PER 2ND HRW COMMENTS	03/04/22
3	REVISED PER 1ST NCDOT COMMENTS	04/06/22
4	REVISED PER 3RD HRW COMMENTS	05/05/22
5	REVISED PER 2ND NCDOT COMMENTS	06/21/22
6	REVISED PER 1ST E&SC COMMENTS	06/22/22
7	REVISED PER HC PLANNING COMMENTS	08/30/22
8	REVISED PER MATERIALS SUBMITTAL	10/07/22

Sheet No.
C5.8