ACCESSIBLE DWELLING UNITS (Section 1107)

| | | _ | | | _ |
|--|--|--|------------------------|--------------------------------------|---|
| TOTAL ACCESSIBLE UNITS PROVIDED | | SSIBLE | 6 | 2 | |
| TYPE WUNTIS TYPE WUNTS TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE | | TOTAL # ACCESSIBLE | PROVIDED | | |
| PE 'B' UNITS QUIRED | | | | 88 | |
| RE | | VIDED | LIM SF | 8' ACCE AISLE | |
| PE 'A' UNITY ROVIDED | DND | PACES PRO | VAN SPACES WITH | 132* ACCESS 8' ACCESS AISLE AISLE | |
| E'A' UNITS TY | ACCESSIBLE PARKING (Section 1106) | ACCESSIBLES | REGULAR WITH S' | ACCESS AISLE | |
| | cces | S# OF | REC | AC | _ |
| ACCESSIBLE ACCESSIBLE UNITS REQUIRED UNITS PROVIDED | A | LOT OR PARKING TOTAL # OF PARKING SPACES # OF ACCESSIBLE SPACES PROVIDED | Uaunoad | | |
| D UN | | # OF P | un o | | |
| ACCESSIBLE UNITS REQUIRE | | TOTAL | Caditiona | TOXON I | |
| | | ARKING | £ | | |
| TOTAL | | LOT OR PA | AKEA | | |

(C) AREA FOR FRONTAGE ALLOWABLE AREA PER INCREASE ^{1,5} STORY OR UNLIMITED ^{2,3}

(B) TABLE 506.2⁴ AREA

BLDG. AREA PER STORY (ACTUAL)

STORY DESCRIPTION AND NO. USE

(F)

506.2

The maximum Area of open parking garages must comply with Table 406.5.4 The Mi control towers must comply with Table 412.3.1.

| | VTS |
|---|---|
| | JIREME |
| | RE REQU 902.1) |
| | PLUMBING FIXTURE REQUIREMENTS (Table 2902.1) |
| | Id |
| | |
| Γ | |

| 11SF | | Wai | er Cla | osets | Ilrinale | La | vatori | s | Showers/ | Drinking | Fountains |
|-------|----------|------|--------|----------|----------|------|--------|--------|----------|----------|------------|
| | | Male | Femal | d Unisex | C111110 | Male | Female | Unisex | Tubs | Regular | Accessible |
| | Existing | | | | | | | | | | |
| SPACE | New | | | | | | | | | | |
| | Required | | | | | | | | | | |

SPECIAL APPROVALS on, Department of Insurance, OSC, DPI, DHHS, etc. described below) Special Approval: (Local Jurise

соре кеген **Т 504.3 Т 504.4**

SHOWN ON PLAN

 ALLOW ABLE
 ARLOW ABLE
 STUMM ON CLA

 Building Height in Feet (Table 504.3)
 55'
 18'-2"

 Building Height in Stories (Table 504.4)
 2
 1

 Provide code reference if the "Shown on Plans" quality is not based on Table 504.3 or 504.4
 1

ENERGY SUMARRY NONG

SHEET # FOR RATED JOINTS

SHEET # FOR RATED PENETRATION

DESIGN# FOR RATED ASSEMBLY

DETAIL# AND SHEET#

FIRE RATING SEPARATION REQD WW

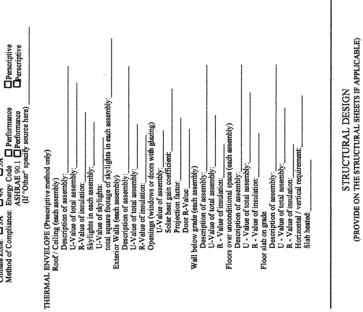
BUILDING ELEMENT

uctural Frame luding column ders & trusses earing walls

FIRE PROTECTION REQUIREMENTS

ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute to meet the energy code shall also Designer shall furmish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost f

Bisting building envelope complies with code: Bisempt Building: Diamon Diamon Diamon Diamon Diamon Climate Zone: Method of Compliance: Bergy Code Performance ASINE 90.1 Diamon D



of **2D** psf ezzanine psf or 10D psf 15.0 psf Snow (I_s) 1.2 Seismic (I_n) 1.5 Ground Snow Load: Wind Load: IGN LOADS: Importance Factor: Live Loads:

PERCENTAGE OF WALL OPENING CALCULATIONS DEGREES OF OPENINGS PROTECTON REOTECTON (%) (%)

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES

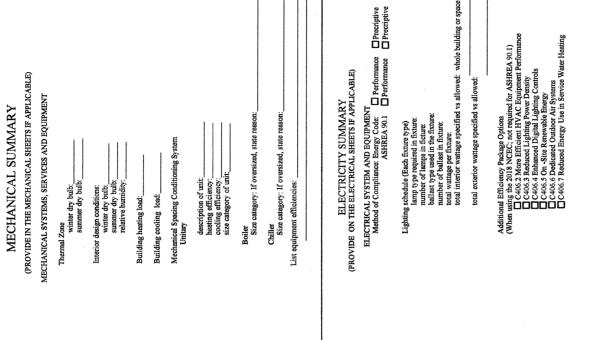
LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Exit Signs: Fire Alarm: Smoke Detection Systems: Panic Hardware:

LIFE SAFETY PLAN REQUIREMENTS

õ RY: A L Design Paramy ָ[ַ]׆ַּםֶּםֶּם SEISMIC DESI Provide the follo Pisk Ca

ity 2,000 LATERAL DESIGN CON SOIL BEARING CAPACI Field Test (provide Presumptive Bearin Pile size, type, and c



See steel drawings for building structural (in attachments)

NOTICE TO CONTRACTOR truction must comply with current NC Building Codes eviewed for Code Compliance Harnett c o u n t y NORTH CAROLINA 01/27/2023

| BUIES CREEK FIRE DEPARTMENT 112 Marshbanks St. Lillington, NC 27546 | RJB, PE, PA c-0269 3768 Carbonton Road • Sanford, UC 27330 3768 Carbonton Road • Sanford, UC 27330 | SCALE: 1/4" = 1'-0" DRAWN BY: WRJ DATE: CHECKED BY: RJB DWG. NUMBER: JOB NUMBER: | SHEET NO: APPENDIX 'B' | SEAL HITH CAROUNT CARON |
|---|--|---|------------------------------|-------------------------|
|---|--|---|------------------------------|-------------------------|

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2 FAMILY DWELLINGS AND TOWNHOUSES)

Buies Creek Fire Department

norized Agent. Jeff Walker Phone 910-890-1268 E mail jlw08@centurylink,net **M** City / County D Private D State nent Junistiction: D City ______MC county _____ D State ______ Address. _ 112 Marshbanks Street Lillington, NC 327546 Name Of Project Owned By: Owner Or A Code Enfor

| 55' | Building Height in Feet (Table 504.3) | | | | | Retaining Wall > 5' High | Retaining W |
|--|---|--|--|---|---|--|-----------------------|
| ALLOWABLE SH | | | | | | Yana kana kana kana kana kana kana kana | Structural |
| ALLOWABLE HEIGHT | | والمتعاولة والمستعبد والمعارية والمحادثة والمحاولة والمعاولة والمعارية والمعارية والمعاركة والمعاركة | والمراجع والمحاصر والمراجع والمراجع والمراجع والمراجع والمراجع والمراجع والمراجع والمراجع والمراجع | | | standpipe | Sprinkler - Standpipe |
| | | A managementative as an and a management of a management of the first state of the second state of the sec | | | | 1 | |
| lered area value in Table 506.2 | Frontage increase is based on the unsprinklered area value in Table 506.2 | | | . 5.000 | 7. 1 | | Mechanical |
| 412.3.1. | control towers must comply with Table 412.3.1. | بو تشيست ومور | viti | | territori de la constante de la | a a a a a | Plumbing |
| es must comply with Table 406.5.4 | ⁴ The maximum Area of open parking garages must comply with Table 406.5.4 | | | | | | Fire Alarm |
| f stories in building x D (maximum | ³ Maximum Building Area = total number of stories in building x D (maximum i | | 1022203 | 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 | | а так на . | Blectrical |
| 0.25) x W / $30 = $ (%) s of Section 507. | e. Percent of from the increase $\frac{1}{2} = 100 (FP = 0.25) \text{ x W} / 30 = \frac{1}{20}$ 2 Unlimited area applicable under conditions of Section 507. | | | | | والمتعاومة والمحاولة معامله والمناوع والمحاور والمحاولة والمحاولة والمحاولة والمحاولة والمحاولة والمحاولة والم | Civil |
| =(W) | c. Ratio $(F/P) = \frac{F_{P,H}}{(F/P)}$ d. W = Minimum width of public way = | E-MAIL bjbracken@windstream.net | TELEPHONE# (919) 774-6074 | LICENSE# NC 7291 | NAME RJ Bracken | FIRM RJB PE PA | DESIGNER: Engineer |
| are computed thus: or open space having 20 feet minim | ¹ Frontage area increase from Section 506.2 are computed thus: a. Perimeter which finding a public way or open space having 20 feet minim b. Trand Building Desimator. | | | | | CONTACT: Robert J. Bracken, Jr P.E. | CONTACT: |
| | | | | | | | |

r designers, etc.) ("Other" should include firms and individuals such as truss, precast, pre-engi

Other

ã DAdd 2018 NC CODE BUILDING CODE: X New Building

2018 NC CODE BUILDING CODE: S New Building

1 Ist Time Interior Completion

1 Shell / Core - Contact the lost

1 Procedures and equiverments

 2018 EXISTING BUILDING CODE: EXISTING:
 Presection - Shell / Core - Contact the local inspection possible additional procedures and requirements

 2018 EXISTING BUILDING CODE: EXISTING:
 Prescriptive
 Repair
 Chapter 14

 Alteration:
 Level I
 Level II
 Level II
 Level II

 Alteration:
 Level I
 Level II
 Charge Of Use

CURRENT OCCUPANCY (S) (CH. 3). PROPOSED OCCUPANCY (S) (Ch.3). CONSTRUCTION: (Date)

RENOVATED: (Date) ______ PROPOSED OCCUPANCY (S) (CLL-) RENOVATED: (Date) ______ PROPOSED OCCUPANCY (S) (CLL-) OCCUPANCY CATEGORY (Table 1604.5) Current: 0 1 0 10 011 01V

BASIC BUILDING DATA Construction Type:

East West South Interior walls & partitions

N. East West South Interior Nonbearing walls and partitions Exterior Walls North

 Construction Type:
 I-A
 II-A
 II-A
 IV-A

 I-B
 II-B
 III-B
 IV-B

 Sprinklers:
 INO
 Partial
 IV-B

 Standpipes:
 No
 Partial
 IVes
 INFPA13
 INFPA13R

 Standpipes:
 No
 IVes
 Class
 II
 II
 III
 IVet
 INFPA13R

 Fire District:
 No
 IVes
 Ves
 Flood Hazard Area:
 No
 IVes

FIE DISTIN. PARTY CONTACT THE DISTINCT PARTY CONTACT THE LOCAL IT

2.250 EW (SQ. FT.) 2,250 ng (SQ. FT.) FLOOR 1 3rd Floor 2nd Floor Mezzanine 1 1st Floor 1 Basement TOTAL

Floor construction textualing exporting beams & plat. Floor Celling Assembly Floor Celling Assembly Read contraction including Read contraction including supporting beam & plat anyopering beam & plat anyopering beam & plat floor Celling Assembly Cournes Supporting Read Shaft Enclosures - Other Corridor Seperation Smoke Parthion Tenant Dwelling Unit Steeping Unit Separation Incidental Use Separation

2,250 ALLOWABLE AREA

 Primary Occupancy (a): Select One
 ALLOWABLE AREA

 Assembly
 [-A-1]
 [-A-2]
 [-A-3]
 [-A-4]
 [-A-5]

 Assembly
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 Business:
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Mercantile

Residential

17,500 442 ile C Attil CR-2 CR-3 CR-4 Attil CR-1 CR-2 CR-3 CR-4 As-1 Moderate C S-2 Low CHigh Plied 1,7,500 -4 C Parking Garage Copen C Enclosed C Repair Garage and Miscellaneous C

Utility and Miso

Incidental Uses (Table 509):

Special Uses (Chapter 4 - List Code Section):_

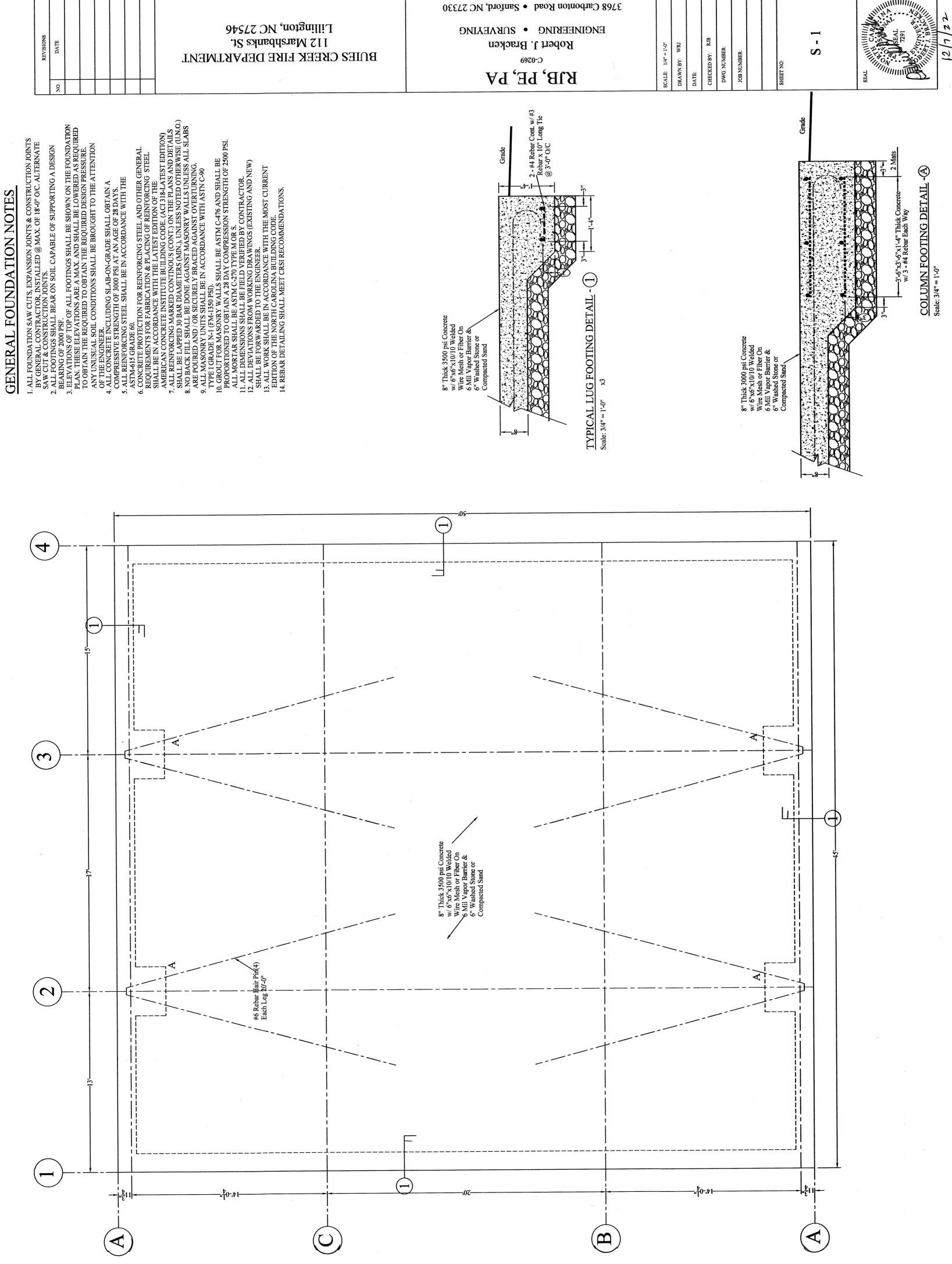
Mixed Occupancy:

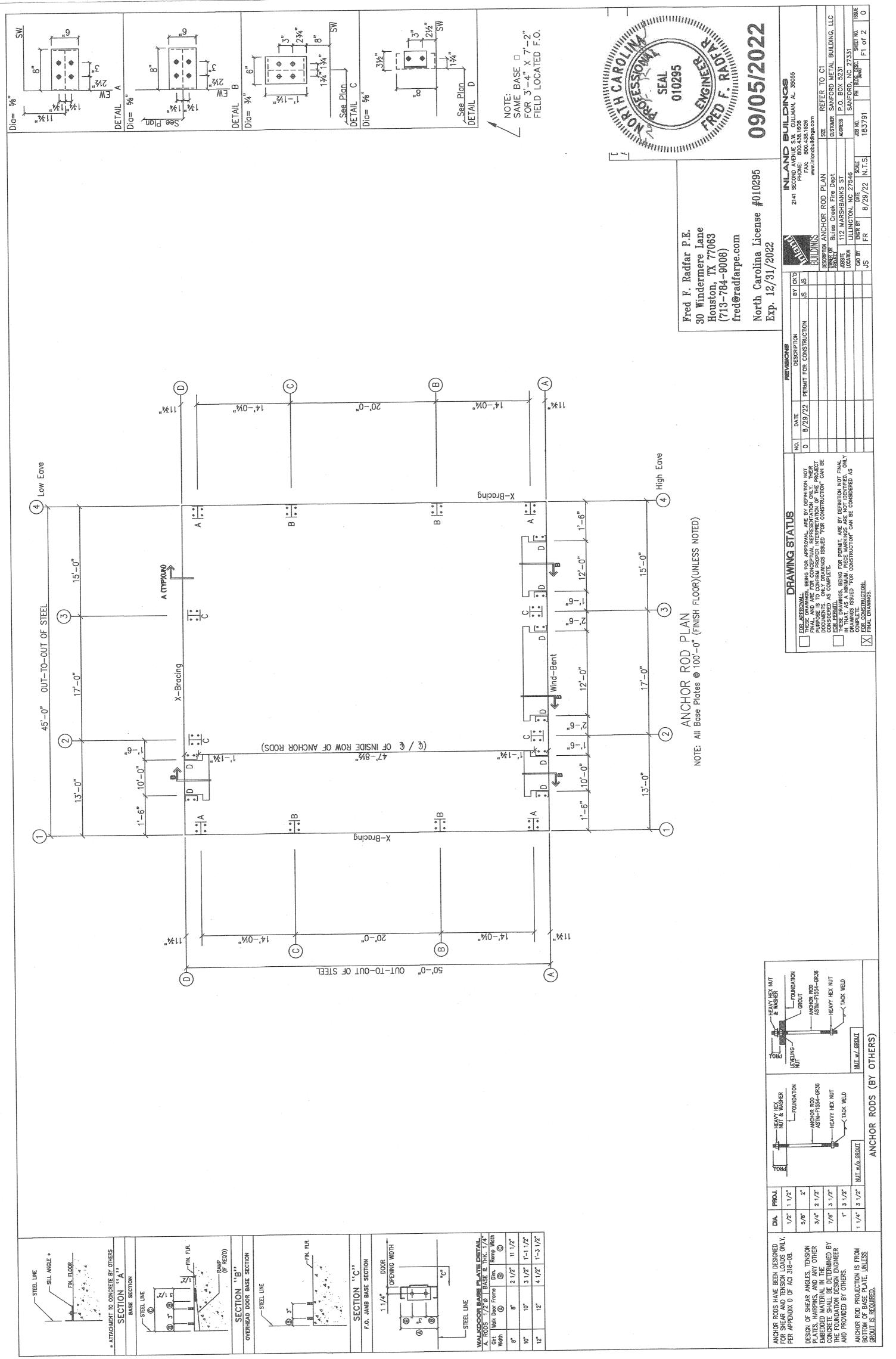
Special Provisic

1.00

Accessory Occupancy Classification (s): ____

Storage





۱ 50' Open Storage No. Interior Wells Bures Creek Fin Dant. Starage Bldg. Floor Plan/ Life Sa Suty Plan Entrance/ Ex.+ 5 Door 45-1 6/1 Entrance/Exit & Door 1