

WATER FOUNTAIN

SINK ELEVATION

TYP. TOILET ELEVATION

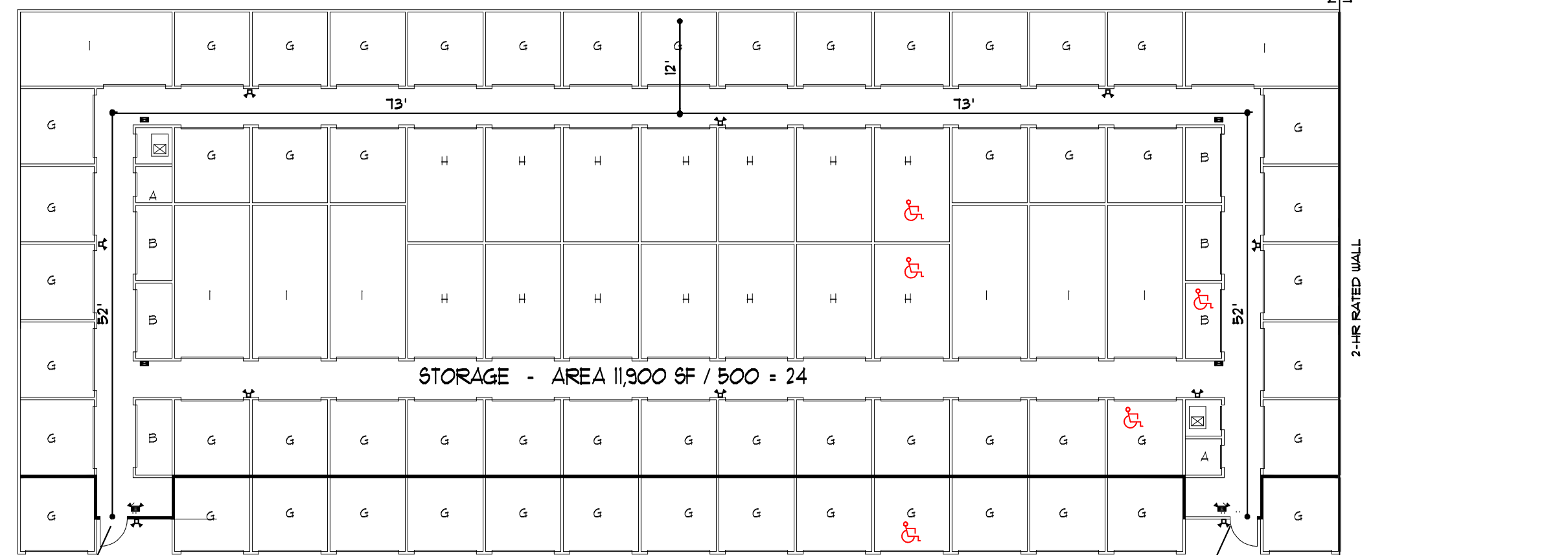
NOTE: PROVIDE BLOCKING IN ALL WALLS BEHIND GRAB BARS + WALL HUNG SINKS AS PER HANDICAPPED CODE

NOTE: ALL DIMENSIONS TAKEN TO FACE OF FINISH SURFACE

NOTE: ADA UNITS WILL INCLUDE AN ELECTRIC DOOR LIFT OPERATOR WITH BATTERY BACKUP, PHOTO EYES, EMERGENCY RELEASE AND KEYPAD FOR OPERATION. KEYPAD WILL BE MOUNTED WITHIN ACCESSIBLE REACH RANGES PER ANSI 308. MANUFACTURER: LIFTMASTER 8950W OR EQUAL

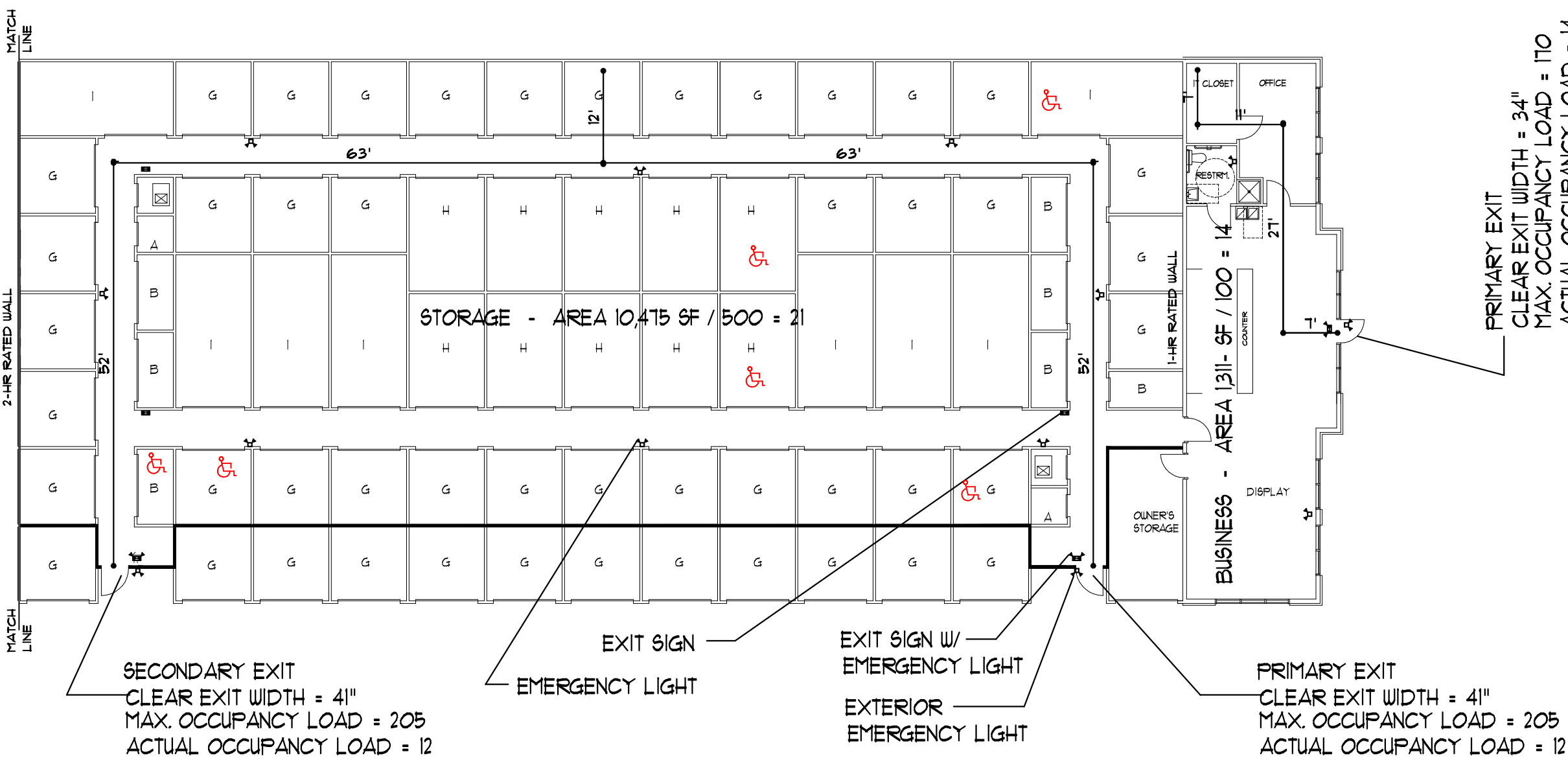
HORIZONTAL SLIDING DOORS SHALL COMPLY WITH SECTION 1010.1.4.3 OF NCBC. ELECTRICAL TO BE COORDINATED.

OCCUPANT DISPERSAL FROM EXITS TO PUBLIC ROAD SHOWN ON SITE PLAN



FLOOR PLAN - AREA 'A'

1/16" = 1'-0"



LIFE SAFETY & OCCUPANCY PLAN

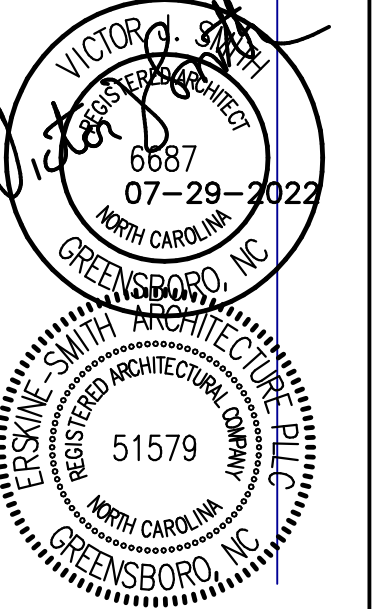
1/16" = 1'-0"

BUILDING 'A' NEW STORAGE FACILITY FOR HARNETT SELF STORAGE SPOUT SPRINGS, NC

NOTICE TO CONTRACTOR
All construction must comply with current NC Building Code with latest local amendments and ordinances.
Reviewed for Code Compliance
12/09/2022
Harnett COUNTY
NORTH CAROLINA

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APPENDIX "B" BUILDING CODE SUMMARY

Name of project: BLDG. 'A' NEW FACILITY FOR HARNETT SELF STORAGE
Address: _____ Zip Code: _____
Owner or Authorized Agent: VCS SMITH Phone: 336-855-1286 E-mail: erskinesmith@bellsouth.net
City/County: Spout Springs, NC Private
Code Enforcement Jurisdiction: City of Spout Springs County

DESIGNER: Victor J. Smith
ARCHITECTURAL: ERSKINE-SMITH ARCHITECTURE, P.L.L.C. License No. 6687
ELECTRICAL: EUBANKS HUMPHREY ENGINEERING PC License No. 032588
PLUMBING: EUBANKS HUMPHREY ENGINEERING PC License No. 032588
MECHANICAL: EUBANKS HUMPHREY ENGINEERING PC License No. 032588
SPRINKLER/STANDPIPE: EUBANKS HUMPHREY ENGINEERING PC License No. 032588
OTHER: _____

2018 NC BUILDING CODE: New Building Addition Renovation
 List Time Interior Completion
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE, EXISTING: Prescriptive Repair Chapter 14
Alterations: Level I Level II Level III
 Historic Property Change of Use

CONSTRUCTION (date): _____ ORIGINAL OCCUPANCY (Ch. 3): _____
RENOVATED (date): _____ PROPOSED OCCUPANCY (Ch. 3): _____
RISK CATEGORY (Table 1604.3): I II III IV
Proposed: I II III IV

BASIC BUILDING DATA
Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class: I II III IV Dry
Fire District: No Yes Flood Hazard Area: No Yes
Special Inspections Required: No Yes (Contact the local inspection jurisdiction for additional procedures and requirements)
Manual Fire Alarm System with Notification: No Yes

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3rd Floor			
2nd Floor			
Mezzanine	Area A	Area B w/ office	
1st Floor	11,683 sf	11,800	
Basement			
TOTAL	11,683 sf	11,800	23,483 SF TOTAL

Primary Occupancy Classification(s): A-1 A-2 A-3 A-4 A-5
Assembly Educational F-1 Moderate F-2 Low High Hazard H-1 Detached H-2 Detached H-3 Combust H-4 Health H-5 HPM
Institutional I-1 Condition I-2 I-3 Condition I-4
Mercantile R-1 R-2 R-3 R-4
Residential S-1 Moderate S-2 Low High Piled
Storage Parking Garage Open Enclosed Repair Garage
Utility and Miscellaneous BUSINESS
Accessory Occupancy Classification(s): _____
Special Uses (Chapter 4 - List Code Sections): _____
Special Provisions (Chapter 5 - List Code Sections): _____
Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____
Non-separated use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Mixed Occupancy (508.4) - See below for area calculations
For each story, the area of the occupancy shall be such that the sum of the ratio of the actual floor area of each use divided by allowable floor area for each use shall not exceed 1.
Actual Area of Occupancy A + Actual Area of Occupancy E ≤ 1
Allowable Area of Occupancy A + Allowable Area of Occupancy E ≤ 100

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR INCREASE 1.4	(D) ALLOWABLE AREA PER STORY (QUALIFIED 1)

- Frontage area increases from a Section 506.2 are computed that:
 - Perimeter which fronts a public way or open space having 20 feet minimum width = (P)
 - Local Building Perimeter
 - Ratio (P/P) *
 - W * Minimum width of public way = (W)
 - Percent of frontage increase = (W/P) * 100 (P/P - 0.25) * W/30 = %
- Unlimited area applicable under conditions of Section 507
- Maximum Building Area = total number of stories in the building x D (506.2)
- The maximum area of open parking garages must comply with 406.5.4. The maximum area of air traffic control towers must comply with 403.3.
- Frontage increase is based on the unspinklered area value in Table 506.2

USE	WATER CLOSETS				LAVATORIES				SHOWERS		DRINKING FOUNTAINS	
	MALE	FEMALE	UNSEX	TUBS	MALE	FEMALE	UNSEX	TUBS	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE
OUTSIDE EXISTING												
OUTSIDE NEW												
INSIDE EXISTING												
INSIDE NEW												
TOTAL												

NS = BUILDING NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING PROVIDED	RATING REDUCTION	DETAIL AND SHEET #	DESIGN FOR RATED ASSEMBLY	DESIGN FOR RATED PENETRATION	DESIGN FOR RATED JOINTS	FIRE PROTECTION REQUIREMENTS	
								REQUIREMENTS	COMPLIANCE
Structural Framing, including columns, girders, trusses									
Bearing walls									
Exterior									
NORTHWEST	6'-6"	0							
NORTHEAST	6'-6"	0							
SOUTHWEST WALL (ASSUMED PROPERTY LINE)	15'	0							
SOUTHWEST WALL	3'-6"	0							
Interior									
Nonbearing walls and partitions									
Exterior walls									
North	N/A	0							
East	N/A	0							
West	N/A	0							
South	N/A	0							
Interior walls & partitions									
Floor construction including supporting beams and joists									
Corridor Separation	N/A	0							
Floor Ceiling Assembly									
Columns Supporting Roof									
Roof construction including supporting beams and joists									
Floor Ceiling Assembly									
Columns Supporting Roof									
Shaft Enclosures - Exit	N/A	0							
Shaft Enclosures - Other	N/A	0							
Occupancy/Fire Barrier Separation	1-hr	1-hr	U-419	T/A-3					
PartyFire Wall Separation	2-hr	2-hr	U-419	3/A-3					
Smoke Barrier Separation	N/A								
Tenant / Dwelling Unit / Sleeping Unit Separation	N/A								
Incidental Use Separation	N/A								

Fire Separation Distance (feet) / Assumed Property Line	Degree of Opening Protection (Table 705.8)	Allowable Area (%)	Actual Shown on Plan (%)
NORTH 100'	UNPROTECTED, NONSPINKLERED	NO LIMIT	0
WEST 36'	UNPROTECTED, NONSPINKLERED	NO LIMIT	0
SOUTH 25'	UNPROTECTED, NONSPINKLERED	NO LIMIT	0
EAST 19' ASSUMED PROPERTY LINE	UNPROTECTED, NONSPINKLERED	NO LIMIT PER TABLE 705.8.1 ex. 2	54%

PERCENTAGE OF WALL OPENINGS CALCULATION

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet # _____ COVER SHEET
NA Fire and/or smoke rated wall locations (Chapter 7)
NA Assumed and real property line locations (if not on site plan)
NA Exterior wall opening area with respect to distance to assumed property lines (705.8)
NA Occupancy Use for each area as it relates to occupancy load calculation (Table 1004.1.2)
NA Occupant loads for each area
NA Exit access travel distance (107)
NA Common path of travel distance (Table 1006.2.1 + 1006.3.2(1))
NA NA Dead end lengths (1002)
NA Clear exit width for each exit door
NA Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1009.3)
NA Actual occupant load for each exit door
NA A separate schematic plan indicating where fire rated floor ceiling and/or roof structure is provided for purposes of occupancy separation
NA Location of doors with panic hardware (1010.10)
NA Location of doors with delayed egress locks and the amount of delay (1010.13.1)
NA Location of doors with electromagnetic egress locks (1010.13.3)
NA Location for doors equipped with hold-open devices
NA Location of emergency escape windows (1020)
NA The square footage of each fire area (1021)
NA The square footage of each smoke compartment for Occupancy Classification 1-2 (407B)
NA Note any code exceptions or table notes that may have been utilized regarding the items above

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE 'A' UNITS PROVIDED	TYPE 'B' UNITS PROVIDED	TYPE 'C' UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

LOT OR PARKING AREAS	TOTAL # OF PARKING SPACES REQUIRED	# OF ACCESSIBLE SPACES PROVIDED	TOTAL NO. ACCESSIBLE UNITS PROVIDED

USE	WATER CLOSETS				LAVATORIES				SHOWERS		DRINKING FOUNTAINS	
	MALE	FEMALE	UNSEX	TUBS	MALE	FEMALE	UNSEX	TUBS	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE
OUTSIDE EXISTING												
OUTSIDE NEW												
INSIDE EXISTING												
INSIDE NEW												
TOTAL												

SPECIAL APPROVALS (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

ENERGY REQUIREMENTS
The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost standard reference design vs annual energy cost for the proposed design.

Climate Zone 3 4 5

Method of Compliance
 Prescriptive (Energy Code)
 Performance (Energy Code)
 Prescriptive (ASHRAE 90.1)
 Performance (ASHRAE 90.1)

THERMAL ENVELOPE
Roof/Ceiling Assembly (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly: _____
U-Value of skylight: _____
Total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (each assembly): _____
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Door R-Values: _____

Walls below grade (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
slab rested: _____

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
slab rested: _____

NOT REQUIRED PER 2012 NC-EEC

UNIT MIX - TOTAL 4 BLDG.						
SIZE	MARK	A	B	C	J	ACCESSIBLE UNITS
5'x5'	A	4	-	-	-	66
5'x10'	B	13	6	8	-	81
10'x10'	G	105	-	-	3	183
10'x15'	H	24	52	-	-	88
10'x20'	I	16	-	60	-	88
10'x30'	K	-	-	-	26	44
12'x30'	Z	-	-	-	15	30
TOTAL		162	58	68	44	332
NET SQ. FT. PER BLDG		18,284	8,100	12,400	13,500	55,284
GROSS SQ. FT. PER BLDG		23,508	8,100	12,400	13,500	57,508
TOTAL						171,076

CODE REQUIREMENTS	PERCENTAGE	# OF UNITS	# OF ADA UNITS REQ.
5% OF THE FIRST 200 UNITS	5%	100	10
2% OF REMAINING UNITS	2%	232	26.4
TOTAL		332	36.4

NOTE: ALL ACCESSIBLE STORAGE UNITS DOORS SHALL HAVE A MAX. 5 LB. FULL

NEW STORAGE FACILITY FOR BLDG. 'A' HARNETT SELF STORAGE SPOUT SPRINGS, NC

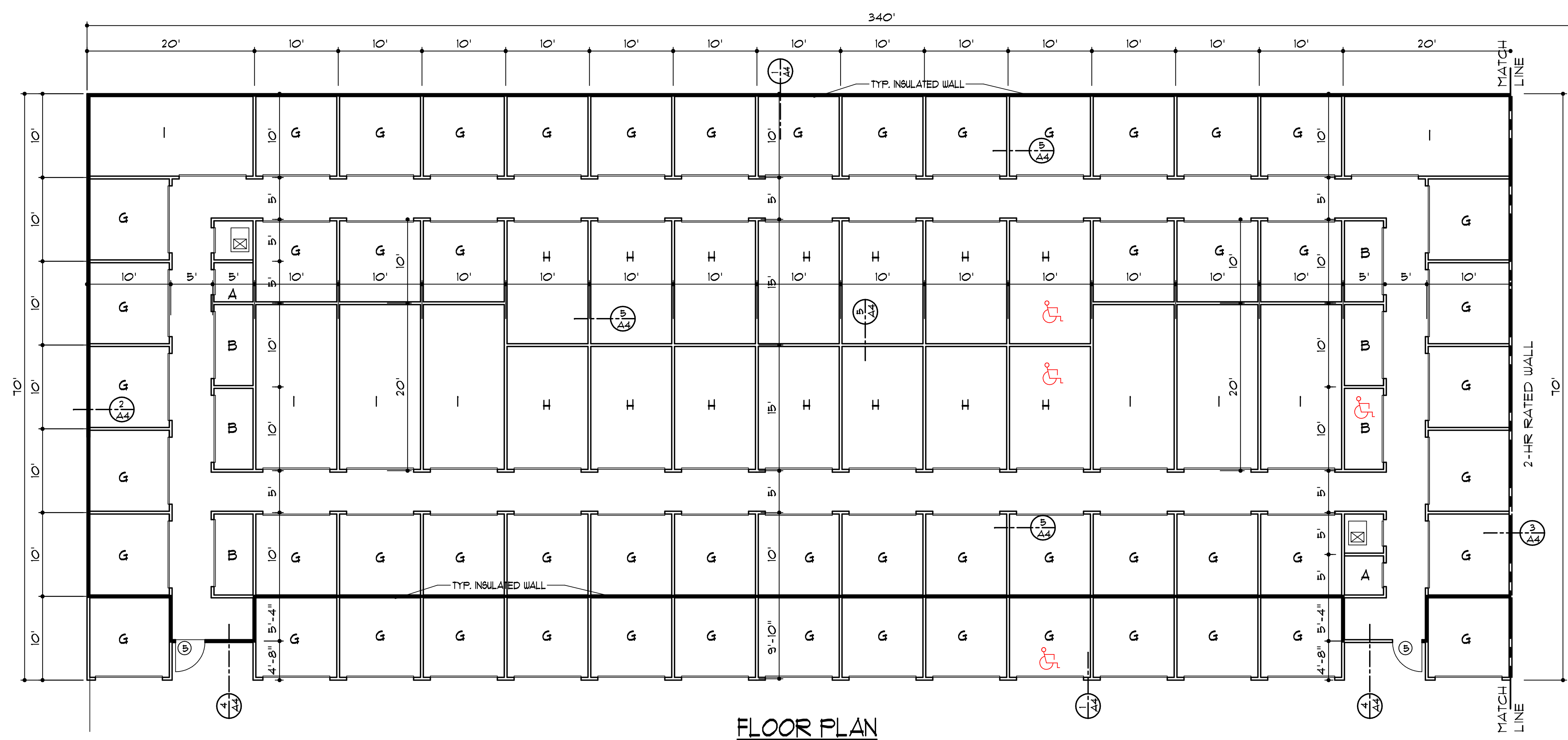
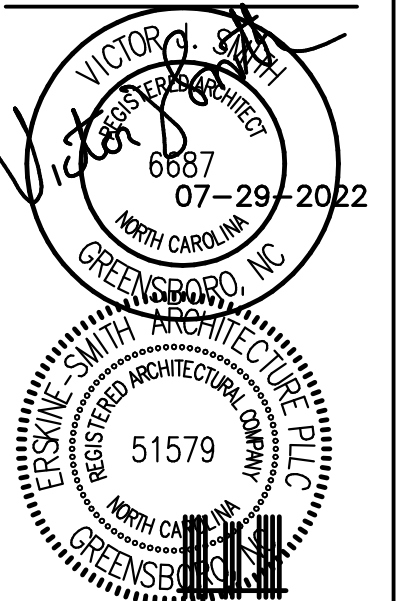
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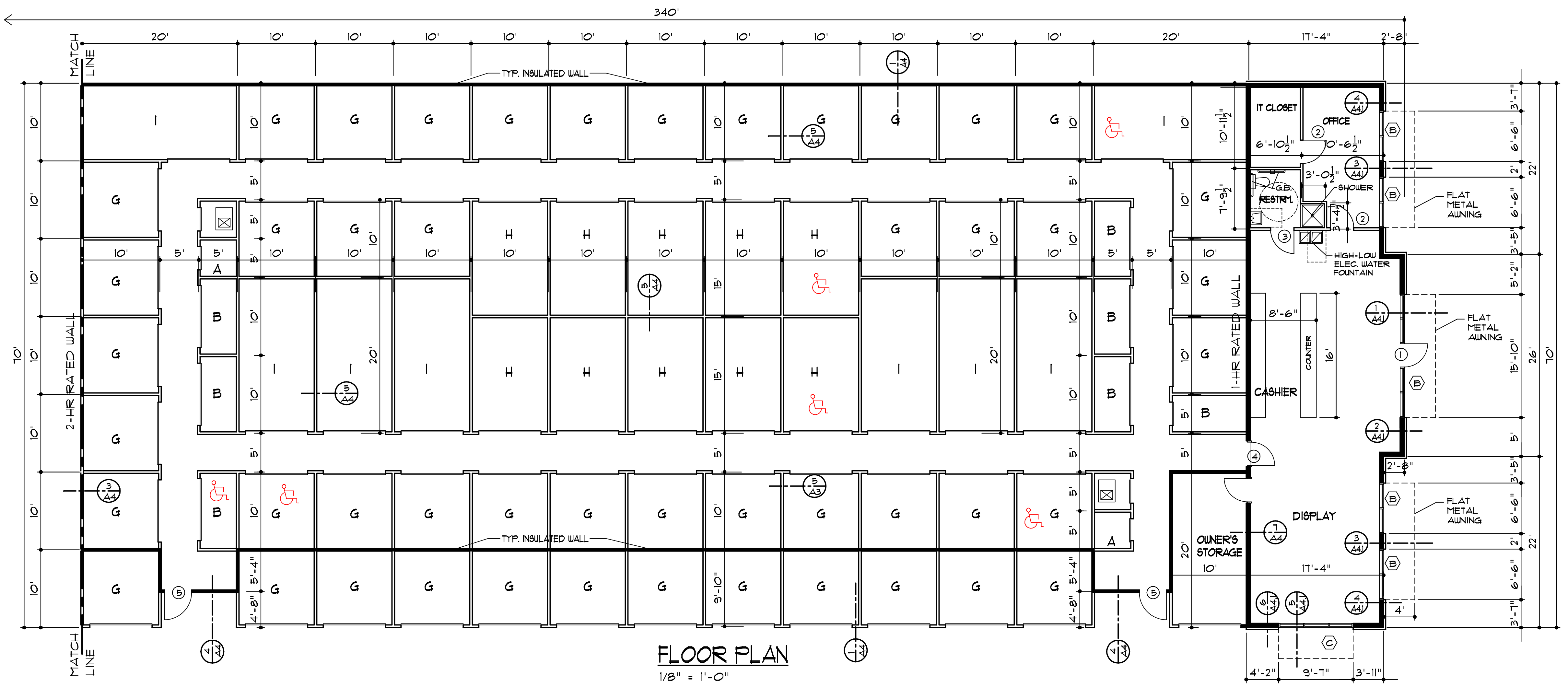
FLOOR PLAN
 1/8" = 1'-0"

DOOR SCHEDULE						
MARK	QUANTITY	UNIT SIZE	MATERIAL	GLAZING	FRAME	HARDWARE
1	1	3'-0" x 7'-0" x 13/4"	ALUM. STOREFRONT	FULL LITE	ALUM.	PUSH / PULL W/ LOCK SET, 1/2 PR BUTT HINGE, SILENCERS, DOOR STOP, CLOSER
2	2	3'-0" x 7'-0" x 13/4"	SOLID CORE BIRCH/VNA		16 GA. METAL	LEVER HANDLE LOCK SET, 1/2 PR BUTT HINGE, SILENCERS, DOOR STOP
3	1	3'-0" x 7'-0" x 13/4"	SOLID CORE BIRCH/VNA		16 GA. METAL	LEVER HANDLE PASSAGE SET, 1/2 PR BUTT HINGE, SILENCERS, DOOR STOP
4	1	3'-0" x 7'-0" x 13/4"	SOLID CORE METAL/VNA		16 GA. METAL	LEVER HANDLE LOCK SET, 1/2 PR BUTT HINGE, DOOR STOP, 1/2 HC THRESHOLD, CLOSER, (20 MIN. ASSEMBLY)
5	4	3'-6" x 7'-0" x 13/4"	INSUL. METAL	6"x30" VISION PANEL	16 GA. METAL	LEVER HANDLE LOCK SET, 2 PR BUTT HINGE, SILENCERS CLOSER, 1/2 HC THRESHOLD, WEATHER-STRIPPING

NOTE: 1. ALL INTERIOR OVERHEAD DOORS BY "METAL BUILDING COMPANY"

WINDOW SCHEDULE						
MARK	QUANTITY	UNIT SIZE	MATERIAL	GLAZING	FRAME	HARDWARE
A	1	15'-10" x 8'-0"	ALUM. STOREFRONT	FULL LITE	ALUM.	ALUM. STOREFRONT W/ 1" LOW-E INSUL. GLASS WITH DOOR #1
B	4	6'-6" x 8'-0"	ALUM. STOREFRONT	FULL LITE	ALUM.	ALUM. STOREFRONT W/ 1" LOW-E INSUL. GLASS
C	1	9'-7" x 8'-0"	ALUM. STOREFRONT	FULL LITE	ALUM.	ALUM. STOREFRONT W/ 1" LOW-E INSUL. GLASS

UNIT MIX - TOTAL 4 BLDG.							
SIZE	MARK	BUILDING TYPE				TOTAL	ACCESSIBLE UNITS
		A	B	C	J		
5'x5'	A	4	-	-	-	66	BLDG. A 5
5'x10'	B	13	6	8	-	81	
10'x10'	G	105	-	-	3	51	BLDG. A 5
10'x15'	H	24	52	-	-	183	
10'x20'	I	16	-	60	-	88	BLDG. J 3
10'x30'	K	-	-	-	26	44	
12'x30'	Z	-	-	-	15	30	
TOTAL		162	58	68	44	332	
NET SQ. FT. PER BLDG.		18,284	8,100	12,400	13,500	55,284	SQ. FT. NET TOTAL
GROSS SQ. FT. PER BLDG.		23,508	8,100	12,400	13,500	57,508	SQ. FT. GROSS TOTAL



FLOOR PLAN
 1/8" = 1'-0"

NOTE:
 ADA UNITS WILL INCLUDE AN ELECTRIC DOOR LIFT OPERATOR WITH BATTERY BACKUP, PHOTO EYES, EMERGENCY RELEASE AND KEYPAD FOR OPERATION. KEYPAD WILL BE MOUNTED WITHIN ACCESSIBLE REACH RANGES PER ANSI 308. MANUFACTURER: LIFT MASTER 8950W OR EQUAL

HORIZONTAL SLIDING DOORS SHALL COMPLY WITH SECTION 1010.1.4.3 OF NCBC. ELECTRICAL TO BE COORDINATED.

OCCUPANT DISPERSAL FROM EXITS TO PUBLIC ROAD SHOWN ON SITE PLAN

NOTE:
 1. EXTERIOR WALL DIMENSIONS TAKEN FROM EXTERIOR FACE OF STUD
 2. INTERIOR WALL DIMENSIONS TAKEN FROM CENTER LINE OF WALL
 3. OVERHEAD DOORS FOR STORAGE UNITS SUPPLIED AND SIZED BY METAL BLDG. MANUFACTURER
 4. EXTERIOR WALLS TO BE INSULATED EXCEPT AT EXTERIOR STORAGE UNITS
 5. WALL BETWEEN EXTERIOR ENTRANCE STORAGE UNITS AND INTERIOR STORAGE UNITS TO BE INSULATED.
 6. WALLS BETWEEN OFFICE & STORAGE AREA TO BE INSULATED
 7. PROVIDE BLOCKING BEHIND SINK, TOILET, WATER FOUNTAIN & SHOWER
 8. SHOWER UNIT TO BE ACCESSIBLE TYPE WITH 1/2" THRESHOLD & GRAB BARS

**NEW STORAGE FACILITY FOR
 HARNETT SELF STORAGE
 SPOUT SPRINGS, NC**

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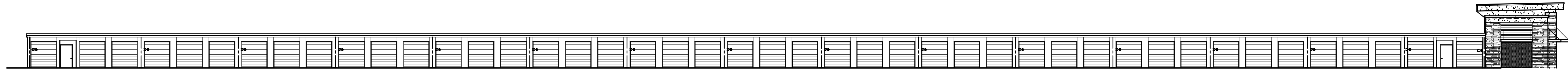
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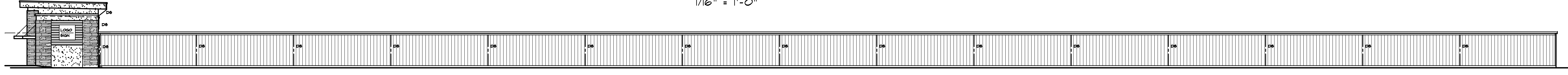
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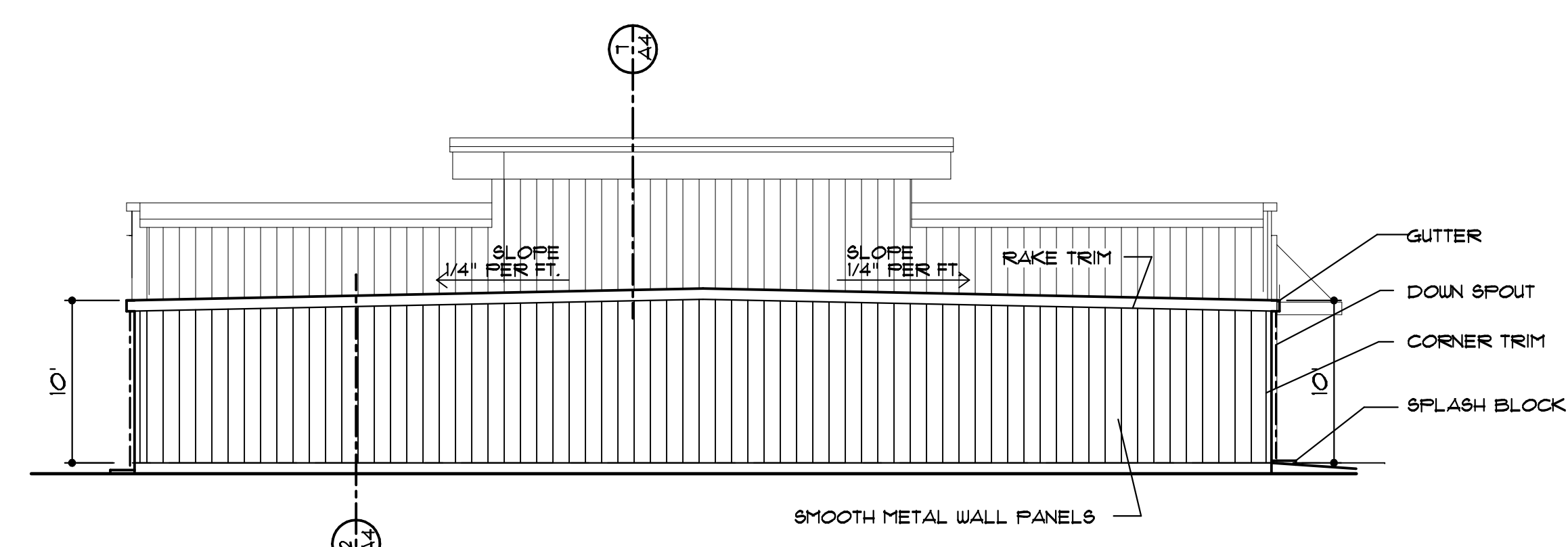
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EAST ELEVATION
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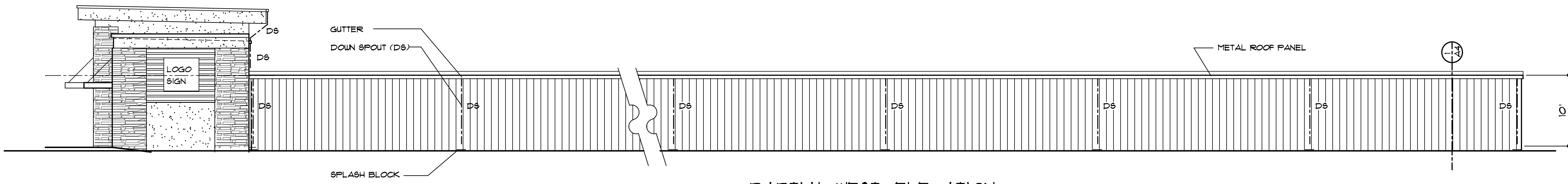
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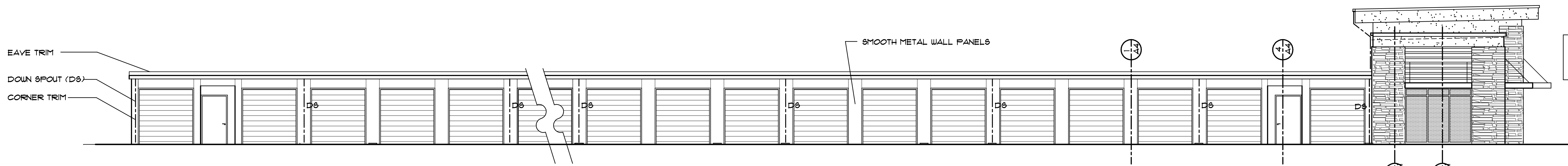
ALL RAIN LEADER TO HAVE SPLASH BLOCKS

DOWN SPOUTS & GUTTERS
 ROOF AREA = 13,500 SF
 GUTTER LENGTH = 450' LF
 GUTTER SIZE = 5" w X 4" d
 # DOWN SPOUT (3" x 4") = 16
 AREA PER DOWN SPOUT = 844 sf

SOUTH ELEVATION
 1/8" = 1'-0"

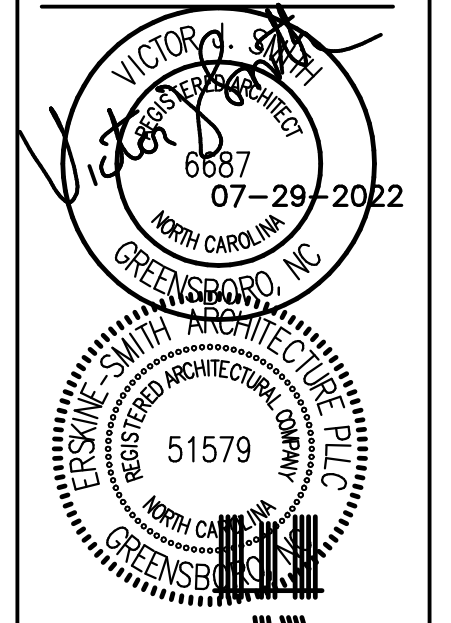


PARTIAL WEST ELEVATION
 1/8" = 1'-0"



PARTIAL EAST ELEVATION
 1/8" = 1'-0"

NOTE: SEE SHEET A-3 FOR ADDITIONAL NOTES AND DIMENSIONS



NEW STORAGE FACILITY FOR HARNETT SELF STORAGE
 SPOUT SPRINGS, NC

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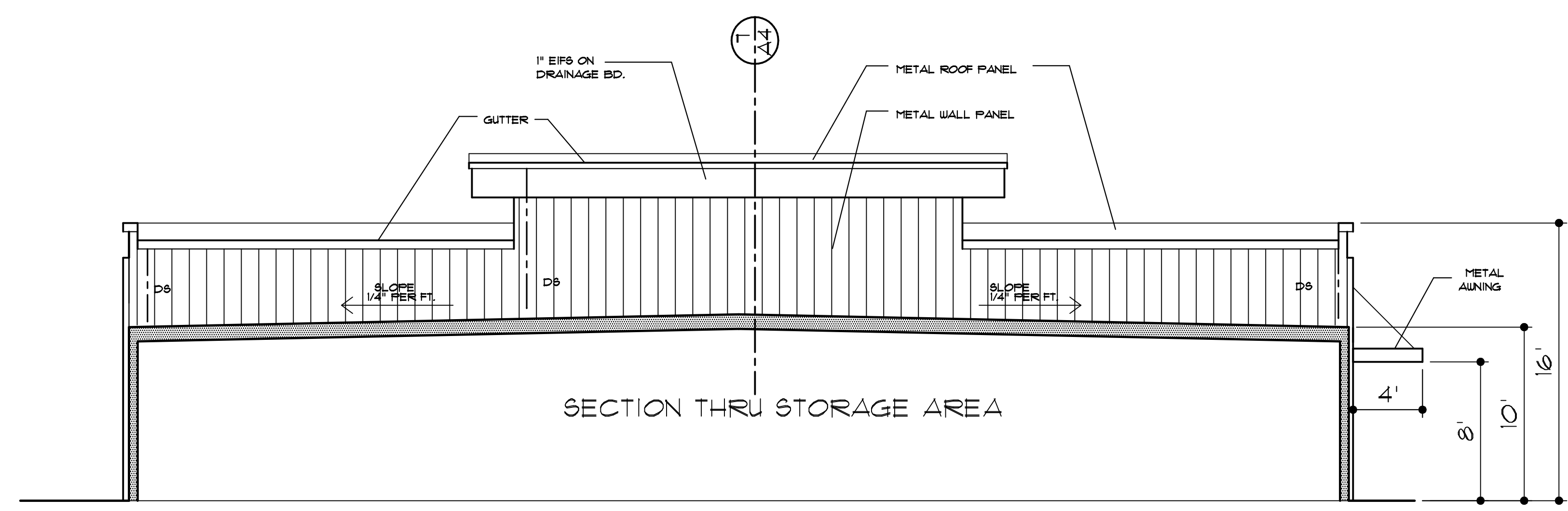
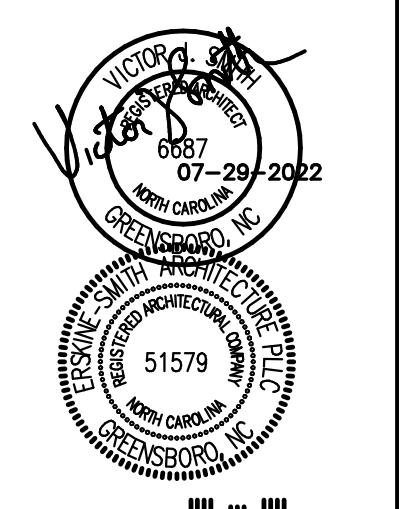
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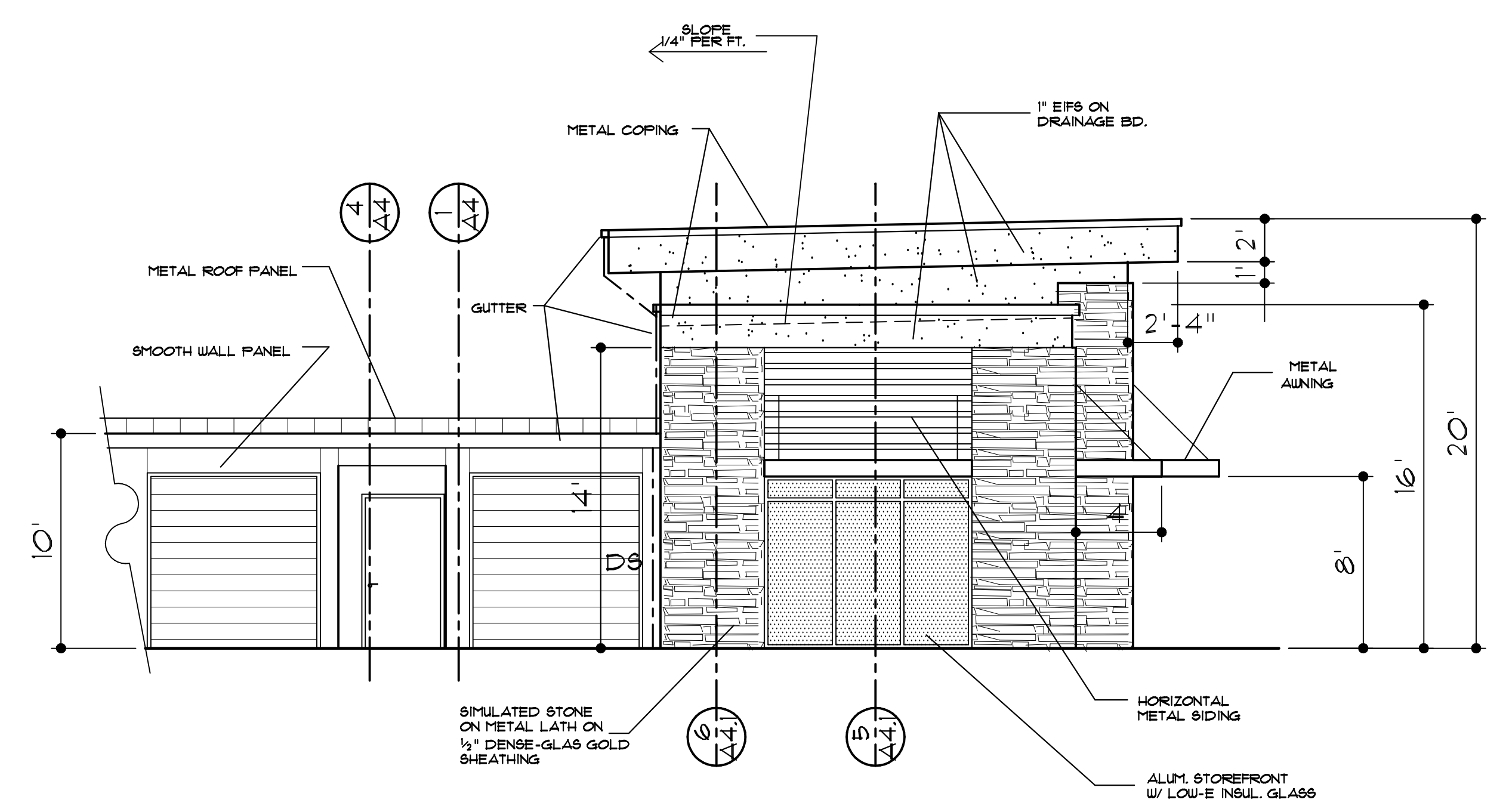
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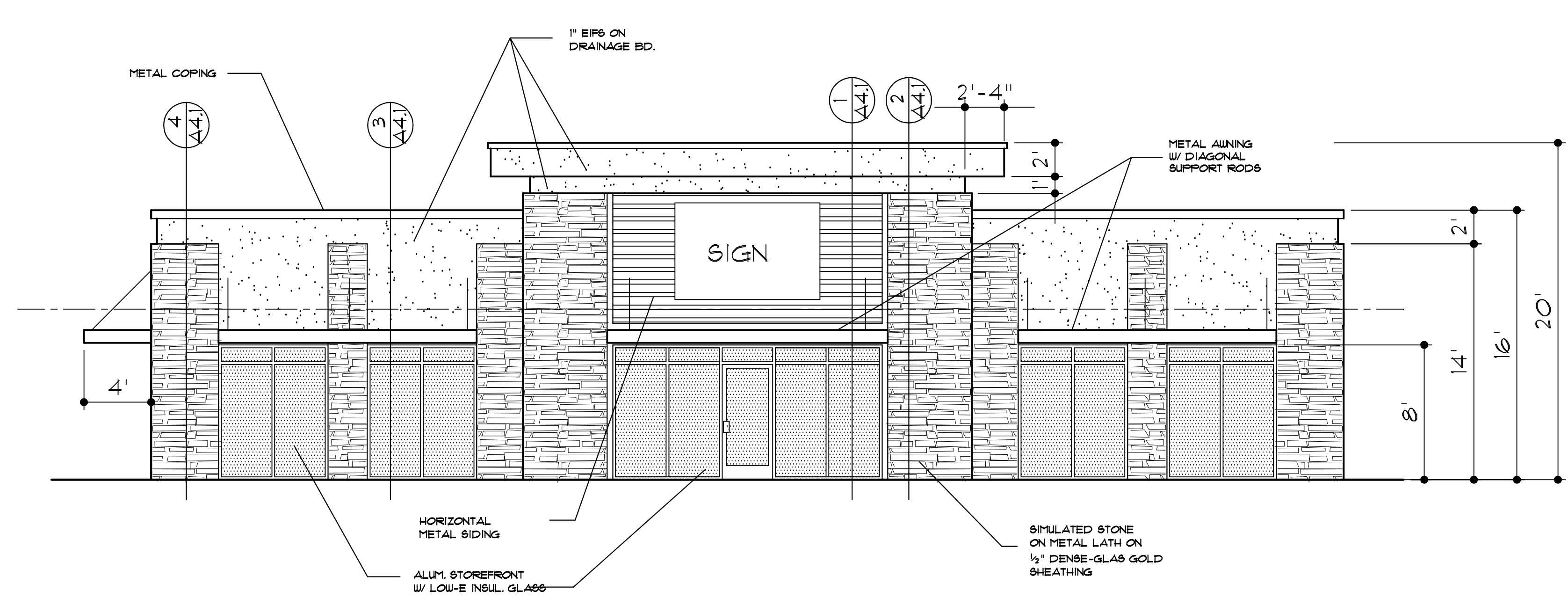
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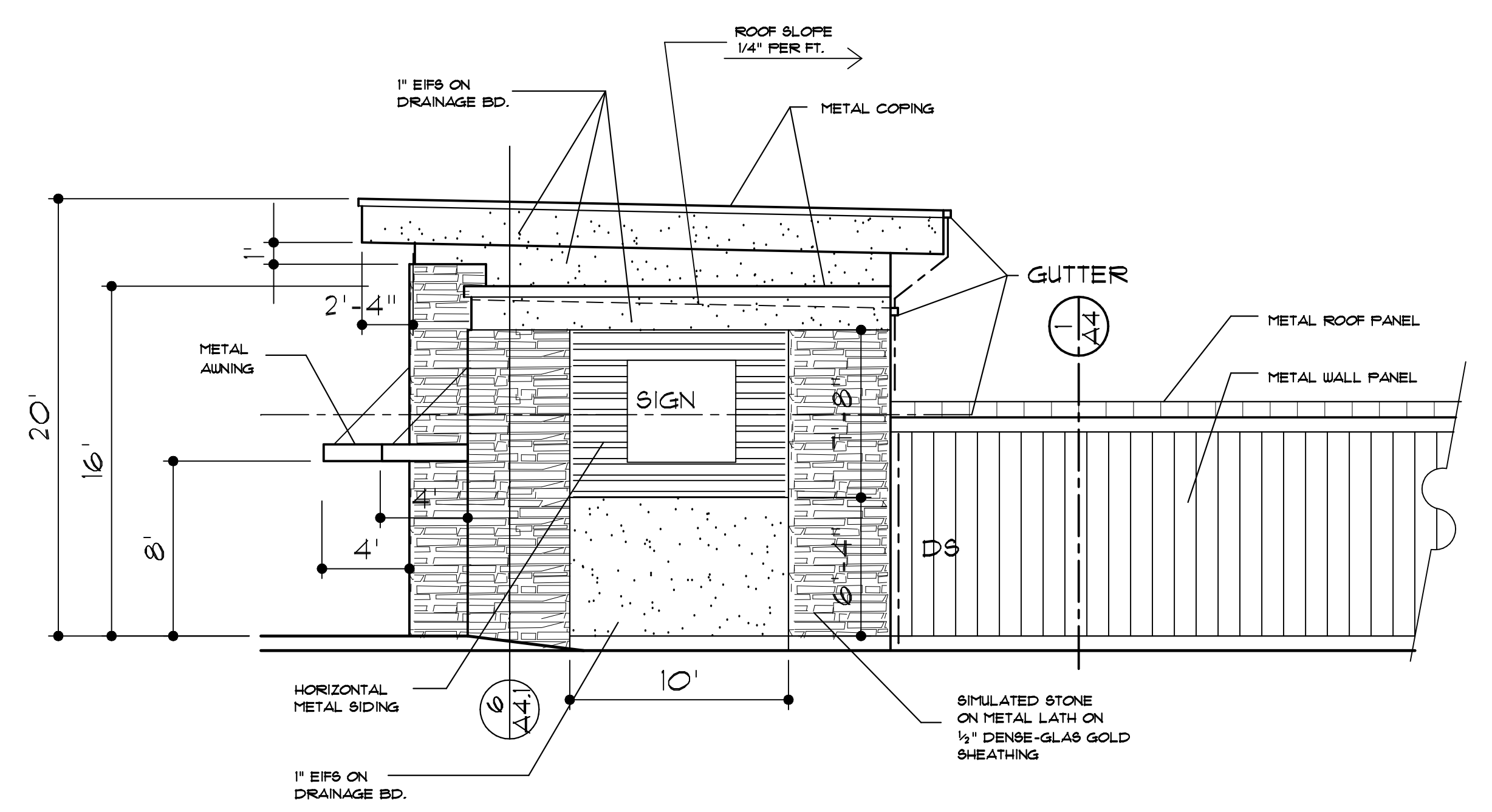
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

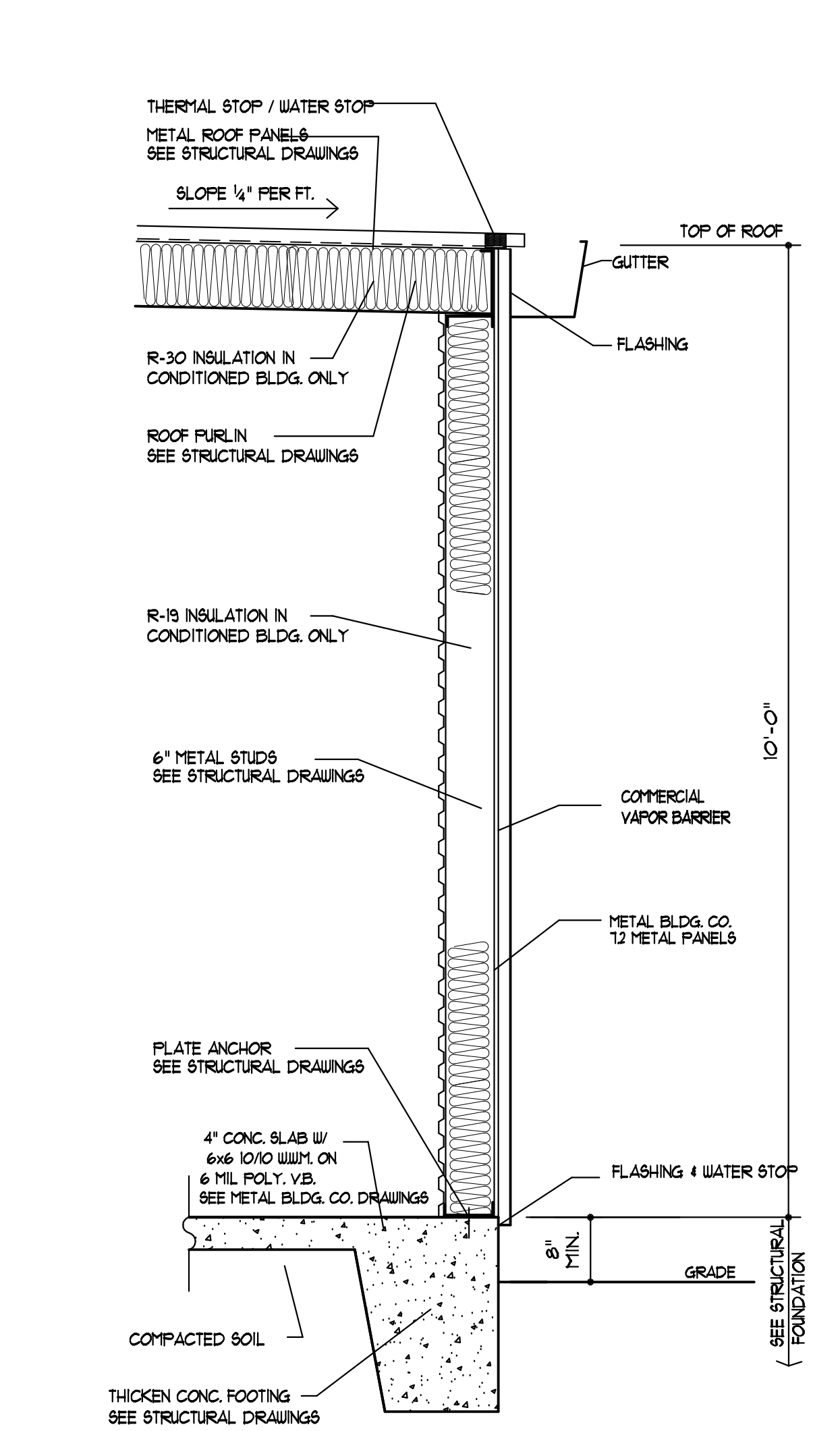
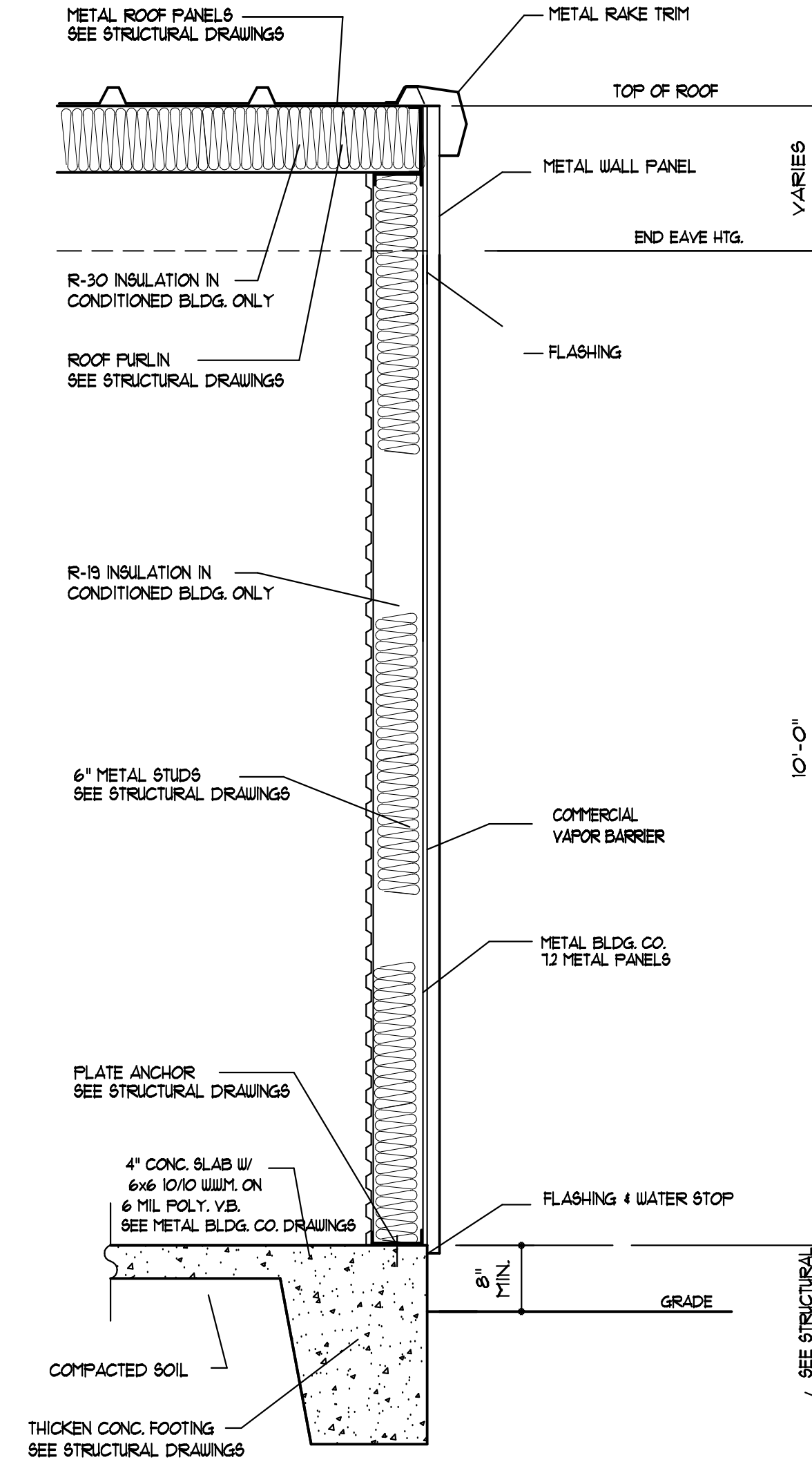
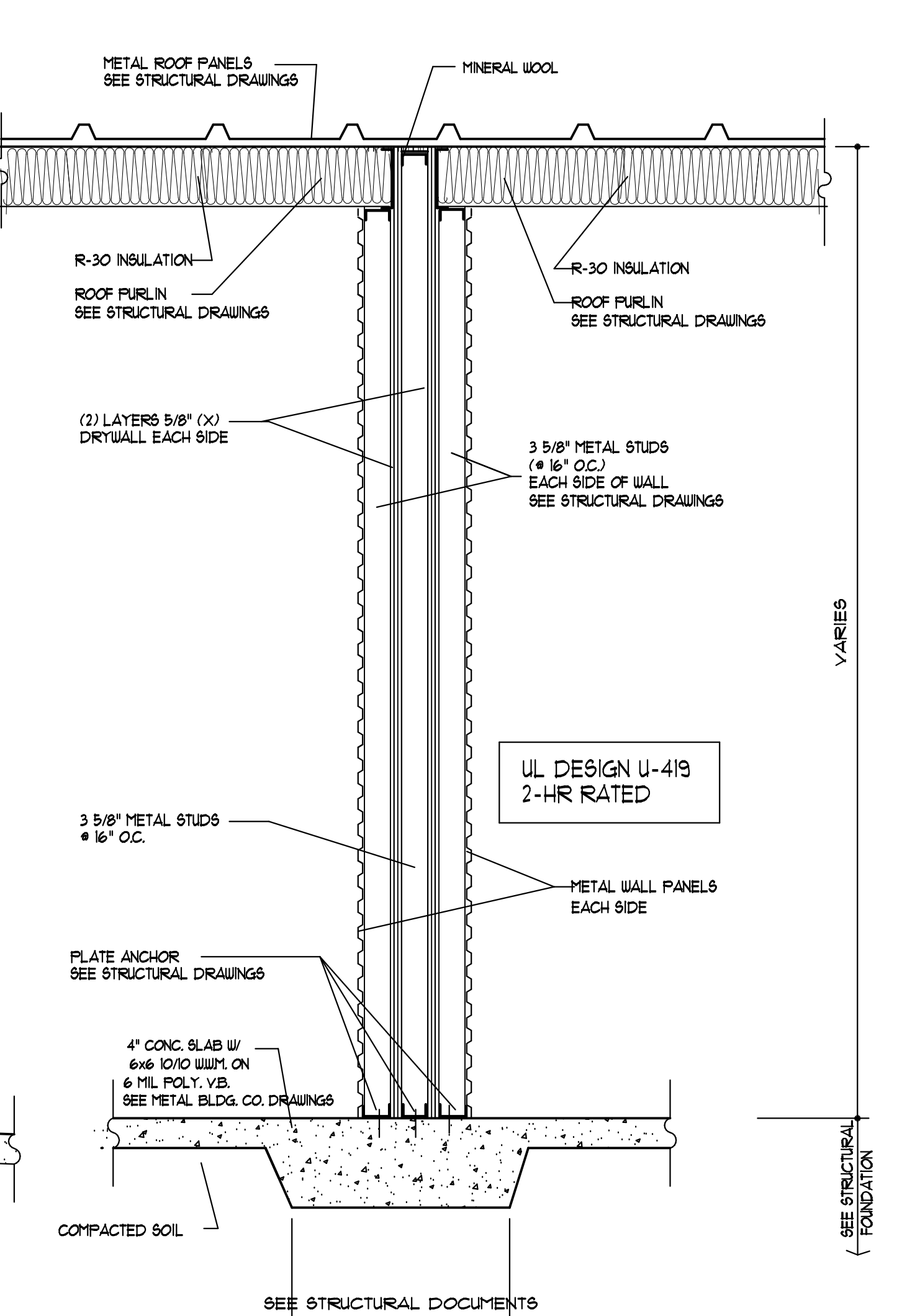
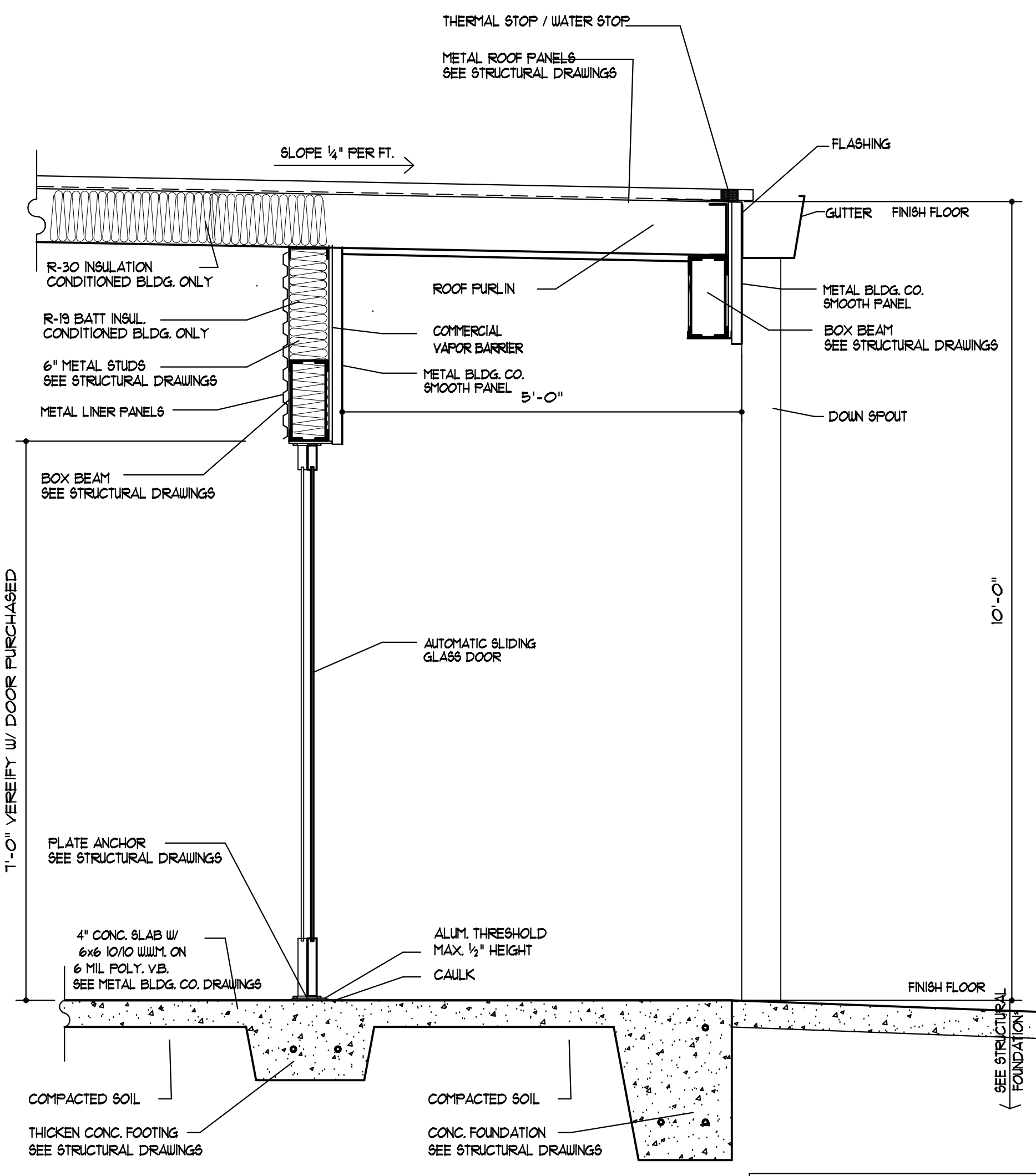
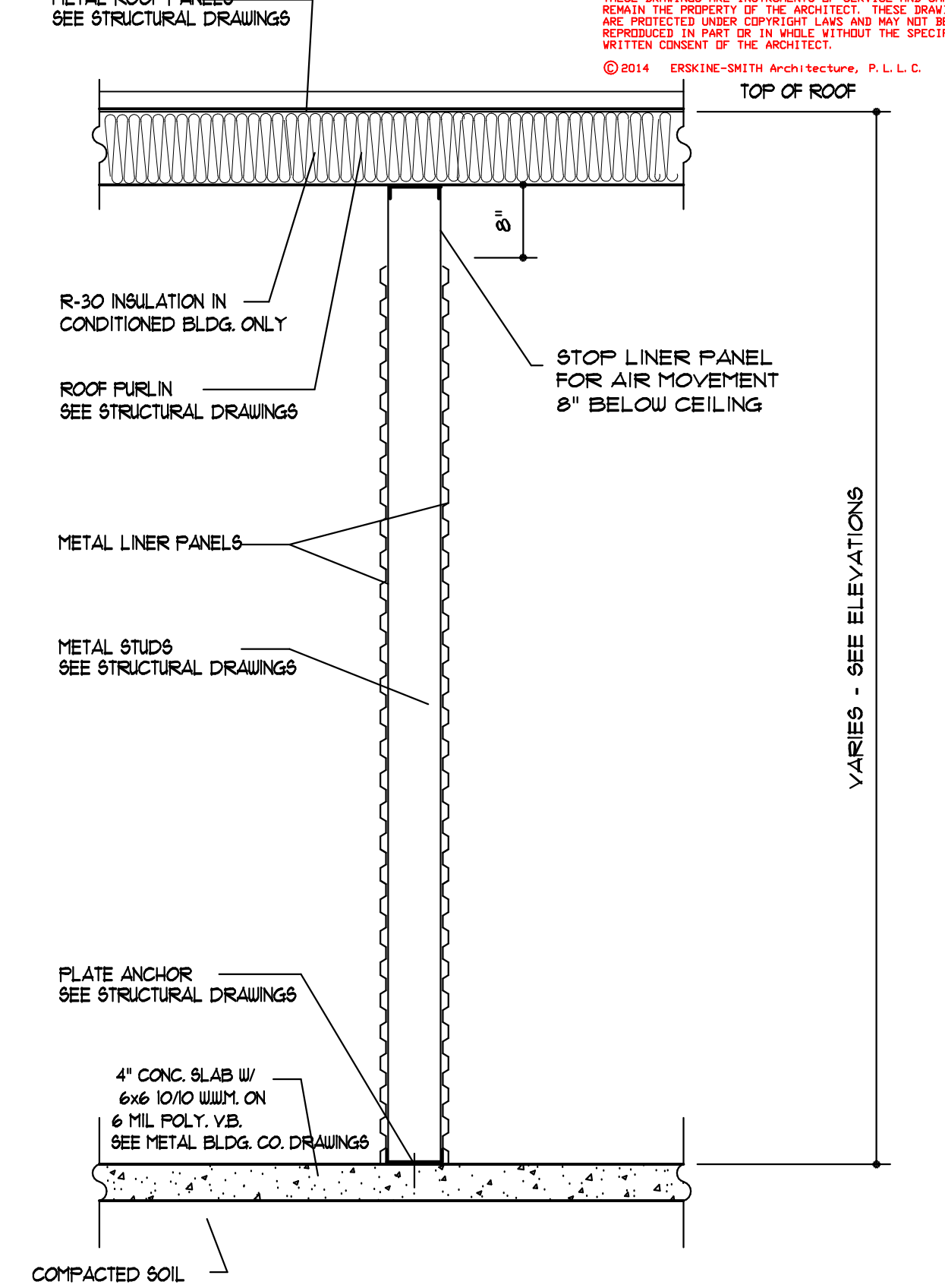
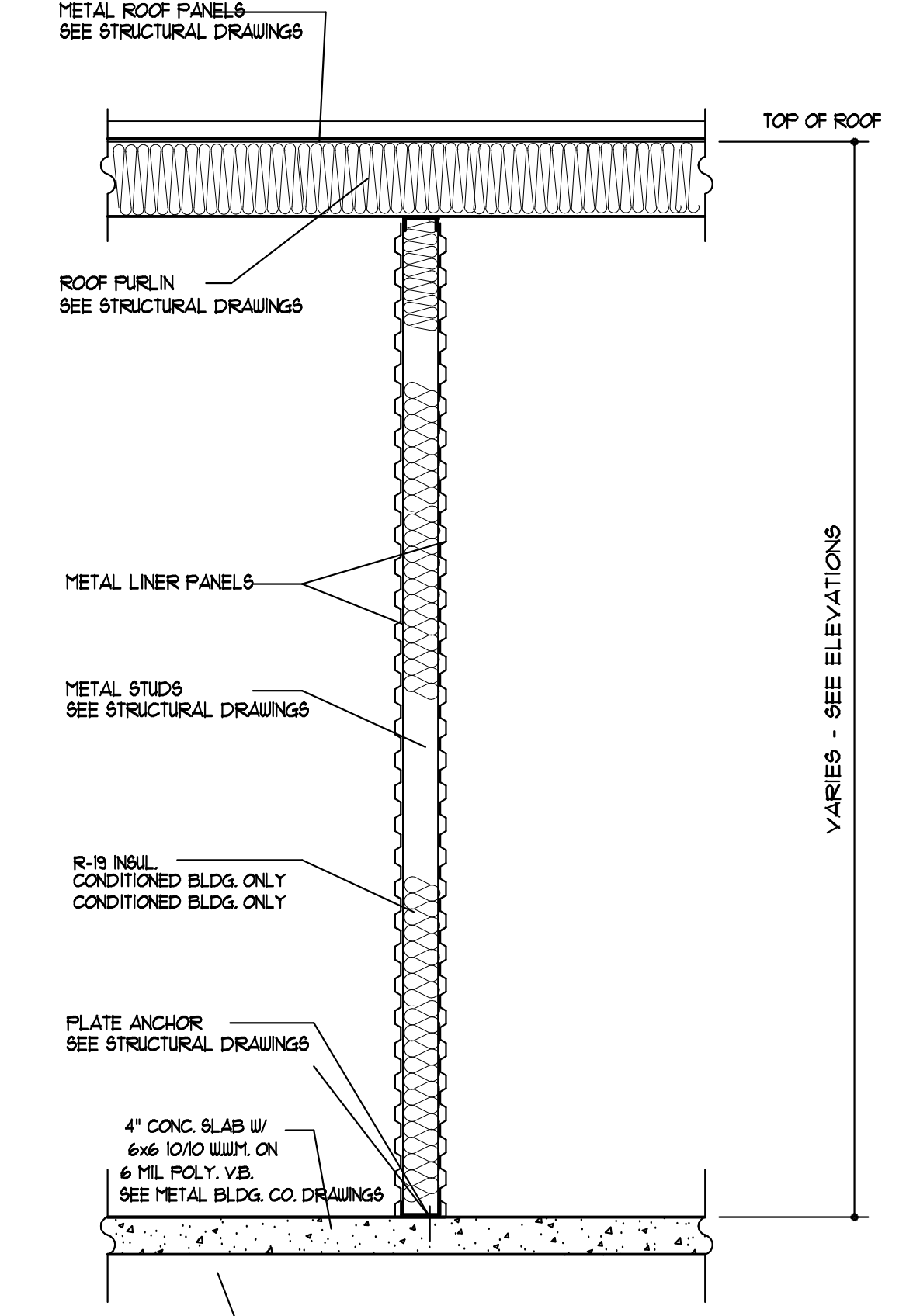
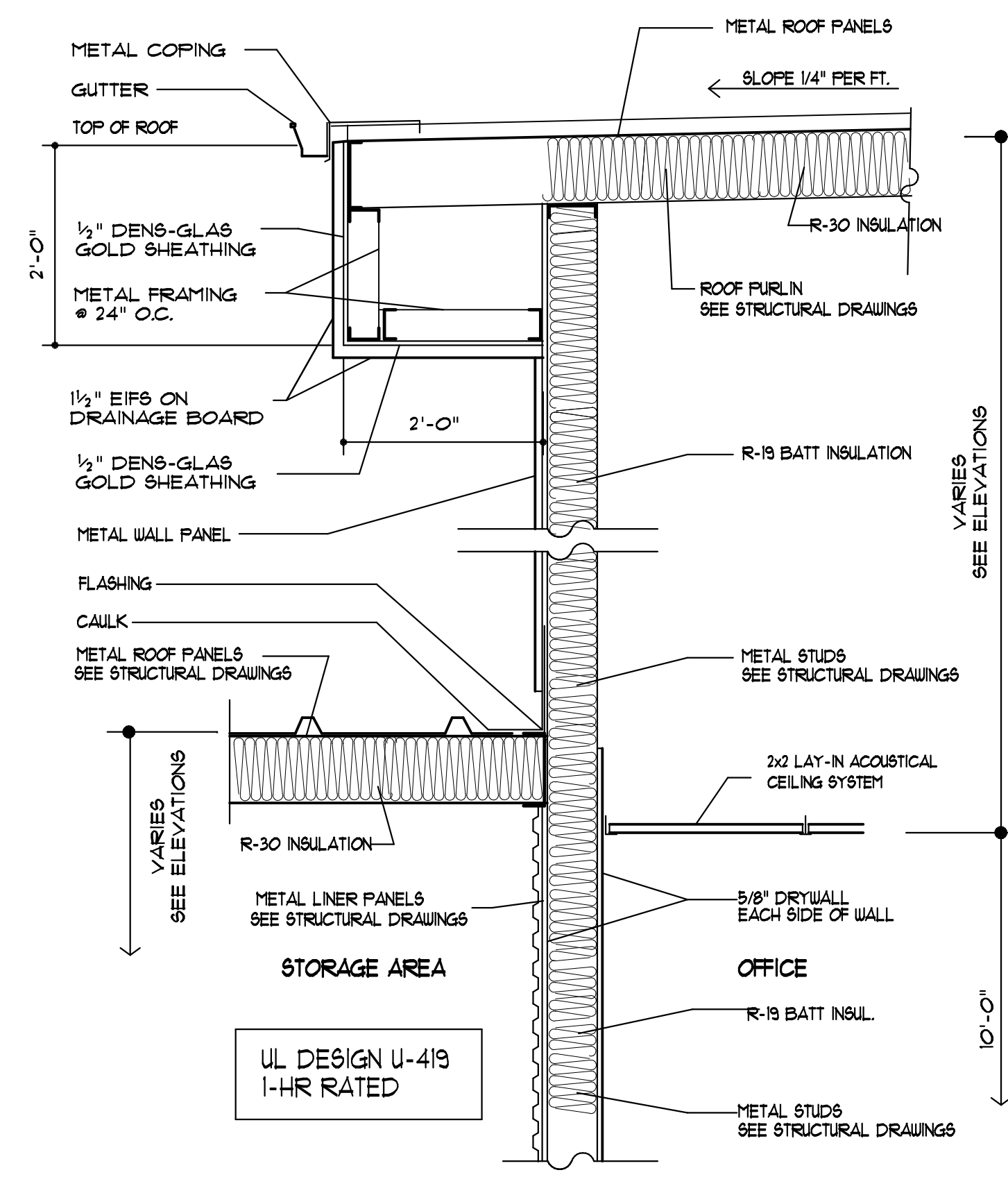
**NEW STORAGE FACILITY FOR
HARNETT SELF STORAGE**
SPOUT SPRINGS, NC

REVISIONS	BY

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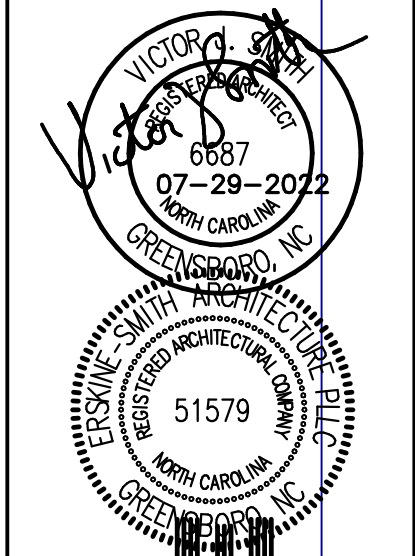
A-3



NOTE: STRUCTURAL ENGINEERS DESIGN & DETAILS SHALL OVERRIDE ARCHITECTURAL DETAILS

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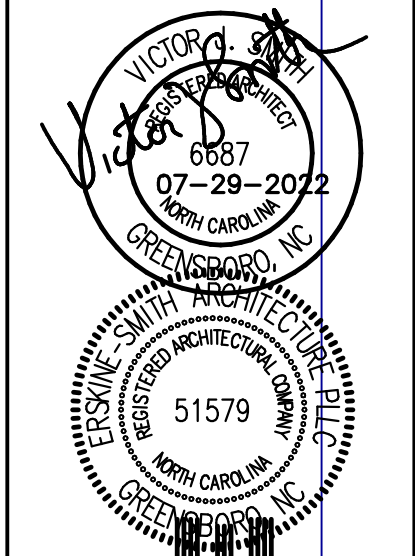
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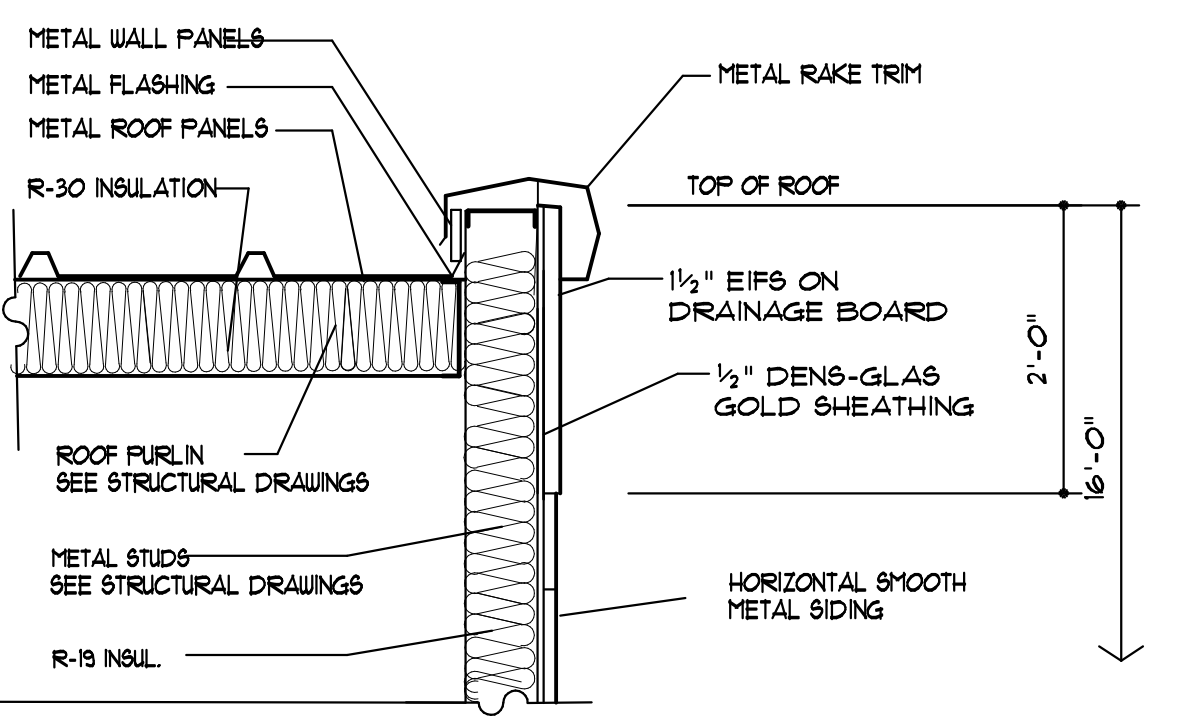
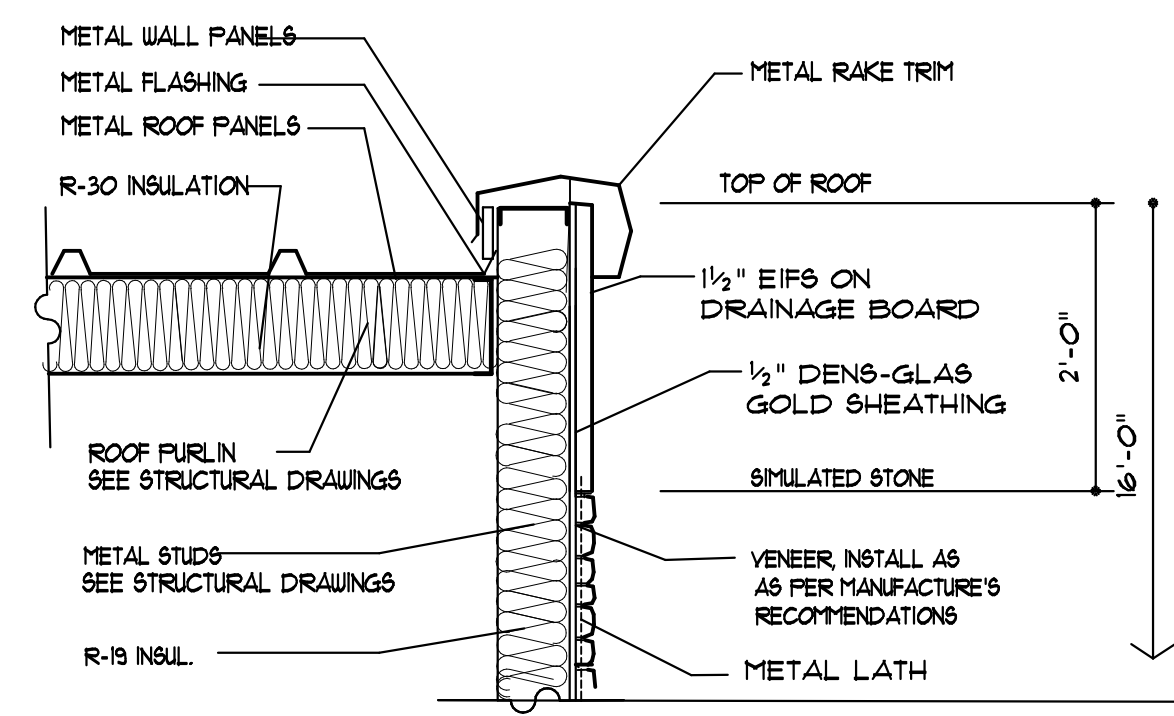
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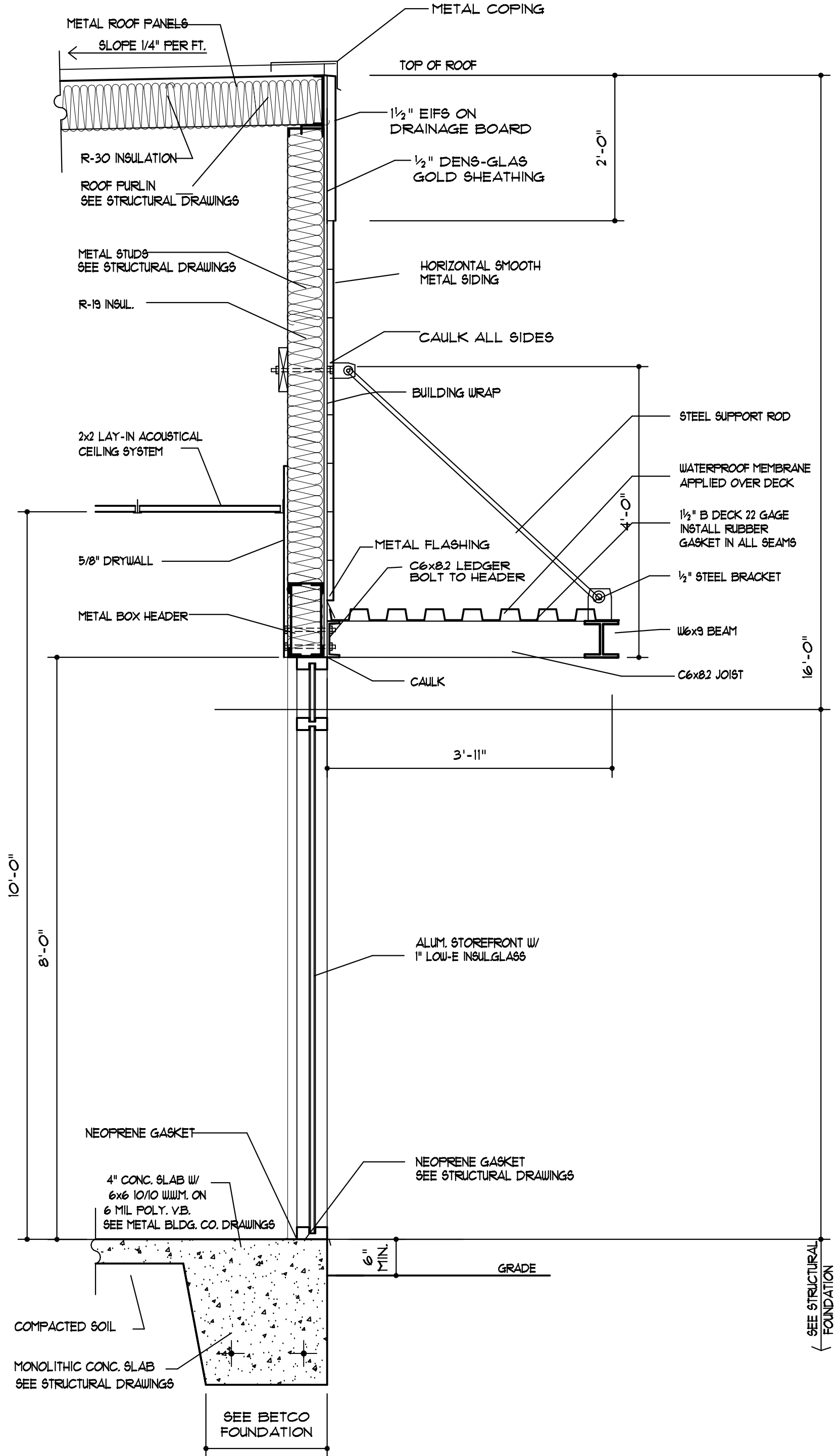
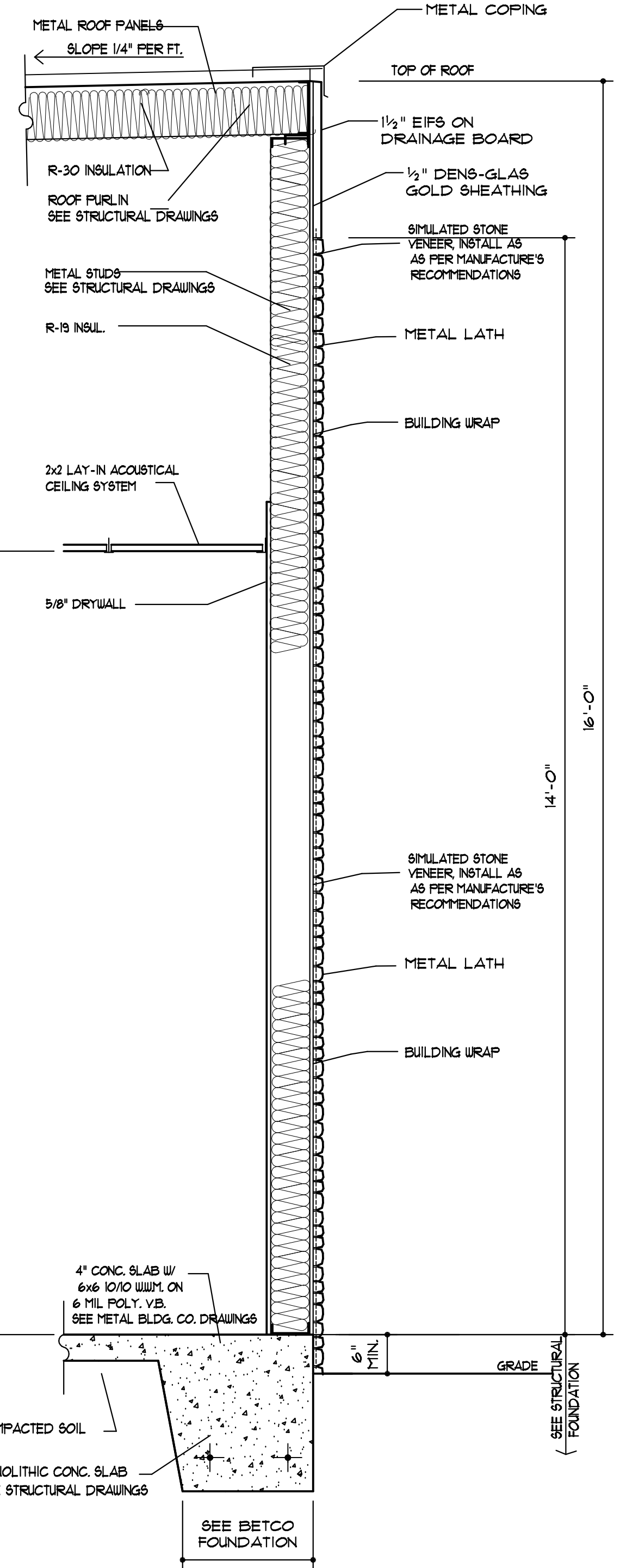
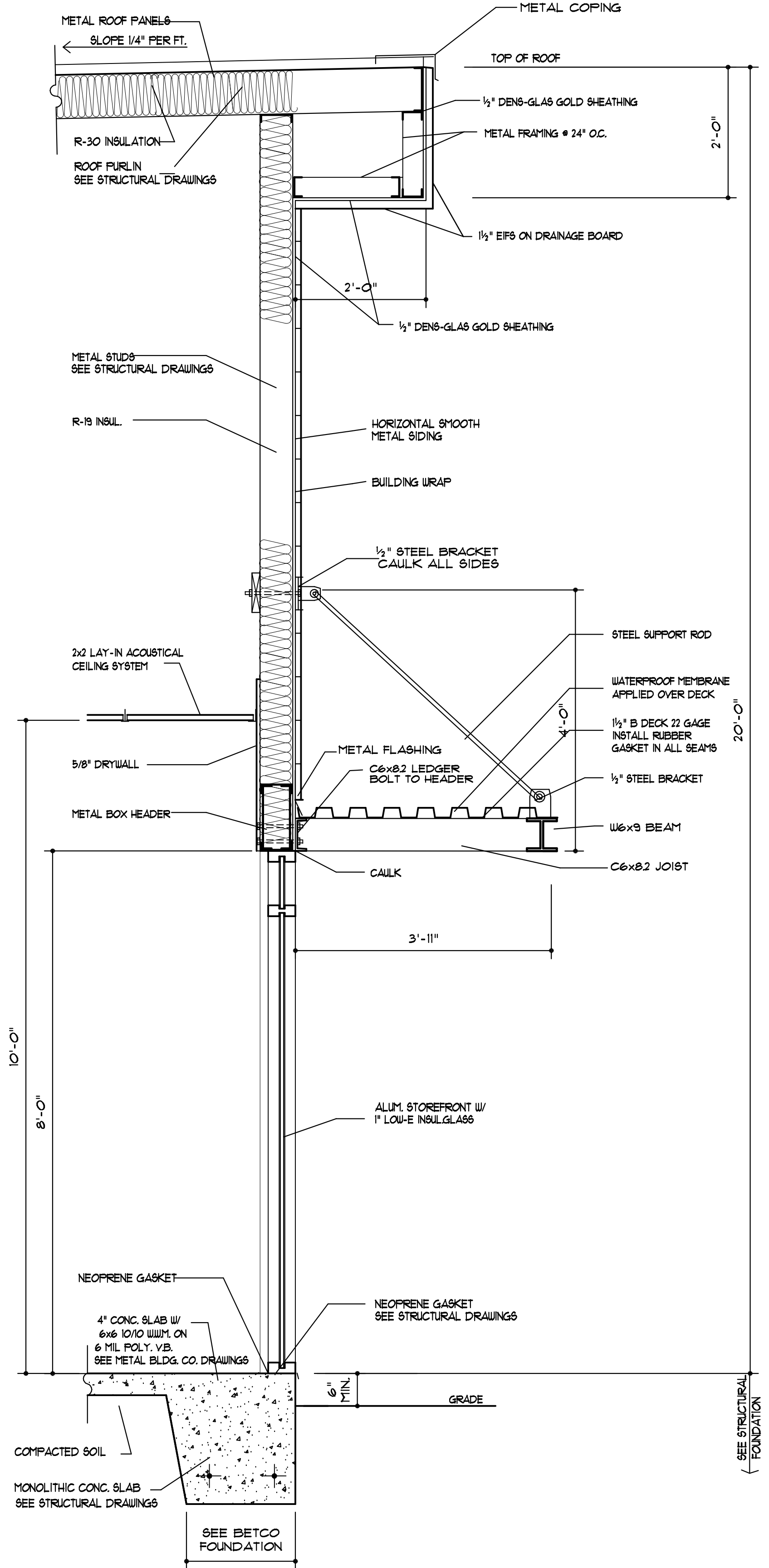
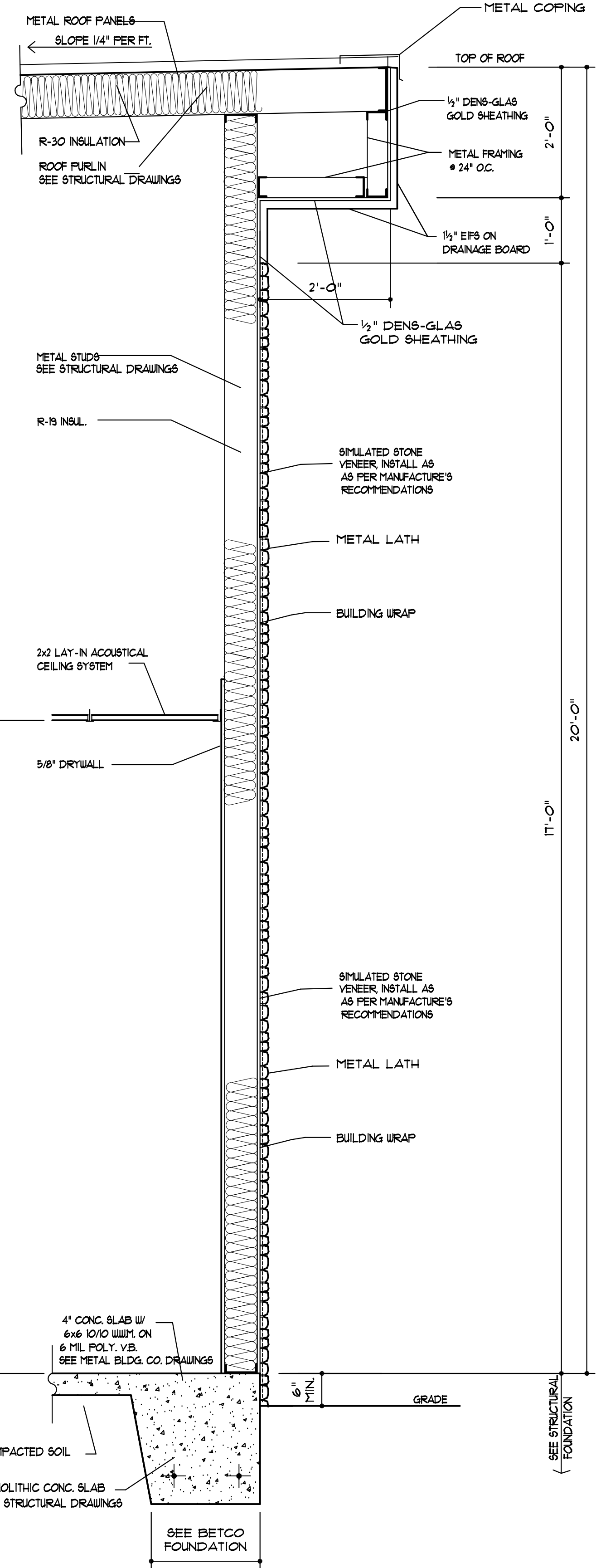


NEW STORAGE FACILITY FOR HARNETT SELF STORAGE
SPOUT SPRINGS, NC



6 TYP. EXTERIOR END WALL
A-4.1

5 TYP. EXTERIOR END WALL
A-4.1



4 TYP. EXTERIOR END WALL
A-4.1

3 TYP. EXTERIOR END WALL
A-4.1

2 TYP. EXTERIOR END WALL
A-4.1

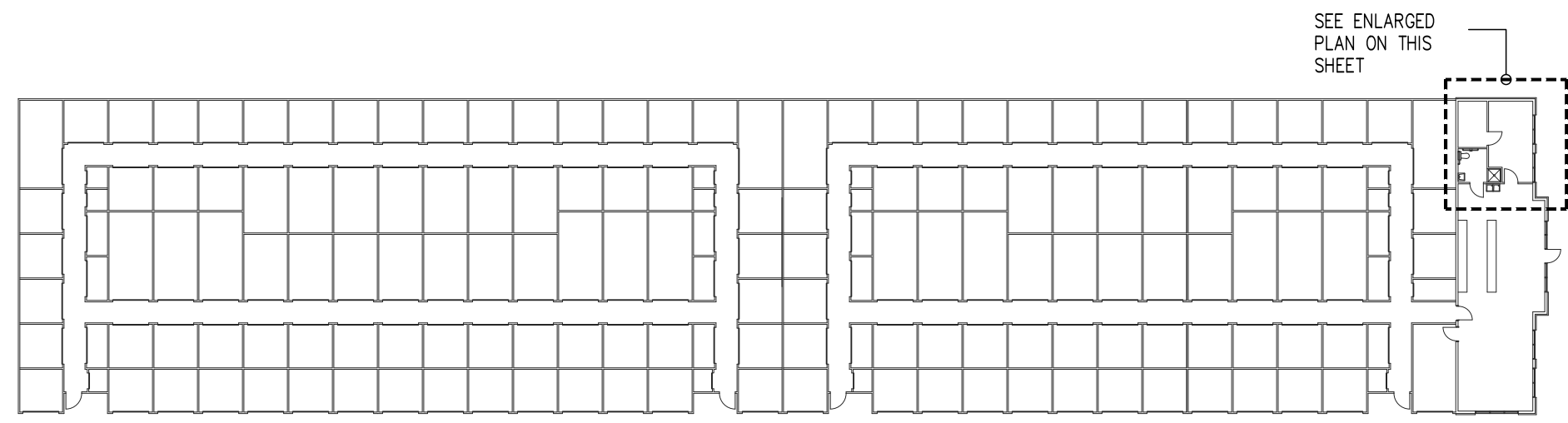
1 TYP. EXTERIOR END WALL
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REVISIONS	BY

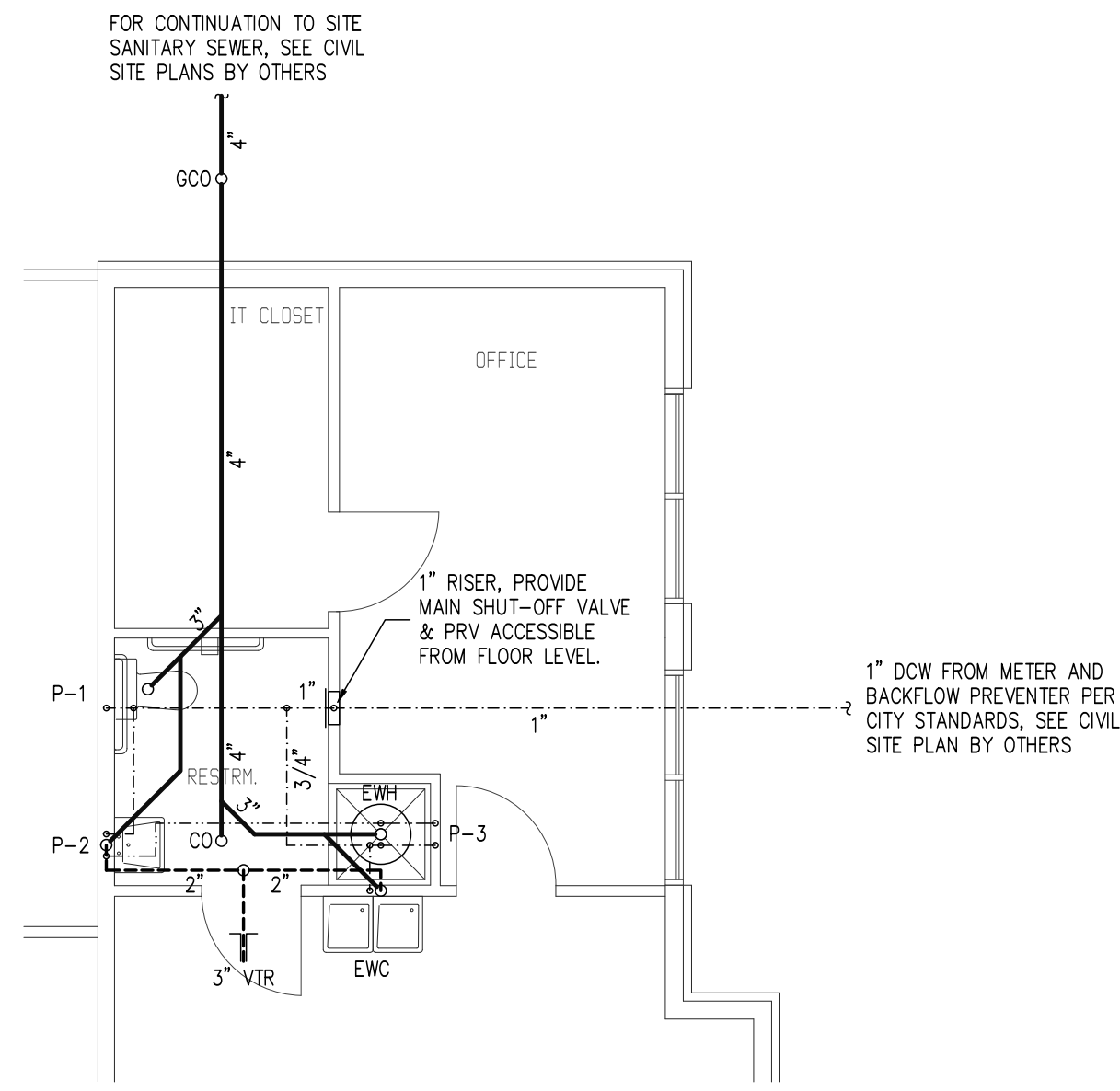
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KEY PLAN
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DWV RISER DIAGRAM
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PIPING SYMBOL LEGEND

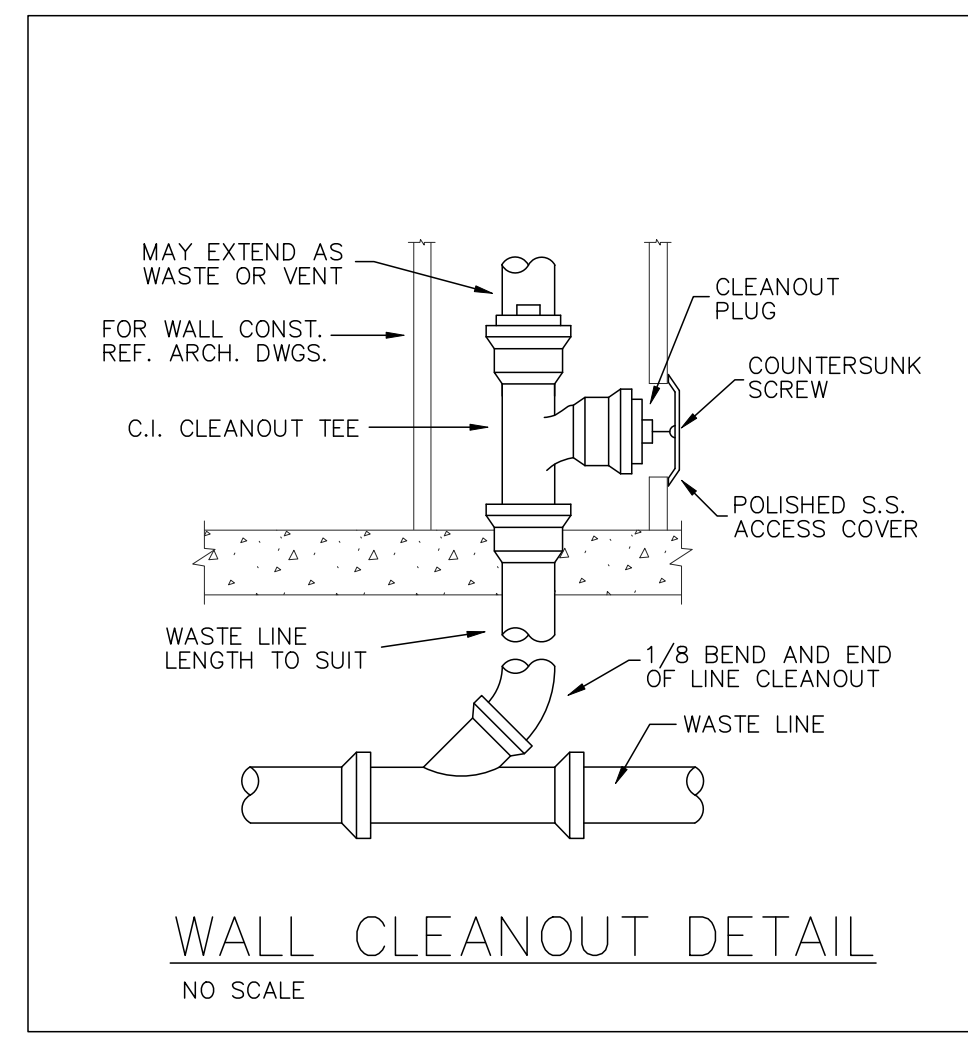
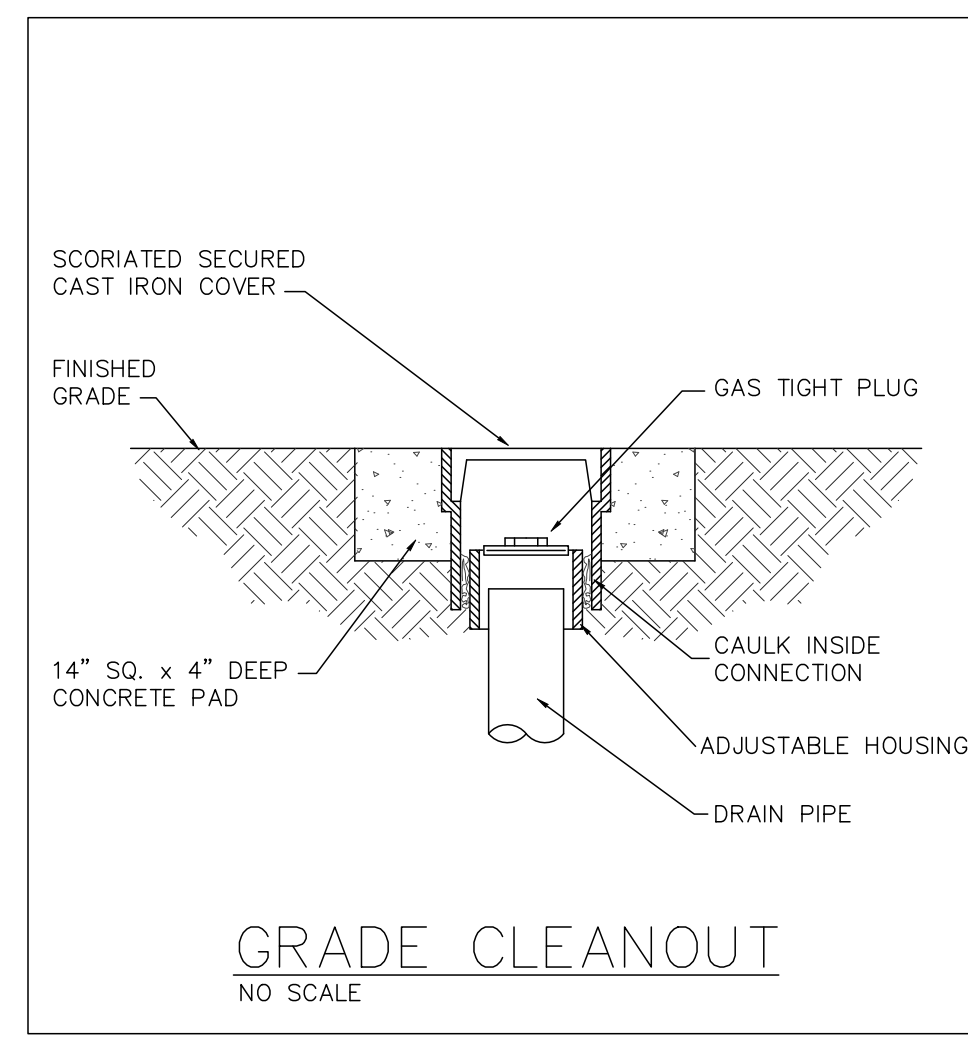
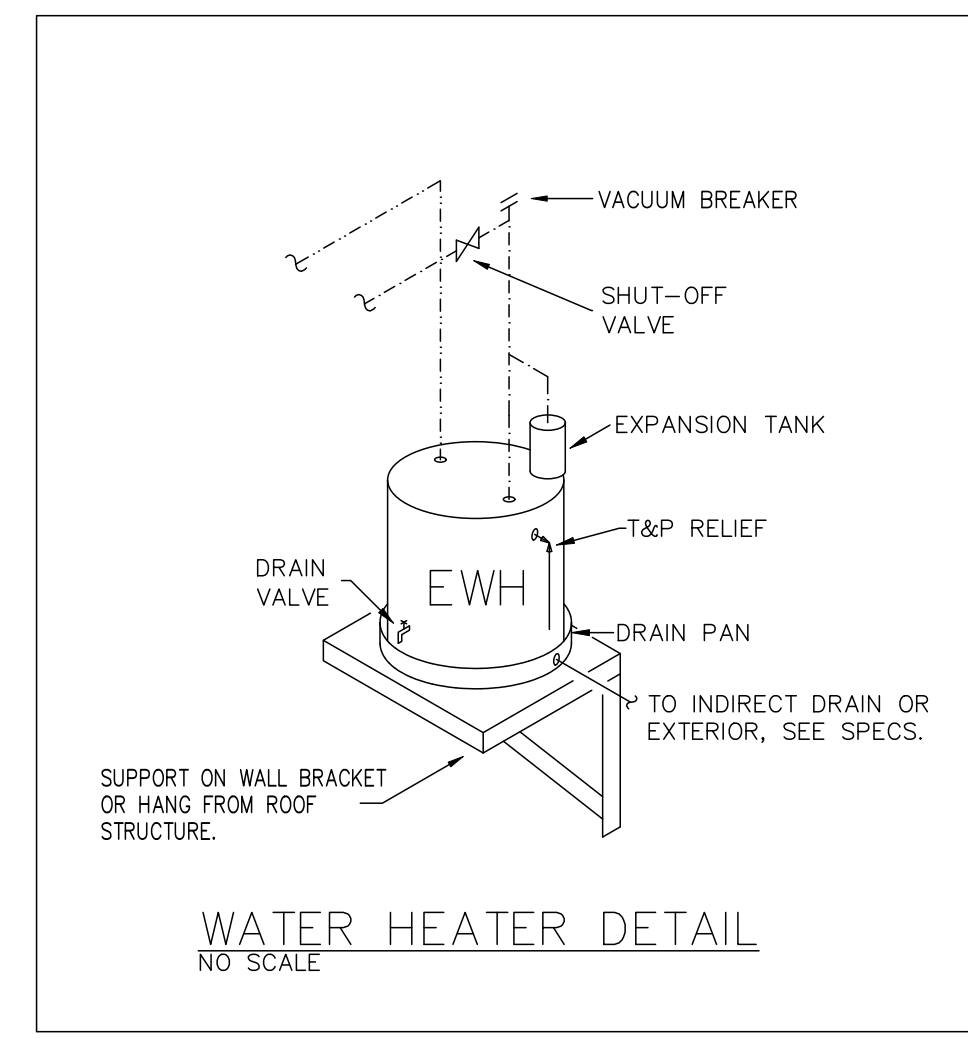
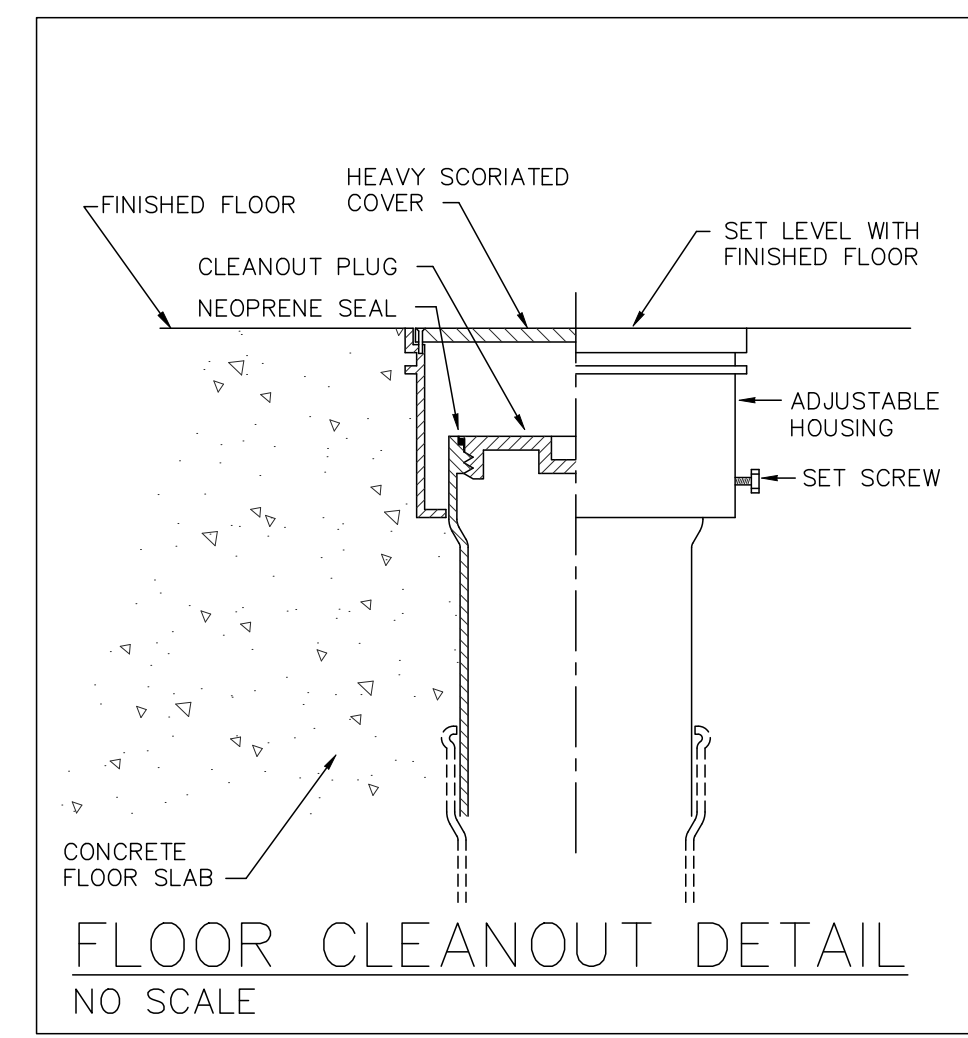
	SANITARY SOIL OR WASTE PIPING
	SANITARY BUILDING DRAIN
	ATMOSPHERIC VENT
	CLEAN-OUT
	COLD WATER
	HOT WATER (110°)
	NATURAL GAS
	HOSE BIB
	ANTI FREEZE HYDRANT
	PIPE TURNING UP/DOWN
	SHUTOFF VALVE (BALL TYPE)
	CHECK VALVE
	FIXTURE IDENTIFICATION
	CONNECT TO EXISTING

PLUMBING ABBREVIATION LEGEND

AAV	AIR ADMITTANCE VALVE, STUDOR OR EQUAL
ABV	ABOVE
AFH	ANTI-FREEZE HYDRANT
CLG	CEILING
CW	COLD WATER
CO	CLEAN-OUT
CV	CIRCUIT VENT
EC	ELECTRICAL CONTRACTOR
EW/C	ELECTRIC WATER COOLER
FD	FLOOR DRAIN
FS	FLOOR SINK
FW	FILTERED WATER
GCO	GRADE CLEAN OUT (AT FINISH GRADE IN CONC. PAD
GC	GENERAL CONTRACTOR
HB	HOSE BIBB
HW	HOT WATER
HWCP	HOT WATER CIRCULATION PUMP
MC	MECHANICAL CONTRACTOR
P-X	PLUMBING FIXTURE NO. "X", SEE FIXTURE SCHEDULE
RD	ROOF DRAIN
RDL	ROOF DRAIN LEADER
V	VENT
VTR	VENT THROUGH ROOF
W	WASTE
WCO	WALL CLEAN-OUT

PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	MINIMUM CONNECTIONS				REMARKS
		WASTE	VENT	CW	HW	
P-1	ACCESSIBLE (ADA) FLOOR MOUNT, FLUSH TANK WATERCLOSET	3"	2"	1/2"	NA	WHITE VITREOUS CHINA, ELONGATED BOWL, WHITE OPEN FRONT SEAT W/ SELF-SUSTAINING CHECK HINGES, 1.6 GPF SEAT HEIGHT PER N.C. ACCESSIBILITY CODE
P-2	ACCESSIBLE (ADA) WALL-HUNG LAVATORY	2"	2"	1/2"	1/2"	WHITE VITREOUS CHINA, SINGLE LEVER FAUCET, ASSE 1070 MIXING VALVE, C.P. GRID STRAINER & TAILPIECE W/ 1-1/2" P-TRAP W/ C.O., C.P. RIGID SUPPLIES W/ ANGLE STOP, ADA TRAP AND SUPPLY INSULATION KIT
P-3	MOP SINK	3" FD	2"	1/2"	1/2"	PRE-CAST RECEPTOR W/ FLOOR DRAIN ROUGH C.P. MIXING WALL FAUCET W/ VAC. BRKR., BUCKET HOOK, WALL BRACE, HOSE THREAD OUTLET, MOP RACK & WALL GUARDS.
EW/C	ACCESSIBLE (ADA) ELECTRIC WATER COOLER	2"	2"	1/2"	NA	DUAL HEIGHT BASINS WITH FLOOR CARRIER CHAIR, 120V 8-GPH, LEAD-FREE, CFC-FREE
EW/H	ELECTRIC WATER HEATER	NA	NA	3/4"	3/4"	20 GALLON STORAGE, 1500 WATT, 120V 1PH W/ T&P RELIEF, VACUUM BREAKER, EXPANSION TANK AND CATCH-PAN, BRADFORD-WHITE, STATE, A.O. SMITH OR EQUAL.

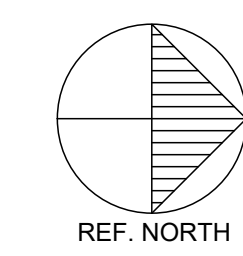


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COORDINATION: COORDINATE WITH THE WORK OF OTHER SECTIONS, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE. ANY WORK THAT IS INSTALLED BY THIS CONTRACTOR THAT RESULTS IN CONFLICT, DUE TO LACK OF COORDINATION BETWEEN TRADES, SHALL BE CHANGED AS DIRECTED BY THE ARCHITECT/ENGINEER WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.
DEFINITIONS
FURNISH MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. INSTALL MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. PROVIDE MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR INTENDED USE.
FIRESTOPPING IS A MATERIAL OR COMBINATION OF MATERIALS USED TO RETAIN INTEGRITY OF FIRE-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND HOT GASES THROUGH PENETRATIONS IN FIRE RATED WALL AND FLOOR ASSEMBLIES.
PROVIDE LABOR AND MATERIALS TO REPAIR OR REPLACE DEFECTIVE PARTS AND MATERIALS AS REQUIRED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION OR OWNER ACCEPTANCE OF THE COMPLETED PROJECT.
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VENTS:
PROVIDE A COMPLETE SYSTEM OF STANDARD WEIGHT CAST IRON NO-HUB VENT RISERS WHERE THE CEILING SPACE IS USED AS A RETURN AIR PLENUM OR USE DWV PLASTIC WHERE THERE IS A DUCTED RETURN AIR SYSTEM. DO NOT USE DWV PLASTIC IN RETURN AIR PLENUM SPACES.
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TEST WATER SYSTEM AND PROVE TIGHT UNDER A WATER PRESSURE OF NOT LESS THAN 100 PSI OR FOR PIPING SYSTEMS OTHER THAN PLASTIC, BY AN AIR TEST OF NOT LESS THAN 100 PSI. WATER SHALL BE OBTAINED FROM A POTABLE SOURCE OF SUPPLY. WHEN TESTING INDICATES MATERIALS OR WORKMANSHIP IS DEFICIENT, REPLACE OR REPAIR AS REQUIRED, AND REPEAT TEST UNTIL STANDARDS ARE ACHIEVED.
INSULATE ALL HOT WATER SUPPLY AND RETURN PIPING & CW PIPING OUTSIDE OF BUILDING INSULATION ENVELOPE (EXCEPT AT FIXTURE CONNECTIONS) WITH 1 INCH OF INSULATION HAVING A CONDUCTIVITY NOT EXCEEDING 0.28 BTU PER INCH/H*F.F. INSULATE COLD WATER PIPING WITH 1/2 INCH OF INSULATION TO PREVENT CONDENSATION. INSULATE ANY EXPOSED CONDENSATE PIPING WITH WASTE TEMPERATURE BELOW 60 DEGREES F.
SHUTOFF VALVES WITH UNIONS SHALL BE PROVIDED FOR SERVICE TO EACH PLUMBING FIXTURE TO FACILITATE ISOLATION FOR REPAIR OR REPLACEMENT. VALVES SHALL BE EQUAL TO JENKINS BALL VALVE, CHROME-FINISHED BRONZE, TEFLON SEATS AND PACKING, 400 LB. W.O.G., SOLDER END.
INSTALLATION
FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLING, CONNECTING, AND ADJUSTING ALL EQUIPMENT AND PLUMBING SYSTEM COMPONENTS.
THOROUGHLY CLEAN ITEMS BEFORE INSTALLATION. CAP PIPE OPENINGS TO EXCLUDE DIRT UNTIL FIXTURES ARE INSTALLED AND FINAL CONNECTIONS HAVE BEEN MADE. PROCEED AS RAPIDLY AS CONSTRUCTION WILL PERMIT. SET FIXTURES LEVEL AND IN PROPER ALIGNMENT. INSTALL SUPPLIES IN PROPER ALIGNMENT WITH FIXTURES. INSTALL SILICONE SEALANT BETWEEN FIXTURES AND ADJACENT MATERIAL, FOR SANITARY JOINT, AND OMIT ESCUTCHEONS.
ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.
ROOF PENETRATIONS SHALL COMPLY WITH "SMACNA" AND "NRCA" STANDARDS, AND WITH THE REQUIREMENTS OF THE ROOFING WARRANTY, IF APPLICABLE. DO NOT PERFORM ROOFING PENETRATIONS IN A MANNER WHICH WOULD VOID OR OTHERWISE LIMIT THE ROOFING WARRANTY.

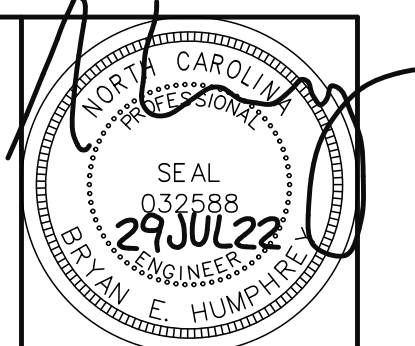
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THOROUGHLY CLEAN ITEMS BEFORE INSTALLATION. CAP PIPE OPENINGS TO EXCLUDE DIRT UNTIL FIXTURES ARE INSTALLED AND FINAL CONNECTIONS HAVE BEEN MADE. PROCEED AS RAPIDLY AS CONSTRUCTION WILL PERMIT. SET FIXTURES LEVEL AND IN PROPER ALIGNMENT. INSTALL SUPPLIES IN PROPER ALIGNMENT WITH FIXTURES. INSTALL SILICONE SEALANT BETWEEN FIXTURES AND ADJACENT MATERIAL, FOR SANITARY JOINT, AND OMIT ESCUTCHEONS.
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HOOK-UP CHARGES, PERMITS, LOCAL FEES AND ALL OTHER EXPENSES RELATED TO A COMPLETE AND FUNCTIONING PLUMBING SYSTEM SHALL BE INCLUDED IN THE CONTRACTORS BID. THE CONTRACTOR SHALL COOPERATE FULLY WITH LOCAL COMPANIES WITH RESPECT TO THEIR SERVICES.
THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATIONS & TYPES OF FIXTURES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. REFER TO MANUFACTURER'S STANDARD ROUGH-IN DRAWINGS FOR PLUMBING FIXTURE INSTALLATION REQUIREMENTS. COMPLY WITH ALL APPLICABLE ADA INSTALLATION REQUIREMENTS.
COORDINATION: COORDINATE WITH THE WORK OF OTHER SECTIONS, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE. ANY WORK THAT IS INSTALLED BY THIS CONTRACTOR THAT RESULTS IN CONFLICT, DUE TO LACK OF COORDINATION BETWEEN TRADES, SHALL BE CHANGED AS DIRECTED BY THE ARCHITECT/ENGINEER WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.
DEFINITIONS
FURNISH MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. INSTALL MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. PROVIDE MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR INTENDED USE.
FIRESTOPPING IS A MATERIAL OR COMBINATION OF MATERIALS USED TO RETAIN INTEGRITY OF FIRE-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND HOT GASES THROUGH PENETRATIONS IN FIRE RATED WALL AND FLOOR ASSEMBLIES.
PROVIDE LABOR AND MATERIALS TO REPAIR OR REPLACE DEFECTIVE PARTS AND MATERIALS AS REQUIRED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION OR OWNER ACCEPTANCE OF THE COMPLETED PROJECT.
PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.
PIPING SYSTEMS
GENERAL:
MATERIALS PENETRATING FIRE RATED CONSTRUCTION SHALL BE PROVIDED AS LISTED IN AN APPROVED U.L. TESTED FIRESTOP SYSTEM.
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PROVIDE ALL DRAINS AND SEWERS WITHIN THE SPACE WITH CONNECTION TO THE EXISTING DRAINAGE SYSTEMS ON-SITE. SANITARY DRAINAGE PIPING ABOVE FLOOR SHALL BE HUBLESS CAST-IRON PIPE, FITTINGS AND CONNECTIONS OR DWV PVC PLASTIC SCHEDULE 40 PIPING WITH SOLVENT WELD FITTINGS. SANITARY DRAINAGE PIPING BELOW GRADE SHALL BE SERVICE-WEIGHT HUB AND SPIGOT TYPE CAST-IRON WITH NEOPRENE GASKET JOINTS OR DWV PVC PLASTIC SCHEDULE 40 PIPING WITH SOLVENT WELD FITTINGS.
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PLUMBING PLAN
SCALE: 3/16" = 1'-0"



REVISIONS

NO.	DESCRIPTION

EUBANKS
ENGINEERING
HUMPHREY
P.C.
102 Parkley St., Suite 200
Greensboro, NC 27401
Phone 336.379.0663
Fax 336.379.0663

FIRM LICENSE: C-2272

BUILDING SYSTEMS PLANS FOR:
HARNETT SELF STORAGE
SPOUT SPRINGS, NC

JOB NO.	2278
ORIGINAL ISSUE DATE	

HVAC ABBREVIATIONS

ABV	ABOVE
AD	DUCT ACCESS DOOR
BDD	BACK-DRAFT-DAMPER
CD	CEILING DIFFUSER
CFM	CUBIC FEET/MINUTE
COMP	COMPRESSOR
DMPR	DAMPER
EC	ELECTRICAL CONTRACTOR
ECR	ECCGRATE RETURN GRILLE
ED	EXHAUST DUCT
EF	EXHAUST FAN
EG	EXHAUST GRILLE
ER	EXHAUST REGISTER
EVAP	EVAPORATOR
FRAG	FILTERED RETURN AIR GRILLE
FD	FIRE DAMPER, PER ASSEMBLY RATING
FOB	FLAT ON BOTTOM DUCT TRANSITION
FOT	FLAT ON TOP DUCT TRANSITION
GC	GENERAL CONTRACTOR
GD	GREASE EXHAUST DUCT
KES	KITCHEN EQUIPMENT SUPPLIER
MUAI	MAKE-UP AIR INTAKE
MUAD	MAKE-UP AIR DUCT
MUAF	MAKE-UP AIR FAN
OAI	OUTSIDE-AIR-INTAKE
OAD	OUTSIDE AIR DUCT
PC	PLUMBING CONTRACTOR
PDD	PERFORATED FACE DIRECTIONAL DIFFUSER
RAD	RETURN-AIR DUCT
RAG	RETURN AIR GRILLE
RAR	RETURN AIR REGISTER
RCD	ROUND CEILING DIFFUSER
RDR	ROUND DUCT REGISTER
RH	RADIANT HEATER
RTS	ROUND TO SQUARE DUCT TRANSITION
RTU	ROOFTOP HVAC UNIT
SAD	SUPPLY AIR DUCT
SAF	SUPPLY AIR FAN
SR	SUPPLY REGISTER
SG	SUPPLY GRILLE
STR	SQUARE TO ROUND DUCT TRANSITION
TG	TRANSFER GRILLE, EQUAL TO RAG
TSTAT	THERMOSTAT
UCD	UNDER-CUT DOOR 1"
VAYCD	VARIABLE VOLUME CEILING DIFFUSER

HVAC PLAN SYMBOLS

	RECTANGULAR & ROUND DUCTWORK ABOVE CEILING, NET INTERNAL SIZE AS INDICATED GALVANIZED STEEL SHEET CONSTRUCTED TO SMACNA LOW PRESSURE STANDARD, INSULATED.
	CEILING DIFFUSER (CD), 24X24 LAY-IN SQUARE CONE DIFFUSER, PROVIDE VOLUME DAMPER AT DUCT TAKEOFF FOR BALANCING, NECK SIZE AS INDICATED.
	RETURN AIR GRILLE (RAG), 24X24 LAY-IN PERFORATED FACE, PROVIDE VOLUME DAMPER AT NECK CONNECTION OR DUCT TAKE-OFF FOR BALANCING, NECK SIZE AS INDICATED.
	RETURN AIR REGISTER (RAR) WITH INTEGRAL DAMPER, SIZE AS INDICATED.
	EXHAUST FAN, CFM AS INDICATED.
	COMBO EXHAUST FAN & LIGHT, CFM AS INDICATED, CF LAMP OPTION.
	VOLUME DAMPER TAKE-OFF, USE TO ROUGH BALANCE AIR SYSTEM, THEN FASTEN DAMPERS SECURELY IN PLACE.
	VOLUME DAMPER W/ 45° TAKE-OFF, USE TO ROUGH BALANCE AIR SYSTEM, THEN FASTEN DAMPERS SECURELY IN PLACE.
	PROGRAMMABLE ELECTRONIC THERMOSTAT +45° AFF TO TOP

NOTE: THIS PROJECT MAY NOT USE EVERY SYMBOL OR DEVICE APPEARING ON THIS LEGEND.

MITSUBISHI ELECTRIC TRANE HVAC US: CITY MULTI VRF OUTDOOR UNIT SCHEDULE

System Tag		System 1
Tag Reference		HP
Nominal Data	M-NET Address	51
	Model Number	PUMY-P48NKMU3-B5
	Modules	P48
	Nominal Cooling Capacity (BTU/h)	48,000.0
	Nominal Heating Capacity (BTU/h)	54,000.0
	Cooling Efficiency IEER/IEER (SEER)	0 / 12.2 [19.55]
Heating COP @ 47°F [HSPF]	4.08 [11.5]	
Design Conditions	Nom System Connected Capacity (% of NOM)	100.0%
	Design Cooling Outdoor Temp DB (°F)	95.0
	Design Heating Outdoor Temp WB (°F)	43.0
	Max Pipe Length from BC or 1st Joint (feet)	33.9
Performance Data	Refrig Pipe Dim High/Low Pressure (inch) (See Note 4)	3/8 / 5/8
	Corrected Cooling Total Capacity (BTU/h)	46,222.2
	Corrected Heating Capacity (BTU/h)	50,748.9
Compressor Data	Sound Pressure (dBA)	51/54
	Compressor Type	SCROLL
Electrical Data	Compressor Quantity	1
	Preliminary Added Field Charge (See Note 5)	8.7
	Voltage / Phase	208/230V / 1-phase
Notes / Options	MCA 208/230 or [480V]	29
	Recommended Fuse Size (RFS)	30
	MOCP	44
Applicable System Notes - See Notes Below		1, 2, 3, 4, 5, 6, 7, 8, 9

Notes & Options:

- Nominal cooling capacities are based on indoor coil EAT of 80/67°F (DB/WB), outdoor of 95°F (DB)
- Nominal heating capacities are based on indoor coil EAT of 70°F (DB), outdoor of 43°F (WB)
- Efficiency values for IEER, IEER, COP are based on AHRI 1230 test method for mixture of ducted & non-ducted indoor units.
- For systems with multiple modules, refrigerant pipe dimensions indicate total system combined piping downstream of module twinning.
- Added field charge listed is in addition to factory charge, this must be updated based upon final as-built piping layout.
- Factory representatives shall review the project prior to and throughout the installation of CITY MULTI equipment.
- Factory representatives shall startup and commission CITY MULTI equipment upon completion of equipment installations.
- Factory representatives shall provide on-site assistance for the BMS integration of the CITY MULTI equipment.
- Factory representatives shall provide end-user training on the CITY MULTI equipment upon completion of the installation of equipment.

MITSUBISHI ELECTRIC TRANE HVAC US: CITY MULTI VRF INDOOR UNIT SCHEDULE

System Tag		System 1	System 1
Tag Reference		AHU	AHU
Nominal Data	Room Name		
	M-NET Address	1	2
	Model	PCFY-P24NKMUJ-ER1	PCFY-P24NKMUJ-ER1
	Type	Ceiling-Suspended	Ceiling-Suspended
Design Conditions	Nominal Cooling Capacity (BTU/h)	24,000.0	24,000.0
	Nominal Heating Capacity (BTU/h)	27,000.0	27,000.0
	Cooling Design Entering Temp DB/WB (°F) / [Water in temp]	80.0/67.0	80.0/67.0
	Heating Design Entering Temp DB/WB (°F) / [Water in temp]	70.0	70.0
Performance Data	Cooling Diversity Full/Partial (See Note 5, 6)	FULL DEMAND	FULL DEMAND
	Heating Diversity Full/Partial (See Note 5, 6)	FULL DEMAND	FULL DEMAND
	Refrig Pipe Dim Liquid/Suction (inch)	3/8 / 5/8	3/8 / 5/8
	Cooling Total Capacity (BTU/h)	23,111.1	23,111.1
Fan / Water Flow Data	Cooling Sensible Capacity (BTU/h)	15,277.8	15,277.8
	Heating Capacity (BTU/h)	25,374.5	25,374.5
	Estimated Cooling Coil LAT (°F) / [LWT]	57.3	57.3
	Estimated Heating Coil LAT (°F) / [LWT]	107.0	107.0
Electrical Data	Fan Speed Setting	HIGH	HIGH
	Peak Fan Airflow (cfm) / [Design gpm]	636	636
	Max Fan ESP Setting 208V/230V (IN WG)		
	Sound Pressure Per Fan Speed 208V/230V (dBA)	31-33-35-37	31-33-35-37
Notes / Options	Voltage / Phase	208/230V/1-phase	208/230V/1-phase
	Power Cooling 208V/230V (kW)	0.04	0.04
	Power Heating 208V/230V (kW)	0.04	0.04
Electrical MCA/MFS		0.52/0.52/15	0.52/0.52/15
Condensate Removal Rate (gal/hr)		1.01	1.01
Applicable System Notes - See Notes Below		1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6

Notes & Options:

- Nominal cooling capacities are based on indoor coil EAT of 80/67°F (DB/WB), outdoor of 95°F (DB)
- Nominal heating capacities are based on indoor coil EAT of 70°F (DB), outdoor of 43°F (WB)
- See outdoor unit schedule for outdoor ambient conditions, connected capacity, and other factors associated with corrected capacities
- See schematic piping/control diagram for indication of required indoor unit remote controllers, system controllers, and integration devices.
- Full demand corrected capacity includes de-rate associated with indoor vs. outdoor connected capacity indicated on outdoor unit schedule for associated system. Partial corrected capacity assumes sufficient diversity exists such that the connected capacity de-rate does not apply. It is the designer's responsibility to ensure "Diamond System Builder" is set in the appropriate output capacity setting (full demand/partial demand) prior to generating this schedule.
- It is recommended to always base heating corrected capacity on full demand.

NOTE: VRF MANUFACTURER SHALL PROVIDE UPDATED SCHEDULES & PIPING DIAGRAMS BASED ON ACTUAL LAYOUT OF EQUIPMENT.

MECHANICAL SPECIFICATIONS

THE WORK INCLUDES PROVIDING MATERIALS, FITTINGS AND ACCESSORIES NECESSARY FOR A COMPLETE FUNCTIONING HVAC SYSTEM. ALL MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE NEW AND UNUSED AND FREE FROM DEFECTS. ANY ITEM NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, BUT THAT IS NORMALLY REQUIRED TO CONFORM TO THE INTENT, ARE TO BE CONSIDERED A PART OF THE CONTRACT. THE WORK MAY ALSO INCLUDE ROUGH-IN AND FINAL CONNECTIONS TO EQUIPMENT PROVIDED BY OTHERS. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND/OR ORDINANCES AND IS SUBJECT TO INSPECTION.

PROVIDE EQUIPMENT INDICATED ON THE DRAWINGS, AND AS REQUIRED FOR A COMPLETE FUNCTIONING SYSTEM. INSTALL ALL HVAC EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

ALL HVAC WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST ADOPTED EDITIONS OF THE SOUTH CAROLINA BUILDING CODES. INCLUDE PERMITS AND INSPECTION FEES IN CONTRACT.

THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR MECHANICAL WORK ARE DIAGRAMMATIC, SHOWING THE LOCATION, TYPE, DEVICES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. PROVIDE ALL EQUIPMENT, DEVICES, ACCESSORIES, DUCTWORK, OFFSETS, TRANSITIONS, MATERIALS, ETC. NECESSARY TO FACILITATE THE SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT FURNISHED BY OTHERS.

DEFINITIONS: FURNISH MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. INSTALL MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. PROVIDE MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR INTENDED USE.

FIRESTOPPING IS A MATERIAL OR COMBINATION OF MATERIALS USED TO RETAIN INTEGRITY OF FIRE-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND HOT GASES THROUGH PENETRATIONS IN FIRE RATED WALL, FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES.

WARRANTY: PROVIDE LABOR AND MATERIALS TO REPAIR OR REPLACE DEFECTIVE PARTS AND MATERIALS AS REQUIRED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION OR OWNER ACCEPTANCE OF THE COMPLETED PROJECT.

PROVIDE OPERATION MANUALS, MAINTENANCE MANUALS AND SCHEMATICS FOR ALL MECHANICAL EQUIPMENT INSTALLED.

COORDINATION: COORDINATE WITH THE WORK OF OTHER SECTIONS, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE.

CONDENSATE DISPOSAL SHALL BE PROVIDED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS. CONDENSATE SHALL NOT DISCHARGE INTO AN AREA SO AS TO CAUSE A NUISANCE. AN AUXILIARY DRAIN PAN WITH A SEPARATE SECONDARY DRAIN SHALL BE PROVIDED WHERE DAMAGE TO ANY BUILDING COMPONENTS WILL OCCUR AS A RESULT OF OVERFLOW OF THE EQUIPMENT DRAIN PAN OR STOPPAGE IN THE CONDENSATE DRAIN PIPING. THE SECONDARY DRAIN SHALL DISCHARGE TO A CONSPICUOUS POINT OF DISPOSAL TO ALERT OCCUPANTS IN THE EVENT OF A STOPPAGE OF THE PRIMARY DRAIN. CONDENSATE DRAINS SHALL BE TRAPPED ACCORDING TO MANUFACTURER.

COORDINATE ALL REQUIRED ROOF AND WALL OPENINGS WITH THE GENERAL CONTRACTOR. PROVIDE ALL CURBS, FLASHING, SLEEVES, SUPPORTING FRAMES, REINFORCING ANGLES, ETC. WHICH ARE REQUIRED UNLESS DIRECTED OTHERWISE.

DUCT DIMENSIONS: UNLESS OTHERWISE NOTED, DUCT DIMENSIONS ON THE DRAWINGS ARE INSIDE CLEAR DIMENSIONS.

SHEETMETAL DUCTWORK: PROVIDE SHEETMETAL DUCTWORK FABRICATED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS. DUCTWORK SHALL BE ASTM A653 GALVANIZED STEEL SHEET, LOCK-FORMING QUALITY, HAVING G90 ZINC COATING IN CONFORMANCE WITH ASTM A90. ALL ANGLE IRON USED FOR SUPPORT SHALL BE GALVANIZED. CONNECTIONS TO WALLS OR FLOOR SHALL BE AIR TIGHT WITH ANGLE IRON AND CALKING. SEAL ALL DUCT SEAMS, TRANSVERSE AND LONGITUDINAL, AIR TIGHT. PROVIDE TURNING VANES AT ALL 90° ELBOWS.

ROUND SHEET METAL DUCT: PROVIDE UL 181, CLASS 1, ROUND SPIRAL LOCKSEAM DUCT CONSTRUCTED OF GALVANIZED STEEL COMPLYING WITH SMACNA STANDARDS.

FLEXIBLE AIR DUCT: PROVIDE FACTORY ASSEMBLED CLASS 0 OR CLASS 1 AIR DUCT TESTED IN ACCORDANCE WITH UL 181 WITH INSULATION AND REINFORCED OUTER PROTECTIVE COVER/VAPOR BARRIER. FLEXIBLE DUCT SHALL MEET NFPA 90A WITH FLAME SPREAD UNDER 25, SMOKE DEVELOPED UNDER 50, AND SHALL BE RATED FOR MINIMUM 2" W.G. PRESSURE AND 0 TO 250°F TEMPERATURE. FLEXIBLE DUCTS SHALL BE INSTALLED SO THAT NO BEND HAS A MEAN RADIUS OF LESS THAN ONE AND HALF TIME THE DUCT DIAMETER. ALL FLEXIBLE DUCTWORK SHALL BE CUT TO THE LENGTHS NECESSARY FOR EACH APPLICATION, AND NO JOINING OF PIECES OF FLEXIBLE DUCTWORK WILL BE PERMITTED. JOINTS BETWEEN FLEXIBLE AND SHEET METAL DUCTS SHALL BE MADE WITH APPROVED METAL BAND CLAMPS.

EXPOSED DUCTWORK: EXPOSED DUCTWORK SHALL BE CLEANED OF DEBRIS AND OIL, THEN WIPED DOWN WITH VINEGAR OR OTHER SURFACE PREPARING CHEMICAL TO PREPARE DUCT FOR PAINT.

DUCT INSULATION: PROVIDE BLANKET TYPE FIBERGLASS INSULATION COMPLYING WITH ASTM C 1290 & NFPA 90A & 90B & WITH FACTORY APPLIED KRAFT PAPER BONDED TO ALUMINUM FOIL, REINFORCED WITH FIBERGLASS VAPOR BARRIER/JACKET. JACKET SHALL CONFORM TO ASTM C-1136, TYPE II. CLOSED-CELL NEOPRENE INSULATION SIMILAR TO ARMAFLEX MAY BE USED IN LIEU OF BLANKET TYPE INSULATION.

ALL SUPPLY AND RETURN AIR DUCTS AND PLENUMS SHALL BE INSULATED WITH A MINIMUM OF R-6 INSULATION WHEN LOCATED IN UNCONDITIONED SPACES INSIDE THE BUILDING AND R-8 MINIMUM WHEN LOCATED OUTSIDE THE BUILDING INSULATION ENVELOPE OR IN ATTIC. WHEN LOCATED WITHIN THE BUILDING ENVELOPE ASSEMBLY, THE DUCT OR PLENUM SHALL BE SEPARATED FROM THE BUILDING EXTERIOR OR UNCONDITIONED SPACE BY A MINIMUM OF R-8. "R" VALUES SHALL BE AS INSTALLED.

DUCT LINER: (WHERE INDICATED) PROVIDE MINIMUM 1" THICK, 1.5 PCF DENSITY, NEOPRENE COATED, LONG TEXTILE FIBER TYPE DUCT LINER CONFORMING TO ASTM C 1071, WITH COATING ON THE AIR STREAM SIDE CONFORMING TO NFPA 90A & 90B. DUCT LINER ADHESIVE SHALL BE AS RECOMMENDED BY DUCT LINER MANUFACTURER, AND SHALL COMPLY WITH ASTM C-916. DUCT LINER FASTENERS SHALL COMPLY WITH SMACNA "HVAC DUCT CONSTRUCTION STANDARDS", LATEST EDITION.

DUCT SEALANT: SEAL DUCT JOINTS, SEAMS AND CONNECTIONS IN ACCORDANCE WITH SC MECHANICAL AND ENERGY CODES. ARRANGE FOR INSPECTIONS IN ACCORDANCE WITH LOCAL AHJ.

DUCT & EQUIPMENT HANGERS: PROVIDE HANGERS AND SUPPORTS TO SECURE EQUIPMENT OR DUCTWORK IN PLACE, PREVENT VIBRATION, & PROVIDE FOR EXPANSION AND CONTRACTION. PROVIDE INSULATION PROTECTION SADDLES TO ACCOMMODATE INSULATION. INSTALL SUPPORTS OF STRENGTH AND RIGIDITY TO SUIT LOADING WITHOUT UNDULY STRESSING BUILDING. SELECT HANGERS AND SUPPORTS CONSTRUCTED FOR THE SPECIFIC APPLICATION AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MAXIMUM LOADING. FASTEN HANGERS AND SUPPORTS TO BUILDING STRUCTURE.

DUCT TURNING VANES: (TO BE PROVIDED WHERE RADIUS ELBOWS WILL NOT FIT SPACE CONSTRAINTS) PROVIDE FABRICATED TURNING VANES AND VANE RUNNERS, CONSTRUCTED IN ACCORDANCE WITH SMACNA "HVAC DUCT CONSTRUCTION STANDARDS". PROVIDE TURNING VANES CONSTRUCTED OF CURVED BLADES, SUPPORTED WITH BARS PERPENDICULAR TO BLADES, AND SET INTO SIDE STRIPS SUITABLE FOR ADJUSTING IN DUCTWORK. FOLLOW SMACNA GUIDELINES FOR SPACING SUPPORT, AND CONSTRUCTION. ALL BLADES SHALL BE SINGLE WIDTH TYPE.

TESTING AND BALANCING: TEST AND ADJUST ALL MECHANICAL SYSTEMS AND OPERATION. ELIMINATE NOISE AND VIBRATION, AND ASSURE PROPER FUNCTION OF CONTROLS. BALANCE ALL SYSTEMS TO WITHIN 5% OF AIR FLOWS INDICATED ON THE DRAWINGS. MARK FINAL BALANCE POSITIONS ON DAMPERS WITH PERMANENT MARKER.

TEMPERATURE CONTROLS: PROVIDE SEVEN DAY PROGRAMMABLE THERMOSTAT COMPATIBLE TO HVAC UNIT(S) AND CONTROL WIRING. THERMOSTAT SHALL HAVE AN ACCESSIBLE MANUAL OVERRIDE THAT WILL RETURN TO THE PRESETBACK OR SHUTDOWN SCHEDULE WITHOUT REPROGRAMMING. THERMOSTAT SHALL MEET SETPOINT ADJUSTMENT FOR UNOCCUPIED MODE. HEATING DOWN TO 55 DEGREES AND COOLING UP TO 85 DEGREES. THERMOSTAT SHALL HAVE AN AUTOMATIC CHANGEOVER FEATURE BETWEEN HEATING & COOLING AND SHALL HAVE A SEPARATE FAN CONTROL. AUTOMATIC CHANGEOVER FUNCTION SHALL INCORPORATE A 5°F DEADBAND.

PROGRAMMING: THE CONTRACTOR SHALL PROGRAM ALL THERMOSTATS AT PROJECT COMPLETION. COORDINATE WITH TENANT FOR PROGRAM SETTINGS.

*PROVIDE ALL CONTROL WIRING, THERMOSTATS, TRANSFORMERS, ETC. TO MEET SEQUENCE OF OPERATION

HVAC SYMBOLS, SCHEDULES & NOTES

NO SCALE

SPLIT HEAT PUMP AIR HANDLER SCHEDULE

BASED ON TRANE SERIES AIR HANDLERS. EQUIVALENT SYSTEMS BY OTHER MANUFACTURERS MAY BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY ENGINEER. PLANS BASED ON THESE SYSTEMS, CHANGES TO WORK OF OTHERS CAUSED BY SUBSTITUTIONS ARE IN THE CONTRACT, M.C. COORDINATE WITH G.C..

SYSTEM MARK	MODEL NO.	CFM	ESP HIGH SPEED (HORIZ.)	POWER	FAN FLA 230/1	AUXILIARY HTG. COIL KW/STEPS/PH (KW@208V)	MINIMUM CKT. AMPS	MAX. CKT. BRKR	BALANCE OUTDOOR AIRFLOW TO ... (CFM)
AHU-1	TEM6A0C48H41SA	1600	0.50"	208V/3PH	6.8	10.8/1/3	45	45	90

SPLIT HEAT PUMP OUTDOOR UNIT SCHEDULE

BASED ON TRANE SERIES HEAT PUMPS. EQUIVALENT SYSTEMS BY OTHER MANUFACTURERS MAY BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY ENGINEER. PLANS BASED ON THESE SYSTEMS, CHANGES TO WORK OF OTHERS CAUSED BY SUBSTITUTIONS ARE IN THE CONTRACT, M.C. COORDINATE WITH G.C.

SYSTEM MARK	MODEL NO.	NET CLG CAPACITY, MBH	SENSIBLE NET CLG CAPACITY, MBH	REV. CYC. HTG. CAP. (HIGH TEMP) MBH	ARI RATED EFFICIENCY	POWER	COMP. RLA	COND. FLA	MCA	MAX CKT. BRKR
AHU-1	4TWA7048A3	47.7	35.7	46.5	17.5 SEER, 9.0 HSPF	208V/3PH	14.0	0.93	18	30

DEHUMIDIFIER SCHEDULE

TAG	MAKE	MODEL	CAPACITY	AIRFLOW @ 0.2" W.C.	VOLTAGE	FLA	MOP
DH	APRILAIRE	E100	100 PPD	267 CFM	120V	8.3A	15A

PROVIDE WALL MOUNT DEHUMIDIFIER CONTROL. MODEL 76. PROVIDE DRAIN PAN, CONDENSATE PUMP & WATER LEVEL SENSOR TO SHUT DOWN UNIT. DISCHARGE CONDENSATE TO DRY WELL.

VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY

BASED ON 2018 SC MECHANICAL CODE

STORAGE AREA

BUILDING'S PRIMARY USE IS STORAGE AND IS INTENDED TO BE OCCUPIED ONLY OCCASIONALLY AND FOR SHORT PERIODS OF TIME. REFERENCE CHAPER 2 "OCCUPIABLE SPACE" DEFINITION.

BUILDING AREA DOES NOT MEET DEFINITION OF "OCCUPIABLE SPACE". MECHANICAL VENTILATION IS NOT REQUIRED FOR THIS BUILDING.

SALES OFFICE AREA AHU-1

1078 SF X 5 PPL/1000 SF = 5 PPL X 5 CFM/PPL + 1078 SF X .06 CFM/SF = 89 CFM

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

MECHANICAL design

mechanical summary

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone

winter dry bulb: 18° F

summer dry bulb: 91.5° F

Interior design conditions

winter dry bulb: 68° F

summer dry bulb: 75° F

relative humidity: 50%

Building heating load: 214.2 MBH

Building cooling load: 19.9 TONS

Mechanical Spacing Conditioning System

Utility

description of unit: SEE SCHEDULE(S)

heating efficiency: SEE SCHEDULE(S)

cooling efficiency: SEE SCHEDULE(S)

size category of unit: SEE SCHEDULE(S)

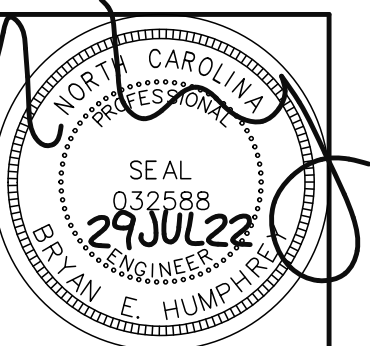
Boiler

Size category, if oversized, state reason: _____

Chiller

Size category, if oversized, state reason: _____

List equipment efficiencies: SEE SCHEDULE(S)



REVISIONS

NO.	DESCRIPTION

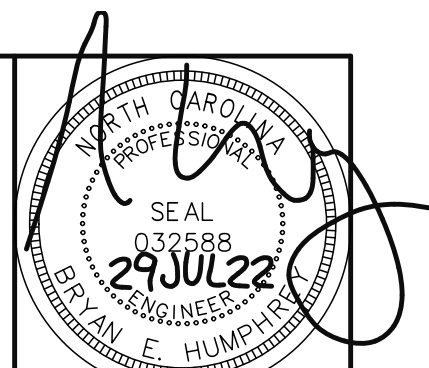
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 Fax 336.379.0053

FIRM LICENSE: C-2272

HARNETT SELF STORAGE

JOB NO. 2278
ORIGINAL ISSUE DATE 29JUL22
DRAWN BY JMK
CHECKED BY BEH
SHEET NO. M-1



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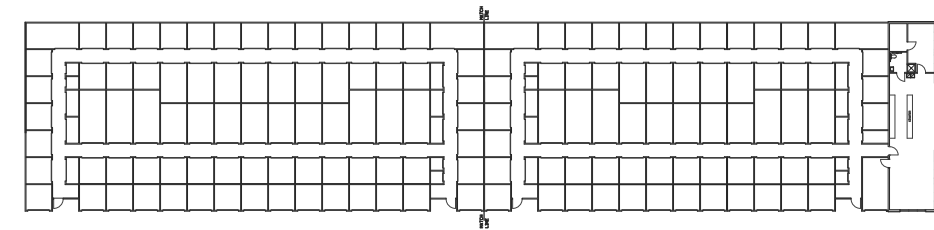
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BUILDING SYSTEMS PLANS FOR:
HARNETT SELF STORAGE
 SPOUT SPRINGS, NC

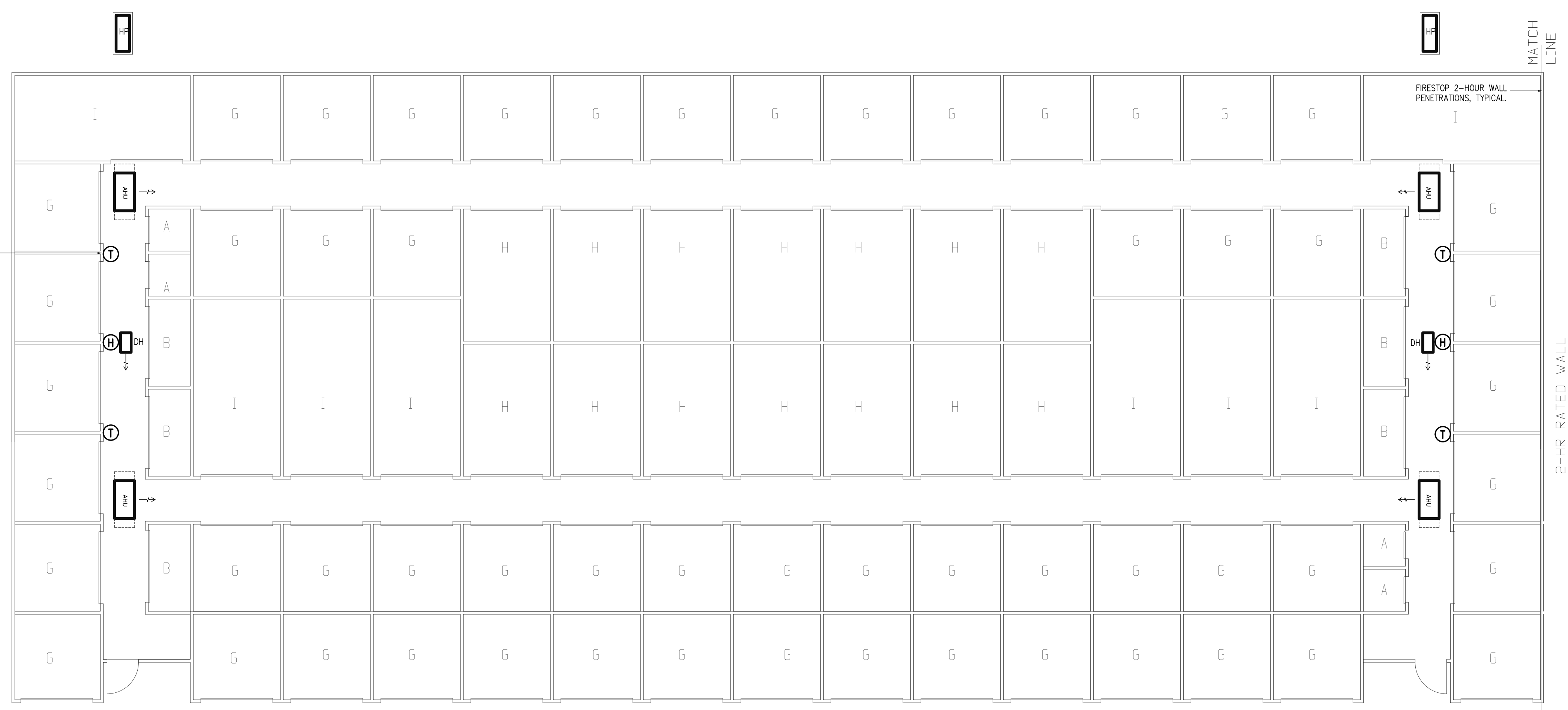
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M-2

OF 2



KEY PLAN
NO SCALE

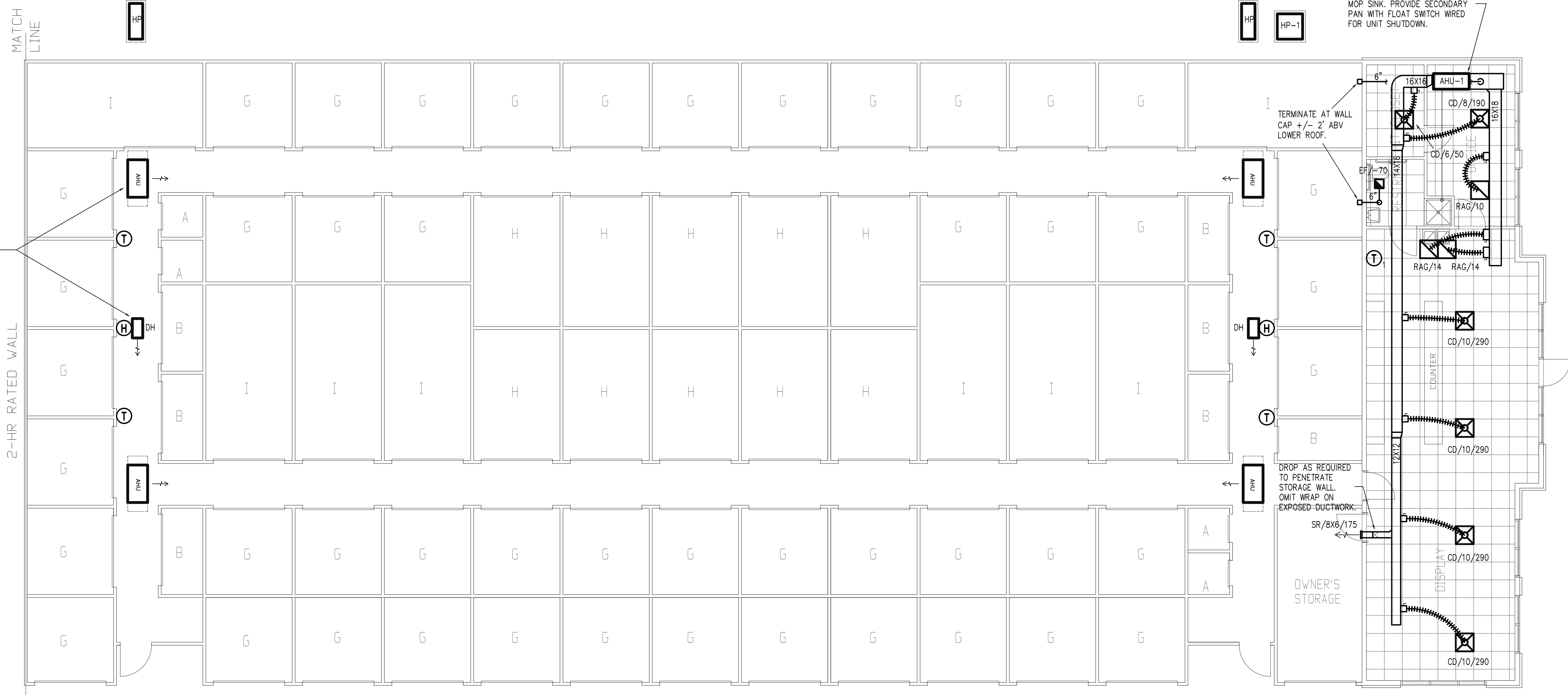


MATCH LINE

2-HR RATED WALL

MATCH LINE

WIRED T'STAT IN VENTILATED LOCKING COVER, TYPICAL



MATCH LINE

2-HR RATED WALL

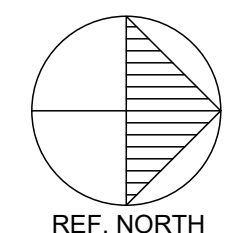
MATCH LINE

ROUTE PRIMARY CONDENSATE TO MOP SINK. PROVIDE SECONDARY PAN WITH FLOAT SWITCH WIRED FOR UNIT SHUTDOWN.

TERMINATE AT WALL CAP +/- 2" ABV LOWER ROOF.

DROP AS REQUIRED TO PENETRATE STORAGE WALL. OMIT WRAP ON EXPOSED DUCTWORK.

AIR HANDLERS AND DEHUMIDIFIERS SHALL BE PROVIDED WITH CONDENSATE PUMPS. A UL 508 WATER-LEVEL DETECTION DEVICE SHALL BE PROVIDED THAT WILL SHUT OFF THE EQUIPMENT IN THE EVENT THAT THE PRIMARY DRAIN IS BLOCKED. DISCHARGE CONDENSATE IN ACCORDANCE WITH LOCAL STANDARDS WHERE AS NOR TO CAUSE A NUISANCE. PROVIDE DRY WELL WHERE REQUIRED. TYPICAL.



REF. NORTH

HVAC PLAN

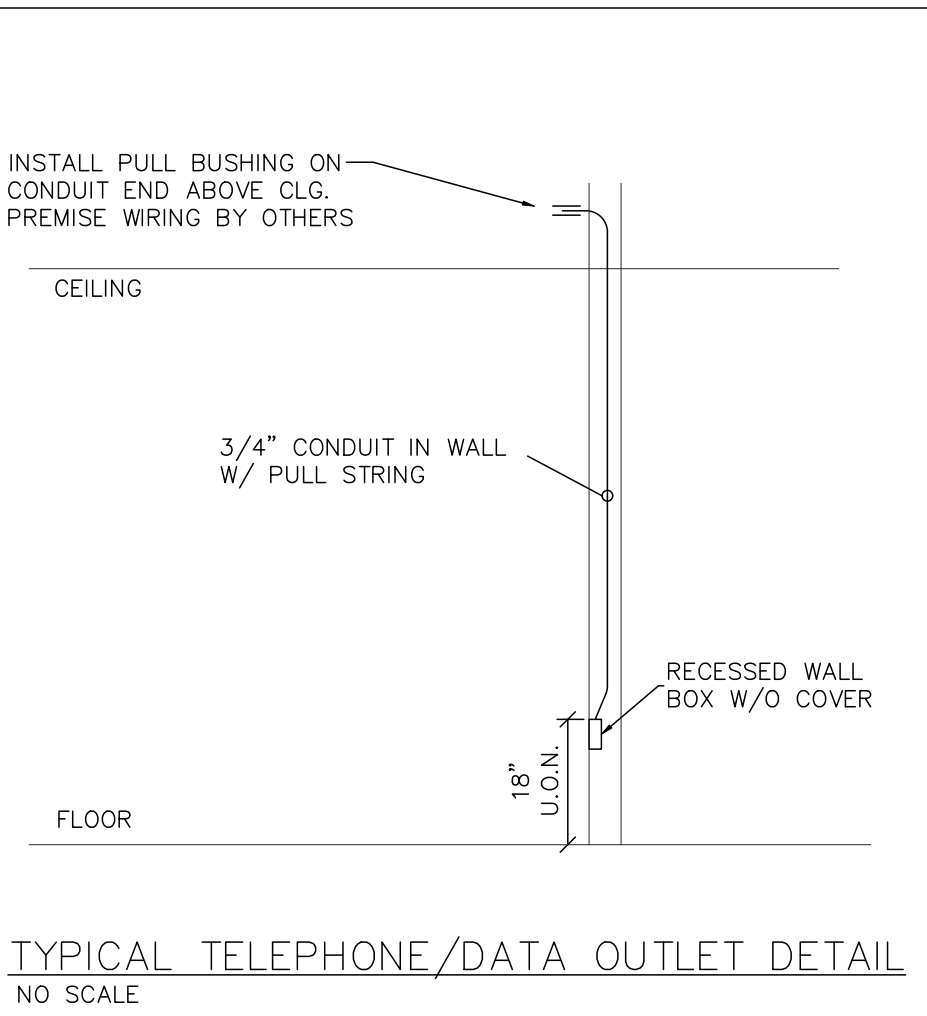
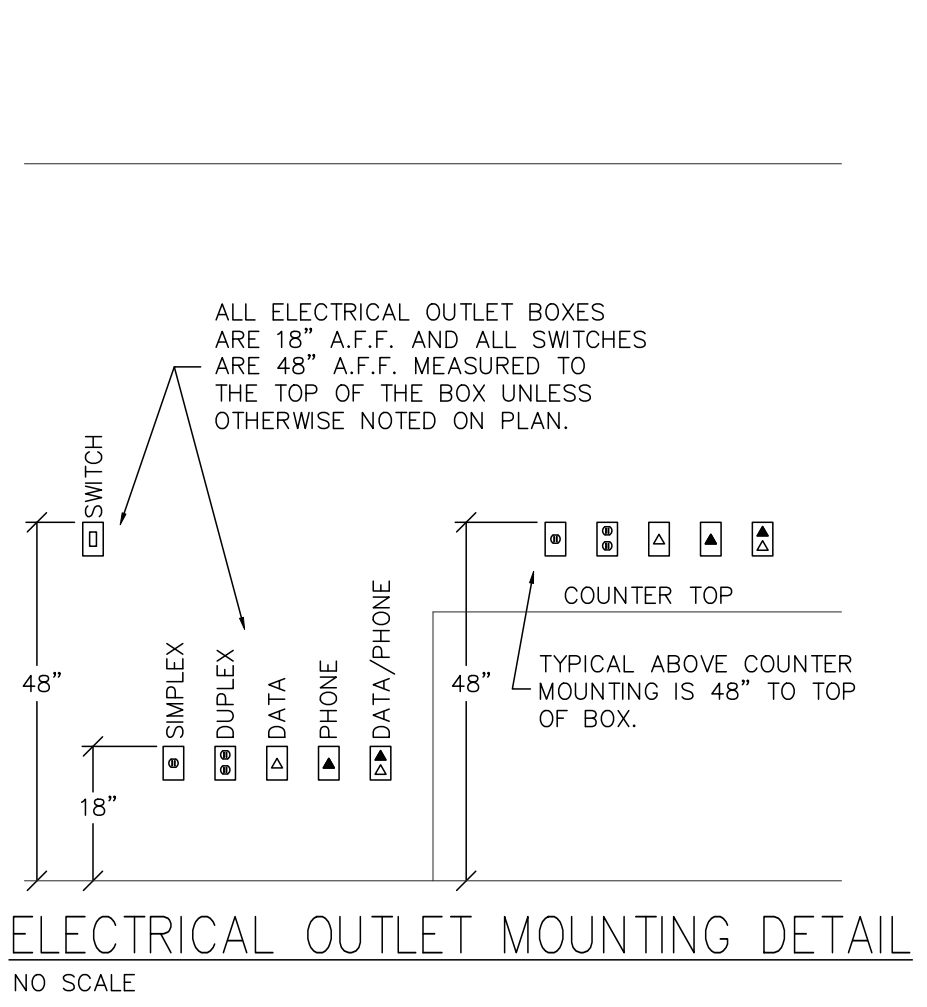
SCALE: 1/8" = 1'-0"

ABBREVIATIONS

DESCRIPTION	ABBREVI.
ABOVE	ABV
AUTOMATIC DOOR OPENER	ADO
AMPERE FRAME	AF
AMPERE TRIP	AT
BARE COPPER	BC
ELECTRICAL CONDUIT	C
CIRCUIT BREAKER	CB, C/B
DIRECT BURIAL	DB
DENTAL EQUIPMENT SUPPLIER	DES
ELECTRICAL CONTRACTOR	EC
EQUIPMENT GROUND	EG
ELECTRIC WATER COOLER	EWC
FIRE ALARM	FA
FIRESTOP	FS
FUSED SAFETY SWITCH	FSS
GENERAL CONTRACTOR	GC
GROUND TERMINAL BOX	GTB
GROUND FAULT CIRCUIT INTERRUPTER	GFCI
LOCAL TEMPERATURE CONTROL PANEL	LTCP
LIGHT FIXTURES	LTS
MAIN DISTRIBUTION PANEL	MDP
MAIN LUGS ONLY	MC
MECHANICAL CONTRACTOR	MC
NON-FUSED SAFETY SWITCH	NFSS
NIGHT LIGHT	NL
PHOTO CELL	PC
PLUMBING CONTRACTOR	PCLL
POWER OPERATED DAMPER	POD
POWER TYPE ROOF VENTILATION	PTRV
RECEPTACLE	REC
SAFETY SWITCH	SS
TIME CLOCK	TC
WIRE	W
WEATHER PROOF IN USE	WP

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
[Symbol]	CIRCUIT BREAKER PANEL BOARD
[Symbol]	CIRCUITRY, CONCEALED WHERE FEASIBLE 2 CONDUCTORS UNLESS INDICATED OTHERWISE BY HASH MARKS
[Symbol]	HOME RUN TO PANEL
[Symbol]	SAFETY DISCONNECT SWITCH, NEMA RATING AMPACITY AND FUSING AS REQUIRED
[Symbol]	120V DUPLEX GROUNDED RECEPTACLE, 18" AFF U.O.N. WP = WEATHER PROOF U = DUAL USE PORTS IG = ISOLATED GROUND 120V
[Symbol]	120V DUPLEX GFCI RECEPTACLE, 18" AFF U.O.N.
[Symbol]	QUADRAPLEX GROUNDED RECEPTACLE, 18" AFF U.O.N.
[Symbol]	SPECIAL PURPOSE RECEPTACLE AS NOTED
[Symbol]	JUNCTION BOX
[Symbol]	EXHAUST FAN INSTALLED BY OTHERS
[Symbol]	DATA COMMUNICATIONS OUTLET, 18" AFF U.O.N. (BOX, CONDUIT TO CLG SPACE ONLY)
[Symbol]	TELEPHONE OUTLET, 18" AFF U.O.N., (BOX, CONDUIT TO CEILING SPACE ONLY)
[Symbol]	TELEPHONE EQUIP. BACKBOARD, SIZE AS REQUIRED
[Symbol]	CABLE TV OUTLET, WIRE BACK TO SERVICE BOX.
[Symbol]	CIRCUITRY
[Symbol]	UNDERGROUND CIRCUITRY



LIGHTING SYMBOL LEGEND

SYMBOL	DESCRIPTION
[Symbol]	WALL MOUNTED LIGHT FIXTURE
[Symbol]	CEILING MOUNTED LIGHT FIXTURE
[Symbol]	2X4 LIGHT FIXTURE
[Symbol]	2X2 LIGHT FIXTURE
[Symbol]	BATTERY PACK EXIT SIGN
[Symbol]	BATTERY PACK EMERGENCY LIGHT
[Symbol]	BATTERY PACK COMBINATION EXIT/EMERGENCY LIGHT
[Symbol]	REMOTE EXIT DISCHARGE FIXTURE
[Symbol]	SWITCH 48" TO TOP AFF
[Symbol]	3-WAY SWITCH 48" TO TOP AFF
[Symbol]	4-WAY SWITCH 48" TO TOP AFF
[Symbol]	DIMMER SWITCH 48" TO TOP AFF
[Symbol]	SWITCH W/ PILOT LAMP
[Symbol]	HOME RUN TO PANEL
[Symbol]	CIRCUITRY
[Symbol]	UNSWITCHED CIRCUITRY
[Symbol]	WALL SWITCH OCCUPANCY SENSOR
[Symbol]	CEILING MOUNT OCCUPANCY SENSOR, 360° SENSOR VIEW.
[Symbol]	DIRECTIONAL CEILING/WALL MOUNT OCCUPANCY SENSOR

SERVICE AND FEEDER LOAD SUMMARY

PER NEC ARTICLE 220

GROSS SQUARE FOOTAGE = 23,911

LOAD	QUANTITY	RATE	LOAD (VA)	DEMAND FACTOR	DEMAND LOAD (VA)
LIGHTING (SORAGE)	22583 SF	.25 VA/SF	5645	1.25	7057
LIGHTING (OFFICE)	1328 SF	3.5 VA/SF	4648	1.25	5810
EXT. LIGHTING	NA	NA	2800	1.25	3500
SIGNAGE	2	1200VA/	2400	1.25	3000
RECEPTACLES	28	180VA/REC	5040	1.00	5040
HVAC	NA	NA	24480	1.00	24480
EVH	1	NA	1500	1.00	1500
KIT. EQUIP	NA	NA	0	0.65	0
TOTAL					50387
AMPERAGE @ 120/208V 3PH 4W					140A
SERVICE CONDUCTORS SPECIFIED					200A

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

Electrical design

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code - Prescriptive

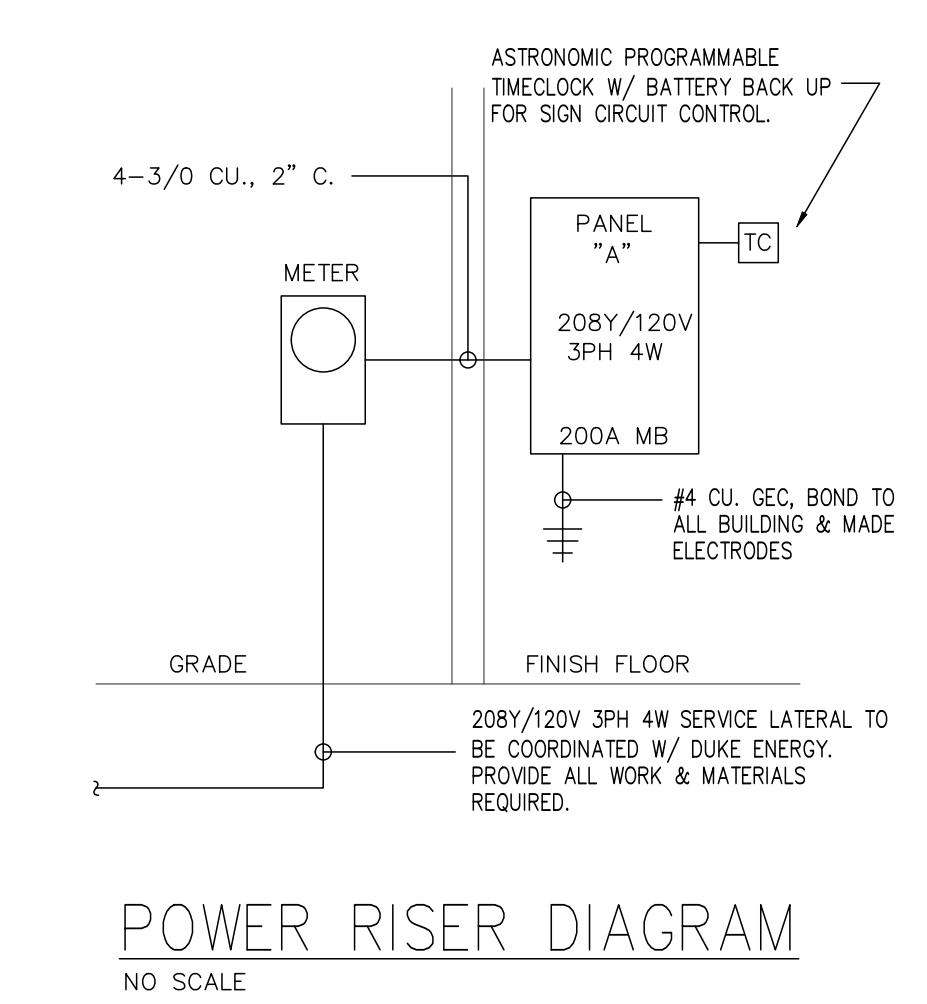
Lighting schedule (each fixture type):

- lamp type required in fixture: VARIES
- number of lamps in fixture: VARIES
- ballast type used in the fixture: VARIES
- number of ballasts in fixture: VARIES
- total wattage per fixture: VARIES
- total interior wattage specified vs. allowed (whole building or space by space):
- total exterior wattage specified vs. allowed

TOTAL INTERIOR WATTAGE SPECIFIED VS ALLOWED: 7,043 VS 13,505
 WHOLE BUILDING () SPACE BY SPACE (X)
 EXTERIOR LIGHTING WATTAGE SPECIFIED VS ALLOWED: 1,758 VS 3,459

Additional Efficiency Package Options (When using the 2018 NCECC; not required for ASHRAE 90.1)

- C406.2 More Efficient HVAC Equipment Performance
- C406.3 Reduced Lighting Power Density
- C406.4 Enhanced Digital Lighting Controls
- C406.5 On-Site Renewable Energy
- C406.6 Dedicated Outdoor Air System
- C406.7 Reduced Energy Use in Service Water Heating



ELECTRICAL SPECIFICATIONS

ALL WORK SHALL COMPLY WITH LAWS APPLYING TO ELECTRICAL INSTALLATIONS IN EFFECT, AND WITH THE MOST RECENT EDITION OF THE NATIONAL ELECTRICAL CODE, ADA, APPLICABLE SECTIONS OF OTHER NFPA, OSHA, LIFE SAFETY CODES AND RECOMMENDATIONS, AND THE INTERIM AMENDMENTS IN EFFECT AT THE TIME OF THE PROPOSAL.

THE WORK INCLUDES PROVIDING MATERIALS, DEVICES, WIRING, FIXTURES, ETC. NECESSARY FOR A COMPLETE FUNCTIONING ELECTRICAL SYSTEM. ALL MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE NEW AND UNUSED AND FREE FROM DEFECTS. INSTALL, CONNECT AND ADJUST ALL EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. ANY ITEM NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, BUT THAT IS NORMALLY REQUIRED TO CONFORM TO THE INTENT, ARE TO BE CONSIDERED A PART OF THE CONTRACT. ALL MATERIALS USED SHALL BE NEW AND SHALL CONFORM TO THE STANDARDS ESTABLISHED BY THE UNDERWRITERS LABORATORIES INCORPORATED.

THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR ELECTRICAL WORK ARE DIAGRAMMATIC, SHOWING THE LOCATION, TYPE, DEVICES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. PROVIDE ALL FIXTURES, DEVICES, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT FURNISHED BY OTHERS.

HOOK-UP CHARGES, PERMITS, LOCAL FEES AND ALL OTHER EXPENSES RELATED TO A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM SHALL BE INCLUDED IN THE CONTRACTORS BID. THE CONTRACTOR SHALL COOPERATE FULLY WITH UTILITY SERVICE PROVIDERS WITH RESPECT TO THEIR SERVICES.

COORDINATION: COORDINATE WITH THE WORK OF OTHER SECTIONS, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE. ANY WORK THAT IS INSTALLED BY THIS CONTRACTOR THAT RESULTS IN CONFLICT, DUE TO LACK OF COORDINATION BETWEEN TRADES, SHALL BE CHANGED AS DIRECTED BY THE ARCHITECT/ENGINEER WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.

COORDINATE WITH THE LOCAL ELECTRIC UTILITY COMPANY AND TELEPHONE COMPANY AS TO THE REQUIREMENTS FOR SERVICE CONNECTIONS AND PROVIDE ALL LABOR, MATERIALS, AND TESTING NECESSARY.

DEFINITIONS: FURNISH MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. INSTALL MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. PROVIDE MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR INTENDED USE. WIRING MEANS THE INCLUSION OF ALL RACEWAYS, FITTINGS, CONDUCTORS, CONNECTORS, JUNCTION AND OUTLET BOXES, SPLICES, CONNECTIONS, TAPE, AND ALL OTHER ITEMS NECESSARY AND/OR REQUIRED IN CONNECTION WITH SUCH WORK. CONDUIT MEANS THE INCLUSION OF ALL HANGERS, SUPPORTS, FITTINGS, ETC.

FIRESTOPPING IS A MATERIAL OR COMBINATION OF MATERIALS USED TO RETAIN INTEGRITY OF FIRE-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND HOT GASES THROUGH PENETRATIONS IN FIRE RATED WALL AND FLOOR ASSEMBLIES.

WARRANTY: PROVIDE LABOR AND MATERIALS TO REPAIR OR REPLACE DEFECTIVE PARTS AND MATERIALS AS REQUIRED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION OR OWNER ACCEPTANCE OF THE COMPLETED PROJECT.

ELECTRICAL DESIGN HAS BEEN BASED ON THE INSTALLATION OF 75°C CONDUCTORS CONNECTED TO TERMINAL LUGS AND EQUIPMENT, U.L. LISTED FOR A MINIMUM 75°C. CONDUCTORS TERMINATED ON EQUIPMENT OR DEVICES WITH A LOWER RATING (60°C) OR NO RATING SHOWN, SHALL HAVE CONDUCTOR SIZE INCREASED TO CONFORM TO NEC TABLE 310-16.

ALL EQUIPMENT SHALL BE EQUAL TO OR EXCEED THE MINIMUM REQUIREMENTS OF NEMA, IEEE, AND IUL.

DISCONNECT SWITCHES SHALL BE HEAVY-DUTY, QUICK-MAKE, QUICK-BREAK TYPE, NEMA 1 ENCLOSURE FOR INDOOR LOCATIONS (NEMA 3R FOR OUTDOOR LOCATIONS). SWITCHES SHALL BE AS MANUFACTURED BY SQUARE D, GENERAL ELECTRIC, OR SIEMEN'S (I.T.E.). PROVIDE FUSES AS MANUFACTURED BY BUSSMAN, GOULD-SHAMMUT, OR LITTLE-FUSE. ALL CONDUCTOR TERMINALS TO BE U.L. LISTED FOR A MINIMUM OF 75°C. SWITCHES USED AS SERVICE ENTRANCE EQUIPMENT TO BE U.L. LISTED AS "SER" RATED EQUIPMENT. WHERE MULTIPLE DISCONNECTS ARE USED AS A SERVICE ENTRANCE MEANS, A NEUTRAL CONDUCTOR SHALL BE RUN TO THE NEUTRAL TERMINAL IN EACH SERVICE DISCONNECT AND SHALL BE BONDED PER NEC.

PANEL BOARDS SHALL BE AS MANUFACTURED BY SQUARE-D OR EQUAL MEETING U.L. STANDARDS 50 AND 67, WITH U.L. LABEL. PANELS USED AS SERVICE ENTRANCE EQUIPMENT TO BE U.L. LISTED AS "SER" RATED EQUIPMENT. PANELBOARDS SHALL BE FULLY RATED.

BREAKERS: THERMAL MAGNETIC TYPE, QUICK-MAKE, QUICK-BREAK, PLUG-IN TYPE OF SINGLE UNIT CONSTRUCTION. TWO POLE BREAKERS SHALL BE SINGLE UNIT COMMON TRIP TYPE. BREAKERS USED AS SWITCHES FOR 120V LIGHTING CIRCUITS SHALL BE APPROVED FOR THAT USE AND MARKED "SMD".

GROUNDING SYSTEM: PERMANENTLY AND EFFECTIVELY GROUND ALL METALLIC CONDUIT, SUPPORTS, CABINETS, PANELBOARDS AND SYSTEM NEUTRAL CONDUCTORS. MAINTAIN CONTINUITY OF EQUIPMENT GROUND THROUGHOUT THE SYSTEM. GROUND CLAMPS SHALL BE APPROVED TYPE, SPECIFICALLY DESIGNED FOR GROUNDING, WHERE GROUNDING CONDUCTOR IS ENCLOSED IN CONDUIT, GROUND CLAMP SHALL BE OF A TYPE WHICH GROUNDS BOTH CONDUCTOR AND CONDUIT. ALL CIRCUITS IN FLEXIBLE METAL OR PLASTIC CONDUIT SHALL INCLUDE A GROUND WIRE SIZED IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE.

CONDUCTORS: INSULATED SOFT ANNEALED 98% PURE COPPER WITH COLOR CODING, B AND S GAGE, #10 AND SMALLER TO BE SOLID, #8 AND LARGER TO BE STRANDED, MINIMUM #12 UNLESS OTHERWISE INDICATED. CONDUCTORS MUST BE INSTALLED IN ACCORDANCE WITH N.E.C. AND CANNOT BE SUPPORTED FROM CEILING SUPPORT WIRES. THIN MAY NOT BE USED UNDERGROUND, AT SERVICE ENTRANCE, OUTSIDE, OR IN WET LOCATIONS. ALL INSULATION TO BE RATED FOR 600 V.

LIGHT FIXTURES & LAMPS ARE TO BE FURNISHED BY E.C. AS NOTED ON THE LIGHT FIXTURE SCHEDULE. FIXTURE INSTALLATION SHALL BE BY THE ELECTRICAL CONTRACTOR ACCORDING TO LOCAL CODE AUTHORITY. THE ELECTRICAL CONTRACTOR SHALL REVIEW MATERIALS AT THE TIME OF DELIVERY AND IMMEDIATELY REPORT ANY DAMAGE OR MISSING PIECES.

LIGHT FIXTURE QUANTITIES AND INPUT WATTAGES LISTED IN LIGHT FIXTURE SCHEDULE ARE FOR ENGINEERING ENERGY CALCULATIONS ONLY AND ARE NOT TO BE USED BY CONTRACTOR FOR QUANTITY TAKE-OFFS.

EMERGENCY LIGHTING SHALL HAVE A MINIMUM OF 90 MIN. BATTERY BACK-UP, OR AS REQUIRED BY LOCAL CODE AUTHORITY.

LAYOUT BRANCH CIRCUIT WIRING AND ARRANGEMENT OF HOME RUNS FOR MAXIMUM ECONOMY AND EFFICIENCY. INCREASE WIRE SIZE IF VOLTAGE DROP EXCEEDS 3% OR 100 FEET OF LENGTH.

CONCEAL WIRING SYSTEM ABOVE SUSPENDED CEILING OR IN WALL OR FLOOR CONSTRUCTION WHERE POSSIBLE. INSTALL CONDUITS PARALLEL TO BUILDING LINES, AND TO CLEAR ALL OPENING, DEPRESSIONS, PIPES, DUCTS, STRUCTURE, ETC.

ALL WIRING SHALL BE IN CONDUIT, UNLESS SPECIFICALLY NOTED OTHERWISE.

INSTALL CONDUIT CONTINUOUS BETWEEN BOXES AND CABINETS WITH NO MORE THAN FOUR (4) 90 DEGREE BENDS. SECURELY FASTEN IN PLACE WITH STRAPS, HANGERS AND STEEL SUPPORTS AS REQUIRED. DO NOT SUPPORT CONDUIT FROM SUSPENDED CEILING GRID OR SUSPENSION WIRES. REAM CONDUIT ENDS BEFORE INSTALLATION AND THOROUGHLY CLEAN BEFORE INSTALLATION. OPENINGS SHALL BE PLUGGED OR COVERED TO KEEP CONDUIT CLEAN.

CONDUIT SHALL BE SIZED TO COMPLY WITH NEC FOR NUMBER AND SIZE OF CONDUCTORS INSTALLED, MINIMUM 24" BELOW GRADE. PROVIDE SCHEDULE 40 PVC PLASTIC OR RIGID STEEL CONDUIT BELOW GRADE, MINIMUM 3/4". PROVIDE ELECTRICAL METAL TUBING (EMT), FLEXIBLE METAL CONDUIT (N LENGTHS 6' OR LESS) FOR INTERIOR LOCATIONS. EMT CONNECTORS AND COUPLING SHALL BE SET-SCREW TYPE. CLAMP CONDUIT TO BOXES WITH BUSHING INSIDE AND LOCKNUT OUTSIDE.

BELOW GRADE RACEWAYS SHALL BE CONSIDERED WET LOCATION AND SHALL BE SEALED PER NEC 300.5 (G) WITH A SEALANT IDENTIFIED FOR USE WITH INSTALLED CONDUCTORS/INSULATION.

"MC" TYPE CABLES MAY BE USED IN SPACES WHERE NOT SUBJECT TO PHYSICAL DAMAGE OR CORROSION. "MC" & "AC" CABLE MUST BE INSTALLED IN A WORKMANLIKE MANNER AND PERPENDICULAR OR PARALLEL TO BUILDING LINES. CABLE MUST BE INSTALLED IN ACCORDANCE WITH N.E.C. ARTICLE 330.

ALL CONDUIT AND RACEWAY SYSTEMS SHALL BE INSTALLED WITH SEPARATE GROUND CONDUCTOR. CONDUIT SYSTEM IS NOT TO BE USED AS THE SOLE GROUNDING MEANS.

TOUCH UP OR REFINISH DAMAGED SURFACES OF FIXTURES AND EQUIPMENT, EXPOSED TO VIEW.

DATA & TELEPHONE PREMISES WIRING & CABLES TO BE FURNISHED AND INSTALLED BY OWNER. RACEWAY AND/OR CONDUIT TO BE PROVIDED BY E.C. VERIFY EXACT MOUNTING LOCATIONS WITH ARCHITECT PRIOR TO FASTENING RACEWAY OR CONDUIT TO WALL, CEILING OR FLOOR. FASTEN TO SURFACE AS RECOMMENDED BY MANUFACTURER. MOUNT SO RACEWAY IS IN THE LEAST OBVIOUS LOCATION. REAM ALL CUTS SMOOTH. PROVIDE ALL REQUIRED BOXES, EXTENSIONS, FITTINGS, ELBOWS AND DEVICES FOR A COMPLETE INSTALLATION.

REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF LIGHTING FIXTURES AND OTHER CEILING MOUNTED EQUIPMENT.

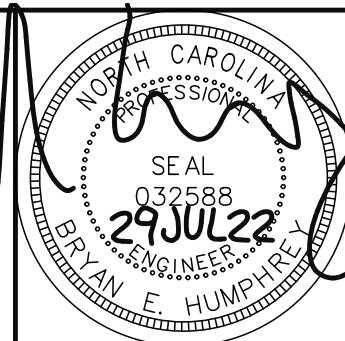
FOR EQUIPMENT FURNISHED BY OWNER OR OTHER CONTRACTORS, ELECTRICAL CONTRACTOR TO VERIFY EXACT LOAD, TYPE OF CONNECTION AND MOUNTING HEIGHT FOR EACH BOX OR EQUIPMENT ITEM TO BE INSTALLED. ALL HARDWIRED CONNECTIONS TO EQUIPMENT TO BE MADE WITH FLEXIBLE LIQUID-TITE METAL CONDUIT WITH GREEN GROUND CONDUCTOR INSTALLED INSIDE RACEWAY. GROUND CONDUCTOR SHALL BE BONDED AT BOTH ENDS.

COORDINATE ALL REQUIRED ROOF AND WALL OPENINGS WITH THE GENERAL CONTRACTOR. PROVIDE ALL CURBS, FLASHING, SLEEVES, SUPPORTING FRAMES, REINFORCING ANGLES, ETC. WHICH ARE REQUIRED UNLESS DIRECTED OTHERWISE.

MINIMUM WIRE SIZE - 20 AMP BRANCH CIRCUIT SHALL BE AWG LISTED SIZE PER DISTANCE SHOWN BELOW. DISTANCE SHALL BE MEASURED FROM THE PANELBOARD CIRCUIT BREAKER TO THE FURTHEST OUTLET ALONG THE CIRCUIT PATH.

ON ALL 20 AMP BRANCH CIRCUITS, CONDUCTORS LARGER THAN #10 AWG SHALL BE REDUCED TO #10 AWG WITHIN 10 FEET OF PANEL BOARD AND DEVICE IN JUNCTION BOXES ON RATED TERMINAL STRIPS.

ALUMINUM CONDUCTORS ARE NOT PERMITTED, EXCEPT AT SERVICE ENTRANCE. CONDUCTOR CONNECTION MUST BE PER MANUFACTURER'S REQUIREMENTS.



REVISIONS

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EUBANKS ENGINEERING P.C. HUMPHERY
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Fax 336.379.0055

FIRM LICENSE: C-2272

BUILDING SYSTEMS PLANS FOR:

HARNETT SELF STORAGE
SPOUT SPRINGS, NC

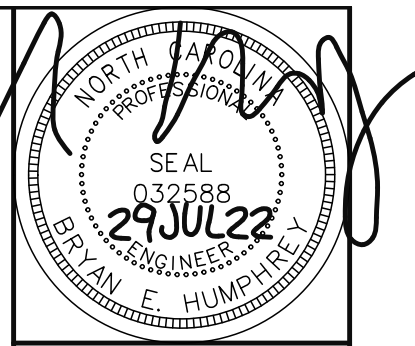
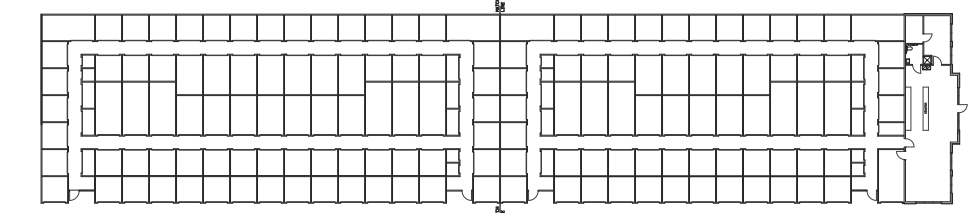
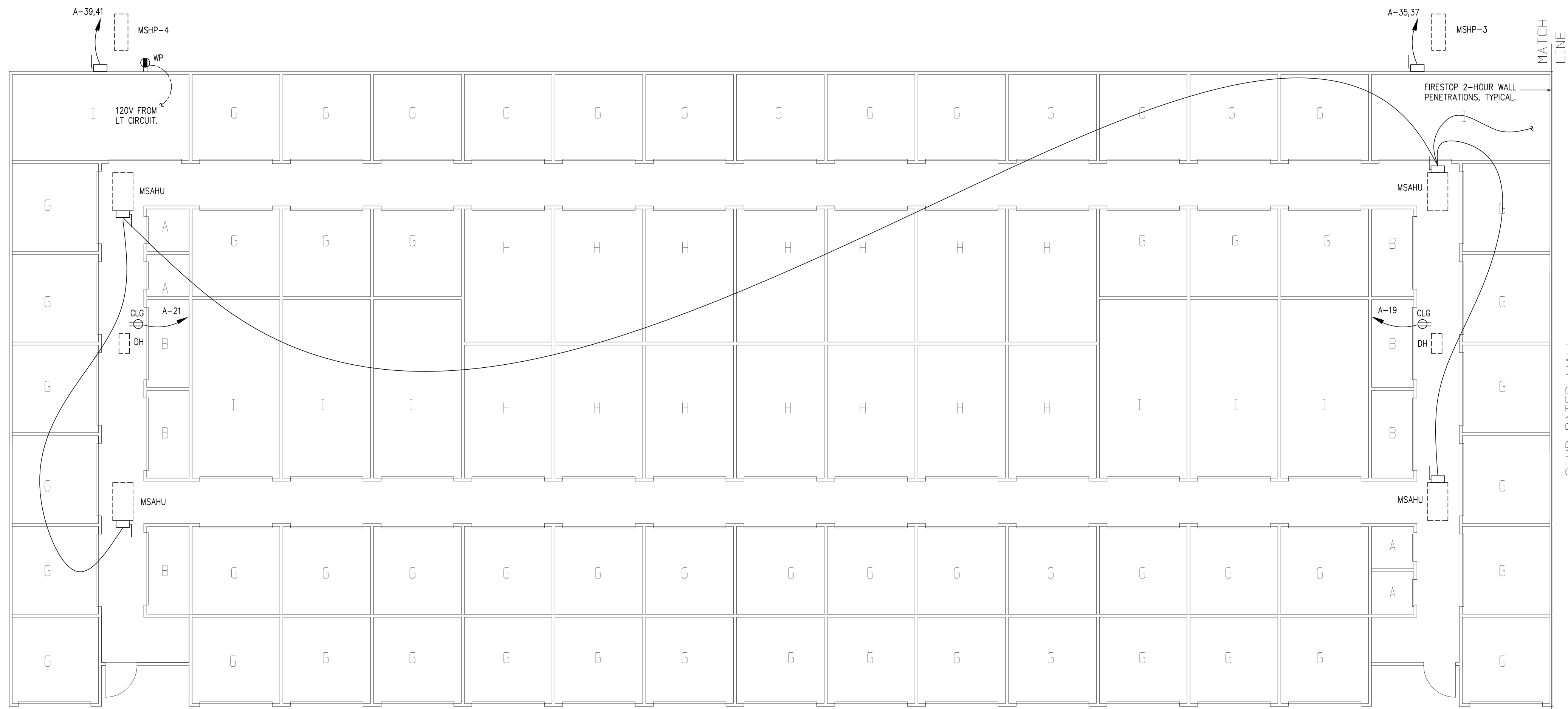
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SHEET NO.

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OF 5

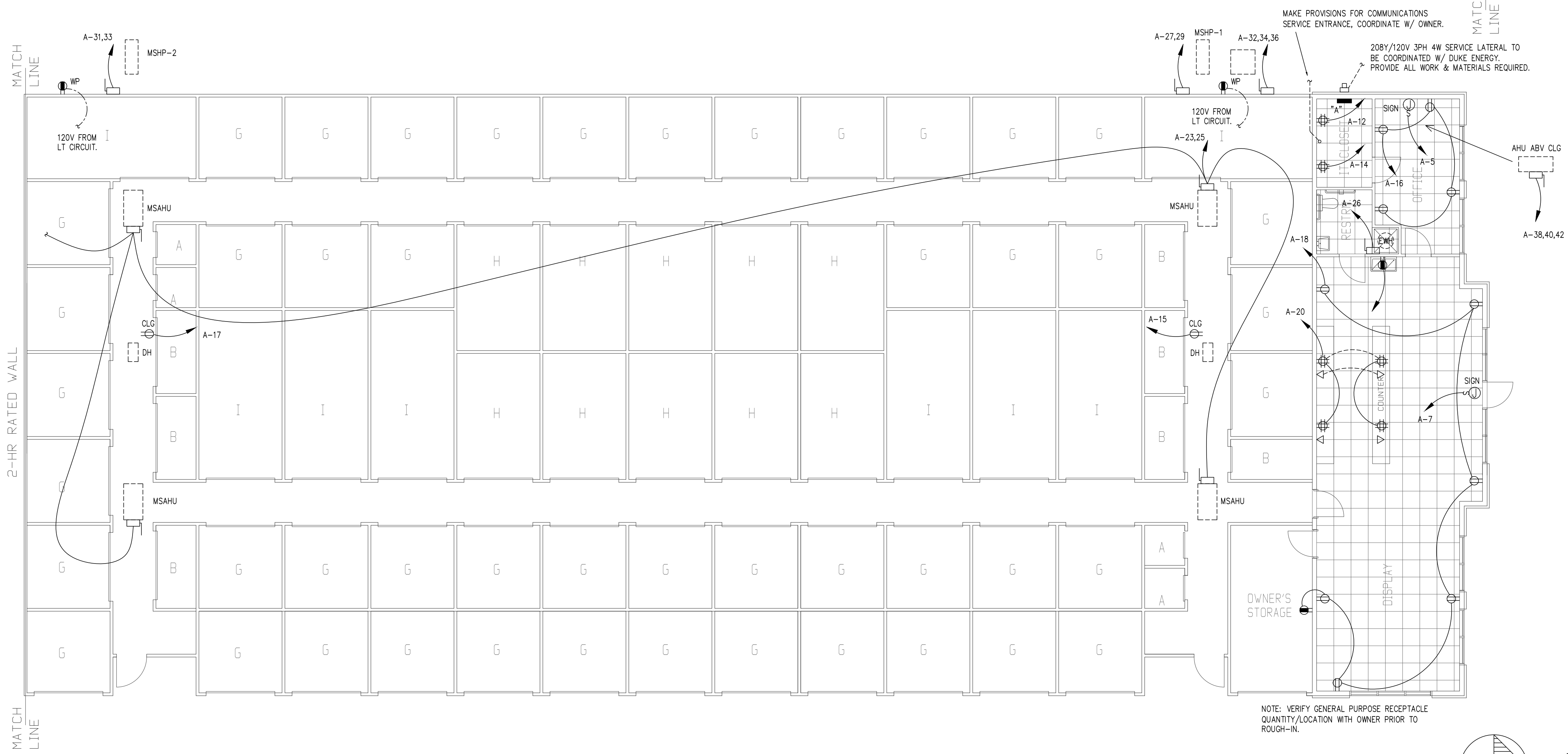
ELECTRICAL SYMBOLS, DETAILS & NOTES

NO SCALE

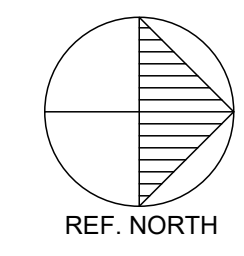


REVISIONS

NO.	DESCRIPTION



NOTE: VERIFY GENERAL PURPOSE RECEPTACLE QUANTITY/LOCATION WITH OWNER PRIOR TO ROUGH-IN.



POWER PLAN

SCALE: 1/8" = 1'-0"

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BUILDING SYSTEMS PLANS FOR:
HARNETT SELF STORAGE
 SPOUT SPRINGS, NC

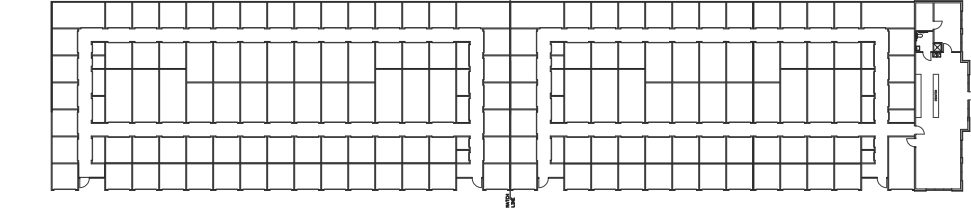
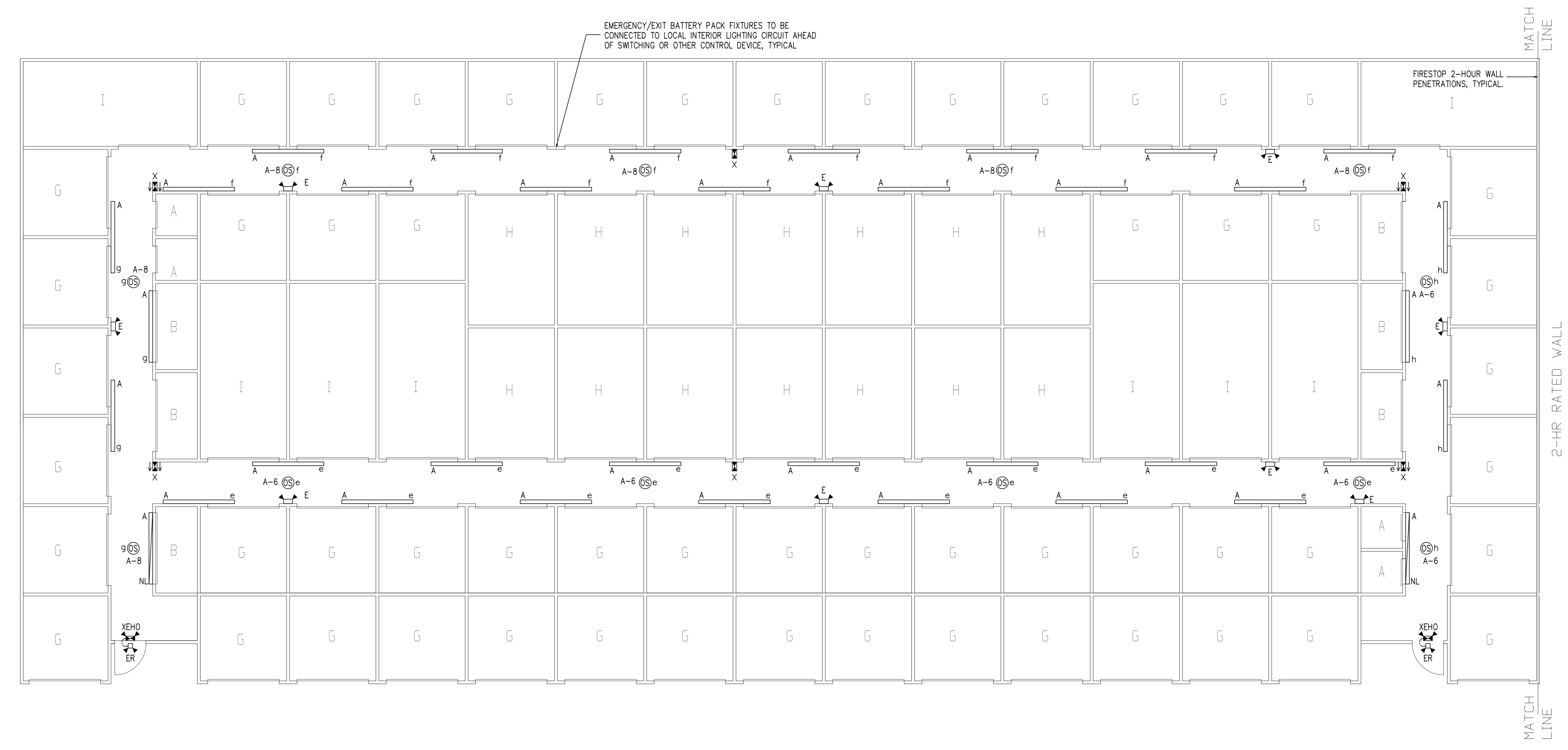
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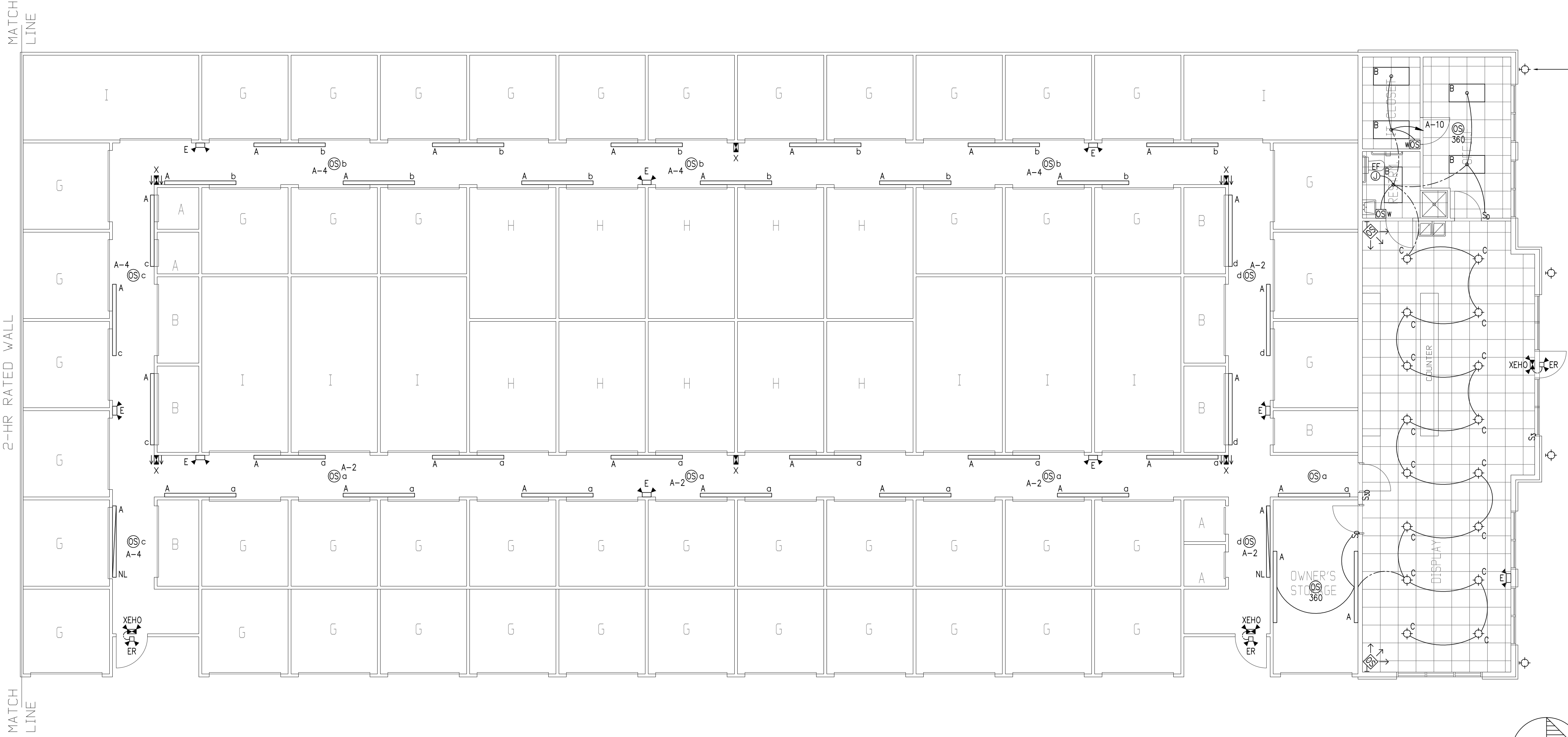
NOTE: OCCUPANCY SENSOR LAYOUT IS SCHEMATIC & INTENDED TO INDICATE CONTROL ZONES. COORDINATE SELECTION, QUANTITIES & LOCATION WITH SENSOR SUPPLIER AS REQUIRED TO CONTROL THE INDICATED ZONES. COORDINATE INSTALLATION WITH OTHER TRADES. PROVIDE ALL WORK REQUIRED FOR A COMPLETE INSTALLATION. ACCEPTABLE MANUFACTURERS ARE WATTSTOPPER, LEGRAND, LUTRON, LEVITON OR HUBBELL. CONTRACTOR'S WORK TO INCLUDE ALL LABOR & MATERIALS NECESSARY FOR AND INCIDENTAL TO THE DELIVERY, INSTALLATION AND FURNISHING OF A COMPLETELY OPERATIONAL OCCUPANCY SENSOR LIGHTING CONTROL SYSTEM. MAKE ALL ADJUSTMENTS REQUIRED TO CONTROL INDICATED ZONES. AVOID INSTALLING SENSORS WITHIN 8' OF AIR HANDLERS, DEHUMIDIFIERS OR AIR VENTS.

EMERGENCY/EXIT BATTERY PACK FIXTURES TO BE CONNECTED TO LOCAL INTERIOR LIGHTING CIRCUIT AHEAD OF SWITCHING OR OTHER CONTROL DEVICE, TYPICAL

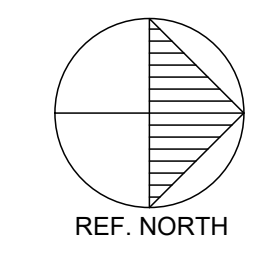
FIRESTOP 2-HOUR WALL PENETRATIONS, TYPICAL.



KEY PLAN
NO SCALE

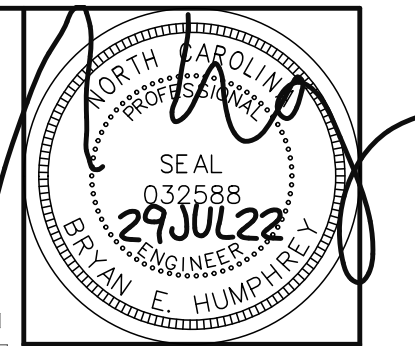


SEE AREA LIGHTING PLAN, TYPICAL.



LIGHTING PLAN

SCALE: 1/8" = 1'-0"



NO.	DESCRIPTION

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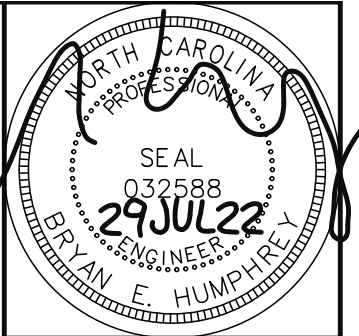
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BUILDING SYSTEMS PLANS FOR:
HARNETT SELF STORAGE
 SPOUT SPRINGS, NC

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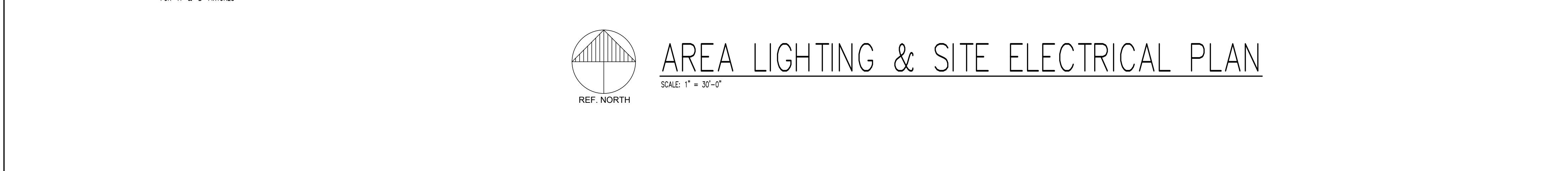
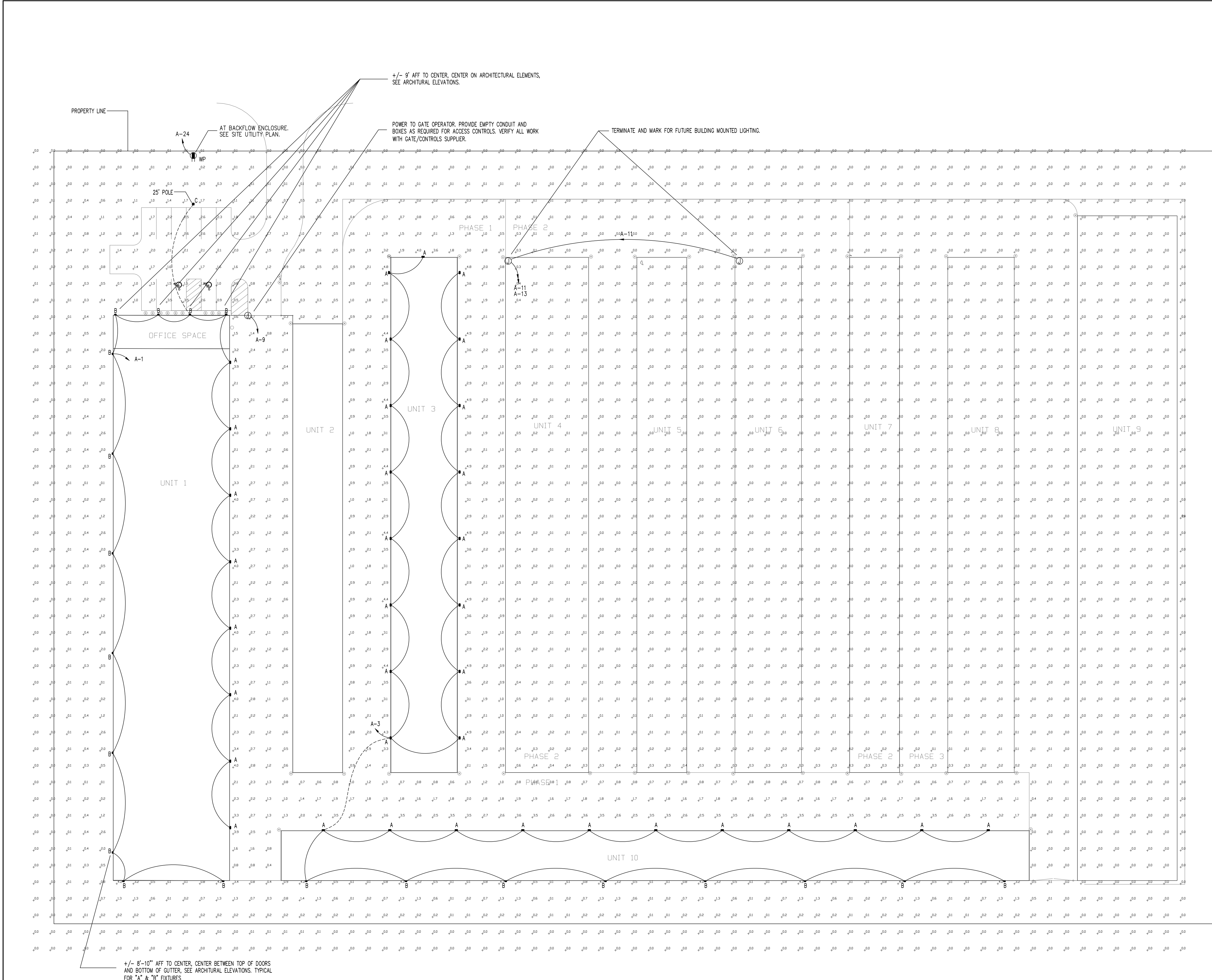
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REVISIONS

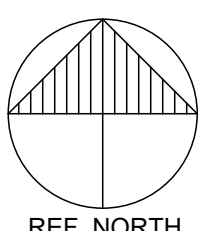
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AREA LIGHTING & SITE ELECTRICAL PLAN

SCALE: 1" = 30'-0"



"A" FIXTURE

TWH LED Wall Luminaire

Specifications

- Width: 16 1/4"
- Height: 15 3/4"
- Depth: 8"
- Weight: 20 lbs

Capable Luminaire

This item is an Ac Capable luminaire, which has been designed and tested to provide consistent color temperature and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is Ac-Certified when ordered with DTL* equipped luminaires meet the Ac-Certified specification for luminaires to photometric interoperability?
- This luminaire is part of an Ac-Certified solution for RDM/AMP or 900MHz Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with discrete and control options marked by a **PHOTOCENT** designation.

To learn more about Ac, visit www.ac-certified.com

1. See ordering tree for details.
2. Ac-Certified Solutions for RDM/AMP requires the order of one RDM/AMP node per luminaire. Sold Separately. Link to RDM/AMP: [DTL-DLL](#)

Ordering Information

EXAMPLE: TWH LED 30C 1000 50K T3M MVOLT DBDK

Order	SKU	Description	Configuration	Options	Quantity	Weight	Lead Time	Notes
1	TWH30C100050K	TWH LED 30C 1000 50K T3M MVOLT DBDK	30C	1000 50K T3M MVOLT DBDK	1	20 lbs	1-2 weeks	

Accessories

DTL-DLL: RDM/AMP node (sold separately)
900MHz: 900MHz wireless control node (sold separately)
RDM/AMP: RDM/AMP node (sold separately)
900MHz: 900MHz wireless control node (sold separately)
DTL-DLL: RDM/AMP node (sold separately)
900MHz: 900MHz wireless control node (sold separately)

Notes:

- DTL-DLL: RDM/AMP node (sold separately)
- 900MHz: 900MHz wireless control node (sold separately)
- RDM/AMP: RDM/AMP node (sold separately)
- 900MHz: 900MHz wireless control node (sold separately)
- DTL-DLL: RDM/AMP node (sold separately)
- 900MHz: 900MHz wireless control node (sold separately)

LITHONIA LIGHTING COMMERCIAL OUTDOOR

"B" FIXTURE

WPX LED Wall Packs

Specifications

- Width: 16 1/4"
- Height: 15 3/4"
- Depth: 8"
- Weight: 20 lbs

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction applications. Available in three sizes, the WPX family delivers 1,350 to 9,200 lumens with a wide, uniform distribution.

The WPX full-out solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Solid-state LED construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall-mounted lighting application.

Ordering Information

EXAMPLE: WPX LED 40K WVOL DBDK

Order	SKU	Description	Configuration	Options	Quantity	Weight	Lead Time	Notes
1	WPX40KWVOL	WPX LED 40K WVOL DBDK	40K	WVOL DBDK	1	20 lbs	1-2 weeks	

Features & Specifications

INTRODUCTION

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction applications. Available in three sizes, the WPX family delivers 1,350 to 9,200 lumens with a wide, uniform distribution.

The WPX full-out solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Solid-state LED construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall-mounted lighting application.

INSTALLATION

WPX LED wall packs are designed to be installed in a standard 1/2" NPT hole. They are designed to be installed in a standard 1/2" NPT hole. They are designed to be installed in a standard 1/2" NPT hole.

WARRANTY

The WPX LED wall packs are covered by a 5-year warranty. The warranty covers the LED chips and the luminaire housing. The warranty does not cover the mounting hardware or the wiring.

LITHONIA LIGHTING COMMERCIAL OUTDOOR

"C" FIXTURE

CSX1 LED Area Luminaire

Specifications

- Length: 37 1/2"
- Width: 15 1/2"
- Height: 3 1/2"
- Weight: 37 lbs

Capable Luminaire

This item is an Ac Capable luminaire, which has been designed and tested to provide consistent color temperature and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is Ac-Certified when ordered with DTL* equipped luminaires meet the Ac-Certified specification for luminaires to photometric interoperability?
- This luminaire is part of an Ac-Certified solution for RDM/AMP or 900MHz Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with discrete and control options marked by a **PHOTOCENT** designation.

To learn more about Ac, visit www.ac-certified.com

1. See ordering tree for details.
2. Ac-Certified Solutions for RDM/AMP requires the order of one RDM/AMP node per luminaire. Sold Separately. Link to RDM/AMP: [DTL-DLL](#)

Ordering Information

EXAMPLE: CSX1 LED 40C 1000 40K T3M MVOLT SPA DBDK

Order	SKU	Description	Configuration	Options	Quantity	Weight	Lead Time	Notes
1	CSX140C100040K	CSX1 LED 40C 1000 40K T3M MVOLT SPA DBDK	40C	1000 40K T3M MVOLT SPA DBDK	1	37 lbs	1-2 weeks	

WITH PHOTOCENT CONTROL

LITHONIA LIGHTING COMMERCIAL OUTDOOR

EUBANKS ENGINEERING P.C. HUMPHREY

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FIRM LICENSE: C-2272

BUILDING SYSTEMS PLANS FOR:

HARNETT SELF STORAGE

SPOUT SPRINGS, NC

JOB NO. 2278
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LIGHT FIXTURE SCHEDULE

SIMILAR FIXTURES BY OTHER MANUFACTURERS ARE GENERALLY ACCEPTABLE FOR SUBMITTAL BUT SUBJECT TO REVIEW AND APPROVAL

MARK	MANUFACTURER	CATALOG NUMBER	LAMPS	POWER	NO.	WATTS EA.	INT. WATTS	EXT. WATTS	REMARKS
A	LITHONIA	CSS L96 AL04 MVOLT SWW3 80CRI	LED	120V	71	88	6248	NA	8' LINEAR LED STRIP LIGHT W/ ROUND DIFFUSE LENS, SET TO 10,000 LUMENS AND COLOR TEMP. TO 40K
B	LITHONIA	2TL4 60L FW A12 EZ1 LP835	LED	120V	5	47	235	NA	LED, 2X4 RECESSED STATIC TROFFER WITH ACRYLIC LENS
C	LITHONIA	LDN6 35/30 L06 AR LSS MVOLT	LED	120V	16	35	560	NA	6" OPEN DOWNLIGHT, SEMI-SPECULAR REFLECTOR
E	LITHONIA	ELM4L	STANDARD	120V	16	NA	NA	NA	EMERGENCY LIGHT WITH DUAL ADJUSTABLE HEADS AND EMERGENCY BATTERY PACK.
X	LITHONIA	LQM S W 3 R 120/277 EL N	LED	120V	12	5	NA	NA	SINGLE FACE ILLUMINATED EXIT SIGN WITH EMERGENCY BATTERY PACK & EXTRA FACE.
XEHO	LITHONIA	LHQW LED R HO	STANDARD	120V	5	5	NA	NA	COMBO ILLUMINATED EXIT SIGN & EMERGENCY LIGHT WITH HIGH OUTPUT BATTERY PACK
ER	LITHONIA	ELA B T QWP L0309	STANDARD	120V	5	NA	NA	NA	OUTDOOR REMOTE DUAL HEAD EMERGENCY FIXTURE POWERED FROM XEHO FIXTURE

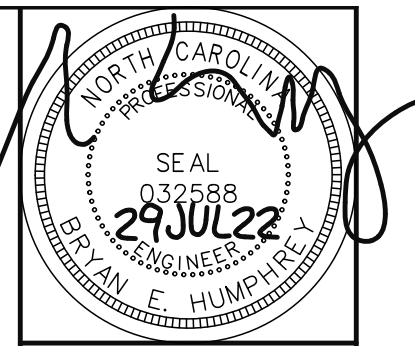
NOTE: FIXTURE QUANTITIES LISTED ARE NOT TO BE RELIED UPON FOR TAKE-OFF PURPOSES. 7043 480

LOAD	VOLT AMPS			L	T	R	H	K	M	S	WIRE	BK	R	C	T	BUS			C	T	BKR	WIRE	M	S	K	I	V	R	T	L	VOLT AMPS			LOAD
	φ A	φ B	φ C													A	B	C													φ A	φ B	φ C	
EXTERIOR LTS	1400										#12	20	1				2	20	#12											1400			LTS	
EXTERIOR LTS		1400									#12	20	3				4	20	#12											1400			LTS	
SIGN (TIMELOCK)			1200								#12	20	5				6	20	#12											1600			LTS	
SIGN (TIMELOCK)	1200										#12	20	7				8	20	#12										1600			LTS		
GATE OPERATOR		1200									#12	20	9				10	20	#12										1200			LTS		
FUTURE EXTERIOR LTS											#10	20	11				12	20	#12										360			REC		
FUTURE EXTERIOR LTS											#10	20	13				14	20	#12										360			REC		
DEHUMIDIFIER		960									#12	15	15				16	20	#12										720			REC		
DEHUMIDIFIER			960								#12	15	17				18	20	#12										1260			REC		
DEHUMIDIFIER	960										#12	15	19				20	20	#12									1140			REC			
DEHUMIDIFIER		960									#12	15	21				22	20	#12												SPARE			
MSAHUs			160								#12	15	23				24	20	#12										180			REC AT RPZ		
"	160										"	"	25				26	20	#12									1500			EWB			
MSHP-1		3015									#8	40	27				28	20	#12												SPARE			
"			3015								"	"	29				30	20	#12												SPARE			
MSHP-2		3015									#8	40	31				32	30	#10									1800			HP-1			
"			3015								"	"	33				34	"	"									1800			"			
MSHP-3			3015								#8	40	35				36	"	"										1800			"		
"			3015								"	"	37				38	45	#8									4080			AHU-1			
MSHP-4			3015								#8	40	39				40	"	"									4080			"			
"			3015								"	"	41				42	"	"									4080			"			
SPACE											"	"	43				44	"	"												SPACE			
"											"	"	45				46	"	"													"		
"											"	"	47				48	"	"													"		
"											"	"	49				50	"	"													"		
"											"	"	51				52	"	"													"		
"											"	"	53				54	"	"													"		

VOLT - AMPS PER PHASE	φ A	21630	φ B	22765	φ C	20645
AMPS PER PHASE		180		190		172
TOTAL VOLT - AMPS =	65040	AMPS =		180.67	LCL =	

NOTES: AVAILABLE FAULT CURRENT TO BE DETERMINED IN COOPERATION WITH DUKE ENERGY BEFORE PURCHASING EQUIPMENT

PROJECT:		DATE:	August 2, 2022	BY:	BEH	REV.	
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EUBANKS ENGINEERING P.C.
HUMPHREY
02 Paisley St., Suite 200
Greensboro, NC 27401
Phone 336-279-0693
Fax 336-279-3053

FIRM LICENSE: C-2272

BUILDING SYSTEMS PLANS FOR:
HARNETT SELF STORAGE
SPOUT SPRINGS, NC

JOB NO. 2278
ORIGINAL ISSUE DATE 29JUL22
DRAWN BY JMK
CHECKED BY BEH
SHEET NO. E-5 OF 5

ELECTRICAL SCHEDULES
NO SCALE

BUILDING 'B'

NEW STORAGE FACILITY FOR

HARNETT SELF STORAGE

SPOUT SPRINGS, NC

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ERSKINE-SMITH
ARCHITECTURE, P.L.L.C.
 architecture research planning
 Greensboro, N.C. 27407
 Phone (336) 855-1286 Fax 855-5602

APPENDIX "B" BUILDING CODE SUMMARY

Name of project: **BLDG. 'B' NEW FACILITY FOR HARNETT SELF STORAGE**
 Address: _____ Zip Code: _____
 Owner or Authorized Agent: **VC SMITH** Phone: **336-855-1286** E-mail: **erskinesth@bellsouth.net**
 Owned By: City/County Private State
 Code Enforcement Jurisdiction: City **SALFORD** County _____

CONTACT: **Victor J. Smith**
 DESIGNER: **ERSKINE-SMITH ARCHITECTURE, P.L.L.C.** NAME: **Victor J. Smith** LICENSE NO.: **6887** TELEPHONE NO.: **336-855-1286** E-MAIL ADDRESS: **erskinesth@bellsouth.net**

2018 NC BUILDING CODE: New Building Addition Renovation
 1st Time Interior Completion
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE, EXISTING: Prescriptive Repair Chapter 14 Alterations
 Level I Level II Level III
 Historic Property Change of Use

CONSTRUCTION (date): _____ ORIGINAL OCCUPANCY (Ch. 3): _____
 RENOVATED (date): _____ PROPOSED OCCUPANCY (Ch. 3): **STORAGE**
 RISK CATEGORY (Table 1604.3): I II III IV

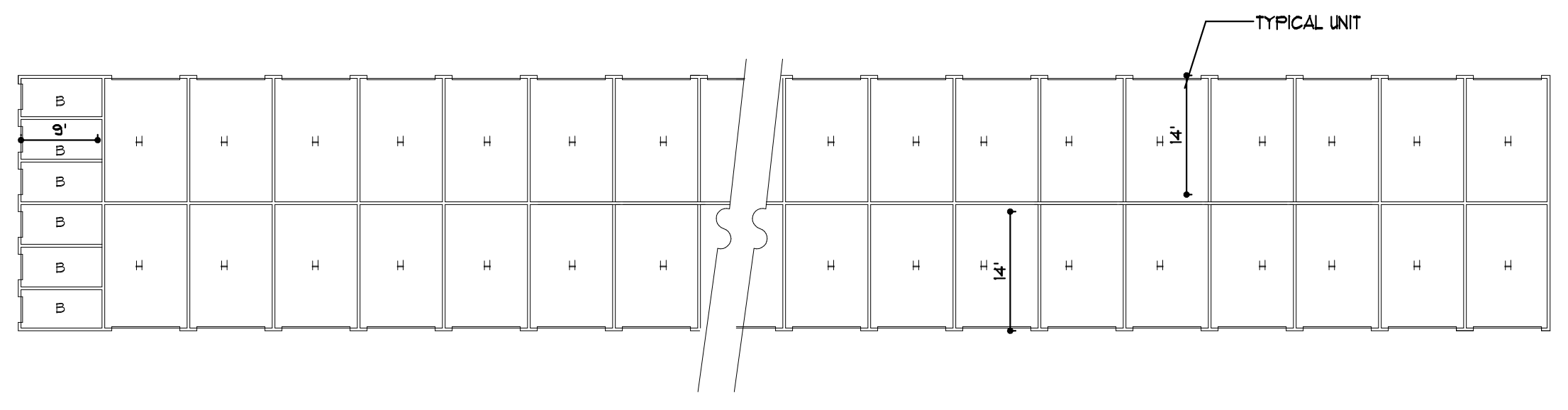
BASIC BUILDING DATA
 Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B
 Fire Alarm: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
 Standpipes: No Yes Class: I II III Wet Dry
 Fire District: No Yes Flood Hazard Area: No Yes
 Special Inspections Required: No YES YES (Contact the local inspection jurisdiction for additional procedures and requirements)
 Manual Fire Alarm System with Notification: No Yes

Gross Building Area:
 FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL
 4th Floor _____
 3rd Floor _____
 2nd Floor _____
 Mezzanine _____
 1st Floor **8,100 sq**
 Basement _____
 TOTAL **8,100 sq**

Primary Occupancy Classification(s): A-1 A-2 A-3 A-4 A-5
 Assembly A-1 A-2 A-3 A-4 A-5
 Business A-1 A-2 A-3 A-4 A-5
 Educational A-1 A-2 A-3 A-4 A-5
 Factory F-1 Moderate F-2 Low F-3 High Hazard
 High Hazard H-1 Condition H-2 Condition H-2 Deftagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 Condition I-2 Condition I-3 Condition I-4
 Mercantile Residential R-1 R-2 R-3 R-4
 Storage: S-1 Moderate S-2 Low High Piled
 Utility and Miscellaneous Open Enclosed Repair Garage

Accessory Occupancy Classification(s): **NA**
 Special Uses (Chapter 4 - List Code Sections): **NA**
 Special Provisions (Chapter 3 - List Code Sections): **NA**
 Mixed Occupancy: No Yes Separation: Hr. Exception: _____

■ Non-separated use (502.3)
 The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Mixed Occupancy (502.4) - See below for area calculations
 For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by allowable floor area for each use shall not exceed 1.
 Actual Area of Occupancy A * Actual Area of Occupancy E ≤ 1
 Allowable Area of Occupancy A * Allowable Area of Occupancy E ≤ 100



LIFE SAFETY & OCCUPANCY PLAN
 1/16" = 1'-0"
OCCUPANCY STORAGE 8,100 SF / 500 = 162

(1) Frontage area increases from Section 506.2 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
 b. Total Building Perimeter = _____ (P)
 c. Ratio (F/P) = _____ (R/P)
 d. W = Minimum width of public way = _____ (W)
 e. Percent of frontage increase = $100 \cdot (R/P - 0.25) \times W/30 =$ _____ %

(2) Unlimited area applicable under conditions of Section 507
 (3) Maximum Building Area = total number of stories in the building x D (506.2)
 (4) The maximum area of open parking garages must comply with 406.5.4. The maximum area of air traffic control towers must comply with 403.3.
 (5) Frontage increase is based on the unspinklered area value in Table 506.2

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR FRONTAGE INCREASE (1.4)	(D) ALLOWABLE AREA PER STORY (QUALIFIED 1.4)

ALLOWABLE HEIGHT

Building Height in Feet (Table 504.3)	Allowable	Show on plans	Code Reference
Building Height in Stories (Table 504.4)	2		
Provide code reference if the "Show on Plans" quantity is not based on Table 504.3 or 504.4.			

NS = BUILDING NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING PROVIDED	REDUCTION	DETAIL AND SHEET #	DESIGN FOR RATED ASSEMBLY	DESIGN FOR RATED PENETRATION	DESIGN FOR RATED JOINTS
Structural Framing, including columns, girders, trusses	0	0	0				
Bearing walls							
Exterior							
NORTHWEST	6'-6"	0	0				
NORTHEAST	6'-6"	0	0				
SOUTHWEST WALL (ASSUMED PROPERTY NO.)	15'-0"	0	0				
SOUTHWEST WALL	3'-6"	0	0				
Interior							
Nonbearing walls and partitions							
Exterior walls							
North	N/A	0	0				
East	N/A	0	0				
West	N/A	0	0				
South	N/A	0	0				
Interior walls & partitions							
Floor construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Roof							
Roof construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Roof							
Shafts Enclosures - Elevators	N/A						
Shafts Enclosures - Other	N/A						
Corridor Separation	N/A						
Occupancy/Fire Barrier Separation	N/A						
Party/Fire Wall Separation	N/A						
Smoke Barrier Separation	N/A						
Tenant / Dwelling Unit/ Sleeping Unit Separation	N/A						
Incidental Use Separation	N/A						

PERCENTAGE OF WALL OPENINGS CALCULATION

Fire Separation Distance (feet) / Non-Property Line	Degree of Opening Protection (Table 705.6)	Allowable Area (%)	Actual Shown on Plan (%)
NORTH 35'	UNPROTECTED, NONSPINKLERED	NO LIMIT	0
WEST ASSUMED PROPERTY LINE	UNPROTECTED, NONSPINKLERED	NO LIMIT PER TABLE 705.6.1 EX. 2	64%
SOUTH 17.5'	UNPROTECTED, NONSPINKLERED	NO LIMIT PER TABLE 705.6.1 EX. 2	58%
EAST ASSUMED PROPERTY LINE	UNPROTECTED, NONSPINKLERED	NO LIMIT PER TABLE 705.6.1 EX. 2	54%

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet - COVER SHEET

- Fire and/or smoke rated wall locations (Chapter 7)
- Assumed and real property line locations (if not on site plan)
- Exterior wall opening areas with respect to distances to assumed property lines (705.6)
- Occupancy Use for each area as it relates to occupancy load calculation (Table 1004.12)
- Occupant loads for each area
- Exit access travel distance (1017)
- Common path of travel distance (Table 1006.2.1 & 1006.3.2(1))
- Actual occupant load for each exit door
- Clear exit width for each exit door
- Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1009.3)
- Actual occupant load for each exit door
- A separate schematic plan indicating where fire rated floor ceiling and/or roof structure is provided for purposes of occupancy separation
- Location of doors with panic hardware (1010.10)
- Location of doors with delayed egress locks and the amount of delay (1010.11.1)
- Location of doors with electromagnetic egress locks (1010.13.5)
- Location of doors equipped with hold-open devices
- Location of emergency escape windows (1020)
- The square footage of each fire area (1021)
- The square footage of each smoke compartment for Occupancy Classification 1-2 (401B)
- Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DUELLING UNITS (Section 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE 'A' UNITS REQUIRED	TYPE 'A' UNITS PROVIDED	TYPE 'B' UNITS REQUIRED	TYPE 'B' UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (Section 1106)

LOT OR PARKING AREAS	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED		TOTAL NO. ACCESSIBLE UNITS PROVIDED
	REQUIRED	PROVIDED	REGULAR UNITS BY ACCESSIBLE	BY ACCESSIBLE	
TOTAL					

PLUMBING FIXTURE REQUIREMENTS (Table 2902.1)

USE	WATER CLOSETS			URINALS			LAVATORIES			SHOWERS			DRINKING FOUNTAINS		
	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX	TOILET	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE
OUTSIDE EXISTING															
OUTSIDE NEW															
INDSIDE EXISTING															
INDSIDE NEW															
TOTAL															

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OGC, DPI, DPH, ICC, etc., describe below)

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost standard reference design vs annual energy cost for the proposed design.

Climate Zone 3 4 5

Method of Compliance
 Prescriptive (Energy Code)
 Performance (Energy Code)
 Prescriptive (ASHRAE 90.1)
 Performance (ASHRAE 90.1)

THERMAL ENVELOPE
Roof/Ceiling Assembly (each assembly):
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of total assembly: _____
 Skylights in each assembly:
 U-Value of skylight: _____
 total square footage of skylights in each assembly: _____

Exterior Walls (each assembly):
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of total assembly: _____
 Openings in each assembly:
 Description of opening: _____
 U-Value of total assembly: _____
 Door R-Values: _____

Walls below grade (each assembly):
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirement: _____
 slab rested _____

Floors over unconditioned space (each assembly):
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors slab on grade
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirement: _____
 slab rested _____

STRUCTURAL DESIGN

DESIGN LOADS:
 Importance Factors: Snow (Is) _____ Seismic (Is) _____
 Live Loads: Roof _____ psf
 Mezzanine _____ psf
 Floor _____ psf
 Ground Snow Load: _____ psf
 Wind Loads: Ultimate Wind Speed (ASCE-7) _____
 Exposure Category _____

SEISMIC DESIGN CATEGORY: A B C D

Provide the following Seismic Design Parameters:
 Risk Category (Table 1604.5) I II III IV
 Spectral Response Acceleration S_a (ASCE-7) A B C D E F
 Site Classification (ASCE-7) F1 F2 F3 F4 F5 F6

Basic Structural Design (ASCE-7) Prescriptive Historical Data

Analysis Procedure Simplified Equivalent Lateral Force Dynamic
 Architectural, Mechanical, components anchored: Yes No

LATERAL DESIGN CONTROL: Earthquake (Lower Level - Bldg. A & B) Wind (Upper Level - Bldg. A & B and C & D)

SOIL BEARING CAPACITIES:
 Field Test (provide copy of test report) _____ psf
 File size, type, and capacity _____

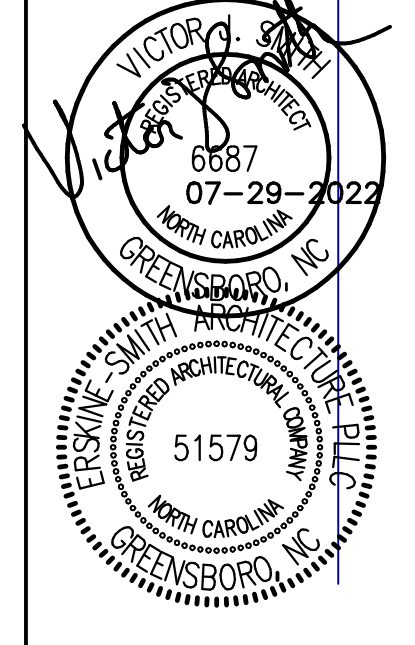
UNIT MIX - TOTAL 4 BLDG.

SIZE	MARK	BUILDING TYPE				TOTAL	ACCESSIBLE UNITS
		A	B	C	J		
5'x5'	A	4	-	-	-	66	BLDG. A
5'x10'	B	13	6	8	-	81	
10'x10'	G	105	8	-	-	113	
10'x15'	H	24	52	-	-	183	
10'x20'	I	16	-	60	-	88	BLDG. B
10'x30'	K	-	-	26	44	70	
12'x30'	Z	-	-	30	30	60	
TOTAL		162	58	68	44	332	13

UNIT CALCULATIONS

CODE REQUIREMENTS	PERCENTAGE	# OF UNITS	# OF ADA UNITS REQ.
5% OF THE FIRST 200 UNITS	5%	200	10
2% OF REMAINING UNITS	2%	132	2.64
TOTAL		332	3

NOTE: ALL ACCESSIBLE STORAGE UNITS DOORS SHALL HAVE A MAX. 5 LB. FULF.



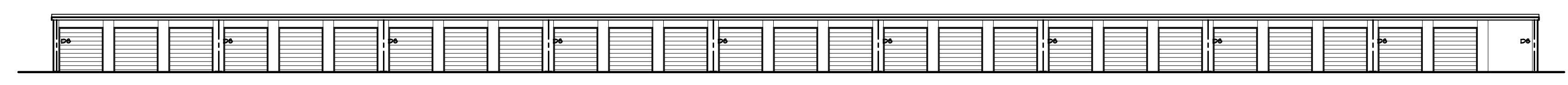
NEW STORAGE FACILITY FOR BLDG. 'B'
HARNETT SELF STORAGE
 SPOUT SPRINGS, NC

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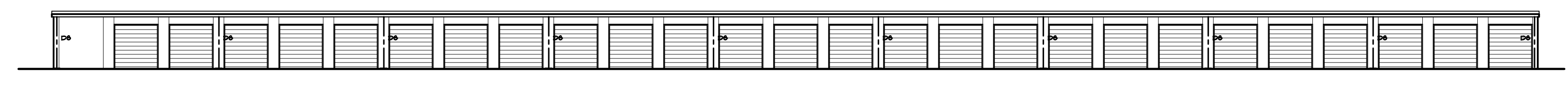
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COVER
 BLDG. B

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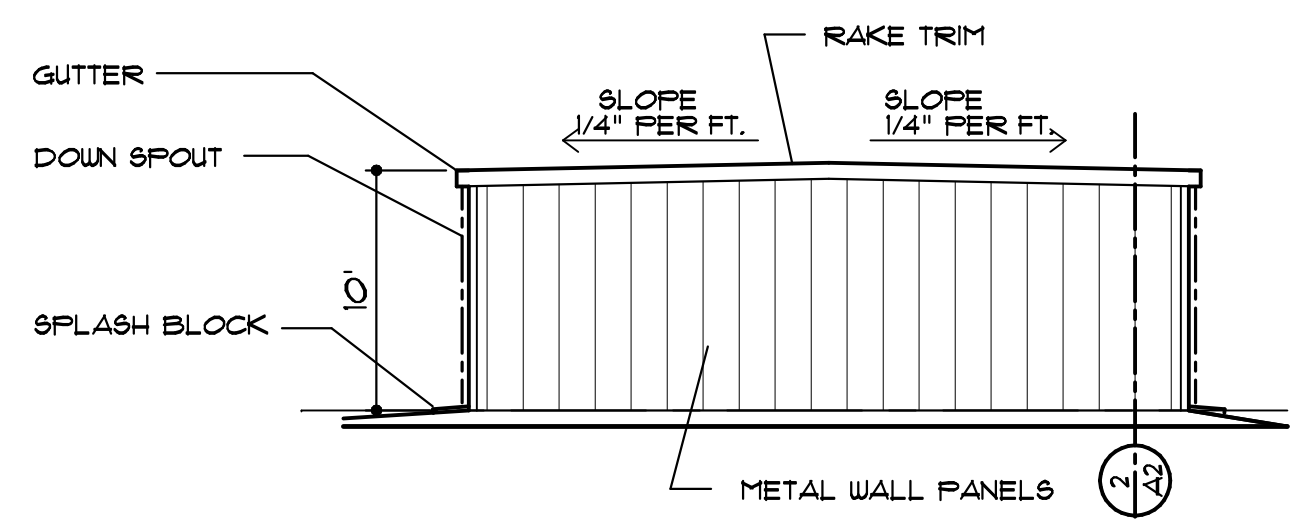
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 architecture research planning
 3406-A West Wendover Avenue
 Greensboro, N.C. 27407
 Phone (336) 855-1286 Fax 855-5602



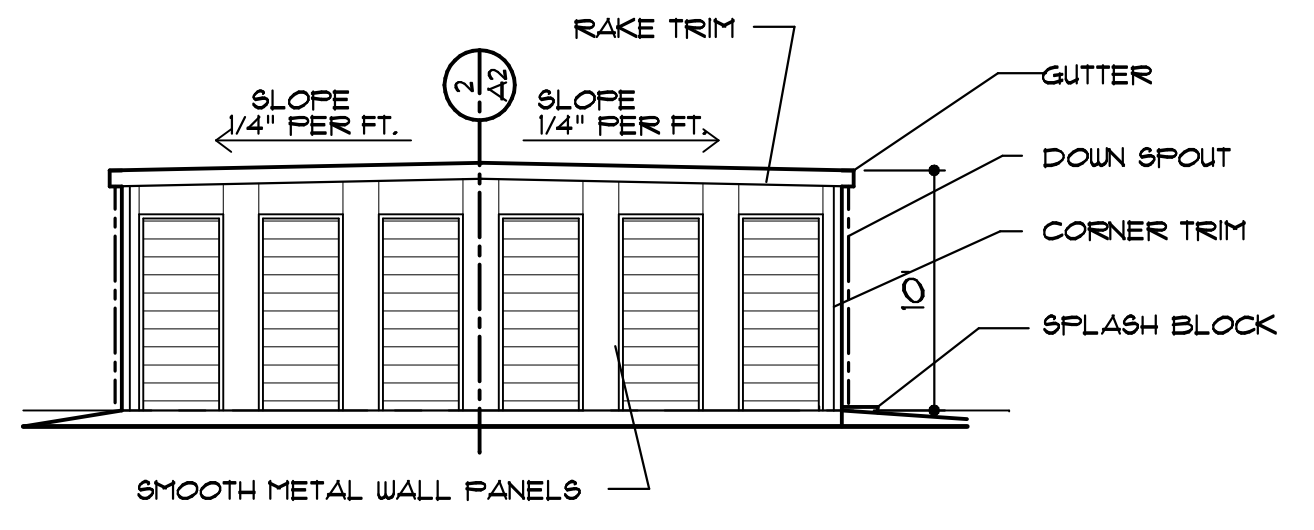
WEST ELEVATION
 1/16" = 1'-0"



EAST ELEVATION
 1/16" = 1'-0"



NORTH ELEVATION
 1/8" = 1'-0"



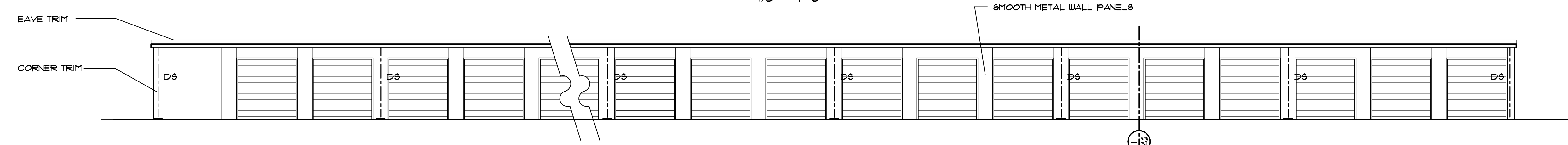
SOUTH ELEVATION
 1/8" = 1'-0"

ALL RAIN LEADER TO HAVE SPLASH BLOCKS

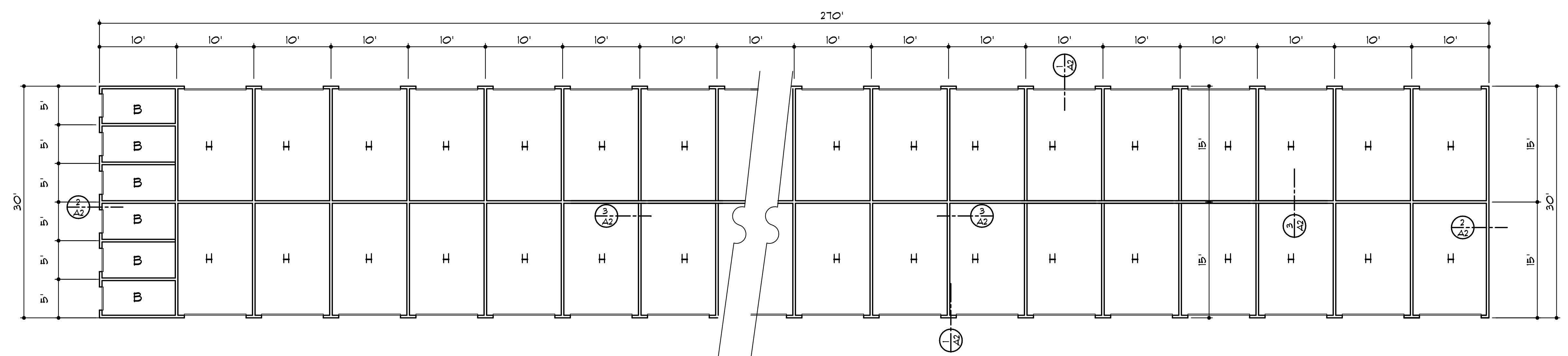
DOWN SPOUTS & GUTTERS
 ROOF AREA = 13,500 SF
 GUTTER LENGTH = 450' LF
 GUTTER SIZE = 5" w x 4" d
 # DOWN SPOUT (3" x 4") = 16
 AREA PER DOWN SPOUT = 844 sf



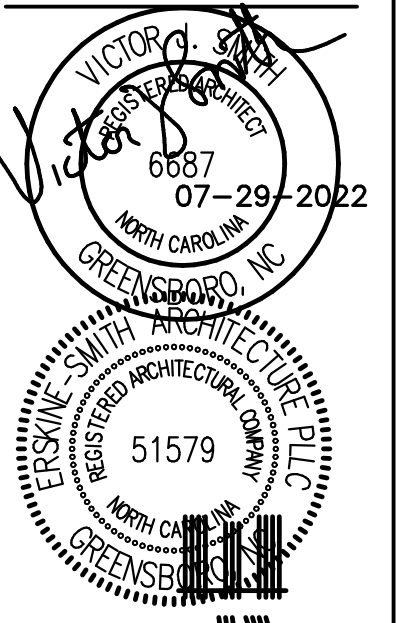
PARTIAL WEST ELEVATION
 1/8" = 1'-0"



PARTIAL EAST ELEVATION
 1/8" = 1'-0"



FLOOR PLAN
 1/8" = 1'-0"



**NEW STORAGE FACILITY FOR
 HARNETT SELF STORAGE
 SPOUT SPRINGS, NC**

BLDG. B 8,100 SF

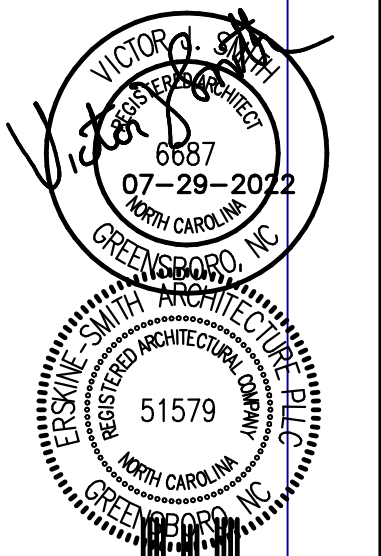
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 FILE :
 SHEET NUMBER :

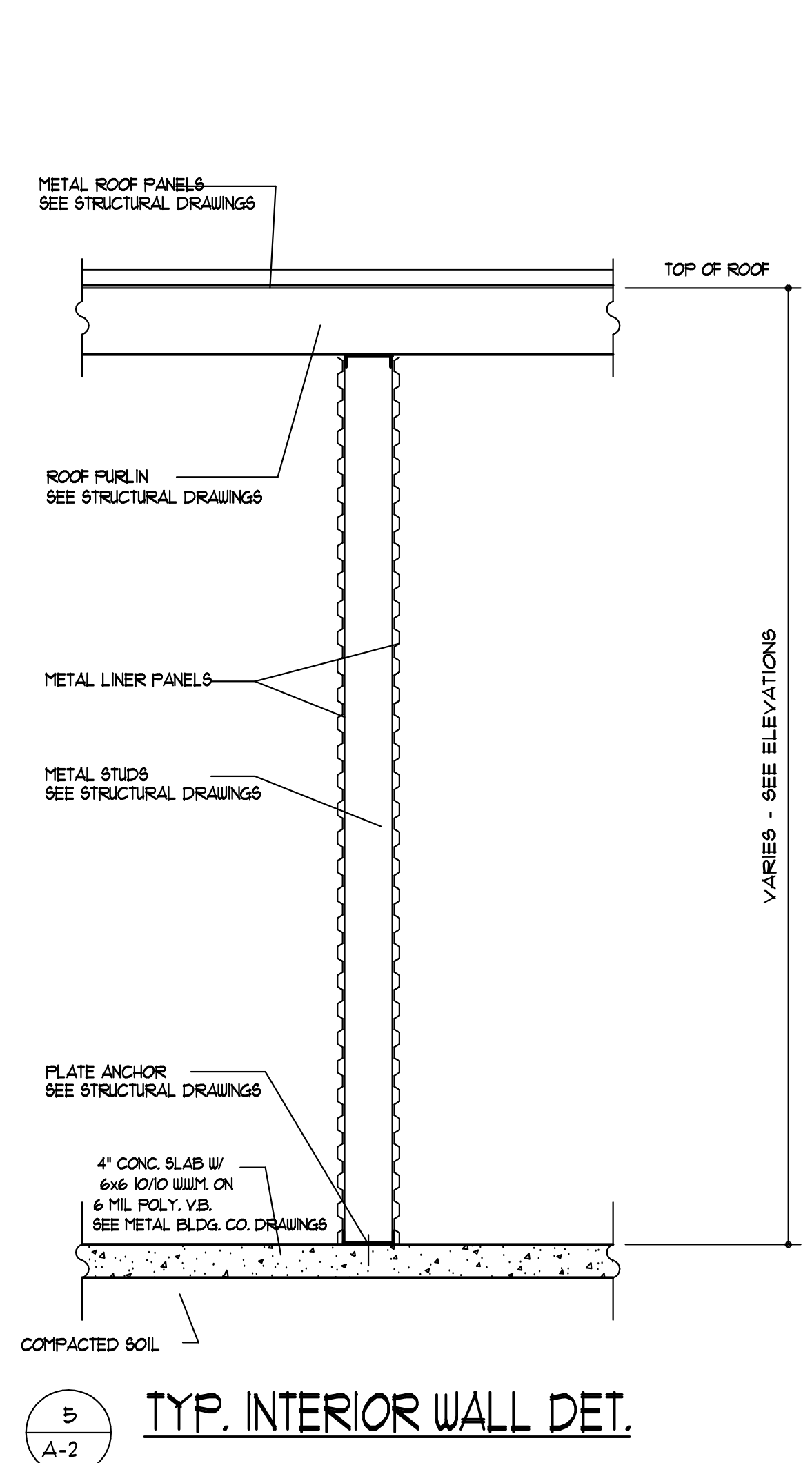
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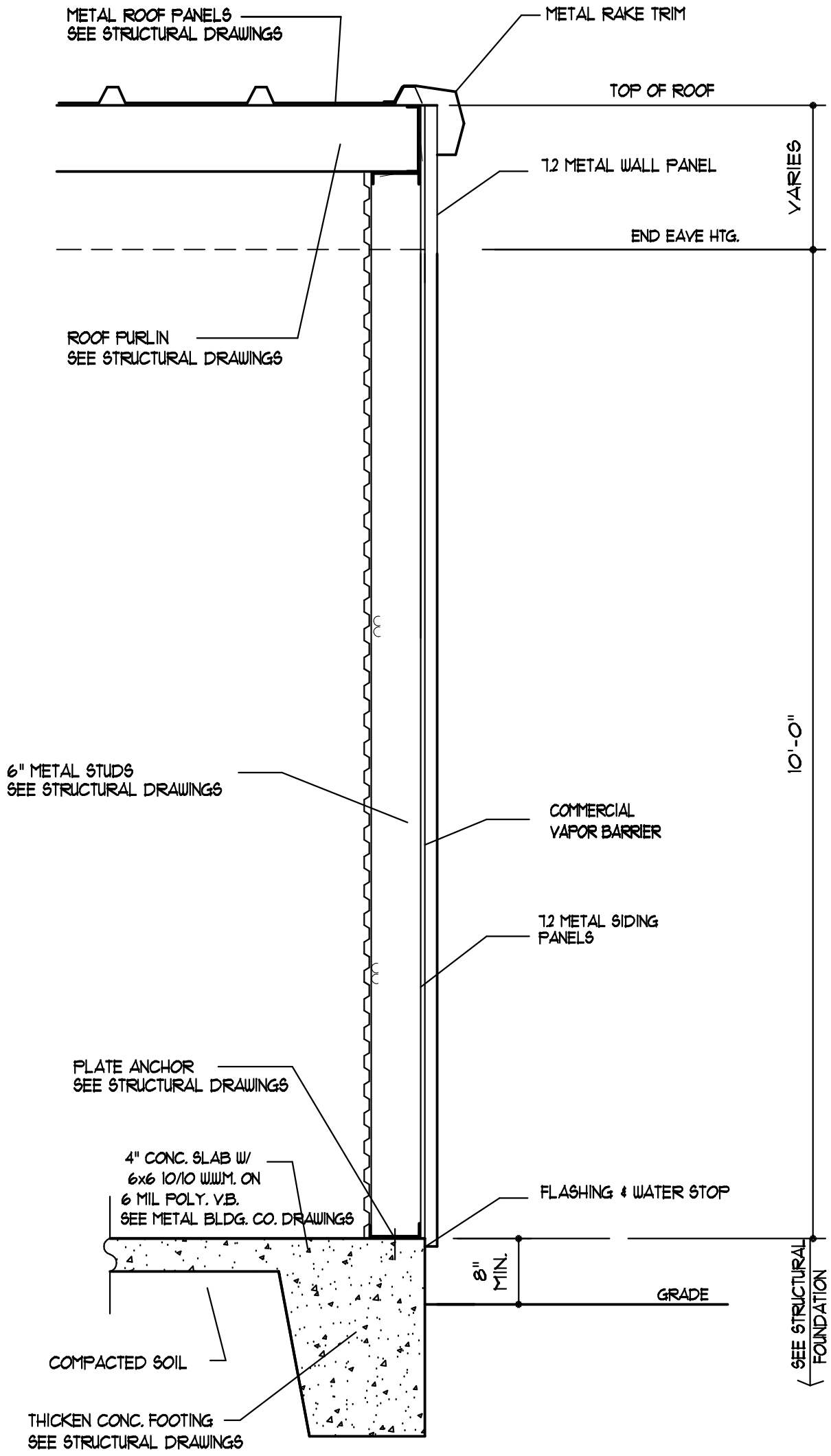
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 architecture research planning
 3406-A West Wendover Avenue
 Greensboro, N.C. 27407
 Phone (336) 855-1286 Fax 855-5602



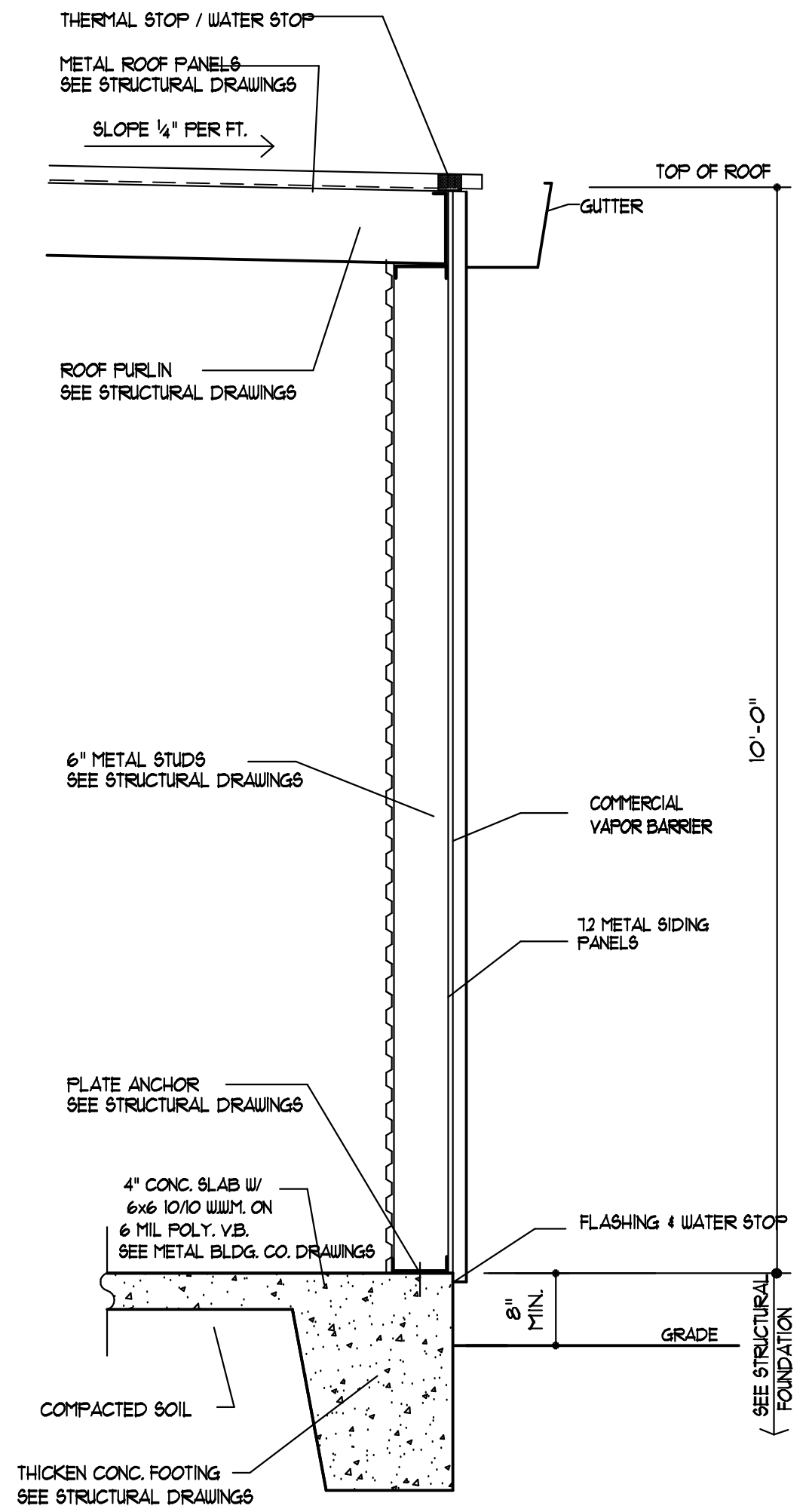
NEW STORAGE FACILITY FOR BLDG. 'B'
HARNETT SELF STORAGE
 SPOUT SPRINGS, NC



5
A-2 TYP. INTERIOR WALL DET.



2
A-2 TYP. EXTERIOR END WALL DET.



1
A-2 TYP. EXTERIOR WALL DET.

NOTE: DO NOT SCALE DRAWINGS
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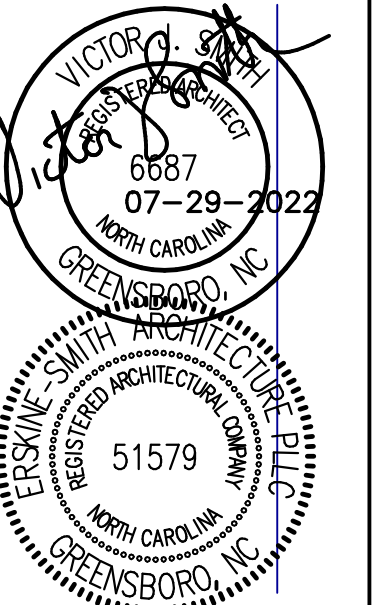
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SHEET NUMBER :
A-2
 BLDG. 'B'

BUILDING 'C' NEW STORAGE FACILITY FOR HARNETT SELF STORAGE SPOUT SPRINGS, NC

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Phone (336) 855-1266 Fax 855-5602



APPENDIX "B" BUILDING CODE SUMMARY

Name of project: BLDG. 'C' NEW FACILITY FOR HARNETT SELF STORAGE
Address: _____ Zip Code: _____
Owner or Authorized Agent: VC SMITH Phone: 336-855-1266 E-mail: erskinesmith@earthlink.net
City/County: Spout Springs, NC State: NC
Code Enforcement Jurisdiction: City: SAFFORD County: _____

CONTACT: Victor J. Smith
DESIGNER: ERSKINE-SMITH ARCHITECTURE, P.L.L.C. Victor J. Smith License No. 51579 Telephone No. 336-855-1266 E-mail: erskinesmith@earthlink.net

2018 NC BUILDING CODE: New Building Addition Renovation
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE, EXISTING: Prescriptive Repair Chapter 14 Alterations Level I Level II Level III
 Historic Property Change of Use

CONSTRUCTION (date): _____ ORIGINAL OCCUPANCY (Ch. 3): _____
RENOVATED (date): _____ PROPOSED OCCUPANCY (Ch. 3): BLDG STORAGE

RISK CATEGORY (Table 1604.3):
Proposed I II III IV

BASIC BUILDING DATA
Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class: I II III Wet Dry
Fire District: No Yes Flood Hazard Area: No Yes
Special Inspections Required: No Yes (Contact the local inspection jurisdiction for additional procedures and requirements)
Manual Fire Alarm System with Notification: No Yes

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine	AREA 'A'	AREA 'B'	
1st Floor	9,200 sf	3,200 sf	
Basement			
TOTAL	9,200 sf	12,400 sf	12,400 sf TOTAL

Primary Occupancy Classification: A-1 A-2 A-3 A-4 A-5
Assembly A-1 A-2
Business A-3
Educational A-4
Factory F-1 Moderate F-2 Low
High Hazard H-1 Delicate H-2 Degradable H-3 Combust H-4 Health H-5 HPM
Institutional I-1 Condition I-2 I-3 Condition I-4
Mercantile R-1 R-2 R-3 R-4
Residential S-1 Moderate S-2 Low
Storage Open Enclosed Repair Garage
Utility and Miscellaneous

Accessory Occupancy Classification: NA
Special Uses (Chapter 4 - List Code Sections): NA
Special Provisions (Chapter 5 - List Code Sections): NA
Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____
 Non-separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Mixed Occupancy (508.4) - See below for area calculations. For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by allowable floor area for each use shall not exceed 1.
Actual Area of Occupancy A * Actual Area of Occupancy E ≤ 1
Allowable Area of Occupancy A * Allowable Area of Occupancy E ≤ 100

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA PER INCREASE 1.4	(D) ALLOWABLE AREA PER STORY (QUALIFIED 1.4)

(1) Frontage area increases from Section 506.2 are computed as:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
b. Total Building Perimeter = _____ (P)
c. Ratio (F/P) = _____ (F/P)
d. W = Minimum width of public way = _____ (W)
e. Percent of frontage increase = $(F/P) \times 100 (F/P - 0.25) \times W/30 =$ _____ %
(2) Unlimited area applicable under conditions of Section 507
(3) Maximum Building Area = total number of stories in the building x D (506.2)
(4) The maximum area of open parking garages must comply with 406.5.4. The maximum area of air traffic control towers must comply with 403.3
(5) Frontage increase is based on the unspinklered area value in Table 506.2

ALLOWABLE HEIGHT
Building Height in Feet (Table 504.3) Allowable: 55 FT. Show on plans: 2' Code Reference: 1
Building Height in Stories (Table 504.4): 2
Provide code reference if the "shown on Plans" quantity is not based on Table 504.3 or 504.4.

NS = BUILDING NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION (FEET)	RATING PROVIDED	DETAIL AND SHEET #	DESIGN FOR RATED ASSEMBLY	DESIGN FOR RATED PENETRATION	DESIGN FOR RATED JOINTS
Structural Framing, including columns, girders, trusses		0				
Bearing walls						
Exterior						
NORTHWEST	6'-6"	0				
SOUTHWEST WALL (ASSUMED PROPERTY LINE)	15'	0				
SOUTHWEST WALL	3'-6"	0				
Interior						
Nonbearing walls and partitions						
Exterior walls						
North	N/A	0				
East	N/A	0				
West	N/A	0				
South	N/A	0				
Interior walls & partitions						
Floor construction including supporting beams and joists		0				
Floor Ceiling Assembly		0				
Columns supporting roof		0				
Roof construction including supporting beams and joists		0				
Floor Ceiling Assembly		0				
Columns supporting roof		N/A				
Shafts Enclosures - Elev		N/A				
Shafts Enclosures - Other		N/A				
Corridor Separation		N/A				
Occupancy/Fire Barrier Separation		N/A				
Party/Fire Wall Separation		2-hr	2-hr	U-419	3/A-3	
Smoke Barrier Separation		N/A				
Tenant / Dwelling Unit/ Sleeping Unit Separation		N/A				
Incidental Use Separation		N/A				

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENINGS CALCULATION

Fire Separation Distance (feet) / Non Property Line	Degree of Opening Protection (Table 705.8)	Allowable Area (%)	Actual Shown on Plan (%)
NORTH 35'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 EX. 2	0
WEST ASSUMED PROPERTY LINE 14.5'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 EX. 2	64%
SOUTH 17.5'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 EX. 2	58%
EAST ASSUMED PROPERTY LINE 14.5'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 EX. 2	64%

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet # _____ COVER SHEET

- Fire and/or smoke rated wall locations (Chapter 7)
- Assumed and real property line locations (if not on site plan)
- Exterior wall opening areas with respect to distances to assumed property lines (705.8)
- Occupancy use for each area as it relates to occupancy load calculation (Table 1004.12)
- Occupant loads for each area
- Exit access travel distance (107)
- Common path of travel distance (Table 1006.2.1 & 1006.32(1))
- Door and lintel lengths (1000.4)
- Clear exit width for each exit door
- Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1009.3)
- Actual occupant load for each exit door
- A separate schematic plan indicating where fire rated floor ceiling and/or roof structure is provided for purposes of occupancy separation
- Location of doors with panic hardware (1010.10)
- Location of doors with delayed egress locks and the amount of delay (1010.11.1)
- Location of doors with electromagnetic egress locks (1010.13)
- Location for doors equipped with hold-open devices
- Location of emergency escape windows (1020)
- The square footage of each fire area (1021)
- The square footage of each smoke compartment for Occupancy Classification 1-2 (407B)
- Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DUELLING UNITS (Section 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE 'A' UNITS PROVIDED	TYPE 'B' UNITS PROVIDED	TYPE 'C' UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (Section 1106)

LOT OR PARKING AREAS	TOTAL # OF PARKING SPACES REQUIRED	* ACCESSIBLE SPACES PROVIDED		TOTAL NO. ACCESSIBLE SPACES PROVIDED
		REGULAR UNITS BY ACCESSIBLE	VAN SPACES WITH BY ACCESSIBLE	

PLUMBING FIXTURE REQUIREMENTS (Table 2902.1)

USE	WATER CLOSETS			URINALS			LAVATORIES			SHOWERS			DRINKING FOUNTAINS	
	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX	TUBS	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE
OUTSIDE														
INDSIDE														
TOTAL														

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OGC, DPI, DPH, ICC, etc., describe below)

ENERGY REQUIREMENTS
The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost standard reference design vs annual energy cost for the proposed design.

Climate Zone: 3 4 5

Method of Compliance
 Prescriptive (Energy Code)
 Performance (Energy Code)
 Prescriptive (ASHRAE 90.1)
 Performance (ASHRAE 90.1)

THERMAL ENVELOPE
Roof/Ceiling Assembly (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of total assembly: _____
Skylights in each assembly: _____
U-Value of skylight: _____
Total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of total assembly: _____
Openings in each assembly: _____
Door R-Value: _____
Door U-Value: _____

Walls below grade (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of total assembly: _____
Horizontal/vertical requirement: _____
slab rested

Floors over unconditioned space (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of total assembly: _____

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of total assembly: _____
Horizontal/vertical requirement: _____
slab rested

STRUCTURAL DESIGN
DESIGN LOADS:
Importance Factors: Snow (Is) _____ Seismic (Ie) _____
Live Loads: Roof _____ psf Mezzanine _____ psf Floor _____ psf
Ground Snow Load: _____ psf
Wind Loads: Ultimate Wind Speed _____ (ASCE-7) Exposure Category _____

SEISMIC DESIGN CATEGORY A B C D
Provide the following Seismic Design Category:
Risk Category (Table 1604.5) I II III IV
Spectral Response Acceleration Coefficient (Sa) A B C D E F
Site Classification (Table 1604.6) F1 F2 F3 F4 F5
Basic structural analysis (Table 1604.7) Field Test Presumptive Historical Data
Basic structural analysis (Table 1604.7) Dual w/ Special Moment Frame Dual w/ Intermediate RC or Special Steel Inverted Pendulum

Analyze Procedure: Simplified Equivalent Lateral Force Dynamic
Architectural, Mechanical, components anchored: Yes No

LATERAL DESIGN CONTROL: Earthquake (Lower Level - Bldg. A & B) Wind (Upper Level - Bldg. A & B and C & D)

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) _____ psf
File size, type, and capacity _____

UNIT MIX - TOTAL 4 BLDG.

SIZE	MARK	BUILDING TYPE				TOTAL	ACCESSIBLE UNITS
		A	B	C	J		
5'x5'	A	4	-	-	-	66	
5'x10'	B	13	6	8	-	81	BLDG. A
10'x10'	G	105	-	-	-	81	BLDG. B
10'x15'	H	24	52	-	-	183	BLDG. A & B
10'x20'	I	16	-	60	-	88	BLDG. B
10'x30'	K	-	-	-	26	44	BLDG. J
12'x30'	Z	-	-	-	15	30	BLDG. J
TOTAL		162	58	68	44	332	

NET SQ. FT. PER BLDG.: 18,284 8,100 12,400 13,500 52,284 SQ. FT. NET TOTAL

GROSS SQ. FT. PER BLDG.: 23,508 8,100 12,400 13,500 57,508 SQ. FT. GROSS TOTAL

UNIT CALCULATIONS

CODE REQUIREMENTS	PERCENTAGE	# OF UNITS	# OF ADA UNITS REQ.
5% OF THE FIRST 200 UNITS	5%	200	10
2% OF REMAINING UNITS	2%	132	2.64
TOTAL		332	3

NOTE: ALL ACCESSIBLE STORAGE UNITS DOORS SHALL HAVE A MAX. 5 LB. FULL



LIFE SAFETY & OCCUPANCY PLAN
1/16" = 1'-0"
OCCUPANCY STORAGE 12,400 SF / 500 = 25

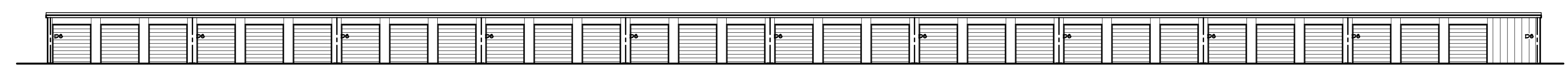
NEW STORAGE FACILITY FOR BLDG. 'C'
HARNETT SELF STORAGE
SPOUT SPRINGS, NC

REVISIONS	BY

DRAWN BY: VJS
CHECKED BY: RHE
DATE: 07-29-2022
SCALE: 1/16" = 1'-0"
FILE:
SHEET NUMBER:
COVER
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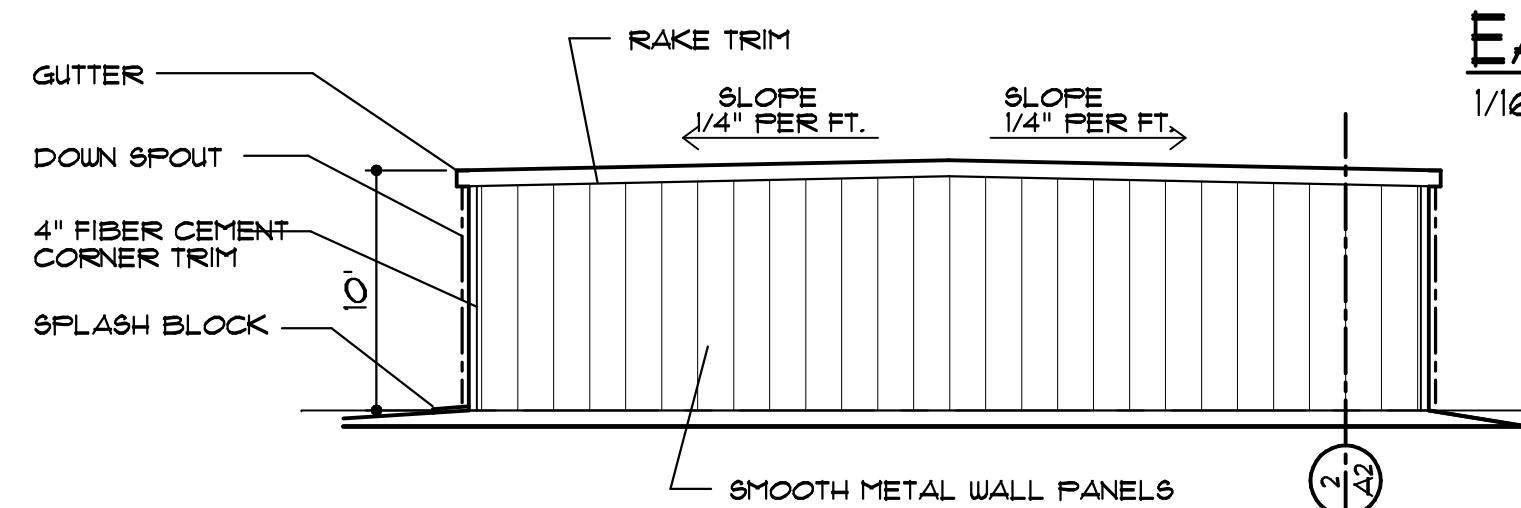
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 Phone (336) 855-1286 Fax 855-5602



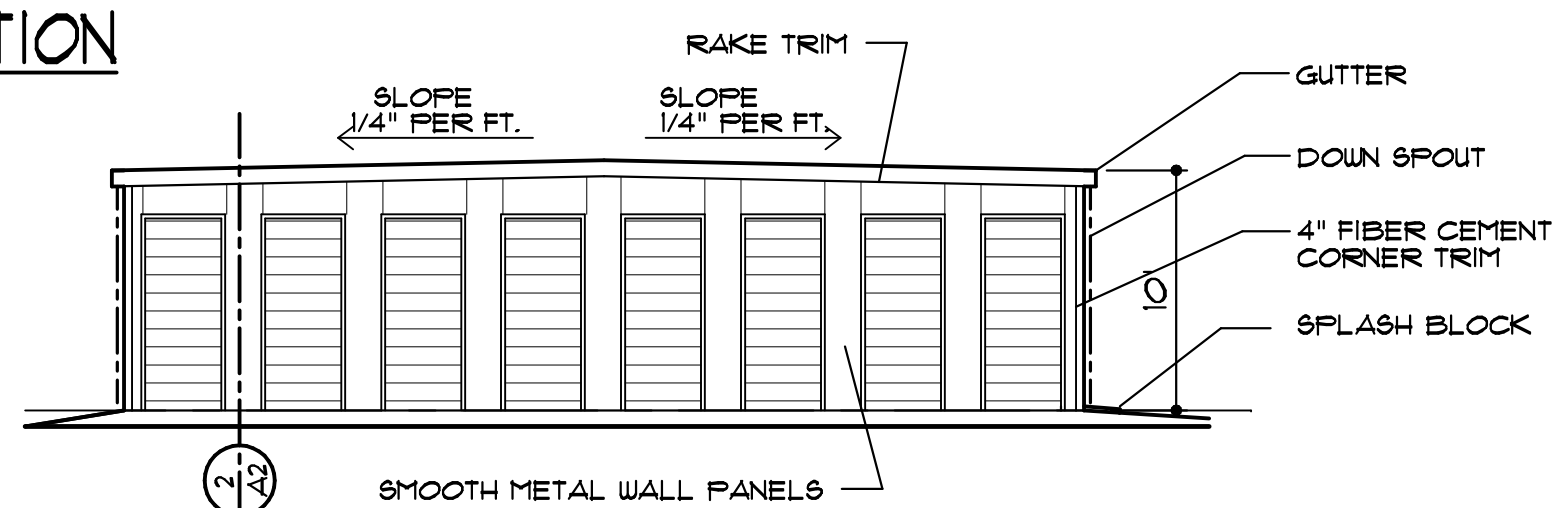
WEST ELEVATION
 1/16" = 1'-0"



EAST ELEVATION
 1/16" = 1'-0"



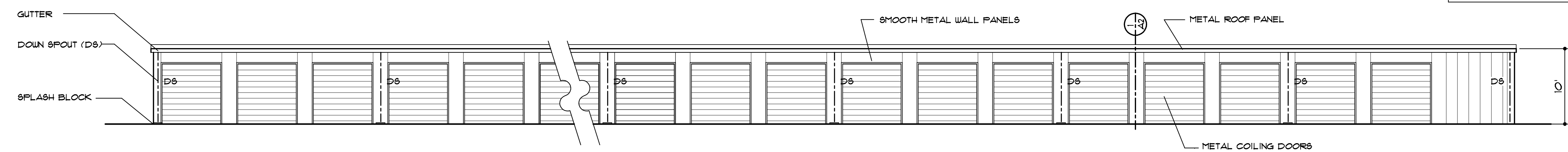
NORTH ELEVATION
 1/8" = 1'-0"



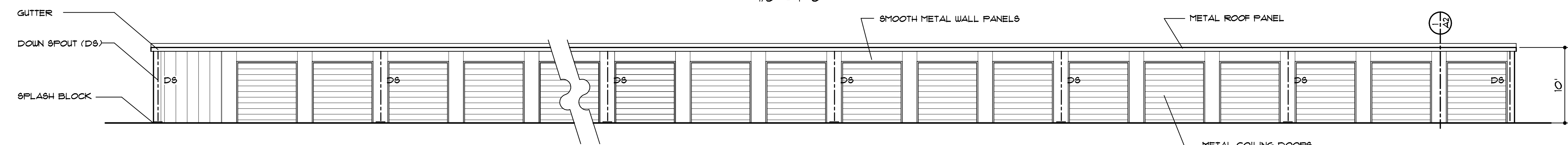
SOUTH ELEVATION
 1/8" = 1'-0"

ALL RAIN LEADER TO HAVE SPLASH BLOCKS

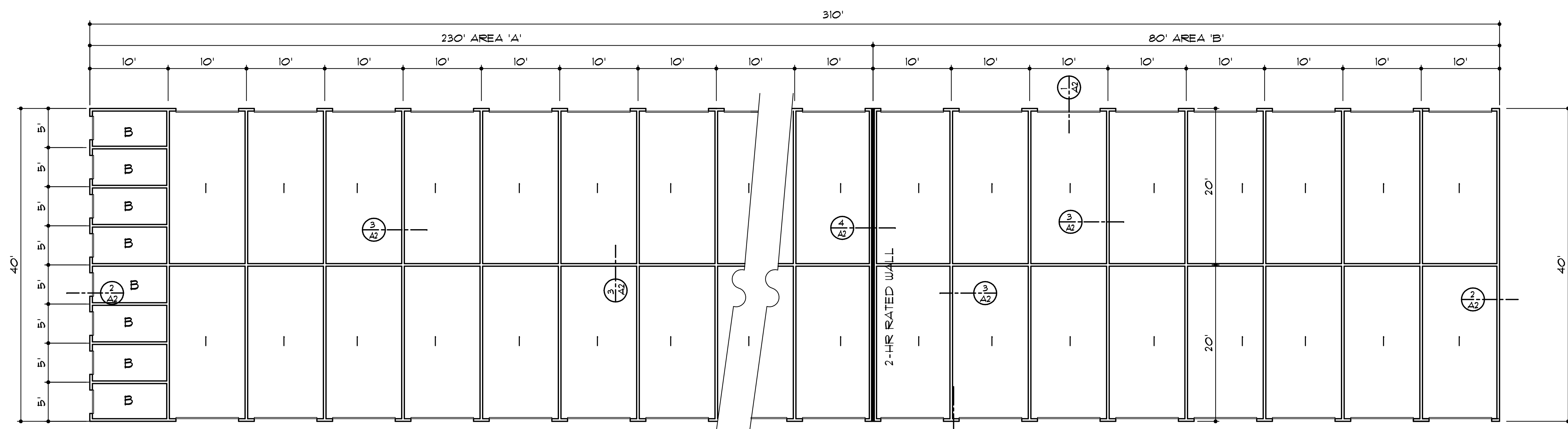
DOWN SPOUTS & GUTTERS
 ROOF AREA = 13,500 SF
 GUTTER LENGTH = 450' LF
 GUTTER SIZE = 5" w x 4" d
 # DOWN SPOUT (3" x 4") = 16
 AREA PER DOWN SPOUT = 844 sf



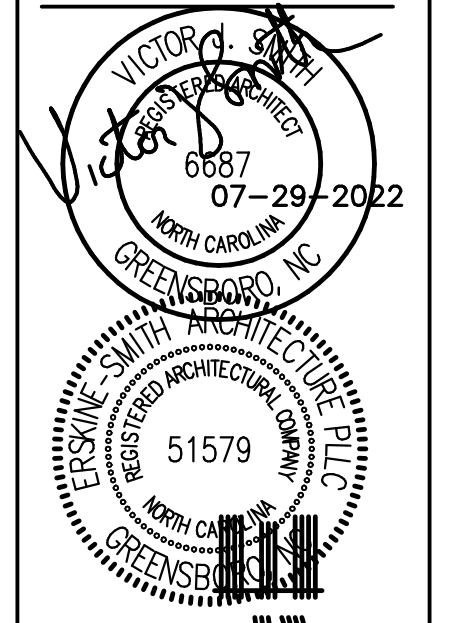
PARTIAL WEST ELEVATION
 1/8" = 1'-0"



PARTIAL EAST ELEVATION
 1/8" = 1'-0"



FLOOR PLAN
 1/8" = 1'-0"



NEW STORAGE FACILITY FOR HARNETT SELF STORAGE
 SPOUT SPRINGS, NC

BLDG. C 12,400. C

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DRAWN BY : VJS
 CHECKED BY : VJS
 DATE : 07-29-2022
 SCALE : AS SHOWN
 FILE :
 SHEET NUMBER :

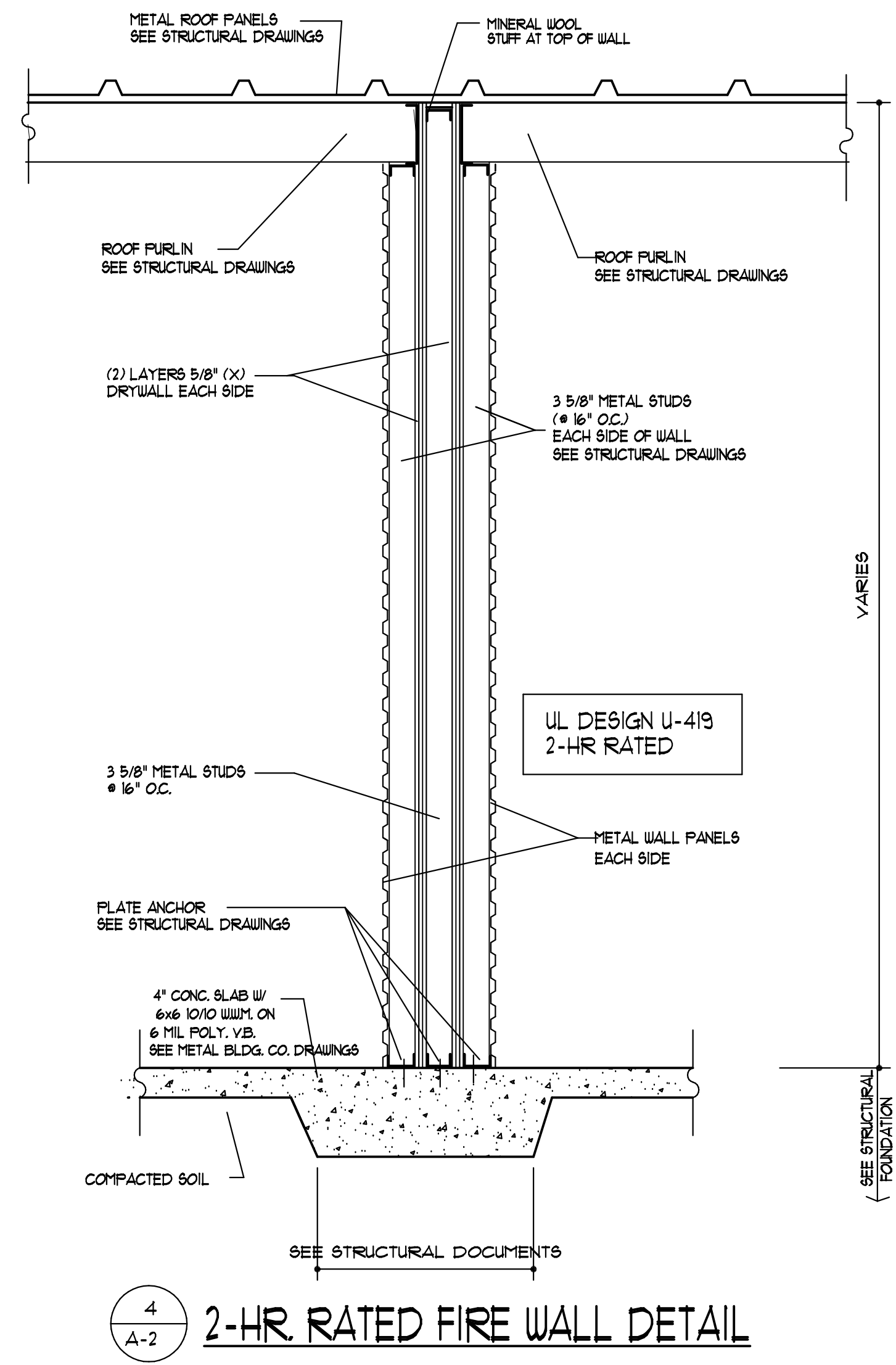
A-1

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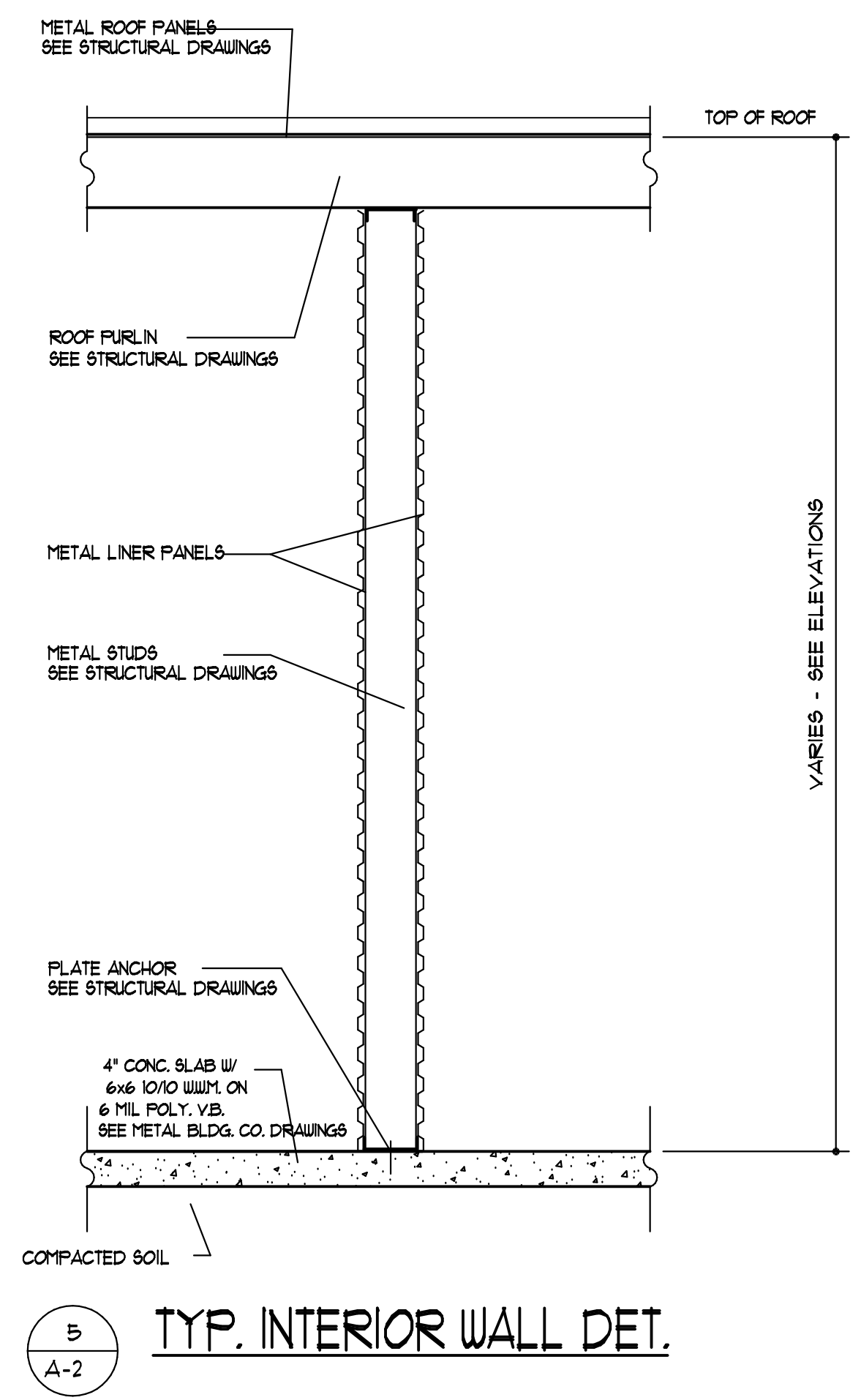
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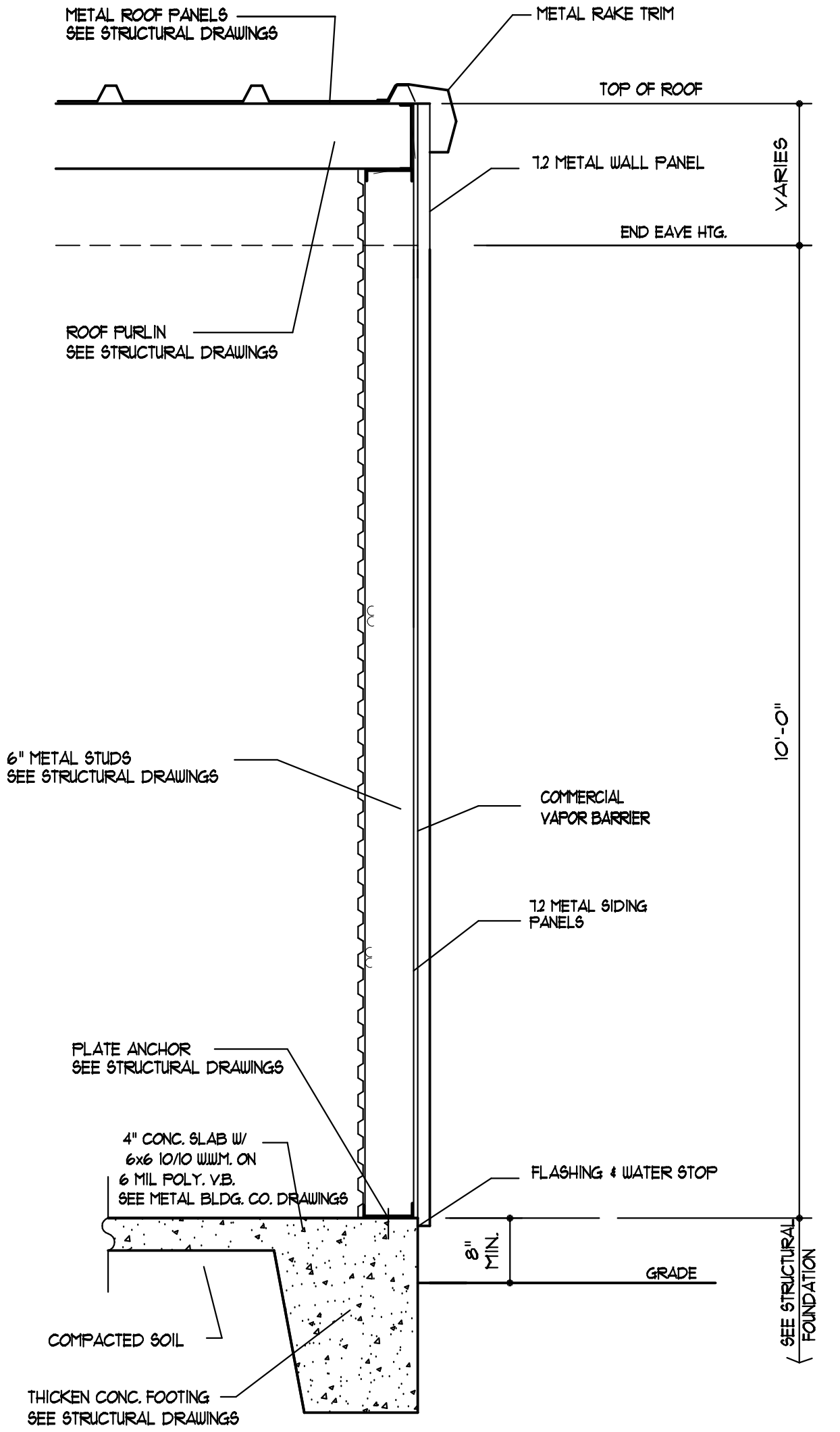
NEW STORAGE FACILITY FOR BLDG. 'C'
HARNETT SELF STORAGE
 SPOUT SPRINGS, NC



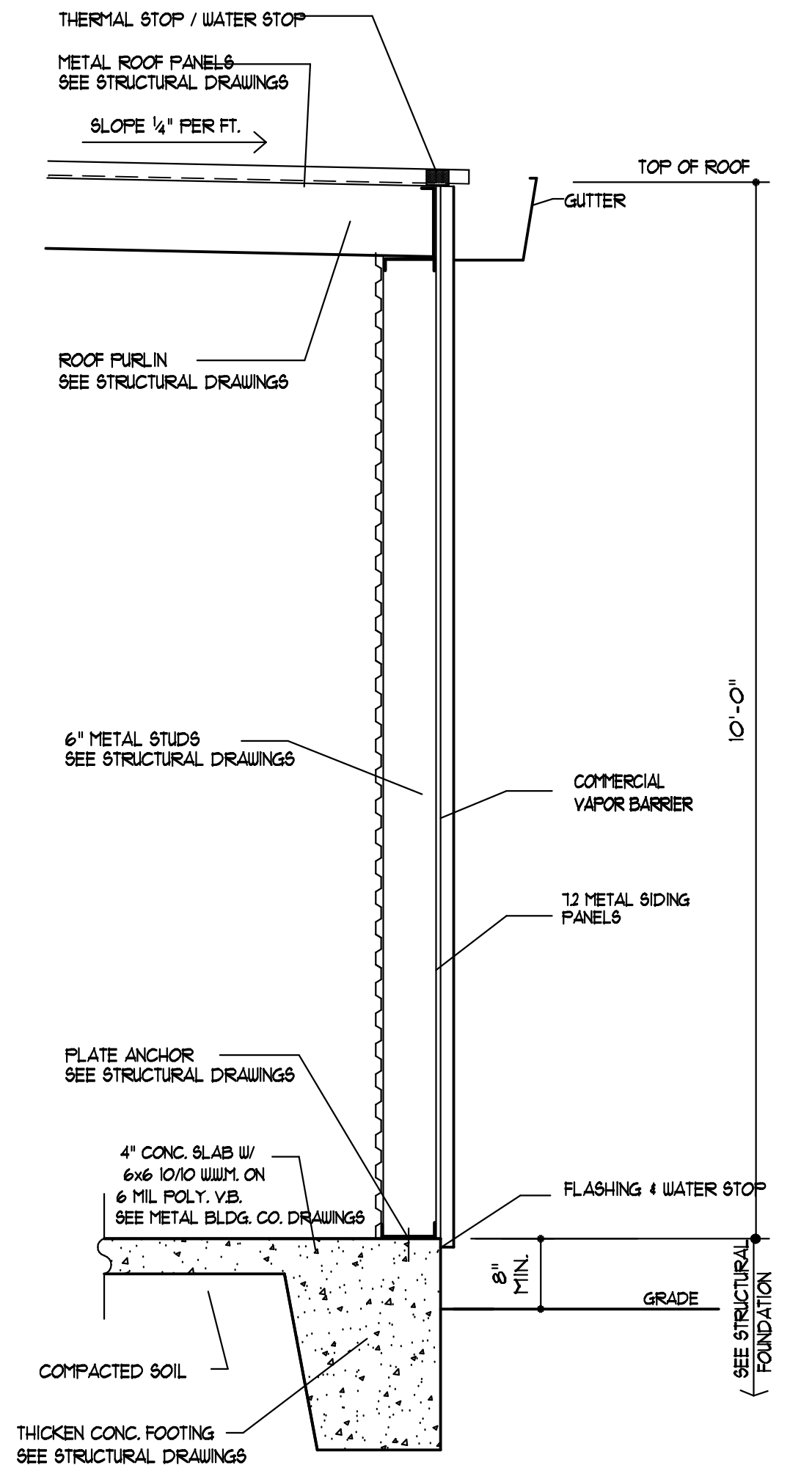
4
A-2 **2-HR. RATED FIRE WALL DETAIL**



5
A-2 **TYP. INTERIOR WALL DET.**



2
A-2 **TYP. EXTERIOR END WALL DET.**



1
A-2 **TYP. EXTERIOR WALL DET.**

NOTE: DO NOT SCALE DRAWINGS
 PDF & PRINTING CHANGES LAKE

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 SCALE: 3/4" = 1'-0"
 FILE:
 SHEET NUMBER:
A-2
 BLDG. 'C'

BUILDING 'J'

NEW STORAGE FACILITY FOR

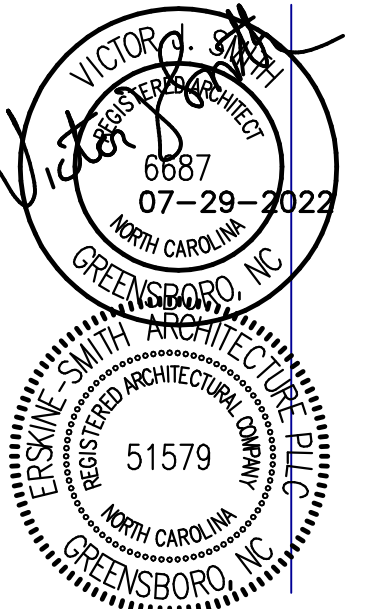
HARNETT SELF STORAGE

SPOUT SPRINGS, NC

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APPENDIX "B" BUILDING CODE SUMMARY

Name of project: BLDG. 'J' NEW FACILITY FOR HARNETT SELF STORAGE
 Address: _____ Zip Code: _____
 Owner or Authorized Agent: VJ SMITH Phone: 336-855-1286 E-mail: erskinesmith@earthlink.net
 Owned By: City/County Private State
 Code Enforcement Jurisdiction: City SAITFORD County

CONTACT: Victor J. Smith
 DESIGNER: FIRM NAME LICENSE NO. TELEPHONE NO. E-MAIL ADDRESS
 Architectural: ERSKINE-SMITH ARCHITECTURE, P.L.L.C. Victor J. Smith 6687 336-855-1286 erskinesmith@earthlink.net
 Civil: _____
 Electrical: _____
 Fire Alarm: _____
 Plumbing: _____
 Mechanical: _____
 Sprinkler/Standpipe: _____
 Structural: _____
 Retaining Walls >8' High: _____
 Other: _____

2018 NC BUILDING CODE: New Building Addition Renovation
 1st Time Interior Completion
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE, EXISTING: Prescriptive Repair Chapter 14 Alterations Level I Level II Level III
 Historic Property Change of Use

CONSTRUCTION (date): ORIGINAL OCCUPANCY (Ch. 3) : _____
 RENOVATED: (date) PROPOSED OCCUPANCY (Ch. 3) : BLDG. STORAGE
 RISK CATEGORY (Table 1604.3) Current: I II III IV Proposed: I II III IV

BASIC BUILDING DATA
 Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B
 Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
 Standpipes: No Yes Class: I II III Wet Dry
 Fire District: No Yes Flood Hazard Area: No Yes
 Special Inspections Required: No YES (Contact the local inspection jurisdiction for additional procedures and requirements)
 Manual Fire Alarm System with Notification: No Yes

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine	AREA 'A'	AREA 'B'	
1st Floor	6,540 sf	6,360 sf	
Basement			
TOTAL	6,540 sf	6,360 sf	13,500 sf TOTAL

Primary Occupancy Classification(s): ALLOWABLE AREA
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory: F-1 Moderate F-2 Low
 High Hazard: H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HFM
 Institutional: I-1 Condition I-2 I-3
 Residential: R-1 R-2 R-3 R-4
 Storage: S-1 Moderate S-2 Low
 Utility and Miscellaneous
 Open Enclosed Repair Garage

Accessory Occupancy Classification(s): NA
 Special Uses (Chapter 4 - List Code Sections): NA
 Special Provisions (Chapter 5 - List Code Sections): NA
 Mixed Occupancy: No Yes Separation: Hr. Exception: _____
 Non-separated use (508.3)
 The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Mixed Occupancy (508.4) - See below for area calculations
 For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy E}}{\text{Allowable Area of Occupancy E}} \leq 1$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR PORTAGE INCREASE (1)	(D) ALLOWABLE AREA PER STORY (QUALIFIED 1)

(1) Frontage area increases from Section 506.2 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
 b. Total Building Perimeter = _____ (P)
 c. Ratio (F/P) = _____ (F/P)
 d. W = Minimum width of public way = _____ (W)
 e. Percent of frontage increase = $(\frac{F}{P} - 0.25) \times W \times 30 = \dots \%$
 (2) Unlimited area applicable under conditions of Section 507
 (3) Maximum Building Area = total number of stories in the building x D (506.2)
 (4) The maximum area of open parking garages must comply with 406.5.4. The maximum area of air traffic control towers must comply with 403.3
 (5) Frontage increase is based on the unspinklered area value in Table 506.2

ALLOWABLE HEIGHT	Allowable		Code Reference
	55 FT.	12'	
Building Height in Feet (Table 504.3)	55 FT.	12'	
Building Height in Stories (Table 504.4)	2	1	
Provide code reference if the "shown on Plans" quantity is not based on Table 504.3 or 504.4.			

NS = BUILDING NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING	DETAIL AND SHEET #	DESIGN FOR RATED ASSEMBLY	DESIGN FOR RATED PENETRATION	DESIGN FOR RATED JOINTS
Structural Framing, including columns, girders, trusses	0					
Bearing walls						
Exterior						
NORTHWEST	6'-6"	0				
NORTHEAST	6'-6"	0				
SOUTHWEST WALL (ASSUMED PROPERTY LINE)	15'	0				
SOUTHWEST WALL	3'-4"	0				
Interior						
Nonbearing walls and partitions						
Exterior walls						
North	N/A	0				
East	N/A	0				
West	N/A	0				
South	N/A	0				
Interior walls & partitions						
Floor construction including supporting beams and joists	0					
Floor Ceiling Assembly	0					
Columns supporting roof	0					
Roof construction including supporting beams and joists	0					
Floor Ceiling Assembly	0					
Columns supporting roof	N/A					
Shells Enclosures - Exit	N/A					
Shells Enclosures - Other	N/A					
Corridor Separation	N/A					
Occupancy/Fire Barrier Separation	N/A					
Party Wall Separation	2-hr	2-hr	U-419	3/A-3		
Smoke Barrier Separation	N/A					
Tenant / Dwelling Unit Separation	N/A					
Incidental Use Separation	N/A					

PERCENTAGE OF WALL OPENINGS CALCULATION			
Fire Separation Distance (feet) / Non Property Line	Degree of Opening Protection (Table 1008.6)	Allowable Area	Actual Shown on Plan (%)
NORTH 35'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 ex. 2	51%
WEST 15'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 ex. 2	47%
SOUTH 25'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 ex. 2	0
EAST 122'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 ex. 2	0

Life Safety Plan Sheet - COVER SHEET
 Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on site plan)
 Exterior wall opening areas with respect to distance to assumed property lines (1008.6)
 Occupancy use for each area as it relates to occupancy load calculation (Table 1004.12)
 Occupant loads for each area
 Exit access travel distance (1017)
 Common path of travel distance (Table 1006.21 & 1006.32(1))
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.10)
 Location of doors with delayed egress locks and the amount of delay (1010.11.7)
 Location of doors with electromagnetic egress locks (1010.13)
 Location for doors equipped with hold-open devices
 Location of emergency escape windows (1020)
 The square footage of each fire area (1021)
 The square footage of each smoke compartment for Occupancy Classification 1-2 (401B)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DUELLING UNITS (Section 1101)						
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE 'A' UNITS REQUIRED	TYPE 'A' UNITS PROVIDED	TYPE 'B' UNITS REQUIRED	TYPE 'B' UNITS PROVIDED
N/A						

ACCESSIBLE PARKING (Section 1106)				
LOT OR PARKING AREAS	TOTAL # OF PARKING SPACES REQUIRED	* OF ACCESSIBLE SPACES PROVIDED	* OF ACCESSIBLE SPACES PROVIDED	
			REGULAR UNITS BY ACCESSIBLE	VAN SPACES WITH BY ACCESSIBLE
TOTAL	SEE SITE PLAN			

USE	WATER CLOSETS			URINALS			LAVATORIES			SHOWERS			DRINKING FOUNTAINS		
	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX	TUBS	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE		
OUTSIDE															
INSIDE	EXISTING														
	NEW														
TOTAL	REQUIRED			PROVIDED			REQUIRED			PROVIDED					

PLUMBING FIXTURE REQUIREMENTS (Table 2902.1)
 Special approval: (Local Jurisdiction, Department of Insurance, O.C., DPI, DHH, ICC, etc., describe below)

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost standard reference design vs annual energy cost for the proposed design.

Climate Zone: 3 4 5
 Method of Compliance: Prescriptive (Energy Code)
 Performance (Energy Code)
 Prescriptive (ASHRAE 90.1)
 Performance (ASHRAE 90.1)

THERMAL ENVELOPE
 Roof/Ceiling Assembly (each assembly):
 Description of assembly: _____
 U-Value of total assembly: _____
 U-Value of insulation: _____
 Skylights in each assembly:
 U-Value of skylight: _____
 total square footage of skylights in each assembly: _____
 Exterior Walls (each assembly):
 Description of assembly: _____
 U-Value of total assembly: _____
 U-Value of insulation: _____
 Openings in each assembly:
 Door R-Values: _____
 Window R-Values: _____
 Door R-Values: _____
 Door R-Values: _____

Floors over unconditioned space (each assembly):
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirement: _____
 slab rested

DESIGN LOADS:	
Importance Factors:	Snow (Is) _____ Seismic (Is) _____
Live Loads:	Roof _____ psf Mezzanine _____ psf Floor _____ psf
Ground Snow Load:	_____ psf
Wind Loads:	Ultimate Wind Speed (ASCE-7) _____ Exposure Category _____

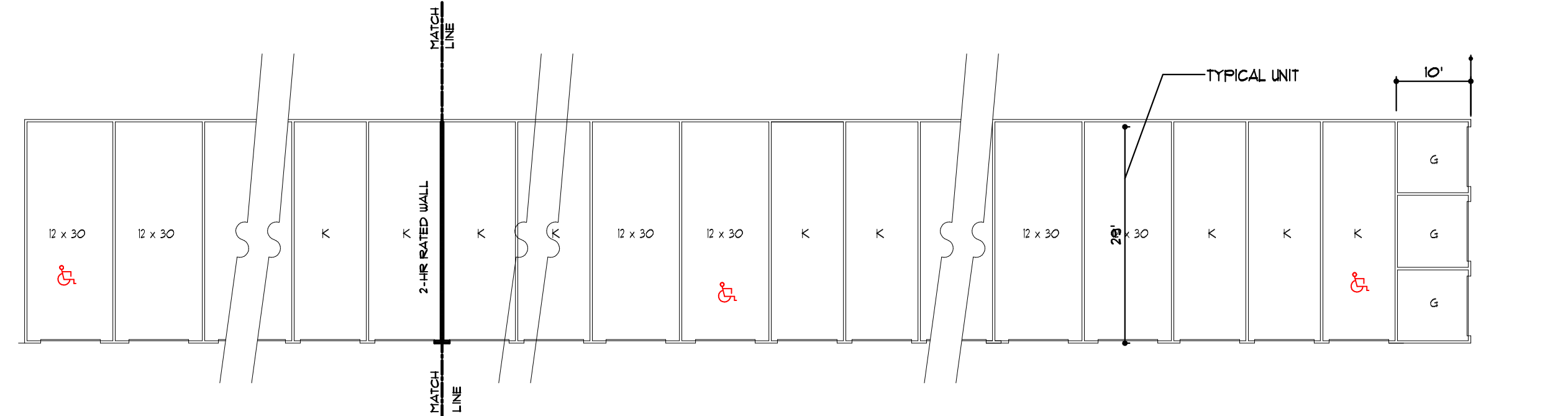
SEISMIC DESIGN CATEGORY: A B C D
 Provide the following Seismic Design Parameters:
 Risk Category (Table 1004.3): I II III IV
 Spectral Response Acceleration Coefficients: A B C D E F
 Site Classification (Table 1106.4): Field Test Presumptive Historical Data
 Basic structural system (check one):
 Moment Resisting Frame
 Dual w/ Special Moment Frame
 Moment Resisting Frame (Upper Walls)
 Dual w/ Intermediate RC or Special Steel Moment Frame
 Analytical Procedure: Simplified Equivalent Lateral Force Dynamic
 Architectural, Mechanical, components anchored: Yes No

LATERAL DESIGN CONTROL: Earthquake (Lower Level - Bldg. A & B)
 Wind (Upper Level - Bldg. A & B and C & D)

UNIT MIX - TOTAL 4 BLDG.							
SIZE	MARK	BUILDING TYPE				TOTAL	ACCESSIBLE UNITS
		A	B	C	J		
5'x5'	A	4	-	-	-	66	BLDG. A
5'x10'	B	13	6	8	-	81	
10'x10'	G	105	-	-	-	51	BLDG. A
10'x15'	H	24	52	-	-	183	
10'x20'	I	16	-	60	-	88	BLDG. J
10'x30'	K	-	-	-	26	44	
12'x30'	Z	-	-	-	15	30	
TOTAL		162	58	68	44	332	
NET SQ. FT. PER BLDG.		18,284	8,100	12,400	13,500	52,284	SQ. FT. NET TOTAL
GROSS SQ. FT. PER BLDG.		23,508	8,100	12,400	13,500	57,508	SQ. FT. GROSS TOTAL

UNIT CALCULATIONS			
CODE REQUIREMENTS	PERCENTAGE	# OF UNITS	# OF ADA UNITS REQ.
5% OF THE FIRST 200 UNITS	5%	200	10
2% OF REMAINING UNITS	2%	132	2.64
TOTAL		332	3

NOTE: ALL ACCESSIBLE STORAGE UNIT DOORS SHALL HAVE A MAX. 5 LB. FULL



LIFE SAFETY & OCCUPANCY PLAN

1/16" = 1'-0"

OCCUPANCY STORAGE
 13,500 SF / 500 = 27

NOTE:
 ADA UNITS WILL INCLUDE AN ELECTRIC DOOR LIFT OPERATOR WITH BATTERY BACKUP, PHOTO EYES, EMERGENCY RELEASE AND KEYPAD FOR OPERATION. KEYPAD WILL BE MOUNTED WITHIN ACCESSIBLE REACH RANGES PER ANSI 308. MANUFACTURER: LIFTMASTER 8850U OR EQUAL
 HORIZONTAL SLIDING DOORS SHALL COMPLY WITH SECTION 1010.1.4.3 OF NCBC. ELECTRICAL TO BE COORDINATED.
 OCCUPANT DISPERSAL FROM EXITS TO PUBLIC ROAD SHOWN ON SITE PLAN

NEW STORAGE FACILITY FOR BLDG. 'J'

HARNETT SELF STORAGE

SPOUT SPRINGS, NC

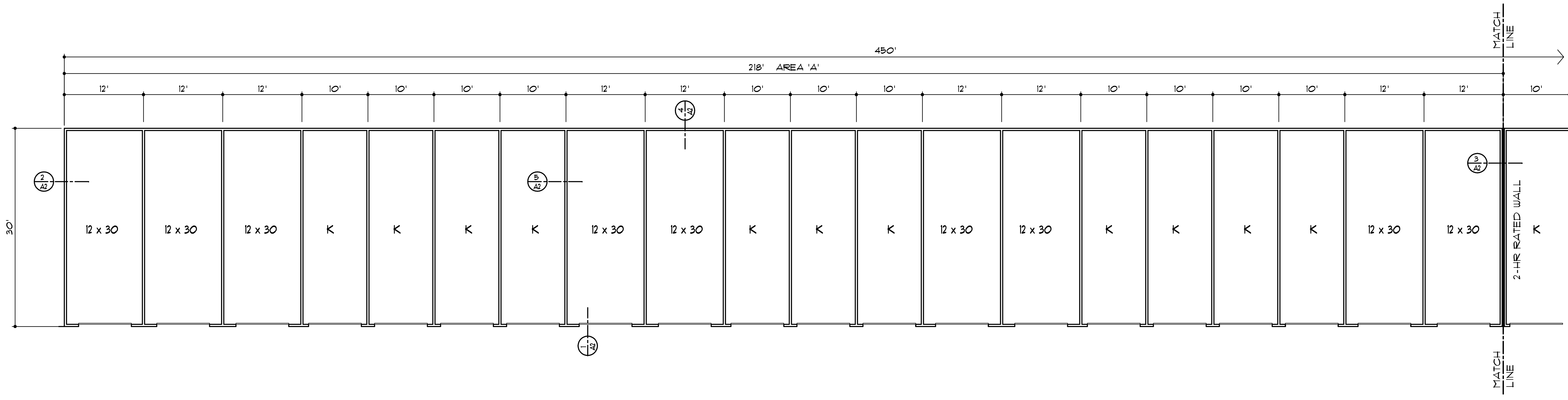
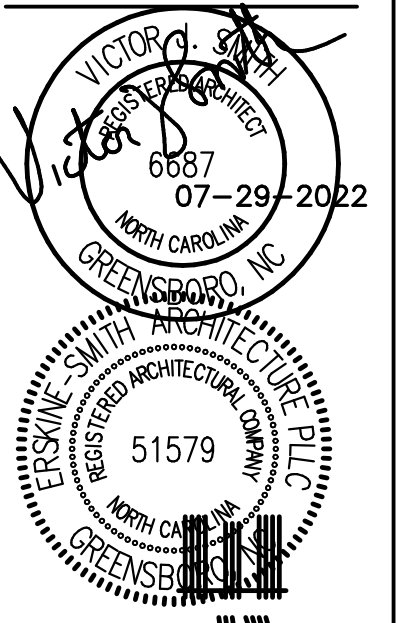
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DRAWN BY: VJS
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 SCALE: 1/16" = 1'-0"
 FILE:

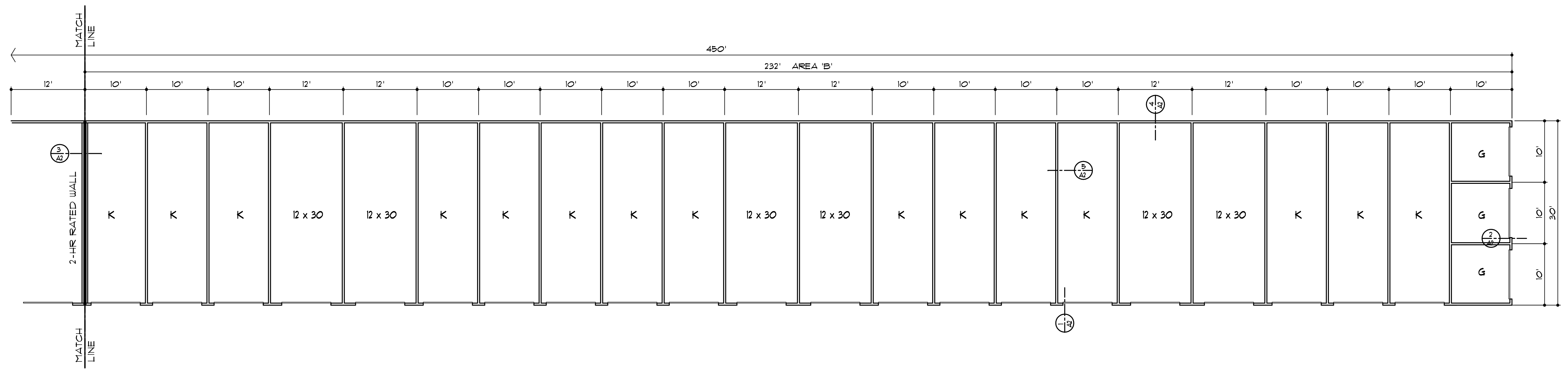
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 BLDG. J

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PARTIAL FLOOR PLAN
 1/8" = 1'-0"



PARTIAL FLOOR PLAN
 1/8" = 1'-0"

BLDG. J 13,500 sf

**NEW STORAGE FACILITY FOR
 HARNETT SELF STORAGE
 SPOUT SPRINGS, NC**

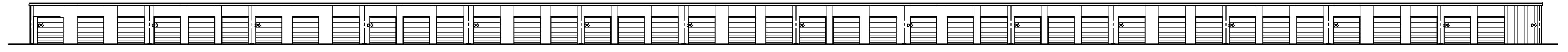
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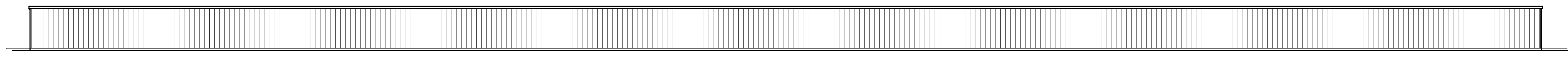
A-1

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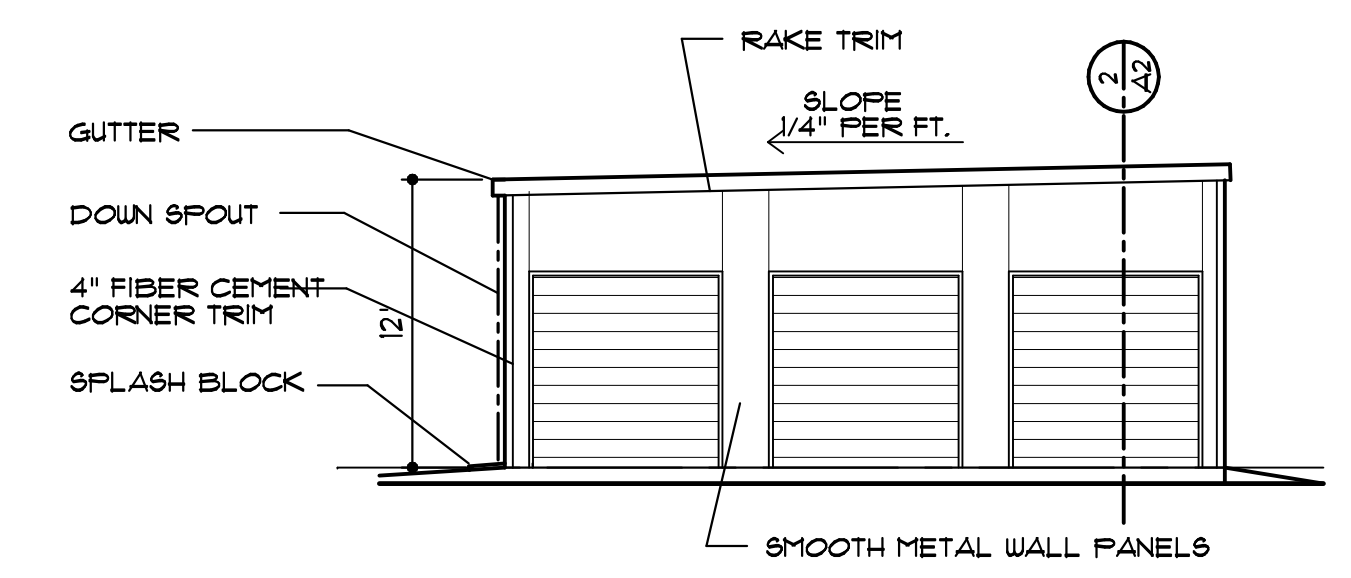
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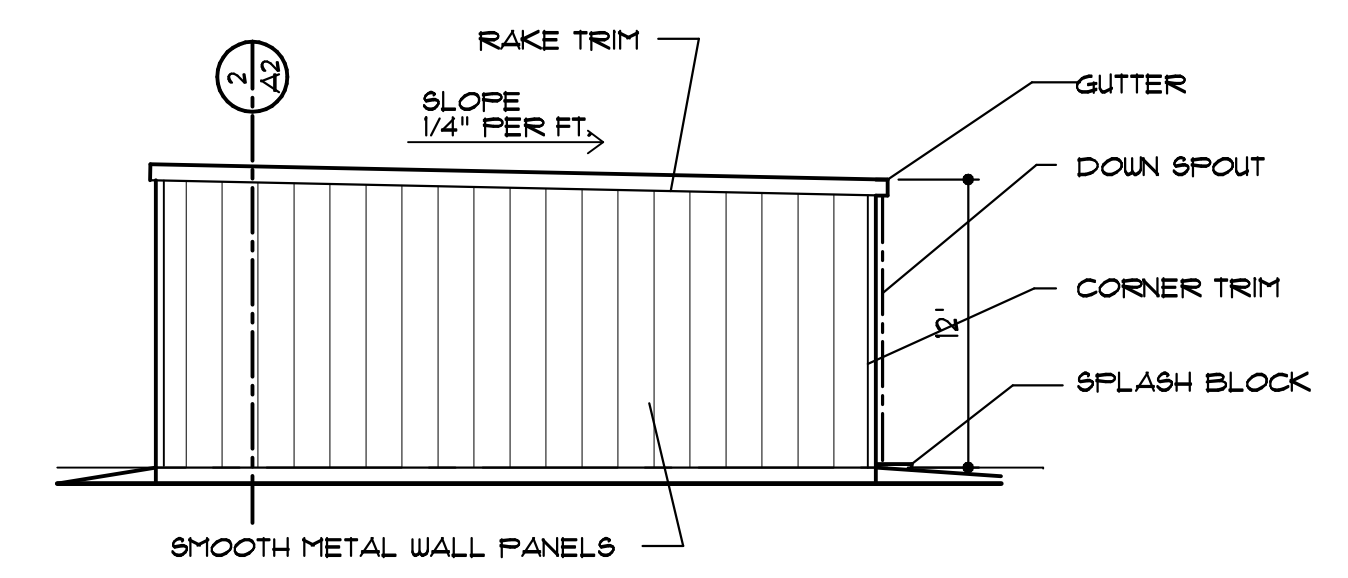
NORTH ELEVATION
 1/16" = 1'-0"



SOUTH ELEVATION
 1/16" = 1'-0"



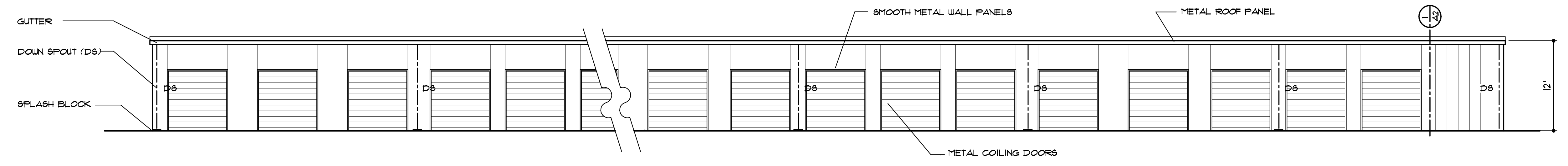
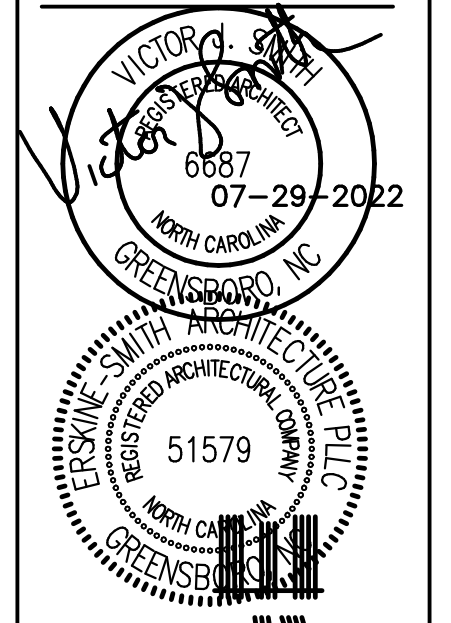
WEST ELEVATION
 1/8" = 1'-0"



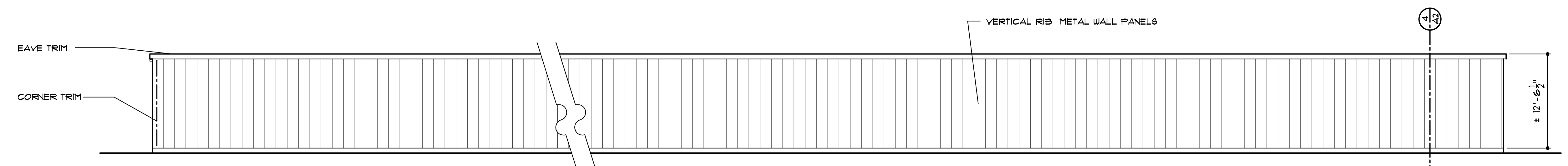
EAST ELEVATION
 1/8" = 1'-0"

ALL RAIN LEADER TO HAVE SPLASH BLOCKS

DOWN SPOUTS & GUTTERS
 ROOF AREA = 13,500 SF
 GUTTER LENGTH = 450'LF
 GUTTER SIZE = 5" w x 4" d
 # DOWN SPOUT (3" x 4") = 16
 AREA PER DOWN SPOUT = 844 sf



PARTIAL NORTH ELEVATION
 1/8" = 1'-0"



PARTIAL SOUTH ELEVATION
 1/8" = 1'-0"

NEW STORAGE FACILITY FOR HARNETT SELF STORAGE
 SPOUT SPRINGS, NC

REVISIONS	BY

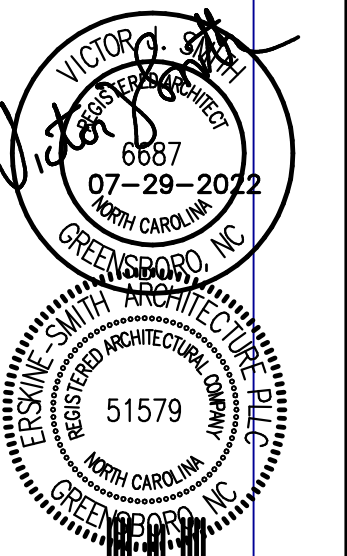
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BLDG. J

A-2

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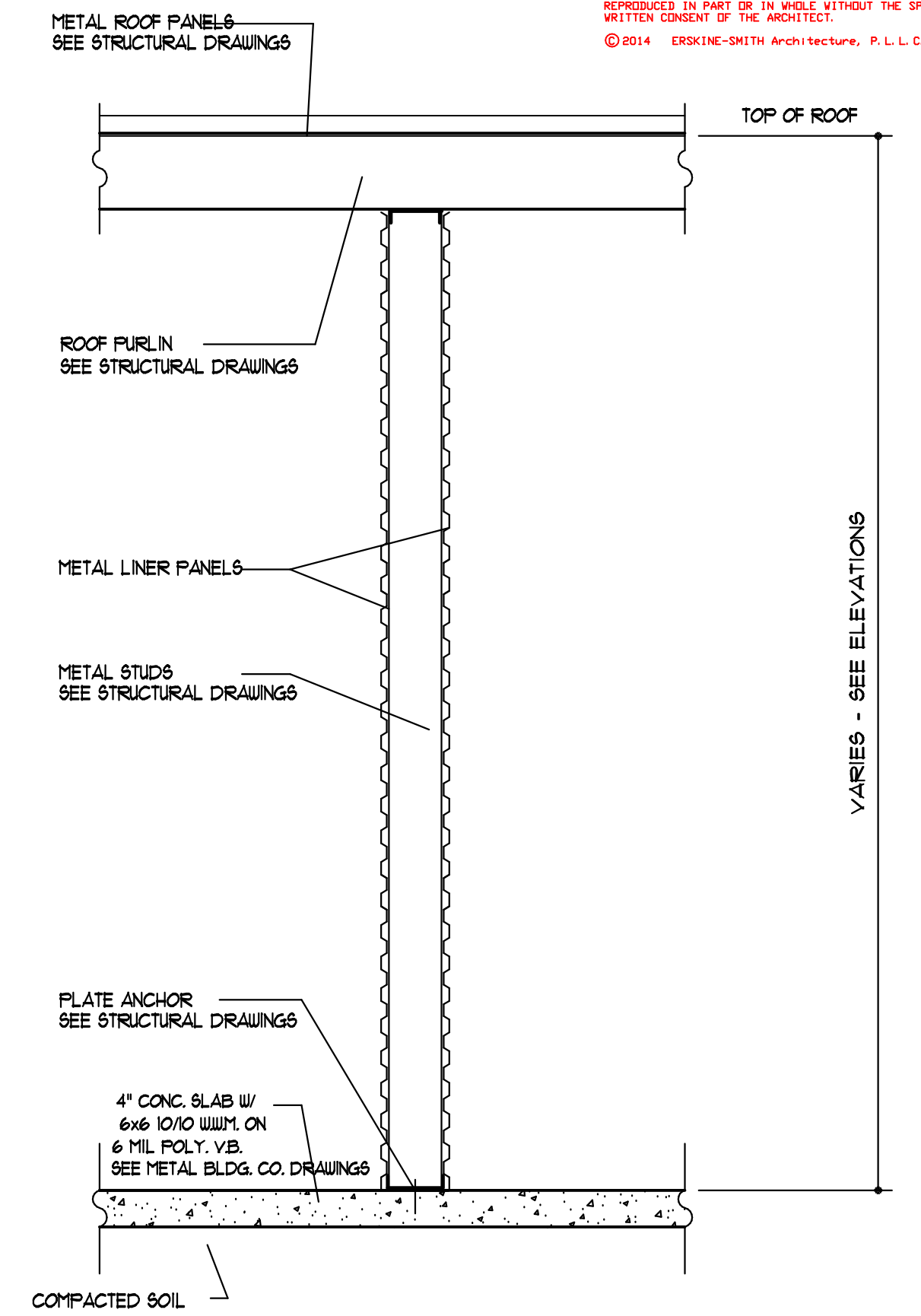
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NEW STORAGE FACILITY FOR HARNETT SELF STORAGE SPOUT SPRINGS, NC

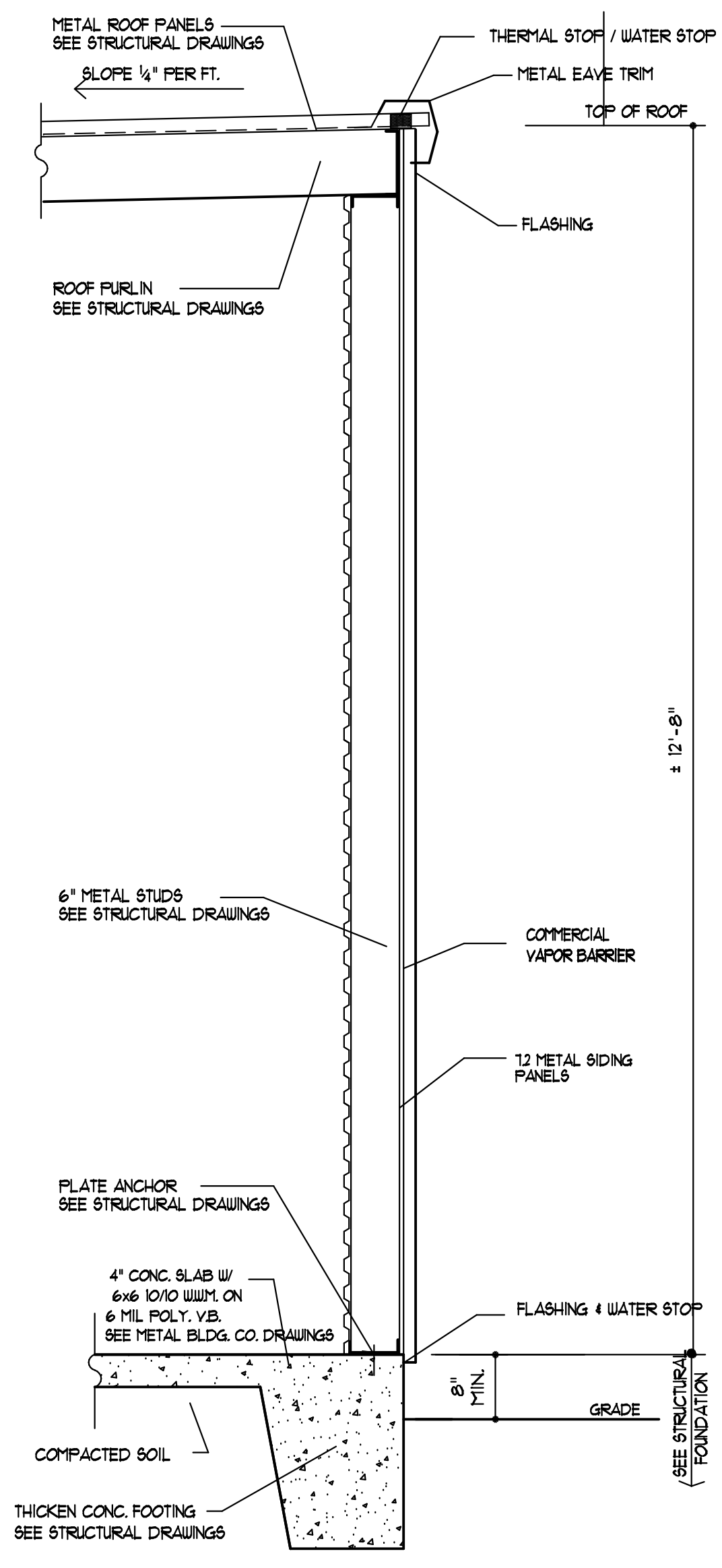
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 SHEET NUMBER:
A-3
 BLDG. 'J'

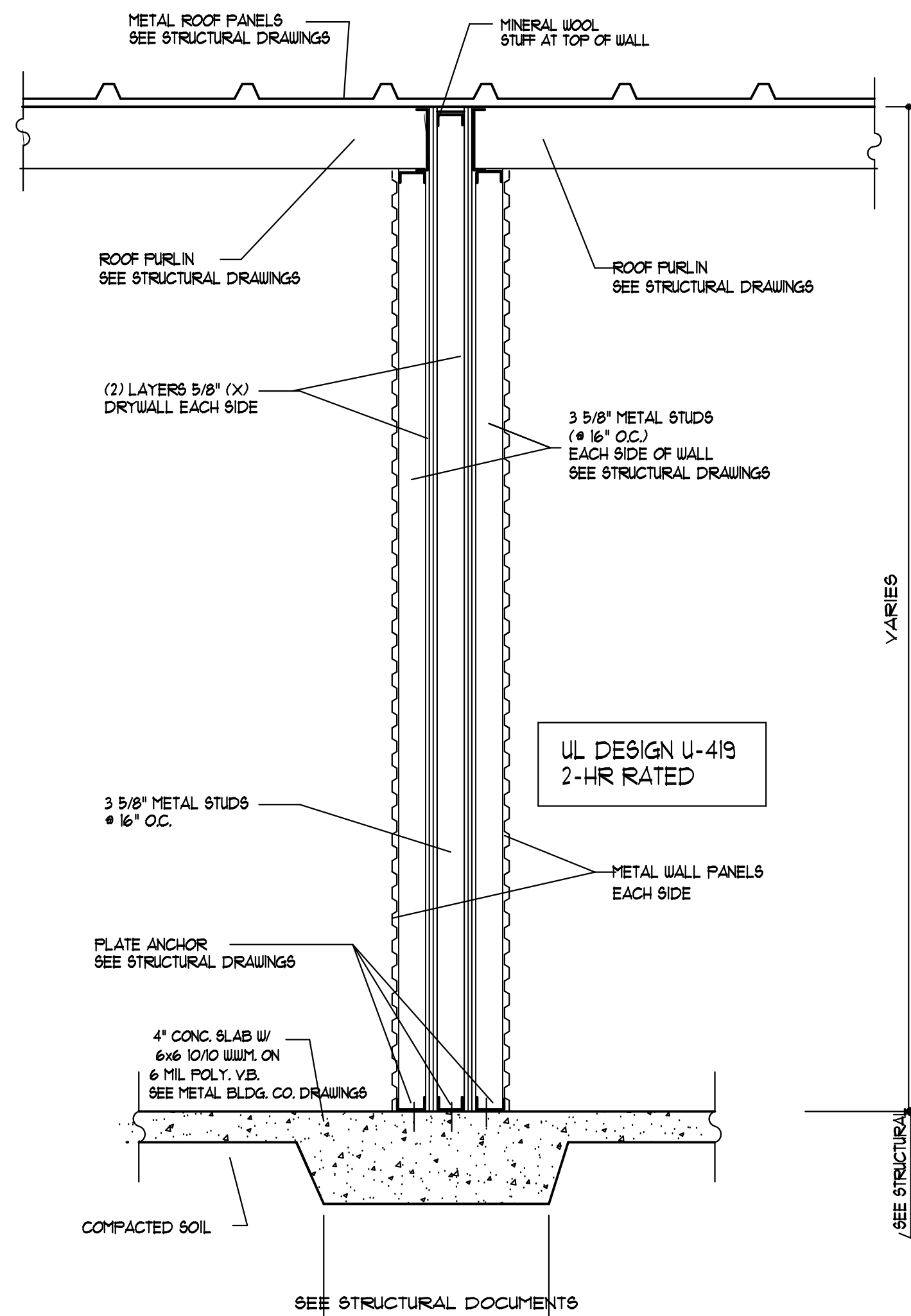


5
 A-3 TYP. INTERIOR WALL DET.

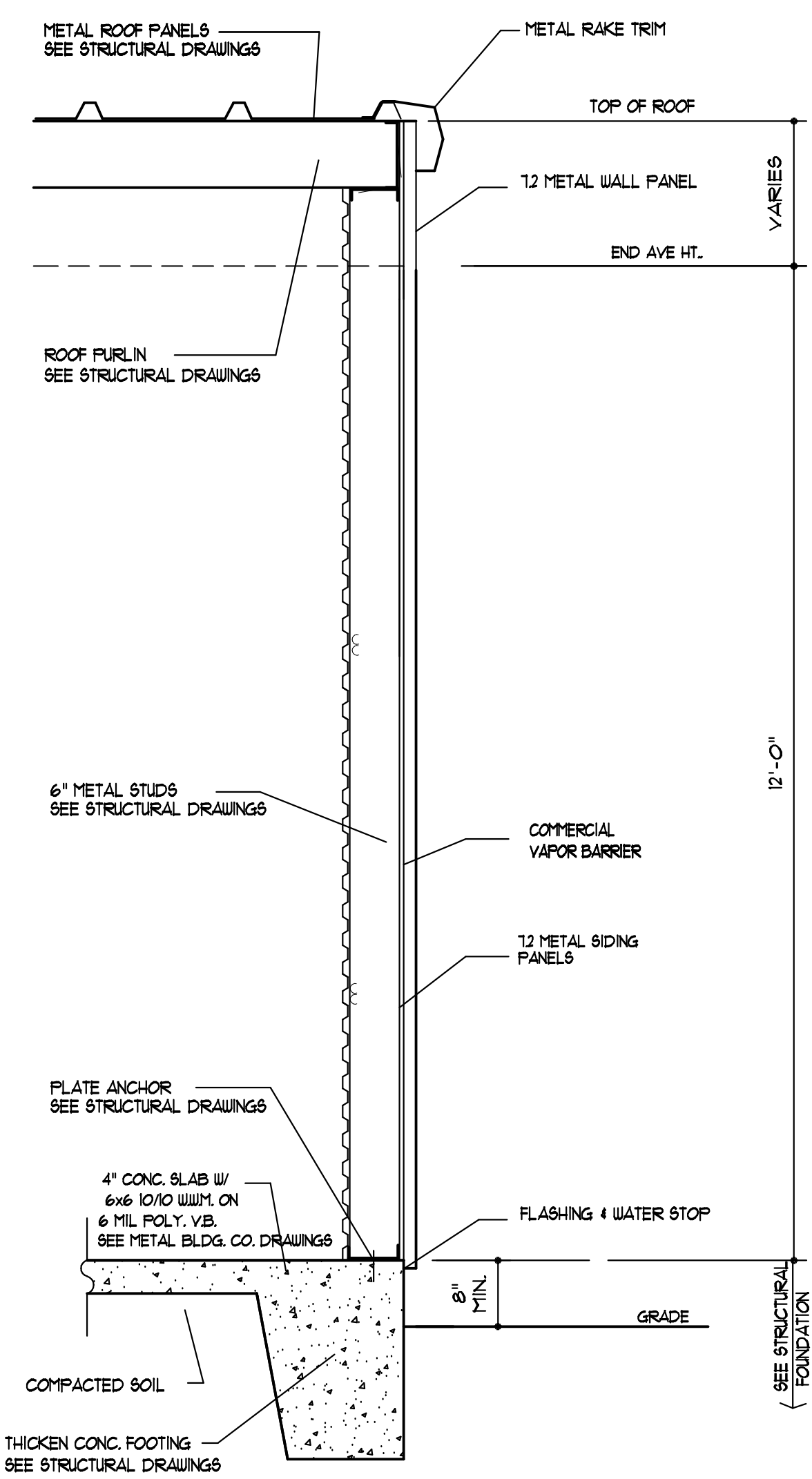
NOTE:
 STRUCTURAL ENGINEER'S DESIGN
 & DETAILS SHALL OVERRIDE
 ARCHITECTURAL DETAILS



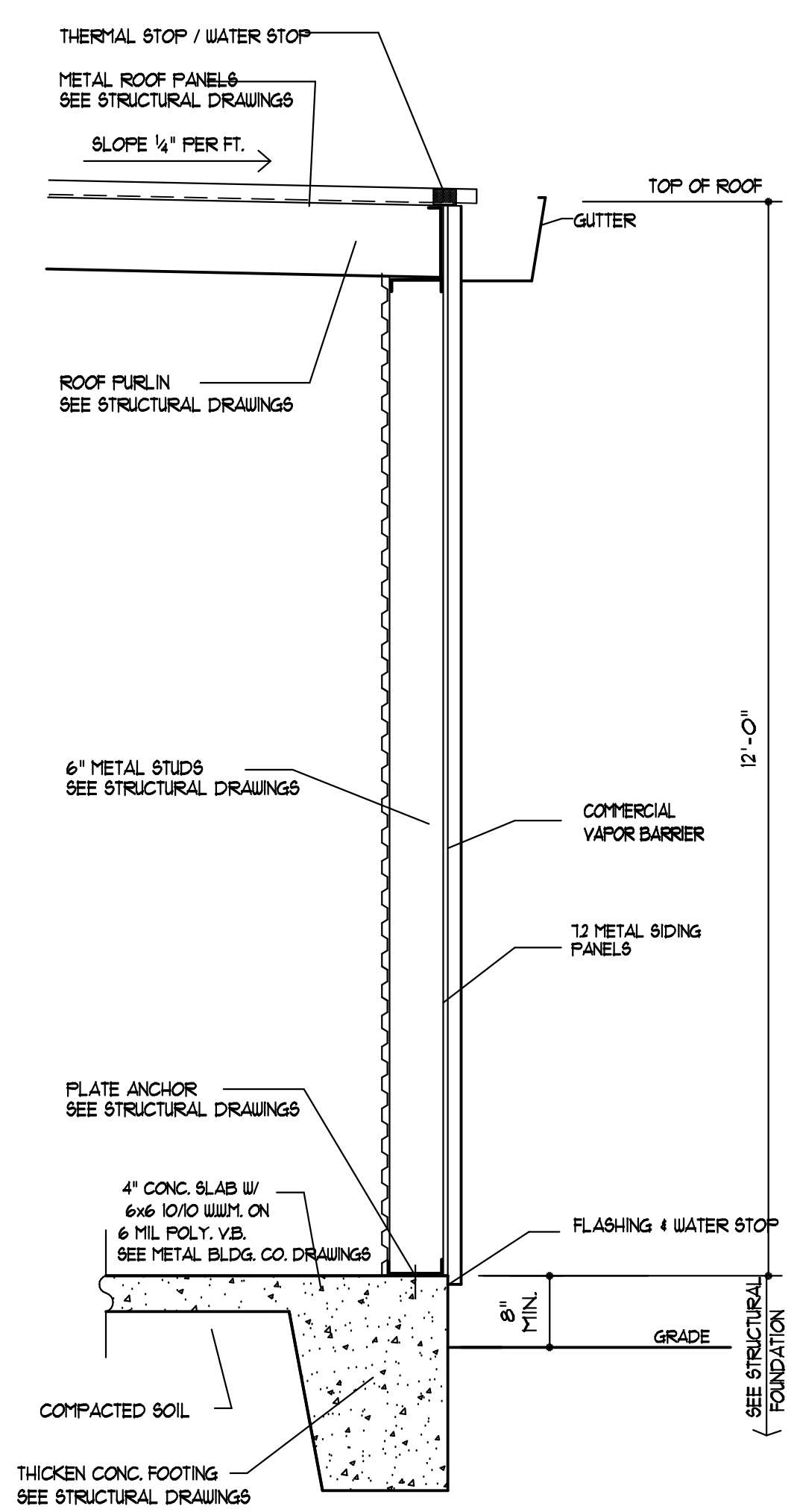
4
 A-3 TYP. EXTERIOR WALL DET.



3
 A-3 2-HR. RATED FIRE WALL DETAIL



2
 A-3 TYP. EXTERIOR END WALL DET.

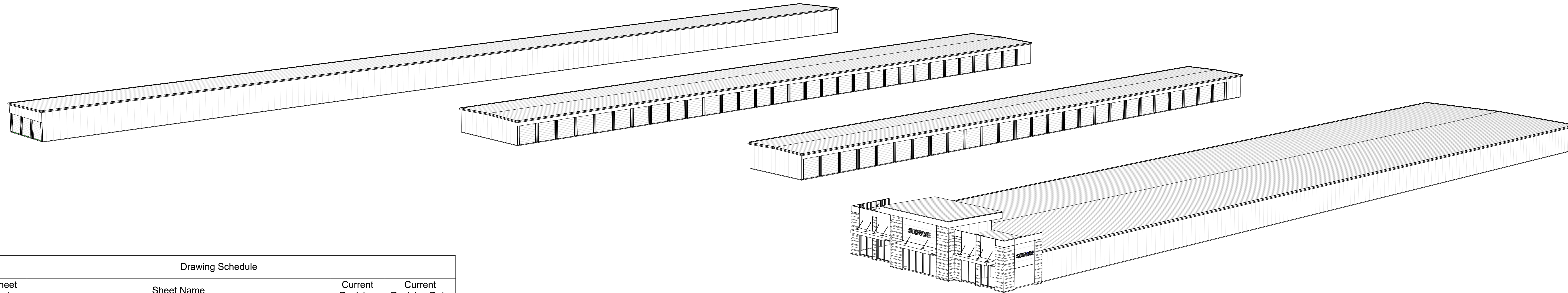


1
 A-3 TYP. EXTERIOR WALL DET.

NOTE: DO NOT SCALE DRAWINGS
 PDF & PRINTING CHANGES SCALE

Harnett Self Storage

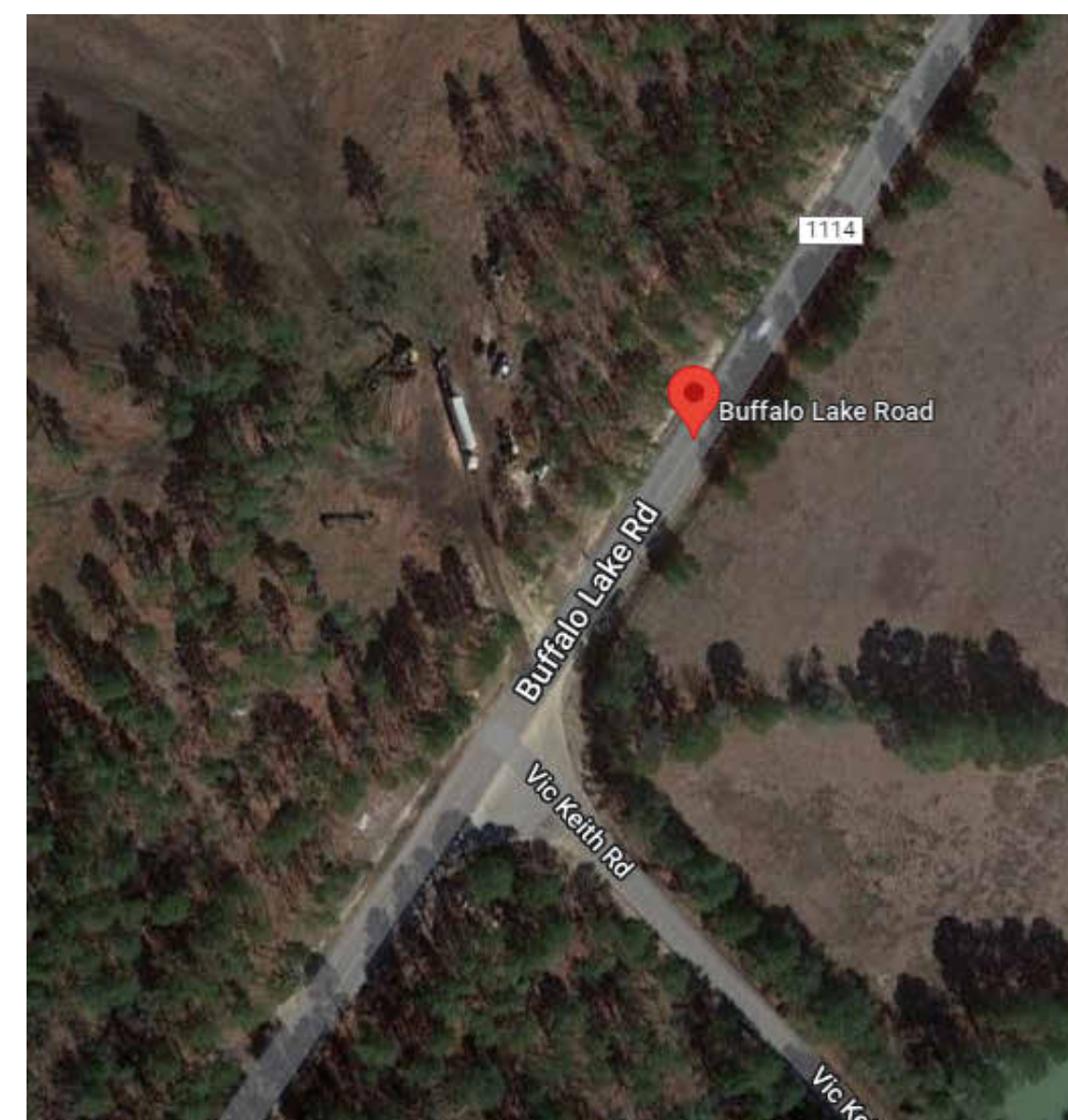
Buffalo Lake Road, Sanford NC 27332



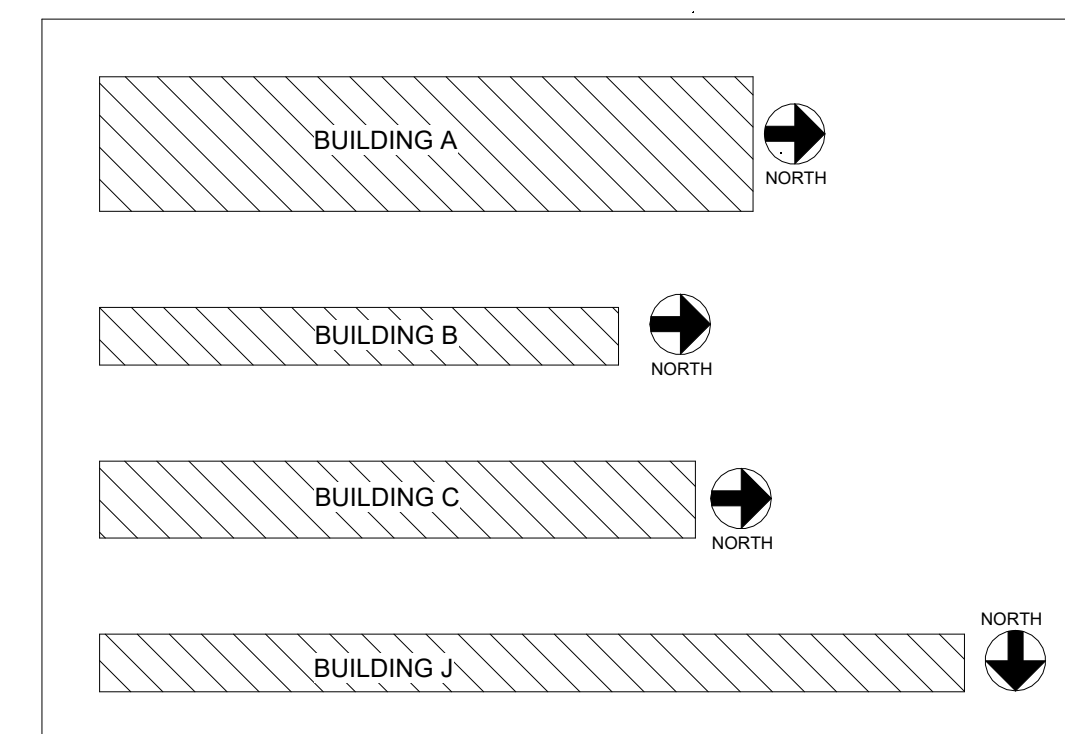
Drawing Schedule

Sheet Number	Sheet Name	Current Revision	Current Revision Date
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S000	Coversheet		
S001	Building A Schedules		
S010	General Notes		
S011	General Notes		
S012	General Notes		
S013	Special Inspections		
S100	Building A - Foundation Plan		
S101	Building B - Foundation Plan		
S102	Building C - Foundation Plan		
S103	Building J - Foundation Plan		
S200	Building A - Post Plan		
S201	Building A - Partition Plan		
S202	Building A - Roof Framing Plan		
S203	Bldg A - Tower Post And Framing Plans		
S204	Building A - Roofing Plan		
S210	Building B - Post Plan		
S211	Building B - Partition Plan		
S212	Building B - Roof Framing Plan		
S213	Building B - Roofing Plan		
S220	Building C - Post Plan		
S221	Building C - Partition Plan		
S222	Building C - Roof Framing Plan		
S223	Building C - Roofing Plan		
S230	Building J - Post Plan		
S231	Building J - Partition Plan		
S232	Building J - Roof Framing Plan		
S233	Building J - Roofing Plan		
S400	Canopy Enlarged Plan		
S500	Heavy Steel Layout		
S600	Building A - North & South Elevations		
S601	Building A - East Elevations		
S602	Building A - West Elevations		
S610	Building B - East & West Elevations		
S611	Building B - North & South Elevations		
S620	Building C - East & West Elevations		
S621	Building C - North & South Elevations		
S630	Building J - South Elevation		
S631	Building J - South Framing Elevation		
S632	Building J - North Elevation		
S633	Building J - North Framing Elevation		
S634	Building J - East & West Elevations		
S700	Exterior Wall Sections (B-A)		
S701	Exterior Wall Sections 2 (B-A)		
S703	Exterior Wall Sections		
S710	Building A - Cut Sections		
S711	Building A - Cut Sections 2		
S712	Buildings B & C & J Cut Sections		
S801	Details		
S802	Details		
S803	Foundations Details		
S804	Details		
S805	Roof Details		



Google Map



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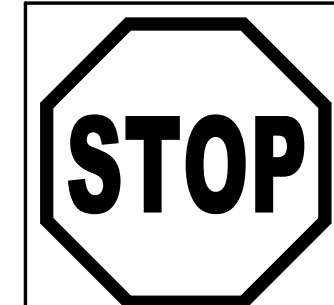
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Rev. #	Revision Date	Revision Description

Dustin Blackwell

Harnett Self Storage

Buffalo Lake Road
Sanford, NC 27332



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Call (205) 234-4202
IMMEDIATELY
And ask for Darby Owenby



Roger S. Lingerfelt, P.E.
3360 Stock Road
Monroe, GA 30656
770-207-7997
rogerlingerfelt@gmail.com
North Carolina P.E. Number 15524

SSI Project Number	1247
Issue Date	09-20-2022
Drawn By	Y.H
Checked By	AS
Engineered By	RSL

S000
Coversheet

Building (A) Schedules

Building A Post Schedule							
Mark	Qty	Width	Depth	Length	Gauge	Color	Notes
C1	1	4"	2"	0' - 8"	16ga		In-Fills
C2	1	4"	2"	0' - 8 1/2"	16ga		In-Fills
C3	1	4"	2"	0' - 10"	16ga		In-Fills
C4	1	4"	2"	0' - 11 1/2"	16ga		In-Fills
C5	1	4"	2"	1' - 0 1/2"	16ga		In-Fills
C6	1	4"	2"	1' - 2"	16ga		In-Fills
C7	1	4"	2"	1' - 3 1/2"	16ga		In-Fills
C8	1	4"	2"	1' - 5"	16ga		In-Fills
C9	84	4"	2"	1' - 5 1/2"	16ga		In-Fills
C33	2	4"	2"	9' - 11"	16ga		
C36	12	4"	2"	10' - 0"	16ga		
C37	2	4"	2"	10' - 0 1/4"	16ga		
C38	1	4"	2"	10' - 0 1/2"	16ga		
C39	1	4"	2"	10' - 0 3/4"	16ga		
C40	2	4"	2"	10' - 1"	16ga		
C41	106	4"	2"	10' - 1 1/2"	16ga		
C42	3	4"	2"	10' - 1 3/4"	16ga		
C43	3	4"	2"	10' - 2"	16ga		
C45	2	4"	2"	10' - 2 1/2"	16ga		
C46	114	4"	2"	10' - 3"	16ga		
C48	2	4"	2"	10' - 3 1/2"	16ga		
C50	2	4"	2"	10' - 4"	16ga		
C51	1	4"	2"	10' - 4 1/4"	16ga		
C52	62	4"	2"	10' - 4 1/2"	16ga		
C53	4	4"	2"	10' - 5"	16ga		
C55	2	4"	2"	10' - 5 1/2"	16ga		
C56	76	4"	2"	10' - 6"	16ga		
C57	1	4"	2"	10' - 6 1/2"	16ga		
C58	2	4"	2"	10' - 7"	16ga		
C59	62	4"	2"	10' - 7 1/2"	16ga		
C60	2	4"	2"	10' - 8"	16ga		
C61	2	4"	2"	10' - 8 1/2"	16ga		
C62	73	4"	2"	10' - 9"	16ga		
C63	1	4"	2"	10' - 9 1/4"	16ga		
C64	2	4"	2"	10' - 9 1/2"	16ga		
C65	2	4"	2"	10' - 10"	16ga		
C66	29	4"	2"	10' - 10 1/2"	16ga		
C72	2	4"	2"	13' - 2"	16ga		
JC4	56	4"	4"	10' - 1 1/2"	14ga		
C101	2	6"	2"	13' - 0"	16ga		
C102	7	6"	2 1/2"	0' - 8"	12ga		
C103	28	6"	2 1/2"	1' - 1 1/2"	12ga		
C104	32	6"	2 1/2"	1' - 1 3/4"	12ga		
C105	9	6"	2 1/2"	1' - 10"	12ga		
C106	13	6"	2 1/2"	5' - 11 1/2"	12ga		
C107	12	6"	2 1/2"	6' - 5 1/4"	12ga		
C108	22	6"	2 1/2"	6' - 10"	12ga		
C109	5	6"	2 1/2"	6' - 11"	12ga		
C110	5	6"	2 1/2"	6' - 11 1/2"	12ga		
C111	5	6"	2 1/2"	7' - 0"	12ga		
C112	5	6"	2 1/2"	7' - 0 1/2"	12ga		
C113	5	6"	2 1/2"	7' - 1 1/2"	12ga		
C114	6	6"	2 1/2"	7' - 2"	12ga		
C115	5	6"	2 1/2"	7' - 2 1/2"	12ga		
C116	18	6"	2 1/2"	7' - 3"	12ga		
C117	1	6"	2 1/2"	10' - 6"	12ga		
C118	11	6"	2 1/2"	10' - 10"	12ga		
C119	11	6"	2 1/2"	11' - 3 3/4"	12ga		
C120	1	6"	2 1/2"	13' - 0"	12ga		
C121	16	6"	2 1/2"	2' - 5 1/2"	16ga		
C122	6	6"	2 1/2"	2' - 8"	16ga		
C123	9	6"	2 1/2"	3' - 0"	16ga		
C124	24	6"	2 1/2"	3' - 8"	16ga		
C125	5	6"	2 1/2"	7' - 5 1/2"	16ga		
C126	72	6"	2 1/2"	10' - 0"	16ga		
C127	30	6"	2 1/2"	10' - 1 1/2"	16ga		
C128	2	6"	2 1/2"	10' - 3"	16ga		
C129	2	6"	2 1/2"	10' - 4 1/2"	16ga		
C130	2	6"	2 1/2"	10' - 6"	16ga		
C131	2	6"	2 1/2"	10' - 7 1/2"	16ga		
C132	2	6"	2 1/2"	10' - 9"	16ga		
C133	1	6"	2 1/2"	10' - 10"	16ga		
C134	2	6"	2 1/2"	10' - 10 1/2"	16ga		
C135	5	6"	2 1/2"	11' - 3 3/4"	16ga		
C136	10	6"	2 1/2"	11' - 4"	16ga		
C137	6	6"	2 1/2"	13' - 0"	16ga		
C138	28	6"	2 1/2"	16' - 0"	16ga		

Building A Cee Header Schedule							
Mark	Qty	Depth	Width	Length	Gauge	Color	Notes
CH1	1	8"	2 1/2"	7' - 0"	14ga		
CH2	1	8"	2 1/2"	7' - 4"	14ga		
CH3	2	8"	2 1/2"	10' - 0"	14ga		
CH4	1	6"	2 1/2"	0' - 6"	14ga		
CH5	2	6"	2 1/2"	0' - 9"	14ga		
CH6	2	6"	2 1/2"	0' - 11"	14ga		
CH7	1	6"	2 1/2"	1' - 11"	14ga		
CH8	1	6"	2 1/2"	2' - 0"	14ga		
CH9	1	6"	2 1/2"	2' - 3"	14ga		
CH10	2	6"	2 1/2"	2' - 5"	14ga		
CH11	31	6"	2 1/2"	3' - 0"	14ga		
CH12	13	6"	2 1/2"	3' - 1"	14ga		
CH13	3	6"	2 1/2"	3' - 3"	14ga		
CH14	2	6"	2 1/2"	3' - 9"	14ga		
CH15	8	6"	2 1/2"	9' - 7"	16ga		
CH16	4	6"	2 1/2"	10' - 0"	16ga		
CH17	4	6"	2 1/2"	10' - 2"	16ga		
CH18	7	6"	2 1/2"	10' - 3 1/2"	16ga		
CH19	1	6"	2 1/2"	10' - 4 1/2"	16ga		

Building A Purlin Schedule							
Mark	Qty	Depth	Width	Length	Gauge	Color	Notes
Z5	1	6"	2 1/2"	9' - 9"	16ga		
Z6	4	6"	2 1/2"	9' - 10"	16ga		
Z7	10	6"	2 1/2"	10' - 10"	16ga		
Z8	15	6"	2 1/2"	10' - 11"	16ga		
Z12	13	6"	2 1/2"	21' - 1"	16ga		
Z13	152	6"	2 1/2"	22' - 2"	16ga		
Z14	12	8"	2 1/2"	12' - 7"	14ga		
Z15	14	10"	2 1/2"	5' - 0"	14ga		Tower slopped Purlin
Z16	14	10"	2 1/2"	6' - 0"	14ga		Tower slopped Purlin
Z17	1	10"	2 1/2"	9' - 10"	14ga		
Z18	16	10"	2 1/2"	17' - 2"	14ga		Tower slopped Purlin
Z19	12	10"	2 1/2"	21' - 1"	14ga		

Building A Wall Schedule							
Mark	Qty	Width	Depth	Length	Gauge	Color	Notes
U1	6		3/4"	4' - 1"			
U2	6		3/4"	4' - 5"			
U3	9		3/4"	4' - 11"			
U4	12		3/4"	5' - 0"			
U5	86		3/4"	9' - 2"			
U6	9		3/4"	9' - 4"			
U7	141		3/4"	9' - 5"			
U8	18		3/4"	9' - 6"			
U9	42		3/4"	9' - 7"			
U11	15		3/4"	9' - 9"			
U12	10		3/4"	9' - 10"			
U13	38		3/4"	9' - 11"			
U14	6		3/4"	10' - 0"			
U15	36		3/4"	14' - 2"			
U16	39		3/4"	14' - 7"			
U17	39		3/4"	14' - 9"			
U18	21		3/4"	15' - 2"			
U19	39		3/4"	19' - 10"			
U20	37		3/4"	20' - 1"			
U21	104		3/4"	20' - 2"			

Building A Box Header Schedule							
Mark	Qty	Depth	Width	Length	Gauge	Color	Notes
BH1	1	8"	4"	7' - 11"	14ga		
BH2	1	8"	4"	8' - 0"	14ga		
BH3	6	8"	4"	8' - 4"	14ga		
BH4	20	8"	4"	8' - 8"	14ga		
BH5	4	8"	6"	3' - 9 1/2"	14ga		
BH6	6	8"	6"	6' - 6"	14ga		
BH7	1	8"	6"	9' - 7"	16ga		
BH8	1	1' - 0"	6"	15' - 10"	14ga		



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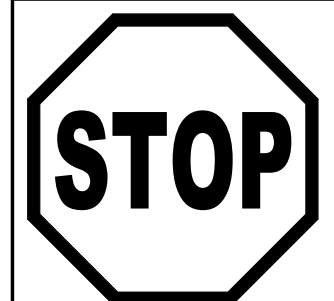
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Rev. #	Revision Date	Revision Description

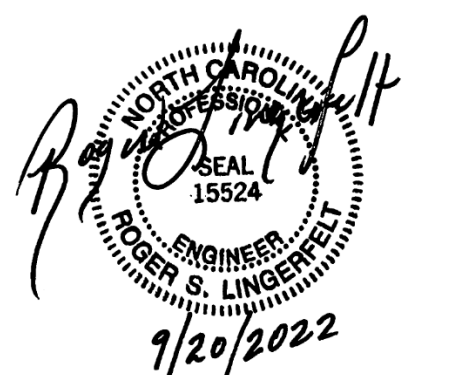
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SSI Project Number	1247
Issue Date	09-20-2022
Drawn By	Y.H
Checked By	AS
Engineered By	RSL

S001 Building A Schedules

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DESIGN CRITERIA

2018 North Carolina State Building Code

SECTION 16

ASCE 7-10

BUILDING CLASSIFICATION
RISK - OCCUPANCY CATEGORY - II (TABLE 1604.5)

OCCUPANCY CLASSIFICATION
STORAGE GROUP S-1 (SECTION 311.3) NO MIXED OCCUPANCY

ROOF DEAD LOAD : 10 PSF (SECTION 1606.2)
ROOF LIVE LOAD : 20 PSF (SECTION 1607.1-26)
FLOOR LIVE LOAD : 125 PSF (TABLE 1607.1-31 LIGHT STORAGE)
FLOOR DEAD LOAD : 100 PSF (TABLE 1607.1-8)

WIND
(SECTION 1063.1.4)
ULTIMATE WIND SPEED: 117 MPH - FIGURE 1609.3(1) (3 SECOND GUST)
IMPORTANCE FACTOR = $I_w = 1.0$ (ASCE 7-10, TABLE 1.5-2)
EXPOSURE CATEGORY C (SECTION 1609.4.3)
EXPOSURE & INTERNAL COEFFICIENTS = +/- 0.18 (ASCE 7-10, TABLE 26.11-1)
DIRECTIONALITY (Kd) = 0.85 (ASCE 7-10, TABLE 26.6-1)

SNOW
GROUND SNOW LOAD: $P_g = 10.0$ PSF (ASCE 7-10, FIGURE 7-1)
FLAT ROOF SNOW LOAD: $P_f = 8.4$ PSF (ASCE 7-10, 7.3-1)
 $P_s = 8.4$ PSF

UNIFORM ROOF DESIGN SNOW LOAD = 13.4 PSF
IMPORTANCE FACTOR = $I_s = 1.0$ (ASCE 7-10, TABLE 1.5-2)
EXPOSURE FACTOR = $C_e = 1.2$ (ASCE 7-10, TABLE 7-2)
THERMAL FACTOR - $C_t = 1.0$ (ASCE 7-10, TABLE 7-3)

BUILDING "A": SNOW DRIFT = 62.6 PSF; W = 14.16 FEET

SEISMIC DESIGN DATA

2015 INTERNATIONAL BUILDING CODE

SECTION 16

ASCE 7-10

RISK - OCCUPANCY CATEGORY II (TABLE 1604.5)

SEISMIC IMPORTANCE FACTOR : $I_e = 1.00$ (ASCE 7-10, TABLE 1.5-2)

MAPPED SPECTRAL RESPONSE COEFFICIENTS
 S_s (0.2 Sec) = 0.205g (FIGURE 1613.3.1)
 S_1 (1 Sec) = 0.093g (FIGURE 1613.3.2)
 $S_{ms} = 0.328$ g (EQUATION 16-37)
 $S_{m1} = 0.223$ g (EQUATION 16-38)

SEISMIC SPECTRAL RESPONSE COEFFICIENTS
 $S_Ds = 0.219$ g (EQUATION 16-39)
 $S_{d1} = 0.149$ g (EQUATION 16-40)

SEISMIC DESIGN CATEGORY = C (TABLE 1613.3.3(1) & 1613.3.3(2))

SITE CLASS D

BUILDING SYSTEM:
BUILDING SYSTEMS: ASCE 7-10
LIGHT FRAME (COLD FORM STEEL WALLS WITH STEEL SHEAR PANELS)
(ASCE 7-10, TABLE 12.14-1, A-15)

ANALYSIS PROCEDURE: EQUIVALENT LATERAL-FORCE ANALYSIS (ASCE 7-10, 12.8)

R = 6.5
Cd = 4.0
Cs = 0.034 (ASCE 7-10, EQUATION 12.8-2)
BASE SHEAR: $V = C_s(W)$ (ASCE 7-10, EQUATION 12.8-1)
 $V = 0.034$ KIPS IN BOTH ORTHOGONAL DIRECTIONS
BUILDING A : V = 16.2 KIPS
BUILDING B : V = 6.4 KIPS
BUILDING C : V = 9.1 KIPS
BUILDING J : V = 10.5 KIPS

FOUNDATION NOTES

ACI 318-11

CONCRETE $F_c = 3000$ PSI AT 28 DAYS

REINFORCING STEEL ASTM A615, GRADE 60, $F_y = 60$ KSI

GROUT 3000 PSI AT 28 DAYS

CONCRETE MASONARY UNITS (CMU's) ASTM C-90

MORTAR TYPE S

EARTH-SOIL PRESSURE TO BE 2000 PSF VERTICAL AND 250 PSF LATERAL PER FOOT OF DEPTH. SOIL TO BE COMPACTED TO 98% STANDARD PROCTOR DENSITY (ASTM D-698). IF ACTUAL CAPACITY IS LESS, FOUNDATION SIZE MUST BE ADJUSTED ACCORDINGLY. NOTIFY ENGINEER FOR POSSIBLE REDESIGN.

CONCRETE PROTECTION FOR REINFORCEMENT:
CONCRETE CAST AGAINST EARTH: 3 INCHES
CONCRETE EXPOSED TO WEATHER: 1 1/2 INCHES

DO NOT SLOPE FOUNDATIONS, FOOTINGS OR SLABS.

DO NOT SAW CUT THICKENED SLAB OR FOOTINGS.

ALL FOUNDATION SHALL BE INSTALLED UNDER THE GUIDANCE OF A REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER IN THE STATE OF NORTH CAROLINA. REQUIRED SOIL BEARING CAPACITY SHALL BE VERIFIED AT THE TIME OF EXCAVATION.

WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON DRAWINGS.

CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND SHORING WALL DURING CONSTRUCTION TO ENSURE STABILITY.

EXCLUSIONS: ROLL-UP DOORS, SWING DOORS, HALLWAY SYSTEMS, BURGLAR BARS AND WIRE MESH, CONCRETE SLABS / CUTTING, MASONRY, CMU, CMU WALLS, CMU BOND BEAMS, BLOCK, ELECTRICAL, HVAC, BRICK VENEER, TIES, LEDGER ANGLES, EIFS, STUCCO, HARDY PLANK, RESIDENTIAL SIDING, ETC., WALL INSULATION FOR EXTERIOR EIFS / STUCCO AND BRICK VENEER WALLS, EXTERIOR SHEATHING, DENS-GLASS, DRYWALLS & WALL INSULATION FOR DRYWALL, OFFICE INTERIOR BUILD-OUT, LINER PANELS FOR FIREWALLS, FIREWALLS, FIRECAULKING, FIREPROOFING, WOOD PRODUCTS, WINDOWS, STOREFRONTS, DECORATIVE AWNINGS, MANSARDS, CANOPIES, PARAPET WALLS, ROOFTOP UNITS, ACCESS DOORS, LADDERS, PLYWOOD, CONCRETE AND ROOF METAL TRUSSES BY OTHERS.

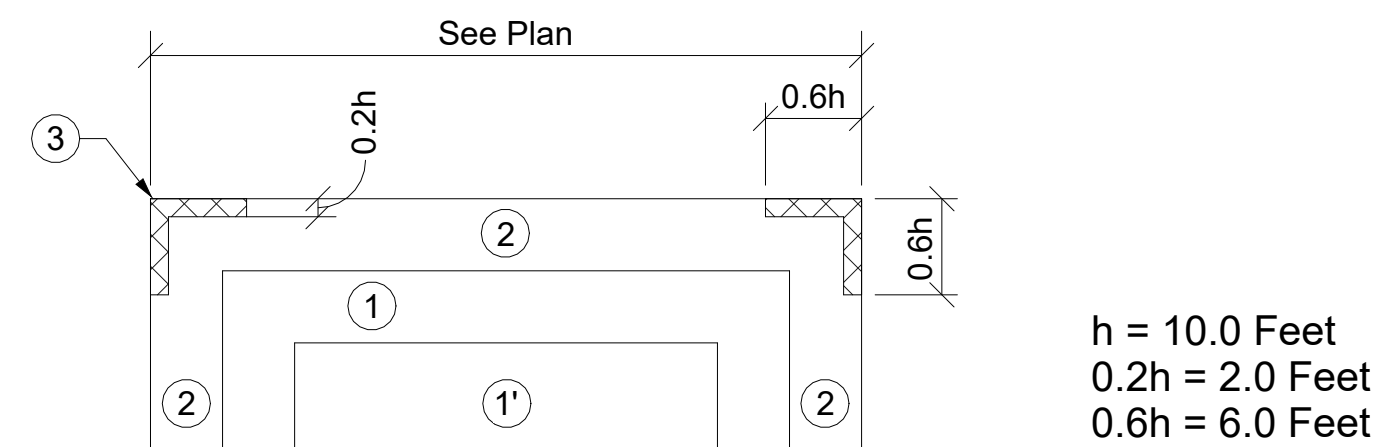
Table with 3 columns: MATERIALS, ASTM DESIGNATION, MIN YIELD (U.N.). Rows include: HOT ROLLED MILL SHAPES (A36, A529, A572, S588, A709, A992), FY = 36 KSI, 50 KSI; STRUCTURAL STEEL PLATE (A529, A572, A1011, A1018), GRADE 55; COLD FORMED L.G. SHAPES (A653, A1011), GRADE 60; FY = KSI; CABLE BRACING (A475), GRADE 36; EXTRA HIGH STRENGTH; ROD BRACING (A572, A510), GRADE 36 OR 50; FY = 36 KSI, 50 KSI; ROOF AND WALL SHEETING (A653, A792), GRADE 50 OR 80; FY = 50 KSI, 80 KSI; STRUCTURAL BOLTS (A325), GRADE 120; FY = 120 KSI; ANCHOR BOLTS (IF SUPPLIED), GRADE 36; FY = 36 KSI; PIPE AND TUBE (A500), GRADE B; FY = 42 KSI.

DESIGN LOAD SCHEDULE POUNDS PER SQUARE FOOT. Table with 2 columns: COMPONENT, ROOF. Rows include: " COMPOSITE DECK; METAL DECK (2.5); ROOF INSULATION (4.0); MECH., ELEC., PLUM. (2.0); CEILING; MISC. (1.5); PARTITION; TOTAL DEAD LOAD (10.0); LIVE LOAD (20.0); TOTAL LOAD (30.0).

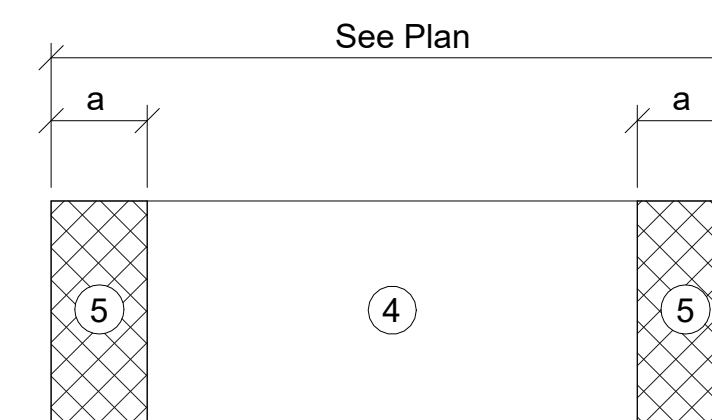
NOTE: NET WIND UPLIFT = -31.6 PSF (MWFRS INTER.)

WIND LOAD SCHEDULE. Table with 3 columns: COMPONENTS & CLADDING, ROOF WIND LOAD, WALL WIND LOADS. Sub-headers: ROOF AREA (1, 2, 3), WALL AREA (4, 5). Rows include: PRESSURE (PSF) (+16.0, +16.0, +16.0, +24.5, +24.5); SUCTION (PSF) (-28.6, -50.1, -75.4, -26.8, -30.8).

1. CORNER DISTANCE, A = 4.0 FEET, ROOF = 10 S.F.; WALL = 50 S.F. (C&C)



ROOF PLAN



WALLS

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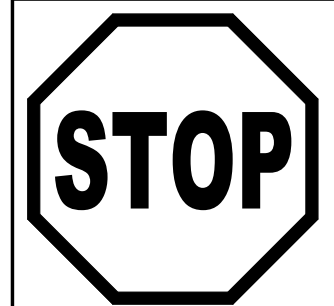
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Revision table with 3 columns: Rev. #, Revision Date, Revision Description. Table is currently empty.

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Project information table: SSI Project Number 1247, Issue Date 09-20-2022, Drawn By Y.H, Checked By AS, Engineered By RSL.

S010
General Notes

STRUCTURAL NOTES

GENERAL:

- A. THE FOLLOWING NOTES APPLY TO ALL STRUCTURAL DRAWINGS. NOTES SHALL APPLY UNLESS OTHERWISE INDICATED BY DRAWINGS OR SPECIFICATIONS.
- B. WHERE A DETAIL, TYPICAL DETAIL, SECTION, TYPICAL SECTION OR PLAN NOTE IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL SIMILAR OR LIKE CONDITIONS UNLESS OTHERWISE NOTED.
- C. ALL DESIGN AND CONSTRUCTION IS BASED ON AND SHALL BE IN ACCORDANCE WITH THE 2018 NORTH CAROLINA STATE BUILDING CODE.
- D. NO PROVISION OF ANY REFERENCED STANDARD SPECIFICATION, MANUAL OR CODE (WHETHER OR NOT SPECIFICALLY INCORPORATED BY REFERENCE IN THE CONTRACT DOCUMENTS) SHALL BE EFFECTIVE TO CHANGE THE DUTIES AND RESPONSIBILITIES OF OWNER, CONTRACTOR, ENGINEER, SUPPLIER, OR ANY OF THEIR CONSULTANTS, AGENTS, OR EMPLOYEES FROM THOSE SET FORTH IN THE CONTRACT DOCUMENTS. NOR SHALL IT BE EFFECTIVE TO ASSIGN TO THE STRUCTURAL ENGINEER OF RECORD OR ANY OF THE STRUCTURAL ENGINEER OF RECORD'S CONSULTANTS, AGENTS, OR EMPLOYEES ANY DUTY OR AUTHORITY TO SUPERVISE OR DIRECT THE FURNISHING OR PERFORMANCE OF THE WORK OR ANY DUTY OR AUTHORITY TO UNDERTAKE RESPONSIBILITIES CONTRARY TO THE PROVISIONS OF THE CONTRACT DOCUMENTS.
- E. CONTRACT DOCUMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE STRUCTURAL DOCUMENTS (DRAWINGS AND SPECIFICATIONS), BUT DO NOT INCLUDE SHOP DRAWINGS, VENDOR DRAWINGS, OR MATERIAL PREPARED AND SUBMITTED BY THE CONTRACTOR.
- F. CONTRACT DOCUMENTS SHALL GOVERN IN THE EVENT OF A CONFLICT WITH CODE OF PRACTICE OR SPECIFICATIONS OF ACI, PCI, AISC, SJI OR OTHER STANDARDS. WHERE A CONFLICT OCCURS WITHIN THE CONTRACT DOCUMENTS, THE STRICTEST REQUIREMENT SHALL GOVERN.
- G. MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE REFERENCED BUILDING CODE.
- H. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. FOR DIMENSIONS NOT SHOWN ON STRUCTURAL DRAWINGS, SEE ARCHITECTURAL DRAWINGS.
- I. THE STRUCTURE SHOWN ON THESE DRAWINGS IS SELF-SUPPORTING ONLY IN ITS COMPLETED FORM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE DESIGN, ADEQUACY, SAFETY, AND STABILITY OF TEMPORARY ERECTION, BRACING AND SHORING.
- J. NO PROVISIONS HAVE BEEN MADE IN THE DESIGN FOR THE SUPPORT OF A CONCENTRATED LOAD FROM PLUMBING, MECHANICAL OR HVAC IN EXCESS OF 200LBS PER JOIST EXCEPT AS SHOWN ON THE PLANS.
- K. THE GENERAL CONTRACTOR SHALL COORDINATE ALL SIZES AND LOCATIONS OF ROOF PENETRATIONS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. ALL PENETRATIONS THROUGH ROOF DECK GREATER THAN 12" SQUARE SHALL BE FRAMED AS SHOWN IN THE "TYPICAL ROOF OPENING FRAMING" DETAIL.
- L. CONTRACTOR SHALL VERIFY THAT MISCELLANEOUS FRAMING SHOWN ON THE STRUCTURAL DRAWINGS FOR MECHANICAL EQUIPMENT, OWNER-FURNISHED ITEMS, PARTITIONS, ETC. IS CONSISTENT WITH THE REQUIREMENTS OF SUCH ITEMS.
- M. UNLESS NOTED, ELEVATIONS SHOWN ARE TO TOP OF FOUNDATIONS, SLAB OR STEEL BEAMS.
- N. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCED, AND PROCEDURES IN ORDER TO COMPLY WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- O. CONTRACTOR HAS SOLE RESPONSIBILITY TO COMPLY WITH ALL OSHA REGULATIONS.
- P. STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OF STEEL STAIRS, HANDRAILS, CURTAIN WALL/WINDOW WALL SYSTEMS, OR OTHER SYSTEMS NOT SHOWN IN THE STRUCTURAL DOCUMENTS. SUCH SYSTEMS SHALL BE DESIGNED, FURNISHED, AND INSTALLED AS REQUIRED BY OTHER PORTIONS OF THE CONTRACT DOCUMENTS AS REQUESTED BY THE BUILDING OFFICIAL.
- Q. DO NOT SCALE FOR DIMENSIONS NOT SHOWN ON DRAWINGS. SEND WRITTEN REQUEST FOR INFORMATION TO THE ARCHITECT FOR DIMENSIONS NOT PROVIDED.
- R. TEST REPORTS AND SPECIAL INSPECTION REPORTS SHALL BE SUBMITTED ELECTRONICALLY UNLESS PRIOR PERMISSION GRANTED BY ENGINEER.

SHOP DRAWINGS:

- A. STRUCTURAL DRAWINGS INDICATE TYPICAL AND SOME SPECIFIC CONDITIONS ONLY. SHOP DRAWINGS SHALL DETAIL ALL CONDITIONS IN ACCORDANCE WITH SPECIFIED STANDARDS AND THE SPECIFIC REQUIREMENTS OF THIS PROJECT AS INDICATED IN THE PROJECT DOCUMENTS.
- B. THE CONTRACTOR SHALL SUBMIT, AS REQUIRED, PRINTS OF SHOP DRAWINGS FOR ALL FABRICATED MATERIALS TO ENGINEER FOR REVIEW.
- C. REVIEW OF SHOP DRAWINGS BY THE ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF THOSE SHOP DRAWINGS.
- D. SHOP DRAWINGS REQUIRING A SPECIAL ENGINEERING DESIGN BY THE FABRICATOR SHALL BE STAMPED BY A REGISTERED ENGINEER OF RECORD IN THE STATE WHICH CONSTRUCTION WILL OCCUR BEFORE SUBMITTING FOR REVIEW BY THE ENGINEER.
- E. COMPLETE SHOP DRAWINGS FOR CONSTRUCTION OF ALL APPLICABLE SPECIALTY ITEMS INCLUDING, BUT NOT LIMITED TO: CURTAIN WALL GLAZING SYSTEMS, ORNAMENTAL GUARDRAILS, SKYLIGHTS, AND STAIRS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE IN WHICH THIS BUILDING SHALL BE CONSTRUCTED AND SHALL BE AVAILABLE AT THE JOB SITE DURING TIMES OF INSPECTION.
- F. REPRODUCTION/DUPLICATION OF THE STRUCTURAL DRAWINGS FOR USE IN THE PRODUCTION OF SHOP DRAWINGS IS PROHIBITED, UNLESS NOTED OTHERWISE. IN THE EVENT THAT THE GENERAL CONTRACTOR OR SUBCONTRACTOR ELECTS TO PRODUCE SHOP DRAWINGS BY COPYING ELECTRONIC OR PAPER COPIES OF THE STRUCTURAL DRAWINGS, THE CONTRACTOR SHALL REQUEST FROM THE ENGINEER OF RECORD A SHOP DRAWING WAIVER ALONG WITH THE SPECIFIC SHEETS REQUIRED. SIGNATURE OF THE WAIVER BY THE CONTRACTOR OR SUBCONTRACTOR, ALONG WITH PAYMENT OF A FEE TO THE ENGINEER OF RECORD WILL BE REQUIRED. CONTRACTOR SHALL CONTINUE TO ASSUME RESPONSIBILITY FOR ERRORS, OMISSIONS AND COORDINATION REQUIRED FOR SHOP DRAWING PRODUCTION, REGARDLESS OF THE USE OF COPIES OF THE STRUCTURAL DRAWINGS FOR SHOP DRAWING PRODUCTION.

DESIGN LOADS:

- A. DESIGN ROOF DEAD LOAD:
 - 1. 10.0 PSF
- B. DESIGN ROOF LIVE LOAD:
 - 1. 20.0 PSF
 - 2. REDUCTIONS APPLIED PER TRIBUTARY AREA AS PERMITTED BY CODE.
- C. DESIGN FLOOR LIVE LOAD:
 - 1. 125 PSF SLAB-ON-GRADE
- D. DESIGN SNOW LOAD:
 - 1. GROUND SNOW LOAD, Pg = 10.0 PSF
 - 2. FLAT ROOF SNOW LOAD, Pf = 8.4 PSF
 - 3. SNOW EXPOSURE FACTOR, Ce = 1.2
 - 4. SNOW IMPORTANCE FACTOR, Is = 1.0
 - 5. SNOW THERMAL FACTOR, Ct = 1.0
- E. DESIGN WIND LOAD:
 - 1. BASIC WIND SPEED (3 SECOND GUST): 117.0 MPH (ULTIMATE)
 - 2. WIND IMPORTANCE FACTOR, Iw = 1.0
 - 3. BUILDING CATEGORY / OCCUPANCY CATEGORY: (II)
 - 4. WIND EXPOSURE CATEGORY: C DIRECTIONALITY (Kd) = 0.85
 - 5. COMPONENTS AND CLADDING WIND PRESSURE
 - 6. INTERNAL PRESSURE COEFFICIENT (GCp1): 0.18
- F. DESIGN SEISMIC INFORMATION:
 - 1. SEISMIC USE GROUP / OCCUPANCY CATEGORY: (II)
 - 2. MAPPED SPECTRAL RESPONSE COEFFICIENT, S1 = 0.093g
 - 3. MAPPED SPECTRAL RESPONSE COEFFICIENT, Ss = 0.205g
 - 4. SPECTRAL RESPONSE COEFFICIENT, Sds = 0.219g
 - 5. SPECTRAL RESPONSE COEFFICIENT, Sd1 = 0.149g
 - 6. SITE CLASS: D
 - 7. BEARING WALL SYSTEMS; LIGHT FRAME WALLS WITH STEEL SHEAR PANELS.
 - 8. ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE ANALYSIS
 - 9. RESPONSE MODIFICATION FACTOR, R: 6.5
 - 10. SEISMIC DESIGN CATEGORY: C
 - 11. SEISMIC IMPORTANCE FACTOR, Ie = 1.0
 - 12. SEISMIC RESPONSE COEFFICIENT, Cs = 0.034
- G. NO PROVISIONS HAVE BEEN MADE FOR FUTURE HORIZONTAL OR VERTICAL EXPANSION.

SHALLOW FOUNDATION:

- A. DESIGN SOIL BEARING PRESSURE IS 2000 PSF.
- B. QUALIFIED GEOTECHNICAL ENGINEER SHALL VERIFY ALL ASSUMPTIONS AND REPORT TO THE ARCHITECT/ENGINEER ANY VARIATIONS.
- C. ALL EXCAVATIONS AND BUILDING PADS SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THE DESIGN ASSUMPTIONS AND REPORT ADVERSE CONDITIONS.
- D. WHERE FILL IS REQUIRED, IT SHALL BE PLACED IN ACCORDANCE WITH INSTRUCTIONS OF A QUALIFIED GEOTECHNICAL ENGINEER TO MAINTAIN DESIGN BEARING PRESSURE.
- E. FOOTING ELEVATIONS GIVEN ARE FOR THE PURPOSE OF DESIGN. SOIL BELOW FOOTING NOT MEETING DESIGN BEARING PRESSURE SHALL BE EXCAVATED TO A DEPTH OF VERIFIABLE DESIGN PRESSURE AND BACKFILLED WITH #57 STONE TO A LEVEL OF FOUNDATION BEARING. THIS SHALL BE APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER.
- F. THE BOTTOM OF ALL EXTERIOR FOUNDATIONS SHALL BE PLACED AT A MINIMUM OF 16" BELOW THE TOP OF THE FINISHED GRADE. THE BOTTOM OF ALL INTERIOR FOUNDATION SHALL BE PLACED AT A MINIMUM OF 16" BELOW THE TOP OF THE FINISHED GRADE.
- G. FOOTINGS SHALL BE CENTERED ABOUT COLUMN LINES UNLESS NOTED OTHERWISE.
- H. TOP OF FOOTING ELEVATIONS PROVIDED ON DRAWINGS ARE FOR PURPOSES OF CONTRACT & SHALL BE ADJUSTED, AS REQUIRED, AT TIME OF EXCAVATION TO BEAR ON PROPERLY PREPARED SUPPORT SUBGRADE (PER GEOTECHNICAL REPORT RECOMMENDATIONS OR FIELD DIRECTIVES OF GEOTECHNICAL ENGINEER ON SITE) OR TO ADJUST FOOTING ELEVATIONS TO AVOID INFLUENCE BETWEEN FOUNDATIONS & BURIED PLUMBING. DO NOT EMBED PIPING WITHIN OR PASS PIPING VERTICALLY OR HORIZONTALLY THROUGH ISOLATED FOOTINGS.

SPECIAL INSPECTIONS:

- A. THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED UNDER SECTION 1704 OF THE BUILDING CODE. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION. THESE INSPECTIONS ARE IN ADDITION TO THE INSPECTIONS SPECIFIED IN SECTION 109 OF THE BUILDING CODE.
- B. SEE SECTION 1704, SPECIAL INSPECTIONS, OF THE BUILDING CODE FOR FULL CRITERIA AND EXCEPTIONS FOR INSPECTION REQUIREMENT.
- C. SEE INSPECTION TABLE ON THE SCHEDULES SHEET FOR REQUIRED MATERIALS INSPECTION.

CONCRETE:

- A. ALL CONCRETE DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-08 AND ACI 301-08.
- B. CEMENT SHALL BE TYPE I OR TYPE III CONFORMING TO ASTM C-150 AND CONCRETE SHALL DEVELOP A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- C. TEST CYLINDERS SHALL BE TAKEN AS A REPRESENTATIVE SAMPLE OF CONCRETE PLACED IN THE AMOUNT ACCORDING TO THE LESSER OF THE FOLLOWING.
 - 1. 75 CUBIC YARDS
 - 2. 24 HOUR PERIOD
 - 3. CHANGE IN CONCRETE STRENGTH
- D. TEST RESULTS SHALL BE FORWARDED TO THE ARCHITECT/ENGINEER UNLESS NOTED OTHERWISE, NORMAL WEIGHT CONCRETE (145 PCF) SHALL BE USED WITH 1" MAX. COARSE AGGREGATE CONFORMING TO ASTM C 33.
- E. CONCRETE SLUMP SHALL BE 3"-5" (MAX) FOR REGULAR MIX WITH SUPERPLASTICIZER ADMIXTURES INCREASING SLUMP TO 8" (MAX). CONCRETE AIR-ENTRAINMENT SHALL BE 4.5" TO 7.5" FOR EXTERIOR SLABS AND 0% TO 3% FOR INTERIOR SLABS.
- F. UNLESS NOTED OTHERWISE, CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
 - 1. CONCRETE CAST AGAINST EARTH. 3"
 - 2. FORMED CONCRETE EXPOSED TO EARTH OR WEATHER. 2"
- G. NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE AT THE JOB SITE.
- H. THE RESULTS OF ALL CONCRETE COMPRESSIVE TESTS SHALL BE AT THE JOB SITE FOR REVIEW BY THE INSPECTOR.
- I. THE FOLLOWING CRITERIA REGARDING PIPES AND CONDUITS EMBEDDED IN CONCRETE MUST BE FOLLOWED (SEE MECHANICAL/ELECTRICAL DRAWINGS FOR LOCATION OF SLEEVES, PIPES, CONDUIT, ACCESSORIES, ETC.) THIS CRITERIA WILL BE STRICTLY ENFORCED.
 - 1. CONDUITS, PIPES, AND SLEEVES OF ANY MATERIAL NOT HARMFUL TO CONCRETE SHALL BE PERMITTED TO BE EMBEDDED IN CONCRETE WITH THE APPROVAL OF THE STRUCTURAL ENGINEER.
 - 2. CONDUITS AND PIPES OF ALUMINUM SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE.
 - 3. CONDUITS, PIPES, AND SLEEVES PASSING THROUGH A SLAB, WALL, OR BEAM SHALL NOT SIGNIFICANTLY IMPAIR THE STRENGTH OF THE CONSTRUCTION.
 - 4. CONDUITS AND PIPES SHALL NOT BE LARGER IN OUTSIDE DIAMETER THAN 1/3 THE OVERALL THICKNESS OF THE SLAB, WALL, OR BEAM IN WHICH THEY ARE EMBEDDED.
 - 5. CONDUITS AND PIPES SHALL NOT BE SPACED CLOSER THAN 3 DIAMETERS OR WIDTHS ON CENTER CONCRETE COVER FOR PIPES, CONDUITS AND FITTINGS SHALL NOT BE LESS THAN 1 1/2" FOR CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR IN CONTACT WITH GROUND.
 - 6. CONDUITS AND PIPES SHALL BE PLACED BETWEEN TOP AND BOTTOM SLAB REINFORCEMENT. PIPES AND CONDUITS SHALL BE PLACED IN THE MIDDLE THIRD OF THE SLAB OR WALL THICKNESS UNLESS NOTED OTHERWISE.
 - 7. CONDUITS AND PIPES SHALL BE SO FABRICATED AND INSTALLED THAT CUTTING, BENDING, OR DISPLACEMENT OF REINFORCEMENT FROM ITS PROPER LOCATION WILL NOT BE REQUIRED.
 - 8. CONDUITS AND PIPES, WITH FITTINGS, EMBEDDED WITHIN A COLUMN SHALL NOT DISPLACE MORE THAN 4 PERCENT OF THE AREA OF CROSS SECTION NOTED ON DRAWINGS OR AS REQUIRED BY FIRE PROTECTION.
 - 9. PIPES AND FITTINGS SHALL BE DESIGNED TO RESIST EFFECTS OF MATERIAL, PRESSURE AND TEMPERATURE TO WHICH THEY WILL BE SUBJECTED.
 - 10. REINFORCEMENT WITH AN AREA NOT LESS THAN 0.002 TIMES THE AREA OF CONCRETE SECTION SHALL BE PROVIDED NORMAL TO PIPING. THIS REINFORCEMENT SHALL BE IN ADDITION TO REINFORCEMENT NOTED ON DRAWINGS.
 - 11. REFER TO ACI 318, SECTION 6.3 FOR ADDITIONAL REQUIREMENTS FOR CONDUITS AND PIPES EMBEDDED IN CONCRETE.
- J. SEE ARCHITECTURAL, ELECTRICAL, MECHANICAL, FIRE PROTECTION AND PLUMBING DRAWINGS FOR DRIPS, CHAMFERS, REGLETS, SLOTS, SLEEVES, RUSTICATIONS, INSERTS ANCHORS AND OTHER EMBEDDED ITEMS NOT NOTED ON STRUCTURAL DRAWINGS. CONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING & PLACING ALL EMBEDDED ITEMS SHOWN ON DRAWINGS & ADDITIONAL ITEMS NOTED IN THIS NOTE, AS REQUIRED BY OTHER TRADES, UNLESS SHOWN ON STRUCTURAL DRAWINGS, NO OPENINGS LARGER THAN 12"x12" SHALL BE PLACED ON SLABS OR WALLS. FOR OPENINGS NOT SHOWN ON STRUCTURAL DRAWINGS, APPROVALS MUST BE OBTAINED FROM THE ENGINEER/ARCHITECT PRIOR TO FABRICATIONS OF STEEL AND PLACEMENT OF CONCRETE.
- K. FLY ASH, MEETING ASTM C-618 CLASS C OR CLASS F, MAY BE USED TO REPLACE UP TO 20% OF PORTLAND CEMENT. CONTRACTOR AND SUPPLIER SHALL COORDINATE TO ENSURE THAT REQUIRED SET TIMES FOR CONCRETE ARE NOT ADVERSELY AFFECTED BY USE OF FLY ASH. CONTRACTOR AND ALL CONCRETE SUBCONTRACTORS SHALL HAVE EXPERIENCE WITH HANDLING, PLACING AND FINISHING CONCRETE WITH FLY ASH.
- L. REFER TO ARCHITECTURAL DRAWINGS FOR MOLDS, GROOVES, ORNAMENTS, CLIPS OR GROUNDS REQUIRED TO BE ENCASED IN CONCRETE AND FOR LOCATION OF FLOOR FINISHED AND SLAB DEPRESSIONS.
- M. DEFECTIVE AREA IN CONCRETE INCLUDING, BUT NOT LIMITED TO, HONEY-COMBING, SPALLS, AND CRACKS WITH WIDTHS EXCEEDING 0.01 INCH SHALL BE REPAIRED. EXTENT OF DEFECTIVE AREA TO BE DETERMINED BY THE STRUCTURAL ENGINEER.
- N. POWDER ACTUATED FASTENERS (OR POWDER DRIVEN FASTENERS) SHALL BE ANCHORED IN CONCRETE WITH MINIMUM FASTENER SPACING OF 3" AND MINIMUM EDGE DISTANCE OF 2".
- O. HEADED CONCRETE ANCHORS SHALL BE TYPE B AND CONFORM TO AWS D1.1-02 & ASTM A108 SPECIFICATIONS FOR 1010 THROUGH 1020 MILD STEELS. MINIMUM YIELD STRENGTH = 51,000 PSI (0.2% OFFSET).



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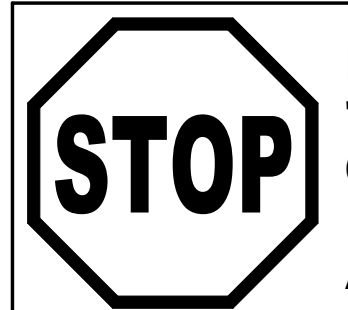
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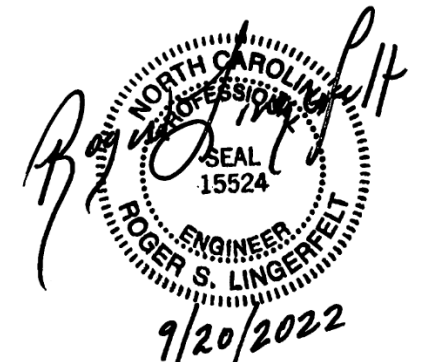
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If you do not have "For Field Use" Plans
Call (205) 234-4202
IMMEDIATELY
And ask for Darby Owenby



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SSI Project Number	1247
Issue Date	09-20-2022
Drawn By	Y.H
Checked By	AS
Engineered By	RSL

S011
General Notes

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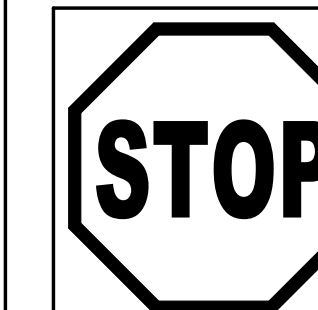
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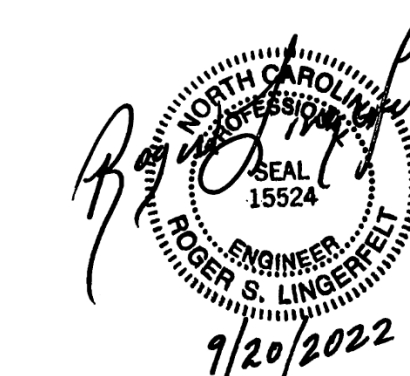
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SLAB-ON-GRADE:

- A. C.J. DENOTES CONCRETE SLAB "CONTROL JOINT" WHICH SHALL BE CUT INTO THE SLABS AT A DEPTH OF ¼ TIMES THE THICKNESS OF THE SLAB WITHIN 12 HOURS OF PLACING THE CONCRETE. MAXIMUM SPACING OF INTERIOR SLAB CONTROL JOINTS, UNLESS NOTED OTHERWISE, SHALL BE 20'-0" TO 20'-0" (MAX) IN EACH DIRECTION. CONSTRUCTION OF CONTROL JOINTS SHALL BE LOCATED SUCH THAT THE AREA CONTAINED IS 400 SQUARE FEET MAX, WITH A MAXIMUM RATIO OF LONG TO SHORT SIDE OF 2 TO 1, OR AS SHOWN ON THE PLANS.
- B. SLAB CONSTRUCTION JOINTS SHALL BE USED IN PLACE OF CONTROL JOINTS WHERE NEEDED TO INTERRUPT A CONTINUOUS POUR. SLAB CONSTRUCTION JOINTS SHALL BE KEYS.
- C. PLACEMENT OF WELDED WIRE REINFORCEMENT IN SLAB, WHERE SPECIFIED, SHALL BE AT A CONSISTENT DEPTH OF 1"-2" FROM T/SLAB. WELDED WIRE REINFORCEMENT SHALL BE PROPERLY CHAIRED ABOVE GRADE. OVERLAP EACH REINFORCING SHEET TWO FULL PANELS AND TIE CROSS WIRES ON EACH SIDE. WELDED WIRE REINFORCEMENT SHALL BE SUPPLIED IN FLAT SHEETS.
- D. REFER TO ARCHITECTURAL/MECHANICAL FOR SLAB FINISHES, SLAB DEPRESSIONS, THICKENED SLABS (IN ADDITION TO THICKENED SLABS NOTED ON STRUCTURAL DRAWINGS), ELEVATIONS, AND ENCASED OR EMBEDDED ITEMS.
- E. PLUMBING AND ELECTRICAL CONDUITS SHALL BE PLACED BELOW THE SLAB AND NOT WITHIN THE SLAB. VERTICAL PENETRATIONS ARE ALLOWED.
- F. COLUMN BOX-OUTS SHALL BE USED TO ISOLATE AN ADEQUATE AREA AROUND COLUMN BASE PLATES TO PROVIDE FOR COLUMN PLACEMENT AND LEVELING. BOX-OUTS ARE TO BE CLEAN AND FREE OF DEBRIS TO TOP OF FOOTING PRIOR TO FILLING WITH CONCRETE. COLUMN BOX-OUTS ARE NOT REQUIRED IF STEEL COLUMNS ARE PLUMB AND FULLY GROUTED PRIOR TO PLACEMENT OF SLAB.

REINFORCING STEEL:

- A. REINFORCING STEEL AND ACCESSORIES SHALL BE DETAILED IN ACCORDANCE WITH ACI 315 (MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES) AND CRSI MSP2 (MANUAL OF STANDARD PRACTICE) LATEST EDITIONS.
- B. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 (UNLESS NOTED OTHERWISE.)
- C. SUBMIT SHOP DRAWINGS WHICH ADEQUATELY DEPICT THE REINFORCING BAR SIZES AND PLACEMENT. WRITTEN DESCRIPTION OF REINFORCEMENT WITHOUT ADEQUATE SECTIONS, ELEVATIONS AND DETAILS IS NOT ACCEPTABLE.
- D. ALL WELDED REINFORCING STEEL SHALL CONFORM TO ASTM A-706, GRADE 60, AND BE USED ONLY WITH PRIOR PERMISSION FROM THE STRUCTURAL ENGINEER.
- E. ALL TENSION SPLICES, INCLUDING SPLICES FROM BARS LABELED CONTINUOUS SHALL CONFORM TO ACI 318-08. SPLICES SHALL BE CLASS B IN ACCORDANCE WITH ACI 318, UNLESS NOTED OTHERWISE. REINFORCEMENT SHALL BE SPLICED ONLY AT LOCATIONS SHOWN OR NOTED IN THE STRUCTURAL DOCUMENTS, EXCEPT REINFORCEMENT MARKED "CONTINUOUS" CAN BE SPLICED AT LOCATIONS DETERMINED BY CONTRACTOR SPLICES AT OTHER LOCATIONS SHALL BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.
- F. WELDED WIRE REINFORCEMENT SHALL CONFORM TO ASTM A-185 AND BE LAPPED TWO FULL PANELS, TIED ON EACH SIDE AND SHALL BE SUPPLIED IN FLAT SHEETS.
- G. LONGITUDINAL REINFORCING BARS IN FOOTINGS SHALL BE PLACED CONTINUOUS AT CORNERS AND INTERSECTIONS.
- H. FOR EVERY VERTICAL OR HORIZONTAL BAR DISCONTINUED BY AN OPENING, ONE BAR (MIN. OF 2 BARS) SHALL BE ADDED SIDE OF OPENING (HALF TO EACH SIDE – TYPICAL)
- I. PROVIDE CORNER BARS AT ALL CONTINUOUS REINFORCING BARS AT ALL MEMBERS (FOUNDATIONS, WALL, SLABS, BEAMS AND OTHER MEMBERS).
- J. PROVIDE DOWELS FROM FOUNDATIONS, THE SAME SIZE & NUMBER AS THE VERTICAL WALL OR COLUMN REINFORCING, UNLESS NOTED OTHERWISE.
- K. ALL DOWELS AND TERMINATING BARS SHALL HAVE A STANDARD 90 DEGREE HOOK.
- L. ALL HORIZONTAL REINFORCING SHALL BE CONTINUOUS THROUGH CONTROL AND/OR CONSTRUCTION JOINTS AND AROUND CORNERS.

COLD-FORMED METAL FRAMING (METAL STUDS AND JOIST):

- A. DESIGN FABRICATIONS AND ERECTION SHALL CONFORM TO AISI 2001 "NORTH AMERICAN SPECIFICATIONS FOR THE DESIGN OF COLD FORMED STEEL STRUCTURALS MEMBERS". ALL METAL STUDS SHALL BE GALVANIZED.
- B. MINIMUM YIELD STRENGTH (FY) FOR MATERIAL IS 33,000 PSI FOR 33 MILS MATERIALS, AND 40,000 PSI FOR 43,54 MILS. 68 MILS AND 97 MILS MATERIALS.
- C. ALL STUDS, JOISTS, TRACK, BRIDGING, END CLOSURES AND ACCESSORIES SHALL BE FORMED FROM STEEL THAT CORRESPONDS TO THE REQUIREMENTS OF AISI SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS UNLESS NOTED OTHERWISE.
- D. ALL PRODUCTS TO BE MANUFACTURED BY A CURRENT MEMBER OF THE STEEL MANUFACTURERS ASSOCIATION.
- E. ALL MATERIAL AND ACCESSORIES SHALL BE FORMED FROM STEEL HAVING A G-60 GALVANIZED COATING, MEETING ASTM A-653.
- F. SELF-DRILLING TAPPING SCREW FASTENERS SHALL BE IN COMPLIANCE WITH ASTM C1513 OR AN APPROVED DESIGN OR RECOGNIZED DESIGN STANDARD. ALL SCREWS SHALL BE NON-CORROSIVE NO. 12-14 STANDARD SELF-DRILLING SCREWS UNLESS NOTED OTHERWISE ON DRAWINGS (DO NOT USE STAINLESS STEEL OR COPPER COATED FASTENERS).
- G. ALL POWDER ACTUATED FASTENERS (PAF) SHALL BE 0.177" DIAMETER POWDER ACTUATED FASTENERS.
- H. ALL SCREWS SHALL BE SPACED NO CLOSER THAN 1" ON CENTER UNLESS NOTED OTHERWISE ON DRAWINGS. MIN EDGE DISTANCE FOR SCREWS SHALL BE 1".
- I. UNLESS NOTED OTHERWISE, TRACKS SHALL BE SAME DEPTH AS STUDS OR JOISTS AND EQUAL OR THICKER GAUGE THAN STUDS OR JOISTS. TRACKS SHALL BE CONNECTED TO SUPPORTS WITH TWO SCREWS OR PINS AT 16" MAX STUDS OR JOISTS SHALL BE CONNECTED TO TRACKS AT EACH SIDE.
- J. ALL WELDING TO BE PERFORMED BY A QUALIFIED WIRE FEED WELDER PER ASTM A-108. FIELD WELDING SHALL BE DONE WITH E60 ELECTRODES. WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY STANDARD D13, LATEST EDITION.
- K. APPLY ZINC COATING TO ALL WELDS.
- L. CONTRACTOR SHALL FURNISH COMPLETE FABRICATION AND ERECTION DRAWINGS FOR APPROVAL BY THE STRUCTURAL ENGINEER PRIOR TO THE COMMENCEMENT OF FABRICATION. INCLUDE PLACING DRAWINGS FOR FRAMING MEMBERS SHOWING SIZE AND GAGE DESIGNATIONS, NUMBER, TYPE, LOCATION AND SPACING. INDICATE SUPPLEMENTAL TRAPPING, BRACES, SPLICES, BRIDGING, ACCESSORIES AND DETAILS REQUIRED FOR PROPER INSTALLATION.
- M. MULTIPLE STUD COLUMNS (INCLUDING JACK/FULL HT. STUD ASSEMBLIES EACH SIDE OF OPENINGS) SHALL BE WELDED TOGETHER AT BOTH FLANGES WITH 2" TOP AND BOTTOM AND 1" AT 24" O.C. BETWEEN. IF SCREWED CONNECTIONS REQUIRED TO FASTEN STUDS, PROVIDE (2) ROWS OF SCREWS AT SPACINGS NOTED FOR WELDS, FASTENED AT WEBS (NOTE: ADDITIONAL TRACK MEMBERS, SAME DEPTH AND GAGE AS STUD MEMBERS (MINIMUM), MAY BE REQUIRED. TO BUILD BOX MEMBERS TO PROVIDE WEB SCREW CONNECTIONS NOTED. FASTEN FLANGES OF TRACKS TO FLANGES OF STUDS WITH SCREWS EACH FLANGE AT SAME SPACING NOTED ABOVE.)
- N. THE QUANTITY OF STUDS AND JOISTS DISPLACED OR CUT FOR OPENING SHALL BE PLACED HALF ON EACH SIDE OF OPENING, UNLESS NOTED OTHERWISE, (2) STUDS MIN EACH SIDE OF OPENING.
- O. APPLY ZINC COATING TO ALL WELDS.
- P. CONTRACTOR SHALL FURNISH COMPLETE FABRICATION AND ERECTION DRAWINGS FOR APPROVAL BY THE STRUCTURAL ENGINEER PRIOR TO THE COMMENCEMENT OF THE FABRICATION, INCLUDE PLACING DRAWINGS FOR FRAMING MEMBERS SHOWING SIZE AND GAGE DESIGNATIONS, NUMBER, TYPE, LOCATION AND SPACING. INDICATE SUPPLEMENTAL TRAPPING, BRACES, SPLICES, BRIDGING, ACCESSORIES AND DETAILS REQUIRED FOR PROPER INSTALLATION.
- Q. MULTIPLE STUD COLUMNS (INCLUDING JACK/FULL HT. STUDS ASSEMBLIES EACH SIDE OF OPENINGS) SHALL BE WELDED TOGETHER AT BOTH FLANGES WITH 2" TOP AND BOTTOM AND 1" AT 24" O.C. BETWEEN. IF SCREWED CONNECTIONS REQUIRED TO FASTEN STUDS, PROVIDE (2) ROWS OF SCREWS AT SPACING NOTED FOR WELDS, FASTENED AT WEBS (NOTE: ADDITIONAL TRACK MEMBERS, SAME DEPTH AND GAGE AS STUD MEMBERS (MIN.), MAY BE REQUIRED. TO BUILD BOX MEMBERS TO PROVIDE WEB SCREW CONNECTIONS NOTED. FASTEN FLANGES OF TRACKS TO FLANGES OF STUDS WITH SCREWS EACH FLANGE AT SAME SPACING NOTED ABOVE.)

STRUCTURAL STEEL:

- A. CONFORM TO AISI MANUAL OF STEEL CONSTRUCTION, THIRTEENTH EDITION, AISC 360-05.
- B. MATERIALS:
 - 1. ASTM A 992, FY=50 KSI FOR WIDE FLANGE SHAPES.
 - 2. ASTM A 36M, FY=36 KSI FOR ALL OTHER MISC. SHAPES, U.N.O.
 - 3. ASTM A 500, GRADE B, FY=46 KSI FOR STRUCTURAL RECTANGULAR/SQUARE TUBES.
 - 4. ASTM A 500, GRADE B, FY=42 KSI FOR STRUCTURAL ROUND TUBES.
 - 5. ASTM A 53M, GRADE B, FY=35 KSI FOR PIPES.
 - 6. ASTM A 325, TYPE 1, FOR HIGH STRENGTHS BOLTS.
 - 7. ASTM A 563, HEX NUTS – GRADE C FOR A325 BOLTS, GRADE DH FOR A490 BOLTS, GRADE DH FOR GALVANIZED BOLTS.
 - 8. ASTM F 436, HARDENED STEEL WASHERS – TYPE 1.
 - 9. ASTM F 1554, FY=36 KSI FOR ANCHOR RODS.
- C. THE DESIGN OF CONNECTIONS FOR ANY PORTION OF THE STRUCTURE NOTE INDICATED ON THE DRAWINGS SHALL BE DESIGNED BY THE FABRICATOR AS FOLLOWS:
 - 1. STANDARD CONNECTIONS SHALL BE USED WHERE POSSIBLE.
 - 2. ALL SHOP CONNECTIONS SHALL BE WELDED OR HIGH-STRENGTH BOLTED. FIELD CONNECTIONS SHALL BE HIGH-STRENGTH BOLTED WHERE POSSIBLE. UNLESS NOTED OTHERWISE, BOLTS SHALL BE ¾" DIAMETER ASTM A-325 TYPE N BEARING CONNECTIONS. BOLTS SHALL BE "SNUG-TIGHT".
 - 3. PROVIDE THE MINIMUM NUMBER OF BOLTS REQUIRED TO DEVELOP THE BEAM SHEAR "B" NOTED ON THE CONTRACT DRAWINGS. IF THE BEAM SHEAR IS NOT NOTED, THE CONNECTIONS SHALL DEVELOP THE BEAM SHEAR $V = W/2$ WHERE W IS THE TOTAL ALLOWABLE BEAM UNIFORM LOAD BASED ON LATERALLY SUPPORTED SIMPLE SPAN MOMENTS PER TABLES LOCATED IN THE AISI MANUAL OF STEEL CONSTRUCTION, 13TH EDITION, BEAMS, PAGES 3-33 THRU 3-95. BEAM SHEAR "V" NOTED ON THE CONTRACT DRAWINGS IS THE SERVICE LOAD BEAM REACTION U.N.O. DESIGN OF SPECIAL CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE IN WHICH CONSTRUCTION IS TO OCCUR AND SHALL INCLUDE (BUT IS NOT LIMITED TO) BRACE END CONNECTIONS, MOMENT-RESISTING CONNECTIONS, MODIFIED BEAM SEAT CONNECTIONS AND MEMBER SPLICE CONNECTIONS.
 - 4. MEMBERS SUPPORTING DECK AT THE PERIMETER OF THE BUILDING SHALL BE CONTINUOUS EXCEPT AT EXPANSION JOINT. SQUARE GROOVE WELD (BUTT JOINT) CONTINUOUS MEMBERS PLACED END TO END.
 - 5. ALL STRUCTURAL STEEL NOT RECEIVING FIRE-PROOFING SHALL RECEIVE ONE SHOP COAT OF RUST-INHIBITIVE PRIMER. ALL STEEL WITH EXTERIOR EXPOSURE SHALL BE PAINTED WITH A DOUBLE COAT OF RUST PROHIBITIVE EPOXY PRIMER (MATERIAL AND THICKNESS TO BE SPECIFIED BY ARCHITECT).
 - 6. STEEL COLUMNS AND BASE PLATES SHALL HAVE MINIMUM 3" CONCRETE COVER PROTECTION.
 - 7. ALL BOLTED CONNECTIONS SHALL BE ASSEMBLED AND INSPECTED IN ACCORDANCE WITH RCSC-2004 "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A-325 OR ASTM A-490 BOLTS".
 - 8. ALL STEEL TESTING SHALL BE PAID FOR BY THE OWNER (CONTRACTOR SHALL COORDINATE WITH OWNER TO ENSURE THAT COST OF TESTING IS ACCURATE AND PRESENTED TO OWNER WITH CONSTRUCTION COSTS).
 - 9. GUSSET PLATES AND STIFFENER PLATES SHALL BE 3/8" MIN. UNLESS NOTED OTHERWISE.
 - 10. SPLICING OF STEEL MEMBERS IS PROHIBITED WITHOUT PRIOR APPROVAL OF ENGINEER OF RECORD WITH REGARDS TO LOCATION & SPLICE TYPE AND LOADING ON SPLICE.
 - 11. PUNCH STRUCTURAL STEEL FOR WOOD BLOCKING AND NAILERS IN ACCORDANCE WITH ARCHITECTURAL AND STRUCTURAL DETAILS.
 - 12. CONNECTIONS SHALL BE DESIGNED AS BEARING-TYPE CONNECTIONS WITH THREADS IN THE SHEAR PLANE, UNLESS NOTED OTHERWISE. ALL BOLTS NOTED AS SLIP-CRITICAL SHALL BE TIGHTENED TO THE MINIMUM PRETENSION VALUE SHOWN IN TABLE J3.1 OF THE AISI MANUAL, USING COMPRESSIBLE-WASHER-TYPE DIRECT TENSION INDICATOR DEVICES CONFORMING TO ASTM F959.
 - 13. DETAILING, FABRICATION AND ERECTION SHALL COMPLY WITH ALL APPLICABLE OSHA REGULATIONS, INCLUDING THE FABRICATION OF ADDITIONAL PLATES, CONNECTORS, HOLES AND OTHER ELEMENTS NOT NOTED ON THE DRAWINGS.
 - 14. UNLESS NOTED OTHERWISE, SLOTTED HOLES FOR BEAM END CONNECTIONS ARE NOT ALLOWED FOR BEAMS ALIGNED ALONG A COLUMN LINE WITH A BRACED FRAME OR MOMENT FRAME ALIGNED ON THE COLUMN LINE.
 - 15. EXPANSION ANCHORS AS SHOWN ON CONTRACT DOCUMENTS SHALL BE HILTI KWIK BOLT 3 ANCHORS MANUFACTURED BY HILTI

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SSI Project Number	1247
Issue Date	09-20-2022
Drawn By	Y.H
Checked By	AS
Engineered By	RSL

S012
General Notes

SHOP DRAWING REVIEW AND SUBMITTAL NOTES

1. REFER TO PROJECT SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS.

SHOP DRAWINGS AND SUBMITTALS WILL BE REVIEWED FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS.

SUBMITTAL REVIEW WILL NOT BE CONDUCTED FOR THE PURPOSE OF DETERMINING THE ACCURACY AND COMPLETENESS OF OTHER DETAILED INFORMATION SUCH AS DIMENSIONS AND QUANTITIES, OR FOR SUBSTANTIATING INSTRUCTIONS FOR INSTALLATION OR PERFORMANCE OF EQUIPMENT OR SYSTEMS DESIGNED BY THE CONTRACTOR. ALL OF THIS REMAINS THE RESPONSIBILITY OF THE CONTRACTOR.

REVIEW SHALL NOT CONSTITUTE APPROVAL OF SAFETY PRECAUTIONS OR OF ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES.

APPROVAL OF A SPECIFIC ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT.

2. DEFERRED SUBMITTALS SHALL BE SUBMITTED TO STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL:

- ITEM
A. REINFORCING STEEL (REBAR)
B. CONCRETE MIXES
C. STRUCTURAL STEEL
D. METAL DECKING
E. COLD-FORMED METAL FRAMING

SHOP DRAWINGS ARE TO BE DISTRIBUTED ONLY FROM RETURNED SUBMITTALS BEARING AN INITIALED REVIEW STAMP AND WORK ON THESE ITEMS SHALL NOT PROCEED UNLESS THE STAMP CLEARLY INDICATES THE DRAWINGS ARE "APPROVED", "APPROVED AS NOTED", "REVIEWED", OR "REVIEWED, SEE COMMENTS".

4. CONCRETE IS A PRE-ENGINEERED MATERIAL DESIGNED BY THE SUPPLIER TO MEET THE STRENGTH AND PERFORMANCE CRITERIA SPECIFIED IN THE CONTRACT DOCUMENTS. CONCRETE MIX DESIGNS SHALL BE IN CONFORMANCE WITH ACI 318, CHAPTER 5, AND SHALL BE SUBMITTED TO THE INDEPENDENT TESTING LAB WITH APPROPRIATE HISTORICAL TEST DATA AND ANALYSIS FOR REVIEW AND APPROVAL. SUBMIT MIX DESIGNS AND THE TESTING LAB REVIEW TO THE ARCHITECT/ENGINEER FOR REVIEW.

MANY VARIABLES, INCLUDING MIX COMPONENTS AND ENVIRONMENTAL CONDITIONS AFFECT THE QUALITY OF CONCRETE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING VARIABLES AND REQUESTING MIX MODIFICATIONS AND SHALL BE SOLELY RESPONSIBLE FOR THE QUALITY OF CONCRETE DELIVERED AND PLACED ON THE SITE.

5. GENERAL CONTRACTOR SHALL PRE-CHECK ALL SHOP DRAWINGS BEFORE SUBMISSION TO THE ENGINEER FOR REVIEW. ALL SUBMITTAL MATERIALS MUST BEAR AN INITIALED REVIEW STAMP OF THE GENERAL CONTRACTOR. SUBMITTALS WITHOUT THE REVIEW STAMP OF THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW AND SHALL NOT BE CAUSE FOR CLAIMS OF DELAY.

6. GENERAL CONTRACTOR SHALL SCHEDULE SUBMITTALS SUFFICIENTLY IN ADVANCE OF THE DATE REQUIRED TO ALLOW REASONABLE TIME FOR DELIVERY, PROCESSING AND REVIEW BY THE DESIGN TEAM. THIS SHALL INCLUDE A MINIMUM OF TEN WORKING DAYS, EXCLUDING DELIVERY TIME, FOR ENGINEER'S PROCESSING AND REVIEW OF SHOP DRAWINGS. INCLUDE TIME FOR CONTRACTOR'S RESUBMISSION AND SUBSEQUENT REVIEW IF NECESSARY.

SHORTER REVIEW PERIODS WILL ONLY BE HONORED WITH PRIOR WRITTEN CONSENT FROM THE ENGINEER. THESE ACCELERATED SERVICES, AND APPROPRIATE COMPENSATION, MUST BE NEGOTIATED WITH THE ENGINEER AND ARCHITECT IN ADVANCE.

TEN DAY REVIEW PERIODS CAN NOT BE HONORED WHEN LARGE QUANTITIES OF SHOP DRAWINGS ARE SUBMITTED AT ONE TIME. WHEN THIS HAPPENS, THE CONTRACTOR SHALL SUBMIT AN ITEMIZED LIST INDICATING PRIORITIES AND REASONABLE RETURN DATES.

7. THE USE OF REPRODUCTIONS OF THESE CONTRACT DRAWINGS, INCLUDING THE USE OF ELECTRONIC FILES, BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF THE INDEPENDENT PREPARATION OF SHOP DRAWINGS, SIGNIFIES HIS ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT AND OBLIGATES HIMSELF TO ANY JOB EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREON. SUCH USE OF REPRODUCTIONS OF THESE CONTRACT DOCUMENTS WILL NOT BE ALLOWED WITHOUT PRIOR CONSENT FROM THE ENGINEER.

8. WHEN USING ELECTRONIC FORMAT FOR SUBMITTALS, THE CONTRACTOR SHALL PROVIDE ONE PRINTED HARD COPY FOR ENGINEER REVIEW OR EXECUTE AN AGREEMENT FOR REIMBURSING THE ENGINEER FOR PRINTING COSTS FOR ONE COPY.

9. STRUCTURAL FRAMING WAS BASED ON PRELIMINARY CRITERIA FROM ONE ELEVATOR MANUFACTURER AS NOTED ON PLAN. ALTERNATIONS MAY BE NECESSARY IF A DIFFERENT ELEVATOR MANUFACTURER IS SELECTED OR IF DIFFERENT REQUIREMENTS ARE PROVIDED IN THE ELEVATOR SUBMITTAL. BASED ON THE EXTENT OF THE CHANGES, ADDITIONAL SERVICES FOR STRUCTURAL REDESIGN AND COSTS OF ADDITIONAL OR MODIFIED FRAMING MAY BE REQUIRED. DURING SELECTION OF ELEVATOR SYSTEMS, GENERAL CONTRACTOR SHALL INCLUDE A CONTINGENCY TO COVER THESE FEES AND COSTS. COSTS OF THE DESIGN AND CONSTRUCTION REVISIONS SHALL BE BORNE BY THE CONTRACTOR.

10. STRUCTURAL FRAMING WAS BASED ON PRELIMINARY MEP EQUIPMENT AS NOTED ON PLAN. IT IS ANTICIPATED THAT COMPETITIVE BIDS ON MEP EQUIPMENT WILL BE TAKEN AND THAT STRUCTURAL MODIFICATIONS MAY BE NECESSARY IF ALTERNATE MEP EQUIPMENT IS SELECTED, OR IF EQUIPMENT IS RELOCATED, SHAFT SIZES ARE CHANGED, OR DIFFERENT REQUIREMENTS ARE PROVIDED IN THE EQUIPMENT SUBMITTAL. BASED ON THE EXTENT OF THE CHANGES, ADDITIONAL SERVICES FOR STRUCTURAL REDESIGN AND COSTS OF ADDITIONAL OR MODIFIED FRAMING MAY BE REQUIRED. DURING SELECTION OF MEP SYSTEMS, GENERAL CONTRACTOR SHALL INCLUDE A CONTINGENCY FOR THIS REVISED DESIGN AND CONSTRUCTION WORK. COSTS OF THE DESIGN AND CONSTRUCTION REVISIONS SHALL BE BORNE BY THE CONTRACTOR.

THIRD PARTY SPECIAL INSPECTIONS

1. SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE IBC BUILDING CODE CHAPTER 17 AND AS MODIFIED HEREIN.

2. DESIGNATIONS

SI: SPECIAL INSPECTOR QUALIFIED WITH DEMONSTRATED COMPETENCE DOCUMENTED BY CERTIFICATIONS FROM RECOGNIZED AGENCIES SUCH AS AWS, ACI, AISC, AISI, ETC., AS SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL. SPECIAL INSPECTOR MAY BE A FIRM WITH MULTIPLE SPECIALISTS AND A PROJECT MANAGER PROVIDING REPORTS.

TA: TESTING AGENCY QUALIFIED TO TEST AND INSPECT MATERIALS AND ASSEMBLIES. TESTING AGENCY SHALL BE UNDER THE SUPERVISION OF THE SPECIAL INSPECTOR.

GE: GEOTECHNICAL ENGINEER WHO PROVIDED THE ORIGINAL PROJECT GEOTECHNICAL SOILS INVESTIGATION REPORT.

SE: SPECIALTY ENGINEER RESPONSIBLE FOR DESIGNING ASSEMBLIES SUCH AS PRECAST CONCRETE, STEEL JOISTS, COLD FORMED FRAMING ASSEMBLIES, ETC. SPECIALTY ENGINEER SHALL PROVIDE OBSERVATION OF FABRICATED AND INSTALLED ITEMS OF THEIR DESIGN, IN ADDITION TO THE SPECIAL INSPECTION.

3. TA, GE AND SE SHALL SUBMIT RECORDS OF THE INSPECTION RESULTS TO THE SI. THE SI SHALL COMPILE AND SUBMIT INSPECTION RECORDS TO THE ARCHITECT/ENGINEER AND BUILDING OFFICIAL. RECORDS SHALL INCLUDE STATEMENTS OF TESTS, VERIFICATION OF INSTALLED/FABRICATED ITEM COMPLIES WITH CONTRACT DOCUMENTS, REMEDIAL WORK PERFORMED, RETESTS.

4. SI SHALL PROVIDE A DAILY REPORT OF ANY DISCREPANCIES FROM THE CONTRACT DOCUMENTS FOUND ON THE SAME DAY OF THE INSPECTION TO THE ENGINEER OF RECORD. FORMAL REPORTS OF COMPLIANCE CAN FOLLOW BY A MAXIMUM OF 2 WEEKS. SI SHALL PROVIDE AND SIGN A FINAL REPORT WITH A SUMMARY OF ALL TESTS PERFORMED AND IN COMPLIANCE WITH THE SPECIAL INSPECTION REQUIREMENTS OF THE GOVERNING BUILDING CODE TO THE ENGINEER OF RECORD AND BUILDING OFFICIAL.

5. SI, TA & GE SHALL BE PAID BY THE OWNER IN COMPLIANCE WITH THE (INTERNATIONAL) BUILDING CODE.

6. SPECIAL INSPECTION REPORTS AND FINAL REPORT IN ACCORDANCE WITH SECTION 1704.2.4 SHALL BE SUBMITTED TO THE BUILDING OFFICIAL PRIOR TO THE TIME THAT PHASE OF WORK IS APPROVED FOR OCCUPANCY.

Table with 5 columns: TASK, INSPECTION FREQUENCY (CONTINUOUS, PERIODIC), REFERENCED STANDARD, REFERENCE, RESPONSIBLE AGENT. Rows include inspection of steel fabricator, material verification of high-strength bolts, inspection of high-strength bolting, material verification of structural steel, material verification of weld filler materials, inspection of welding, and inspection of steel frame joint details.

Table with 6 columns: VERIFICATION AND INSPECTION, CONTINUOUS, PERIODIC, NOT APPLICABLE, REFERENCED STANDARD, PROJECT SPECIFICATION SECTION. Rows include material verification of metal deck, material verification of weld filler materials, inspection of welding, and floor and deck welds spacing and pattern.

Table with 5 columns: TASK, INSPECTION FREQUENCY (CONTINUOUS, PERIODIC), REFERENCED STANDARD, REFERENCE, RESPONSIBLE AGENT. Rows include inspection of reinforcing steel and placement, inspection of reinforcing steel welding, inspect bolts to be installed in concrete, verifying use of required design mix, sampling fresh concrete, inspection of concrete placement, inspection for maintenance of specified curing, and inspect formwork for shape, location, and dimensions.

Table with 5 columns: TASK, INSPECTION FREQUENCY (CONTINUOUS, PERIODIC), REFERENCED STANDARD, REFERENCE, RESPONSIBLE AGENT. Rows include site preparation, excavation, fill placement, and shallow foundations.



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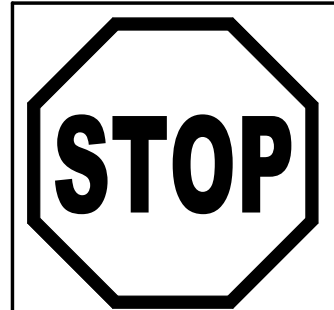
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Table with 3 columns: Rev. #, Revision Date, Revision Description. Multiple empty rows for tracking changes.

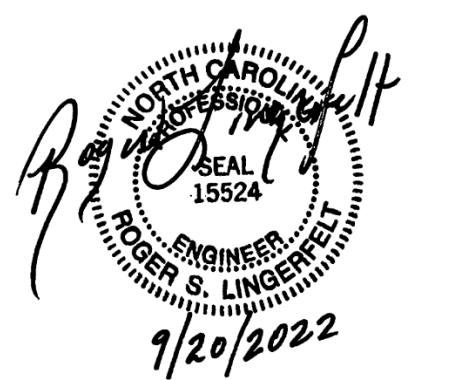
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rogerlingerfelt@gmail.com
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Table with 2 columns: Field Name, Value. Includes SSI Project Number (1247), Issue Date (09-20-2022), Drawn By (Y.H), Checked By (AS), and Engineered By (RSL).

S013
Special Inspections

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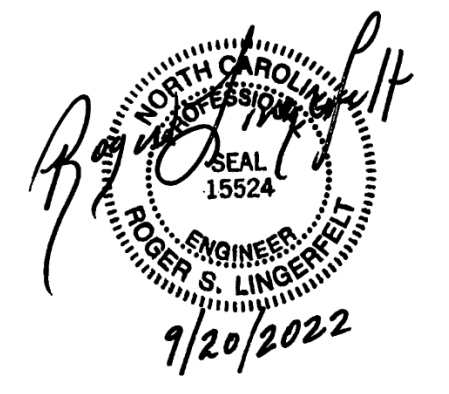
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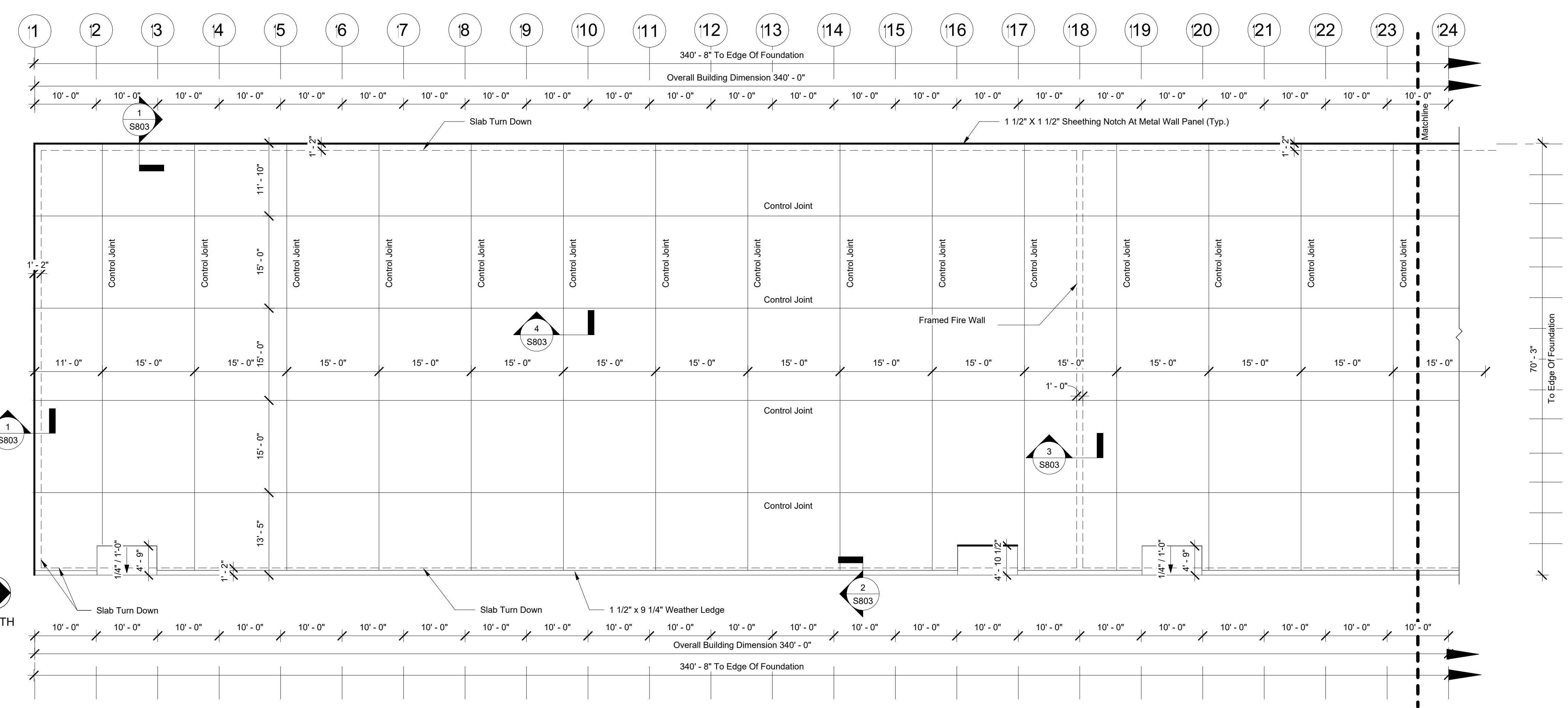
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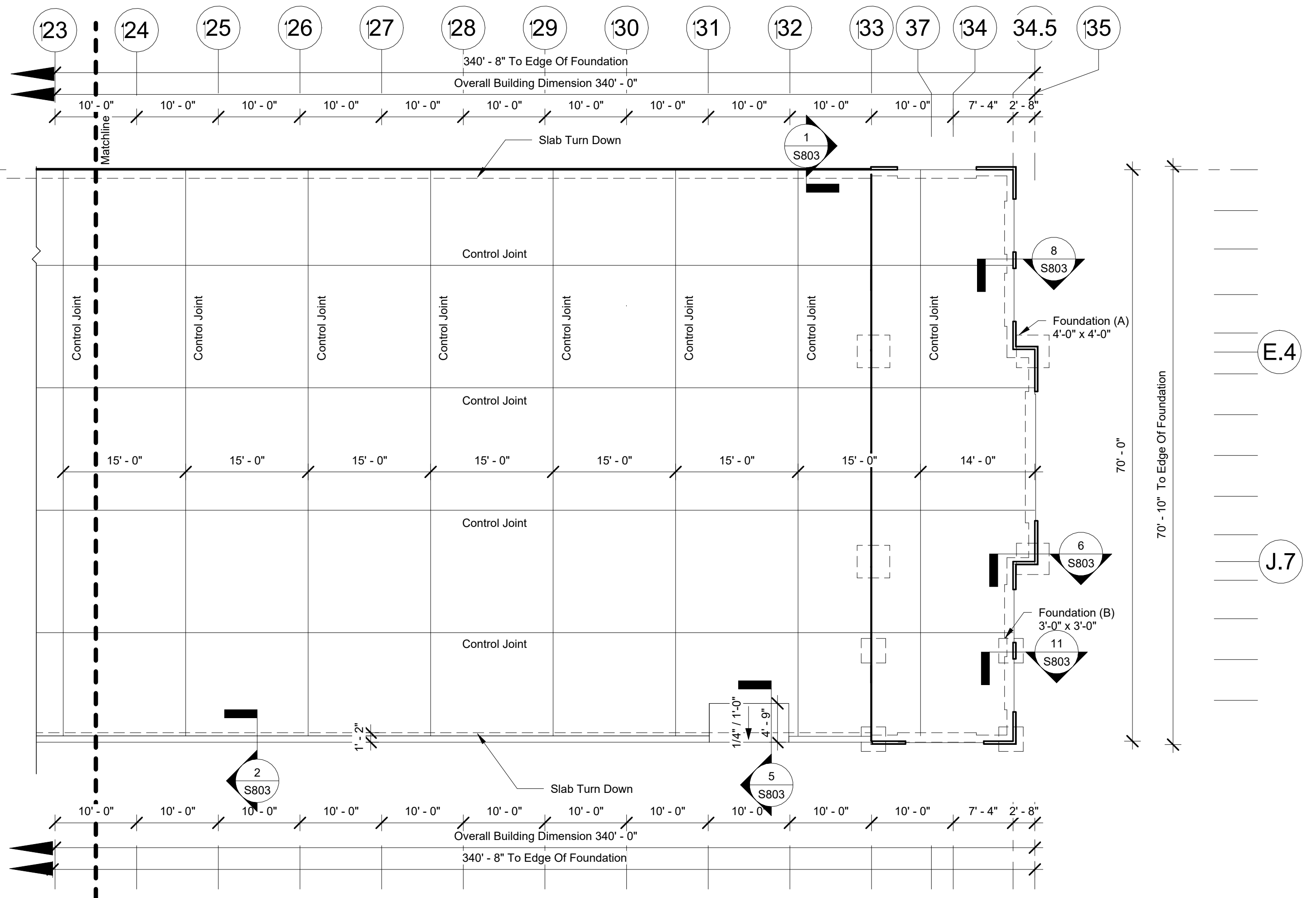
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Engineered By	RSL

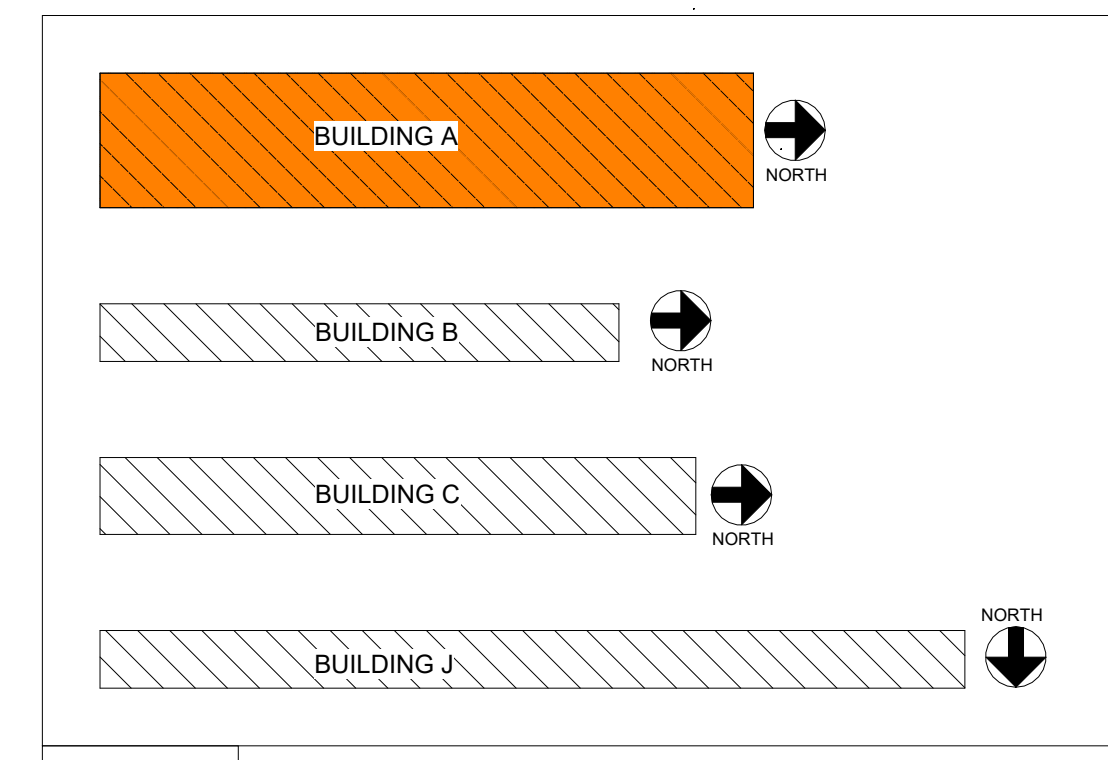
S100
Building A -
Foundation Plan



1 Building A - (Foundation Plan) - A
3/32" = 1'-0"

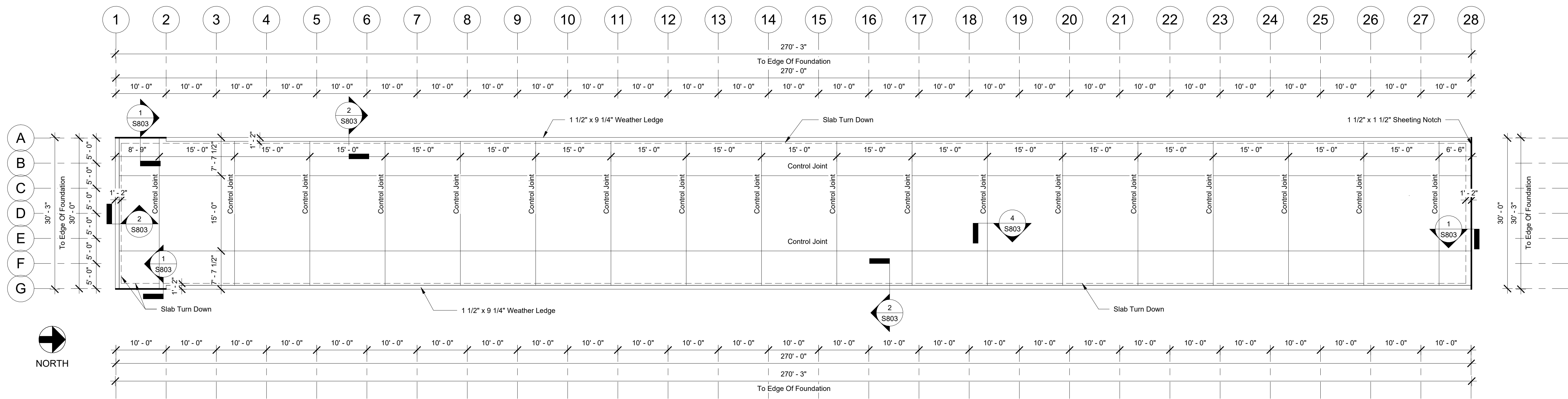


2 Building A - (Foundation Plan) - B
3/32" = 1'-0"



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1 Building B - (Foundation Plan)
3/32" = 1'-0"



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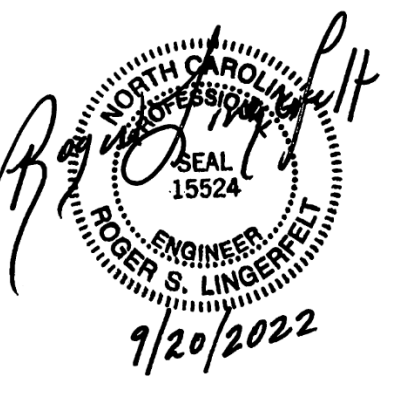
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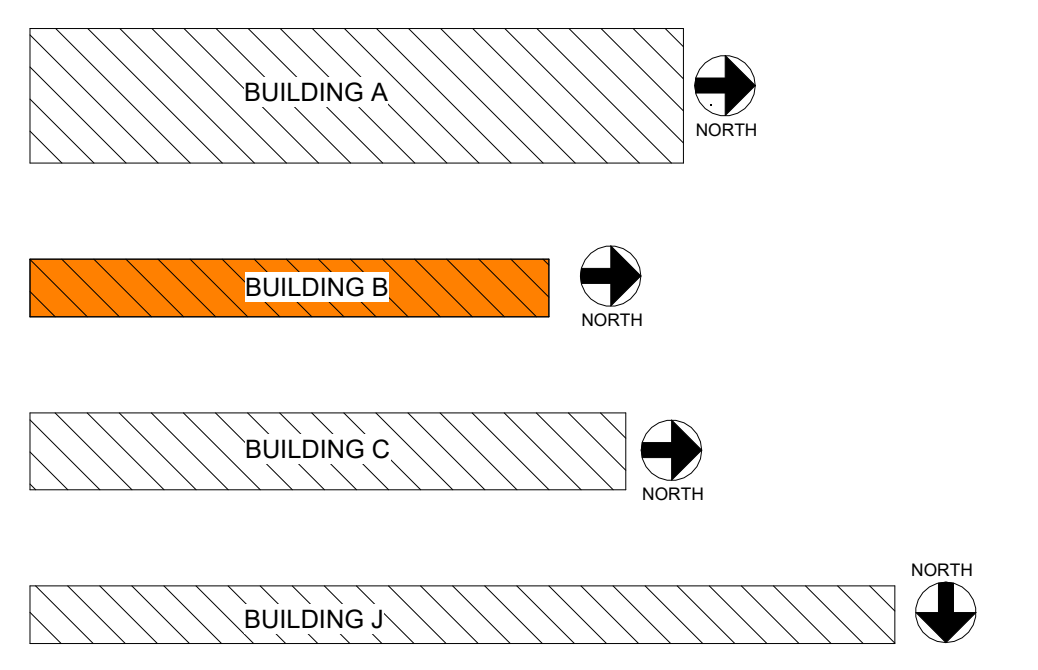
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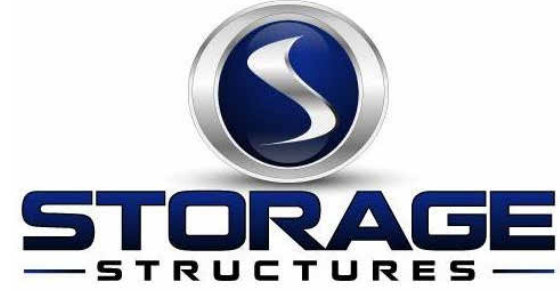


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S101
Building B -
Foundation Plan



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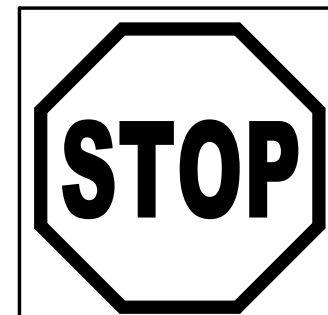
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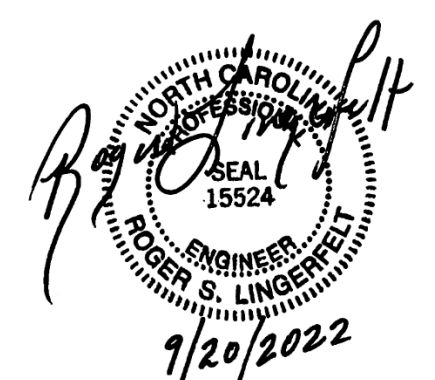
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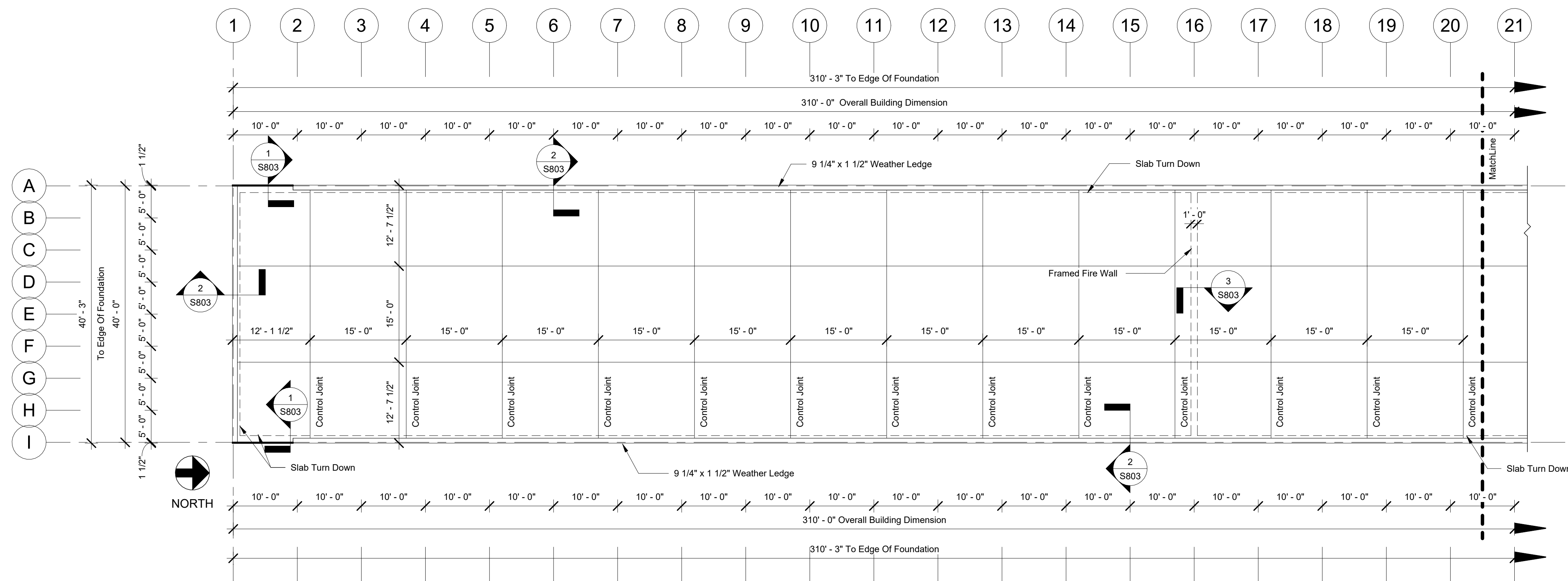


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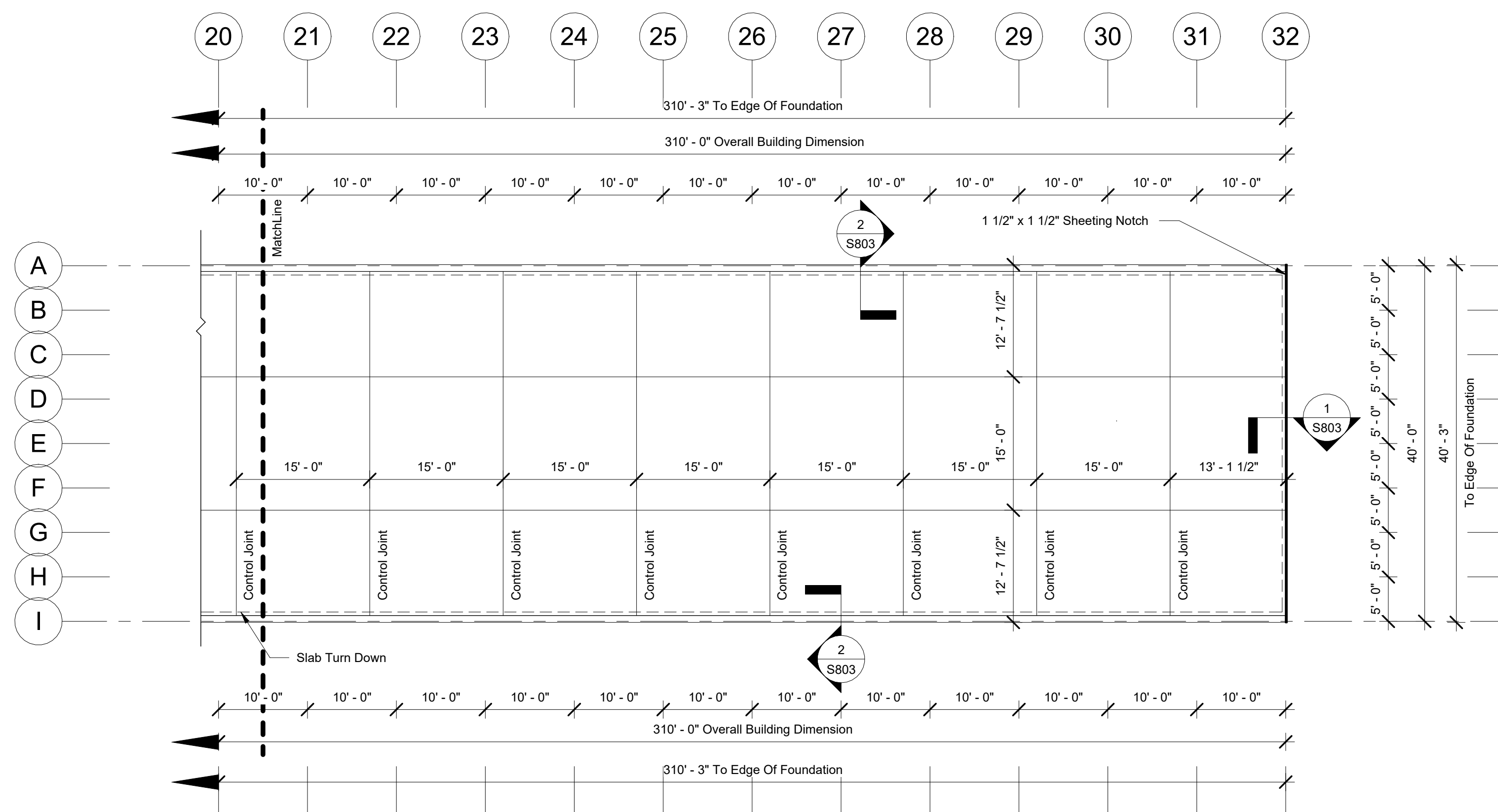
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S102

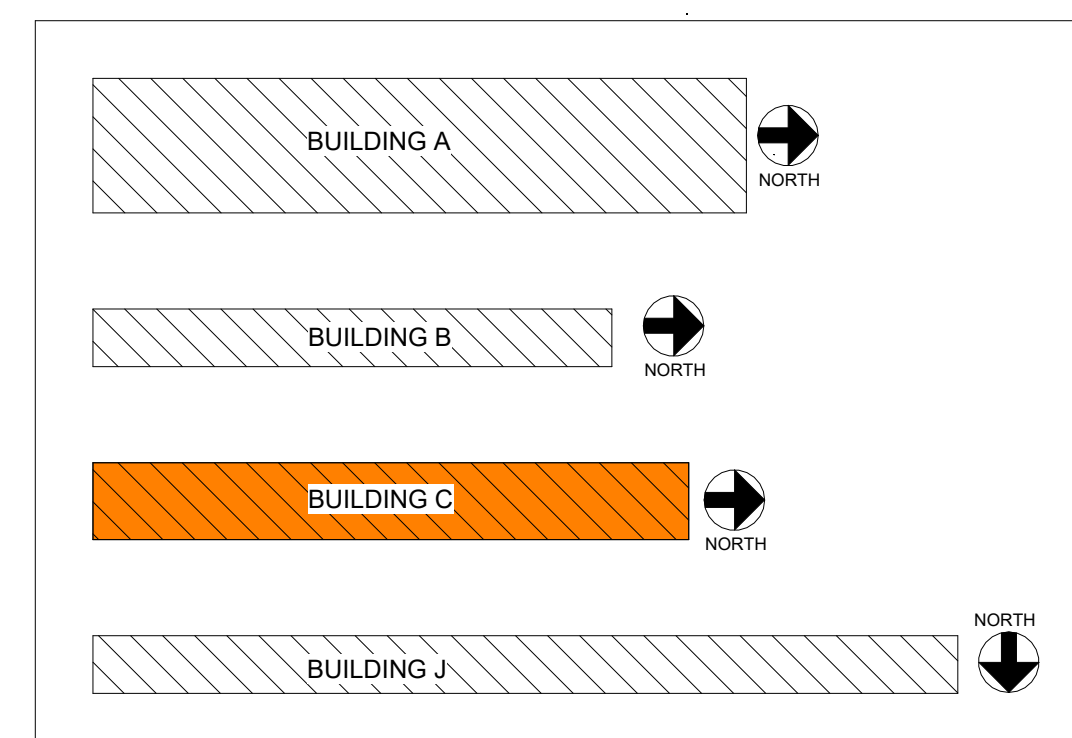
Building C -
Foundation Plan



1 Building C - (Foundation Plan) - A
3/32" = 1'-0"



2 Building C - (Foundation Plan) - B
3/32" = 1'-0"



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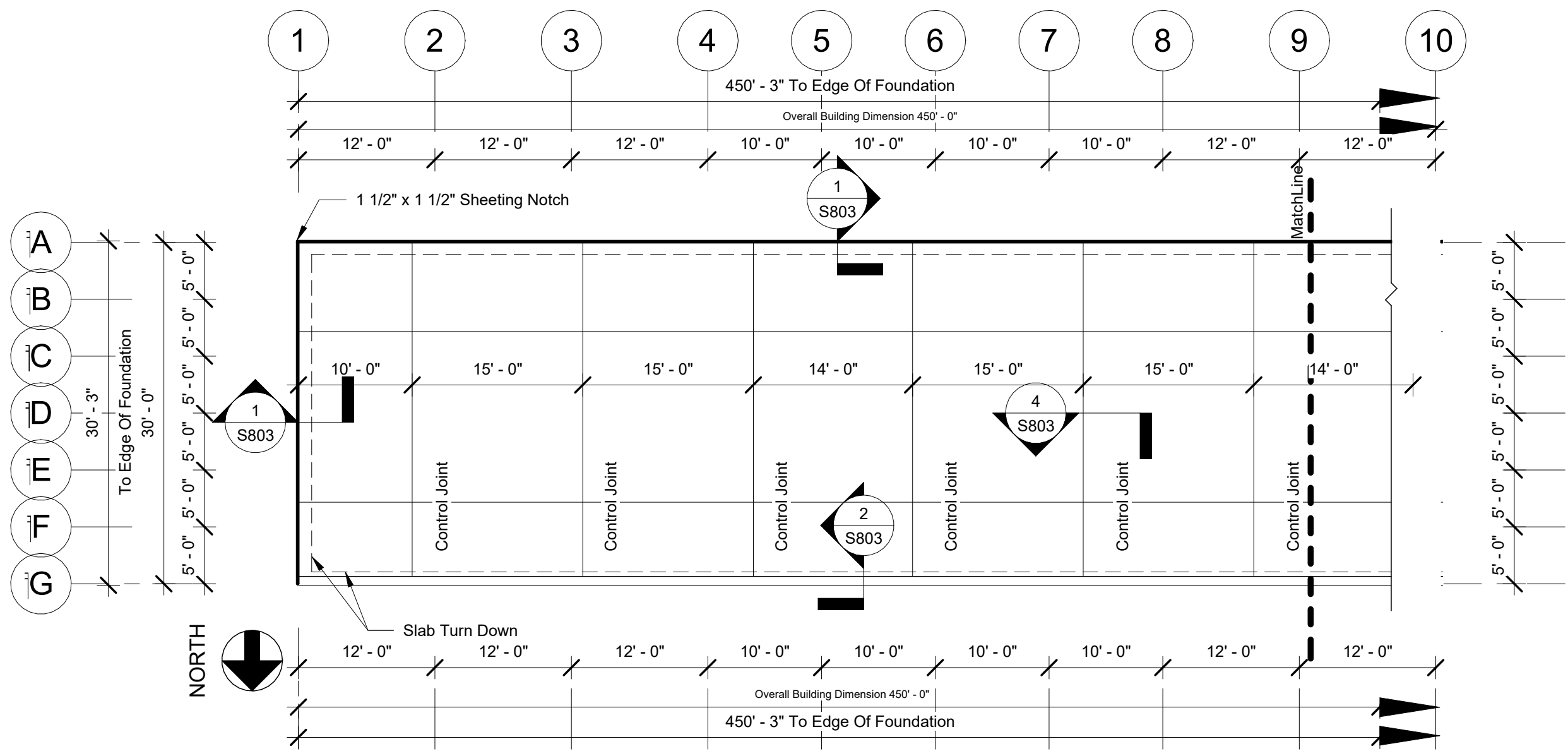


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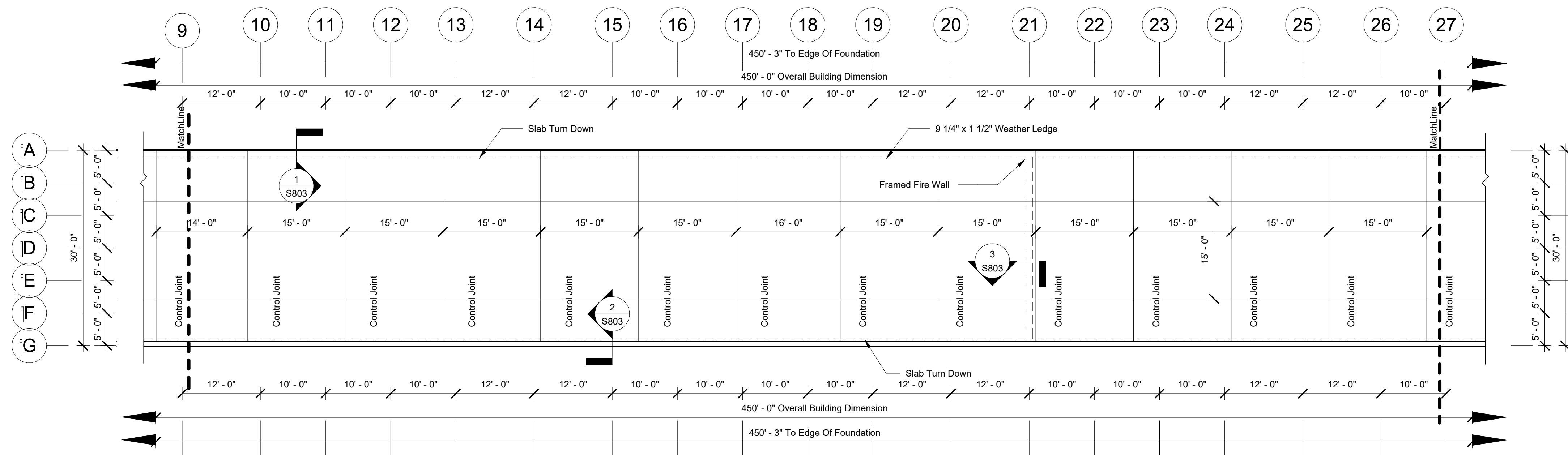
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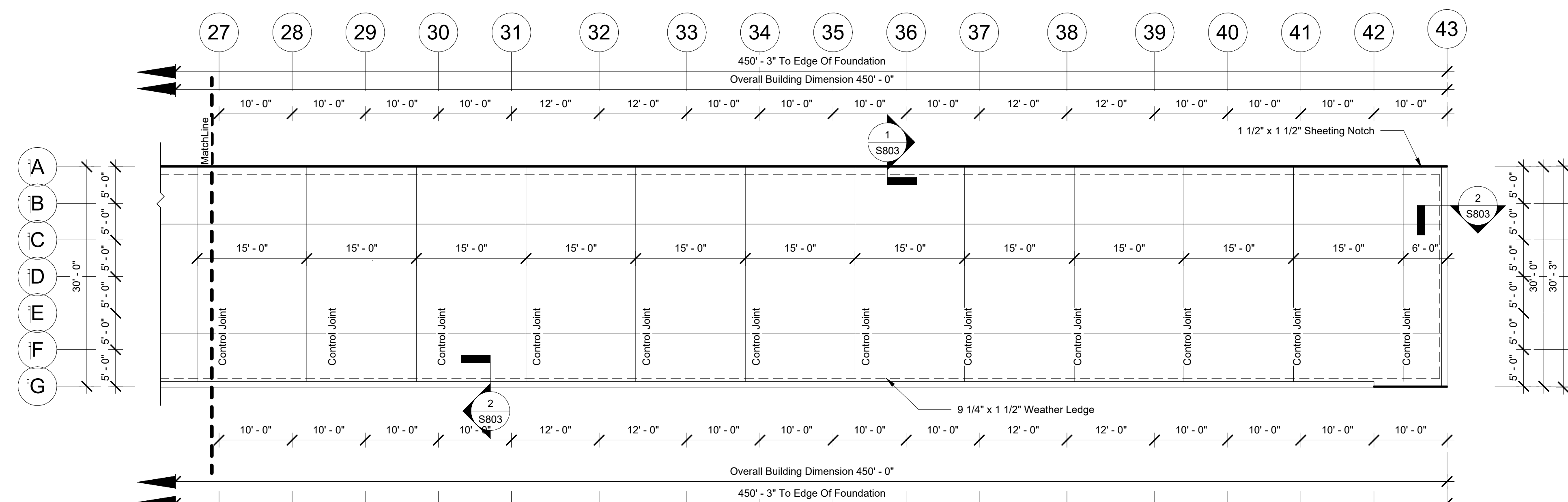
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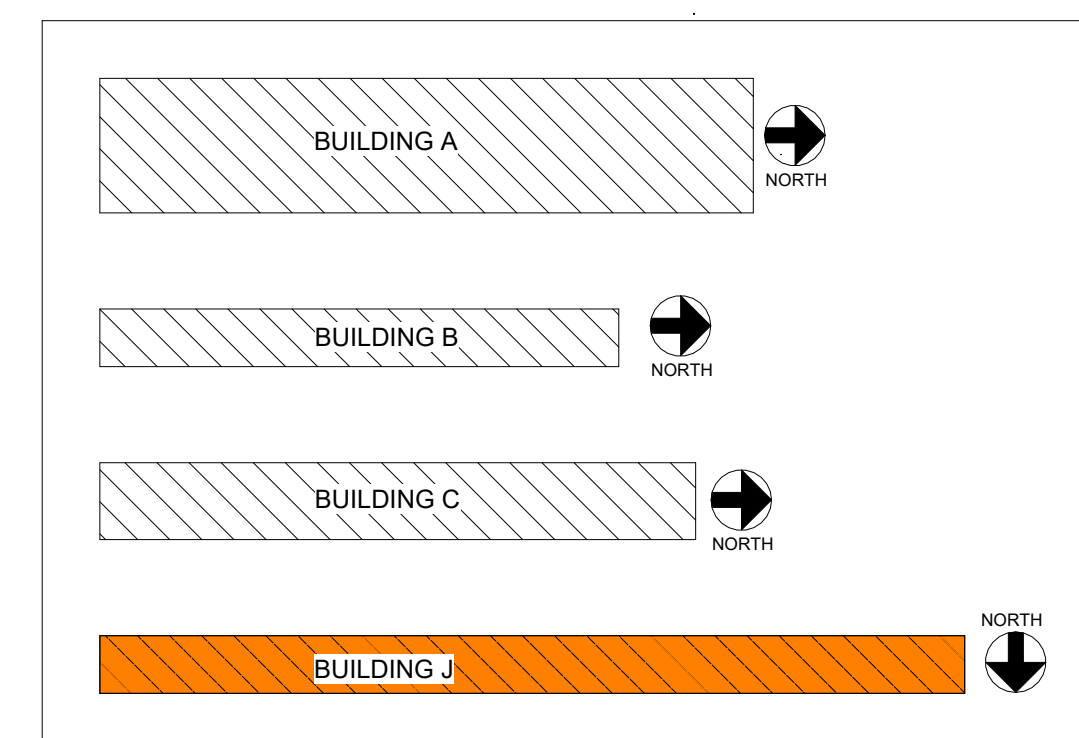
1 Building J - (Foundation Plan) - A
3/32" = 1'-0"



2 Building J - (Foundation Plan) - B
3/32" = 1'-0"



3 Building J - (Foundation Plan) - C
3/32" = 1'-0"



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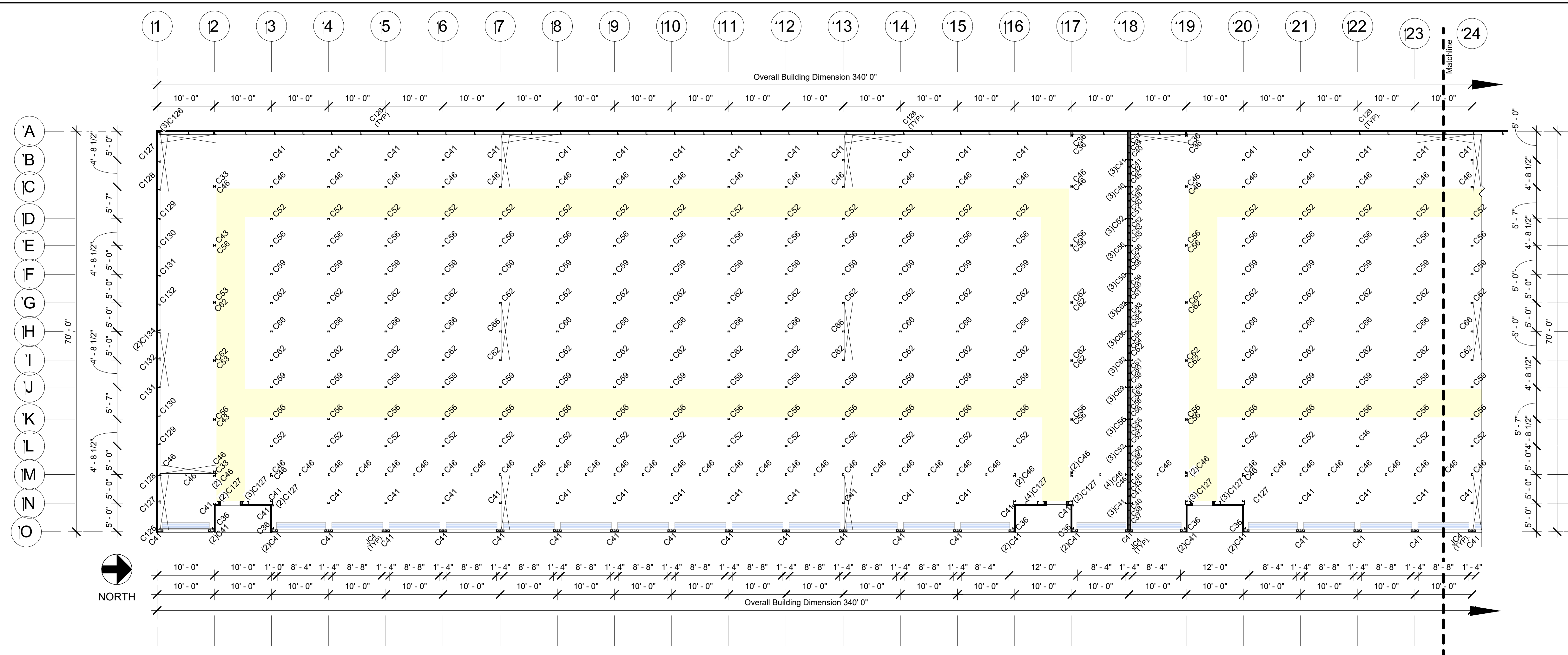
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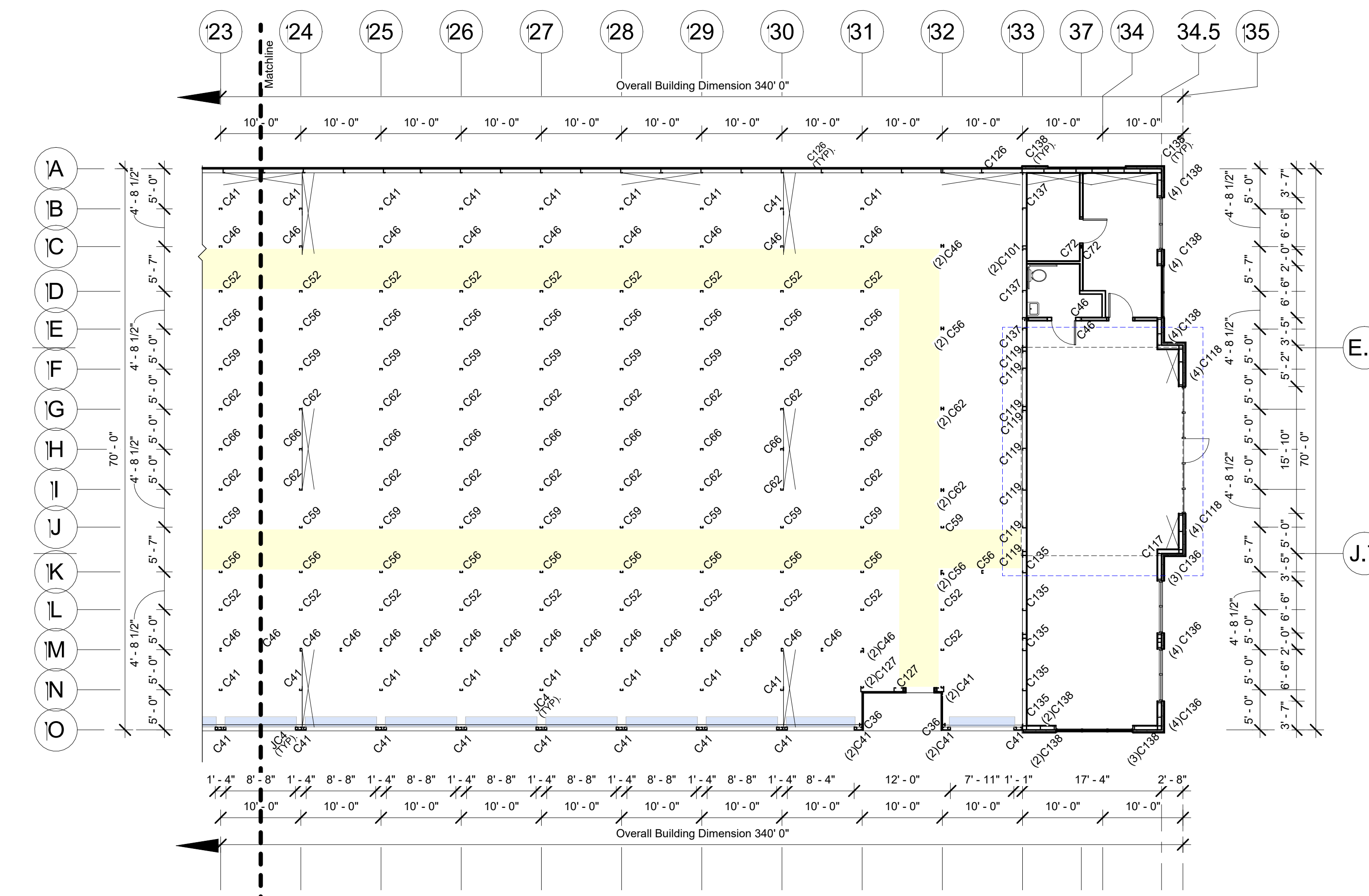
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S103
Building J -
Foundation Plan



① Building 1 - (Post Plan) - A
3/32" = 1'-0"



② Building 1 - (Post Plan) - B
3/32" = 1'-0"

Post Plan Notes

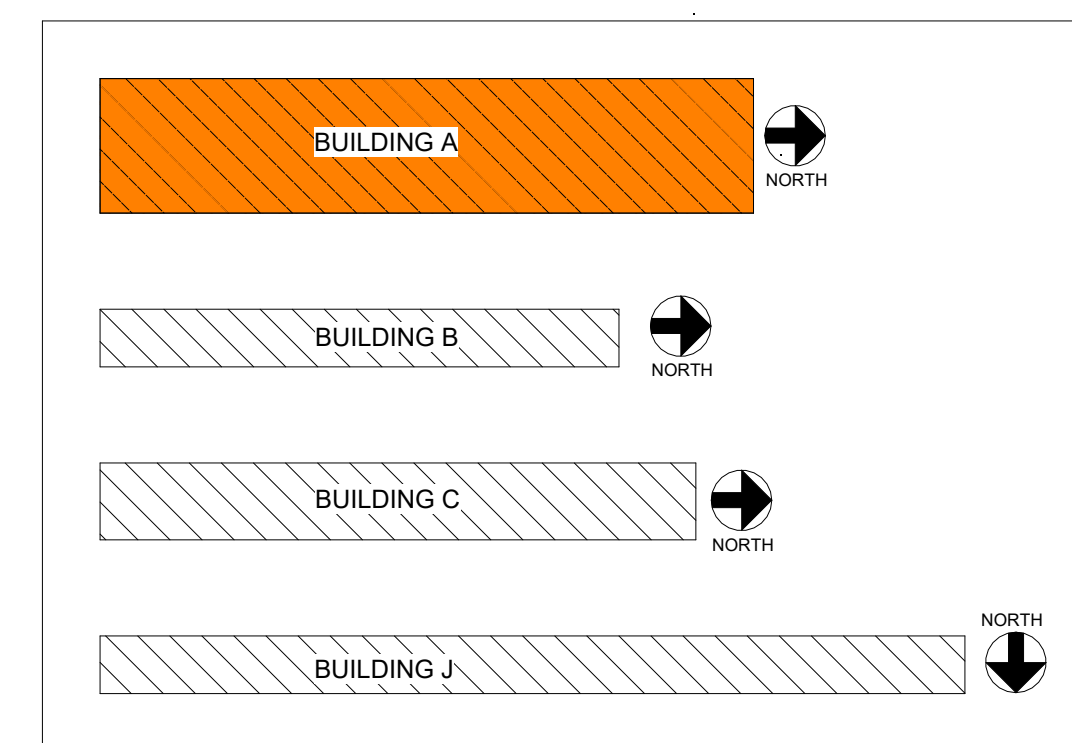
Interior Framing: 4" x 2" x 16ga Posts On A 5'-0" x 10'-0" Grid Framing System. (U.N.O.)

Exterior Wall Framing: 6" x 2 1/2" x 14ga Posts @ 24" o.c. In 14ga Top & 16ga Bottom Track.

Exterior Floor Track - Punch Holes in Floor Track To Match Post Spacing For Wedge Anchors. Place Wedge Anchor 6" From Each End of Track.

Exclusions: Brick Veneer/EIFS

Exterior Dimensions Are Taken From The Outside Face Of Framing. Double Posts Are Dimensioned To Center of Main Post Only. All Other Dimensions Are Center To Center of Posts.
Hallways Should Have A Clear Dimension Of 5'-5" Between Post (U.N.O.).
Shaded Areas Indicate Hallways.



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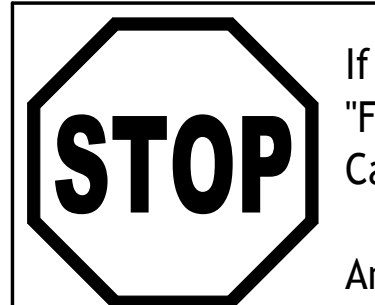
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R. S. Lingerfelt
NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER
NUMBER S. LINGERFELT
15524
9/20/2022

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S200
Building A - Post Plan



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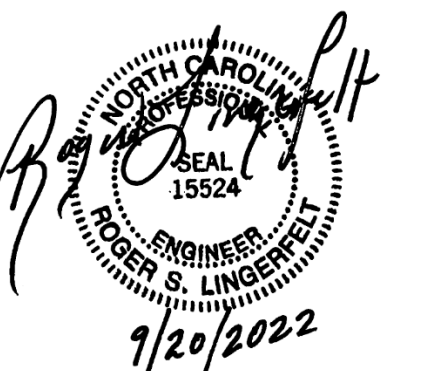
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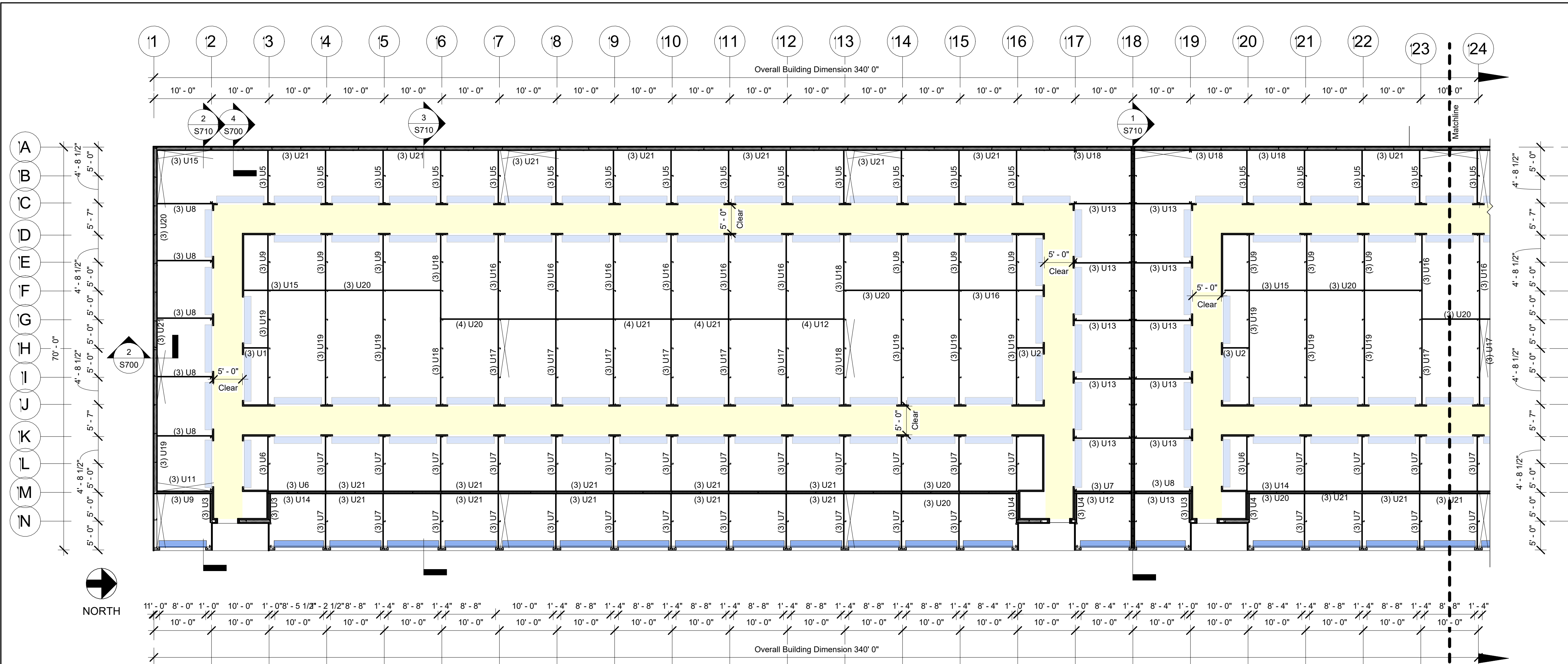
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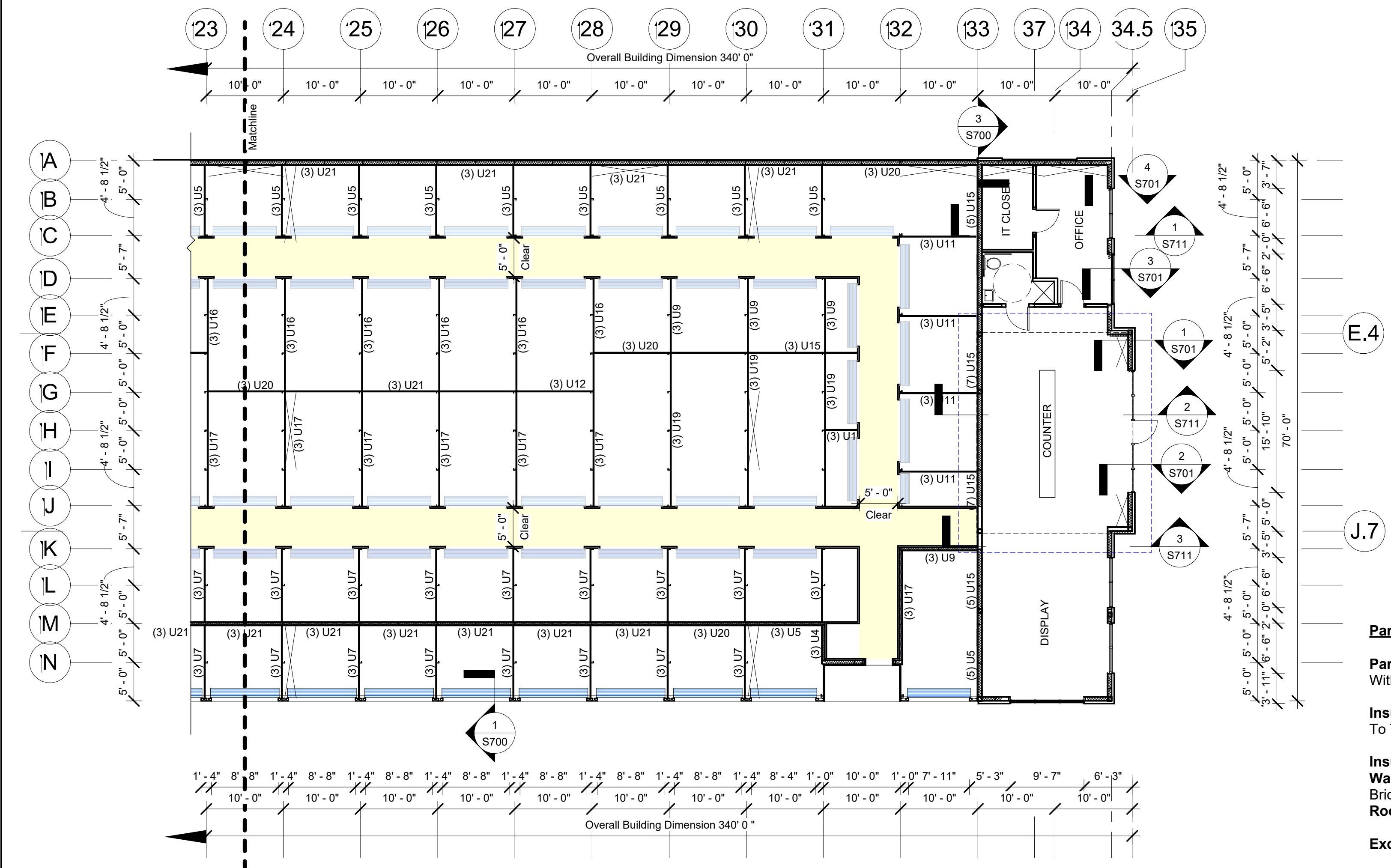
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S201
Building A -Partition Plan

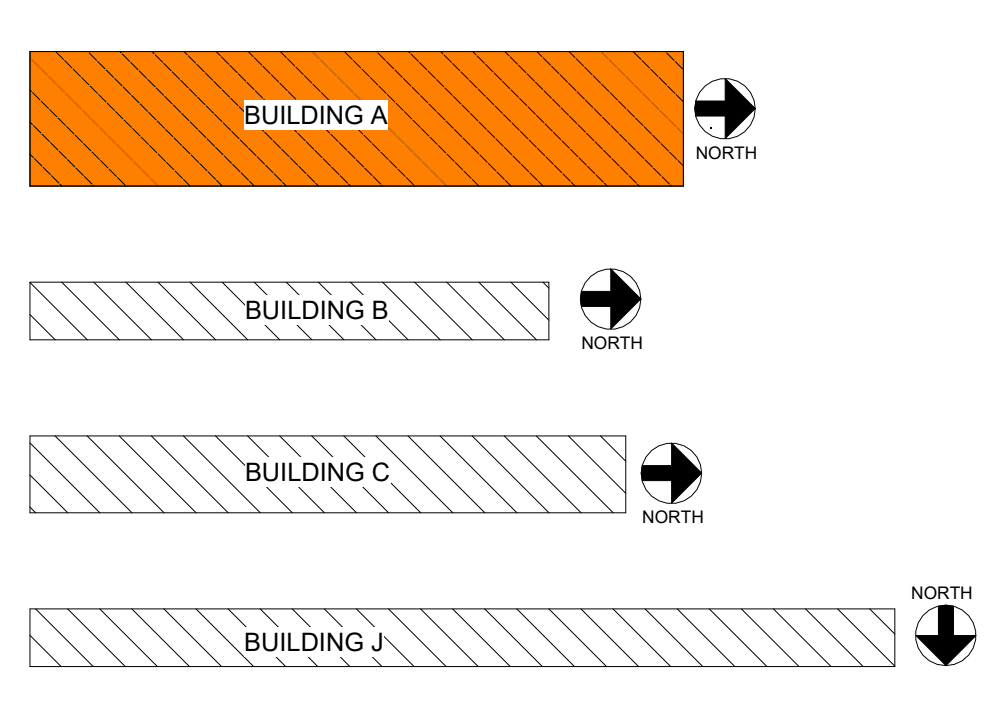


1 Building 1 - (Partition Plan) - A
3/32" = 1'-0"

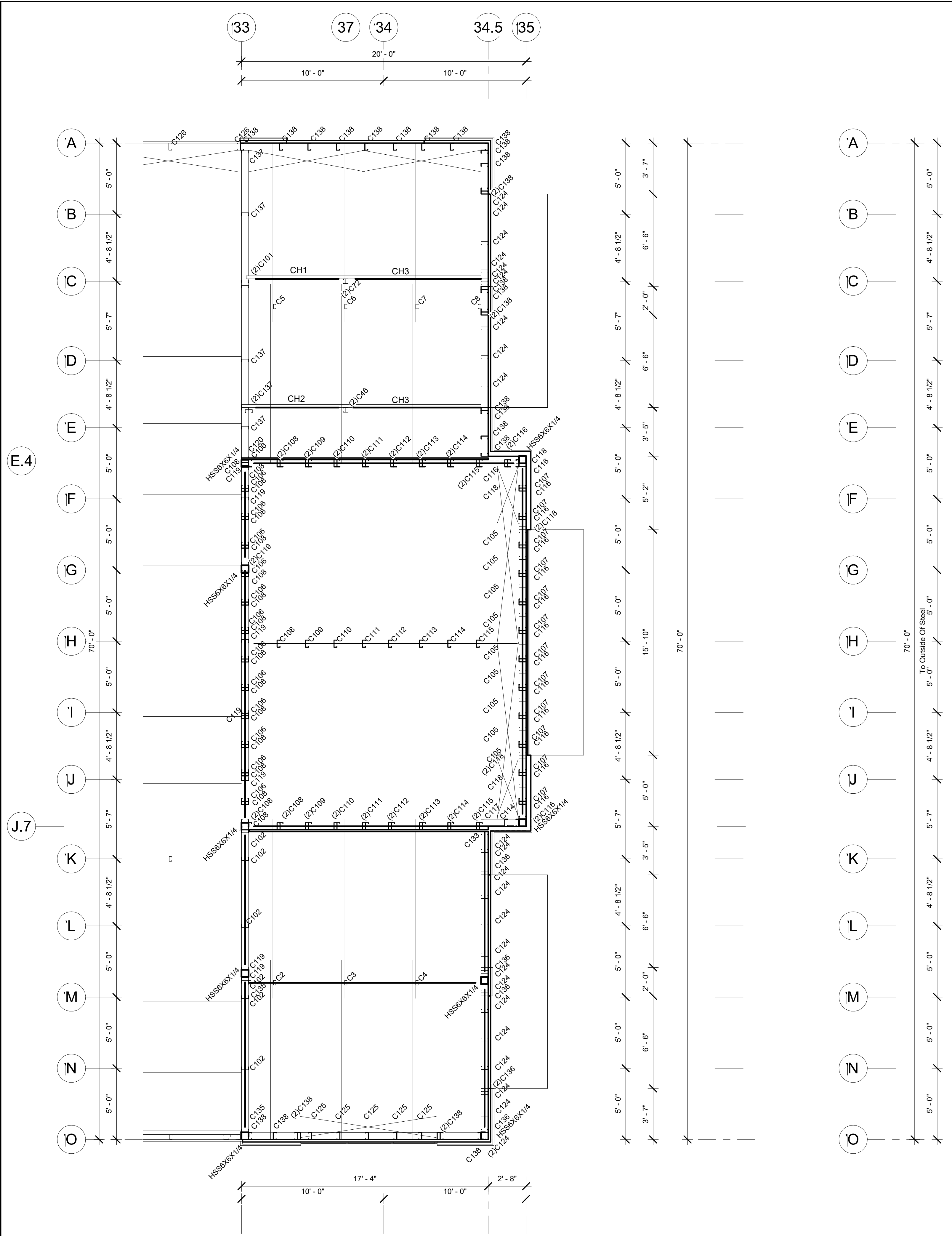


2 Building 1 - (Partition Plan) - B
3/32" = 1'-0"

- Partition Notes**
- Partition Walls:** 29ga 'Unpainted' Galvalume Partition Panels. Panel Height To Be Coordinated With Onsite Superintendent.
- Insulated Walls:** 29ga 'Unpainted' Galvalume Partition Panels With Liner Panel Installed On To The Underside of Roof.
- Insulation:**
Wall: R-19 Vinyl-Reinforced Insulation For Exterior Metal Panel Walls Only. Insulation For Brick Veneer/EIFS Walls By Others.
Roof: R-30 Vinyl-Reinforced Insulation with Thermal Blocks
- Exclusions:** Roll-Up Doors, Hallway/Corridor Partitions & Interior Buildouts

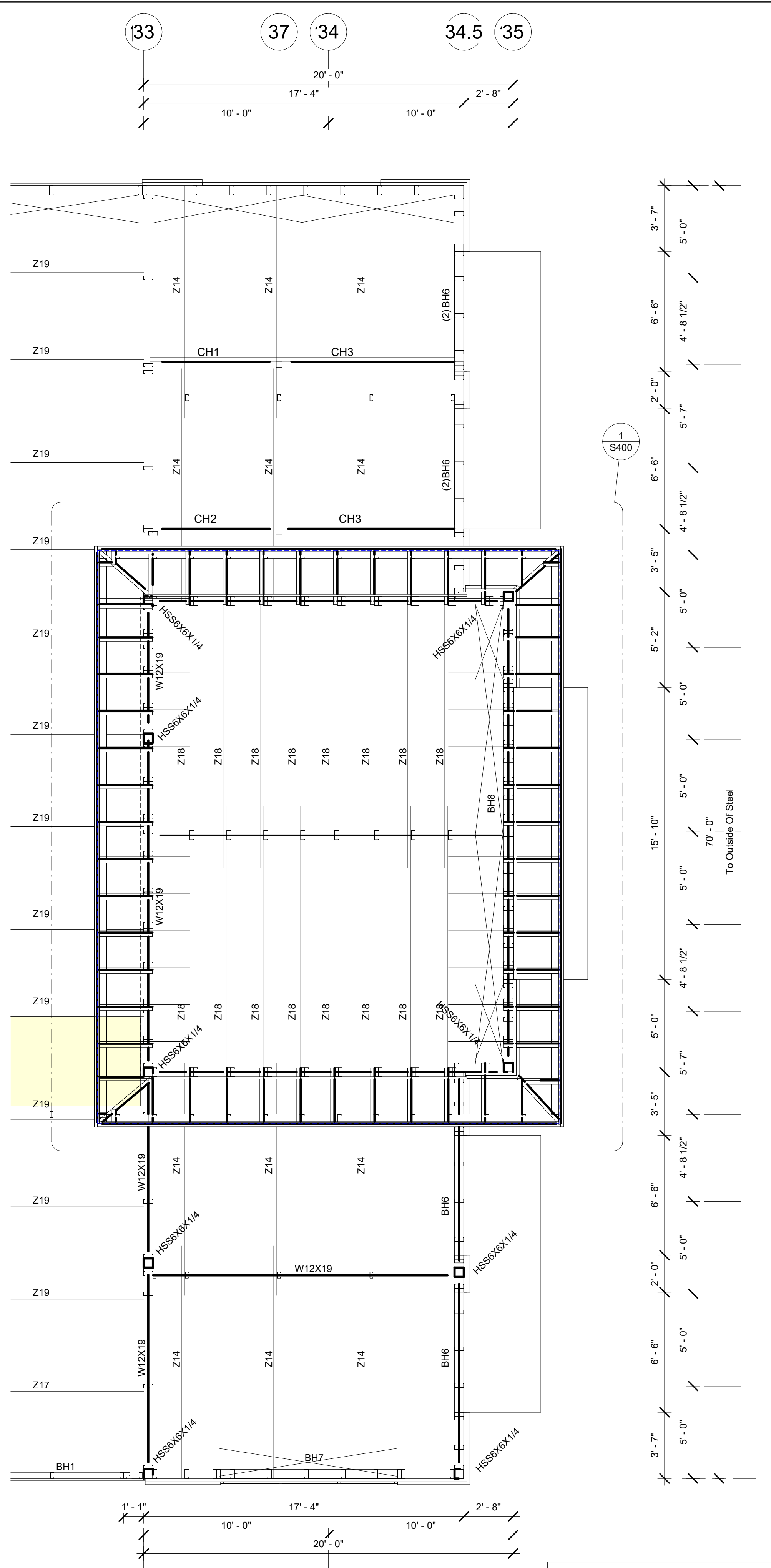


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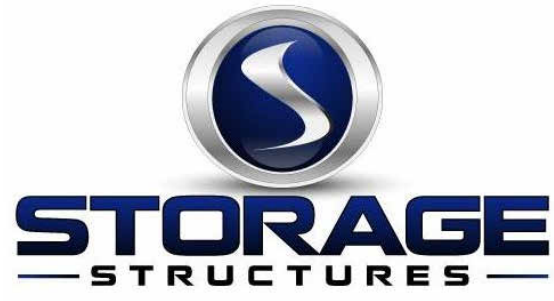


① Building A - Tower Upper (Post Plan)
1/4" = 1'-0"

② Building A - High Roof & Tower Framing Plan
1/4" = 1'-0"



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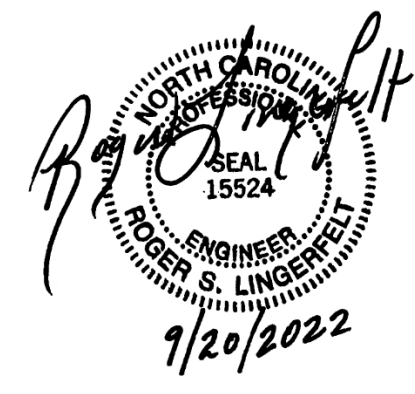
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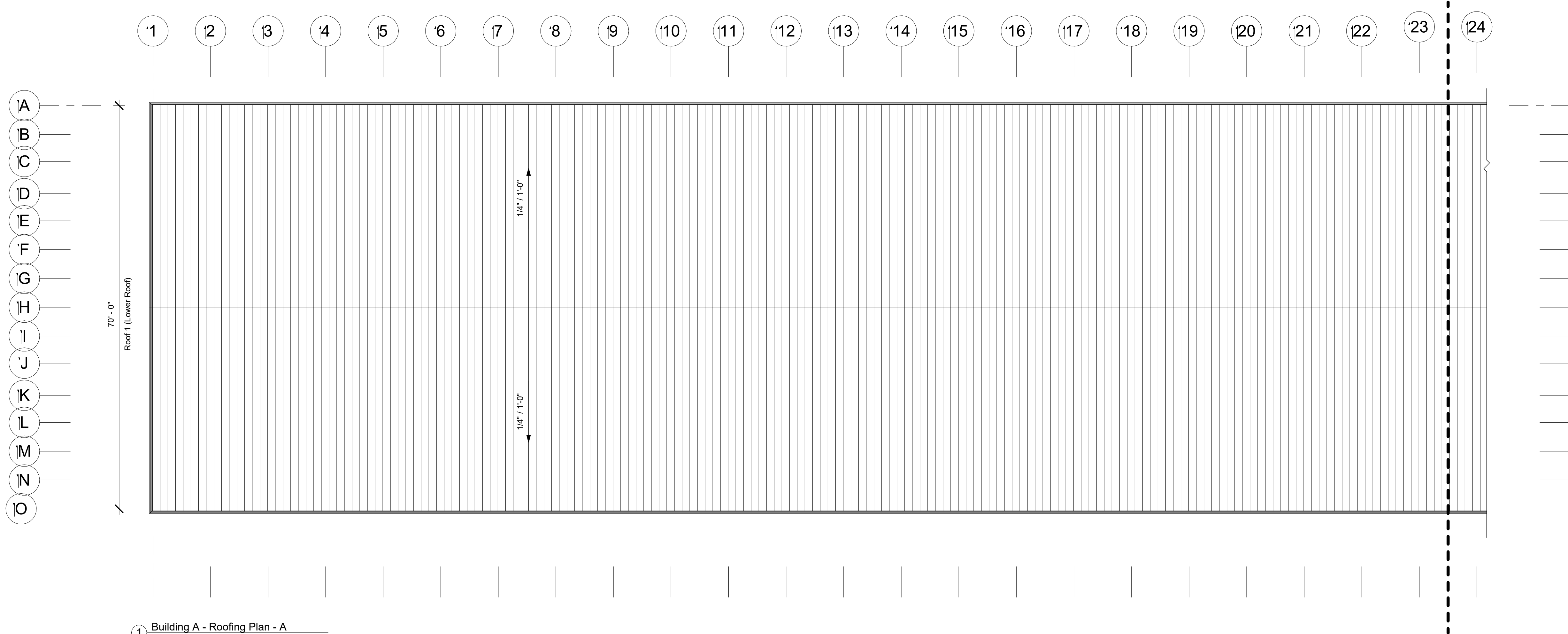


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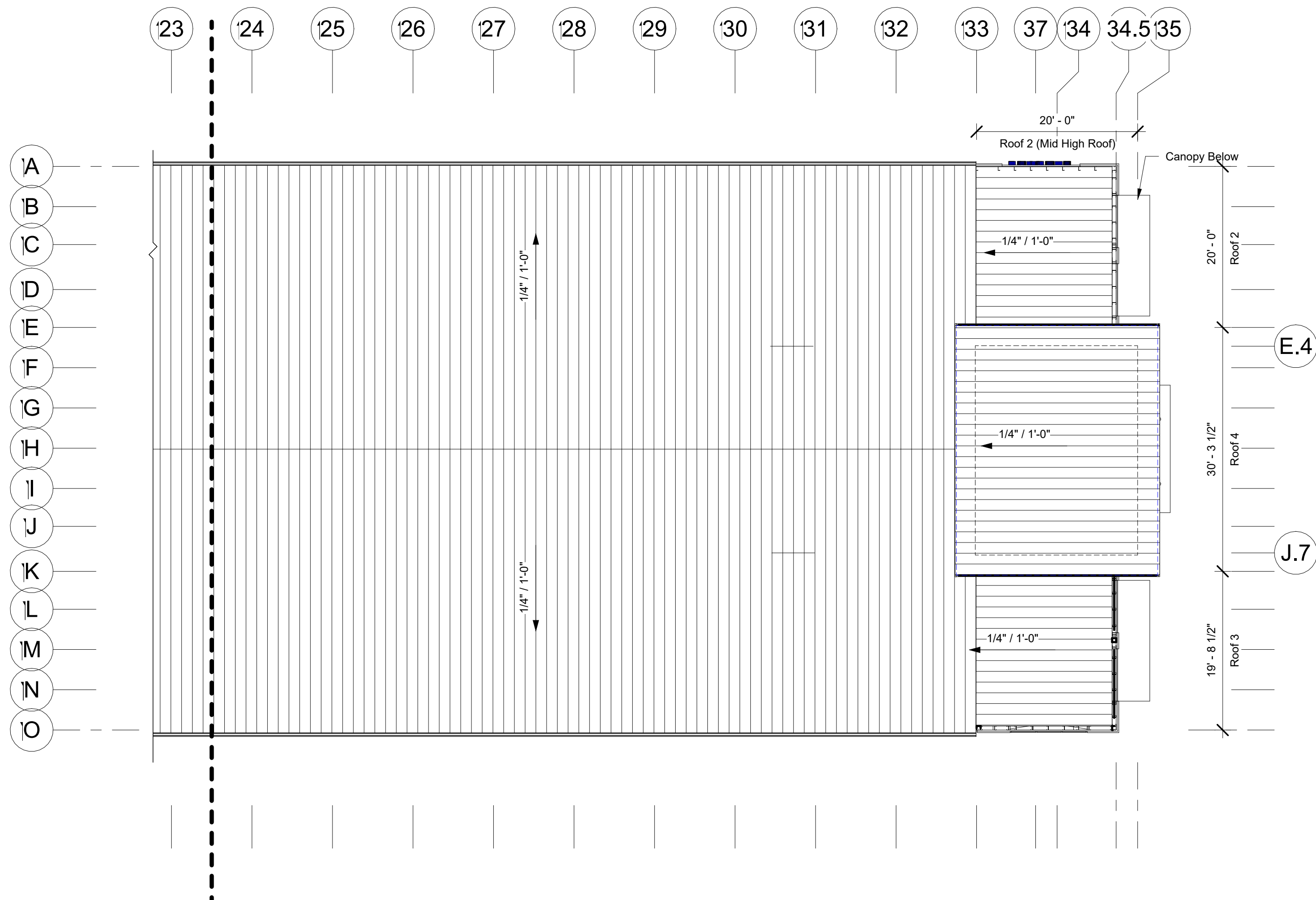
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S203

Bldg A - Tower Post
And Framing Plans



1 Building A - Roofing Plan - A
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2 Building A - Roofing Plan - B
3/32" = 1'-0"

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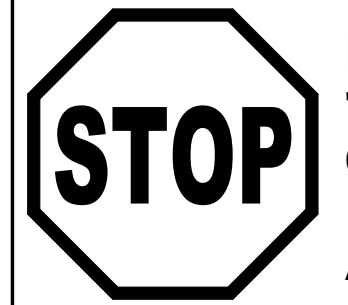
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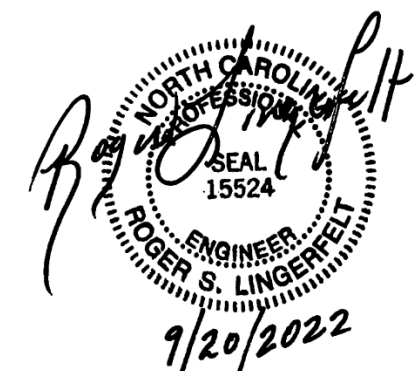
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Harnett Self Storage

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If you do not have "For Field Use" Plans
Call (205) 234-4202
IMMEDIATELY
And ask for Darby Owenby



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North Carolina P.E. Number 15524

SSI Project Number	1247
Issue Date	09-20-2022
Drawn By	Y.H
Checked By	AS
Engineered By	RSL

S204
Building A - Roofing Plan



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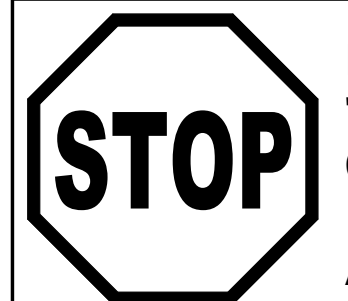
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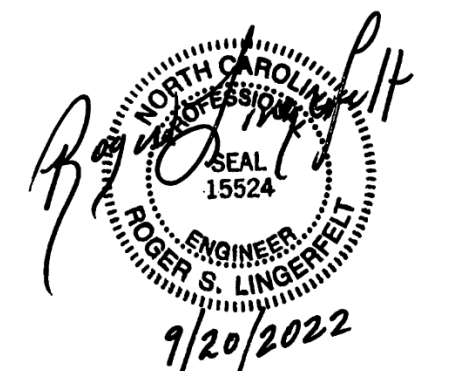
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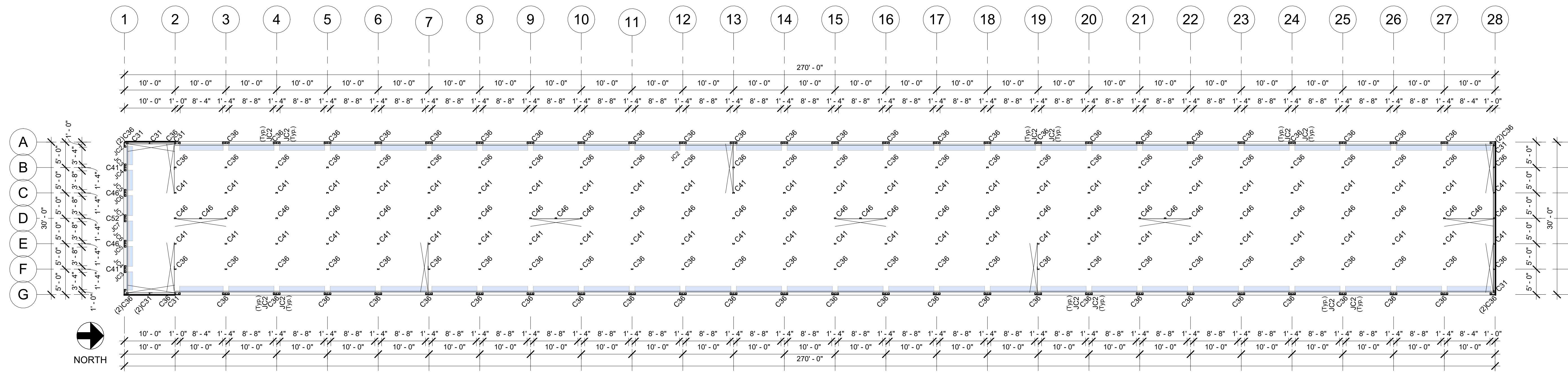


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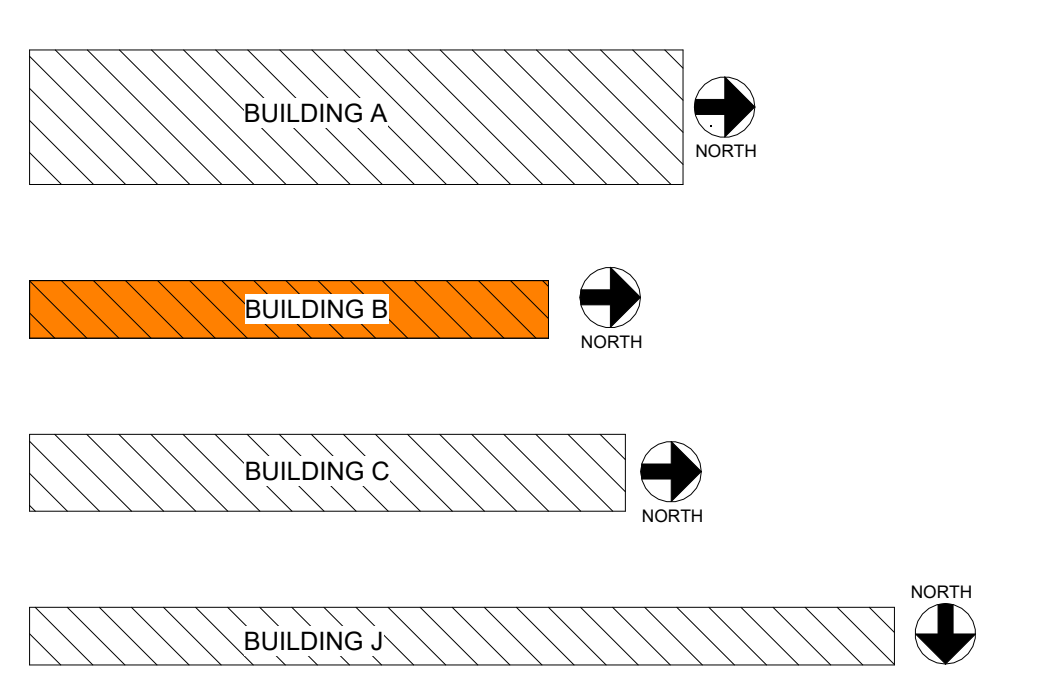
S210

Building B - Post Plan



1 Building B - (Post Plan)
3/32" = 1'-0"

Building B Post Schedule							
Mark	Qty	Width	Depth	Length	Gauge	Color	Notes
C10	158	4"	2"	2' - 0"	16ga		In-Fills
C11	2	4"	2"	2' - 0 1/2"	16ga		In-Fills
C12	2	4"	2"	2' - 1"	16ga		In-Fills
C13	2	4"	2"	2' - 1 1/2"	16ga		In-Fills
C14	2	4"	2"	2' - 2"	16ga		In-Fills
C15	2	4"	2"	2' - 2 1/2"	16ga		In-Fills
C16	2	4"	2"	2' - 3"	16ga		In-Fills
C17	2	4"	2"	2' - 3 1/2"	16ga		In-Fills
C18	2	4"	2"	2' - 4"	16ga		In-Fills
C31	8	4"	2"	9' - 10 1/2"	16ga		
C36	114	4"	2"	10' - 0"	16ga		
C41	56	4"	2"	10' - 1 1/2"	16ga		
C46	34	4"	2"	10' - 3"	16ga		
C52	1	4"	2"	10' - 4 1/2"	16ga		
JC2	106	4"	4"	10' - 0"	14ga		
JC3	2	4"	4"	10' - 1"	14ga		
JC4	2	4"	4"	10' - 1 1/2"	14ga		
JC5	2	4"	4"	10' - 2 1/2"	14ga		
JC6	2	4"	4"	10' - 3"	14ga		
JC7	2	4"	4"	10' - 4"	14ga		



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- Post Plan Notes**
- Interior Framing:** 4" x 2" x 16ga Posts On A 5'-0" x 10'-0" Grid Framing System. (U.N.O.)
 - Exterior Wall Framing:** 4" x 2" x 16ga Posts @ 5'-0" o.c. In 14ga Top & 16ga Bottom Track.
 - Exterior Floor Track -** Punch Holes in Floor Track To Match Post Spacing For Wedge Anchors. Place Wedge Anchor 6" From Each End of Track.
 - Exclusions:** Brick Veneer/EIFS
- Exterior Dimensions Are Taken From The Outside Face Of Framing. Double Posts Are Dimensioned To Center of Main Post Only. All Other Dimensions Are Center To Center of Posts.

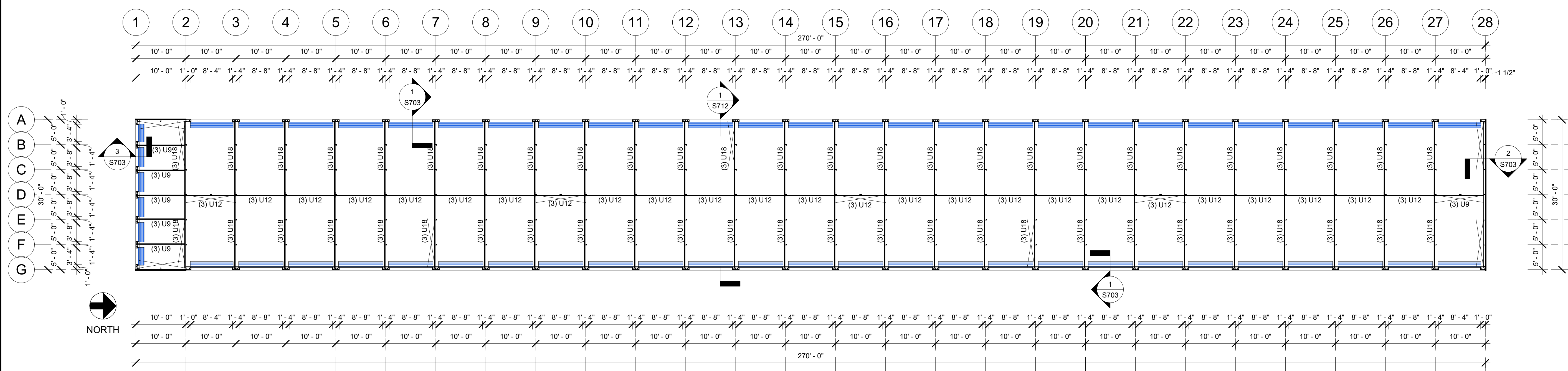


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Rev. #	Revision Date	Revision Description



1 Building B - (Partition Plan)
3/32" = 1'-0"

Building B Wall Schedule							
Mark	Qty	Width	Depth	Length	Gauge	Color	Notes
U9	18		3/4"	9' - 7"	29ga		
U12	75		3/4"	9' - 10"	29ga		
U18	156		3/4"	15' - 2"	29ga		

Partition Notes

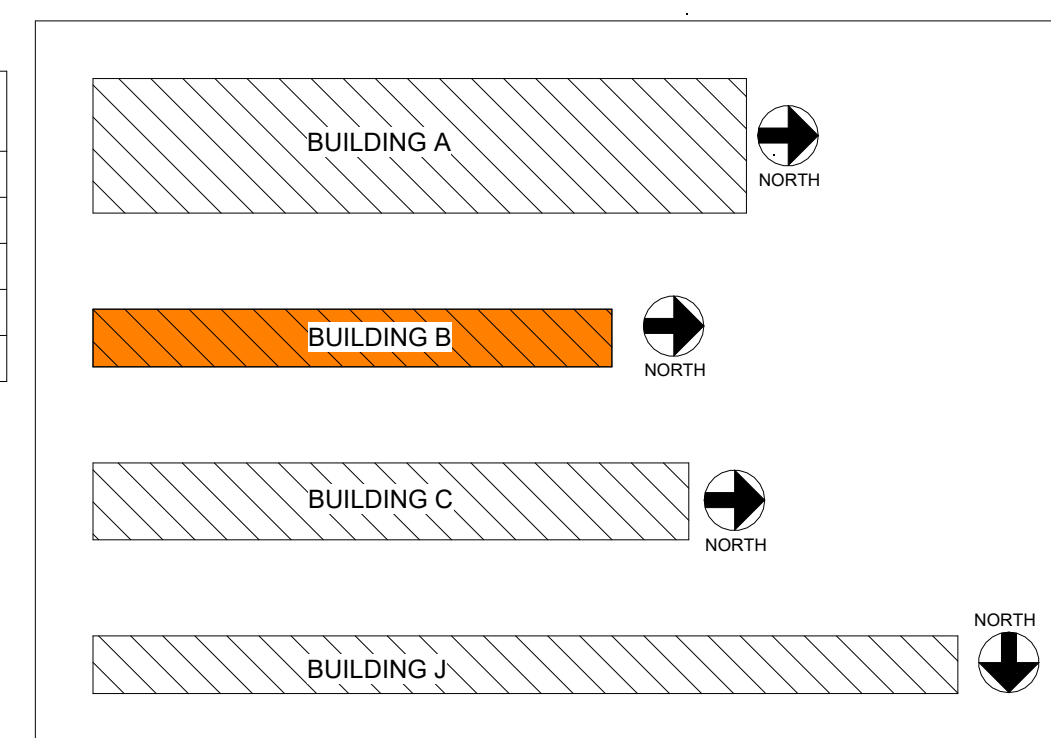
Partition Walls: 29ga 'Unpainted' Galvalume Partition Panels. Panel Height To Be up to 8' below underside of roof.

Insulated Walls: 29ga 'Unpainted' Galvalume Partition Panels With Liner Panel Installed Up To The Underside of Roof.

Insulation:

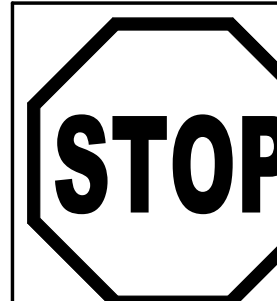
Roof: 2" Vapor Barrier Roof Insulation.

Exclusions: Roll-Up Doors, Hallway/Corridor Partitions & Interior Buildouts

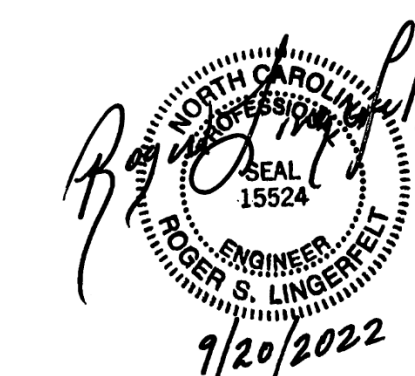


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SSI Project Number	1247
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Checked By	AS
Engineered By	RSL

S211
Building B - Partition
Plan



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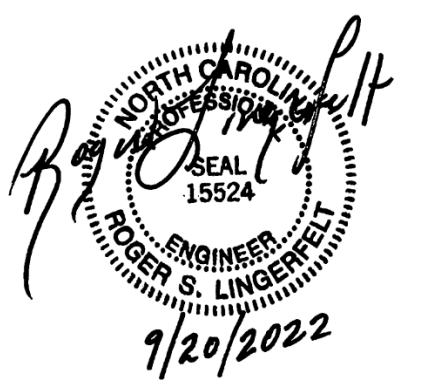
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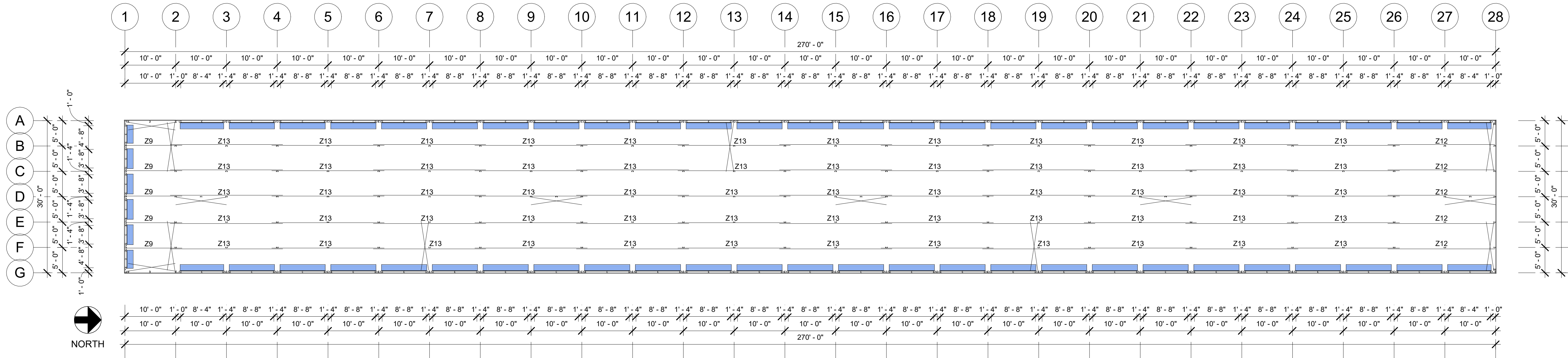
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S212
Building B - Roof Framing Plan



1 Building B - (Roof Framing Plan)
3/32" = 1'-0"

Framing Notes

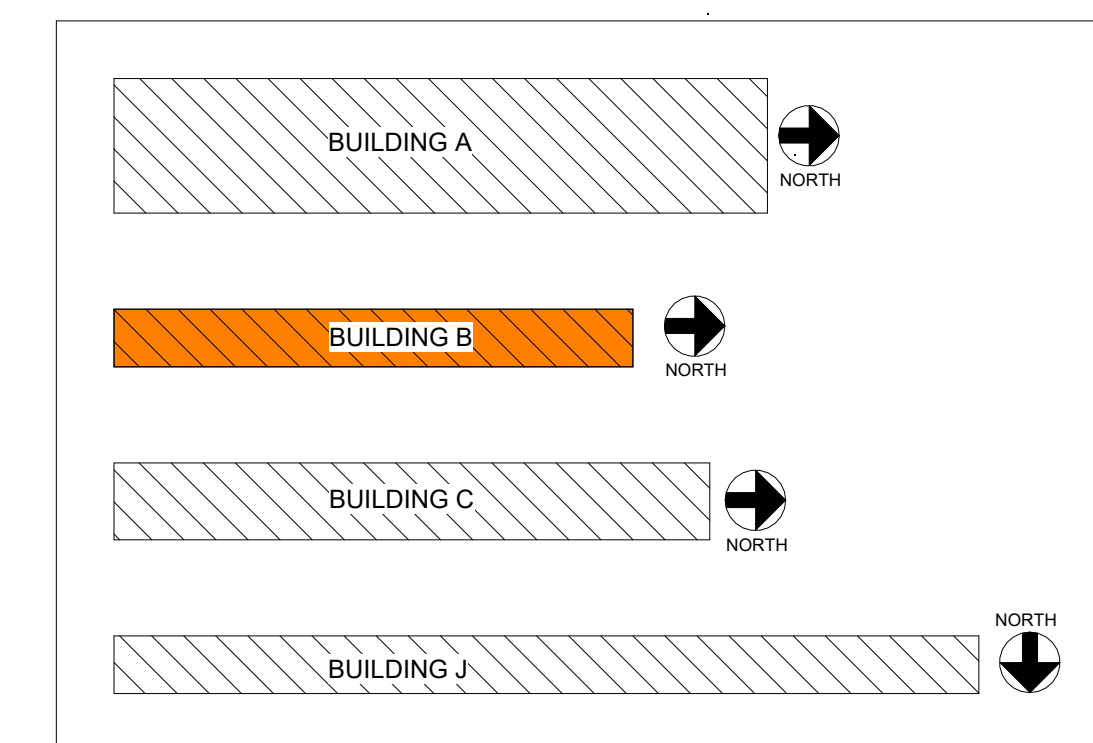
Interior Framing: See Post Plans. Zee Purlins Every 5'-0" o.c. (U.N.O.)

Exterior Wall Framing: See Post Plans.

Exclusions: Brick Veneer/EIFS

Exterior Dimensions Are Taken From The Outside Face Of Framing. Double Posts Are Dimensioned To Center of Main Post Only. All Other Dimensions Are Center To Center of Posts.

Building B Purlin Schedule							
Mark	Qty	Depth	Width	Length	Gauge	Color	Notes
Z9	5	6"	2 1/2"	11' - 1"	16ga		
Z12	5	6"	2 1/2"	21' - 1"	16ga		
Z13	60	6"	2 1/2"	22' - 2"	16ga		



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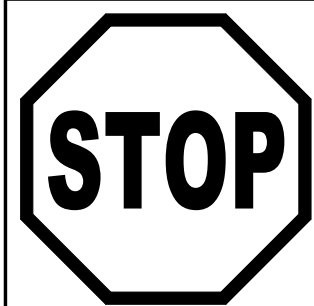
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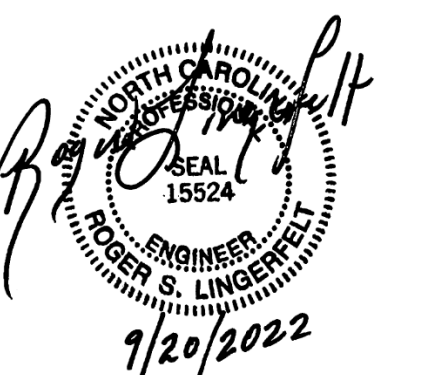
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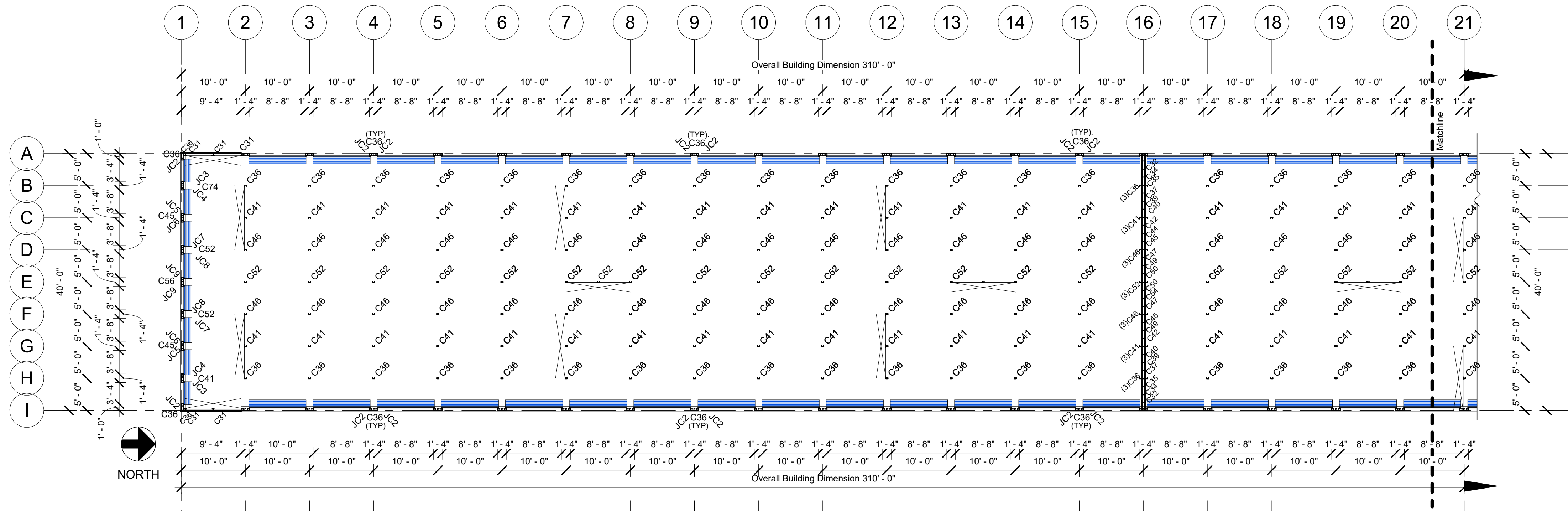


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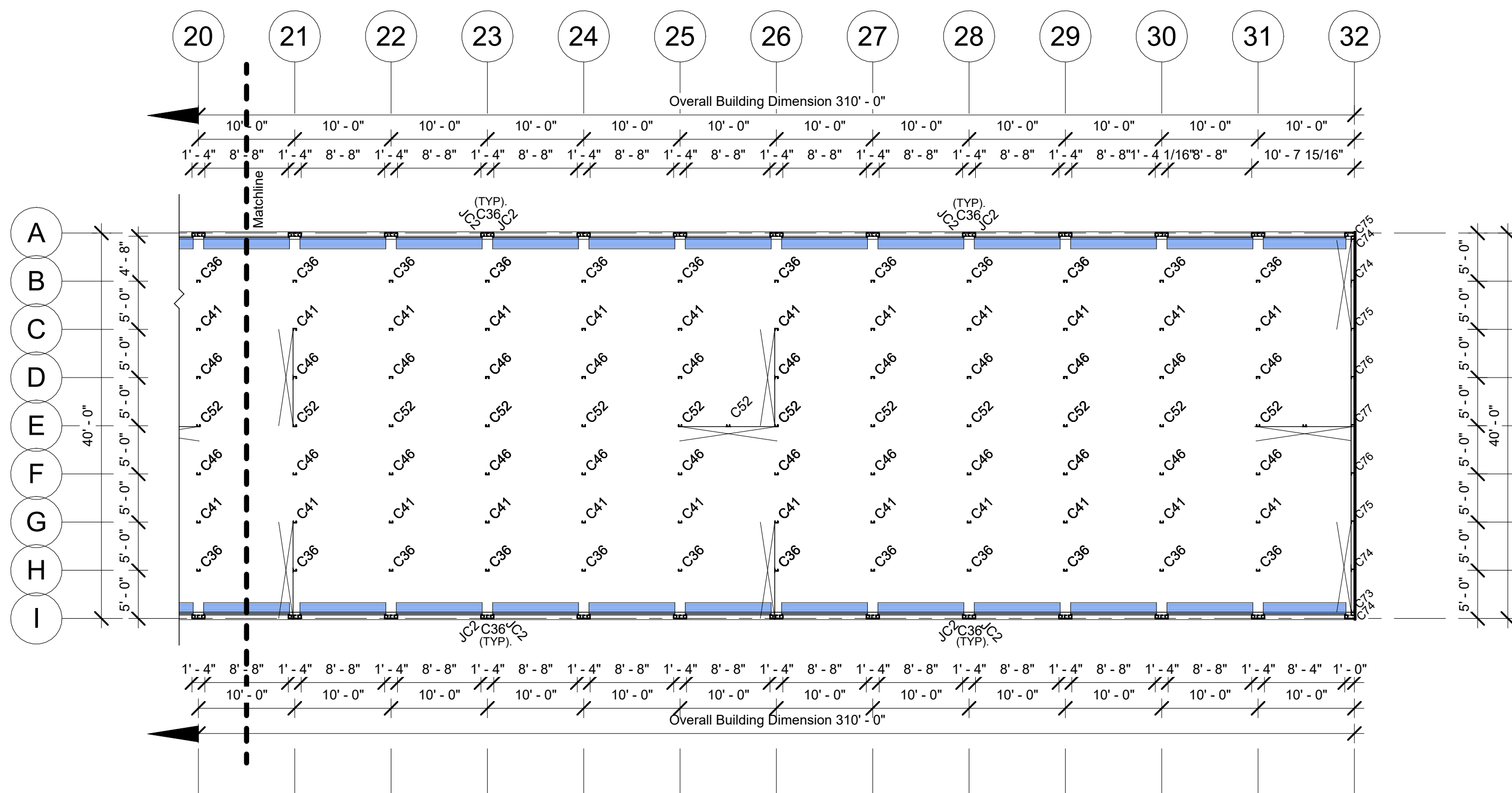
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Issue Date	09-20-2022
Drawn By	Y.H
Checked By	AS
Engineered By	RSL

S220

Building C - Post Plan

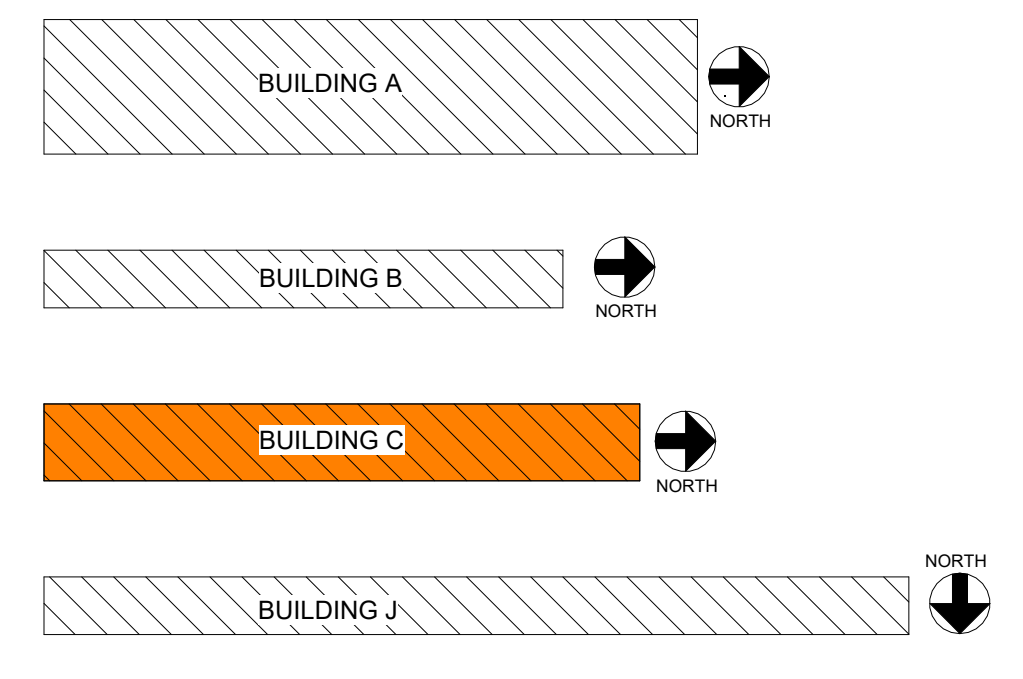


2 Building C - (Post Plan) - A
3/32" = 1'-0"



3 Building C - (Post Plan) - B
3/32" = 1'-0"

Building C Post Schedule							
Mark	Qty	Width	Depth	Length	Gauge	Color	Notes
C10	182	4"	2"	2' - 0"	16ga		In-Fills
C11	2	4"	2"	2' - 0 1/2"	16ga		In-Fills
C12	2	4"	2"	2' - 1"	16ga		In-Fills
C13	3	4"	2"	2' - 1 1/2"	16ga		In-Fills
C14	1	4"	2"	2' - 2"	16ga		In-Fills
C15	2	4"	2"	2' - 2 1/2"	16ga		In-Fills
C16	2	4"	2"	2' - 3"	16ga		In-Fills
C17	2	4"	2"	2' - 3 1/2"	16ga		In-Fills
C18	2	4"	2"	2' - 4"	16ga		In-Fills
C19	2	4"	2"	2' - 4 1/2"	16ga		In-Fills
C20	2	4"	2"	2' - 5"	16ga		In-Fills
C21	2	4"	2"	2' - 5 1/2"	16ga		In-Fills
C31	5	4"	2"	9' - 10 1/2"	16ga		
C32	2	4"	2"	9' - 10 3/4"	16ga		
C34	2	4"	2"	9' - 11 1/4"	16ga		
C35	2	4"	2"	9' - 11 1/2"	16ga		
C36	200	4"	2"	10' - 0"	16ga		<varies>
C37	2	4"	2"	10' - 0 1/4"	16ga		
C39	2	4"	2"	10' - 0 3/4"	16ga		
C40	2	4"	2"	10' - 1"	16ga		
C41	134	4"	2"	10' - 1 1/2"	16ga		
C42	2	4"	2"	10' - 1 3/4"	16ga		
C44	1	4"	2"	10' - 2 1/4"	16ga		
C45	4	4"	2"	10' - 2 1/2"	16ga		
C46	134	4"	2"	10' - 3"	16ga		
C47	2	4"	2"	10' - 3 1/4"	16ga		
C49	2	4"	2"	10' - 3 3/4"	16ga		
C50	2	4"	2"	10' - 4"	16ga		
C52	74	4"	2"	10' - 4 1/2"	16ga		
C54	1	4"	2"	10' - 5 1/4"	16ga		
C56	1	4"	2"	10' - 6"	16ga		
JC1	1	4"	4"	0' - 1 1/2"	14ga		
JC2	124	4"	4"	10' - 0"	14ga		
JC3	2	4"	4"	10' - 1"	14ga		
JC4	2	4"	4"	10' - 1 1/2"	14ga		
JC5	2	4"	4"	10' - 2 1/2"	14ga		
JC6	2	4"	4"	10' - 3"	14ga		
JC7	2	4"	4"	10' - 4"	14ga		
JC8	2	4"	4"	10' - 4 1/2"	14ga		
JC9	2	4"	4"	10' - 5 1/2"	14ga		



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Post Plan Notes

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Exterior Wall Framing: 4" x 2" x 16ga Posts @ 5'-0" o.c. In 14ga Top & 16ga Bottom Track.

Exterior Floor Track - Punch Holes in Floor Track To Match Post Spacing For Wedge Anchors. Place Wedge Anchor 6" From Each End of Track.

Exclusions: Brick Veneer/EIFS

Exterior Dimensions Are Taken From The Outside Face Of Framing. Double Posts Are Dimensioned To Center of Main Post Only. All Other Dimensions Are Center to Center of Posts.



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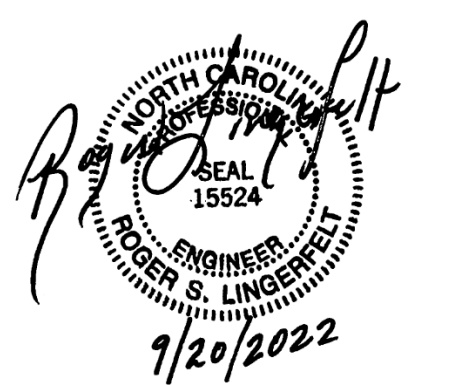
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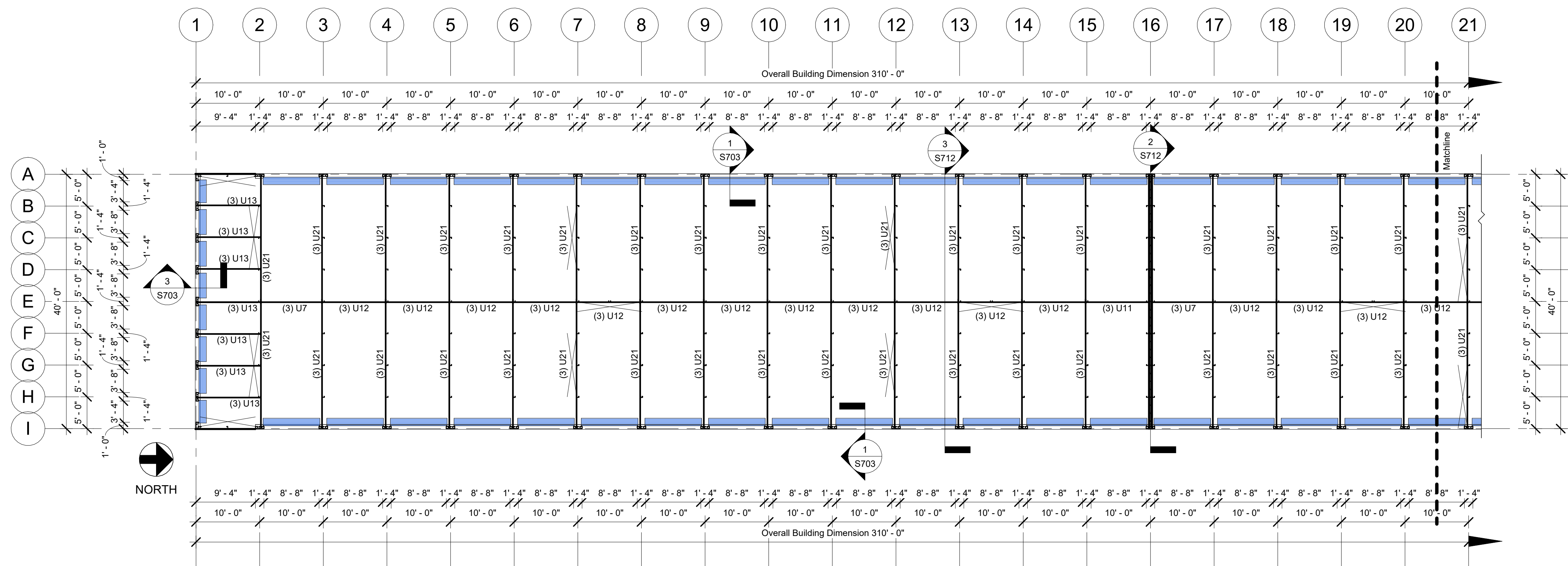


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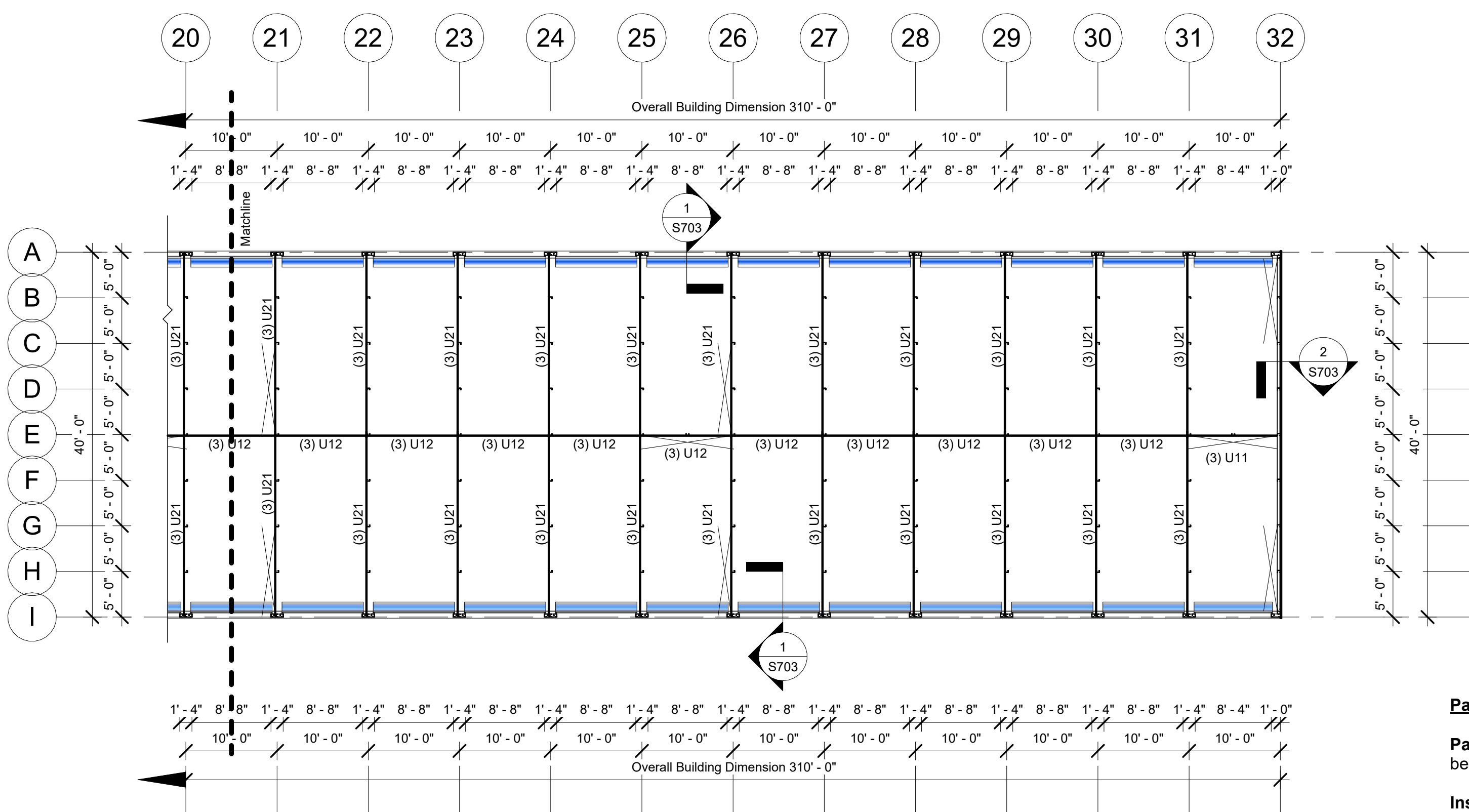
SSI Project Number	1247
Issue Date	09-20-2022
Drawn By	Y.H
Checked By	AS
Engineered By	RSL

S221

Building C - Partition Plan



2 Building C - (Partition Plan) - A
3/32" = 1'-0"



3 Building C - (Partition Plan) - B
3/32" = 1'-0"

Partition Notes

Partition Walls: 29ga 'Unpainted' Galvalume Partition Panels. Panel Height To Be up to 8' below underside of roof.

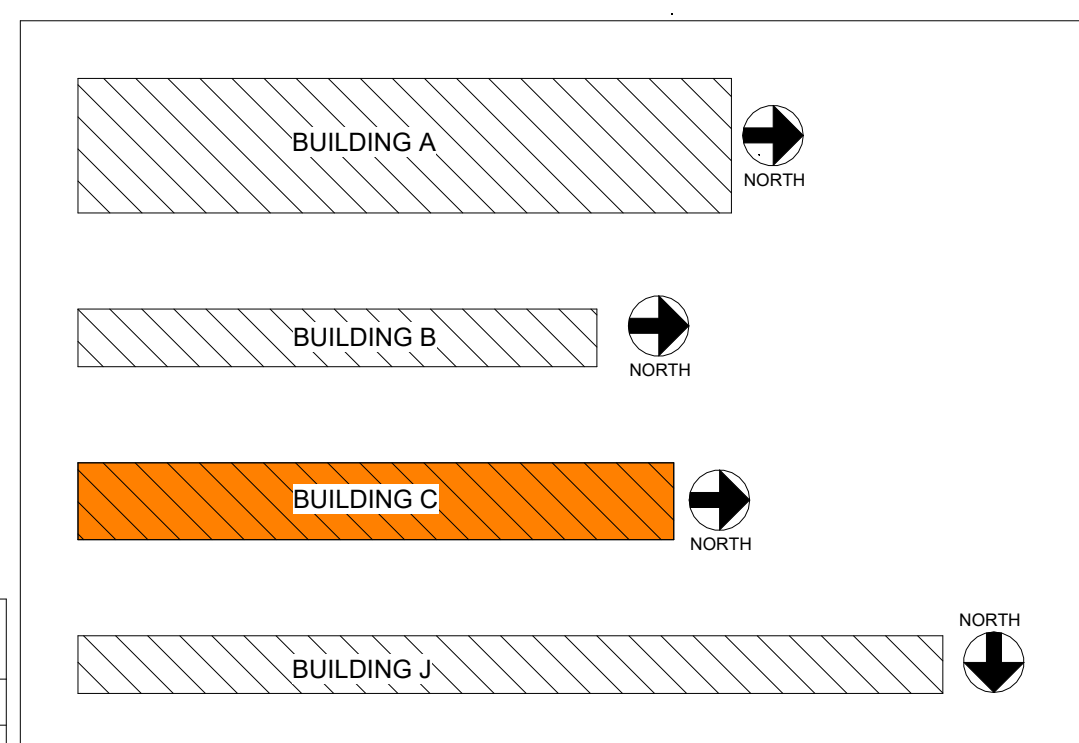
Insulated Walls: 29ga 'Unpainted' Galvalume Partition Panels With Liner Panel Installed Up To The Underside of Roof.

Insulation:

Roof: 2" Vapor Barrier Roof Insulation.

Exclusions: Roll-Up Doors, Hallway/Corridor Partitions & Interior Buildouts

Building C Wall Schedule								
Mark	Qty	Width	Depth	Length	Gauge	Color	Notes	Building #
U7	6		3/4"	9' - 5"	29ga			Building C
U10	3		3/4"	9' - 8"	29ga			Building C
U11	6		3/4"	9' - 9"	29ga			Building C
U12	78		3/4"	9' - 10"	29ga			Building C
U13	21		3/4"	9' - 11"	29ga			Building C
U21	174		3/4"	20' - 2"	29ga			Building C



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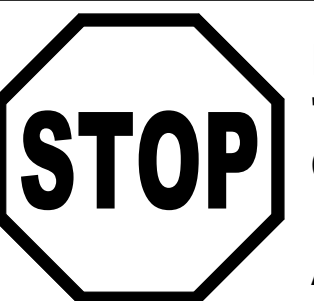
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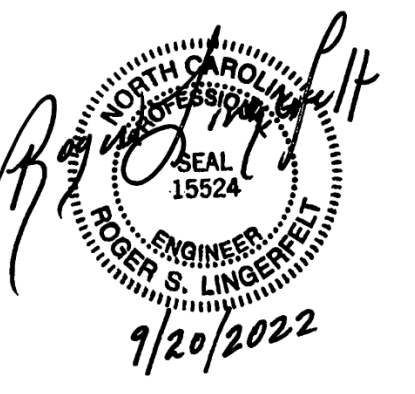
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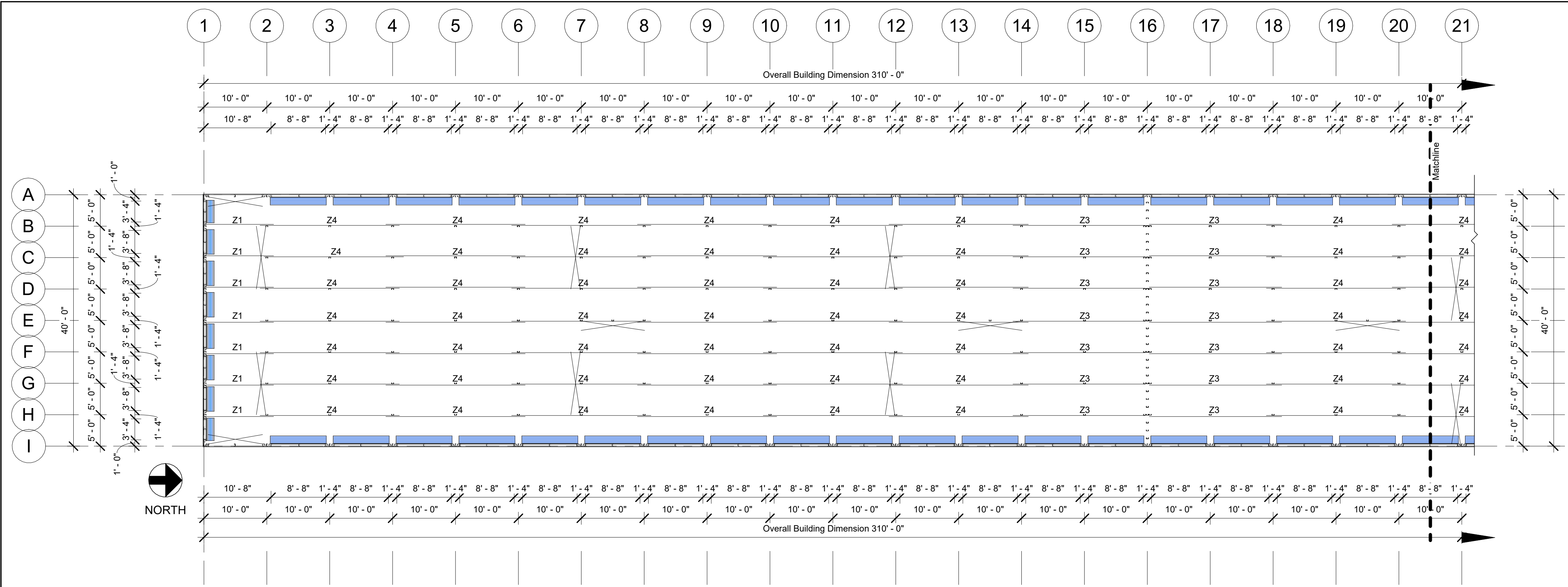


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Engineered By	RSL

S222

Building C - Roof
Framing Plan



2 Building C -(Roof Framing Plan) - A
3/32" = 1'-0"



3 Building C -(Roof Framing Plan) - B
3/32" = 1'-0"

Building C Purlin Schedule

Mark	Qty	Depth	Width	Length	Gauge	Color	Notes
Z1	7	6"	2 1/2"	11' - 1"	16ga		
Z3	21	6"	2 1/2"	21' - 1"	16ga		
Z4	84	6"	2 1/2"	22' - 2"	16ga		

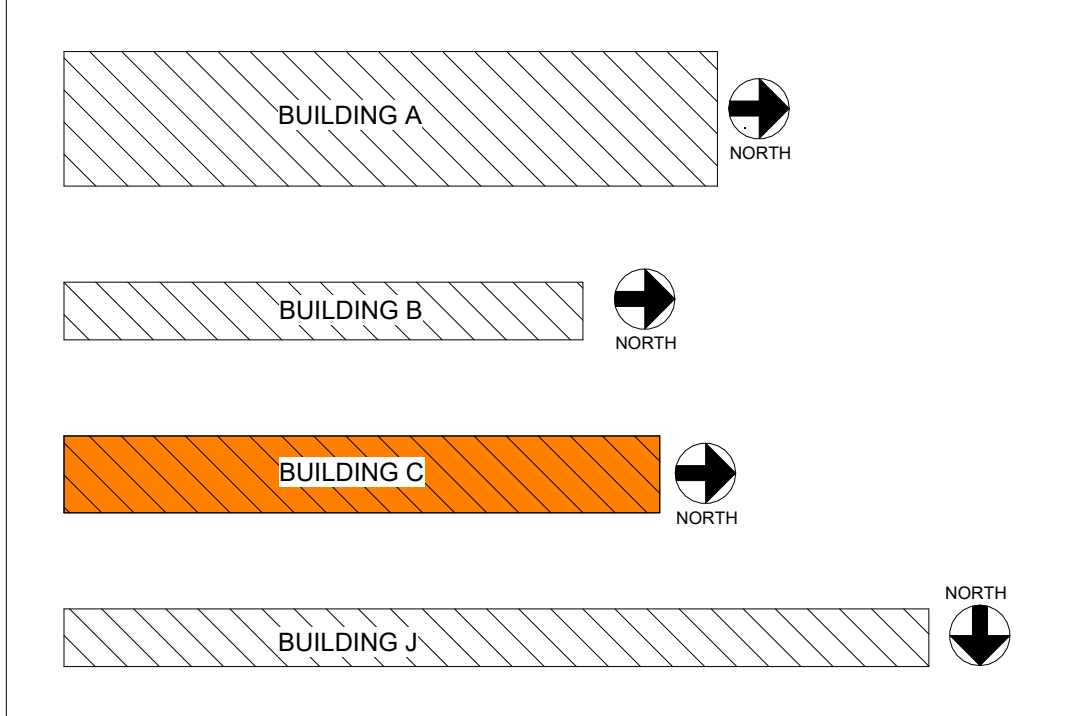
Framing Notes

Interior Framing: See Post Plans. Zee Purlins Every 5'-0" o.c. (U.N.O.)

Exterior Wall Framing: See Post Plans.

Exclusions: Brick Veneer/EIFS

Exterior Dimensions Are Taken From The Outside Face Of Framing. Double Posts Are Dimensioned To Center of Main Post Only. All Other Dimensions Are Center To Center of Posts.



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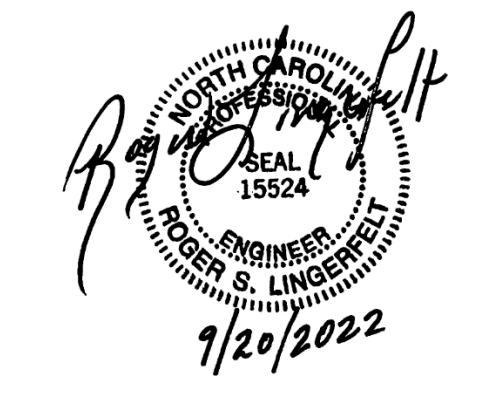
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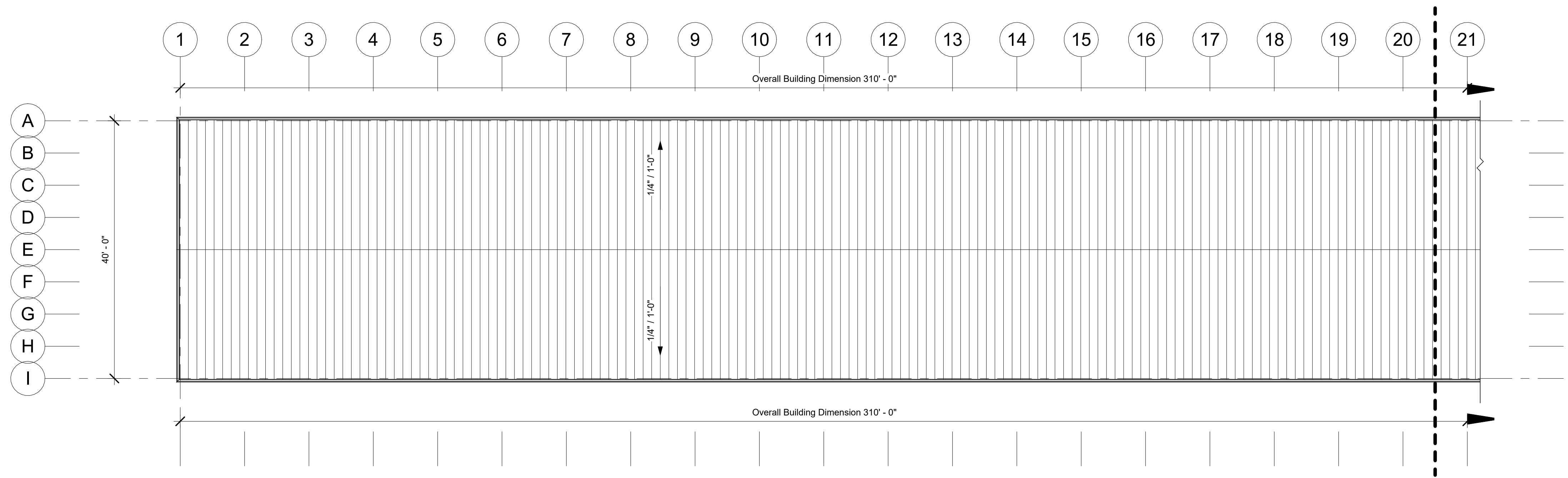
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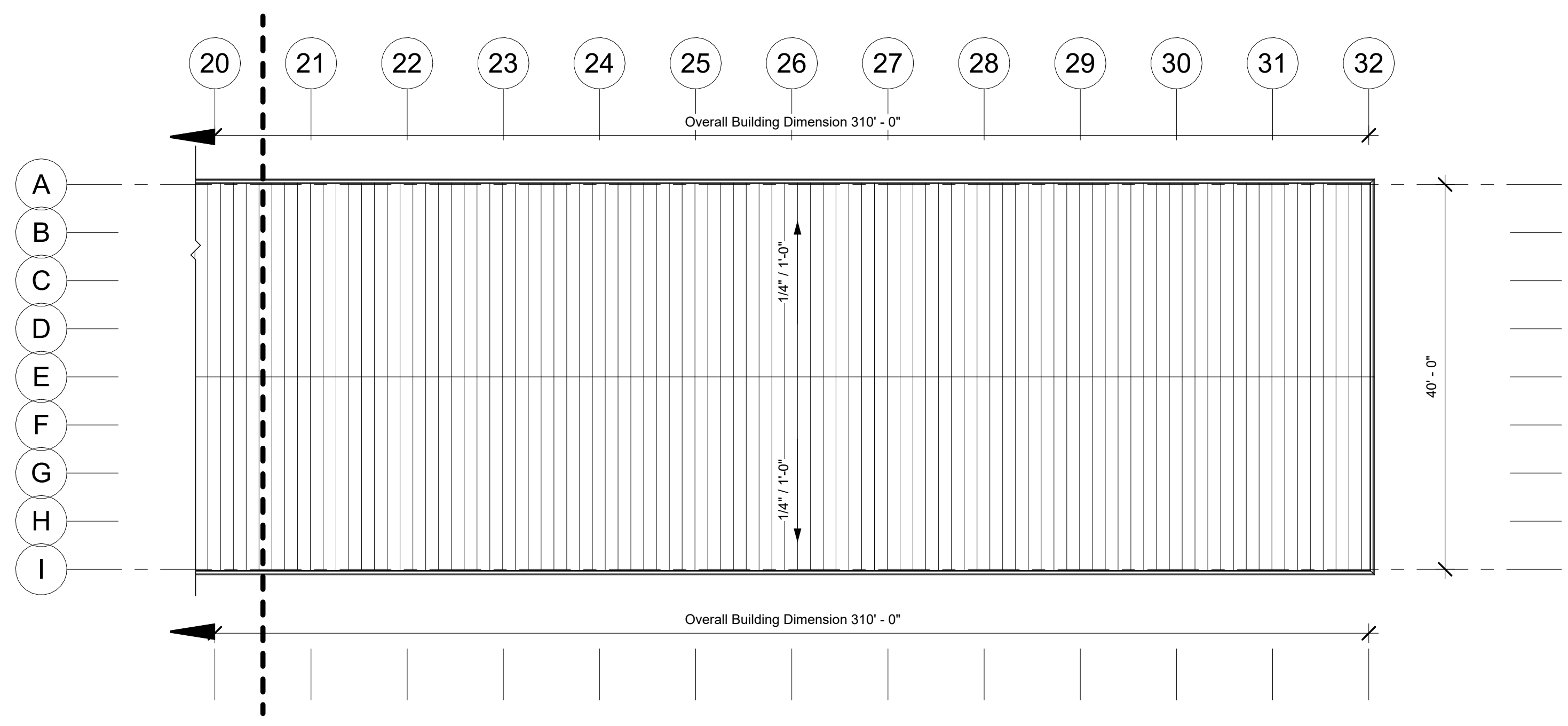
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S223
 Building C - Roofing
 Plan

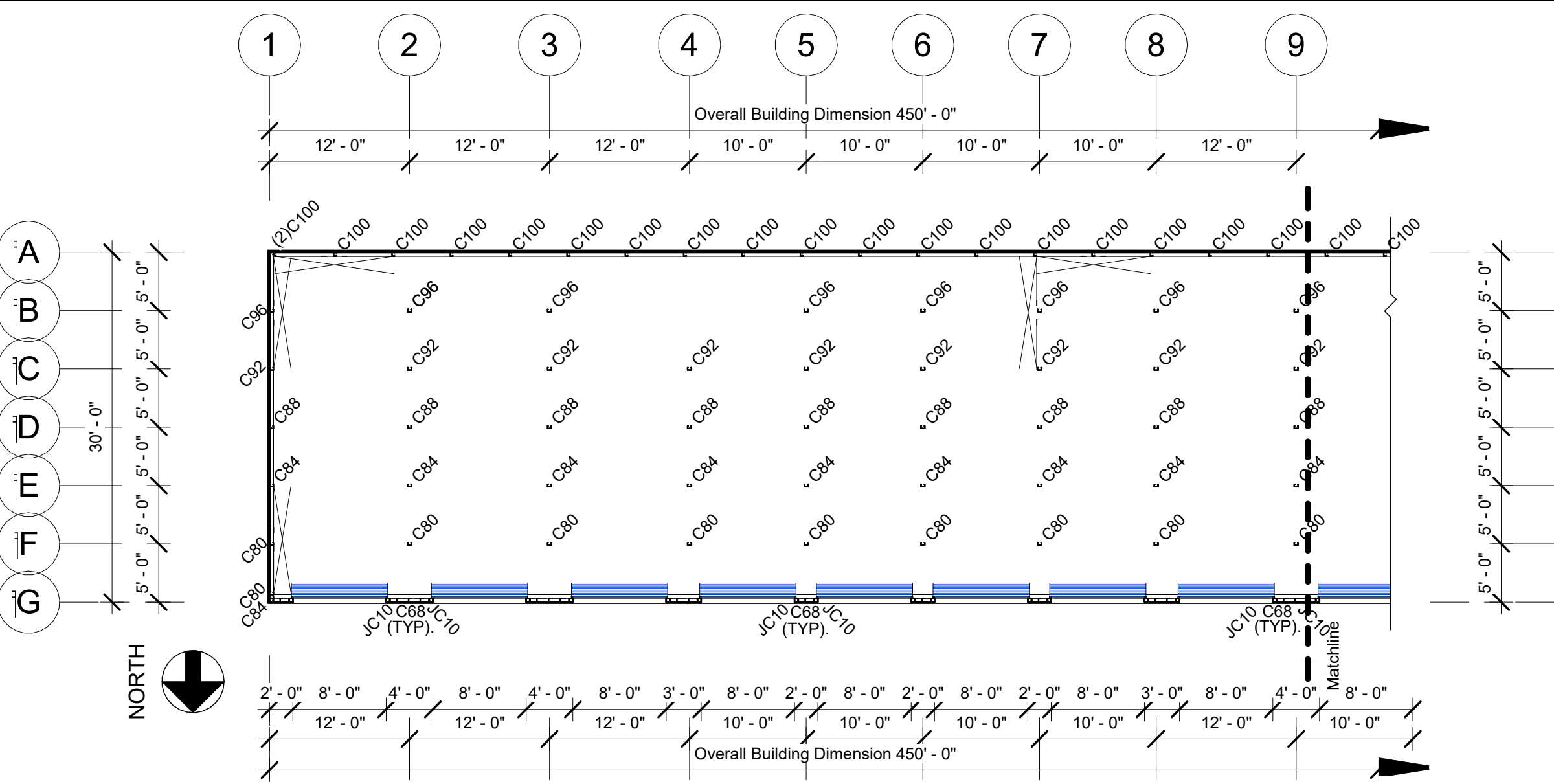


① Building C - Roofing Plan - A
 3/32" = 1'-0"



② Building C - Roofing Plan - B
 3/32" = 1'-0"

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Post Plan Notes

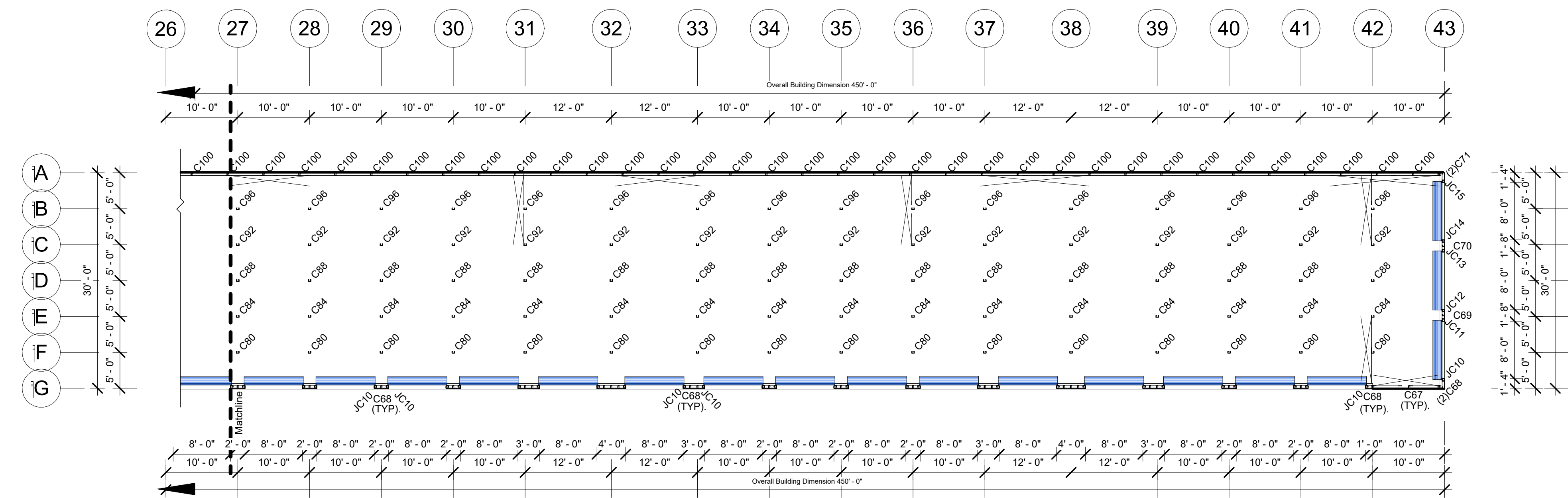
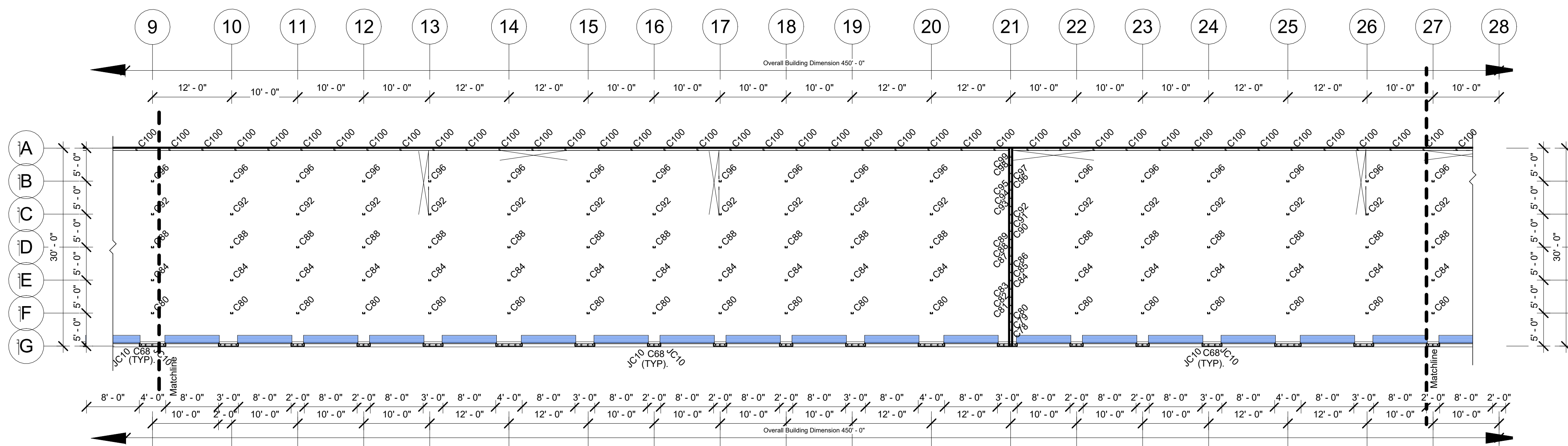
Interior Framing: 4" x 2" x 16ga Posts On A 5'-0" x 10'-0" Grid Framing System. (U.N.O.)

Exterior Wall Framing: 4" x 2" x 16ga Posts @ 5'-0" o.c. In 14ga Top & 16ga Bottom Track.

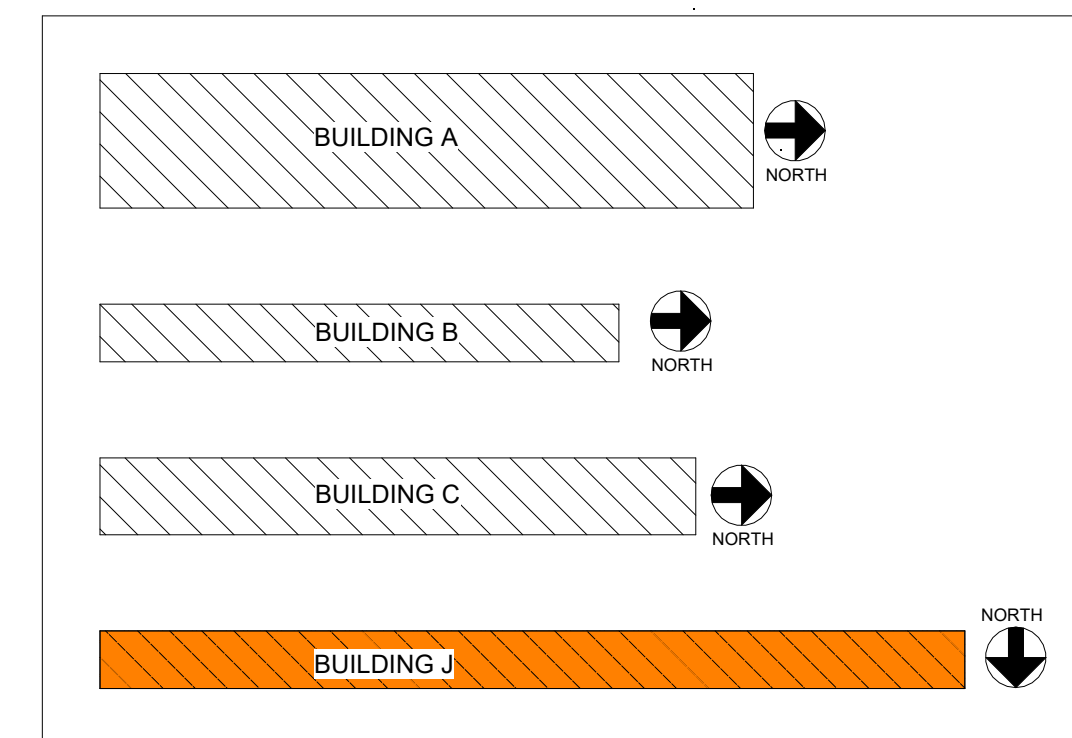
Exterior Floor Track - Punch Holes in Floor Track To Match Post Spacing For Wedge Anchors. Place Wedge Anchor 6" From Each End of Track.

Exclusions: Brick Veneer/EIFS

Exterior Dimensions Are Taken From The Outside Face Of Framing. Double Posts Are Dimensioned To Center of Main Post Only. All Other Dimensions Are Center To Center of Posts.



Building J Post Schedule							
Mark	Qty	Width	Depth	Length	Gauge	Color	Notes
C22	124	4"	2"	4'-0"	16ga		In-Fills
C23	1	4"	2"	4'-1 1/2"	16ga		In-Fills
C24	1	4"	2"	4'-2 1/2"	16ga		In-Fills
C25	1	4"	2"	4'-3"	16ga		In-Fills
C26	1	4"	2"	4'-4 1/2"	16ga		In-Fills
C27	1	4"	2"	4'-5 1/2"	16ga		In-Fills
C28	1	4"	2"	4'-6"	16ga		In-Fills
C29	1	4"	2"	4'-7"	16ga		In-Fills
C30	1	4"	2"	4'-8 1/2"	16ga		In-Fills
C67	4	4"	2"	11'-10 1/2"	16ga		
C68	73	4"	2"	12'-0"	16ga		
C69	1	4"	2"	12'-3"	16ga		
C70	1	4"	2"	12'-5 1/2"	16ga		
C71	2	4"	2"	12'-9"	16ga		
C73	1	4"	2 1/2"	9'-10 1/2"	16ga		
C74	5	4"	2 1/2"	10'-0"	16ga		
C75	3	4"	2 1/2"	10'-1 1/2"	16ga		
C76	2	4"	2 1/2"	10'-3"	16ga		
C77	1	4"	2 1/2"	10'-4 1/2"	16ga		
C78	1	4"	2 1/2"	11'-11 1/2"	16ga		
C79	1	4"	2 1/2"	11'-11 3/4"	16ga		
C80	43	4"	2 1/2"	12'-0"	16ga		
C81	1	4"	2 1/2"	12'-0 1/4"	16ga		
C82	1	4"	2 1/2"	12'-0 3/4"	16ga		
C83	1	4"	2 1/2"	12'-1"	16ga		
C84	43	4"	2 1/2"	12'-1 1/2"	16ga		
C85	1	4"	2 1/2"	12'-1 3/4"	16ga		
C86	1	4"	2 1/2"	12'-2 1/4"	16ga		
C87	1	4"	2 1/2"	12'-2 1/2"	16ga		
C88	42	4"	2 1/2"	12'-3"	16ga		
C89	1	4"	2 1/2"	12'-3 1/4"	16ga		
C90	1	4"	2 1/2"	12'-3 3/4"	16ga		
C91	1	4"	2 1/2"	12'-4"	16ga		
C92	42	4"	2 1/2"	12'-4 1/2"	16ga		
C93	1	4"	2 1/2"	12'-4 3/4"	16ga		
C94	1	4"	2 1/2"	12'-5 1/4"	16ga		
C95	1	4"	2 1/2"	12'-5 1/2"	16ga		
C96	42	4"	2 1/2"	12'-6"	16ga		
C97	1	4"	2 1/2"	12'-6 1/4"	16ga		
C98	1	4"	2 1/2"	12'-6 3/4"	16ga		
C99	1	4"	2 1/2"	12'-7"	16ga		
C100	91	4"	2 1/2"	12'-7 1/2"	16ga		
JC10	84	4"	4"	12'-0"	14ga		
JC11	1	4"	4"	12'-2 1/2"	14ga		
JC12	1	4"	4"	12'-3"	14ga		
JC13	1	4"	4"	12'-5 1/2"	14ga		
JC14	1	4"	4"	12'-6"	14ga		
JC15	1	4"	4"	12'-8 1/2"	14ga		



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Issue Date	09-20-2022
Drawn By	Y.H
Checked By	AS
Engineered By	RSL

S230

Building J - Post Plan



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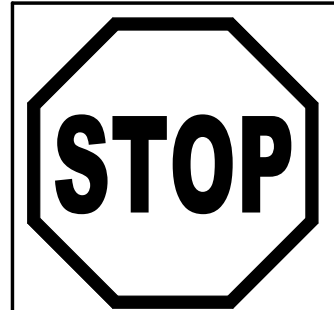
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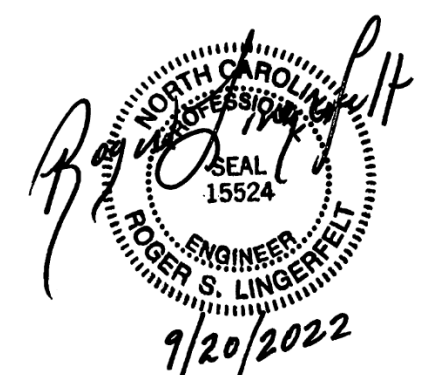
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S231

Building J - Partition Plan

Building J Wall Schedule							
Mark	Qty	Width	Depth	Length	Gauge	Color	Notes
U7	8		3/4"	9' - 5"			
U18	320		3/4"	15' - 2"			

Partition Notes

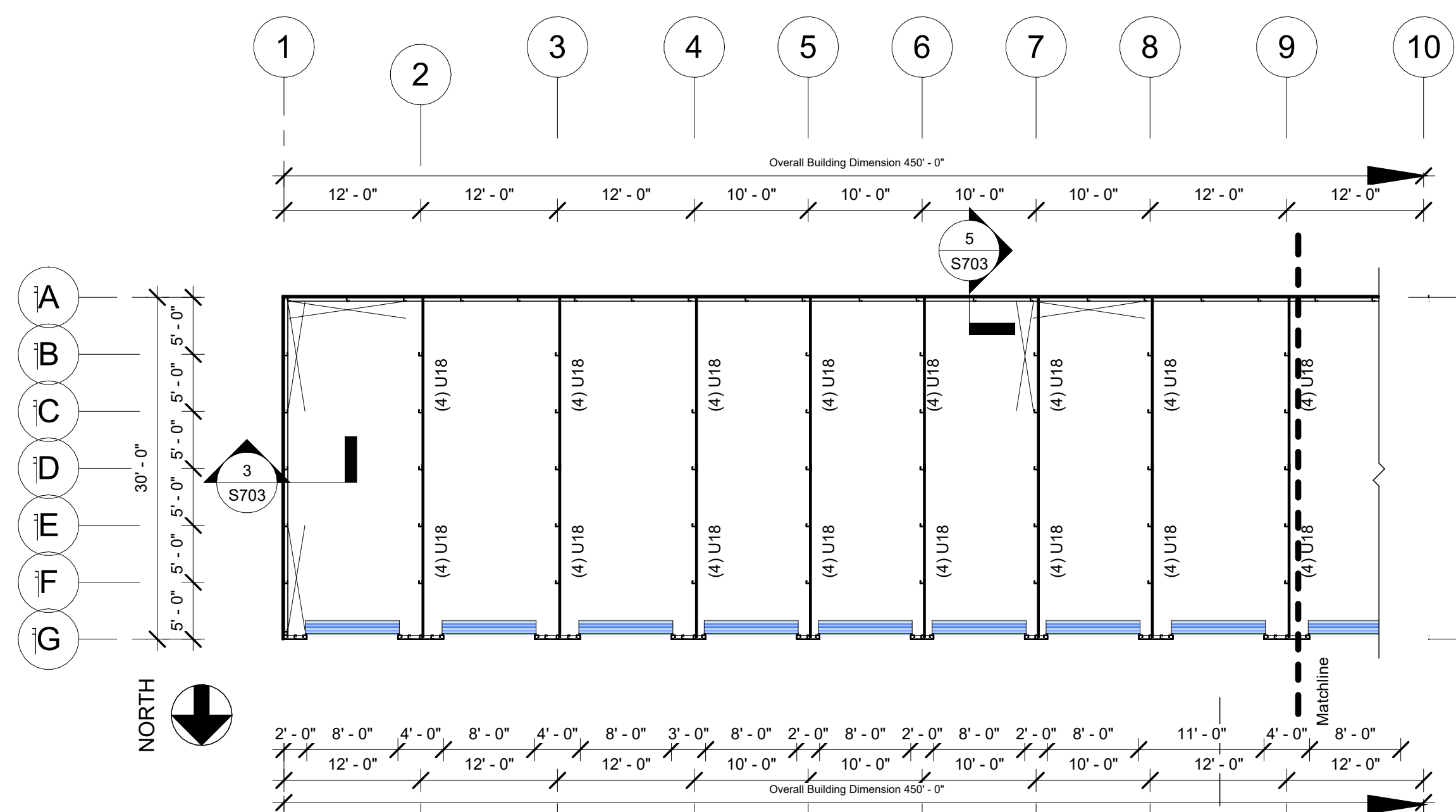
Partition Walls: 29ga 'Unpainted' Galvalume Partition Panels. Panel Height To Be up to 8" below underside of roof.

Insulated Walls: 29ga 'Unpainted' Galvalume Partition Panels With Liner Panel Installed Up To The Underside of Roof.

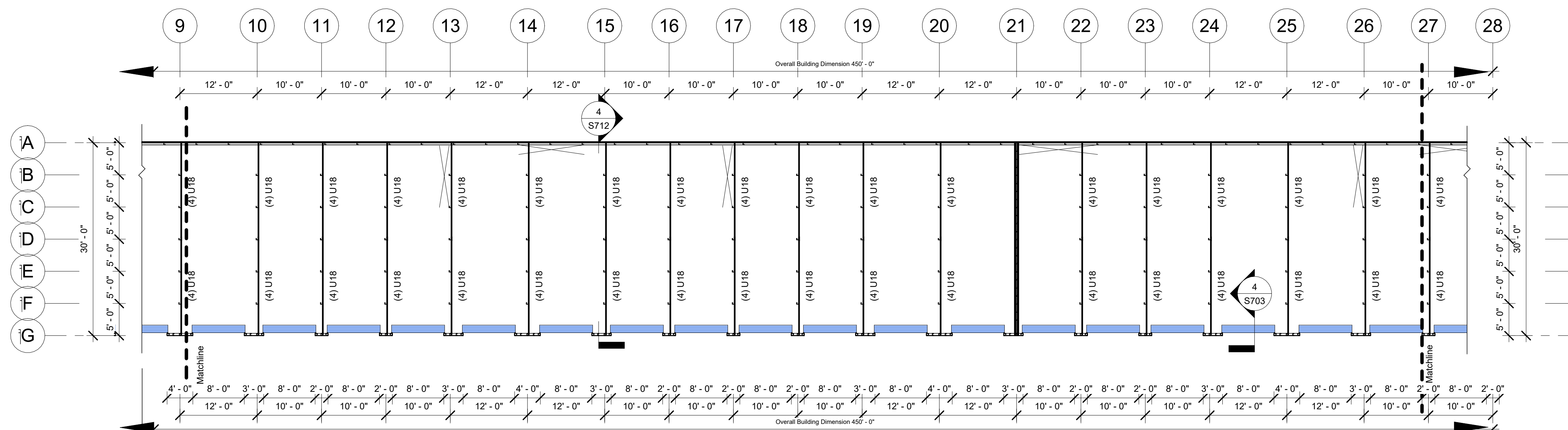
Insulation:

Roof: 2" Vapor Barrier Roof Insulation.

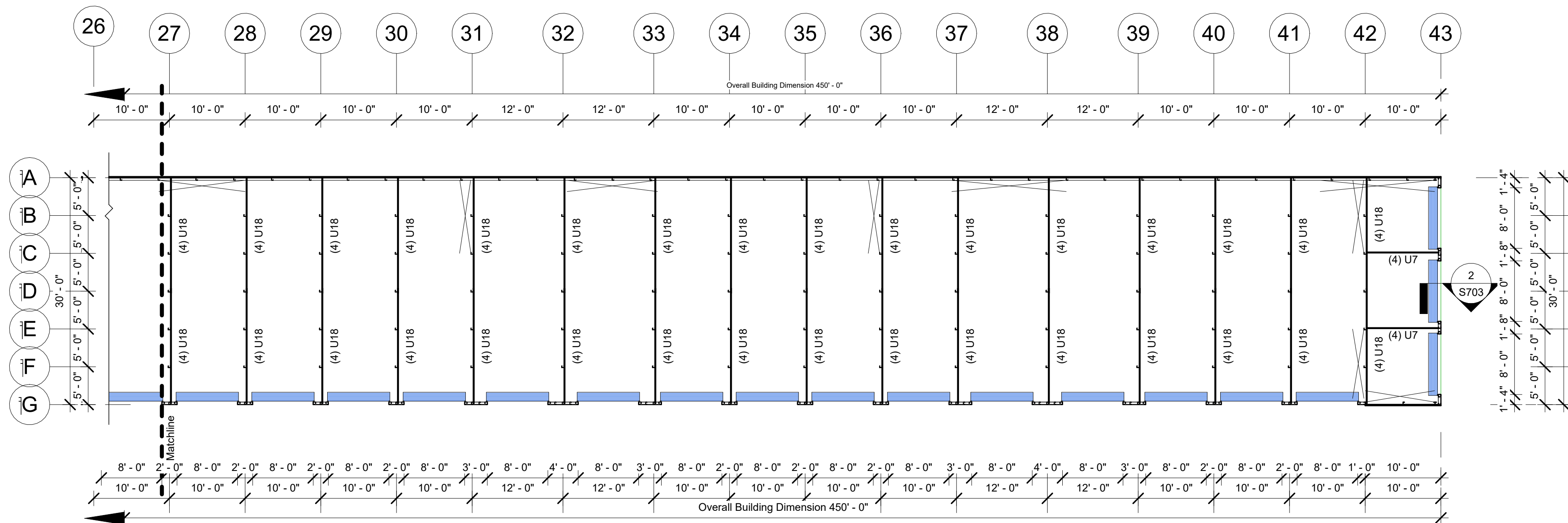
Exclusions: Roll-Up Doors, Hallway/Corridor Partitions & Interior Buildouts



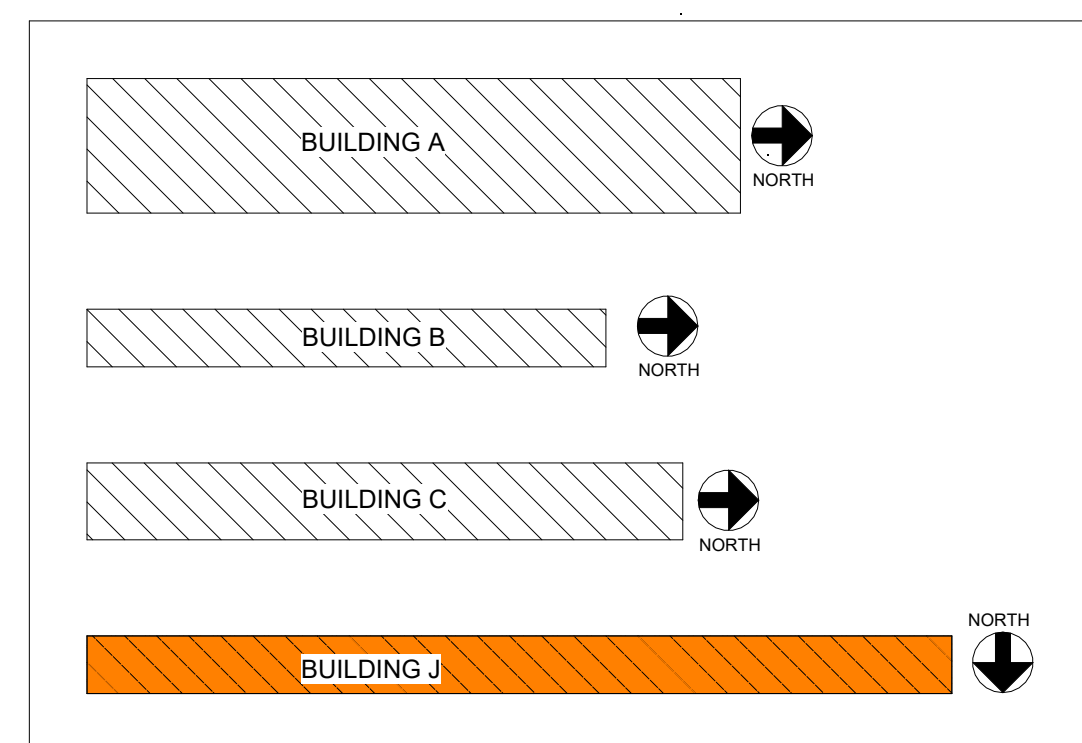
1 Building J - (Partition Plan) - A
3/32" = 1'-0"



2 Building J - (Partition Plan) - B
3/32" = 1'-0"



3 Building J - (Partition Plan) - C
3/32" = 1'-0"



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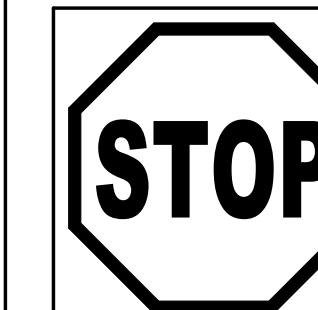
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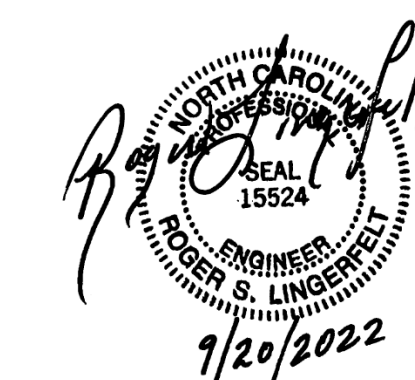
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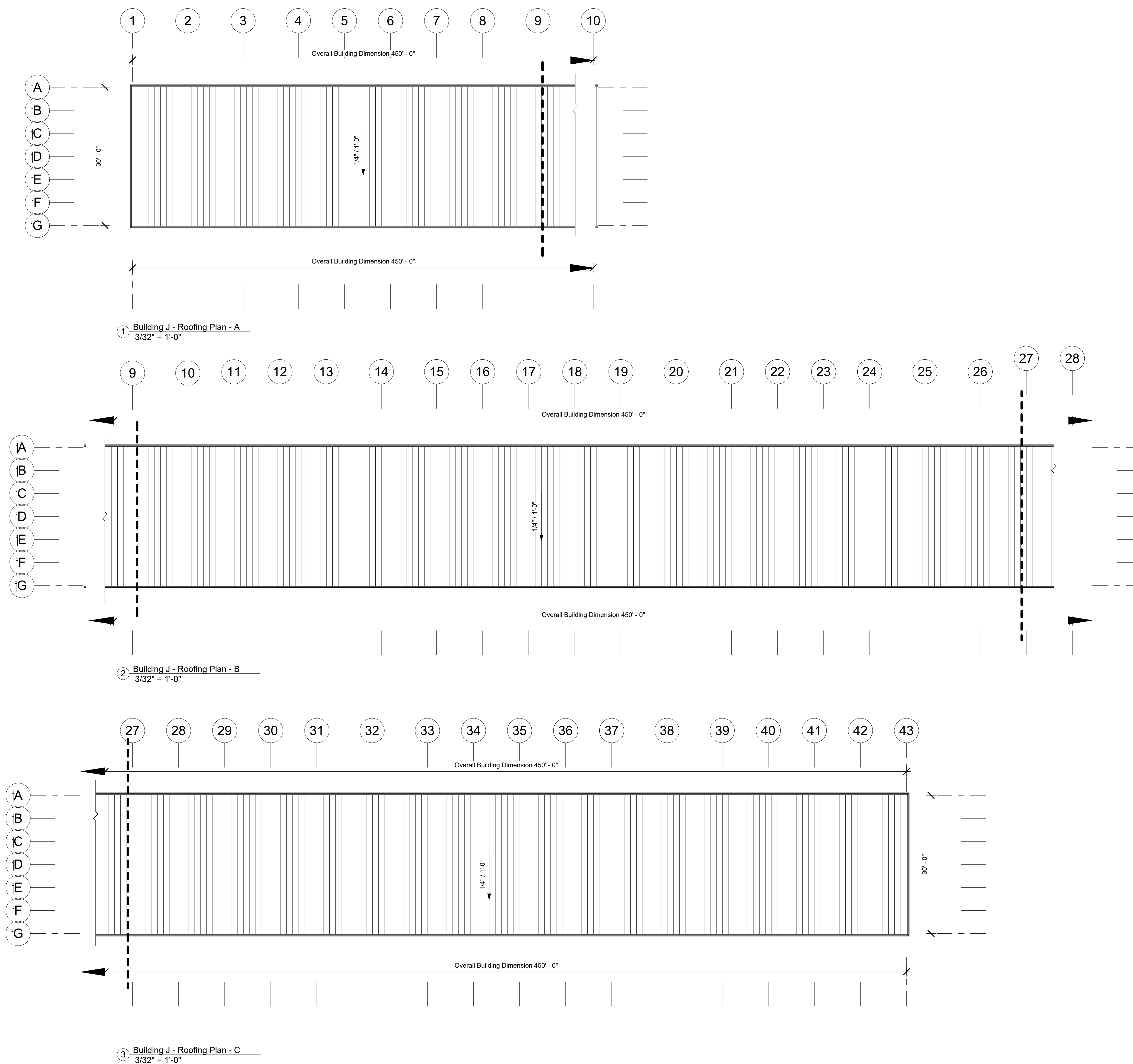
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S233
Building J - Roofing
Plan



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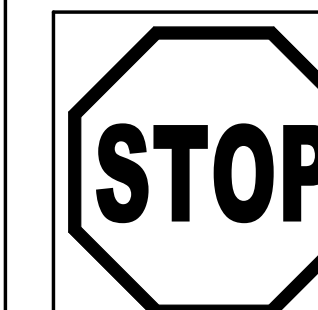
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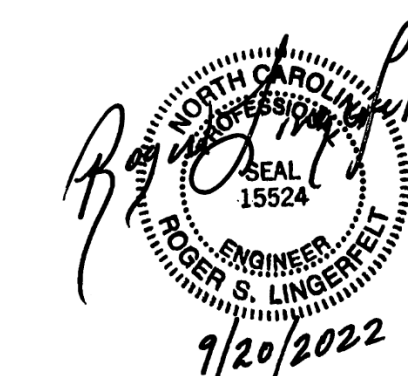
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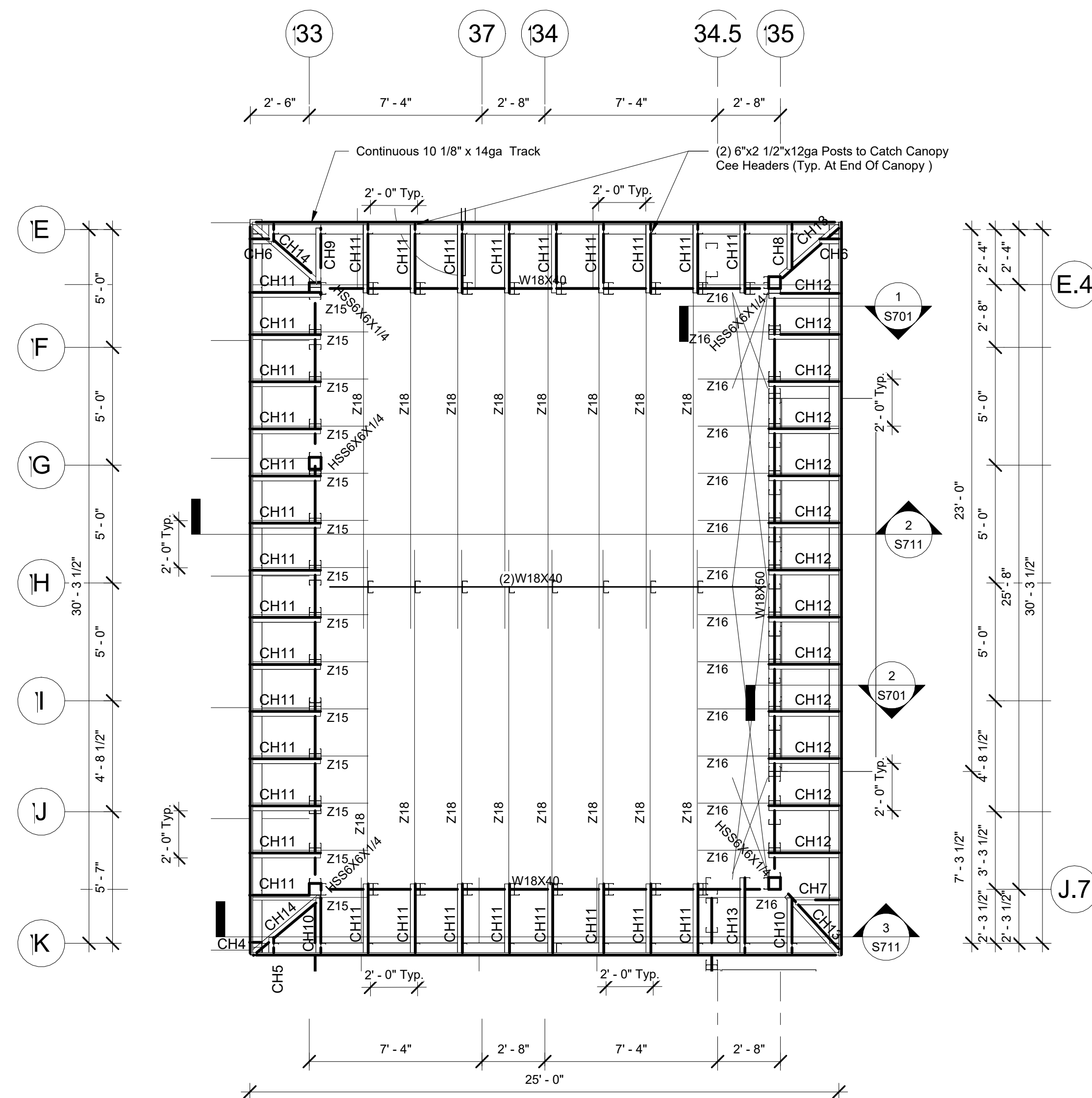


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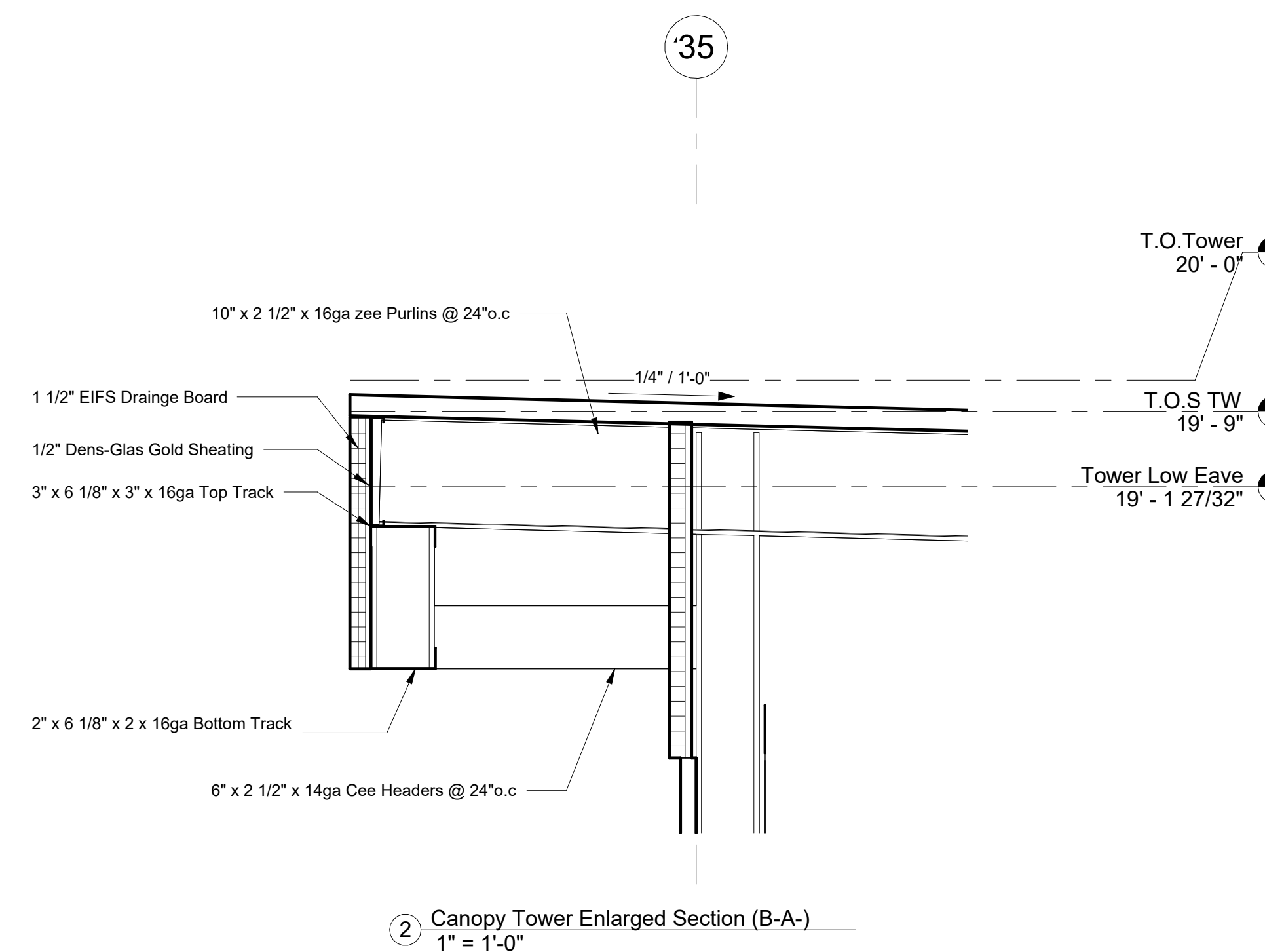
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S400
Canopy Enlarged Plan

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1 Building A - Canopy Enlarged Plan
1/4" = 1'-0"



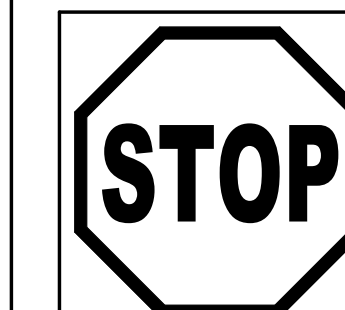
2 Canopy Tower Enlarged Section (B-A)
1" = 1'-0"

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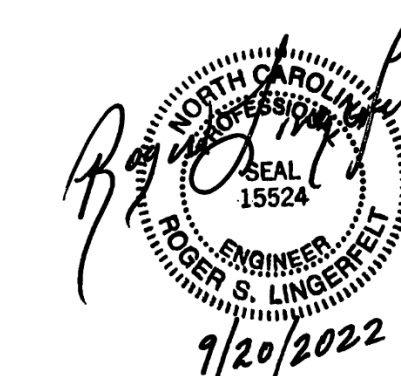
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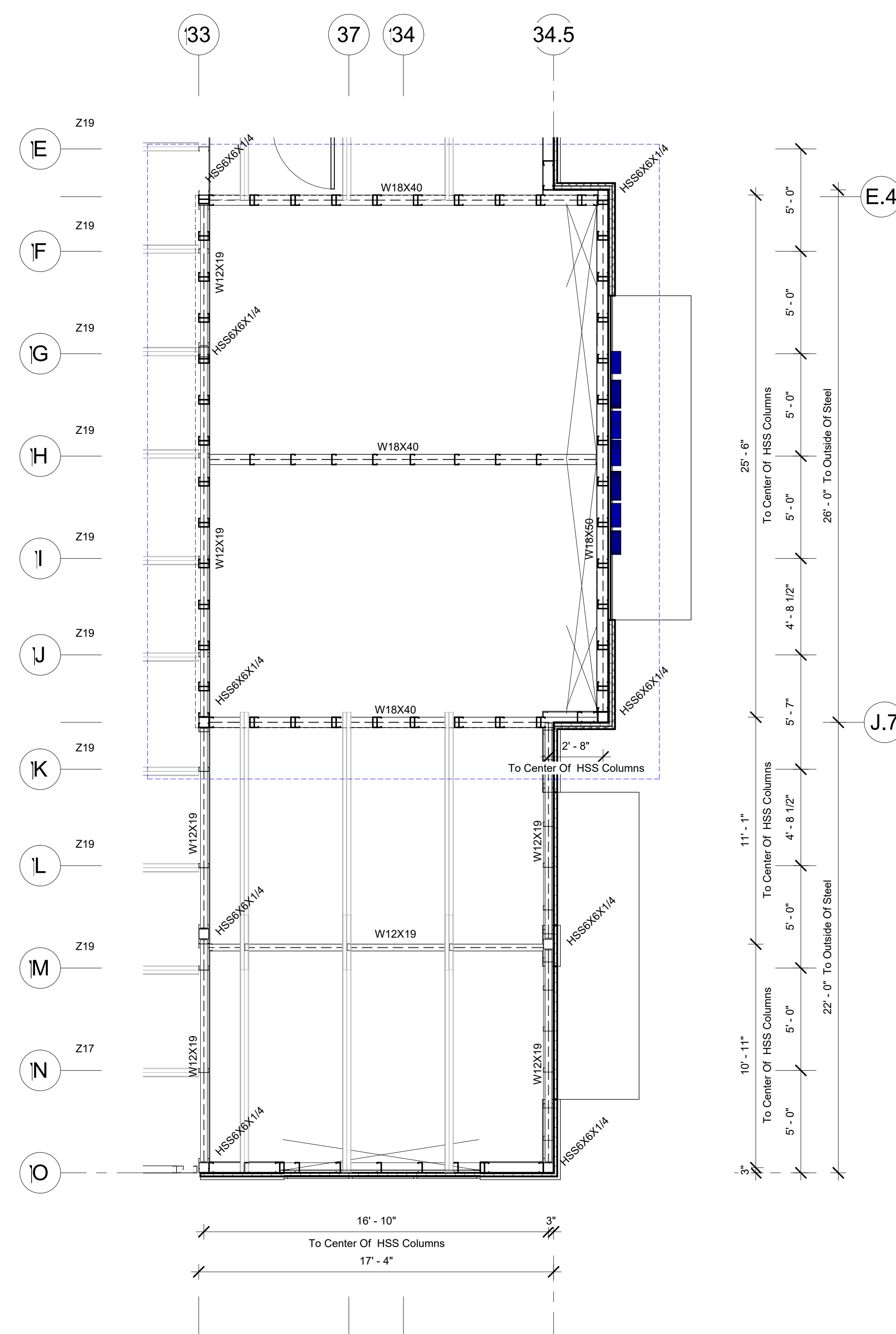


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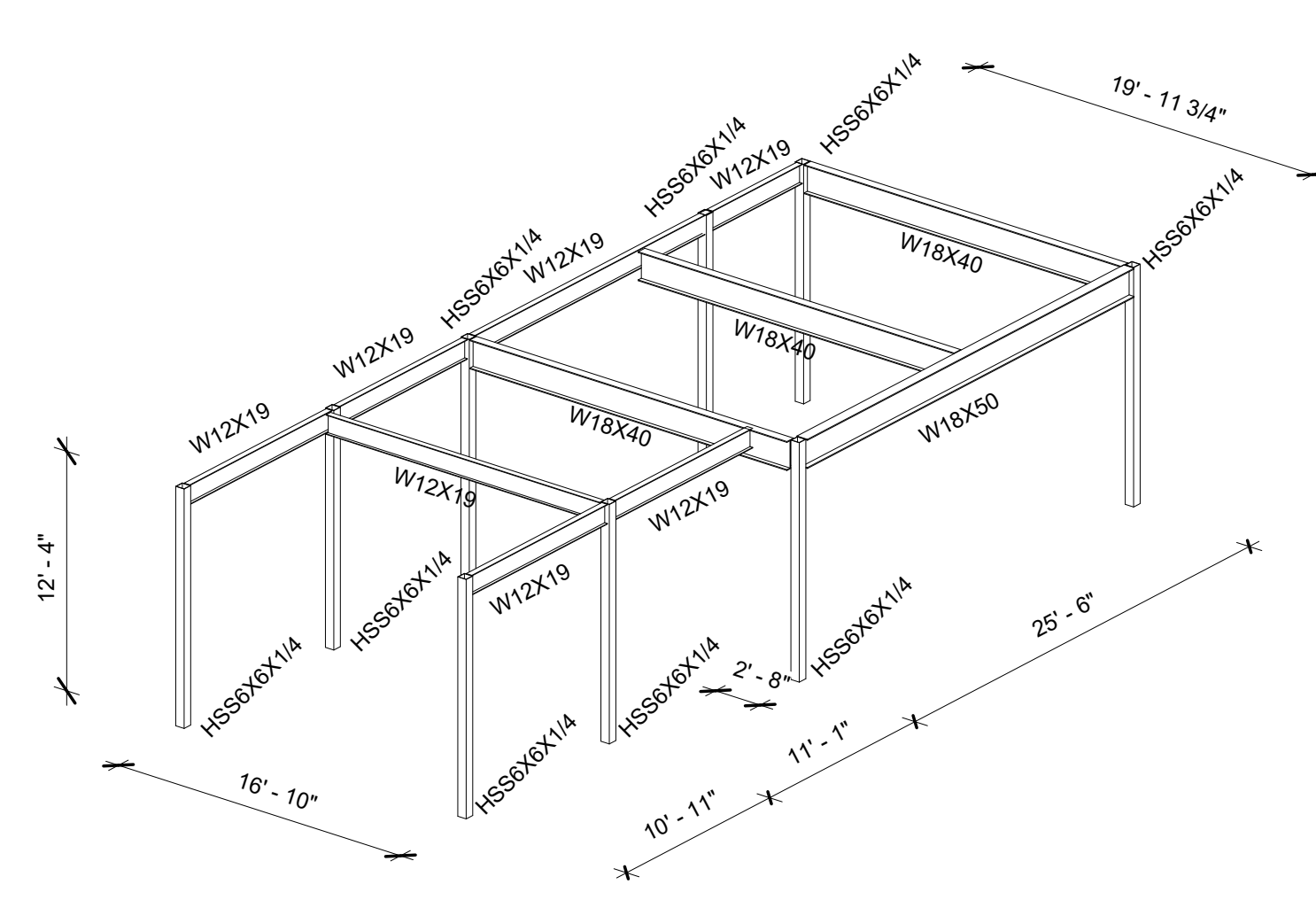
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S500

Heavy Steel Layout

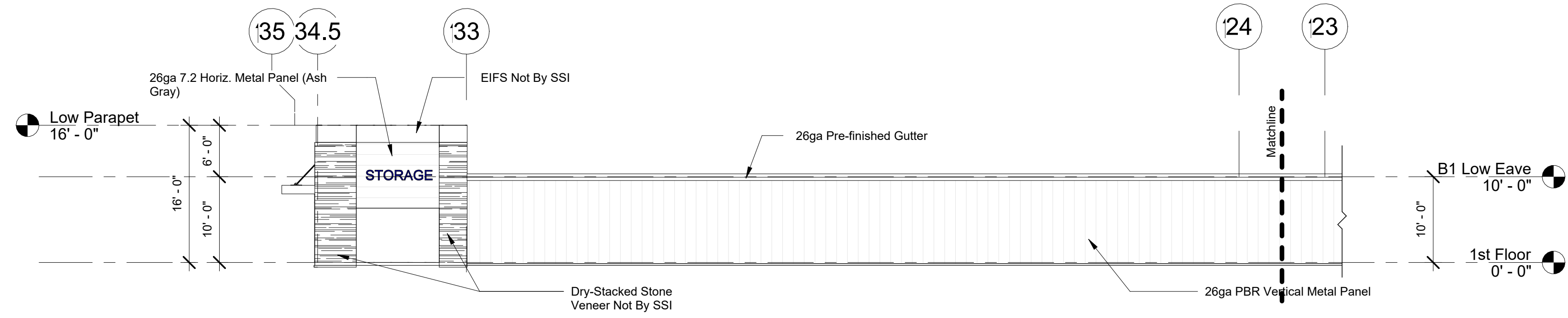


① Building A - Heavy Steel Layout
1/4" = 1'-0"

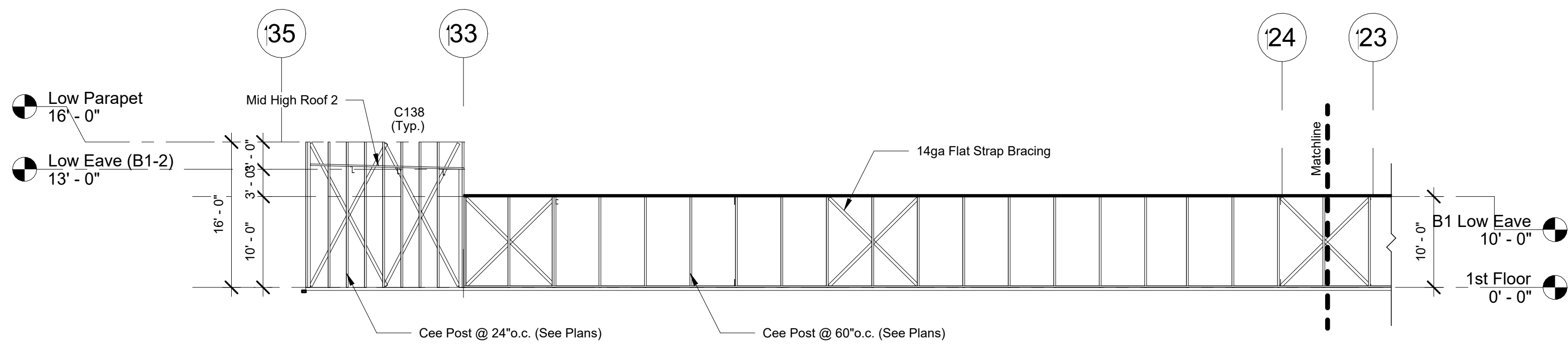


② Heavy Steel ISO At Building A (North)

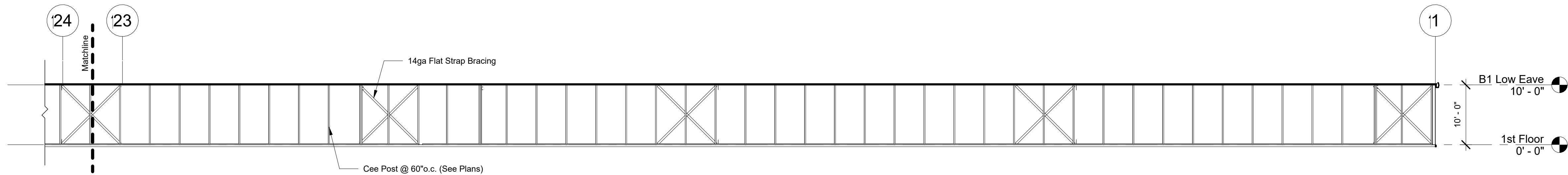
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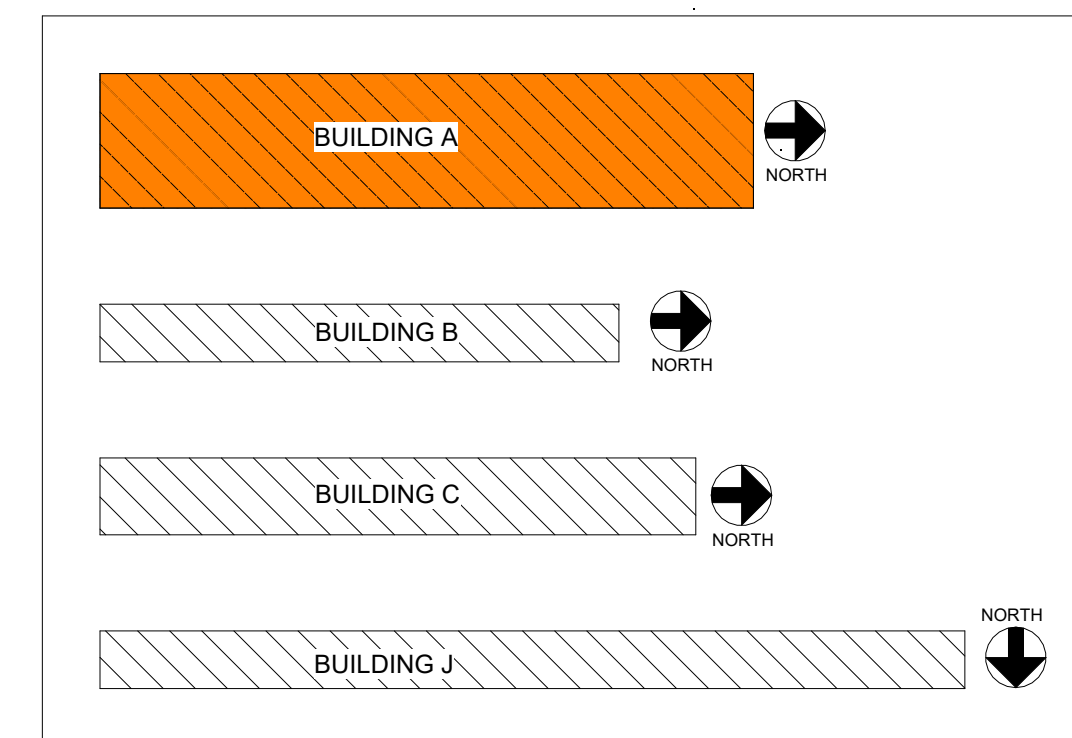
2 Building A - West Elevation - B
3/32" = 1'-0"



3 Building A - West Framing Elevation - A
3/32" = 1'-0"



4 Building A - West Framing Elevation - B
3/32" = 1'-0"



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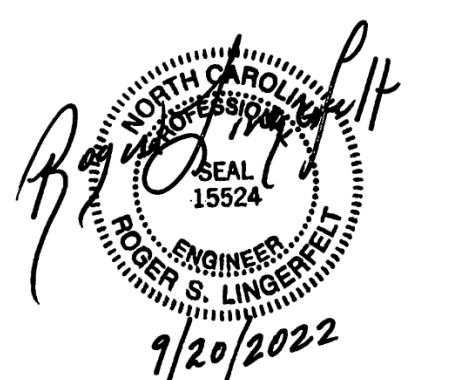
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S602
Building A - West Elevations



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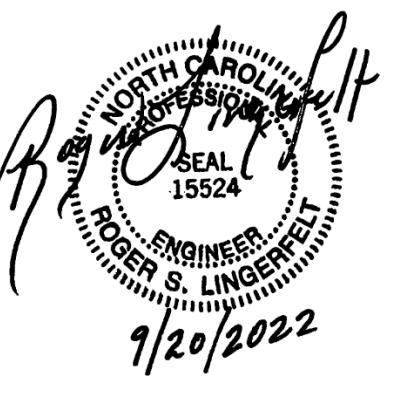
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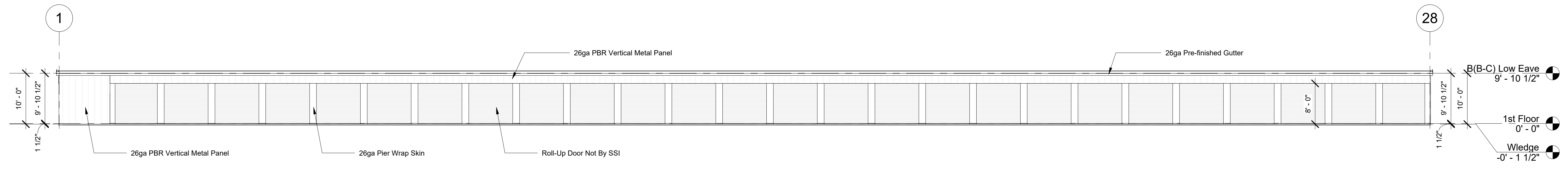


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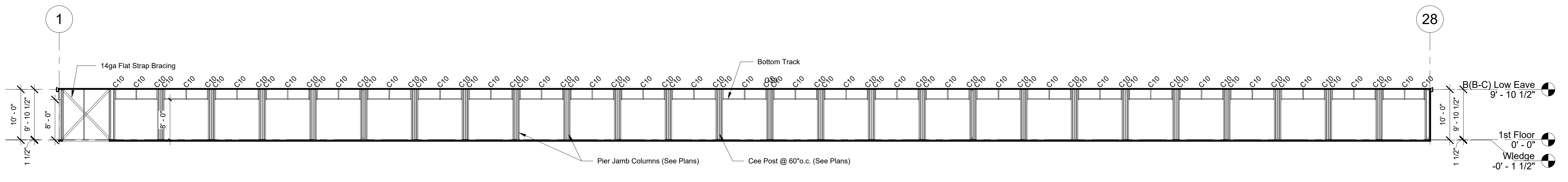
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S610

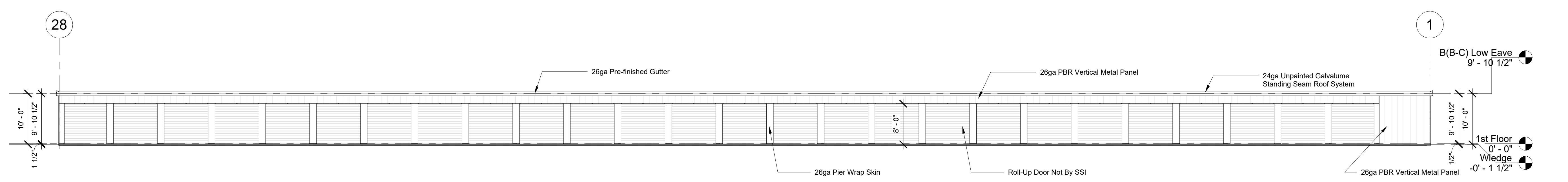
Building B -East & West Elevations



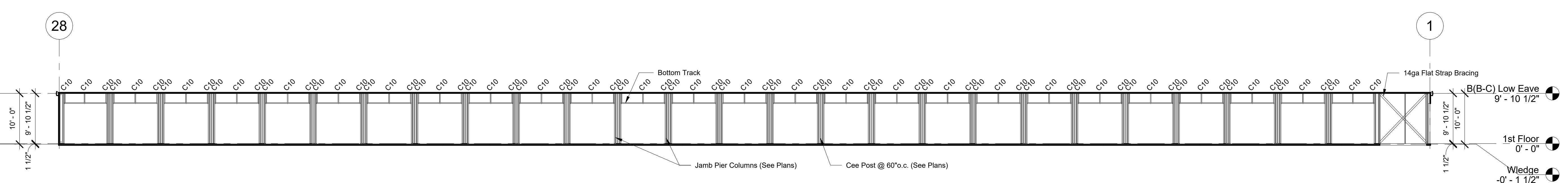
1 Building B - East Elevation
3/32" = 1'-0"



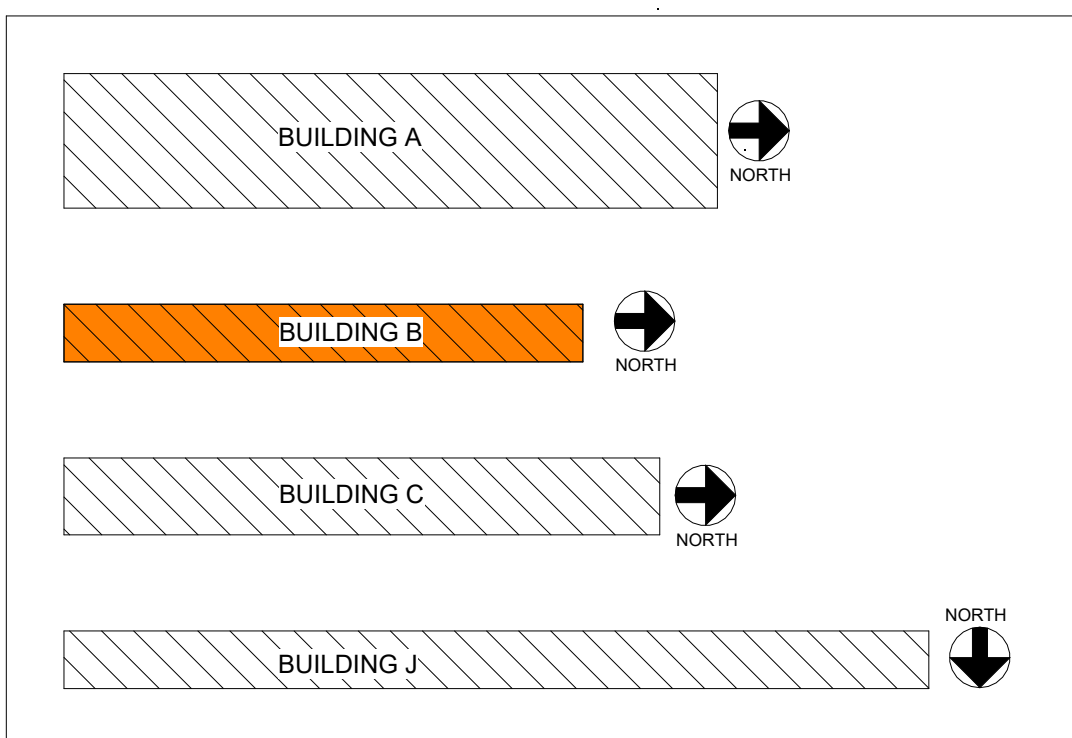
2 Building B - East Framing Elevation
3/32" = 1'-0"



3 Building B -West Elevation
3/32" = 1'-0"



4 Building B -West Framing Elevation
3/32" = 1'-0"



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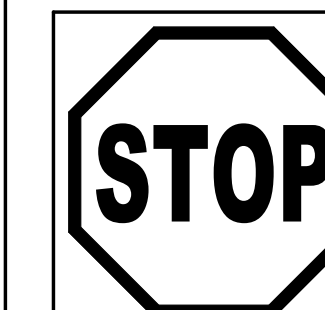
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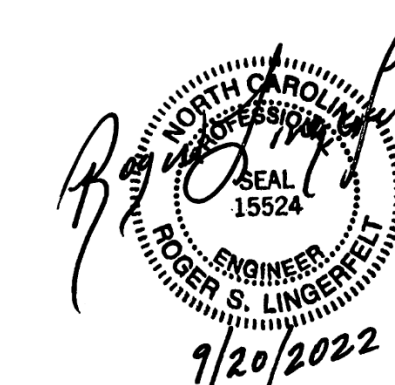
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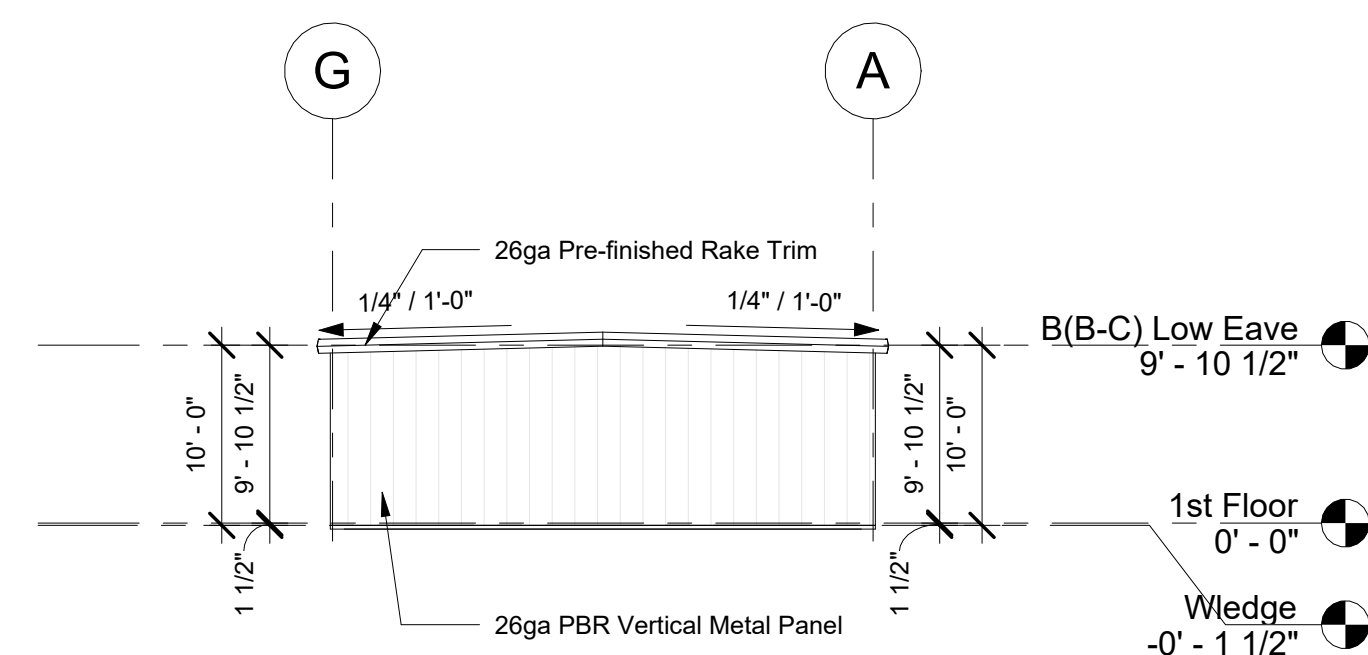


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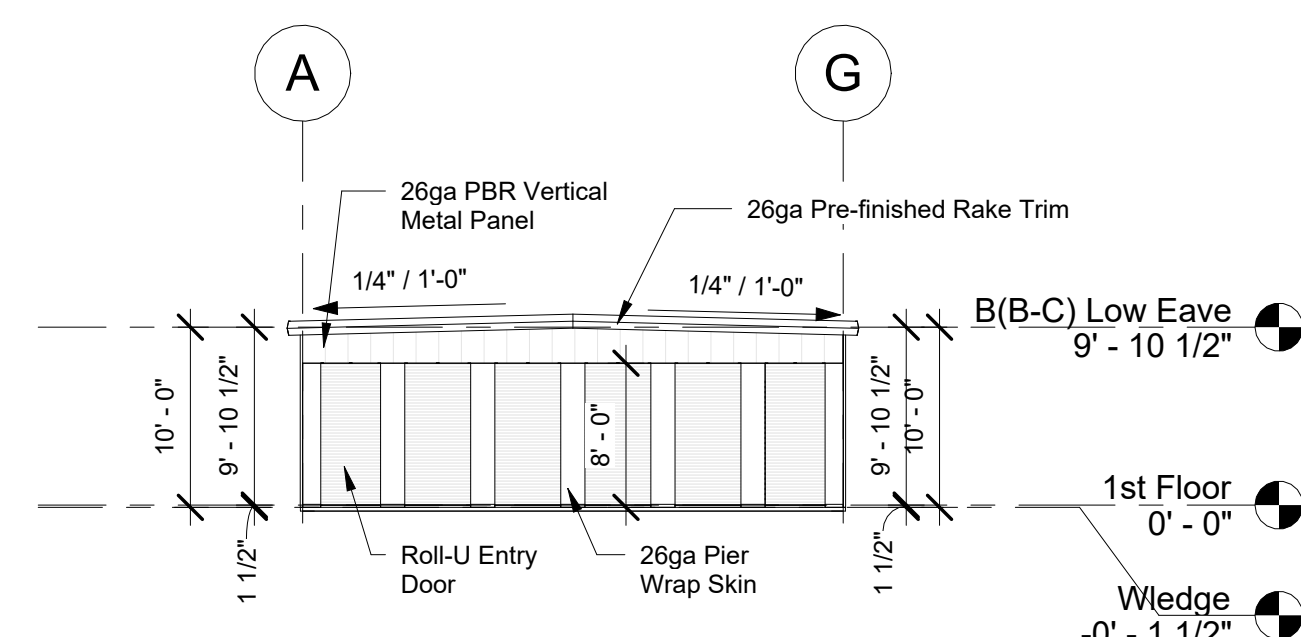
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S611

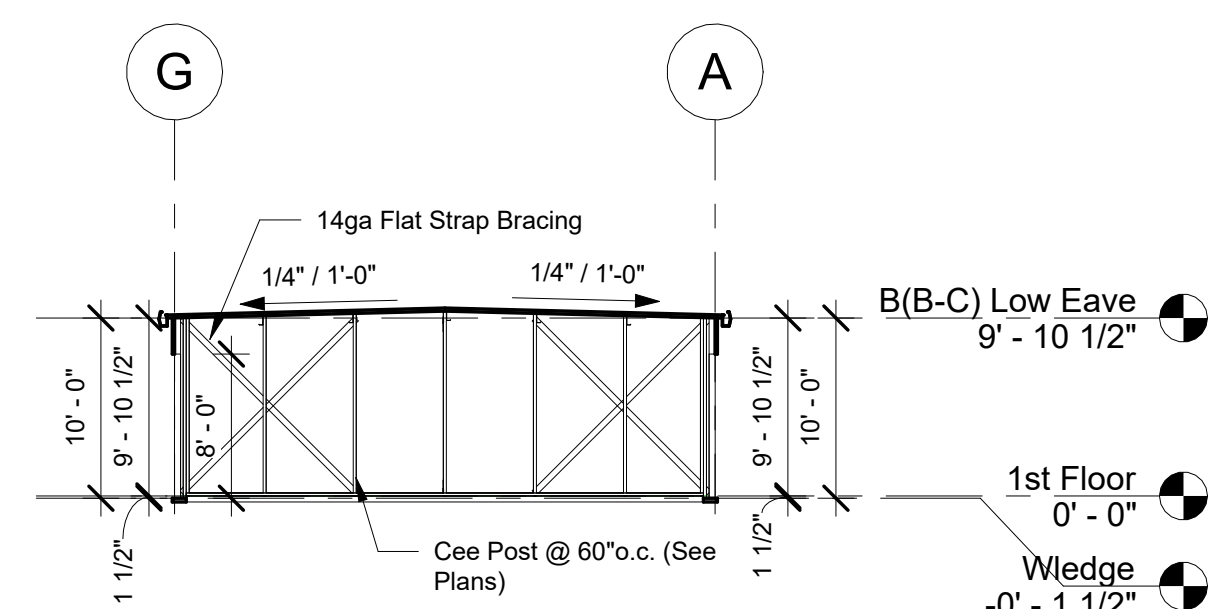
Building B -North & South Elevations



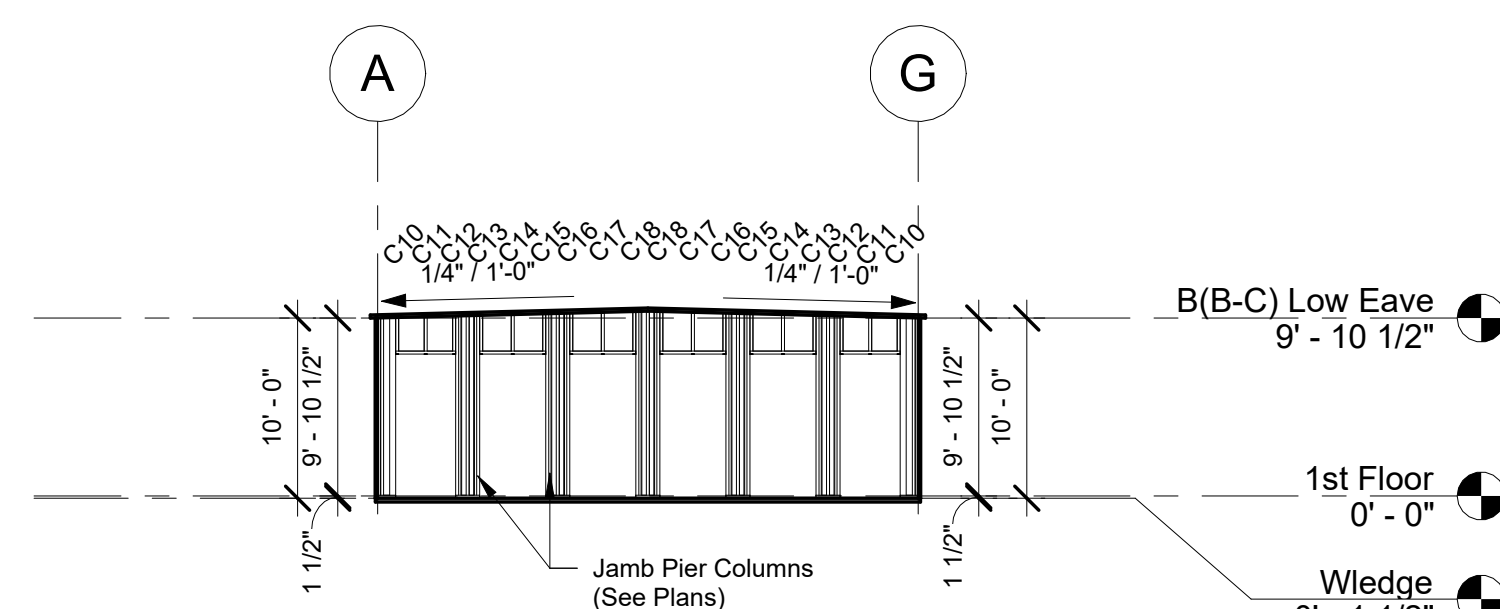
① Building B - North Elevation
3/32" = 1'-0"



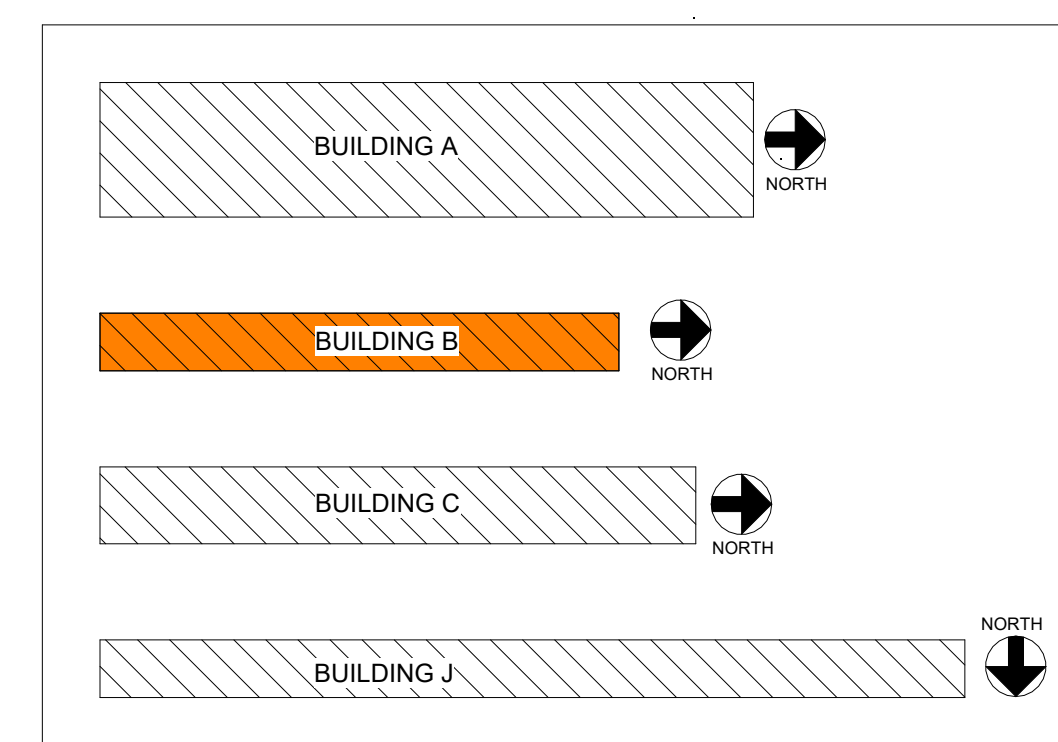
③ Building B - South Elevation
3/32" = 1'-0"



② Building B - North Framing Elevation
3/32" = 1'-0"



④ Building B - South Framing Elevation
3/32" = 1'-0"



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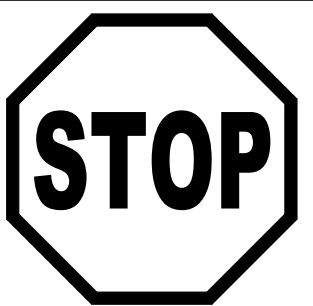
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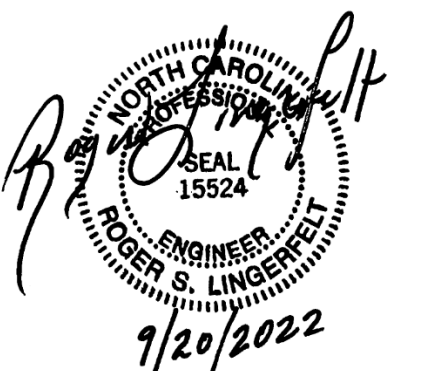
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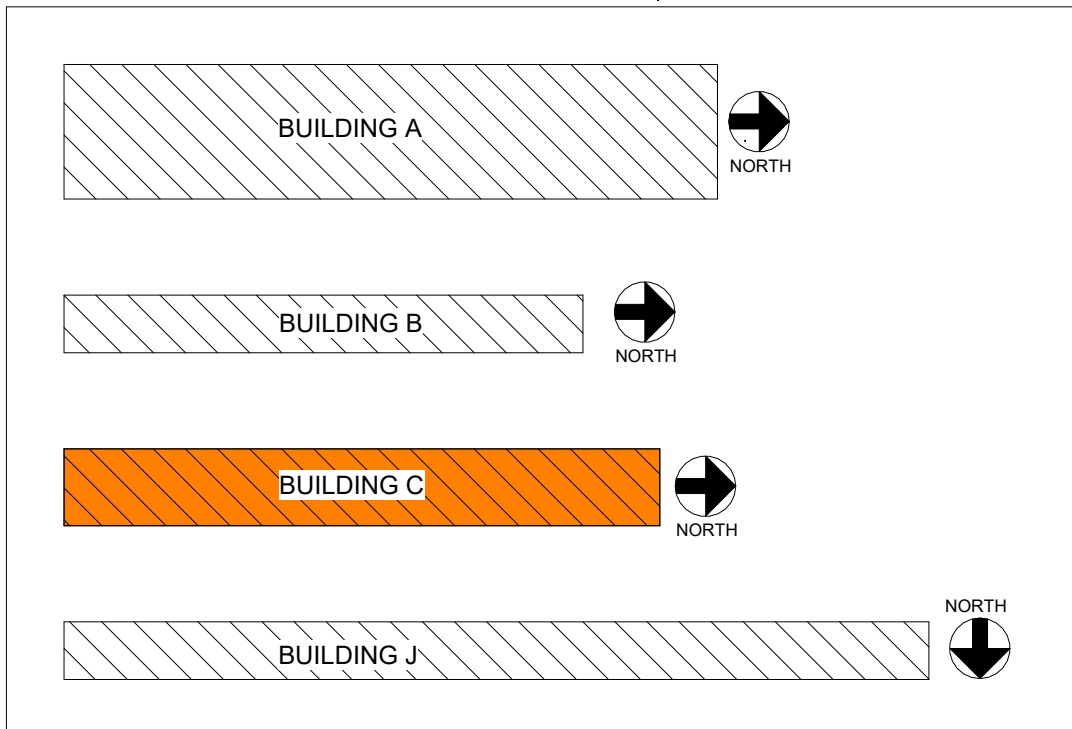
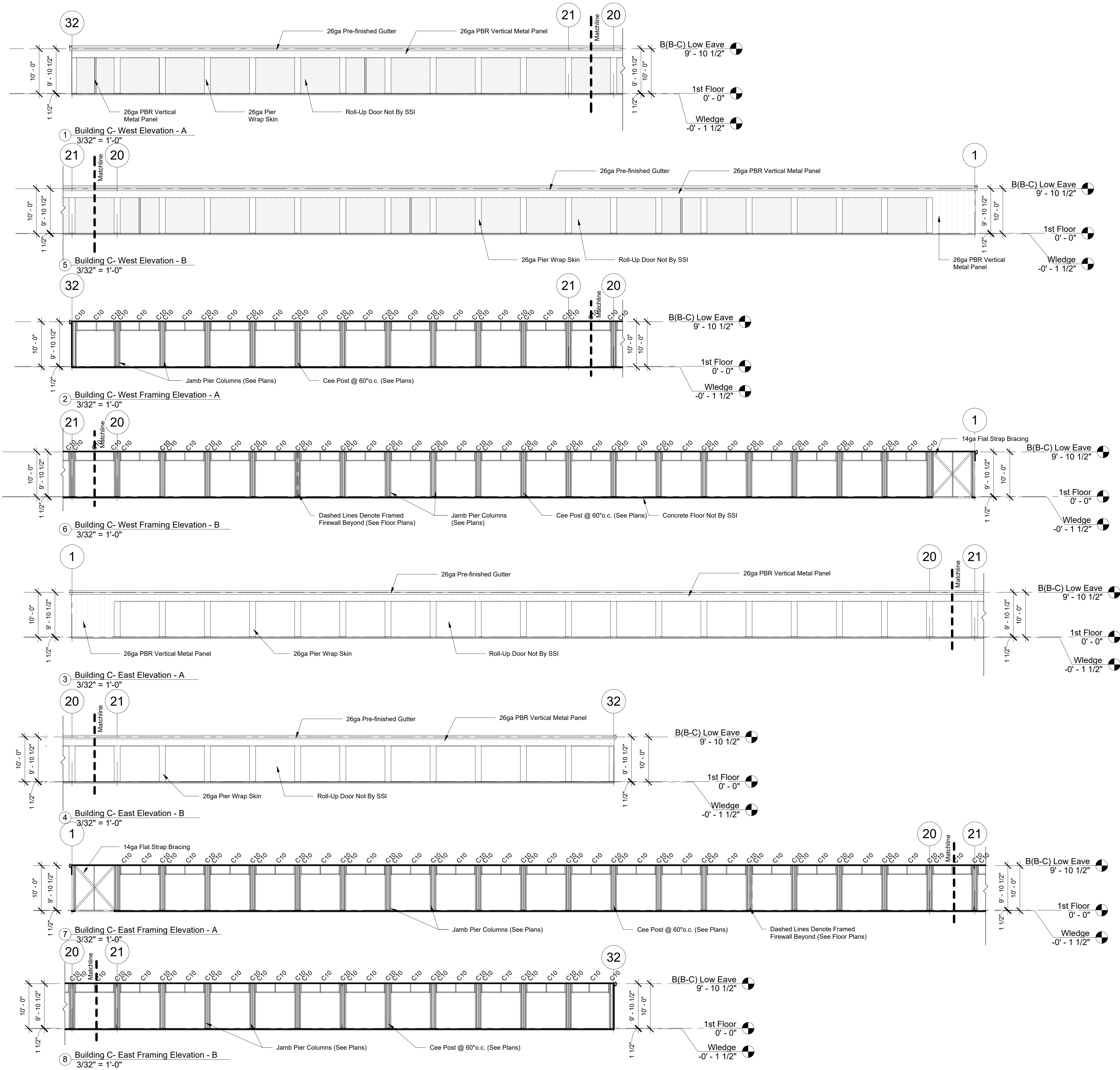


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SSI Project Number	1247
Issue Date	09-20-2022
Drawn By	Y.H
Checked By	AS
Engineered By	RSL

S620

Building C - East &
West Elevations



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Rev. #	Revision Date	Revision Description

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Harnett Self Storage

Buffalo Lake Road
Sanford, NC 27332

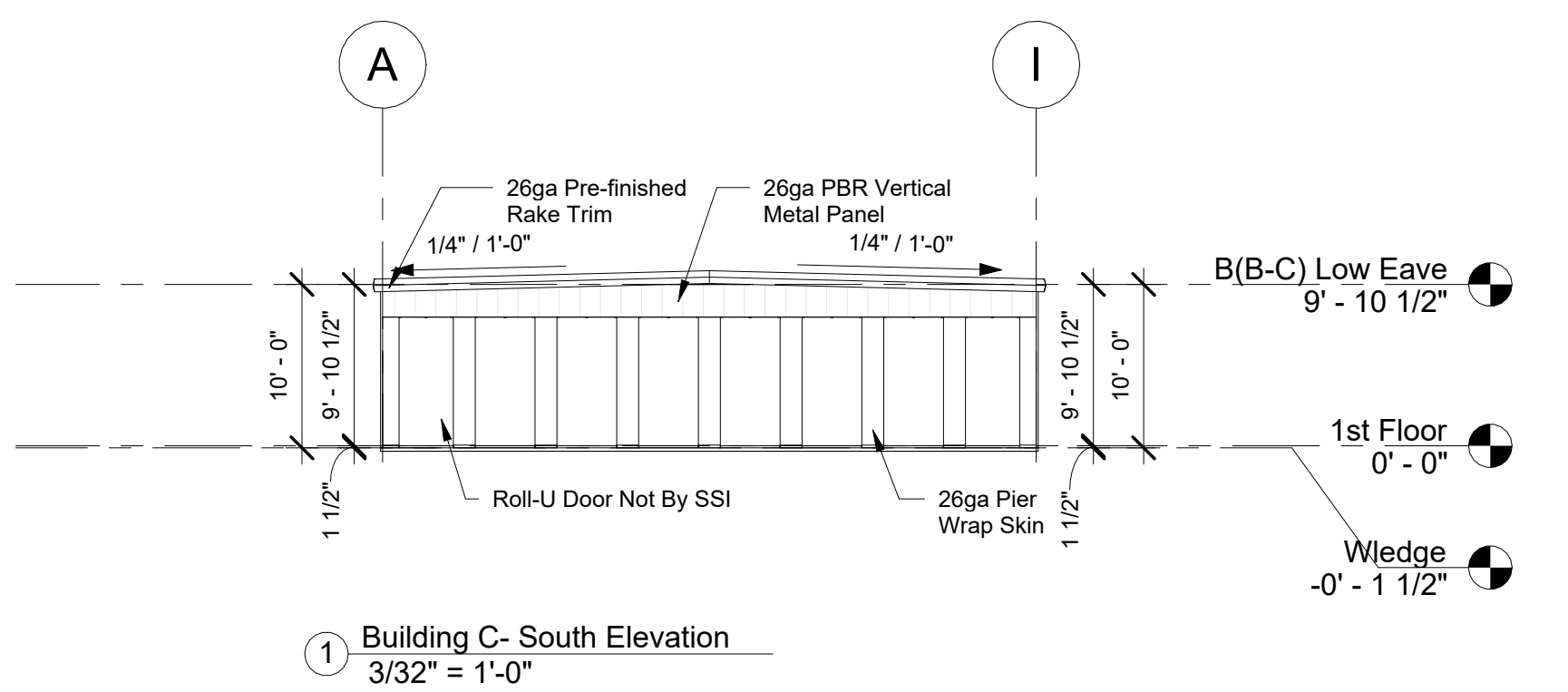
STOP If you do not have "For Field Use" Plans Call (205) 234-4202 IMMEDIATELY And ask for Darby Owenby



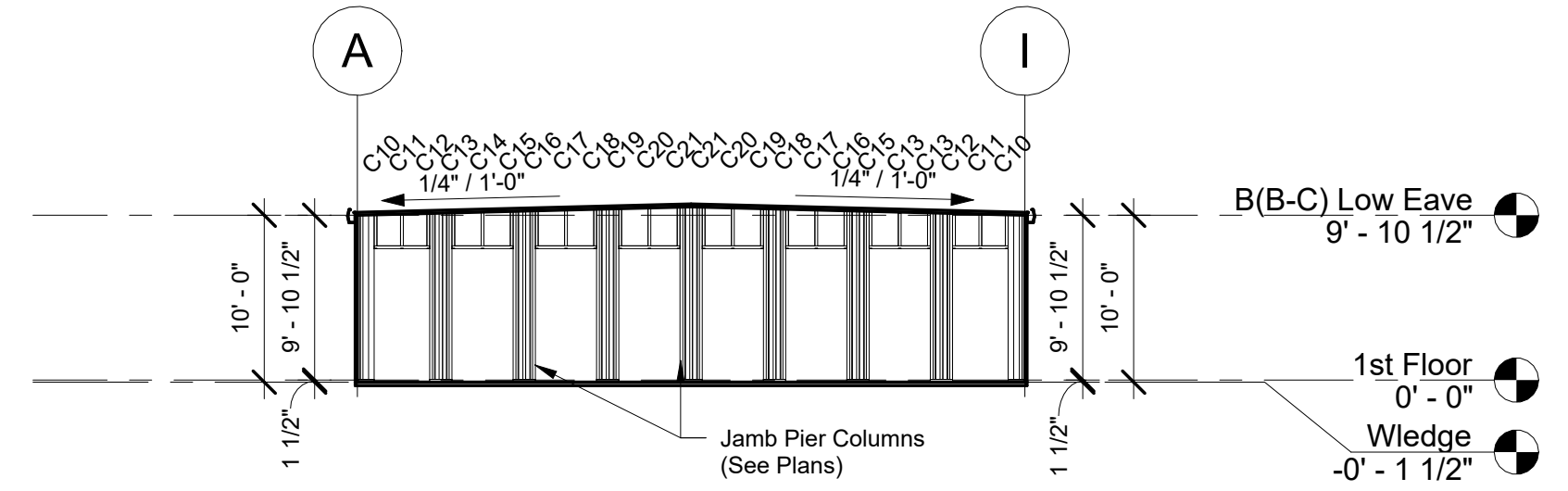
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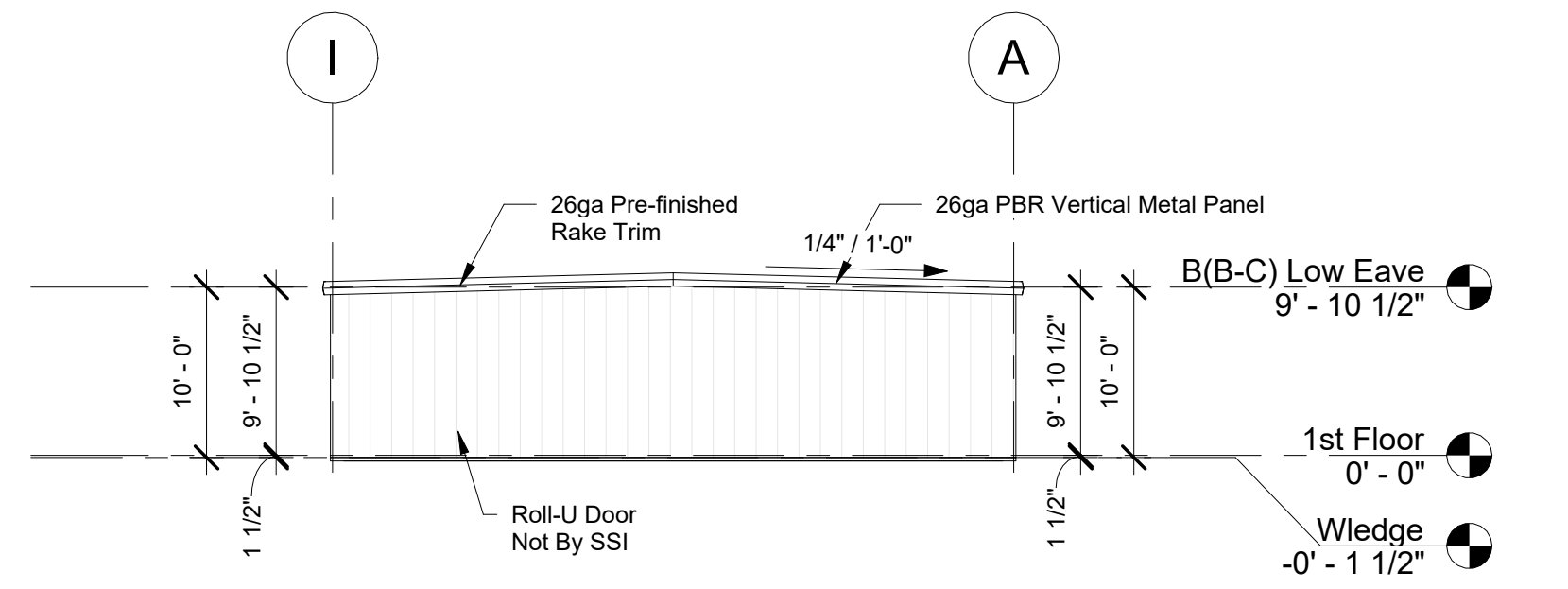
S621
Building C - North & South Elevations



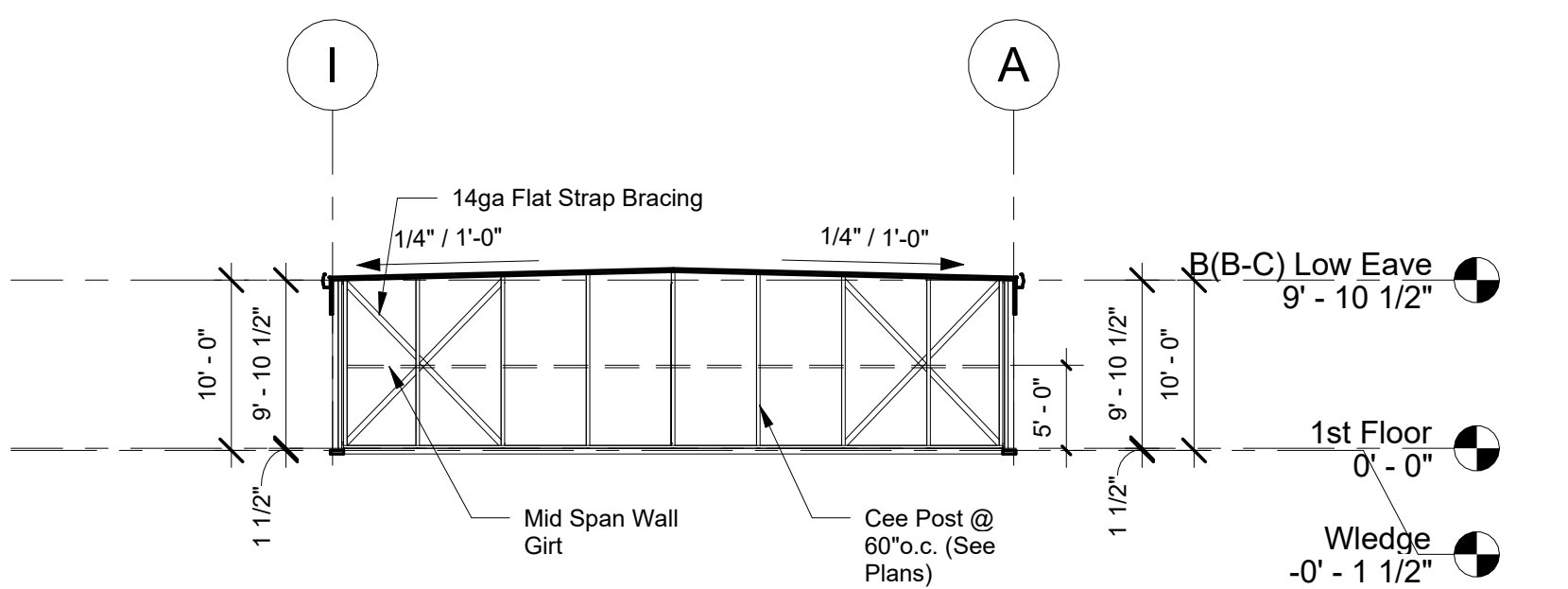
1 Building C- South Elevation
3/32" = 1'-0"



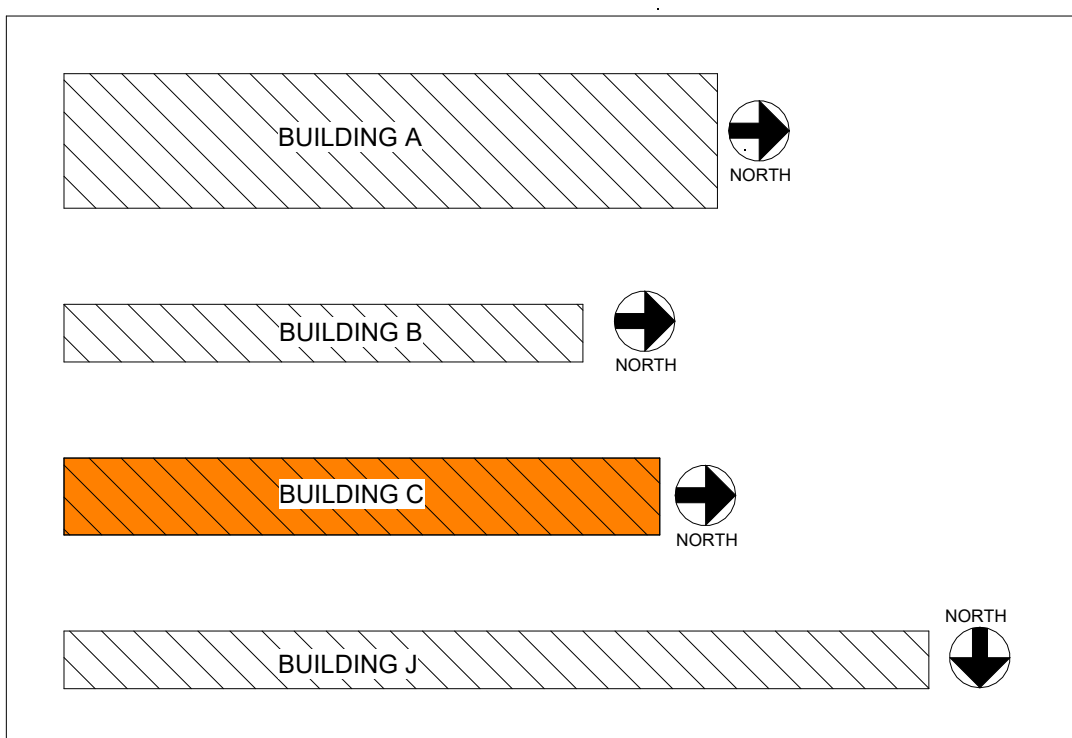
2 Building C- South Framing Elevation
3/32" = 1'-0"



3 Building C- North Elevation
3/32" = 1'-0"



4 Building C- North Framing Elevation
3/32" = 1'-0"



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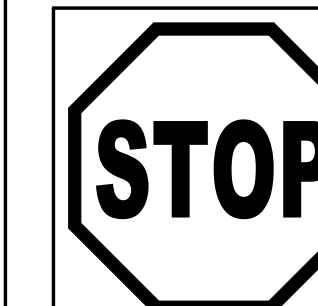
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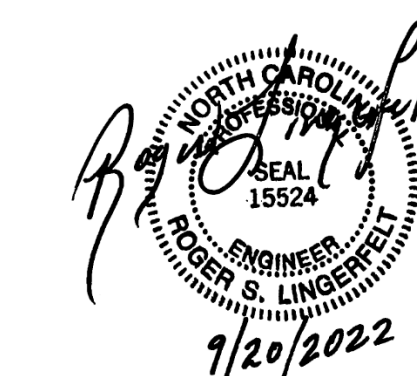
Dustin Blackwell

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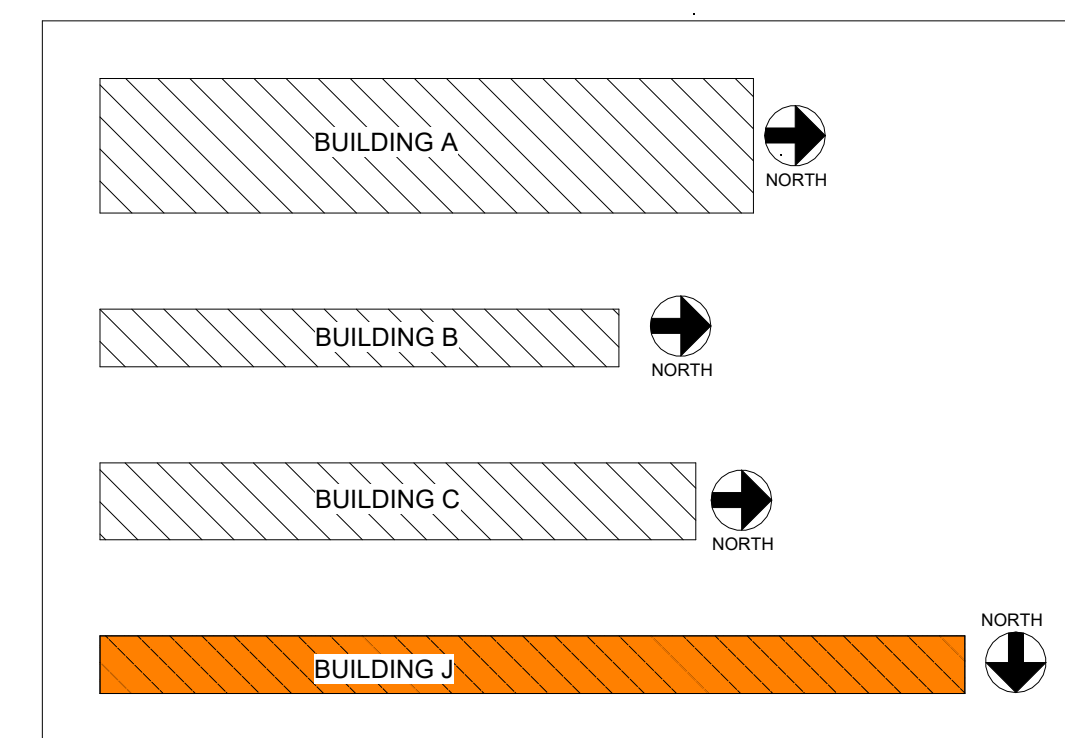
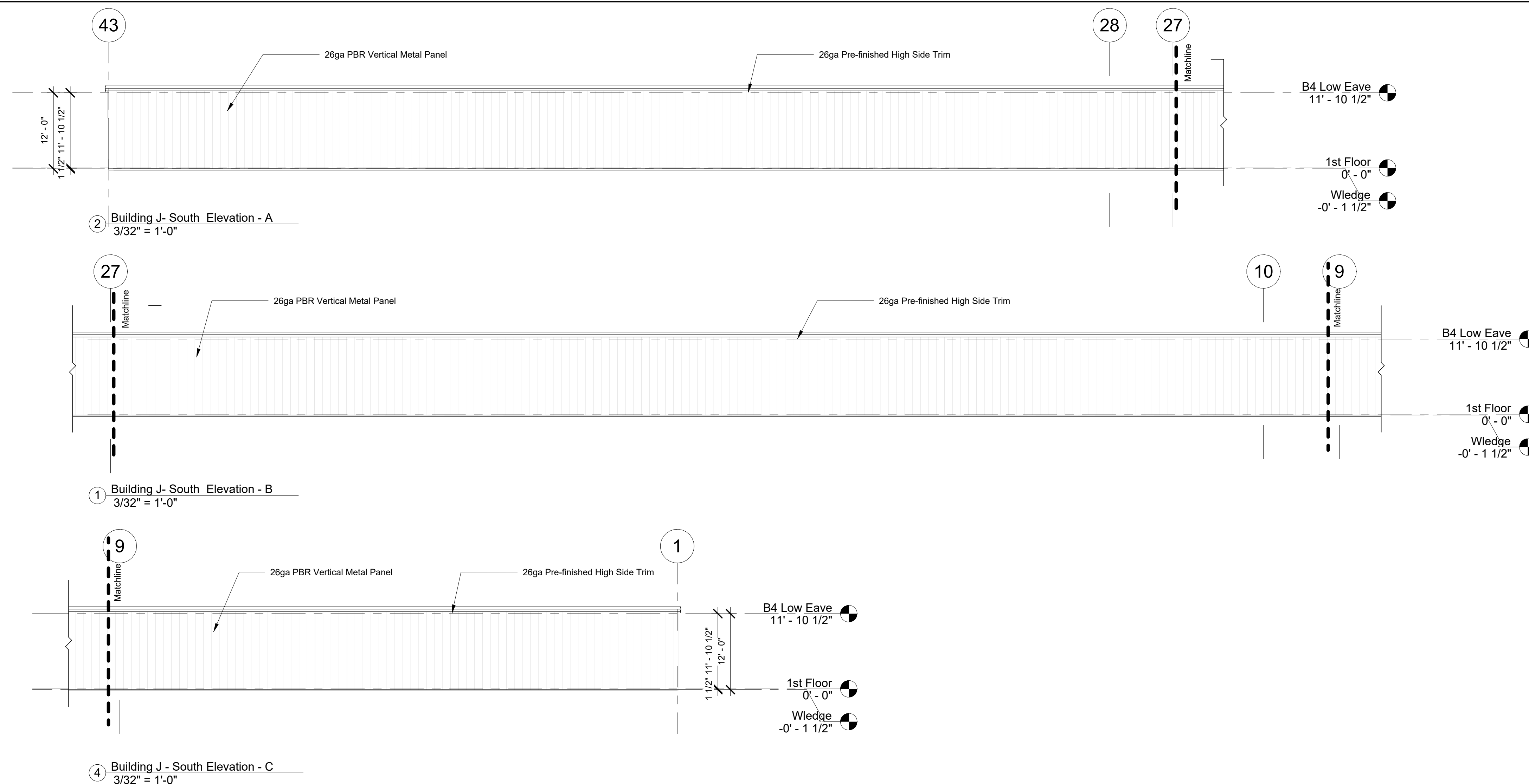
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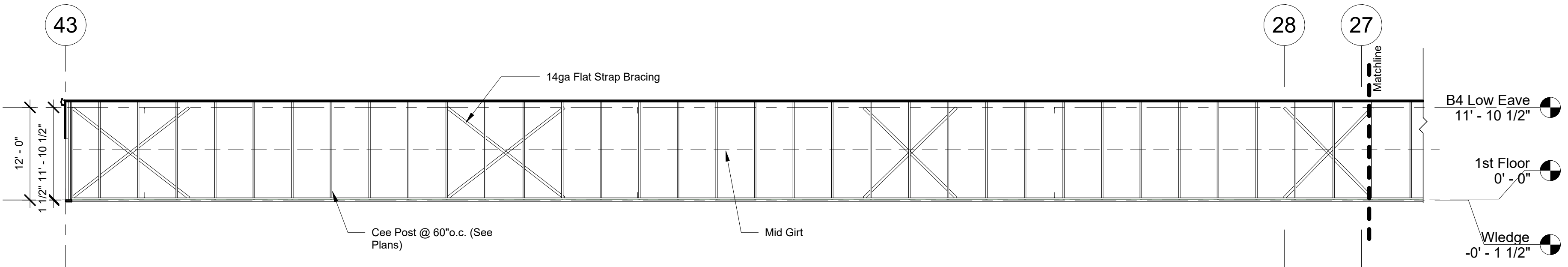
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S630
Building J - South Elevation

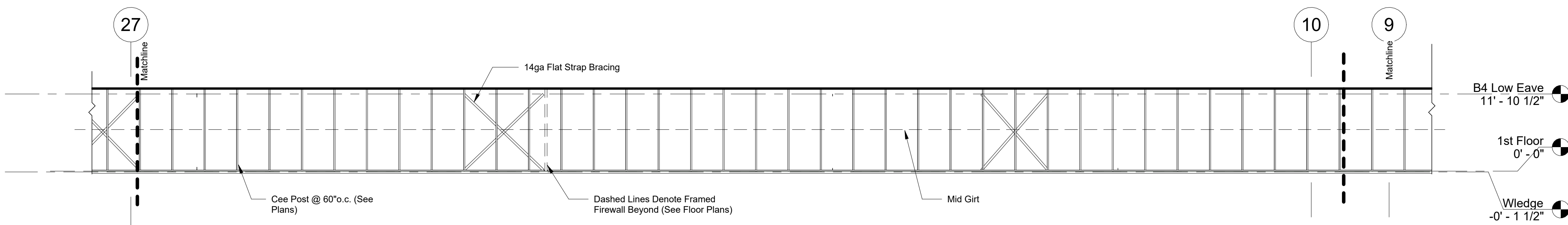


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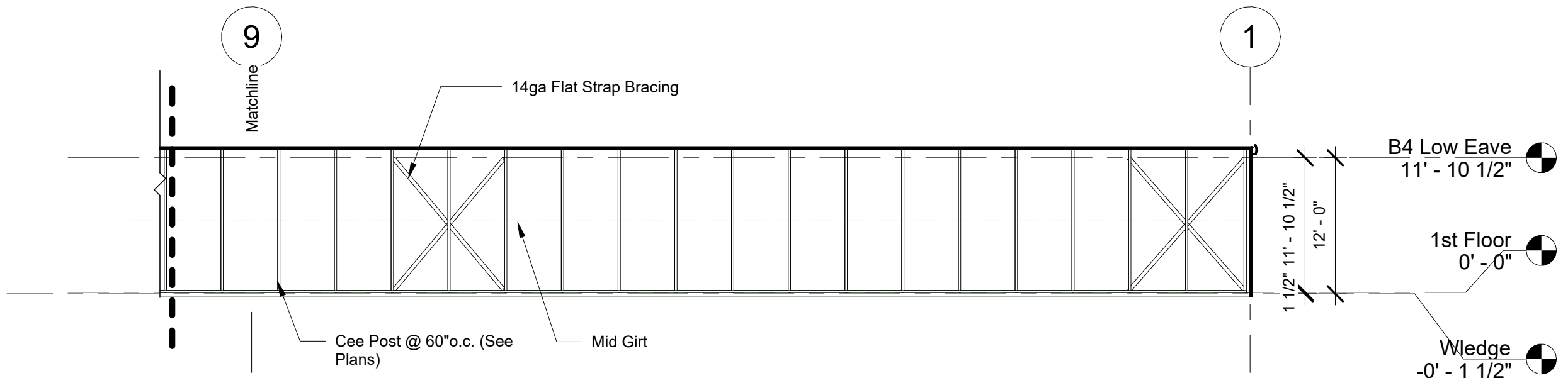
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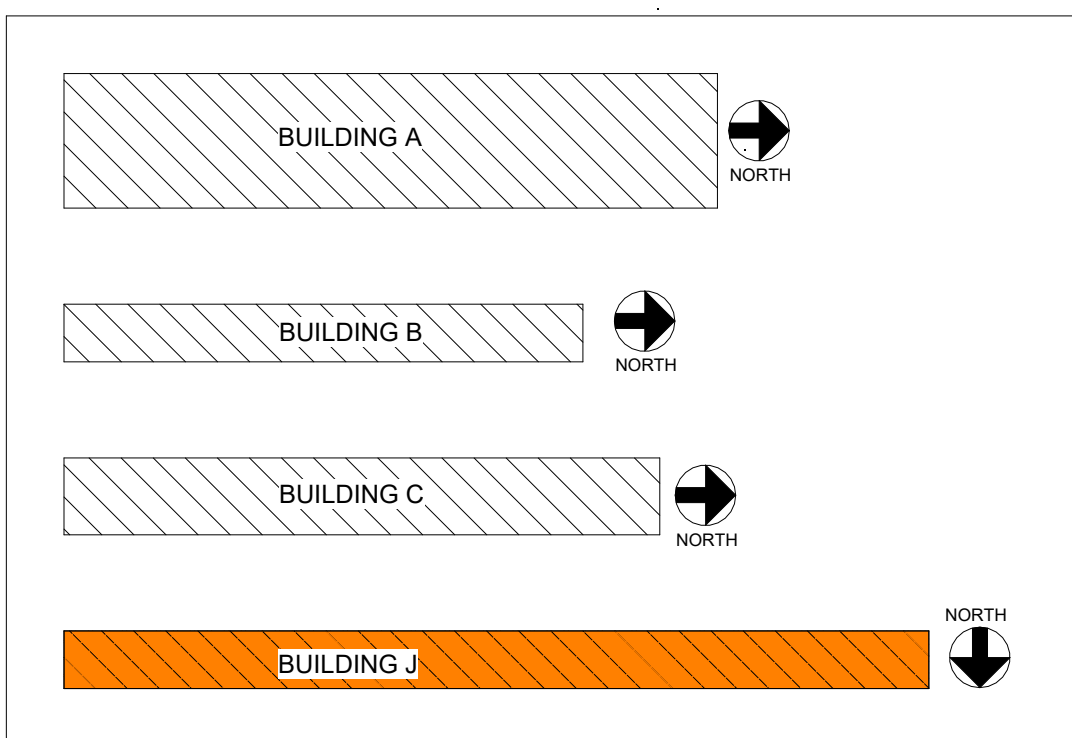
① Building J - South Framing Elevation - A
3/32" = 1'-0"



② Building J - South Framing Elevation - B
3/32" = 1'-0"



③ Building J - South Framing Elevation - C
3/32" = 1'-0"



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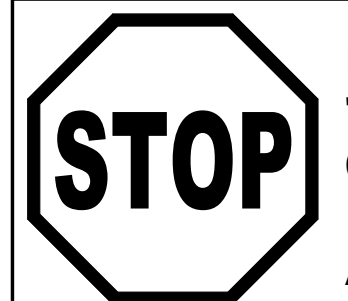
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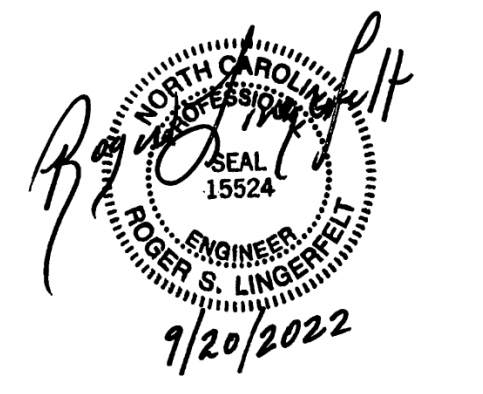
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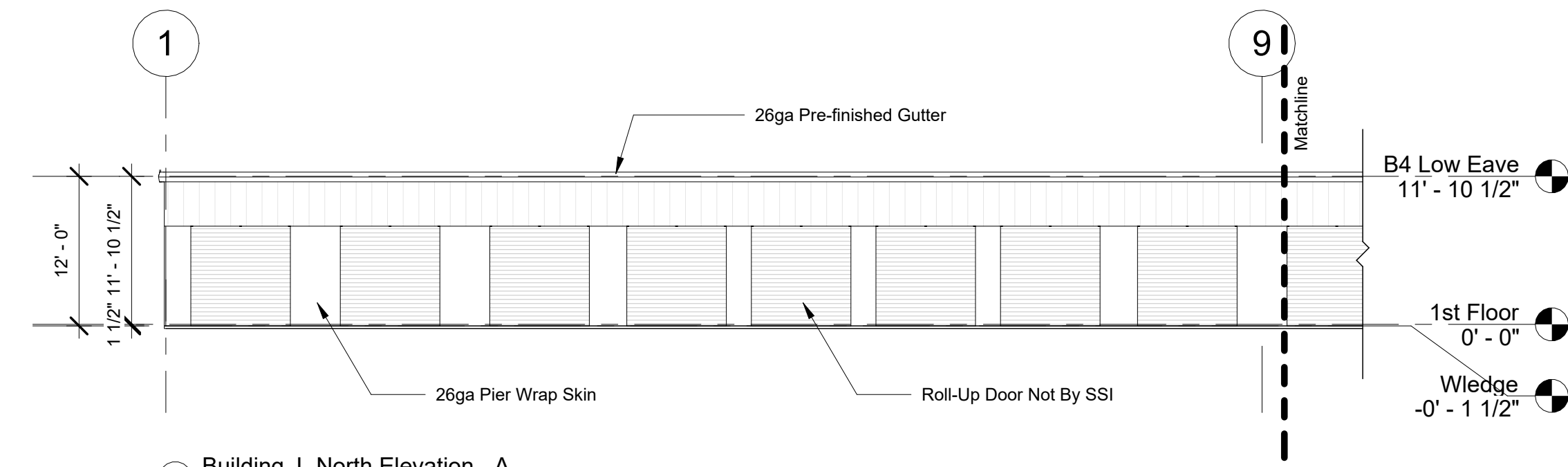


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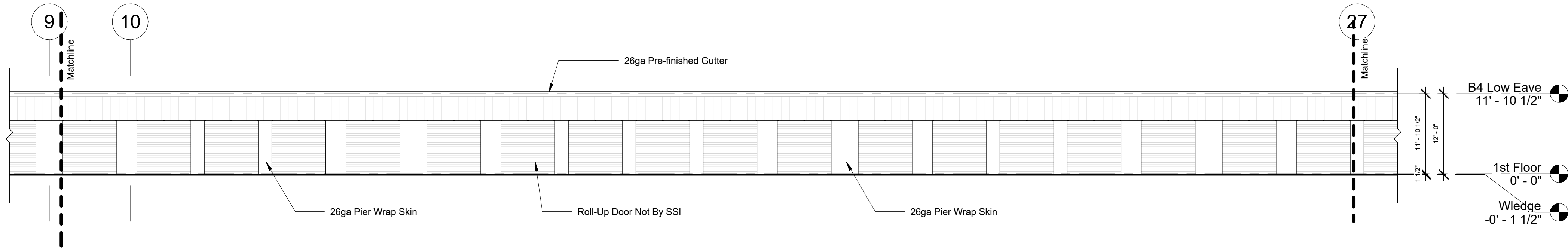
SSI Project Number	1247
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S631

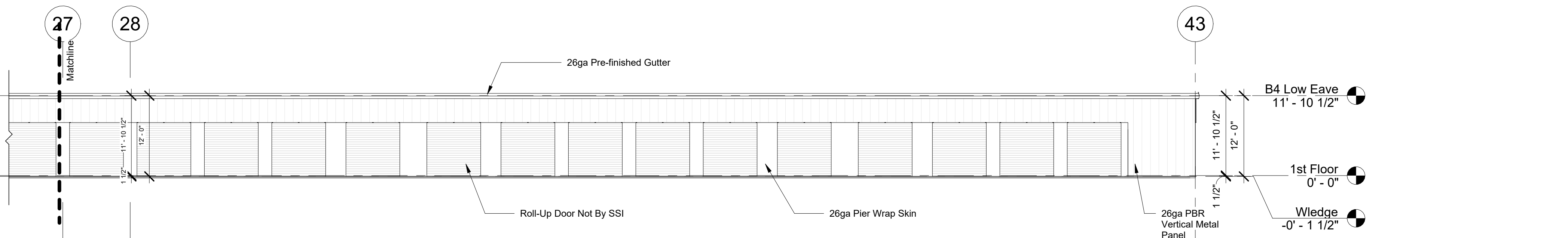
Building J - South Framing Elevation



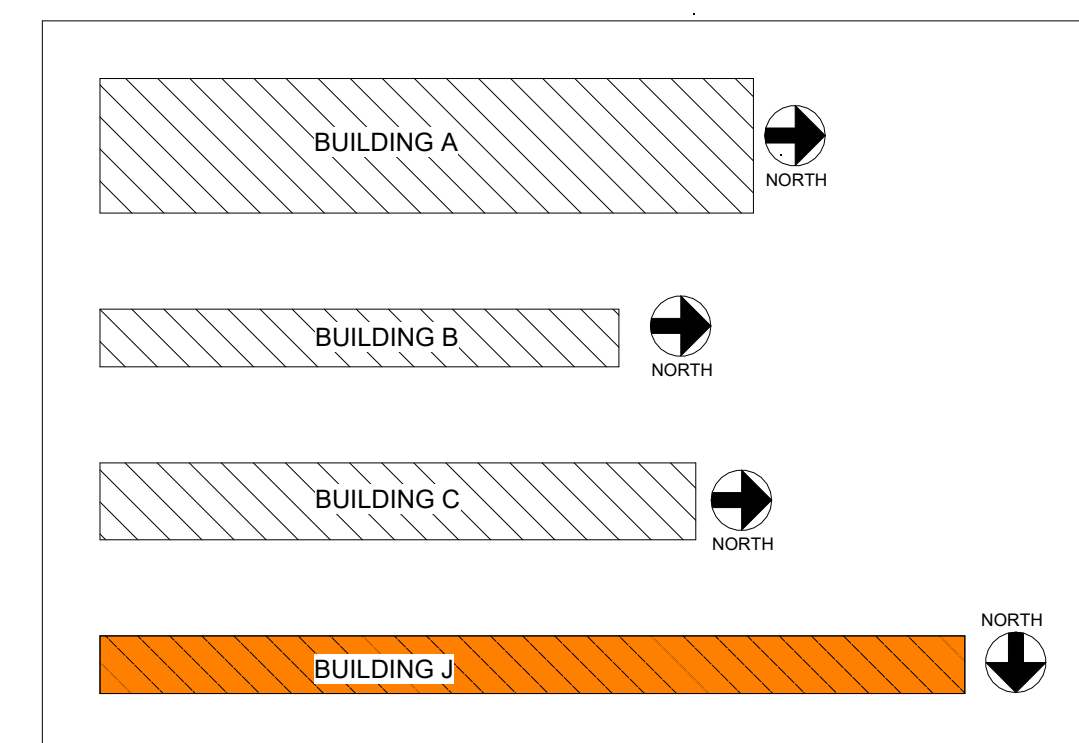
① Building J- North Elevation - A
3/32" = 1'-0"



② Building J- North Elevation - B
3/32" = 1'-0"



③ Building J - North Elevation - C
3/32" = 1'-0"



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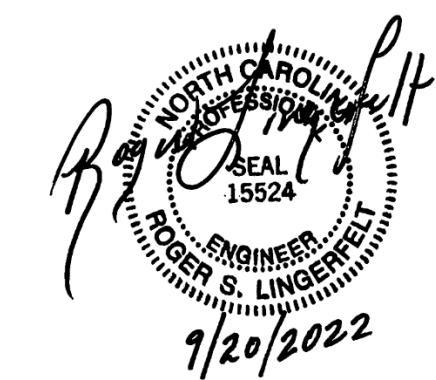
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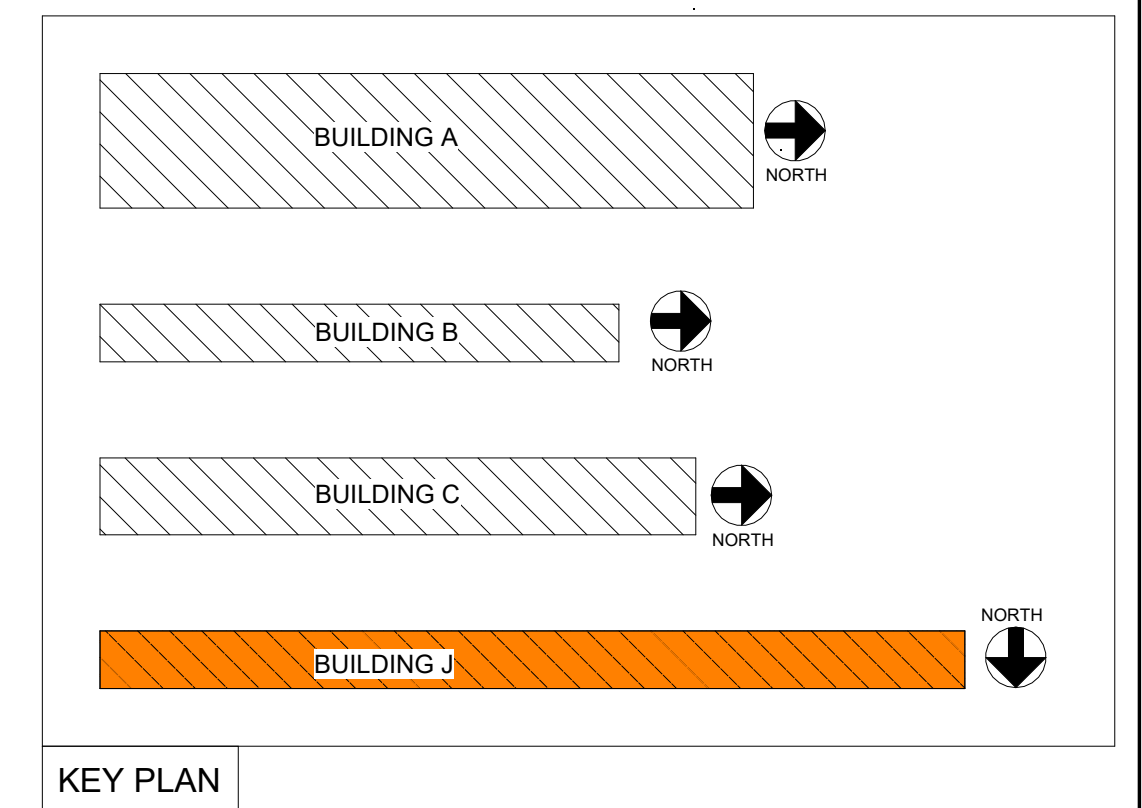
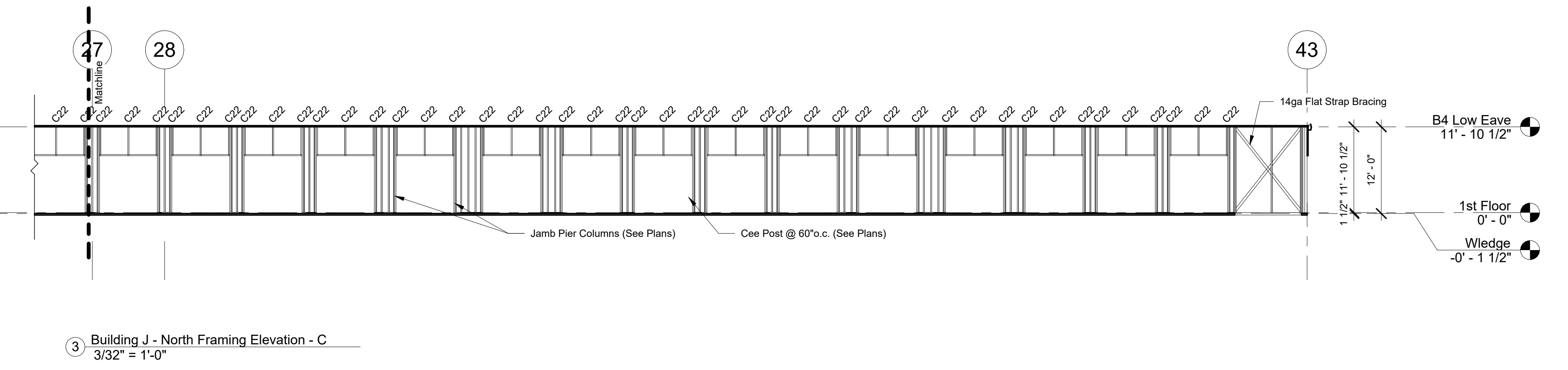
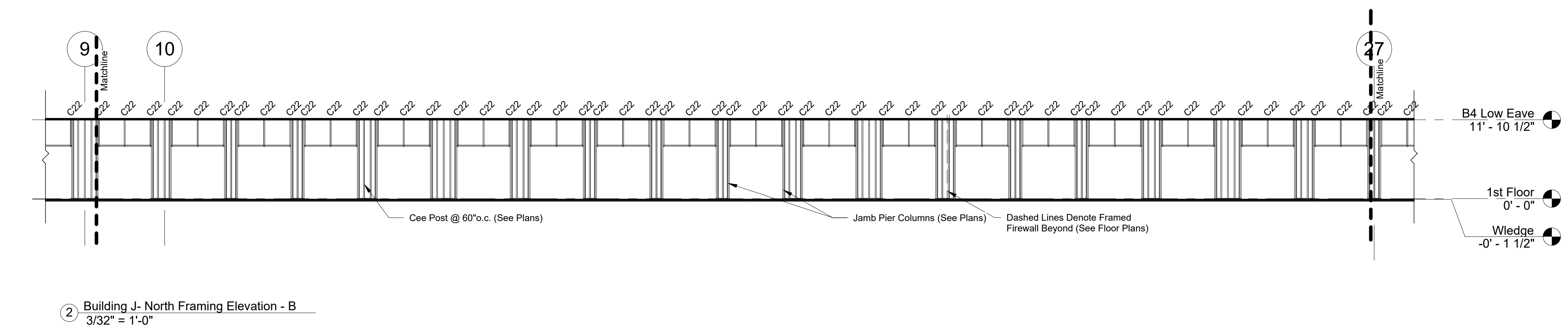
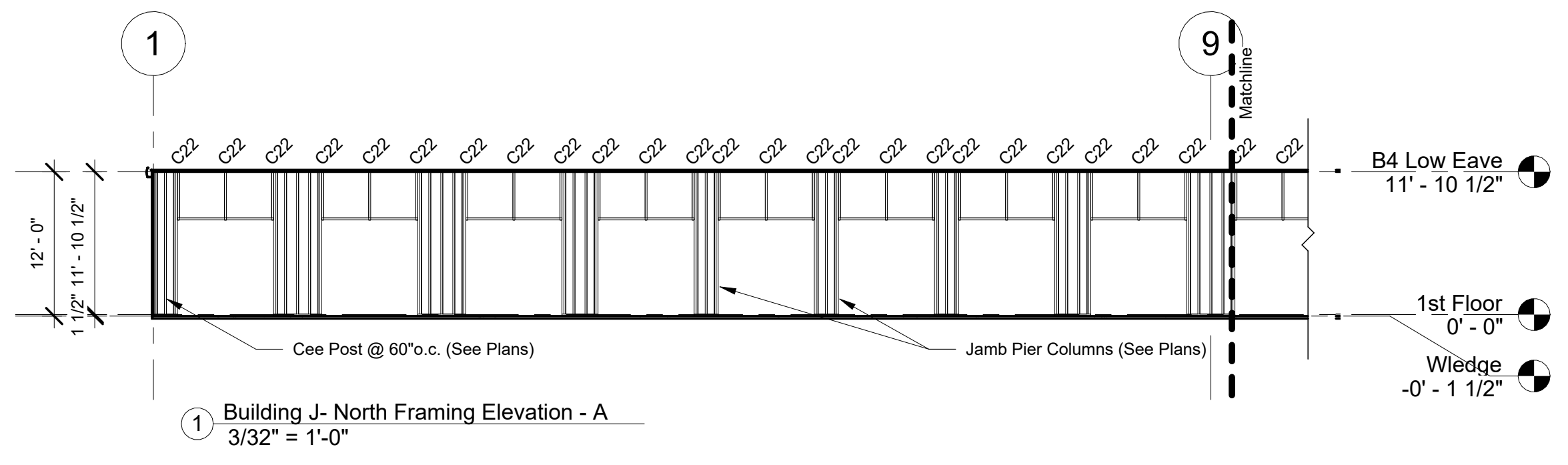
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S632
Building J - North Elevation



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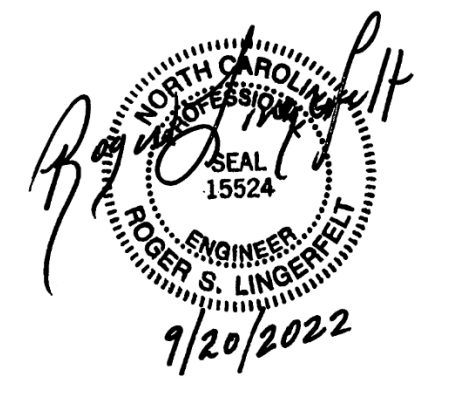
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S633

Building J - North Framing Elevation



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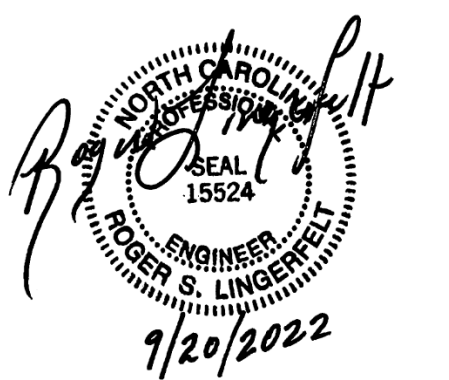
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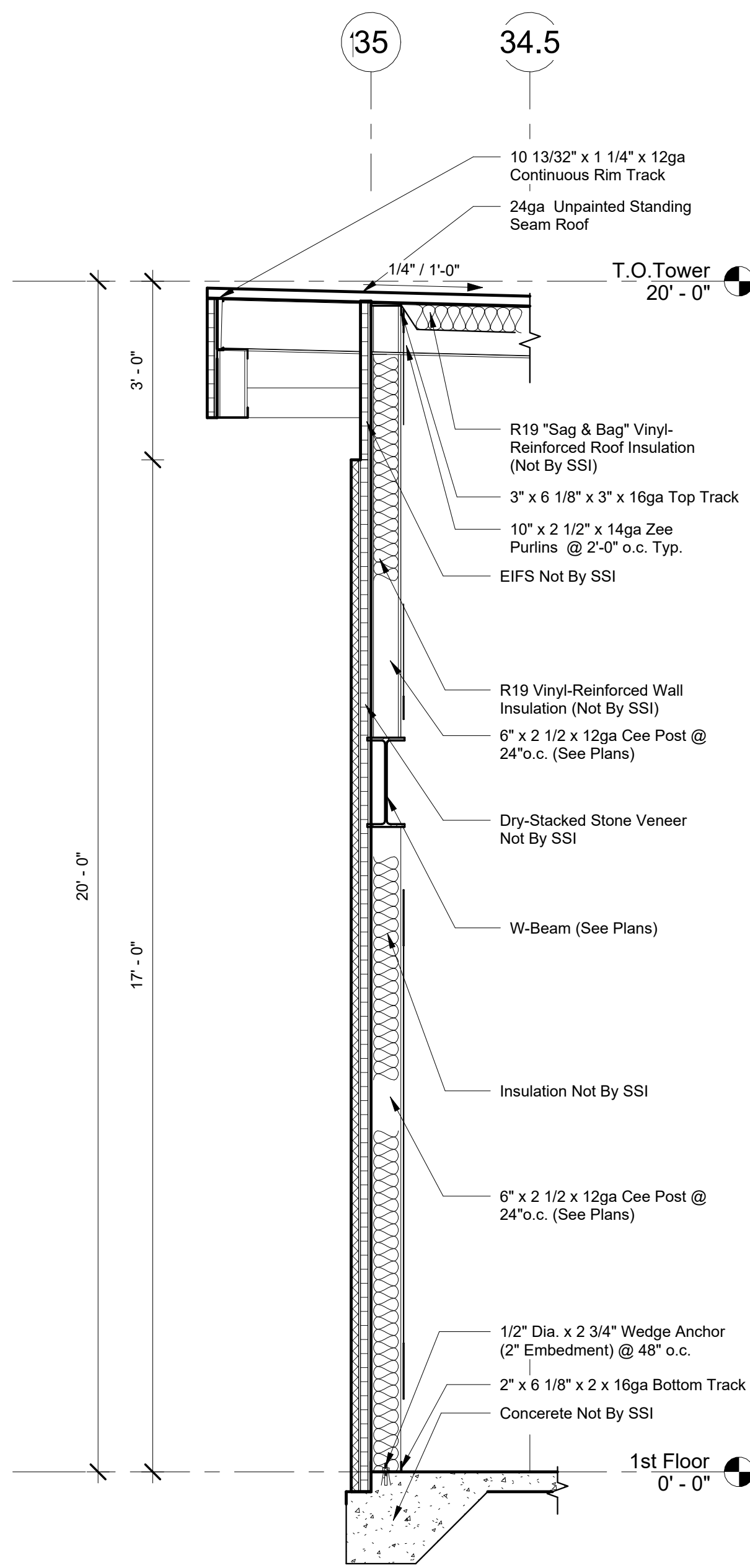
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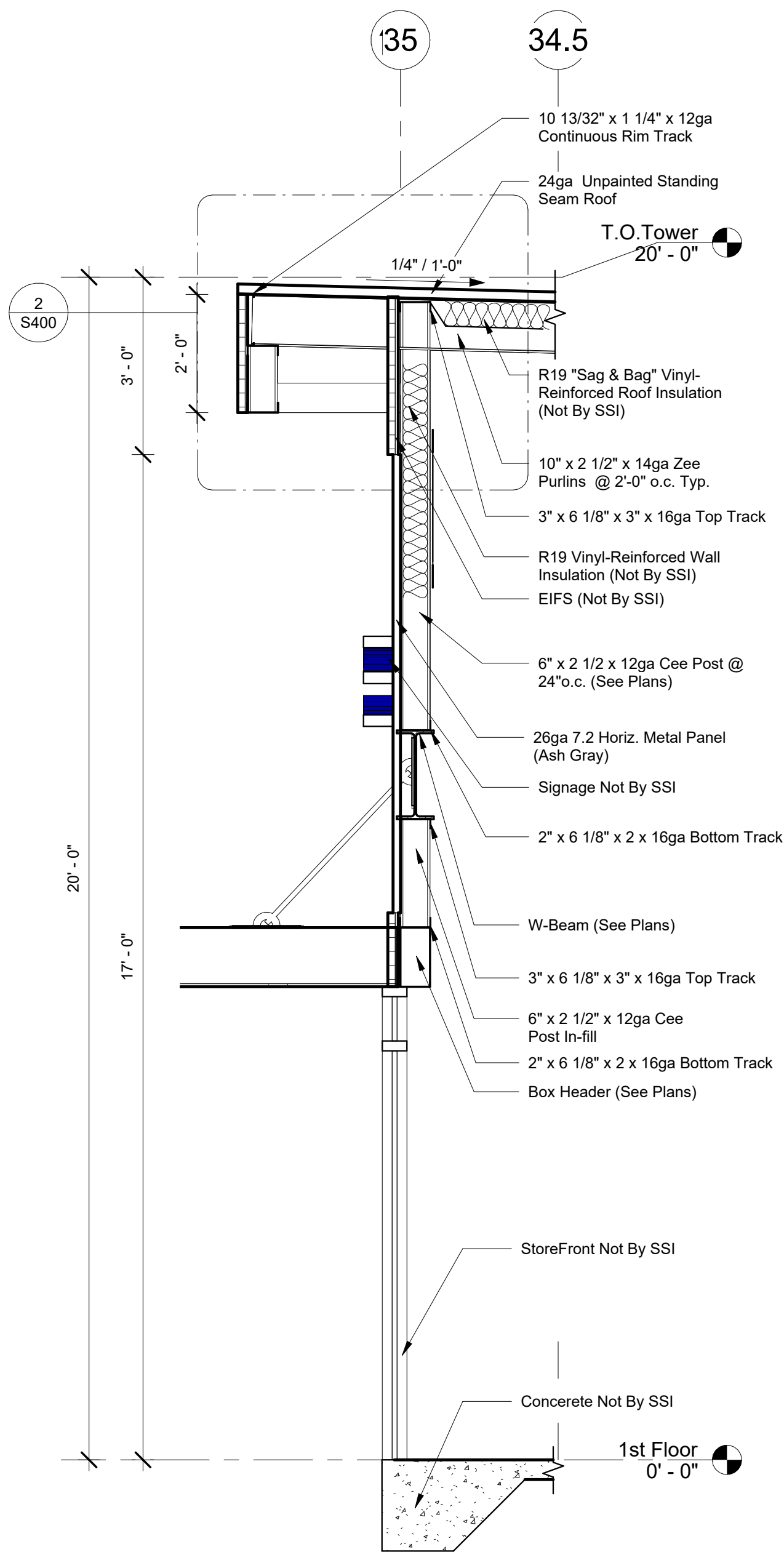
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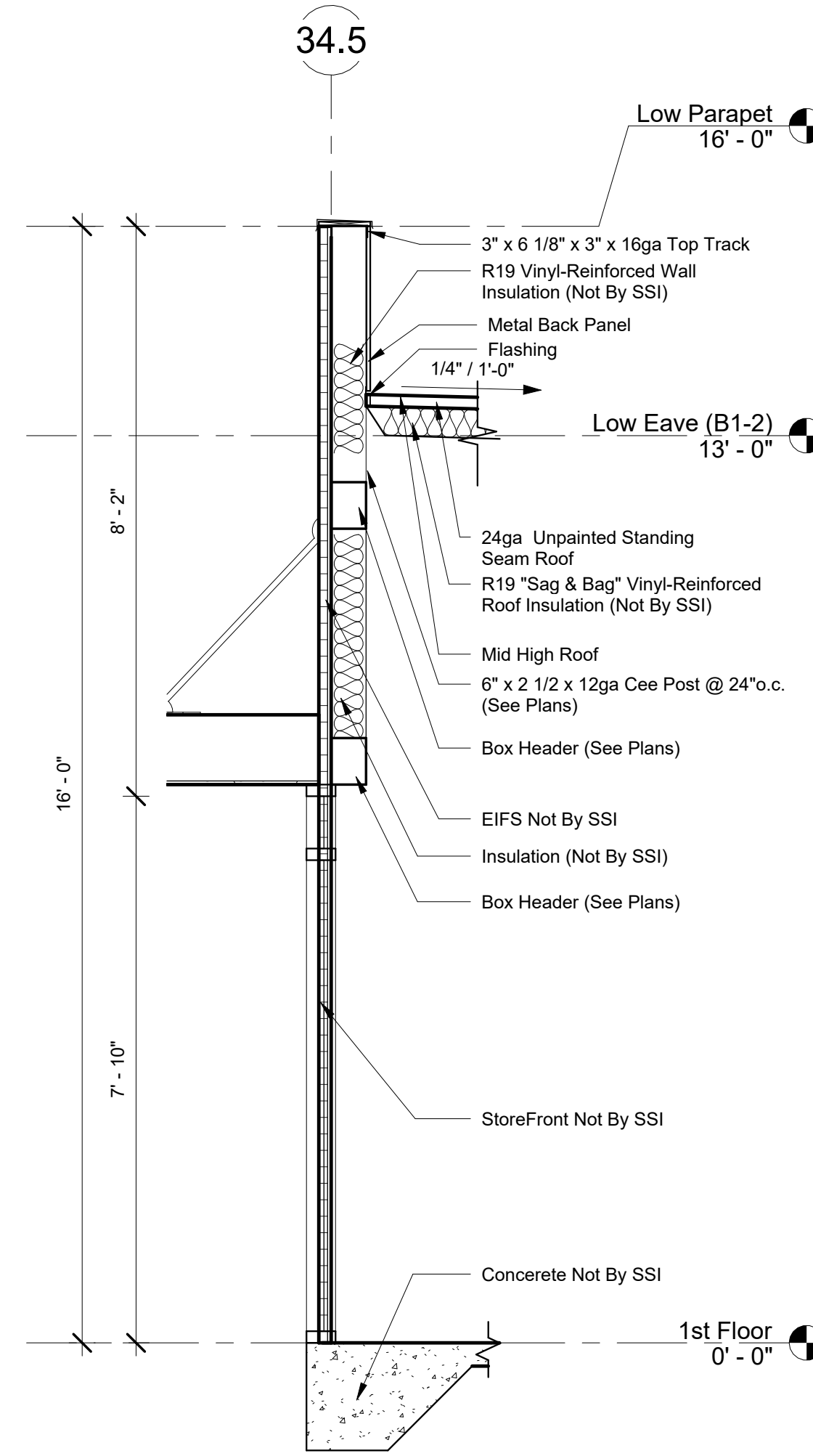
S701
Exterior Wall
Sections 2 (B-A)



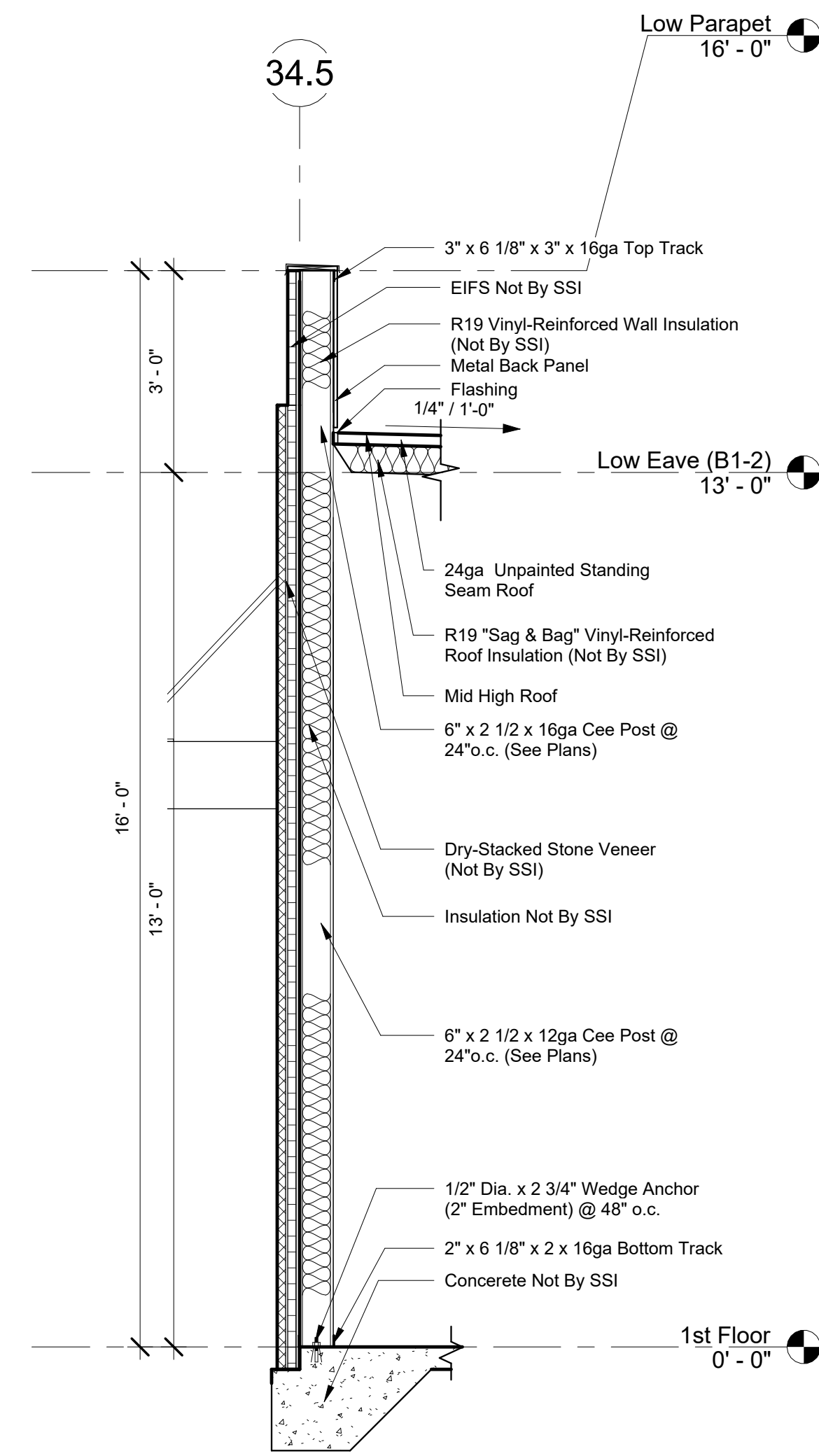
① Exterior Wall Section @ Tower Wall (B-A)
1/2" = 1'-0"



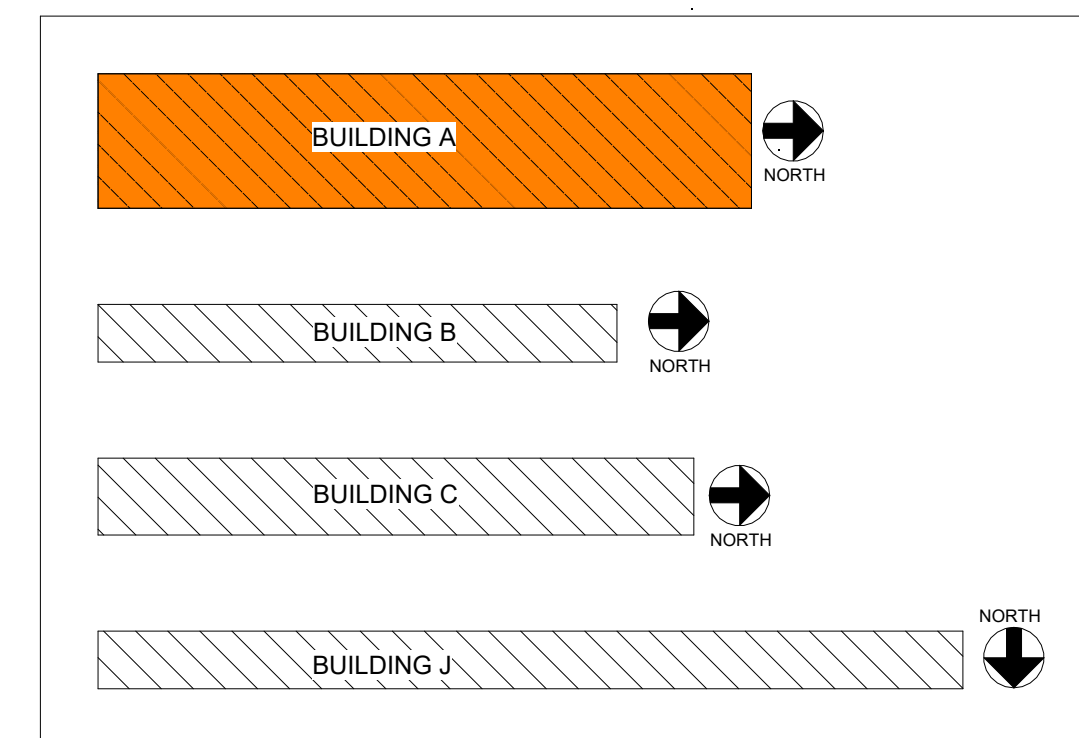
② Exterior Wall Section @ Tower StoreFront (B-A)
1/2" = 1'-0"



③ Exterior Wall Section @ Roof 2 StoreFront (B-A)
1/2" = 1'-0"



④ Exterior Wall Section @ Roof 2 Wall (B-A)
1/2" = 1'-0"



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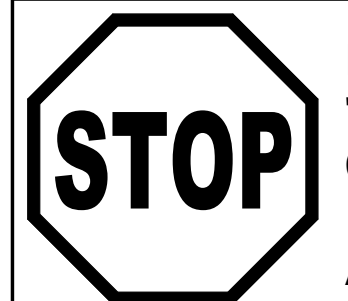
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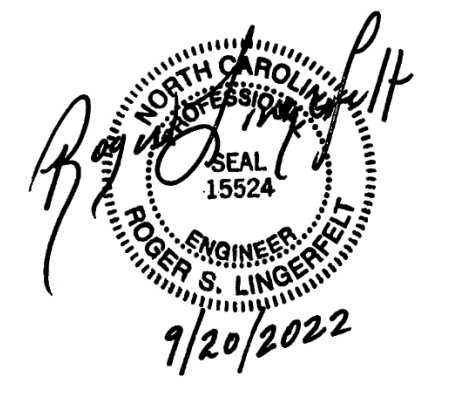
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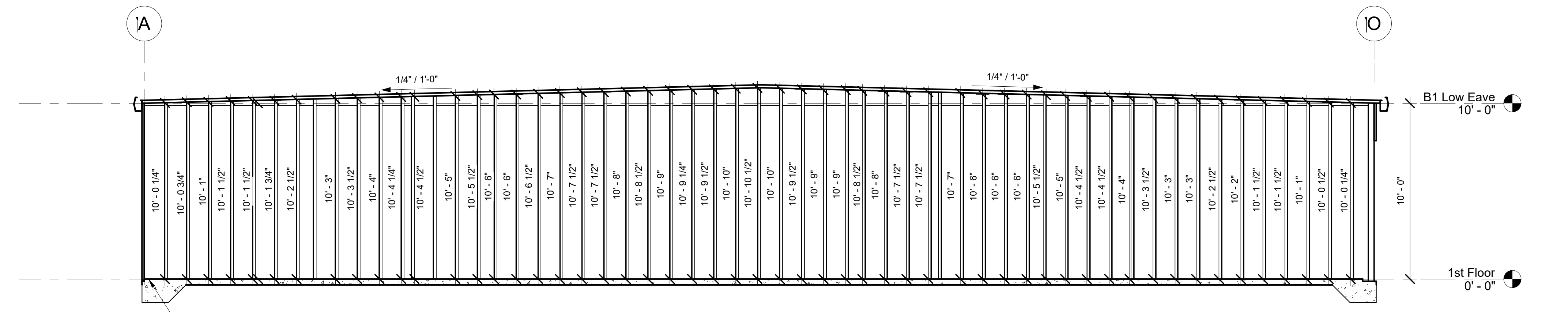
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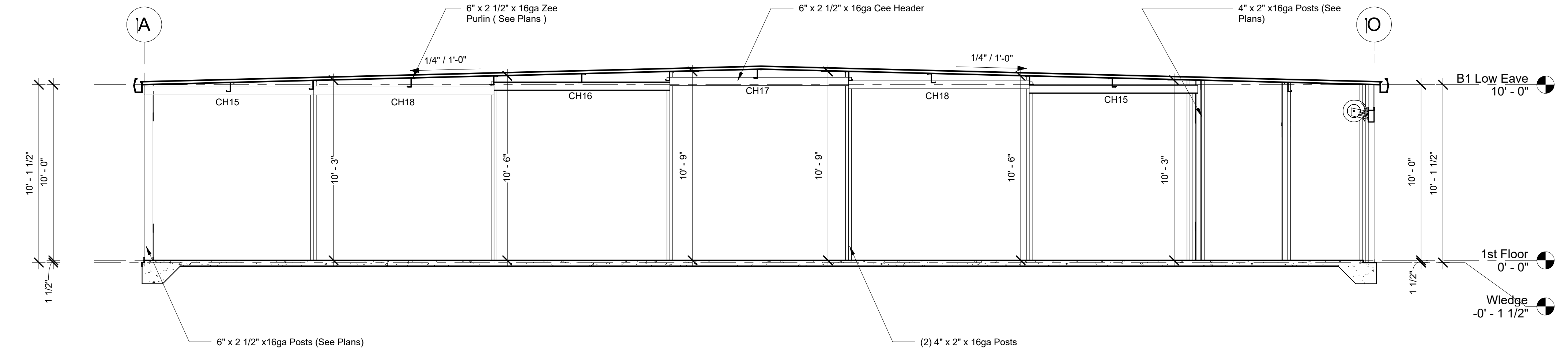
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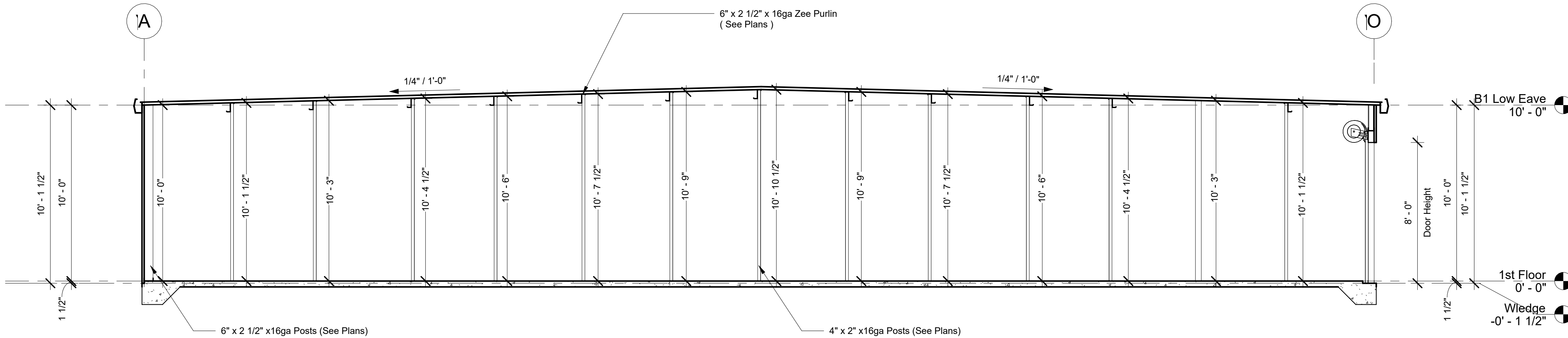
S710
Building A - Cut Sections



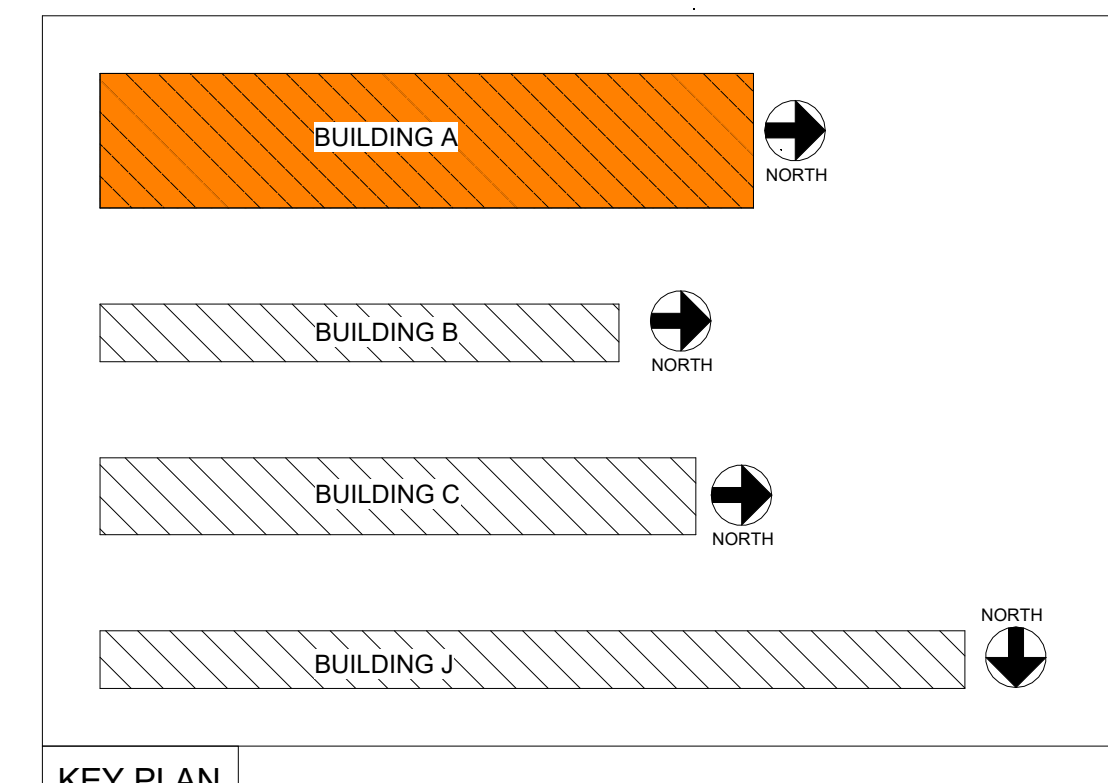
1 Building A - Cut Section @ Firewall
1/4" = 1'-0"



2 Building A - Cut Section @ Grid 2
1/4" = 1'-0"



3 Building A - Cut Section @ Grid 6
1/4" = 1'-0"



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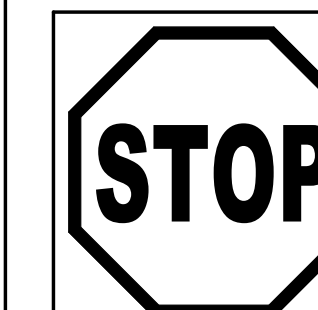
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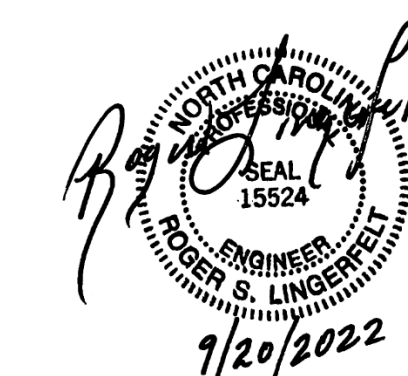
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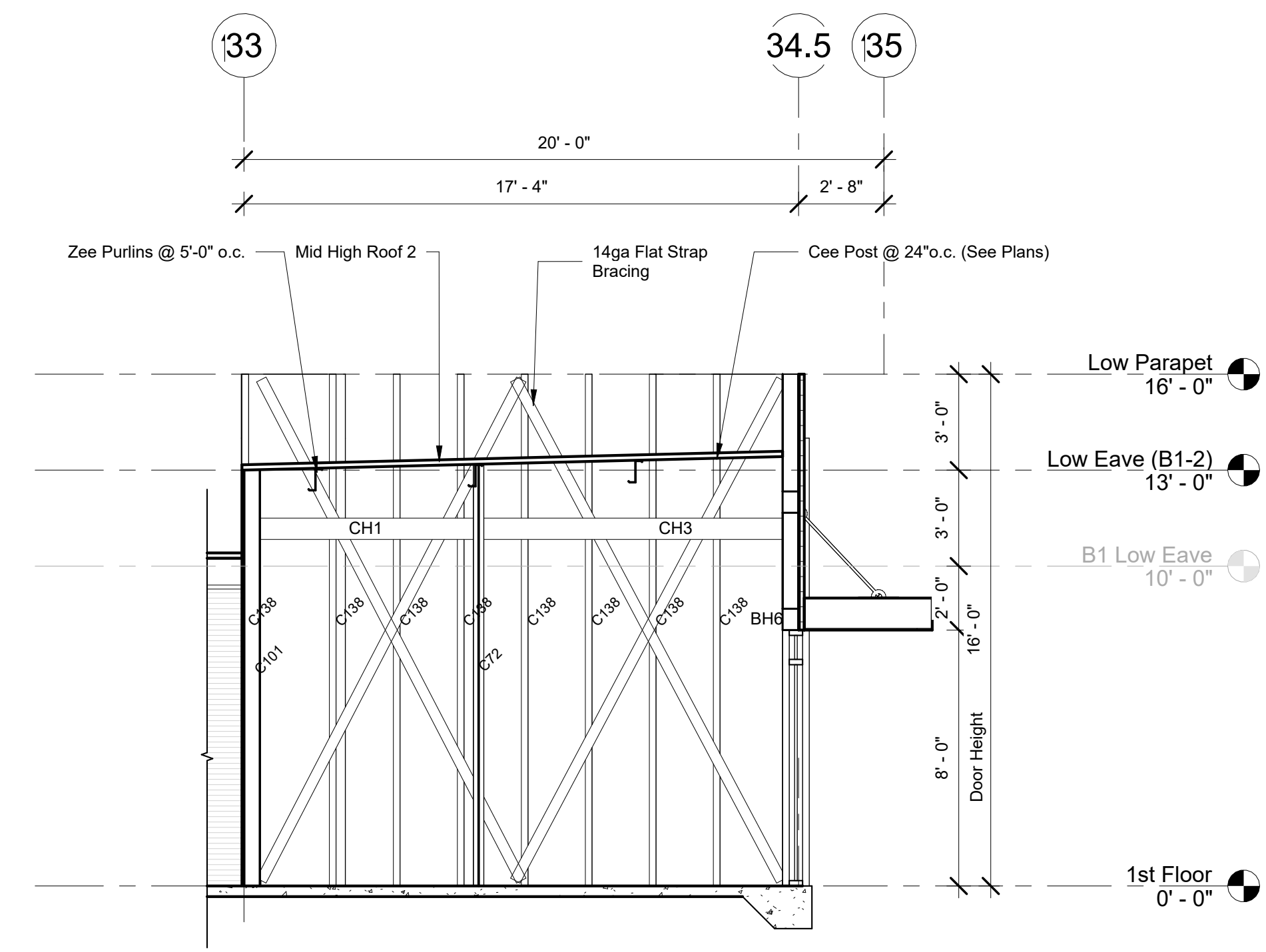


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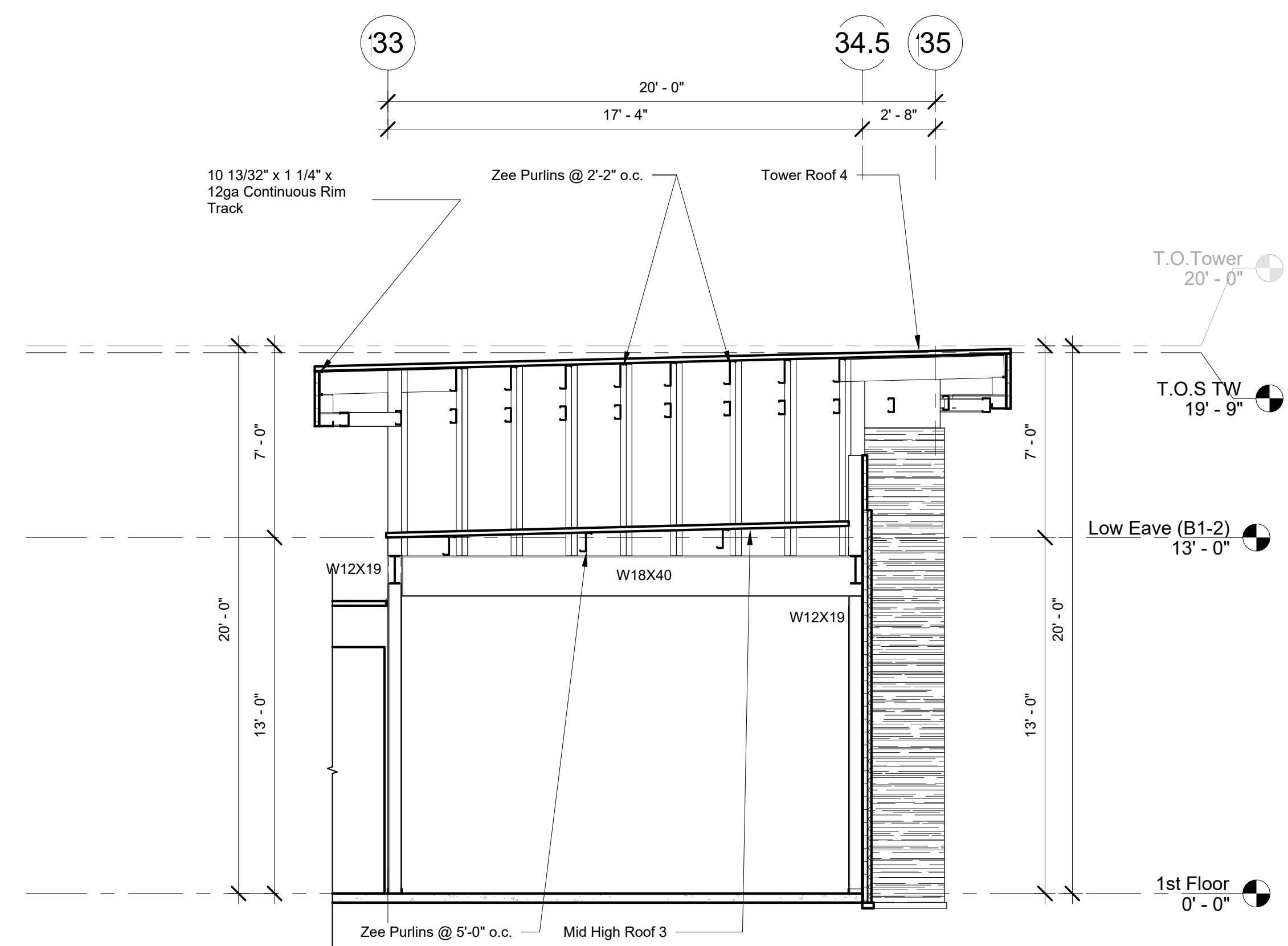
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S711

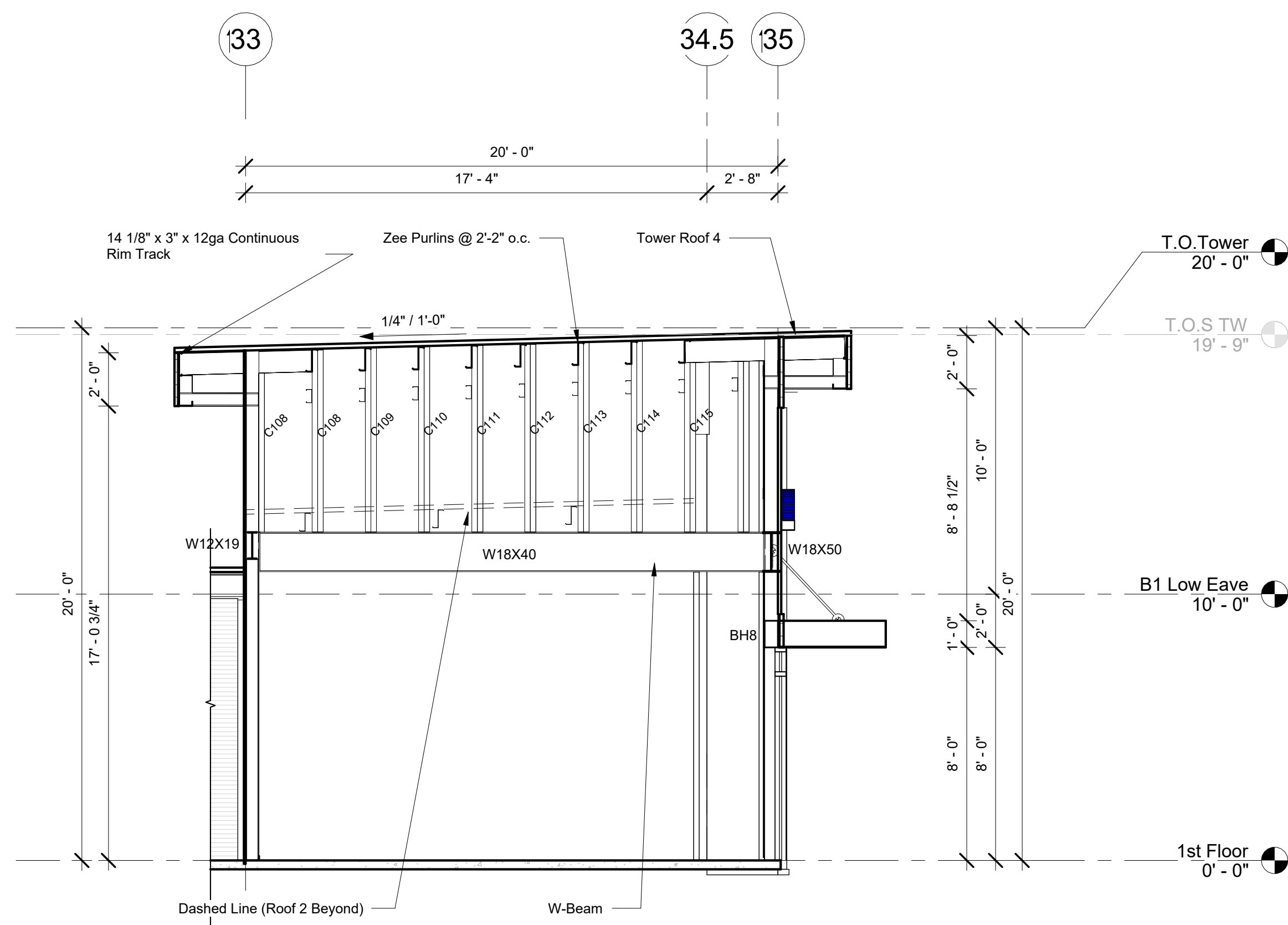
Building A - Cut Sections 2



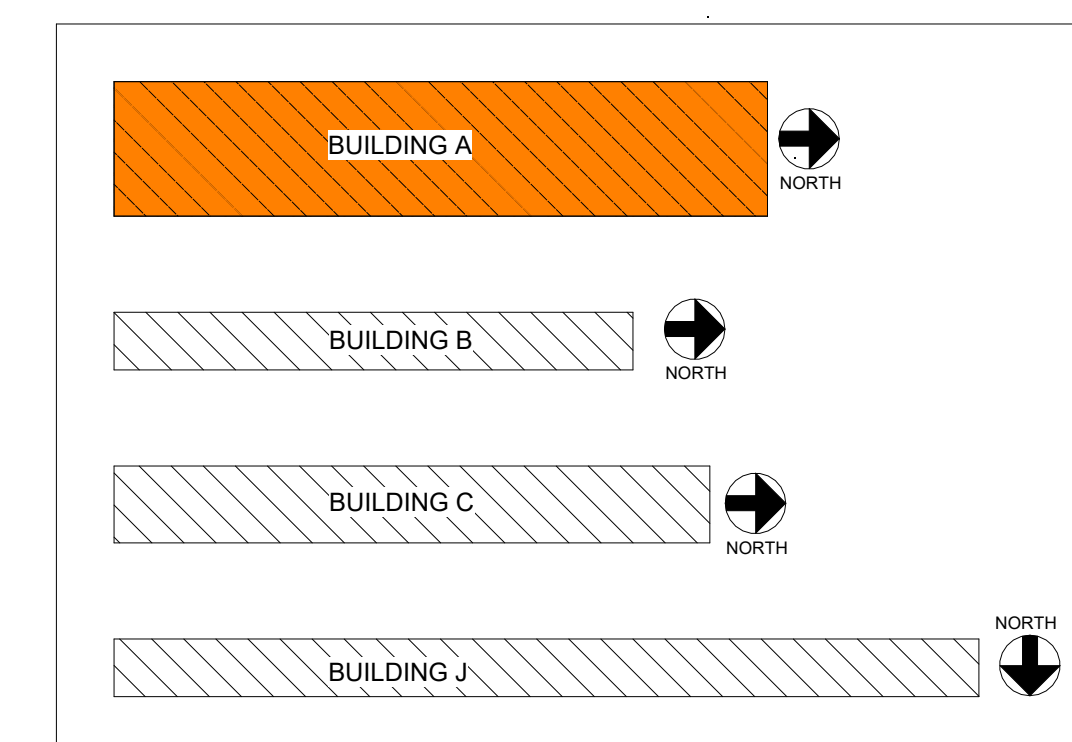
1 Building A - Cut Section @ Grid C
1/4" = 1'-0"



3 Building A - Cut Section @ Grid J.7
1/4" = 1'-0"



2 Building A - Cut Section @ Grid H
1/4" = 1'-0"



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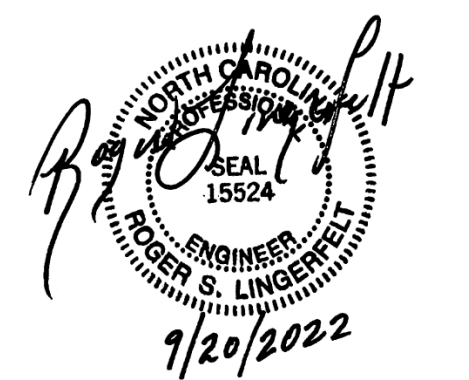
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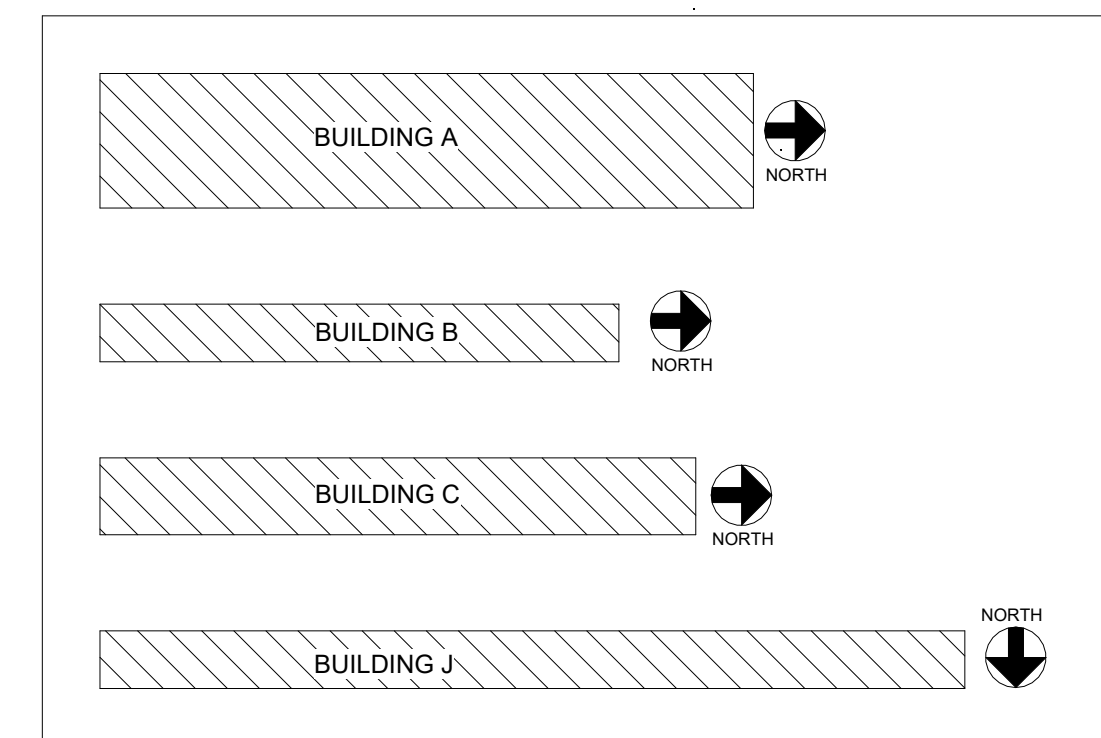
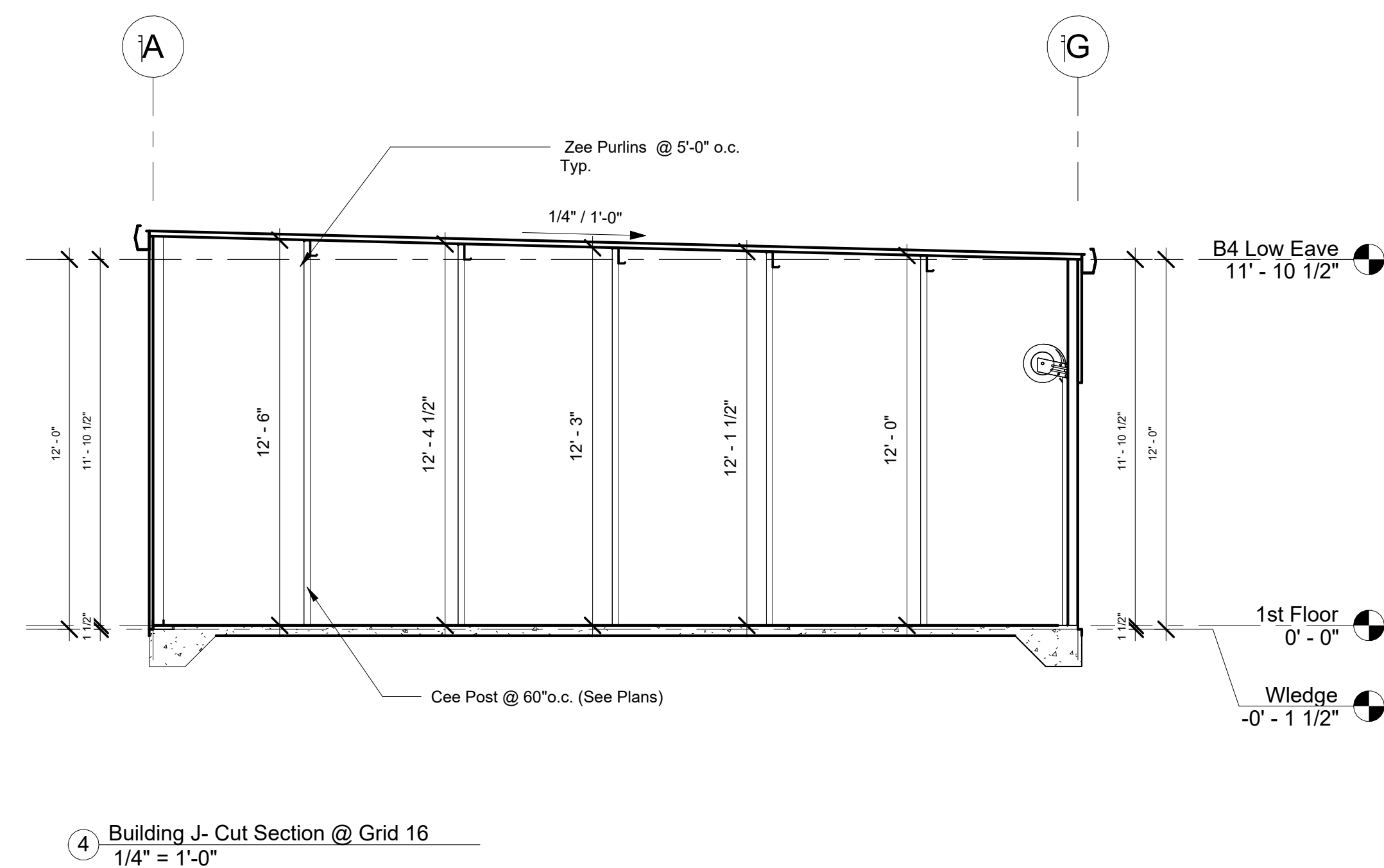
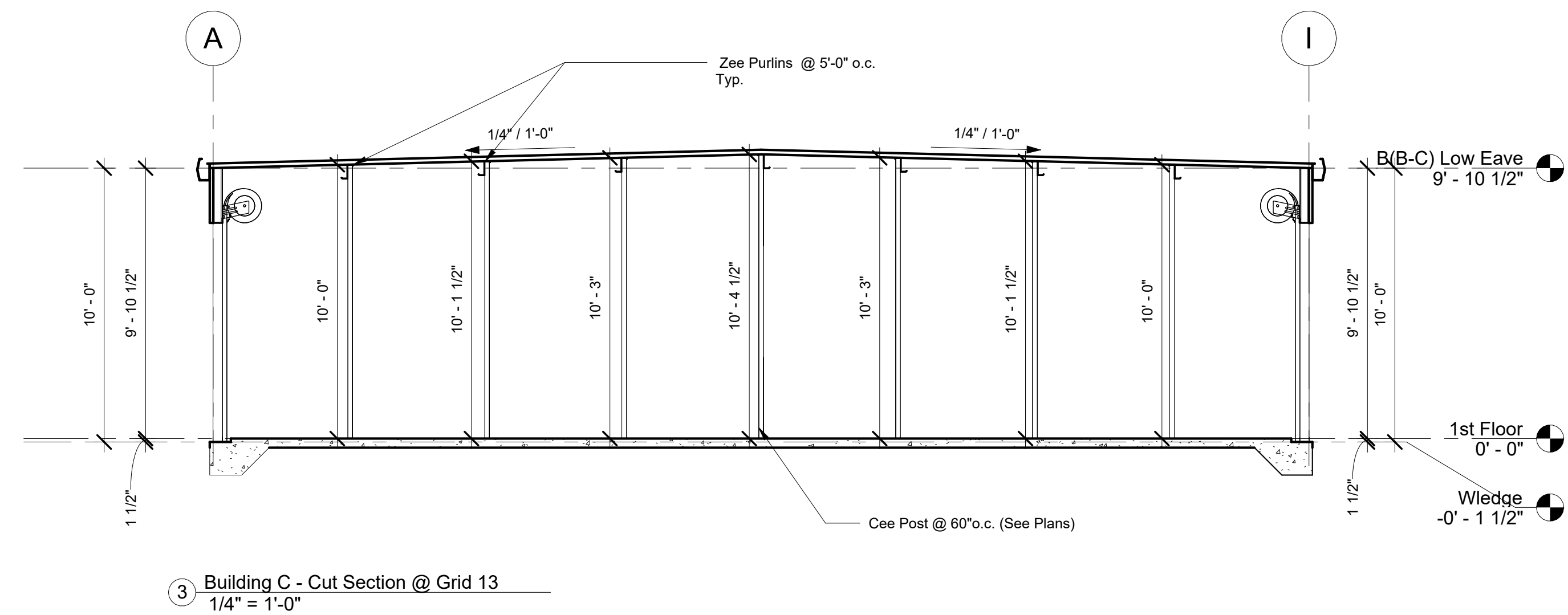
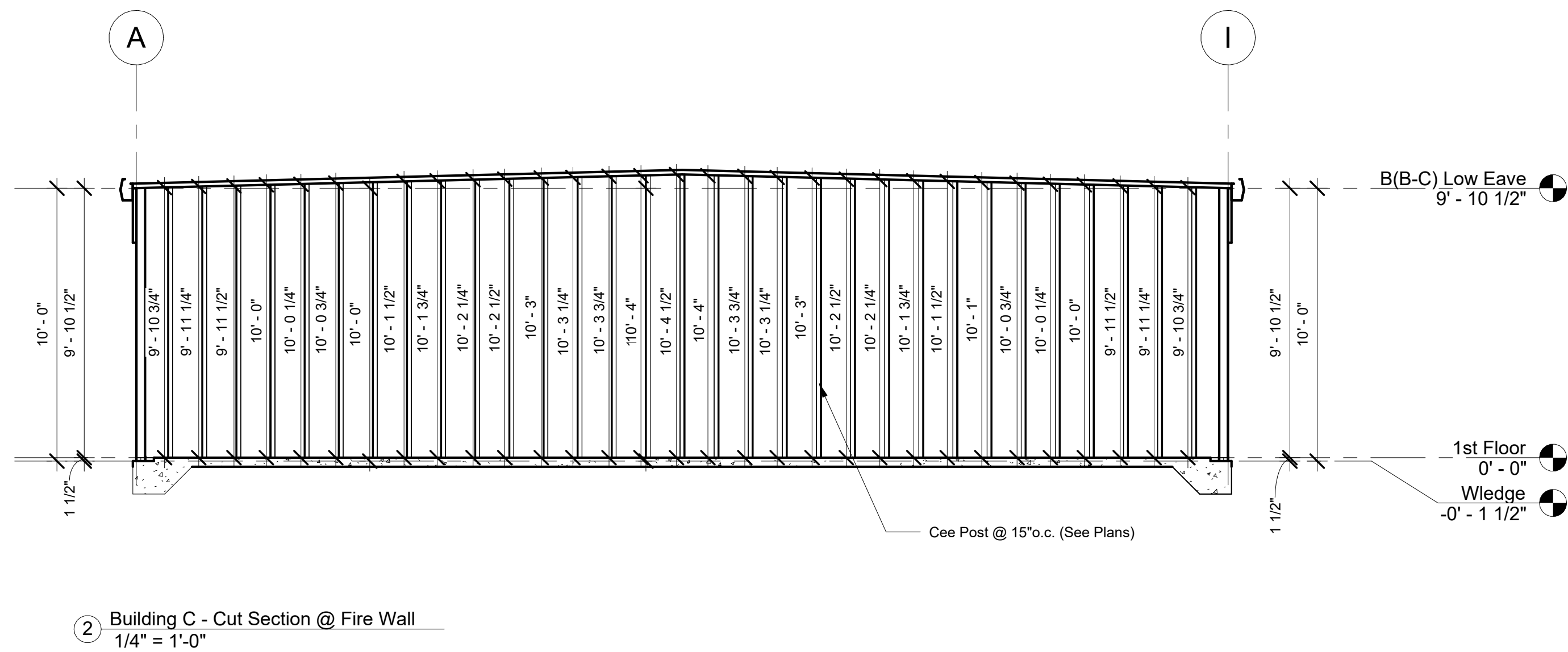
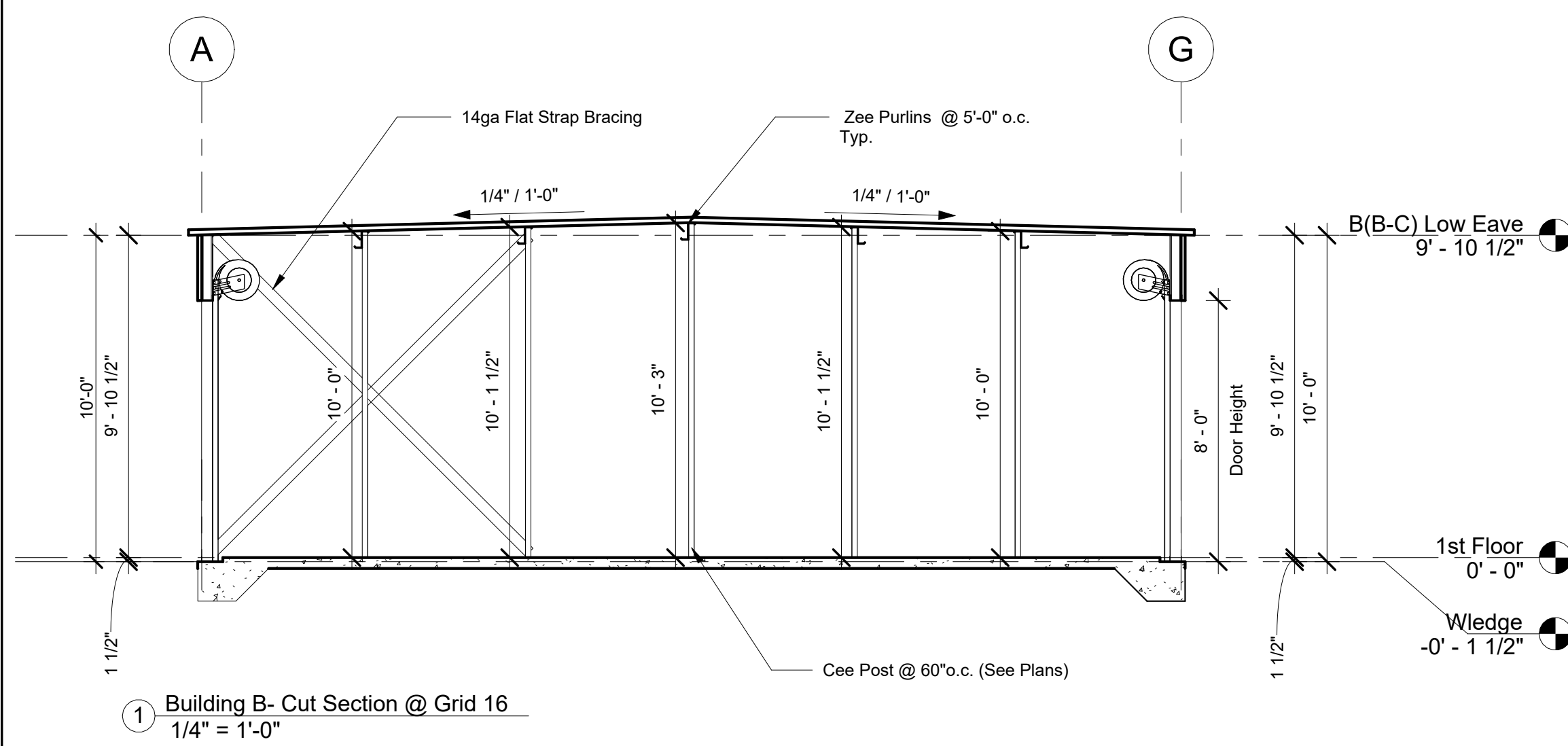


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S712

Buildings B & C & J Cut Sections



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Connection To Flange of Stud Each Side

Header Connection Schedule		
Depth (in.)	Gauge	Quantity #12 x 3/4" Tek Screws Per Post / Side
6	14-16	4
8	16	4
8	12-14	6
10	16	6
10	12-14	8
12	16	6
12	12-14	8

- Notes:**
1. Minimum Spacing For #12 Tek is 11/16"; Minimum Edge Distance is 3/8"
 2. Install Tek 5 Screws at Steel Beam Connection

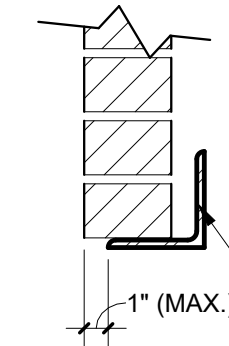
① Header Connection Schedule
1 1/2" = 1'-0"

Box Header Connection Schedule			
Depth (in.)	Gauge	Quantity #12 x 3/4" Tek Screws Track To Vertical Post	Quantity #12 x 3/4" Tek Screws Each Side of Bracket
6	16	4	4
6	14	6	6
8	16	6	6
8	12-14	8	8
10	16	8	8
10	12-14	10	10
12	16	12	10
12	12-14	12	12

- Notes:**
1. Minimum Spacing For #12 Tek is 11/16"; Minimum Edge Distance is 3/8"
 2. Install Tek 5 Screws at Steel Beam Connection

② Box Header Connection Schedule
1 1/2" = 1'-0"

Loose Lintel Schedule	
Span	Angle Size
Up To 5'-0"	L3 1/2 x 3 x 1/4 (SLV)
5'-1" To 6'-6"	L4 x 3 1/2 x 1/4 (LLV)
6'-7" To 8'-0"	L5 x 3 1/2 x 1/4 (LLV)
8'-1" To 10'-0"	L6 x 3 1/2 x 5/16 (LLV)
10'-1" To 12'-0"	L6 x 3 1/2 x 5/16 (LLV)



- Notes:**
1. 8" Min. Bearing Each End
 2. Do Not Use This Schedule if a Load Other than the Brick Load is Imposed on the Lintel

All Angles Shall By Galvanized. Loose Lintels Not Supplied Or Installed By SSI.

③ Brick Loose Lintel
1 1/2" = 1'-0"



3807 Hwy 61
Villa Rica, Ga 30180

PHONE: 770-456-1602
TOLL FREE: 877-456-1602
FAX: 770-456-1662

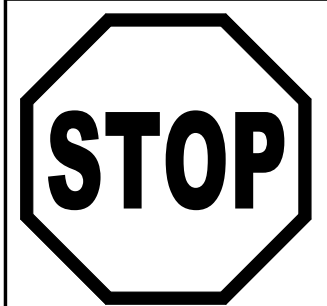
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Rev. #	Revision Date	Revision Description

Dustin Blackwell

Harnett Self
Storage

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Sanford, NC 27332



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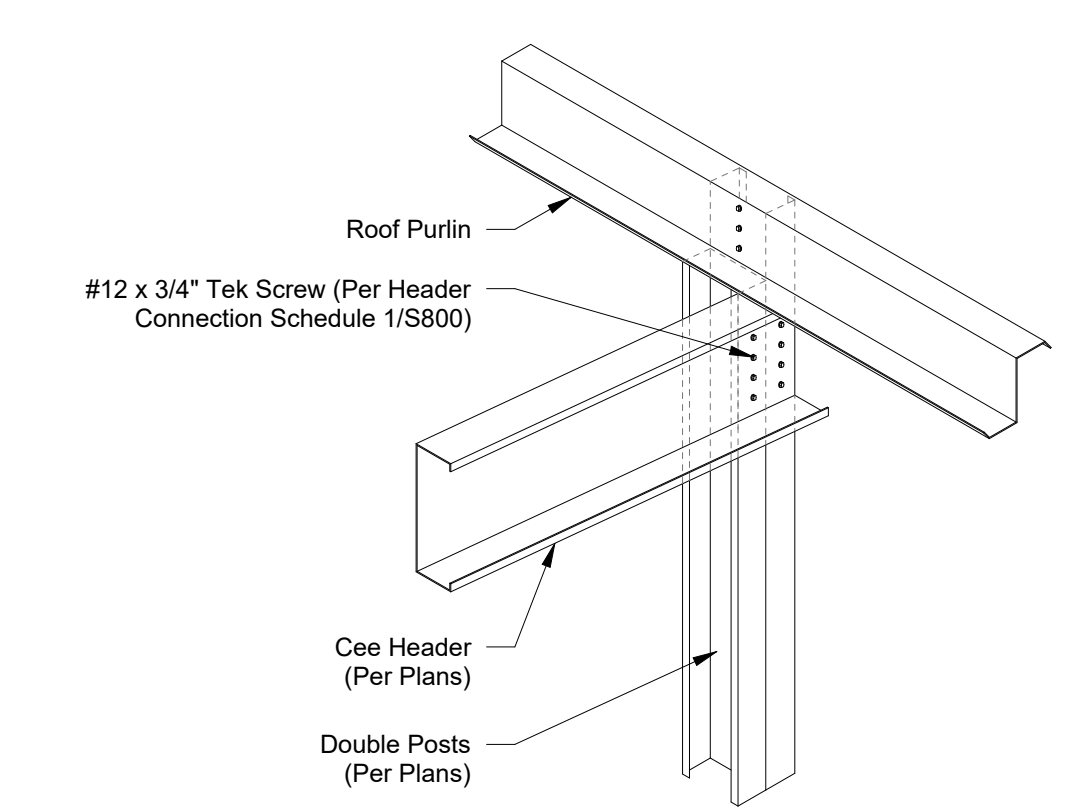
Roger S. Lingerfelt, P.E.
3360 Stock Road
Monroe, GA 30656
770-207-7997
rogerlingerfelt@gmail.com
North Carolina P.E. Number 15524

SSI Project Number	1247
Issue Date	09-20-2022
Drawn By	Y.H
Checked By	AS
Engineered By	RSL

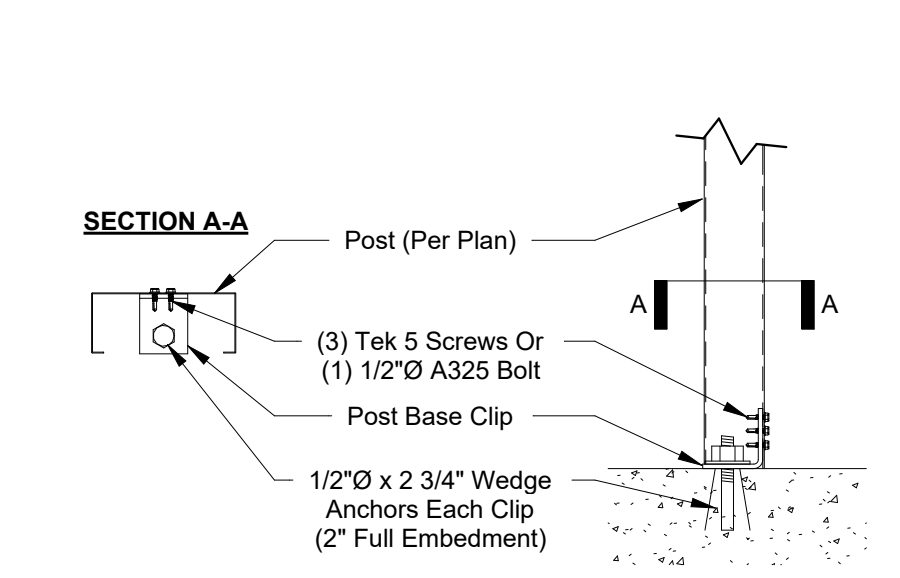
S800
Details

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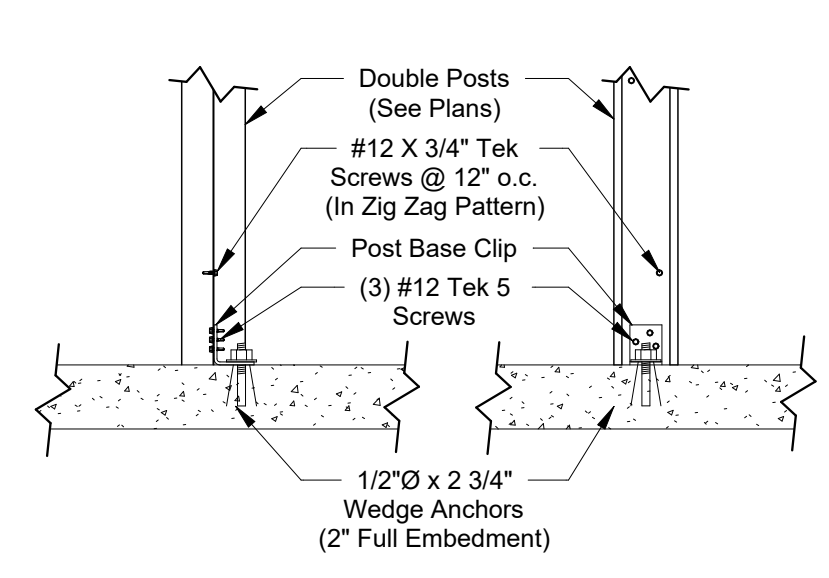
Rev. #	Revision Date	Revision Description



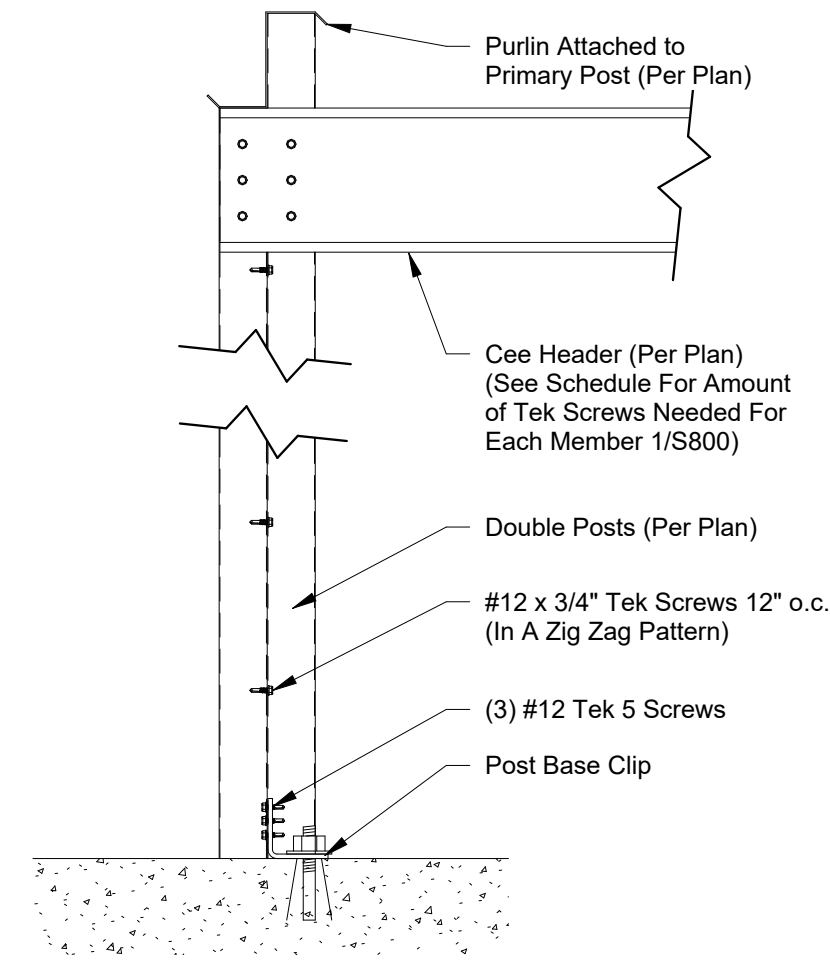
1 Cee Header - Single
1" = 1'-0"



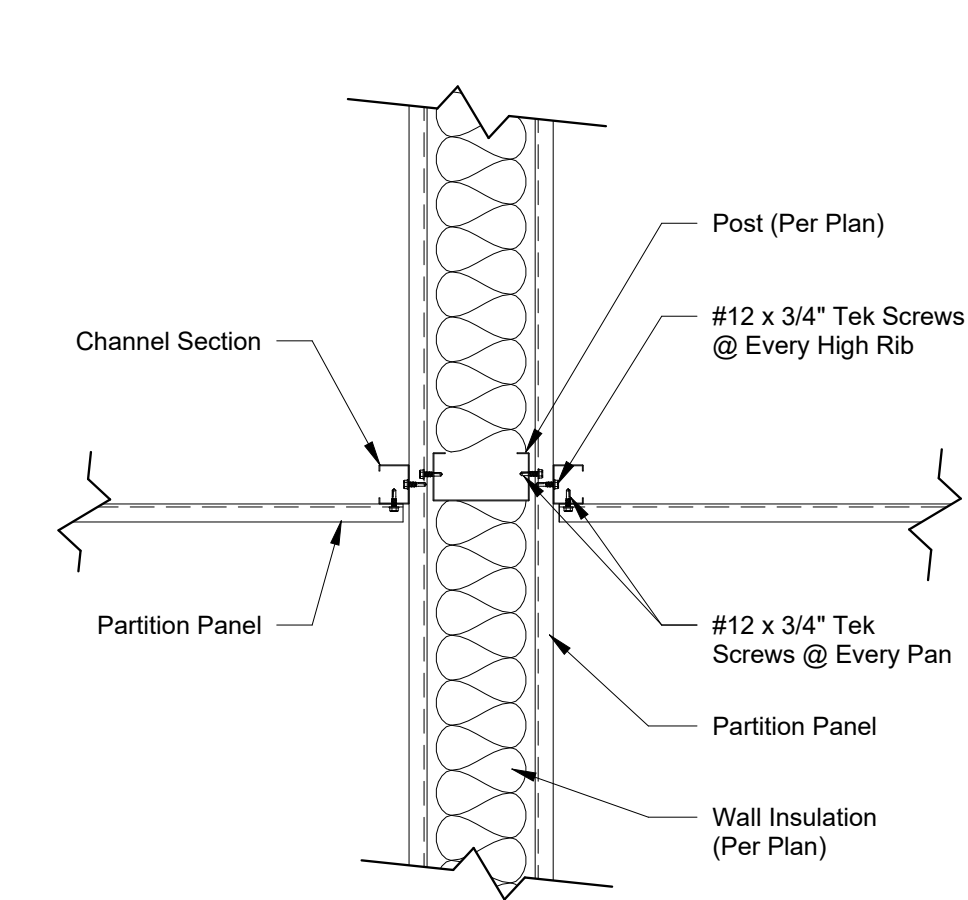
2 Column to Slab
1 1/2" = 1'-0"



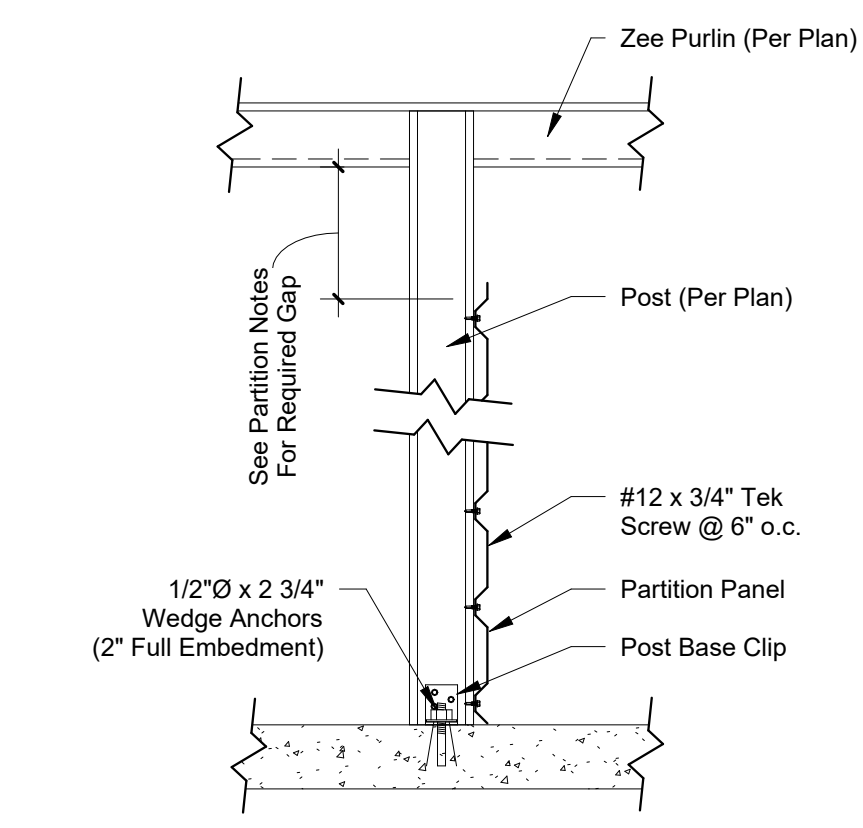
4 Double Post To Slab
1" = 1'-0"



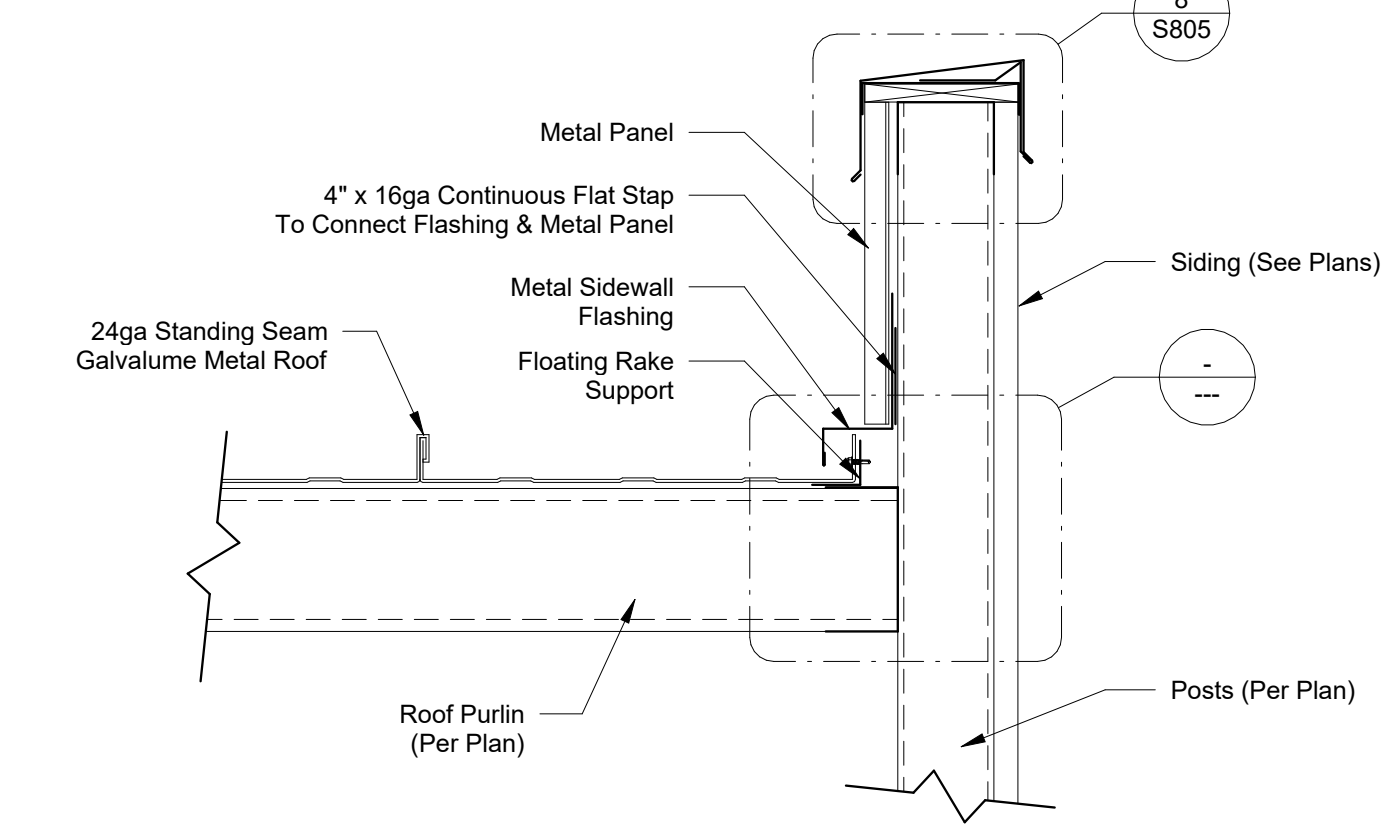
3 Double Post Detail (Single Story & Top Floor)
1 1/2" = 1'-0"



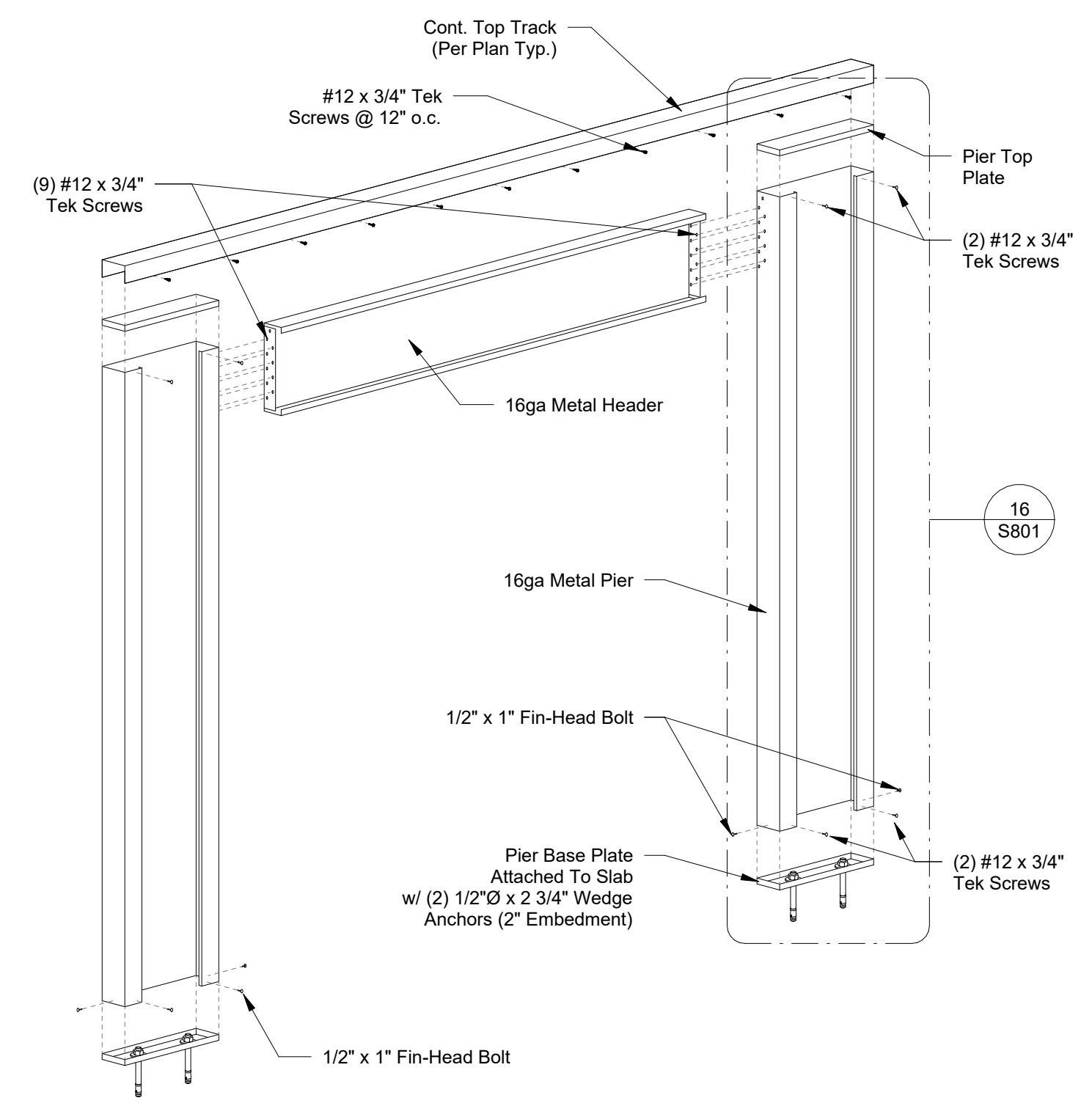
5 Insulated Partition Intersection
1 1/2" = 1'-0"



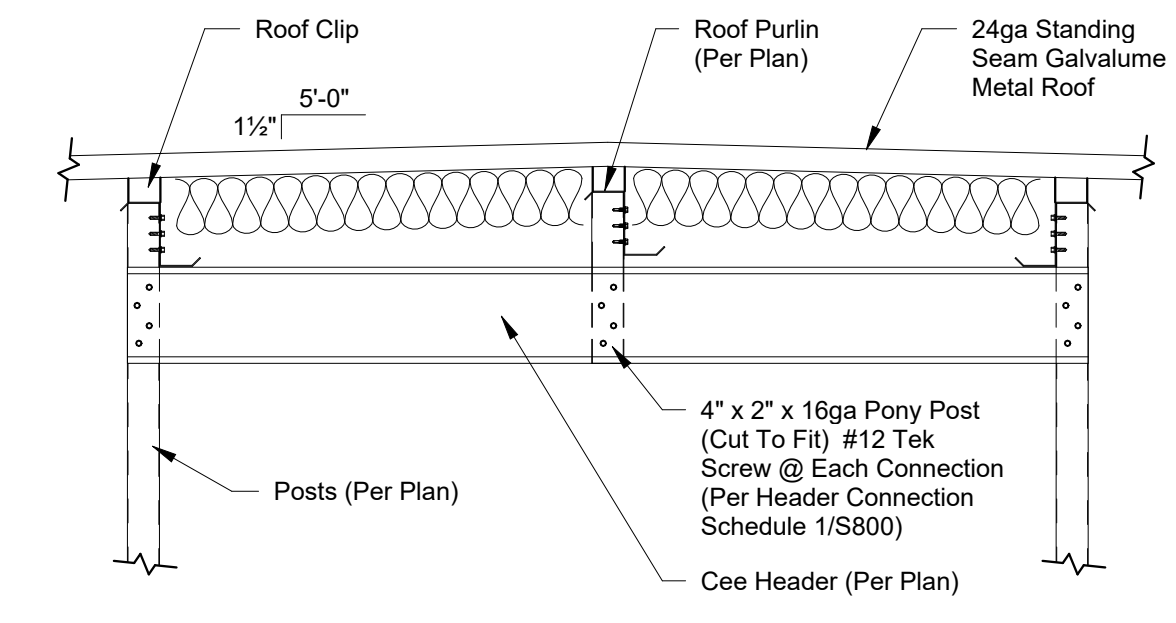
6 Interior Partition
1" = 1'-0"



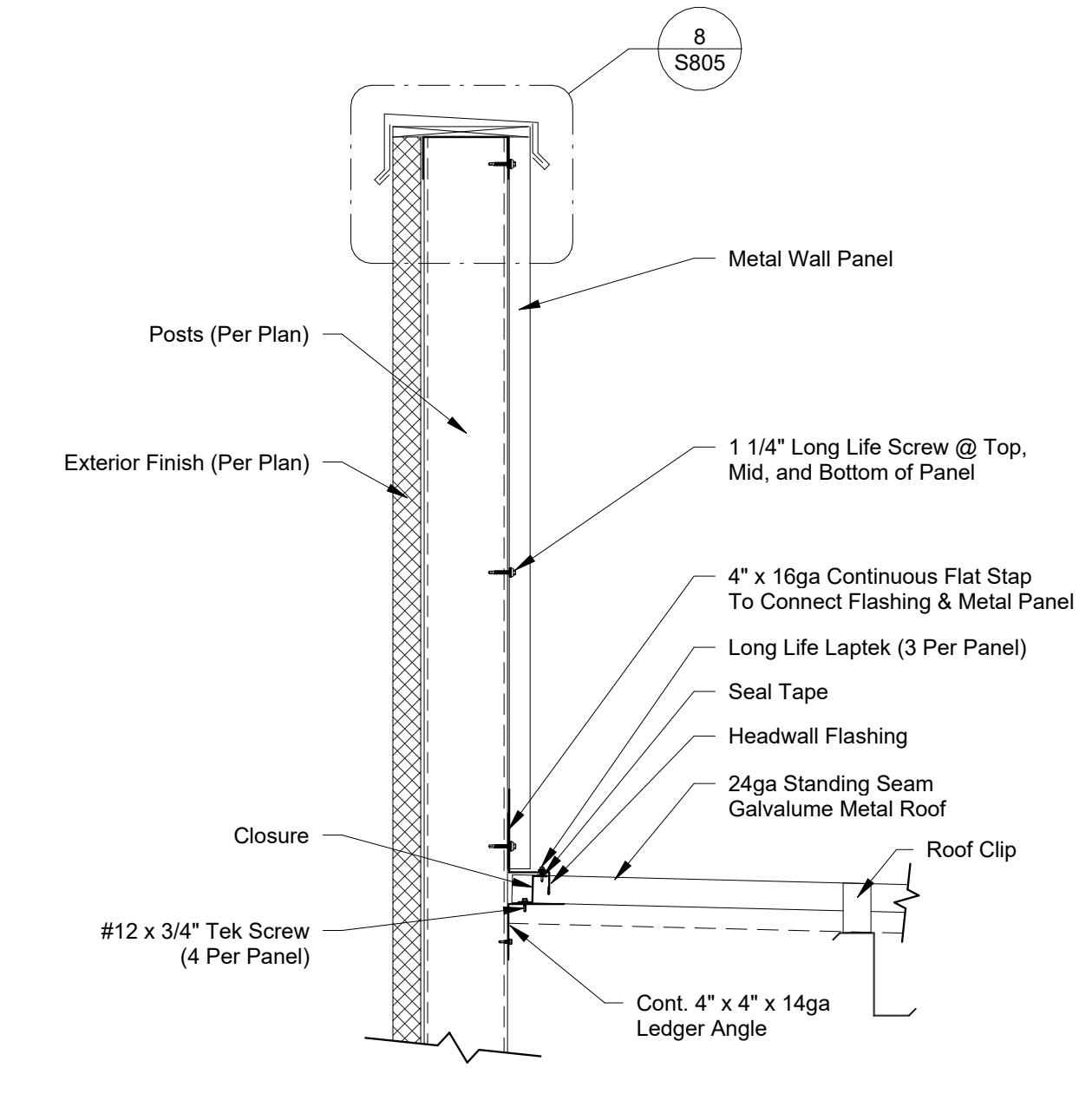
8 Parapet Framing
1 1/2" = 1'-0"



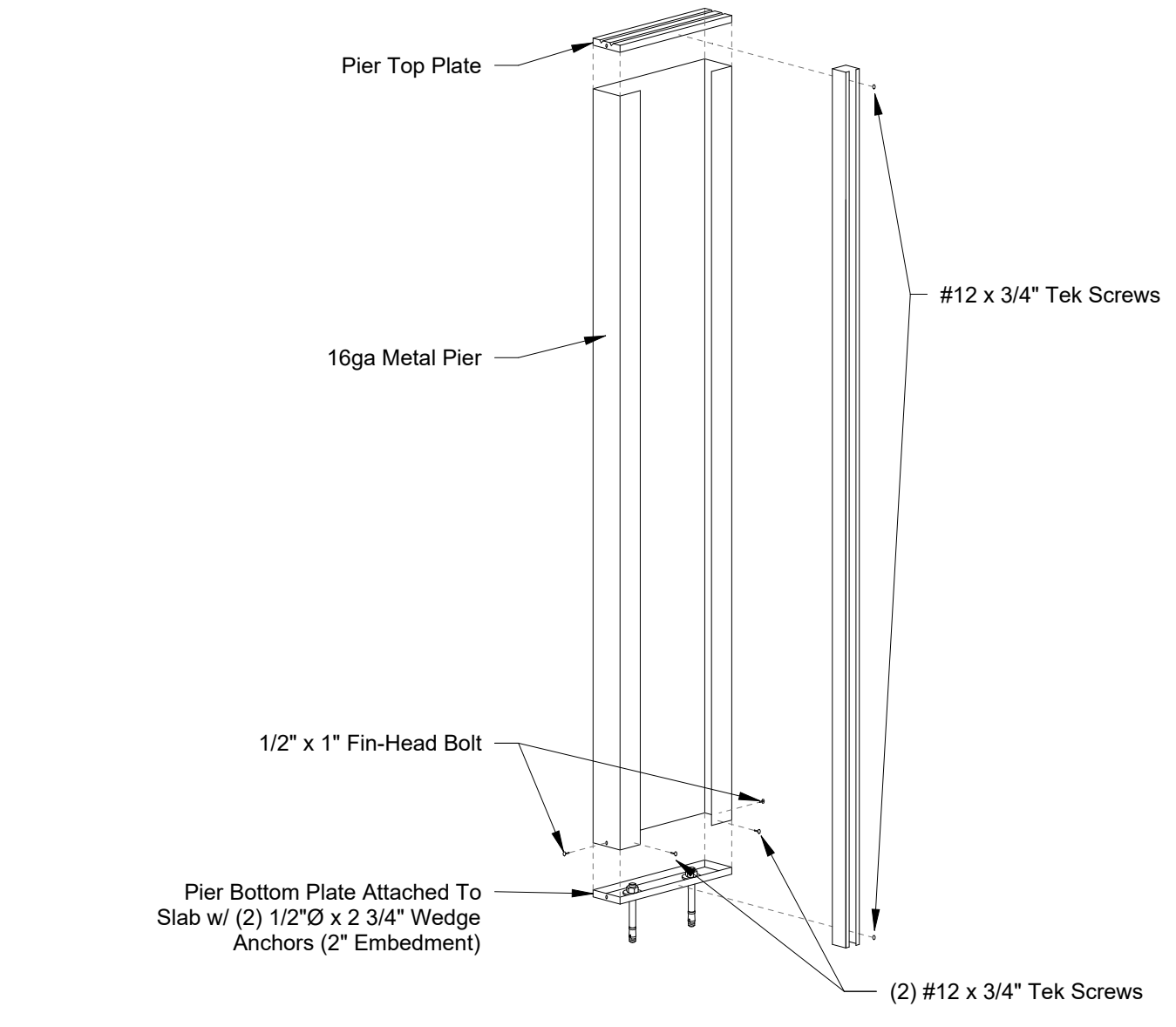
15 Pier & Header Assembly
1/2" = 1'-0"



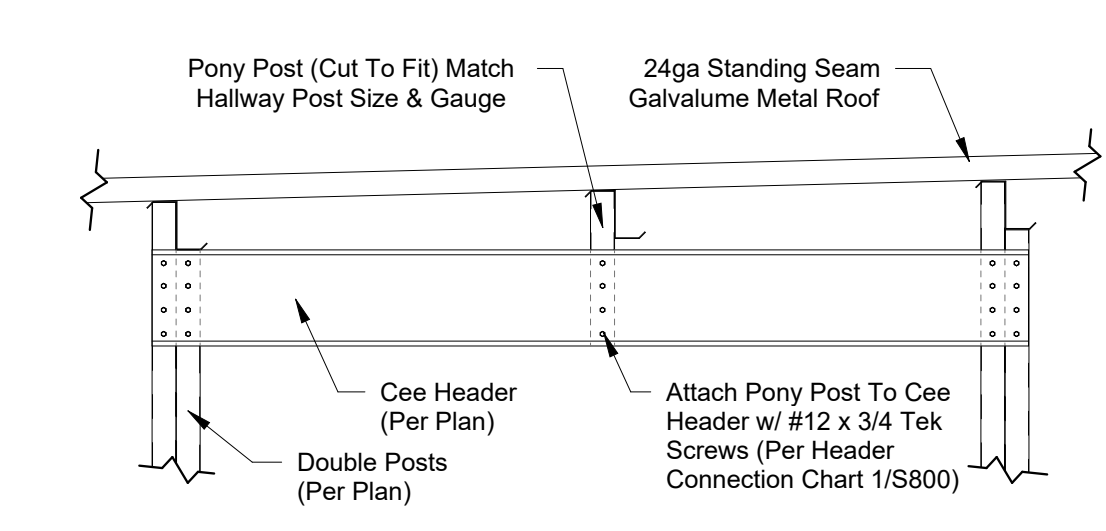
9 Pony Post @ Ridge
1" = 1'-0"



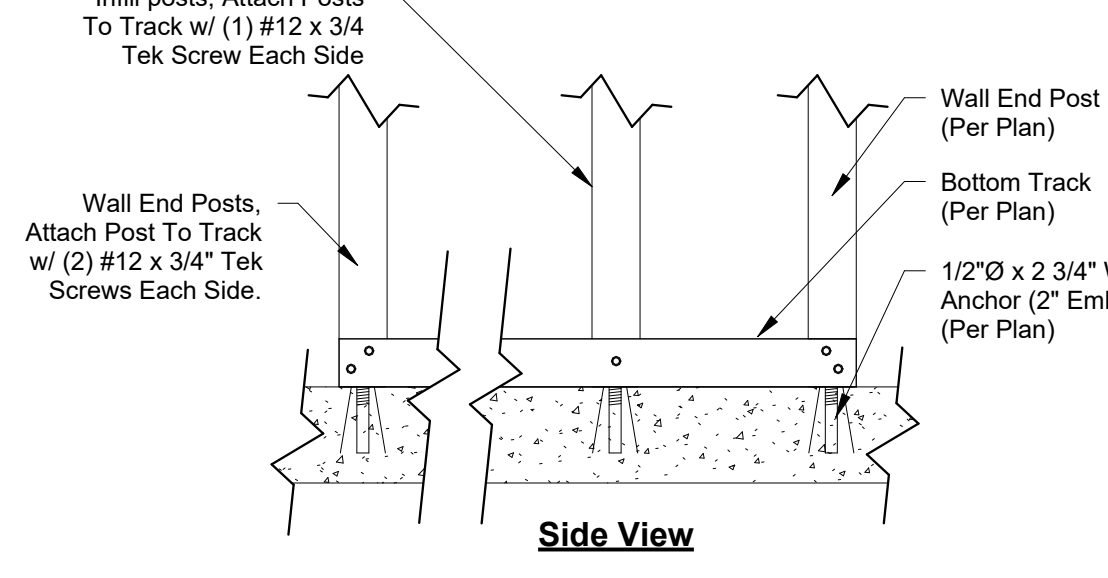
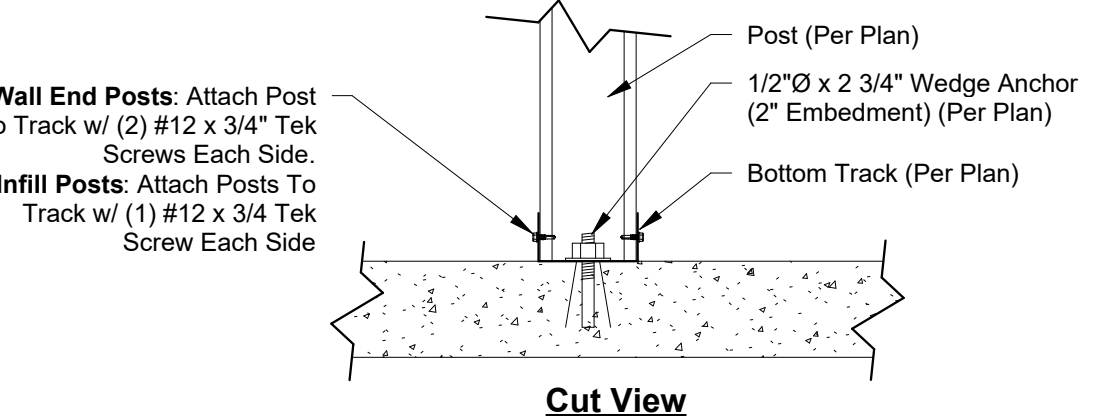
7 Parapet @ High Roof
1" = 1'-0"



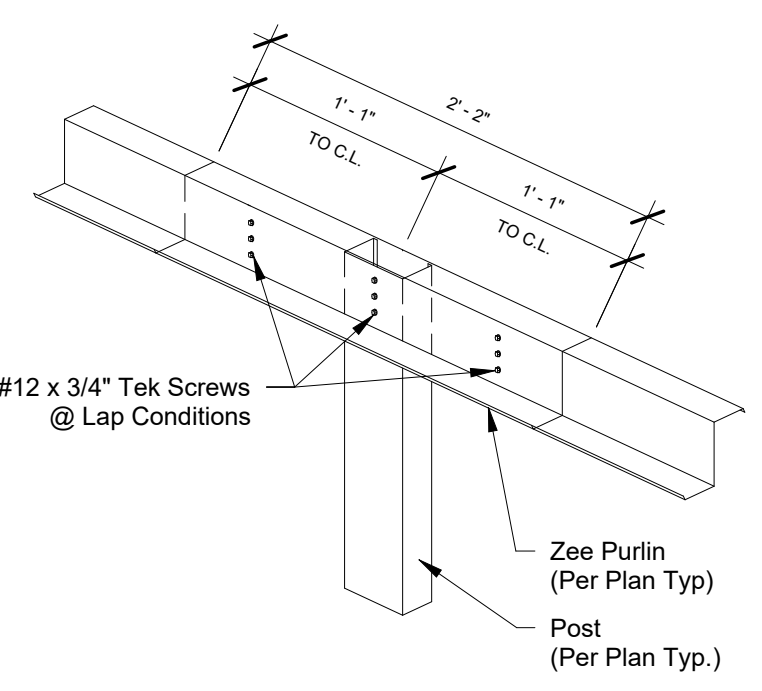
16 Pier Assembly Detail
1/2" = 1'-0"



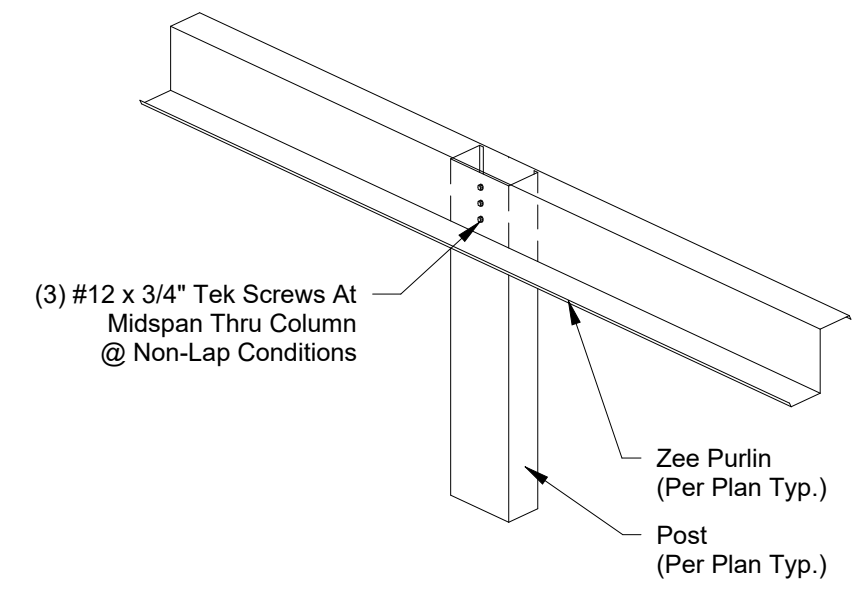
10 Pony Post to Purlin
3/4" = 1'-0"



11 Post To Track Detail
1 1/2" = 1'-0"



Lap Connection



Non-Lap Connection

12 Purlin To Post Connection
1" = 1'-0"

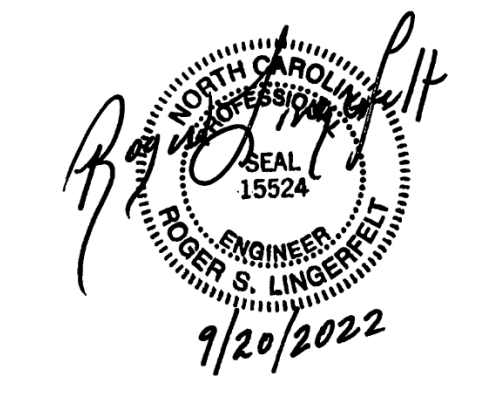
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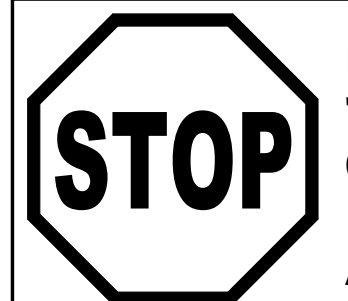
**S801
Details**

Rev. #	Revision Date	Revision Description

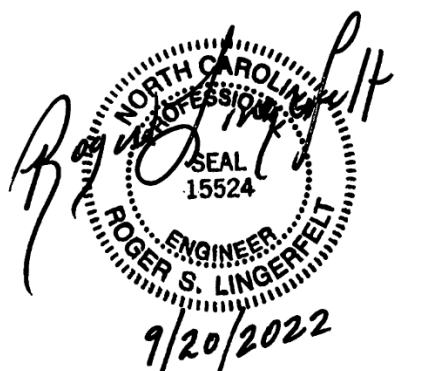
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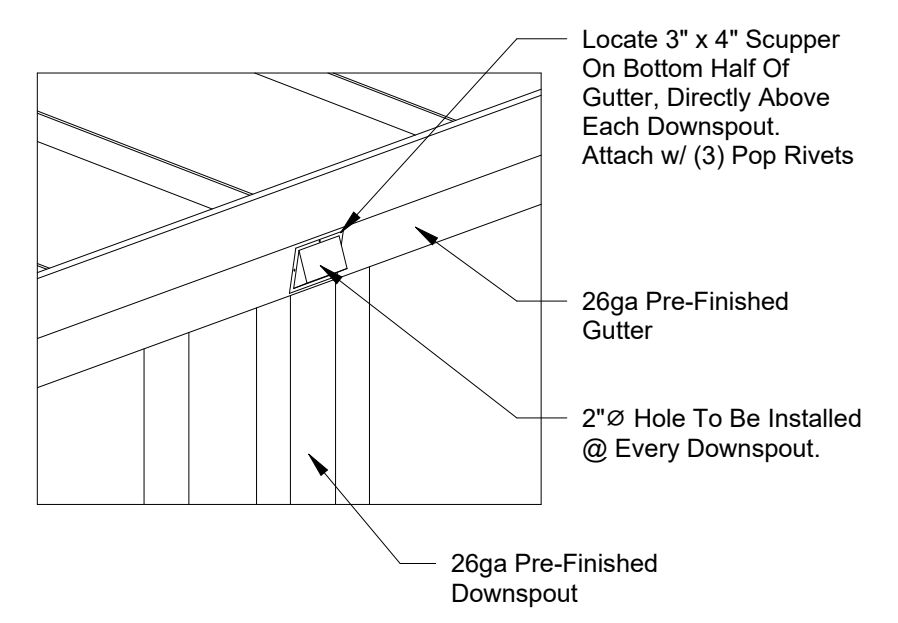


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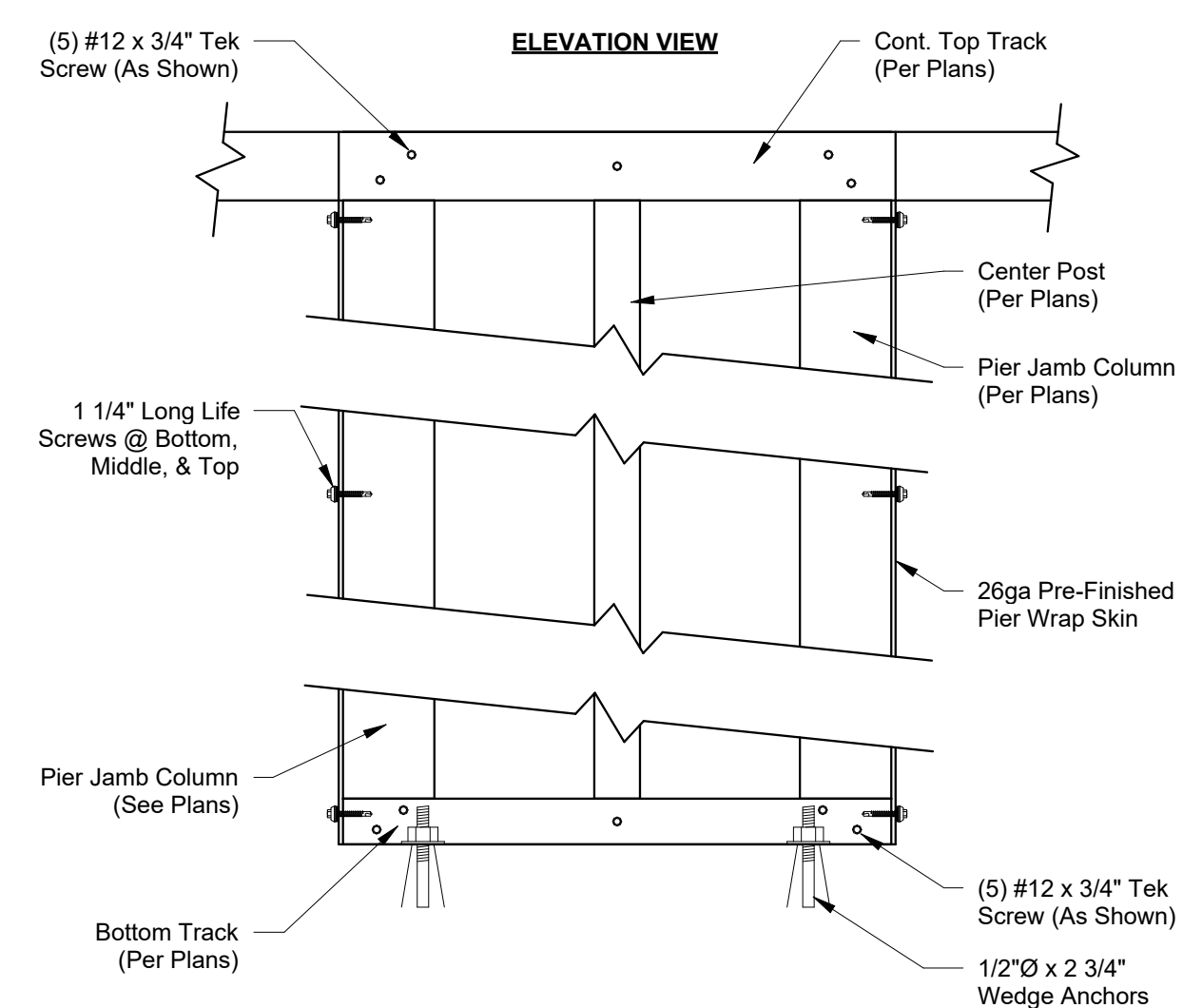
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Checked By	AS
Engineered By	RSL

S802
Details

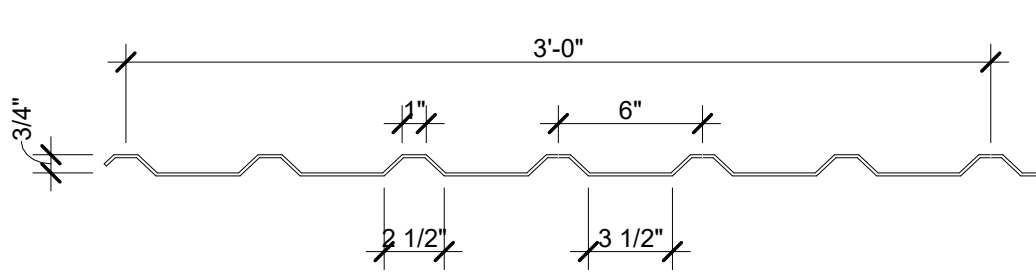
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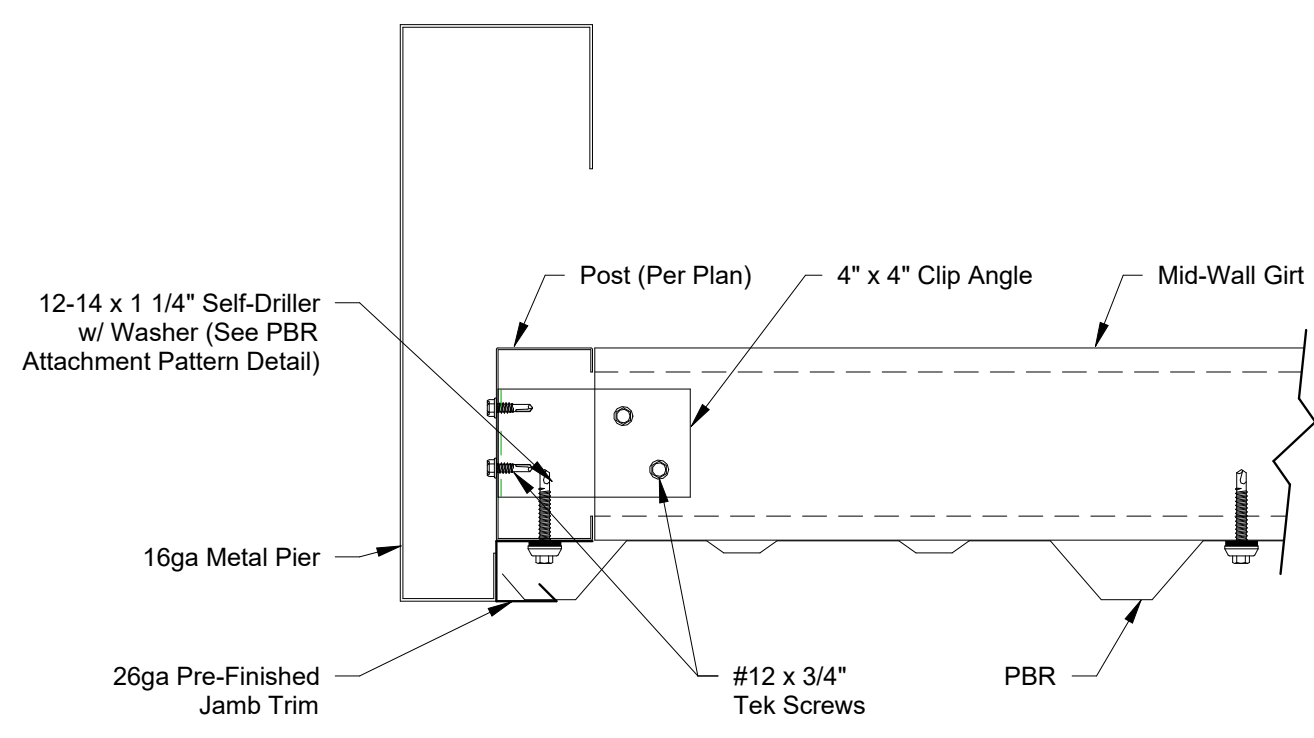
1 Scupper Detail
3/4" = 1'-0"



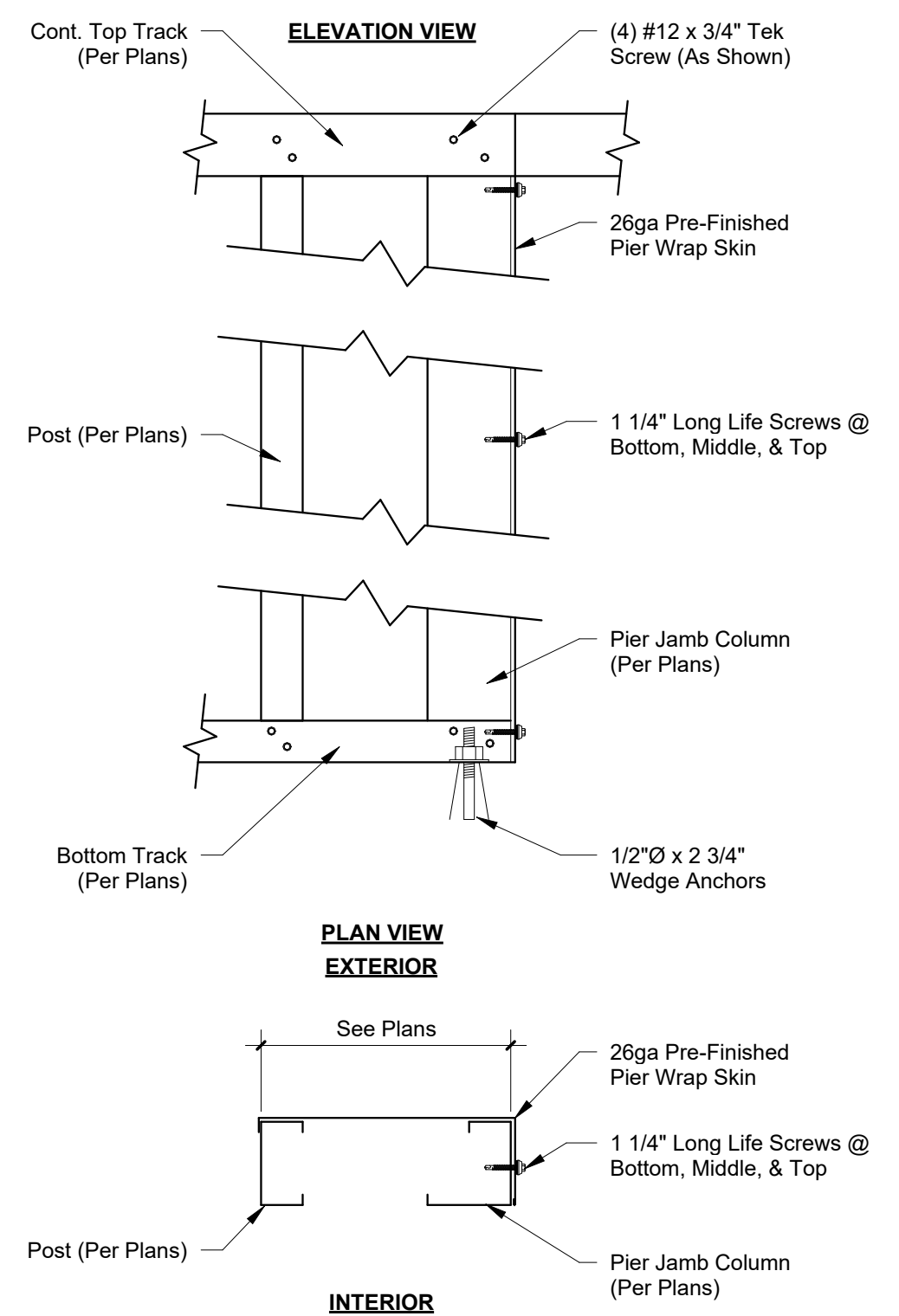
4 Pier Wrap Detail - Full Pier
1 1/2" = 1'-0"



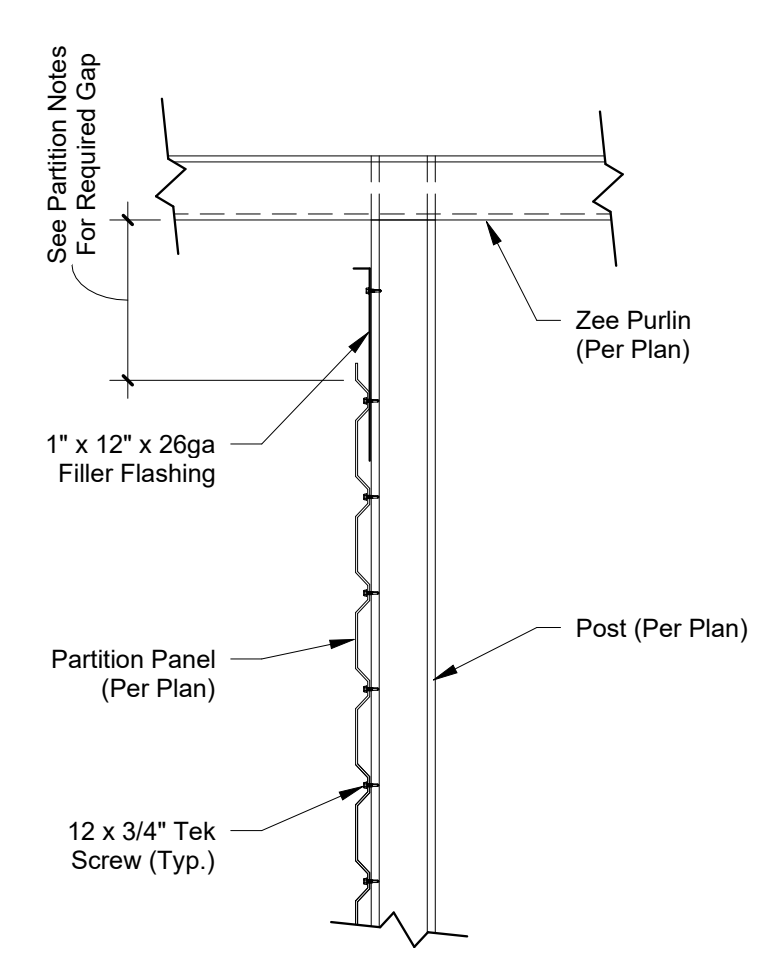
8 PBU Partition Panel Profile
1 1/2" = 1'-0"



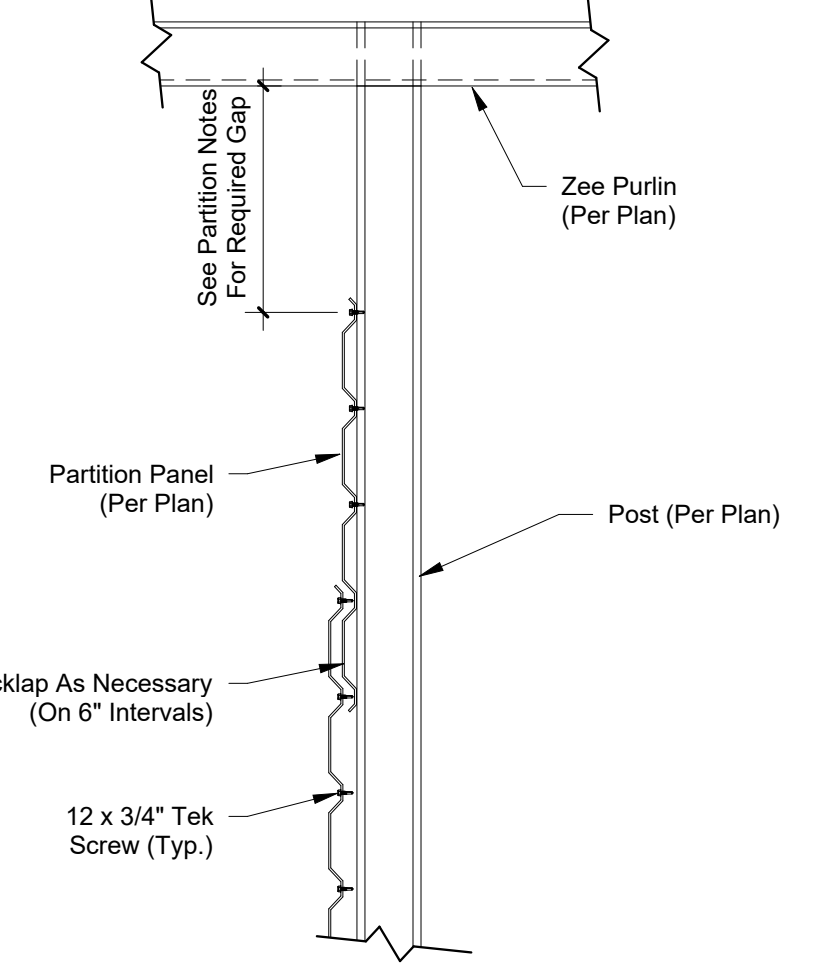
7 PBR to Pier
3" = 1'-0"



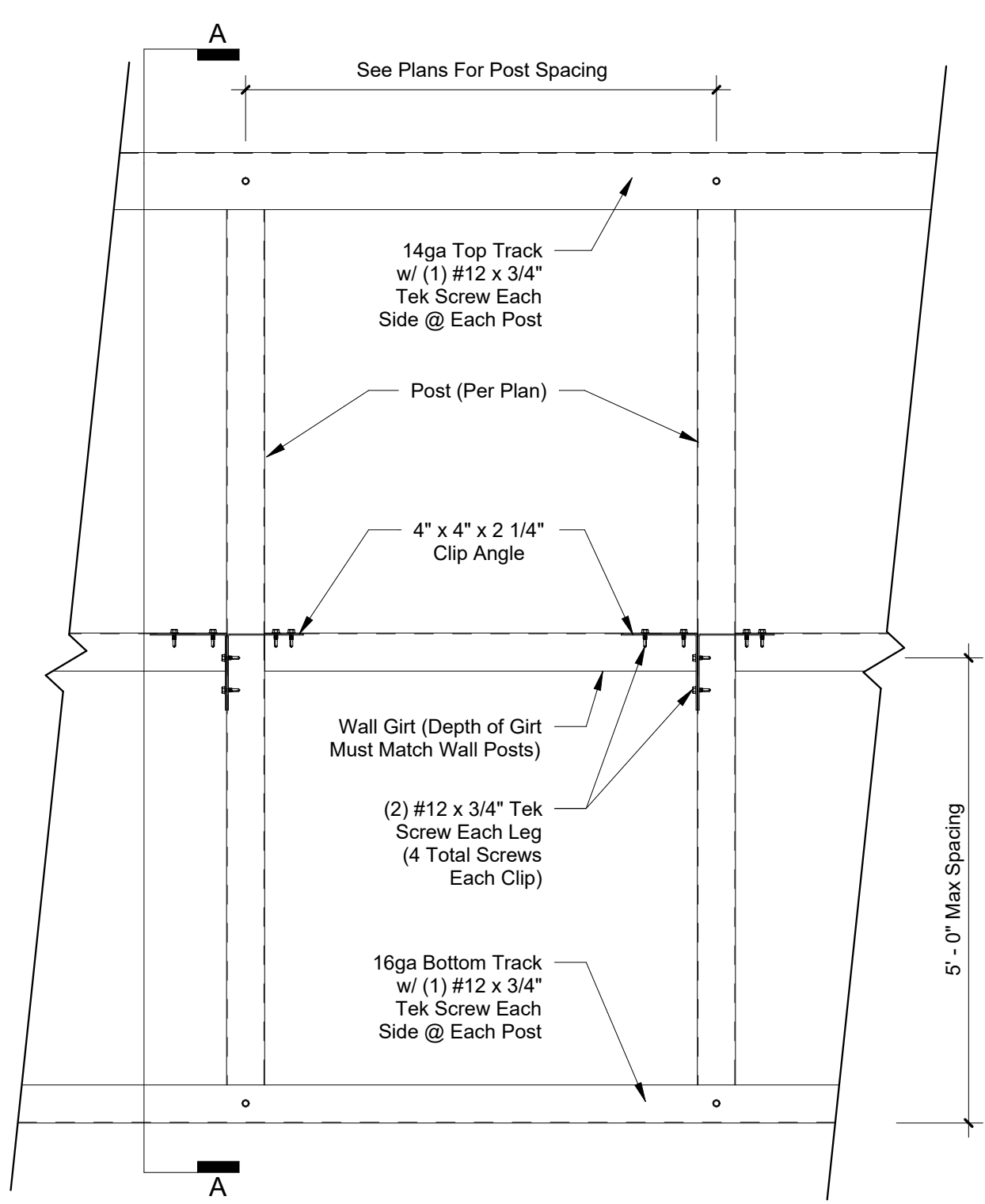
5 Pier Wrap Detail - Half Pier
1 1/2" = 1'-0"



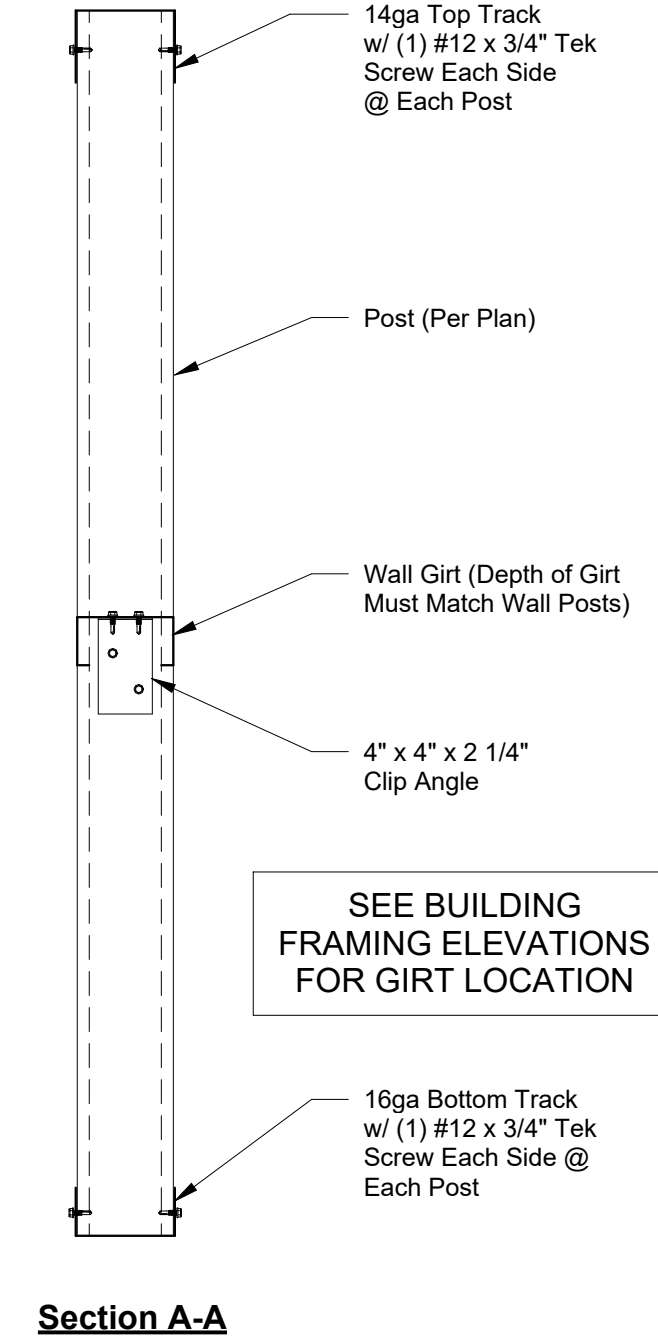
3 Partition Top Flashing Detail (Top Level / Single Story)
1" = 1'-0"



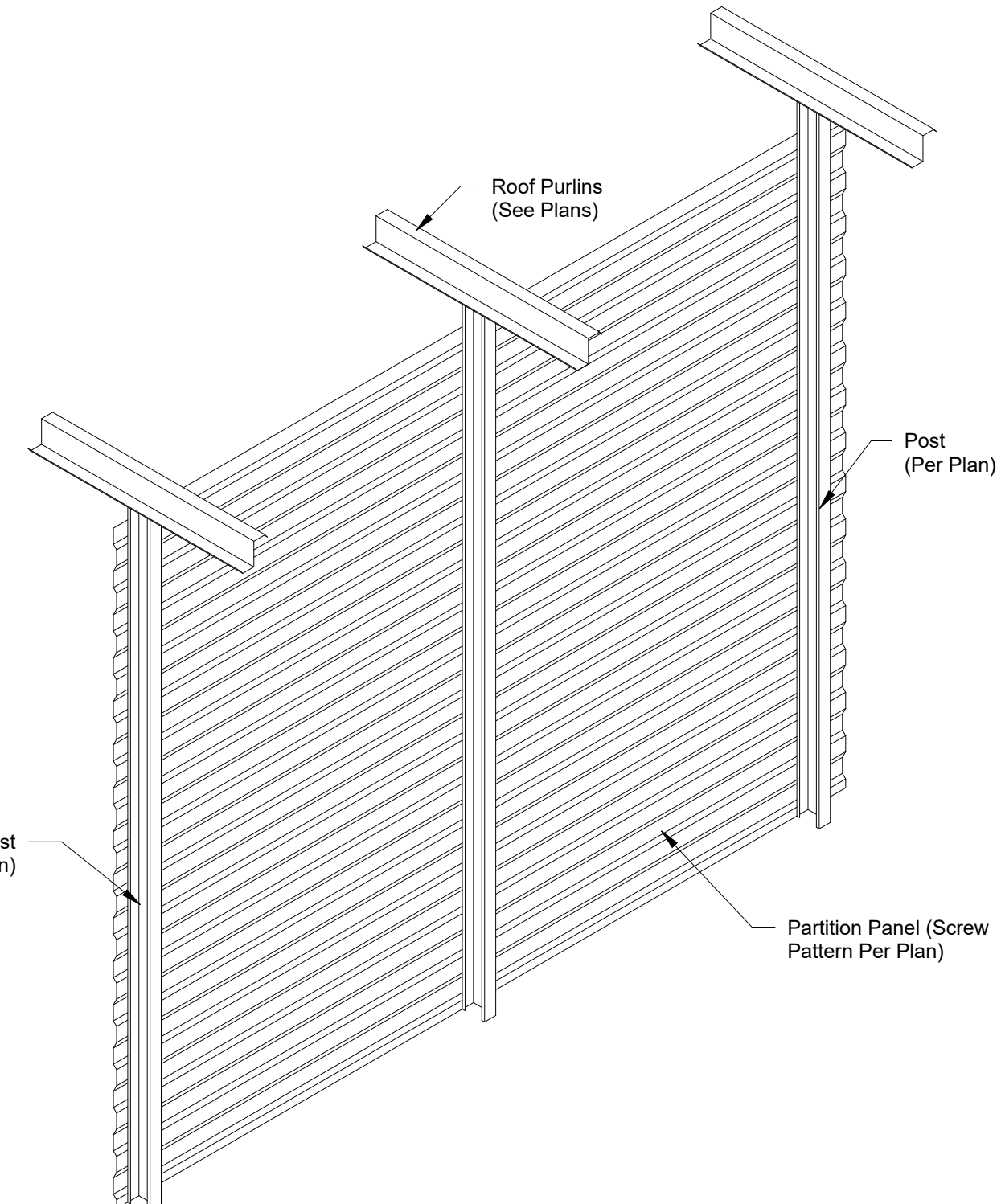
6 Partition Top Flashing W Backlap Detail (Top Level / Single Story)
1" = 1'-0"



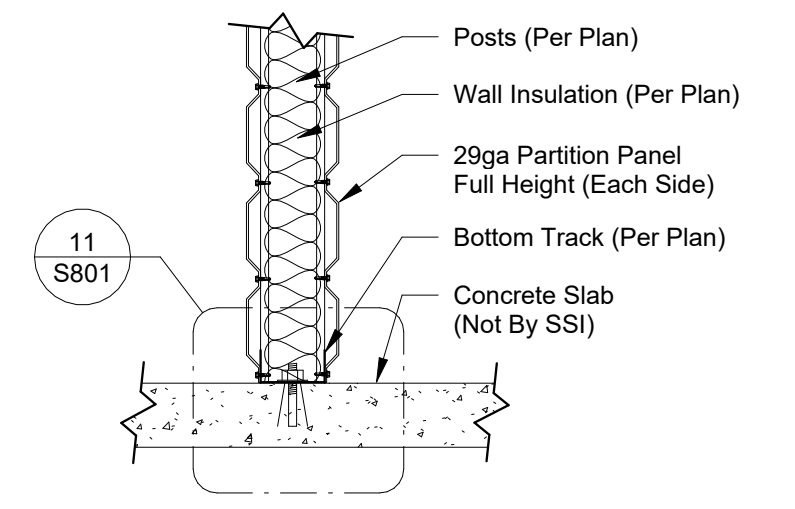
2 Exterior Mid-Wall Girt Framing
1 1/2" = 1'-0"



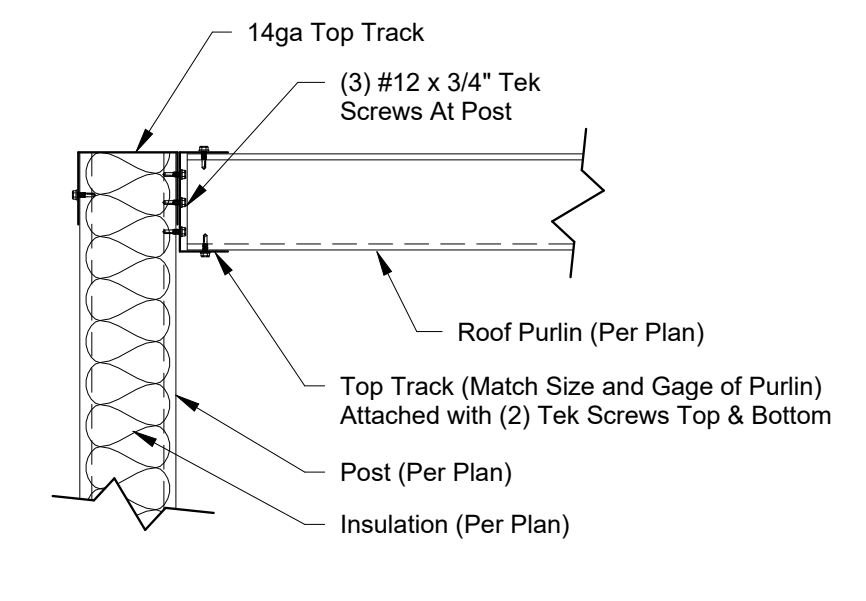
Section A-A



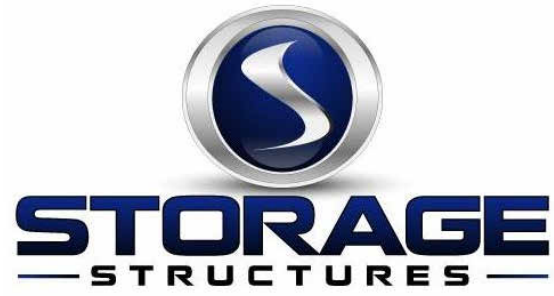
9 Partition Wall
1/2" = 1'-0"



10 Insulated Partition
1" = 1'-0"



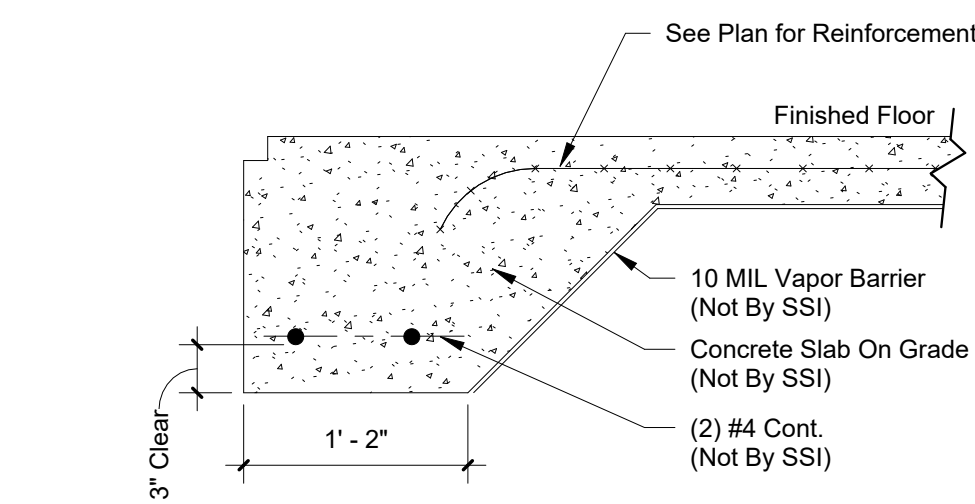
11 Purlin Connection To Framed End Wall
1 1/2" = 1'-0"



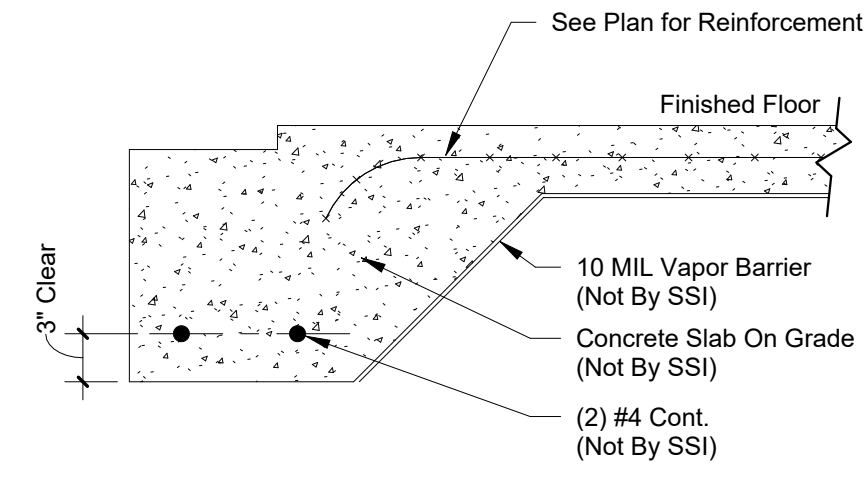
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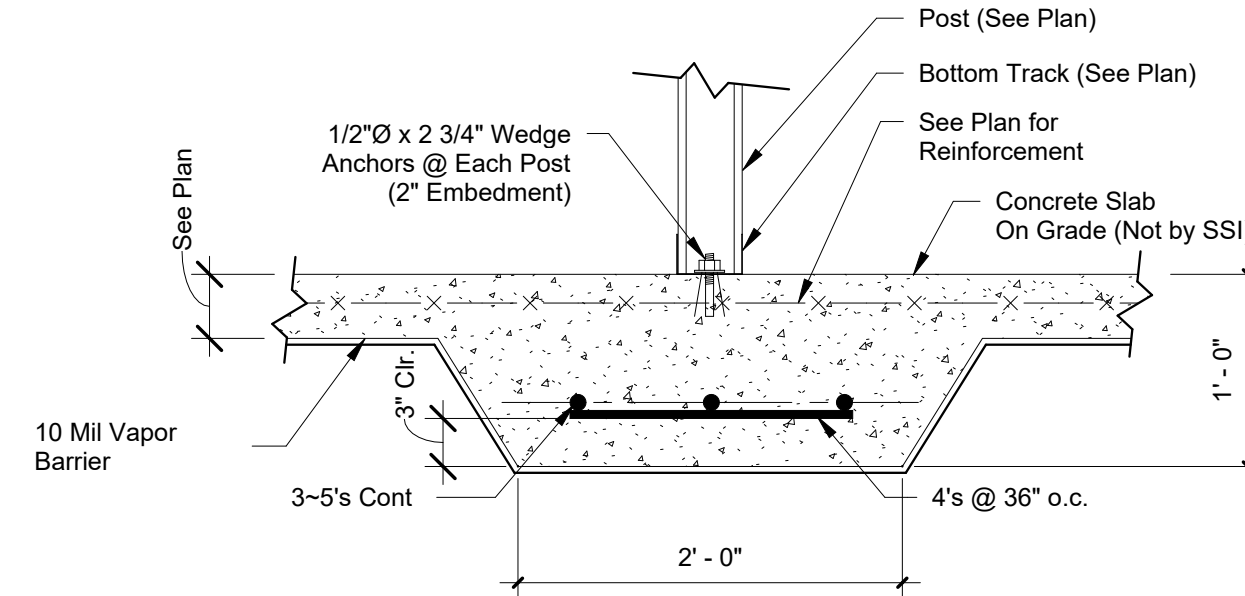
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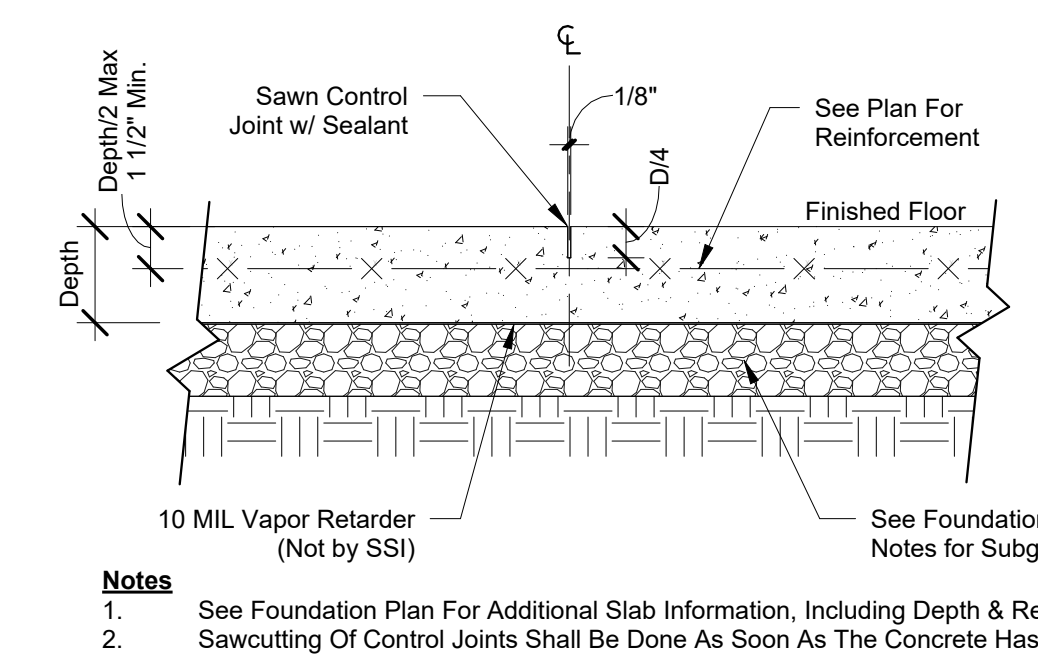
1 Turn Down Footing with Sheeting Notch
1" = 1'-0"



2 Turn Down Footing with Weather Ledge
1" = 1'-0"

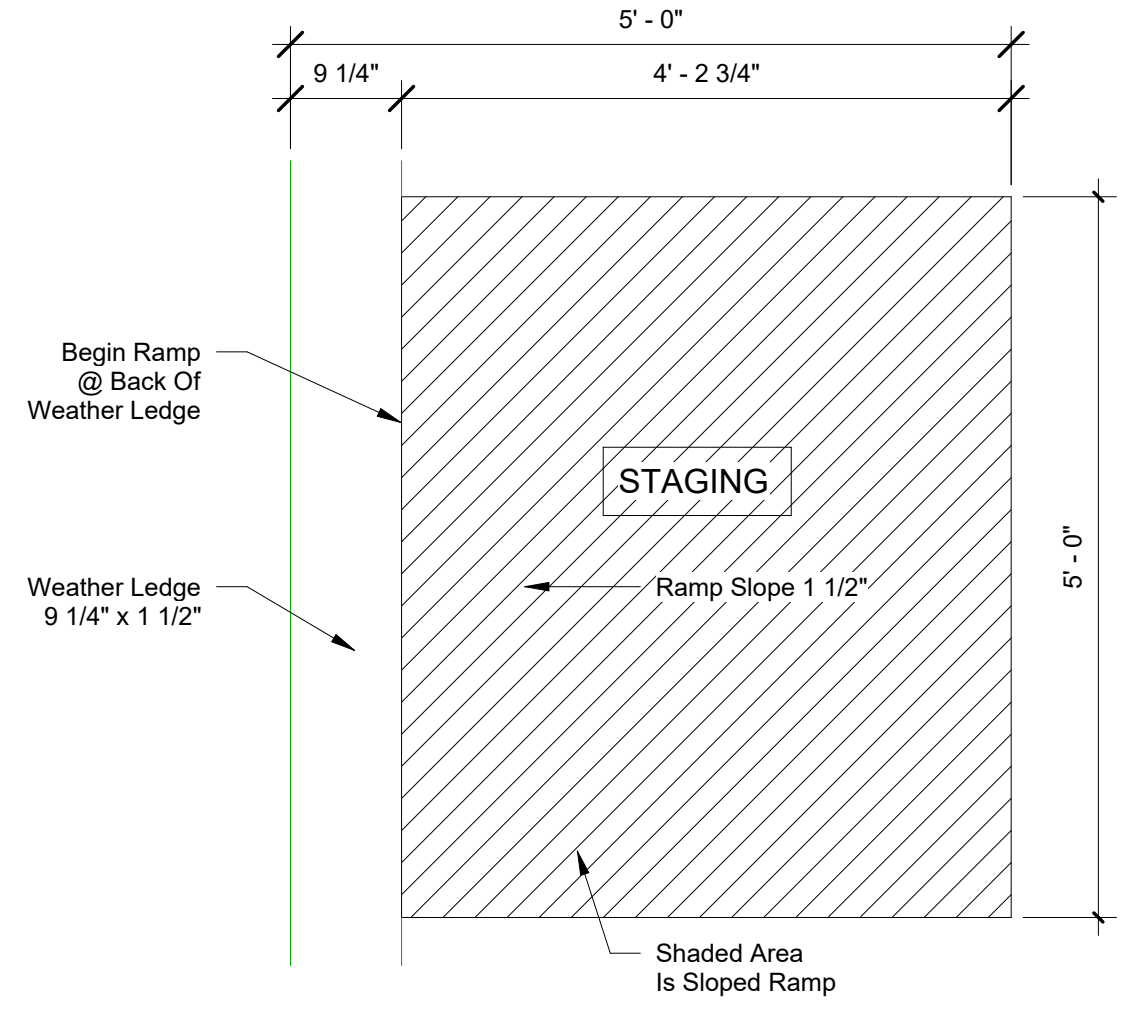


3 Thickened Slab Design @ Load Bearing Wall
1" = 1'-0"

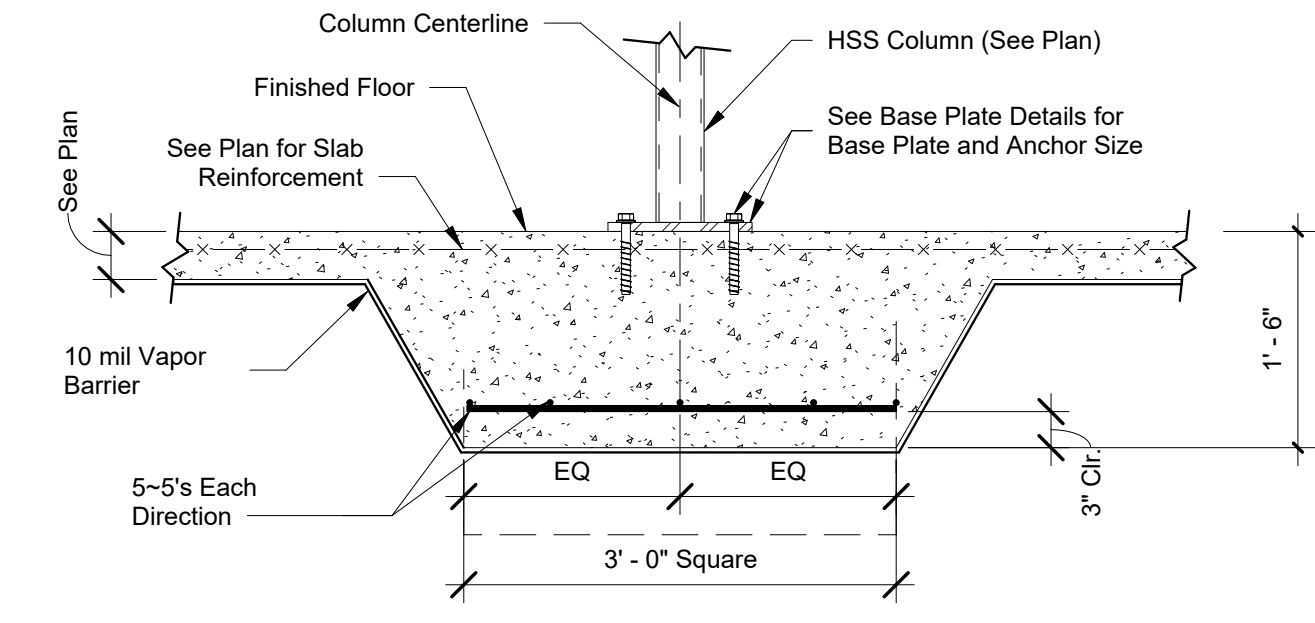


Notes
1. See Foundation Plan For Additional Slab Information, Including Depth & Reinforcing. Sawcutting Of Control Joints Shall Be Done As Soon As The Concrete Has Hardened Sufficiently To Permit Cutting Without Chipping, Spalling Or Tearing But Not More Than 8 Hours After Casting.
2. Contractor May Elect To Sawcut Any CJ's As Indicated On Plan.
3.

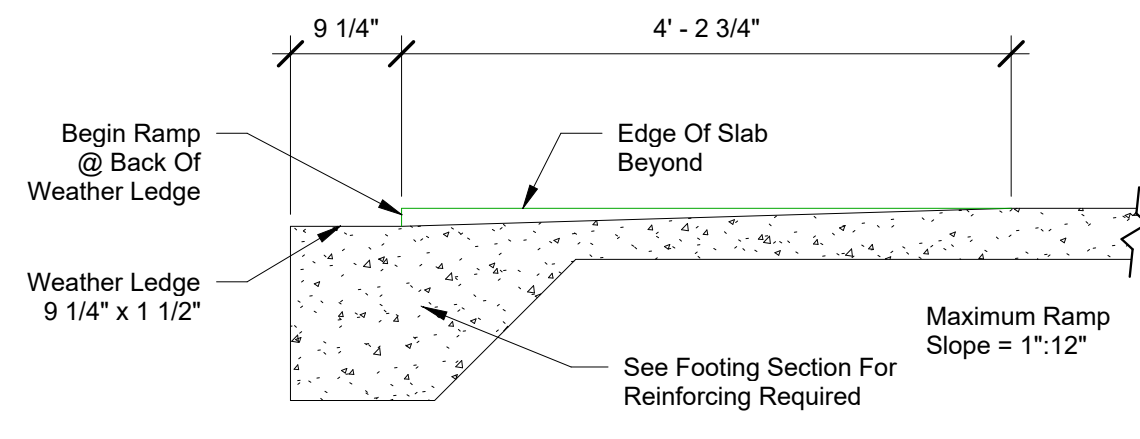
4 Control Joint @ Slab On Grade
1 1/2" = 1'-0"



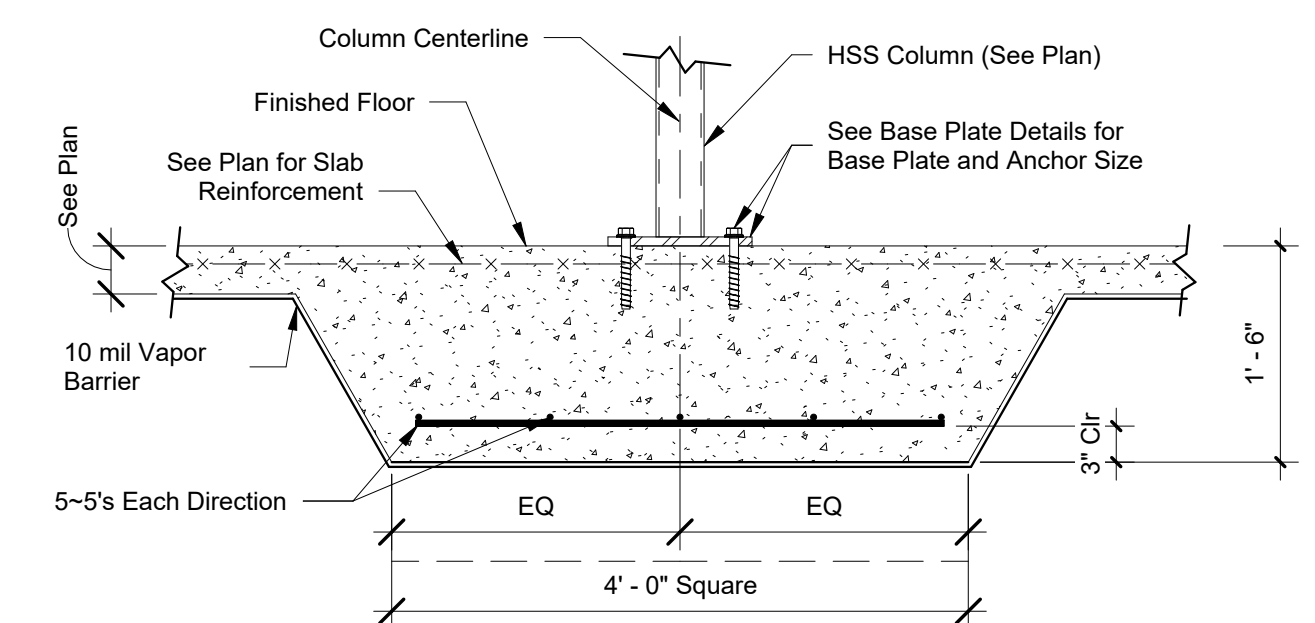
5 Entry Ramp (Weather Ledge)
3/4" = 1'-0"



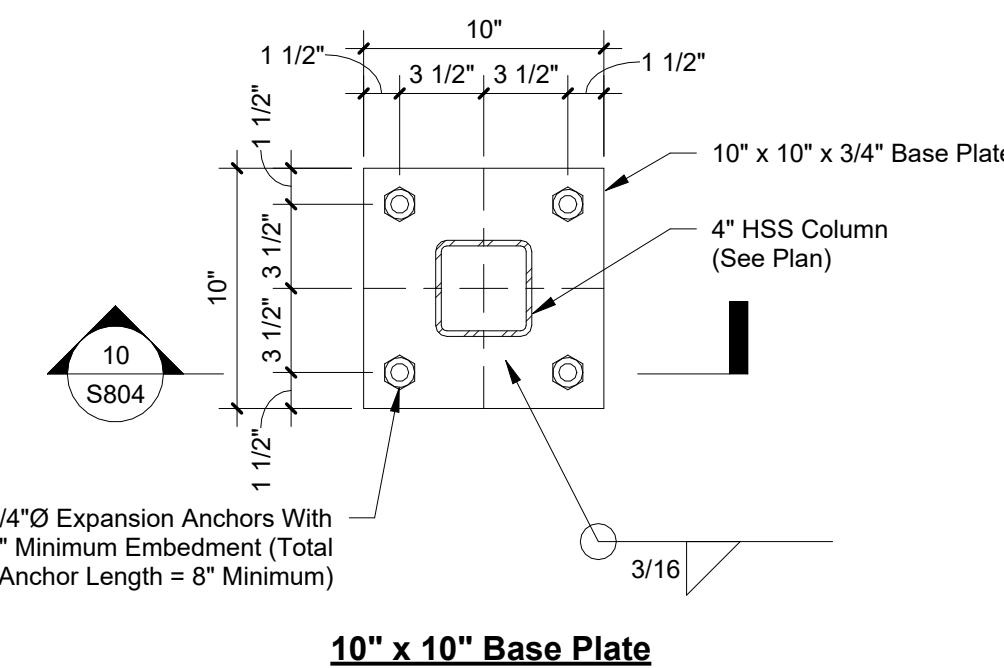
11 Column Footing @ F.F.E. Foundation B
3/4" = 1'-0"



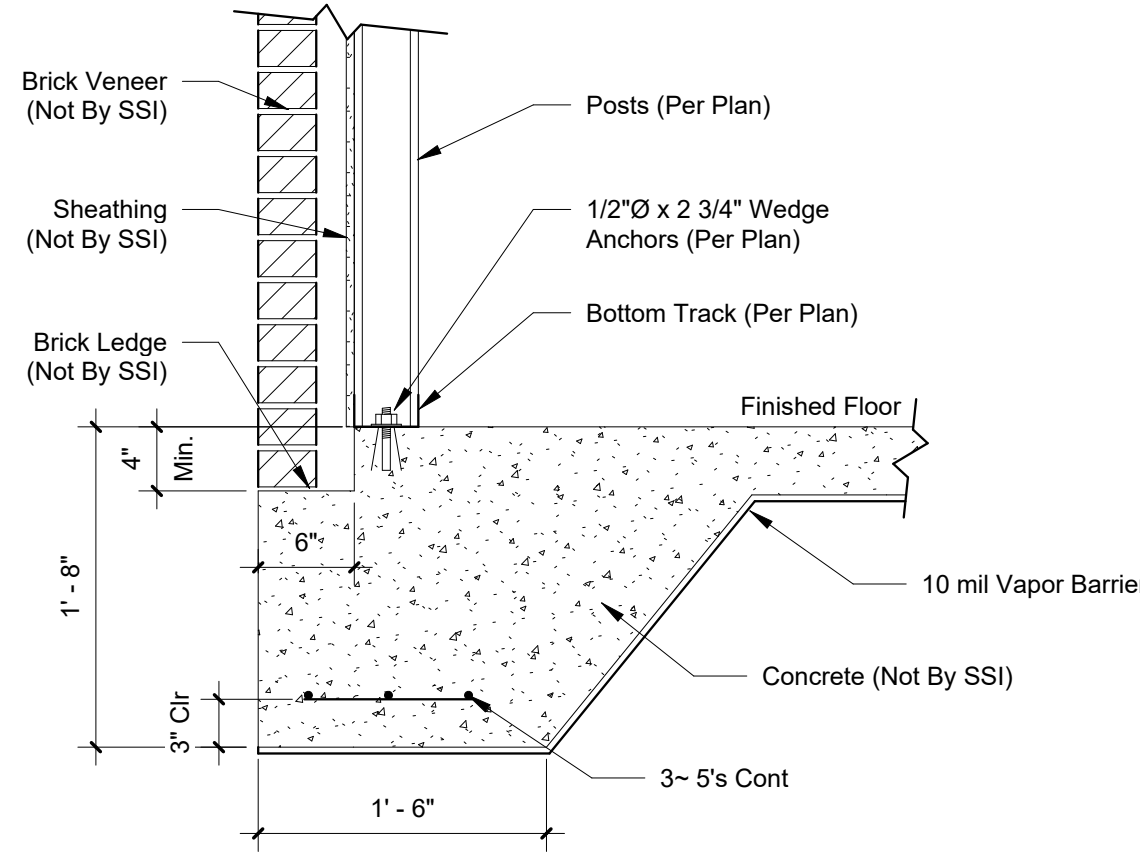
5 Entry Ramp (Weather Ledge)
3/4" = 1'-0"



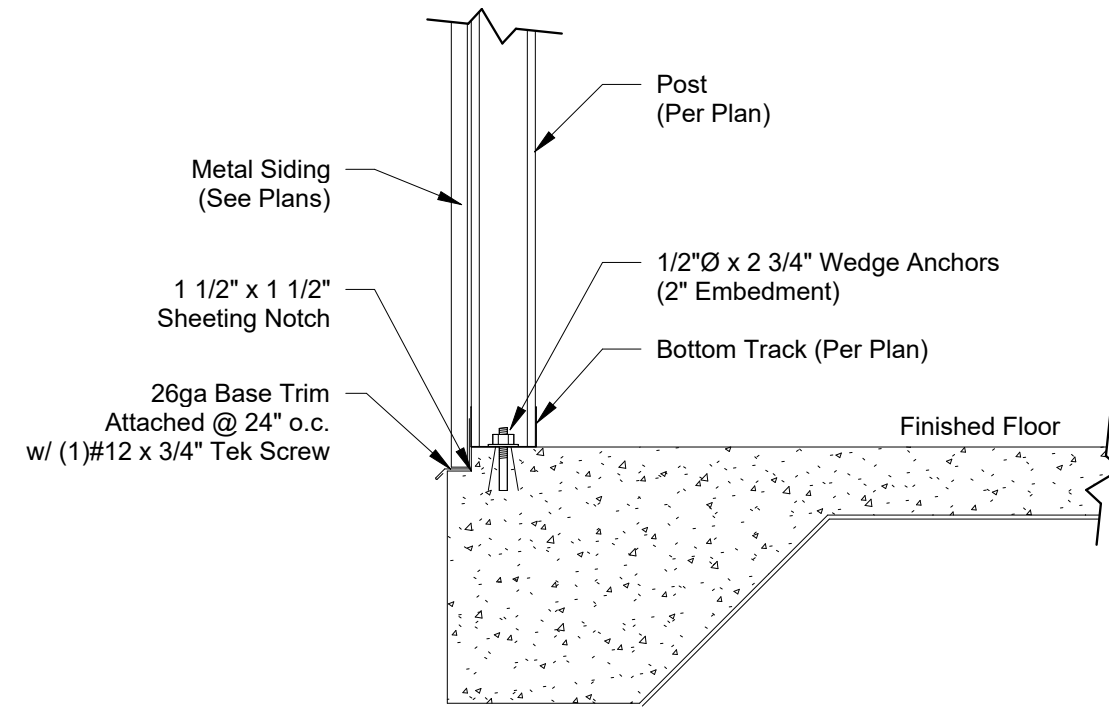
6 Column Footing @ F.F.E. Foundation A
3/4" = 1'-0"



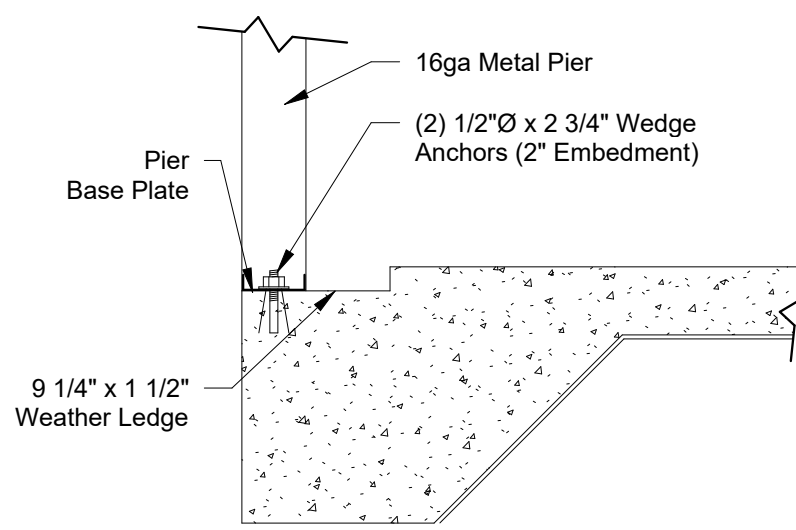
7 Base Plate Details (Recessed)
1 1/2" = 1'-0"



8 Brick Ledge (Foundation Design Not By SSI)
1" = 1'-0"



9 Sheeting Notch
1" = 1'-0"



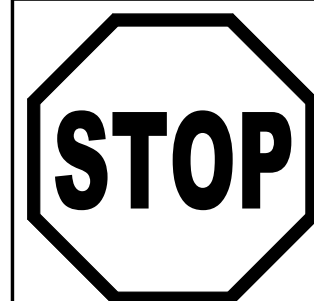
10 Weather Ledge
1" = 1'-0"

Rev. #	Revision Date	Revision Description

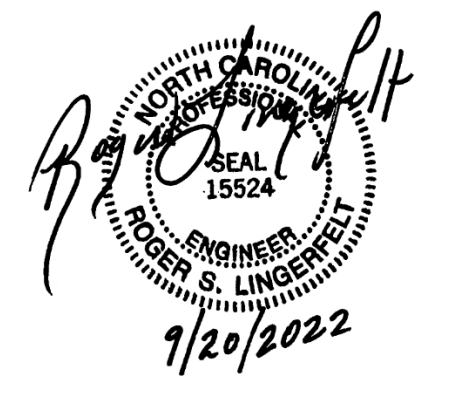
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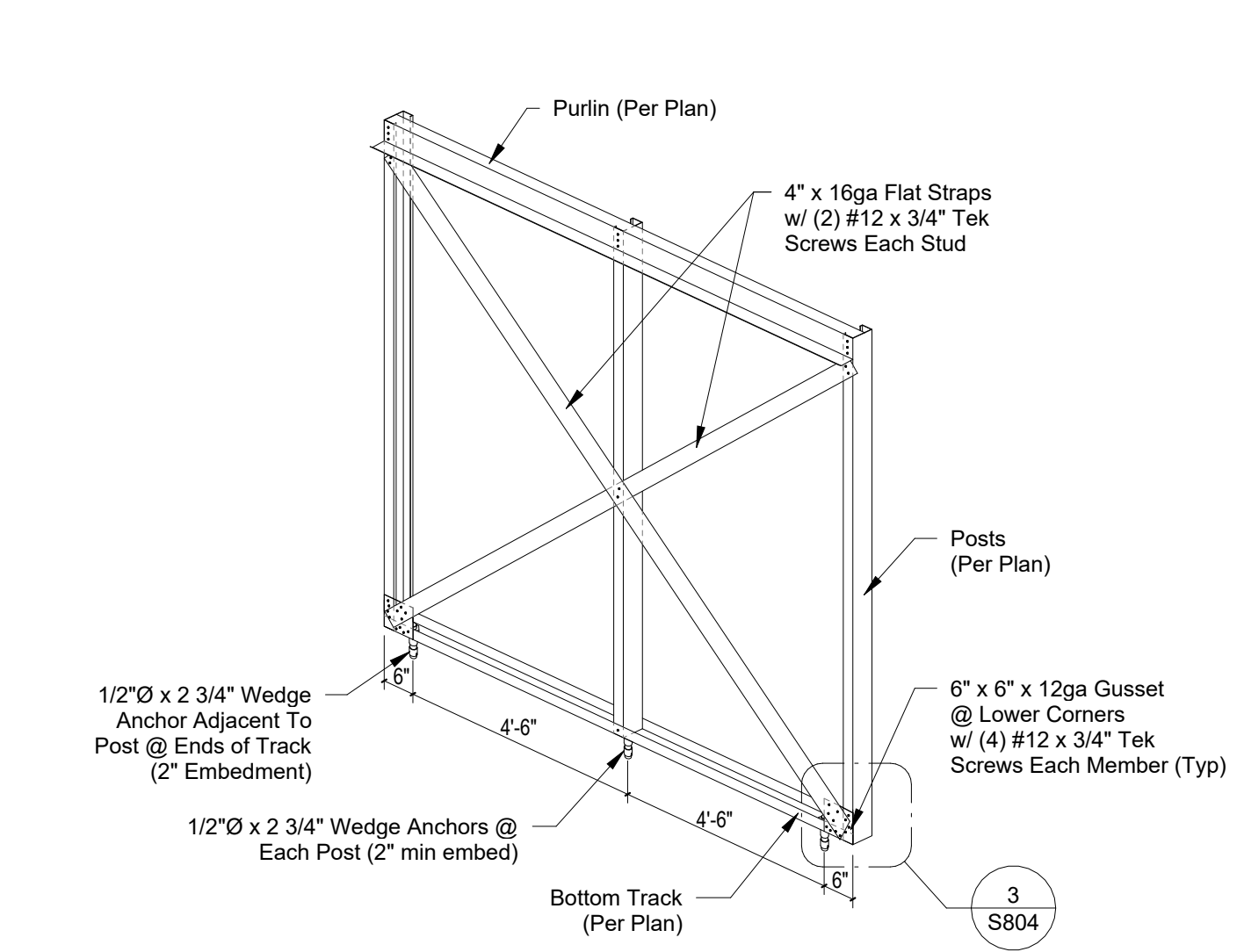
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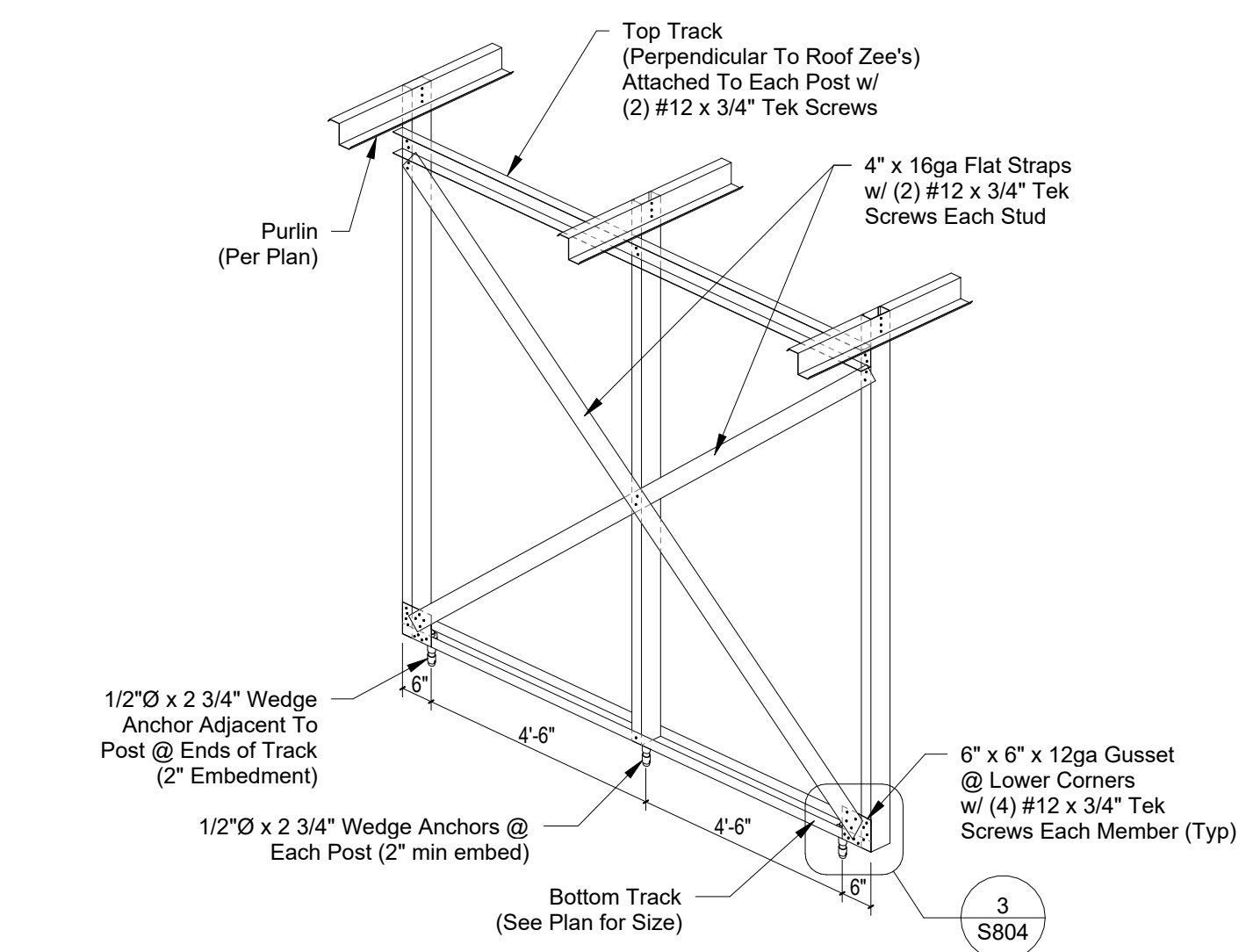
S803
Foundations Details

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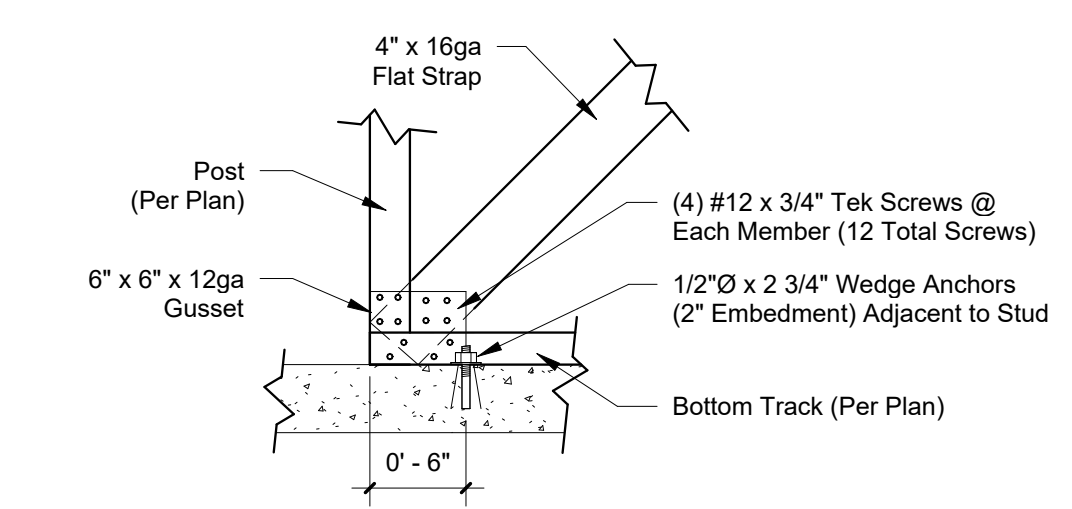
Rev. #	Revision Date	Revision Description



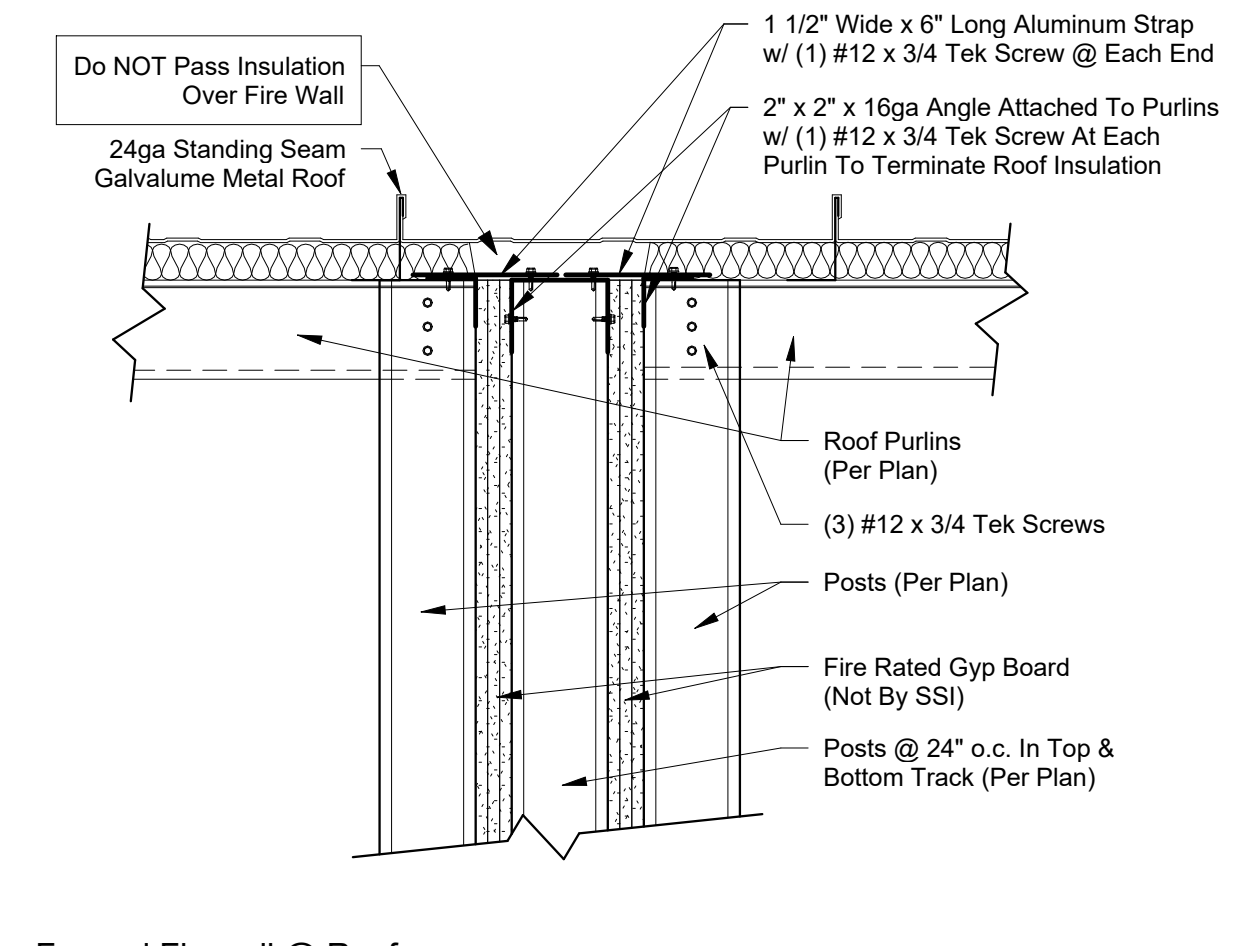
1 X-Bracing (Parallel to Roof Zee's)
3/8" = 1'-0"



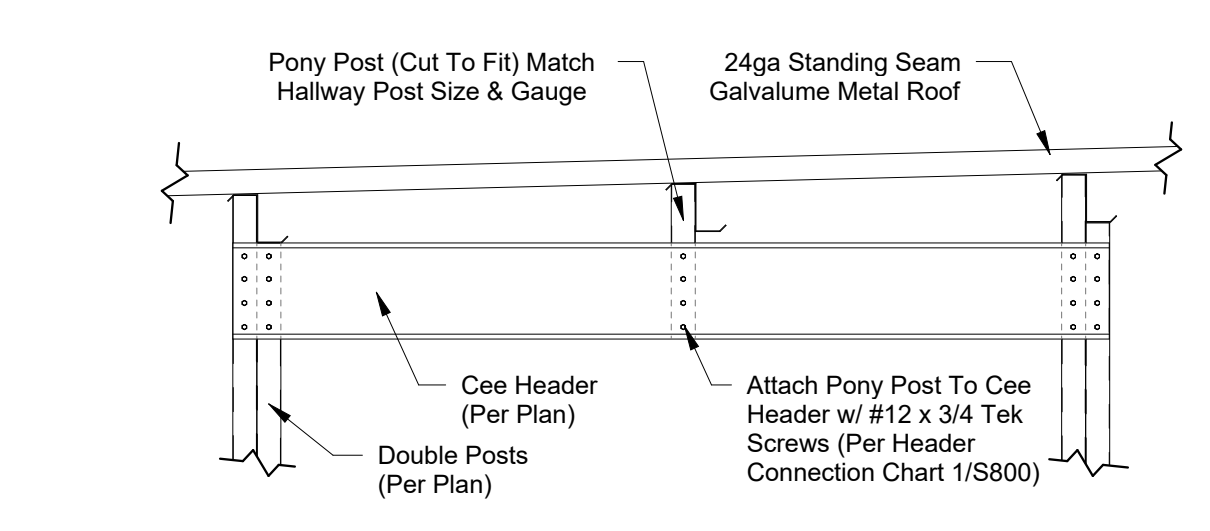
2 X-Bracing (Perpendicular to Roof Purlins)
3/8" = 1'-0"



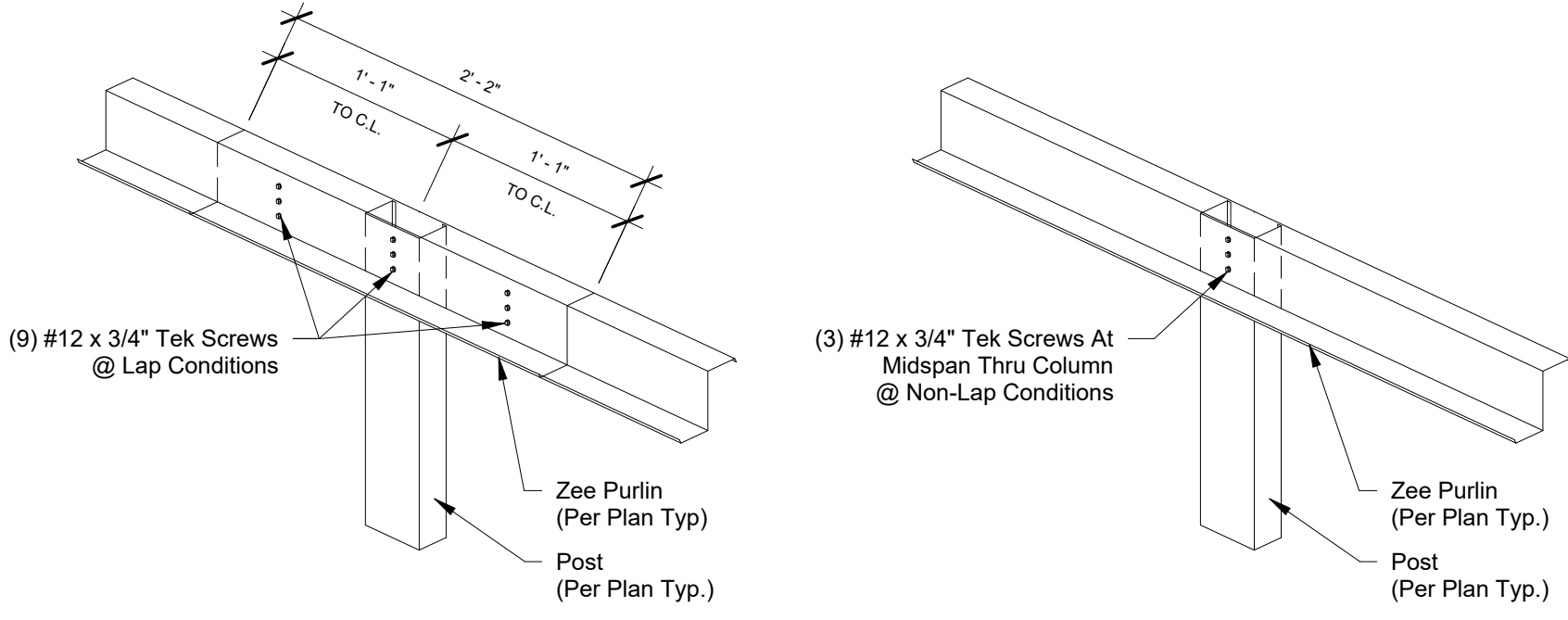
3 X-Bracing Gusset
1" = 1'-0"



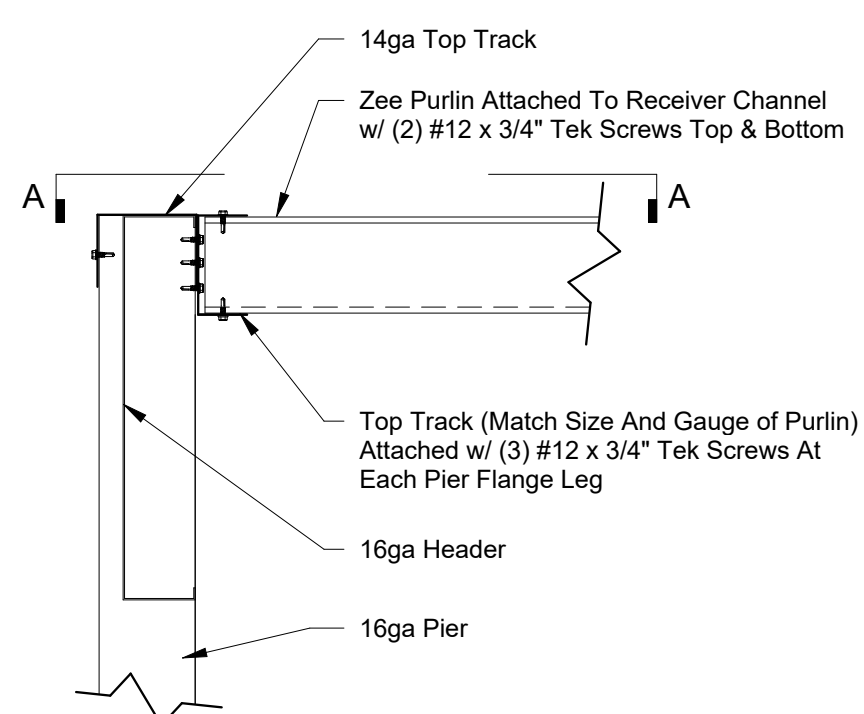
11 Framed Firewall @ Roof
1 1/2" = 1'-0"



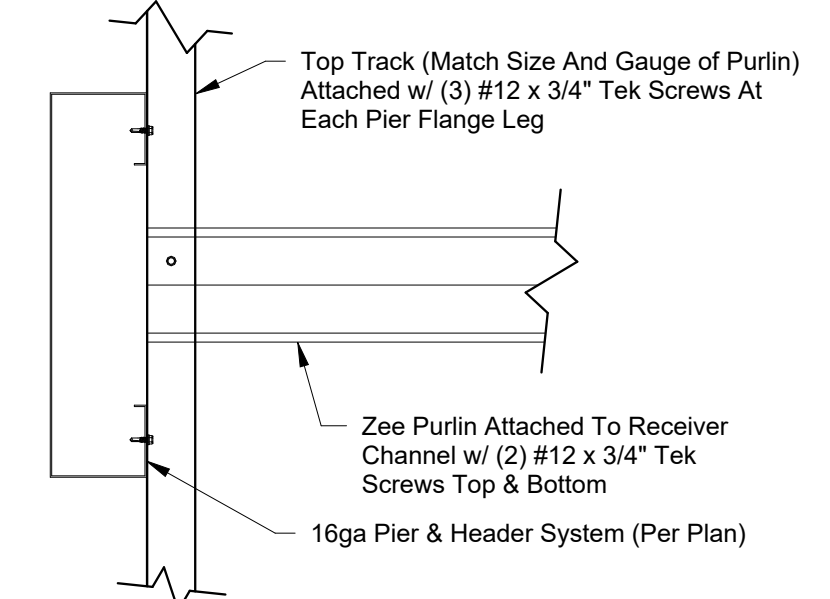
4 Pony Post to Purlin
3/4" = 1'-0"



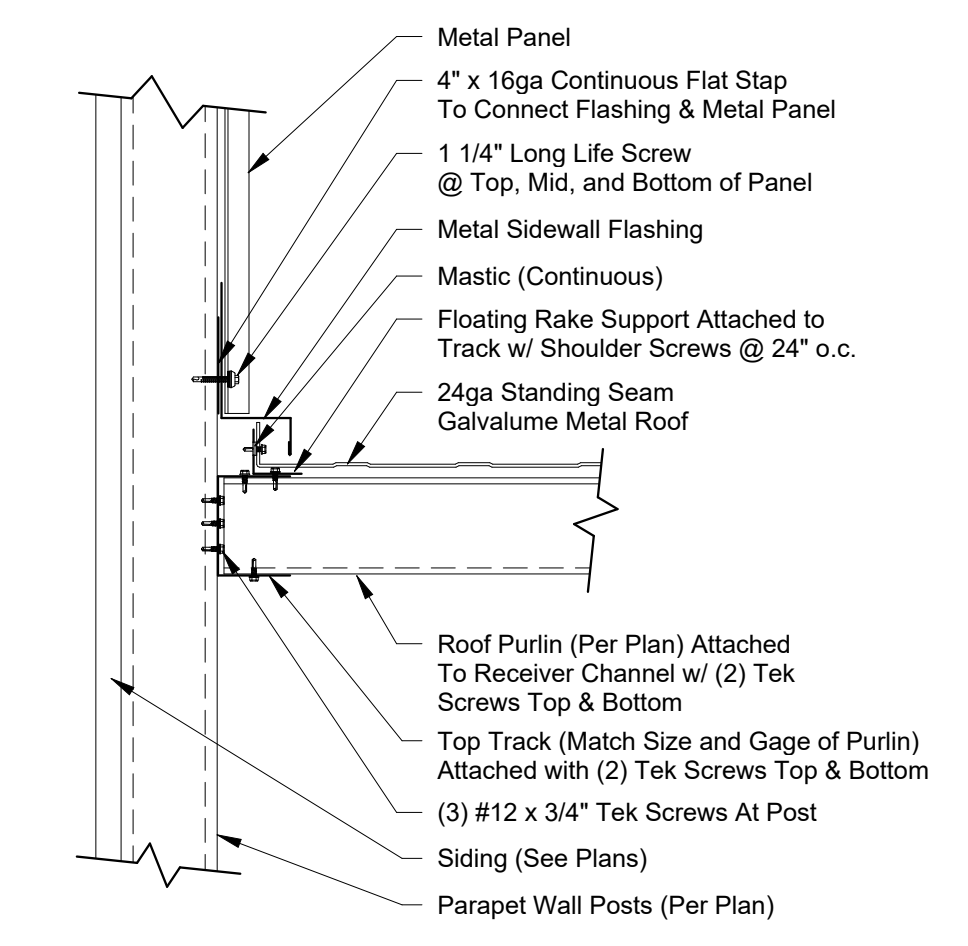
5 Purlin To Post Connection
1" = 1'-0"



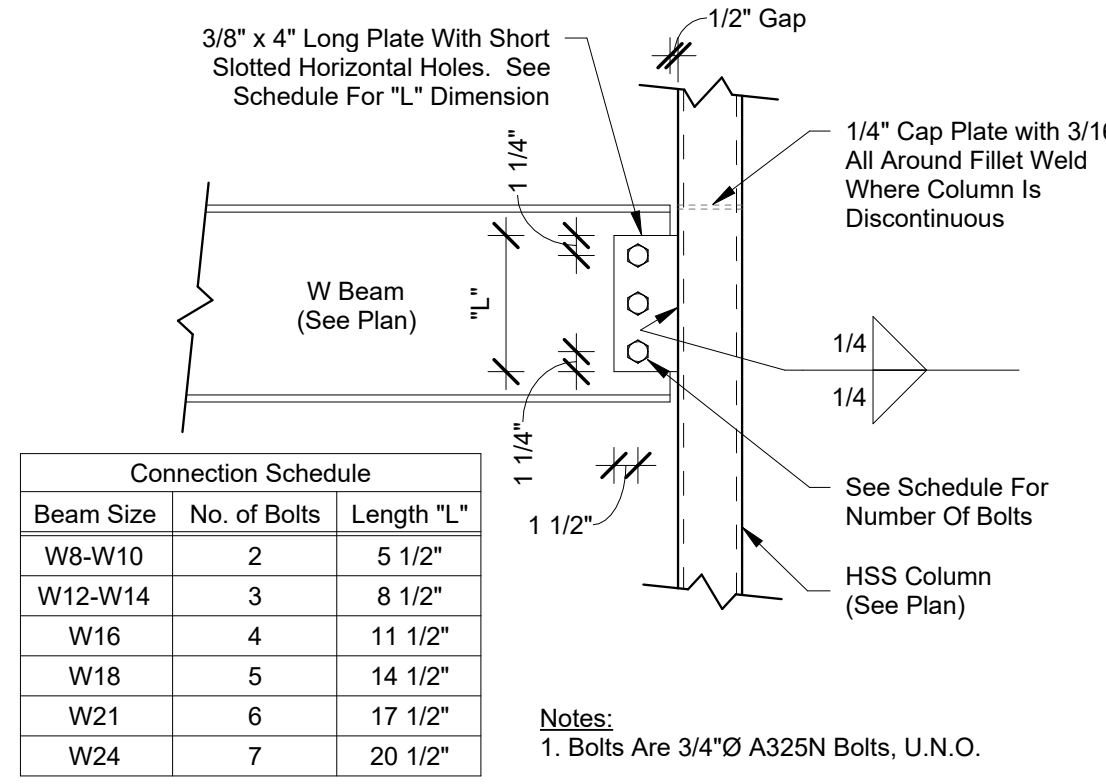
6 Purlin Connection To Header At End Wall
1 1/2" = 1'-0"



Section A-A



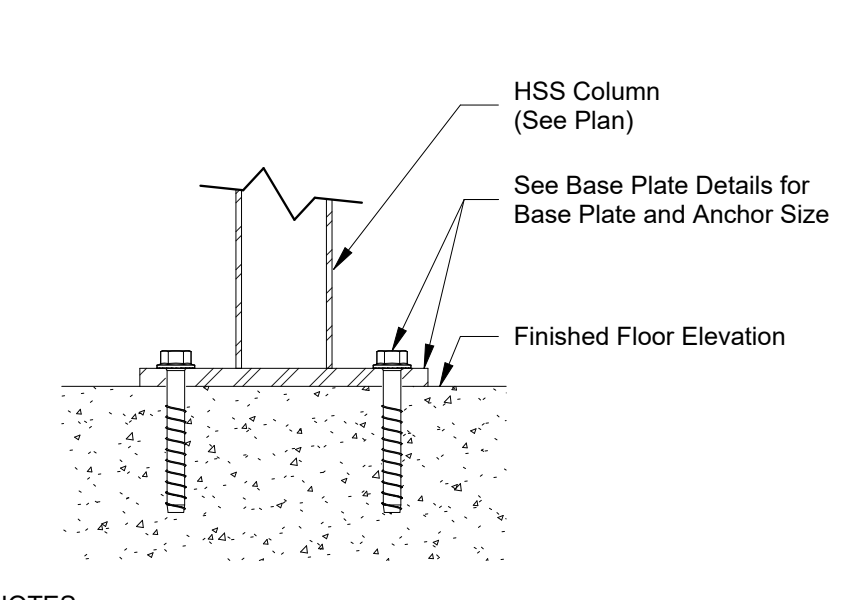
7 Purlin Connection To Parapet End Wall
1 1/2" = 1'-0"



Beam Size	No. of Bolts	Length "L"
W8-W10	2	5 1/2"
W12-W14	3	8 1/2"
W16	4	11 1/2"
W18	5	14 1/2"
W21	6	17 1/2"
W24	7	20 1/2"

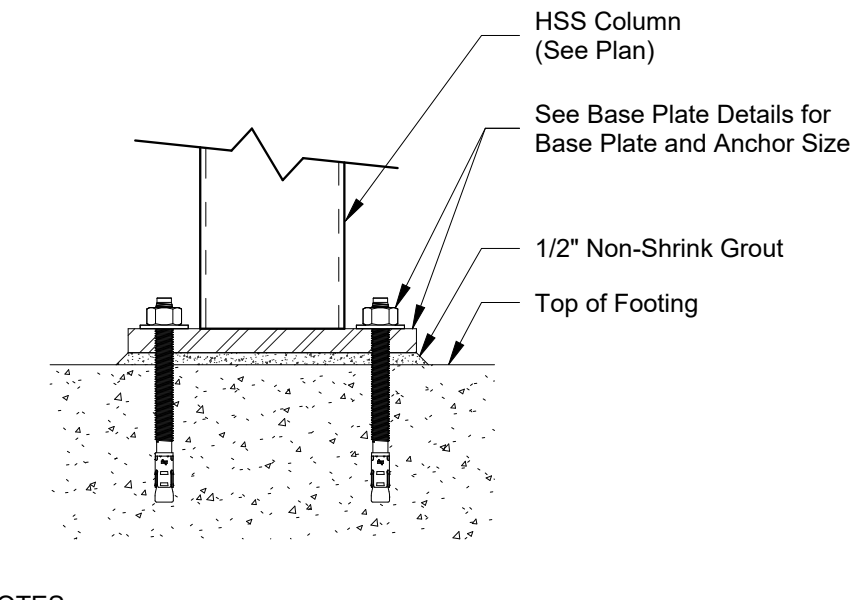
Notes:
1. Bolts Are 3/4\"/>

8 Beam to HSS Column Connection
1" = 1'-0"



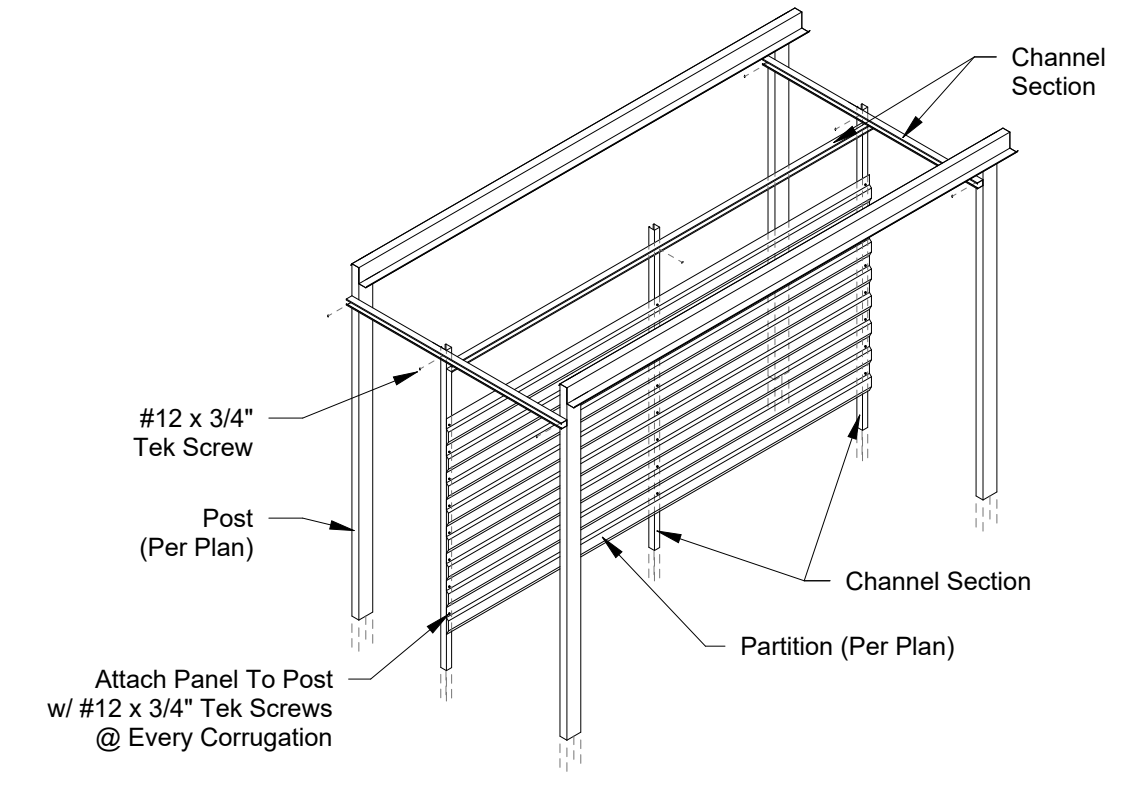
Notes:
1. Provide Anchor Rod Holes Conforming to Table 14-2 in AISC Steel Construction Manual

9 F.F.E. Base Plate
1 1/2" = 1'-0"



Notes:
1. Provide Anchor Rod Holes Conforming to Table 14-2 in AISC Steel Construction Manual

10 Grouted Base Plate Assembly
1 1/2" = 1'-0"



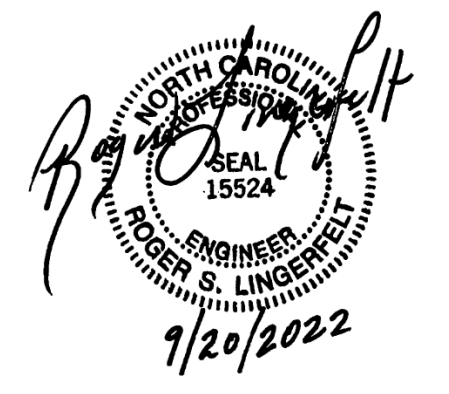
12 Offset Partition Wall
1/4" = 1'-0"

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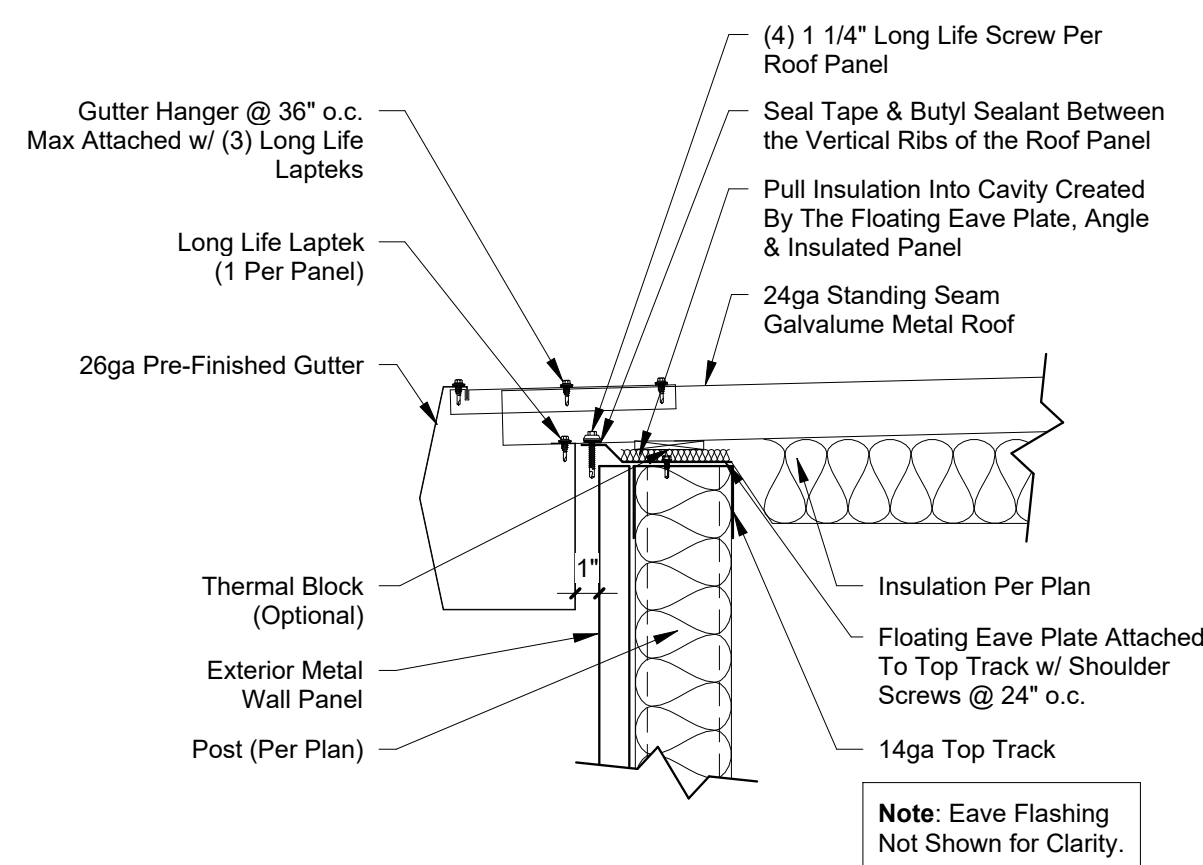


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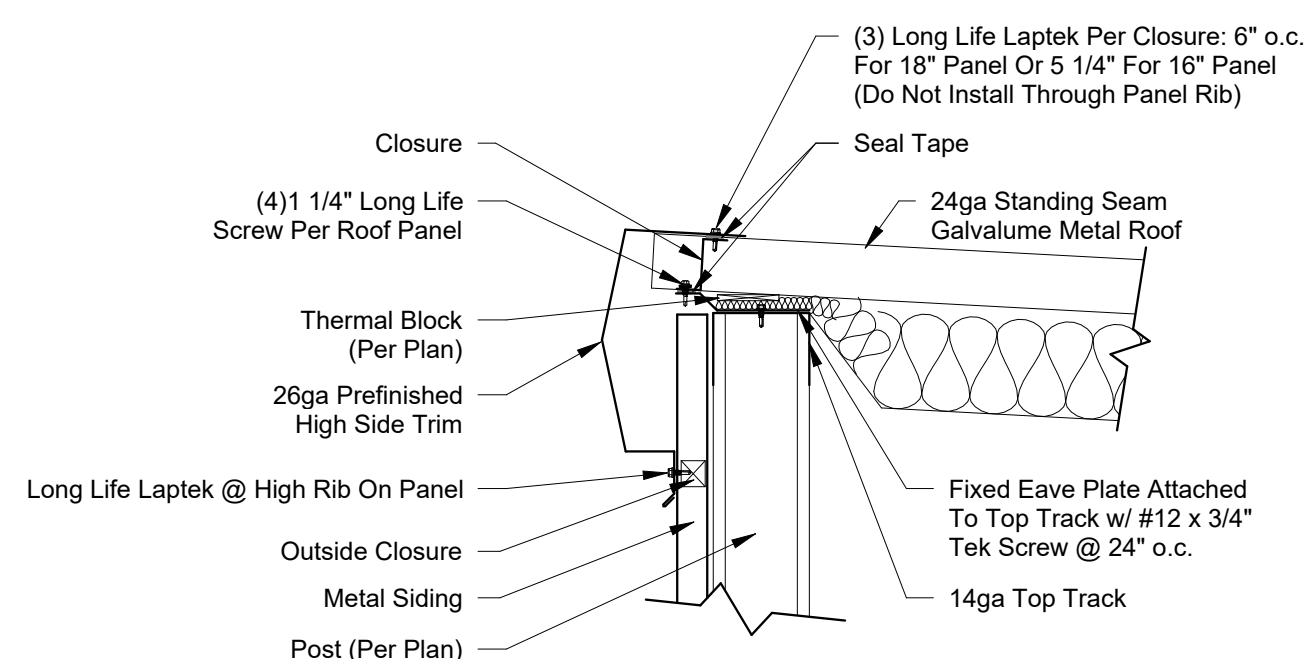
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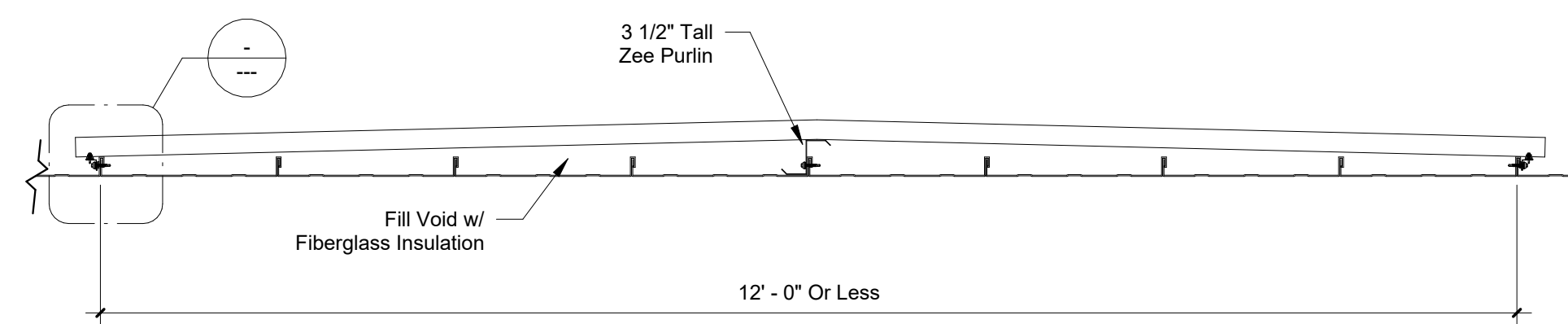
Rev. #	Revision Date	Revision Description



1 Low Eave Installation - Metal Wall Panels
1 1/2" = 1'-0"

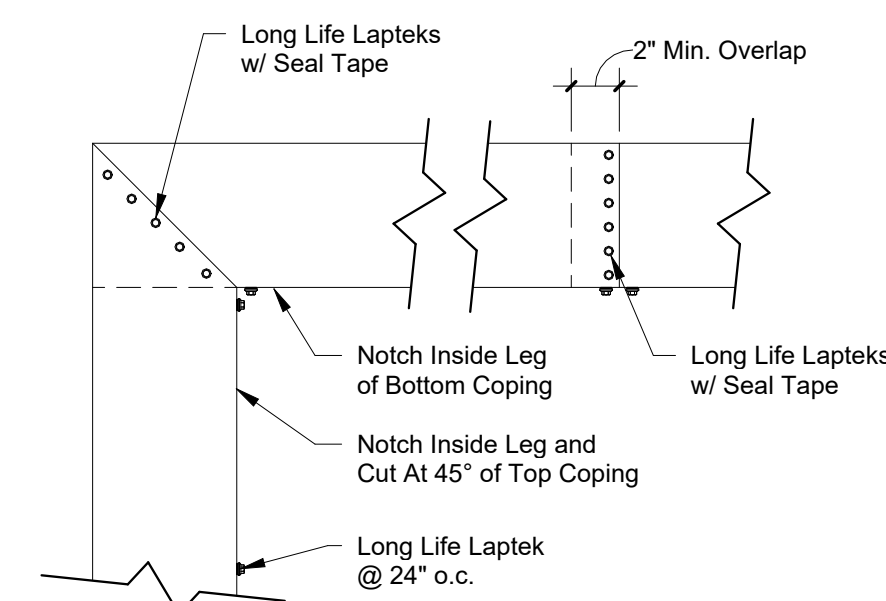


5 High Eave Installation (Metal Siding)
1 1/2" = 1'-0"

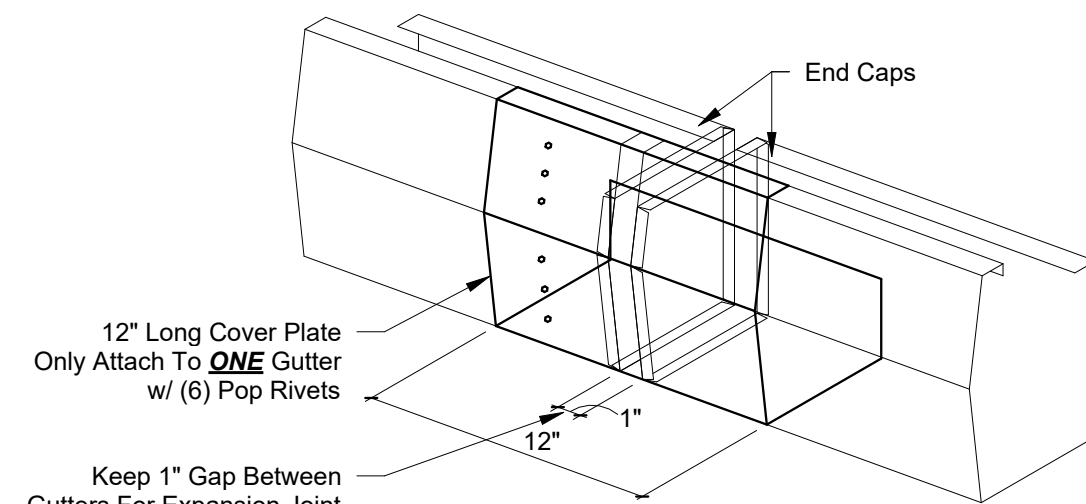


Notes:
1. Ensure All Surfaces Are Clean With No Debris Remaining.
2. All Work Is On The High Side Of The Roof Protrusion.
3. Panel Seams Must Overlap Downhill From The Roof Protrusion.
4. Crosshatch Panels Must Extend Up Under Either A Headwall Flashing Or Over A Ridge. If Extending Over The Ridge, The Crosshatch Panels Must Extend 5'-0" Beyond the Ridge.

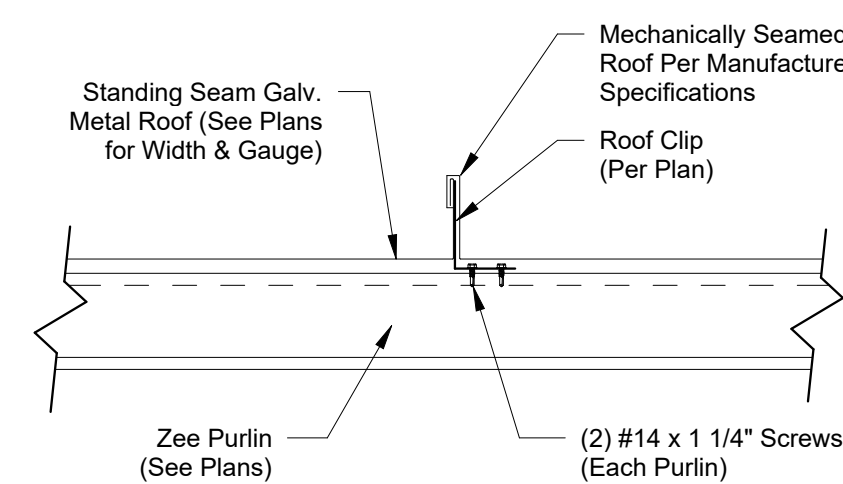
2 Roof Cross Hatch Panels (Up To 12' Wide)
3/4" = 1'-0"



3 Coping Connection Detail
1 1/2" = 1'-0"

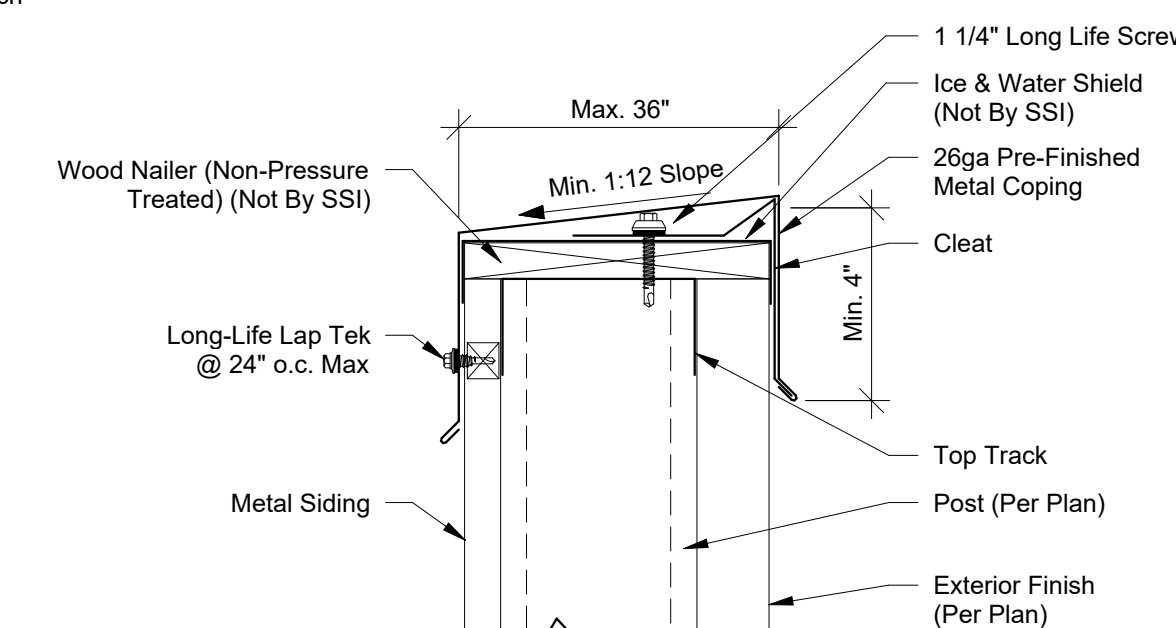


4 Gutter Expansion Joint
1 1/2" = 1'-0"



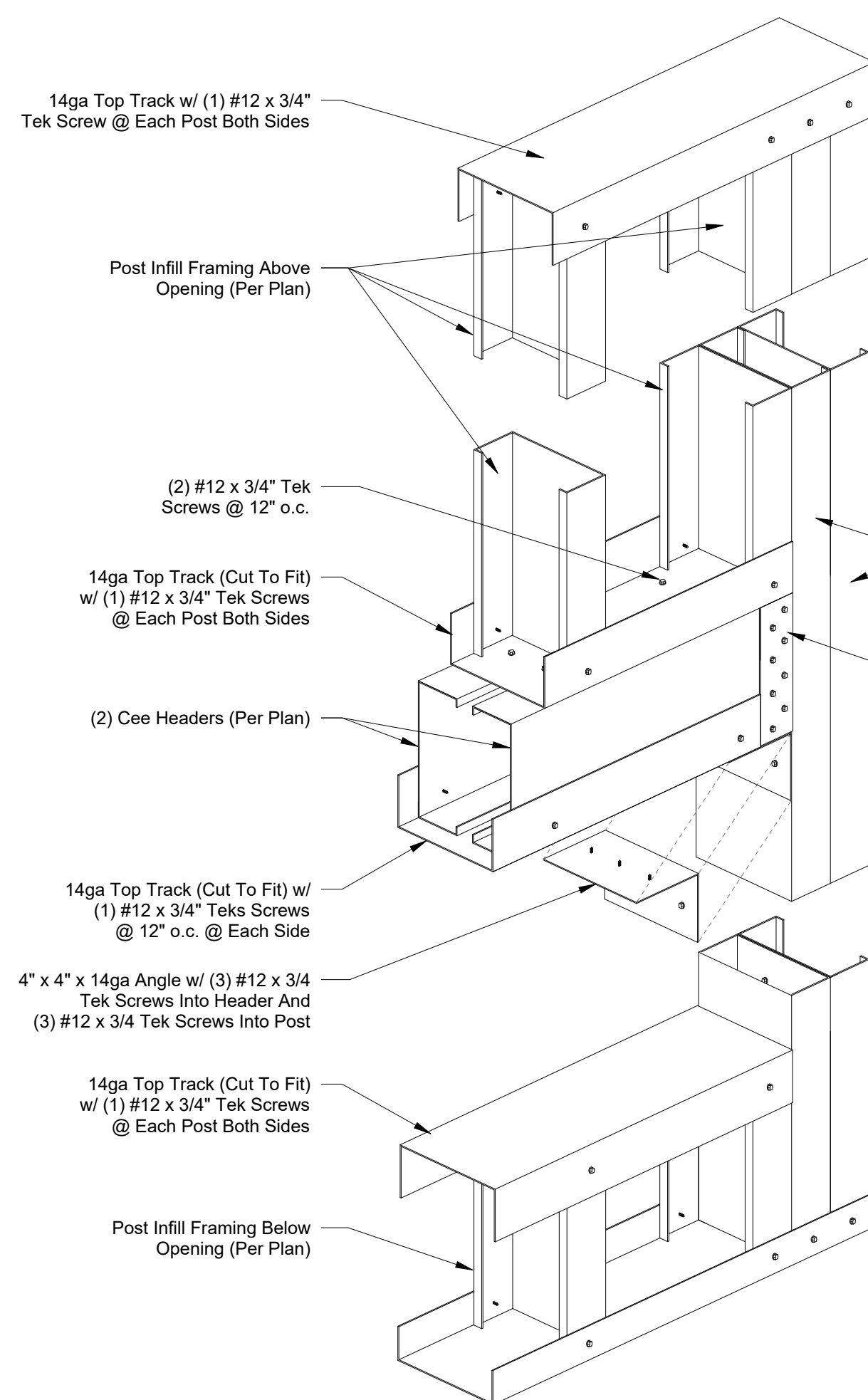
6 Roof Panel Clip
1 1/2" = 1'-0"

7 Standing Seam 18"
1 1/2" = 1'-0"

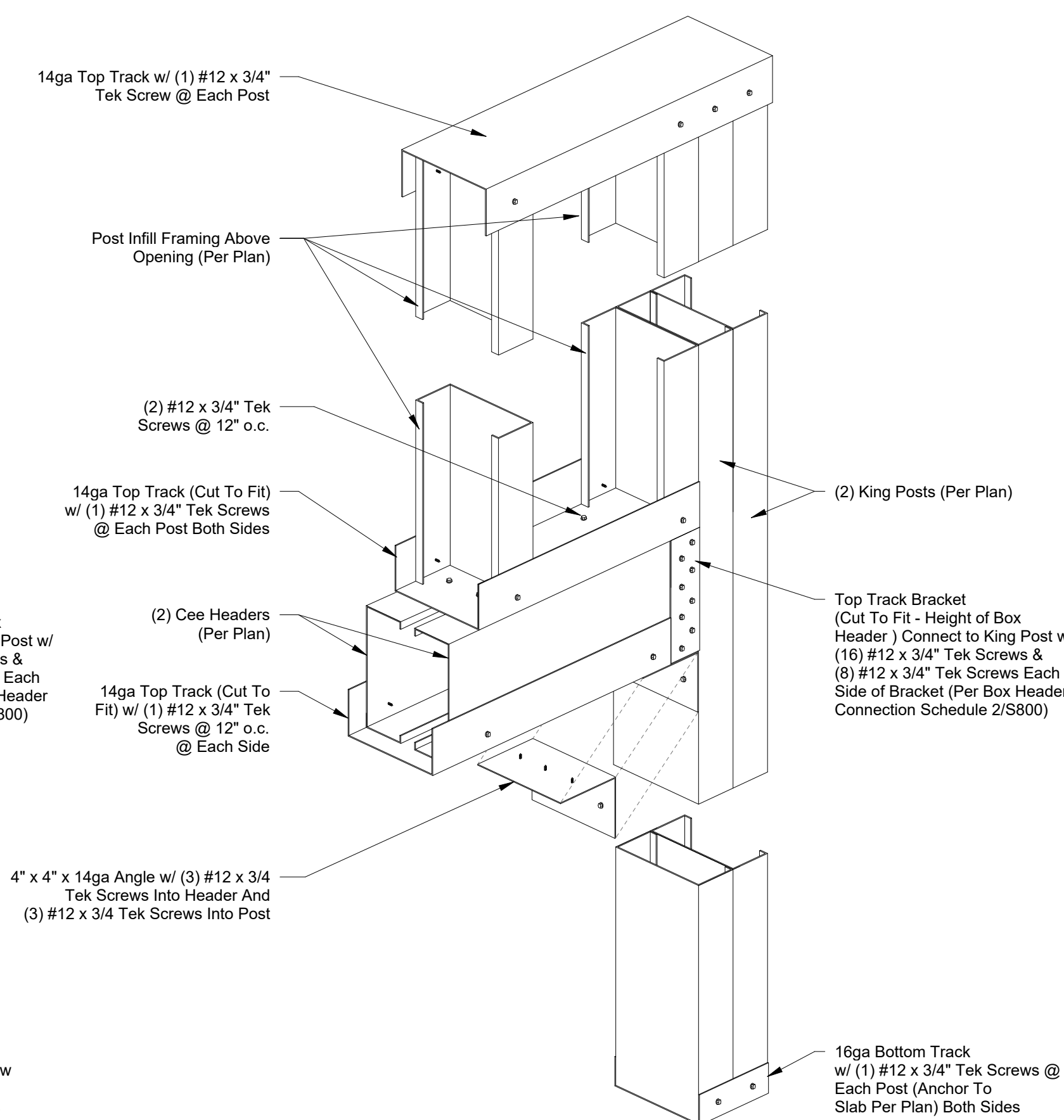


8 Metal Coping
3" = 1'-0"

Note: All Coping Must Be Field Measured After All Exterior Finishes and Ice and Water Shield Has Been Installed.



At Window Opening



At Doorway Opening

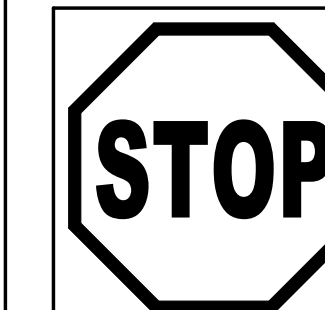
9 Exterior Box Header Connection
1 1/2" = 1'-0"

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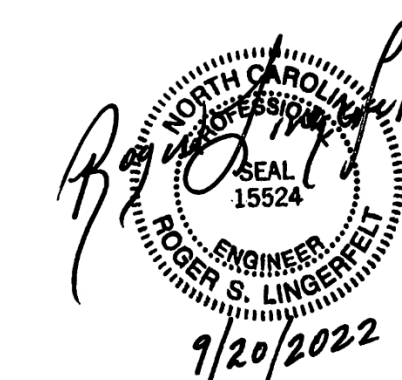
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Call (205) 234-4202
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SSI Project Number	1247
Issue Date	09-20-2022
Drawn By	Y.H
Checked By	AS
Engineered By	RSL

S805
Roof Details