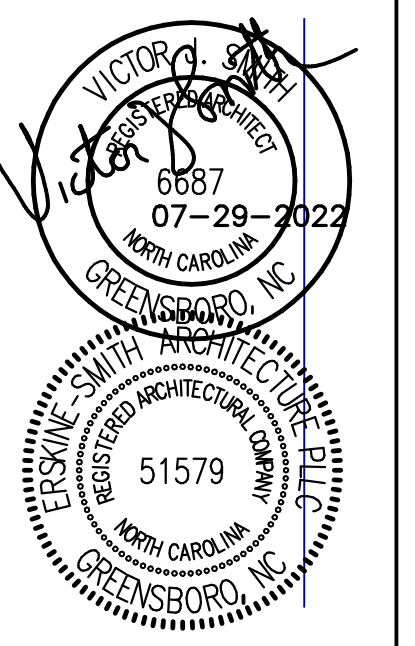
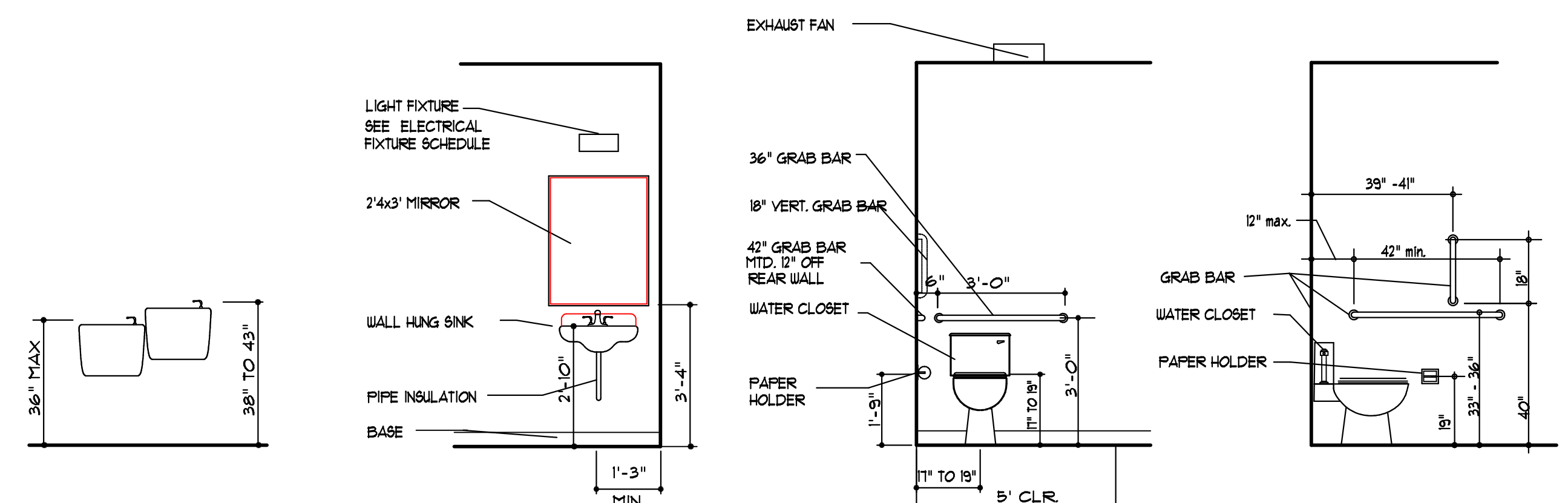


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# BUILDING 'A' NEW STORAGE FACILITY FOR HARNETT SELF STORAGE SPOUT SPRINGS, NC



**WATER FOUNTAIN**  
**SINK ELEVATION**  
**TYP. TOILET ELEVATION**

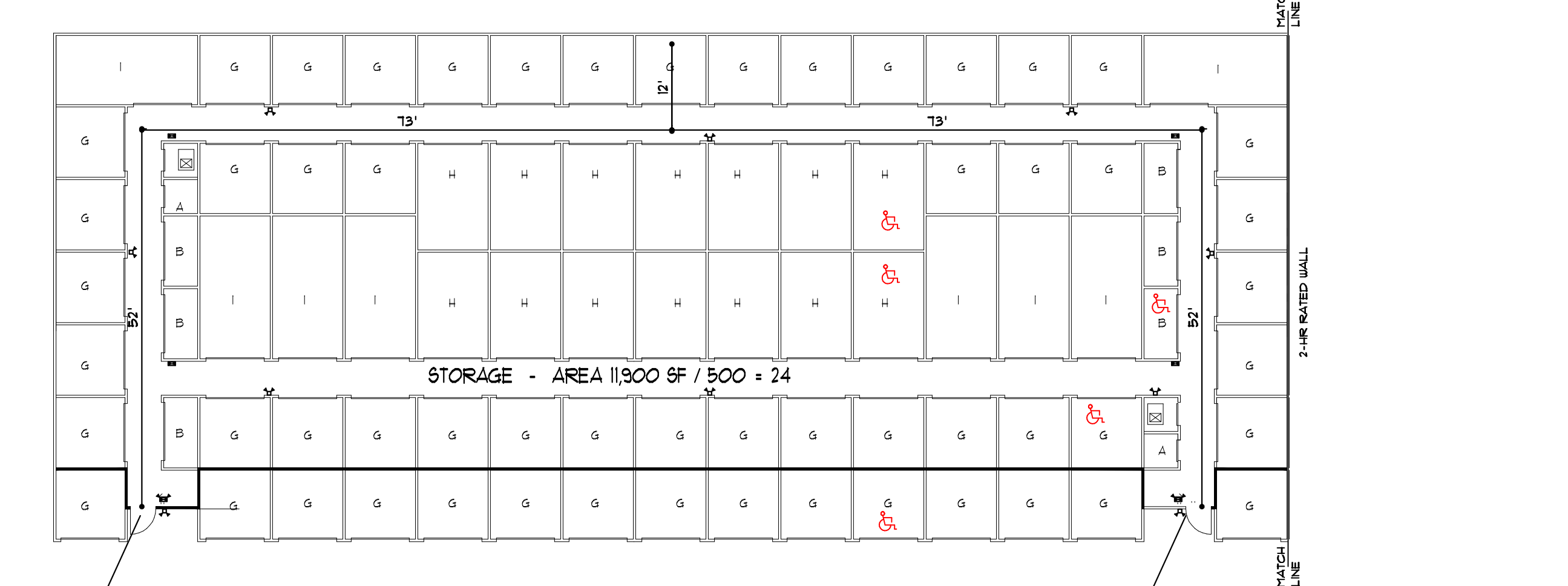
**NOTE:** PROVIDE BLOCKING IN ALL WALLS BEHIND GRAB BARS + WALL HUNG SINKS AS PER HANDICAPPED CODE

**NOTE:** ALL DIMENSIONS TAKEN TO FACE OF FINISH SURFACE

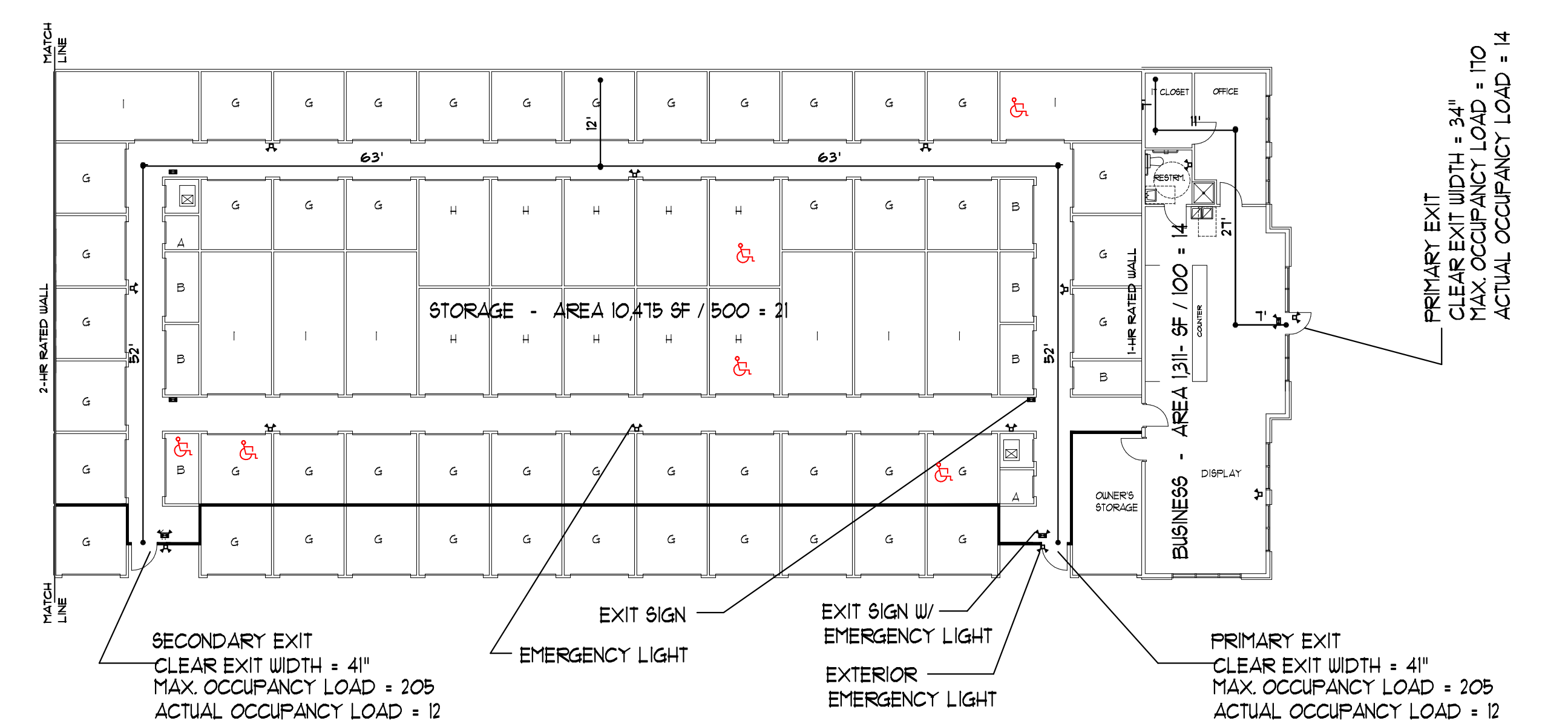
**NOTE:** ADA UNITS WILL INCLUDE AN ELECTRIC DOOR LIFT OPERATOR WITH BATTERY BACKUP, PHOTO EYES, EMERGENCY RELEASE AND KEYPAD FOR OPERATION. KEYPAD WILL BE MOUNTED WITHIN ACCESSIBLE REACH RANGES PER ANSI 308. MANUFACTURER: LIFTMASTER 8950W OR EQUAL

HORIZONTAL SLIDING DOORS SHALL COMPLY WITH SECTION 1010.1.4.3 OF NCBC. ELECTRICAL TO BE COORDINATED.

OCCUPANT DISPERSAL FROM EXITS TO PUBLIC ROAD SHOWN ON SITE PLAN



**FLOOR PLAN - AREA 'A'**  
1/16" = 1'-0"



**LIFE SAFETY & OCCUPANCY PLAN**  
1/16" = 1'-0"

## APPENDIX "B" BUILDING CODE SUMMARY

Name of project: BLDG. 'A' NEW FACILITY FOR HARNETT SELF STORAGE  
Address: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Owner or Authorized Agent: VCS SMITH Phone: 336-855-1286 E-mail: erskinesmith@bellsouth.net  
City/County: SPOUT SPRINGS Private  
Code Enforcement Jurisdiction: City/County: SPOUT SPRINGS

**DESIGNER:** Victor J. Smith  
**ARCHITECTURAL:** ERSKINE-SMITH ARCHITECTURE, P.L.L.C. License No. 6687  
**ELECTRICAL:** EUBANKS HUMPHREY ENGINEERING PC License No. 032588  
**PLUMBING:** EUBANKS HUMPHREY ENGINEERING PC License No. 032588  
**Mechanical:** EUBANKS HUMPHREY ENGINEERING PC License No. 032588

**2018 NC BUILDING CODE:**  New Building  Addition  Renovation  
 List Time Interior Completion  
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements  
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

**2018 NC EXISTING BUILDING CODE, EXISTING:**  Prescriptive  Repair  Chapter 14 Alterations  
 Level I  Level II  Level III  
 Historic Property  Change of Use

**CONSTRUCTION (date):** \_\_\_\_\_ ORIGINAL OCCUPANCY (Ch. 3): \_\_\_\_\_  
**RENOVATED (date):** \_\_\_\_\_ PROPOSED OCCUPANCY (Ch. 3): STORAGE

**RISK CATEGORY (Table 1604.3):** Current  I  II  III  IV Proposed  I  II  III  IV

**BASIC BUILDING DATA**  
Construction Type:  I-A  I-B  II-A  II-B  III-A  III-B  IV  V-A  V-B  
Sprinklers:  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 13D  
Standpipes:  No  Yes  Class:  I  II  III  IV  Dry  
Fire District:  No  Yes  Flood Hazard Area:  No  Yes  
Special Inspections Required:  No  Yes (Contact the local inspection jurisdiction for additional procedures and requirements)  
Manual Fire Alarm System with Notification:  No  Yes

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine	Area A	Area B w/ office	
1st Floor	11,683 sf	11,800	
Basement			
TOTAL	11,683 sf	11,800	23,483 SF TOTAL

**ALLOWABLE AREA**  
Primary Occupancy Classification(s):  A-1  A-2  A-3  A-4  A-5  
Assembly  A-1  A-2  A-3  A-4  A-5  
Business  B-1  B-2  B-3  B-4  
Educational  E-1  E-2  E-3  
History  H-1  H-2  H-3  H-4  H-5  H-6  
High Hazard  H-1  H-2  H-3  H-4  H-5  H-6  
Institutional  I-1  I-2  I-3  I-4  
Manufacturing  M-1  M-2  M-3  M-4  
Mercantile  R-1  R-2  R-3  R-4  
Residential  S-1  S-2  S-3  S-4  
Storage  U  U-1  U-2  U-3  
Utility and Miscellaneous  Other

**Accessory Occupancy Classification(s):** BUSINESS  
**Special Uses (Chapter 4 - List Code Sections):** NA  
**Special Provisions (Chapter 5 - List Code Sections):** NA  
**Mixed Occupancy:**  No  Yes Separation:  Hr. Exception: \_\_\_\_\_  
**Non-separated use (508.3)**  
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.  
 Separated Mixed Occupancy (508.4) - See below for area calculations. For each story, the area of the occupancy shall be such that the sum of the ratio of the actual floor area of each use divided by allowable floor area for each use shall not exceed 1.  
Actual Area of Occupancy A + Actual Area of Occupancy E ≤ 1 Allowable Area of Occupancy A  
Actual Area of Occupancy B + Actual Area of Occupancy E ≤ 1 Allowable Area of Occupancy B

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR INCREASE (1)	(D) ALLOWABLE AREA PER STORY (QUALIFIED 1)

(1) Frontage area increases from a Section 506.2 are computed thus:  
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)  
b. Total Building Perimeter = (P)  
c. Ratio (F/P) = (F/P)  
d. W = Minimum width of public way = (W)  
e. Percent of frontage increase =  $(\frac{F}{P} \times \frac{W}{20}) \times 100$  If  $100 (F/P - 0.25) \times W/30 = \%$

(2) Unlimited area applicable under conditions of Section 507  
(3) Maximum Building Area = total number of stories in the building x D (506.2)  
(4) The maximum area of open parking garages must comply with 406.5.4. The maximum area of air traffic control towers must comply with 403.3.  
(5) Frontage increase is based on the unspinklered area value in Table 506.2

**ALLOWABLE HEIGHT**

Allowable	Show on plans	Code Reference
Building Height in Feet (Table 504.3)	55 FT.	20'
Building Height in Stories (Table 504.4)	2	1

Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

NS = BUILDING NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

**FIRE PROTECTION REQUIREMENTS**

BUILDING ELEMENT	FIRE SEPARATION (FEET)	RATING	DETAIL AND SHEET #	DESIGN FOR RATED ASSEMBLY	DESIGN FOR RATED PENETRATION	DESIGN FOR RATED JOINTS
Structural Framing, including columns, girders, trusses	0					
Bearing walls						
Exterior						
NORTHWEST	6'-6"	0				
NORTHEAST	6'-6"	0				
SOUTHWEST (ASSUMED PROPERTY LINE)	15'	0				
SOUTHWEST WALL	3'-6"	0				
Interior						
Nonbearing walls and partitions						
Exterior walls						
North	N/A	0				
East	N/A	0				
West	N/A	0				
South	N/A	0				
Interior walls & partitions						
Floor construction including supporting beams and joists	0					
Floor Ceiling Assembly	0					
Columns supporting roof	0					
Roof construction including supporting beams and joists	0					
Floor Ceiling Assembly	0					
Columns supporting roof	N/A					
Shells Enclosures - Exit	N/A					
Shells Enclosures - Other	N/A					
Corridor Separation	N/A					
Occupancy/Fire Barrier Separation	1-hr	1-hr	U-419	T/A-3		
PartyFire Wall Separation	2-hr	2-hr	U-419	3/A-3		
Smoke Barrier Separation	N/A					
Tenant / Dwelling Unit/ Sleeping Unit Separation	N/A					
Incidental Use Separation	N/A					

**PERCENTAGE OF WALL OPENINGS CALCULATION**

Fire Separation Distance (feet) from Property Line	Degree of Opening Protection (Table 705.8)	Allowable Area (%)	Actual Shown on Plan (%)
NORTH 100'	UNPROTECTED, NONSPINKLERED	NO LIMIT	0
WEST 30'	UNPROTECTED, NONSPINKLERED	NO LIMIT	0
SOUTH 25'	UNPROTECTED, NONSPINKLERED	NO LIMIT	0
EAST 10' ASSUMED PROPERTY LINE	UNPROTECTED, NONSPINKLERED	NO LIMIT PER TABLE 705.8.1 ex. 2	54%

**LIFE SAFETY PLAN REQUIREMENTS**

Life Safety Plan Sheet # \_\_\_\_\_ COVER SHEET

NA  Fire and/or smoke rated wall locations (Chapter 7)  
NA  Assumed and real property line locations (if not on site plan)  
NA  Exterior wall opening area with respect to distance to assumed property lines (105.8)  
NA  Occupancy Use for each area as it relates to occupancy load calculation (Table 1004.12)  
NA  Occupant loads for each area  
NA  Exit access travel distance (107)  
NA  Common path of travel distance (Table 1006.2.1 + 1006.3.2(1))  
NA  NA  Dead end lengths (1000)  
NA  Clear exit width for each exit door  
NA  Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1009.3)  
NA  Actual occupant load for each exit door  
NA  A separate schematic plan indicating where fire rated floor ceiling and/or roof structure is provided for purposes of occupancy separation  
NA  Location of doors with panic hardware (1010.10)  
NA  Location of doors with delayed egress locks and the amount of delay (1010.13.1)  
NA  Location of doors with electromagnetic egress locks (1010.13.3)  
NA  Location for doors equipped with hold-open devices  
NA  Location of emergency escape windows (1020)  
NA  The square footage of each fire area (C2)  
NA  The square footage of each smoke compartment for Occupancy Classification 1-2 (407.5)  
NA  Note any code exceptions or table notes that may have been utilized regarding the items above

**ACCESSIBLE DWELLING UNITS (Section 1107)**

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE 'A' UNITS PROVIDED	TYPE 'B' UNITS PROVIDED	TYPE 'C' UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

**ACCESSIBLE PARKING (Section 1106)**

LOT OR PARKING AREAS	TOTAL # OF PARKING SPACES REQUIRED	# OF ACCESSIBLE SPACES PROVIDED	REGULAR UNITS 8' ACCESSIBLE	VAN SPACES WITH 8' ACCESSIBLE	TOTAL NO. ACCESSIBLE

**PLUMBING FIXTURE REQUIREMENTS (Table 2902.1)**

USE	WATER CLOSETS			URINALS			LAVATORIES			SHOWERS/TUBS			DRINKING FOUNTAINS	
	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE	
OUTSIDE EXISTING														
NEW														
INSIDE EXISTING														
NEW	1 UNSEX IN BLDG. 'A'			1 UNSEX IN BLDG. 'A'										
REQUIRED	1 UNSEX IN BLDG. 'A'			1 UNSEX IN BLDG. 'A'										
PROVIDED	1 UNSEX IN BLDG. 'A'			1 UNSEX IN BLDG. 'A'										

Special approval: (Local Jurisdiction, Department of Insurance, OIG, DPI, DHHS, ICC, etc., describe below)

**ENERGY REQUIREMENTS**  
The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost standard reference design vs annual energy cost for the proposed design.

**Climate Zone**  3  4  5

**Method of Compliance**  
 Prescriptive (Energy Code)  
 Performance (Energy Code)  
 Prescriptive (ASHRAE 90.1)  
 Performance (ASHRAE 90.1)

**THERMAL ENVELOPE**

**Roof/Ceiling Assembly (each assembly)**  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Skylights in each assembly: \_\_\_\_\_  
U-Value of skylight: \_\_\_\_\_  
Total square footage of skylights in each assembly: \_\_\_\_\_

**Exterior Walls (each assembly)**  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Openings (e.g., doors with glazing): \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
Projection factor: \_\_\_\_\_  
Door R-Values: \_\_\_\_\_

**Walls below grade (each assembly)**  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Horizontal/vertical requirement: \_\_\_\_\_  
slab rested: \_\_\_\_\_

**Floors over unconditioned space (each assembly)**  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_

**Floors slab on grade**  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Horizontal/vertical requirement: \_\_\_\_\_  
slab rested: \_\_\_\_\_

**UNIT MIX - TOTAL 4 BLDG.**

SIZE	MARK	A	B	C	J	TOTAL	ACCESSIBLE UNITS
5'x5'	A	4	-	-	-	66	BLDG. A 5
5'x10'	B	13	6	8	-	81	
10'x10'	G	105	-	-	3	183	
10'x15'	H	24	52	-	-	88	
10'x20'	I	16	-	60	-	88	
10'x30'	K	-	-	-	26	44	BLDG. J 3
12'x30'	Z	-	-	-	15	30	
TOTAL		162	58	68	44	332	13

**NET SQ. FT. PER BLDG.**

BLDG.	NET SQ. FT.	BLDG. A	BLDG. B	BLDG. C	BLDG. J	TOTAL
BLDG. A	18,284	8,100	12,400	13,500		35,284
BLDG. B	23,508	8,100	12,400	13,500		35,284
BLDG. C					13,500	13,500
BLDG. J					13,500	13,500
TOTAL						55,284

**UNIT CALCULATIONS**

CODE REQUIREMENTS	PERCENTAGE	# OF UNITS	# OF ADA UNITS REQ.
5% OF THE FIRST 200 UNITS	5%	100	10
2% OF REMAINING UNITS	2%	232	2.64
TOTAL		332	3

**REVISIONS**

NO.	REVISIONS	BY

**NOTES:** ALL ACCESSIBLE STORAGE UNITS DOORS SHALL HAVE A MAX. 5 LB. FULL

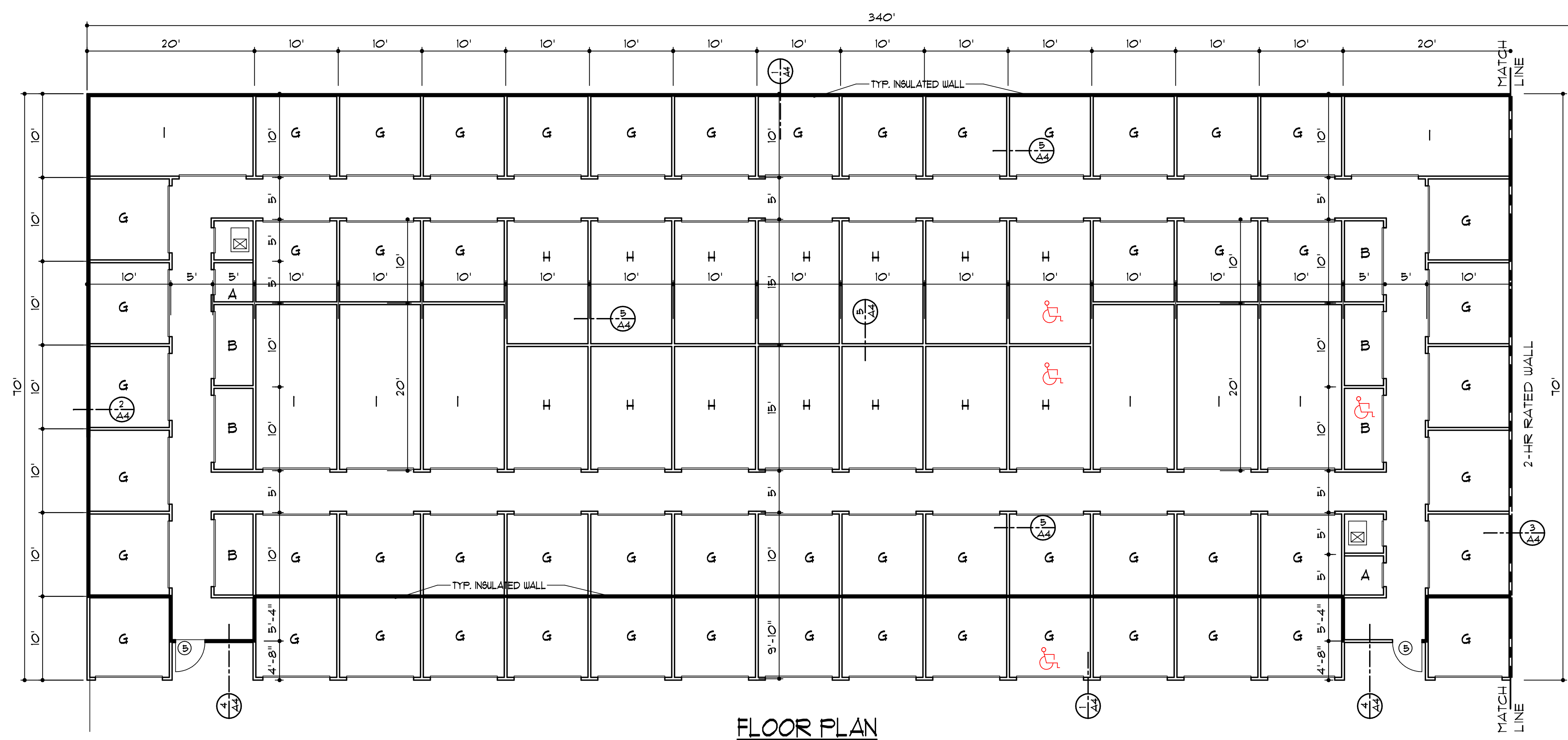
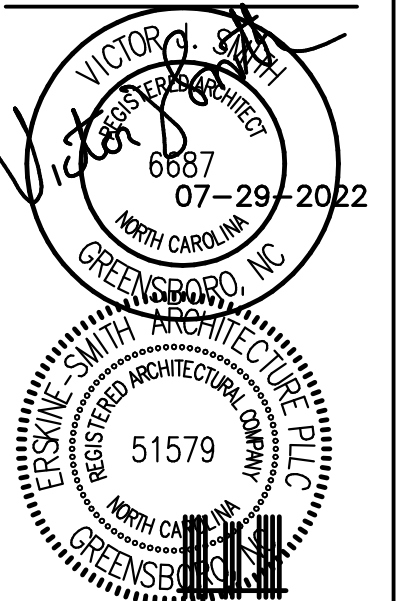
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NEW STORAGE FACILITY FOR BLDG. 'A'  
HARNETT SELF STORAGE  
SPOUT SPRINGS, NC

**COVER BLDG. A**

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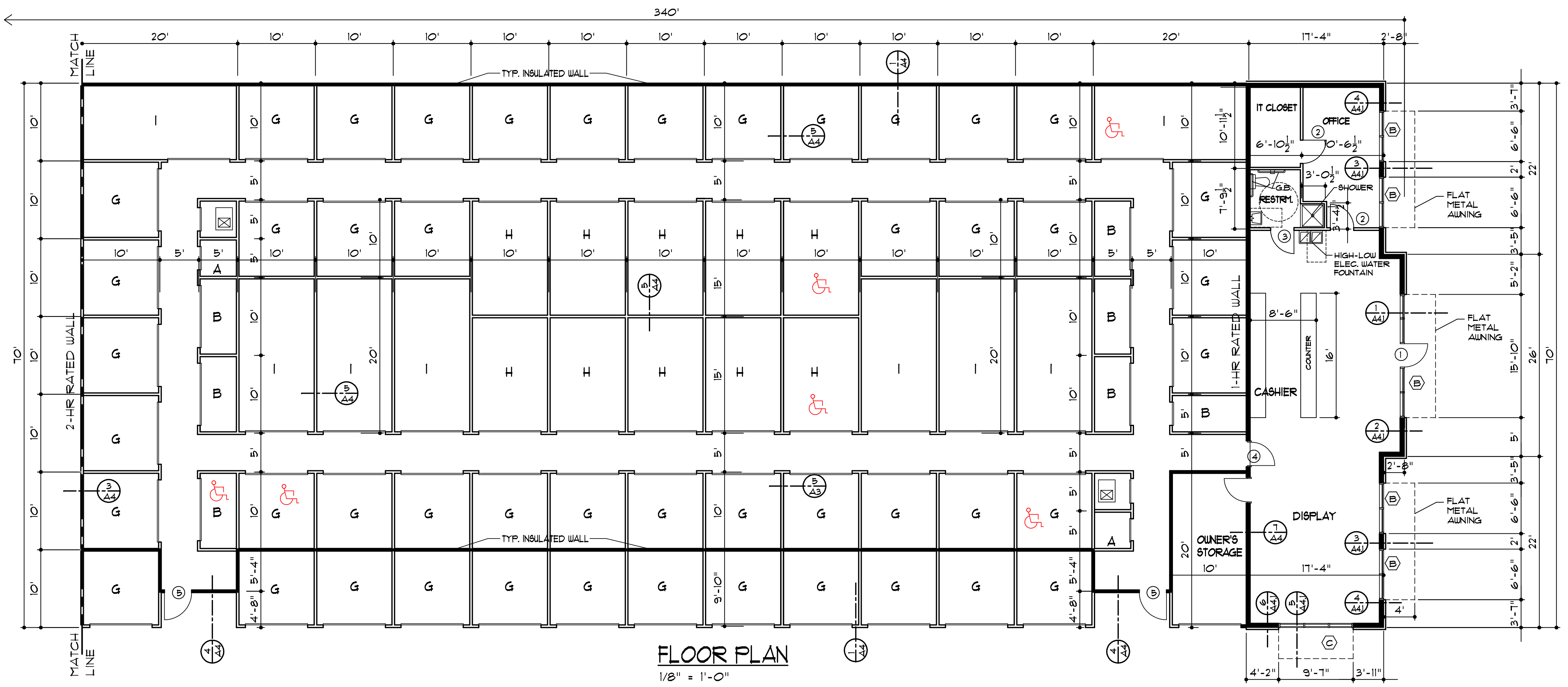
**FLOOR PLAN**  
1/8" = 1'-0"

DOOR SCHEDULE						
MARK	QUANTITY	UNIT SIZE	MATERIAL	GLAZING	FRAME	HARDWARE
1	1	3'-0" x 7'-0" x 13/4"	ALUM. STOREFRONT	FULL LITE	ALUM.	PUSH / PULL W/ LOCK SET, 1/2 PR BUTT HINGE, SILENCERS, DOOR STOP, CLOSER
2	2	3'-0" x 7'-0" x 13/4"	SOLID CORE BIRCH	N/A	16 GA. METAL	LEVER HANDLE LOCK SET, 1/2 PR BUTT HINGE, SILENCERS, DOOR STOP
3	1	3'-0" x 7'-0" x 13/4"	SOLID CORE BIRCH	N/A	16 GA. METAL	LEVER HANDLE PASSAGE SET, 1/2 PR BUTT HINGE, SILENCERS, DOOR STOP
4	1	3'-0" x 7'-0" x 13/4"	SOLID CORE METAL	N/A	16 GA. METAL	LEVER HANDLE LOCK SET, 1/2 PR BUTT HINGE, DOOR STOP, 1/2 HC THRESHOLD, CLOSER, (20 MIN. ASSEMBLY)
5	4	3'-6" x 7'-0" x 13/4"	INSUL. METAL	6"x30" VISION PANEL	16 GA. METAL	LEVER HANDLE LOCK SET, 2 PR BUTT HINGE, SILENCERS CLOSER, 1/2 HC THRESHOLD, WEATHER-STRIPPING

NOTE: 1. ALL INTERIOR OVERHEAD DOORS BY "METAL BUILDING COMPANY"

WINDOW SCHEDULE						
MARK	QUANTITY	UNIT SIZE	MATERIAL	GLAZING	FRAME	HARDWARE
A	1	15'-10" x 8'-0"	ALUM. STOREFRONT	FULL LITE	ALUM.	ALUM. STOREFRONT W/ 1" LOW-E INSUL. GLASS WITH DOOR #1
B	4	6'-6" x 8'-0"	ALUM. STOREFRONT	FULL LITE	ALUM.	ALUM. STOREFRONT W/ 1" LOW-E INSUL. GLASS
C	1	9'-7" x 8'-0"	ALUM. STOREFRONT	FULL LITE	ALUM.	ALUM. STOREFRONT W/ 1" LOW-E INSUL. GLASS

UNIT MIX - TOTAL 4 BLDG.							
SIZE	MARK	BUILDING TYPE				TOTAL	ACCESSIBLE UNITS
		A	B	C	J		
5'x5'	A	4	-	-	-	66	BLDG. A 5
5'x10'	B	13	6	8	-	81	
10'x10'	G	105	-	-	3	51	BLDG. A 5
10'x15'	H	24	52	-	-	183	
10'x20'	I	16	-	60	-	88	BLDG. J 3
10'x30'	K	-	-	-	26	44	
12'x30'	Z	-	-	-	15	30	
TOTAL		162	58	68	44	332	
NET SQ. FT. PER BLDG.		18,284	8,100	12,400	13,500	55,284	SQ. FT. NET TOTAL
GROSS SQ. FT. PER BLDG.		23,508	8,100	12,400	13,500	57,508	SQ. FT. GROSS TOTAL



**FLOOR PLAN**  
1/8" = 1'-0"

NOTE:  
ADA UNITS WILL INCLUDE AN ELECTRIC DOOR LIFT OPERATOR WITH BATTERY BACKUP, PHOTO EYES, EMERGENCY RELEASE AND KEYPAD FOR OPERATION. KEYPAD WILL BE MOUNTED WITHIN ACCESSIBLE REACH RANGES PER ANSI 308. MANUFACTURER: LIFT MASTER 8950W OR EQUAL

HORIZONTAL SLIDING DOORS SHALL COMPLY WITH SECTION 1010.1.43 OF NCBC. ELECTRICAL TO BE COORDINATED.

OCCUPANT DISPERSAL FROM EXITS TO PUBLIC ROAD SHOWN ON SITE PLAN

NOTE:  
1. EXTERIOR WALL DIMENSIONS TAKEN FROM EXTERIOR FACE OF STUD  
2. INTERIOR WALL DIMENSIONS TAKEN FROM CENTER LINE OF WALL  
3. OVERHEAD DOORS FOR STORAGE UNITS SUPPLIED AND SIZED BY METAL BLDG. MANUFACTURER  
4. EXTERIOR WALLS TO BE INSULATED EXCEPT AT EXTERIOR STORAGE UNITS  
5. WALL BETWEEN EXTERIOR ENTRANCE STORAGE UNITS AND INTERIOR STORAGE UNITS TO BE INSULATED  
6. WALLS BETWEEN OFFICE & STORAGE AREA TO BE INSULATED  
7. PROVIDE BLOCKING BEHIND SINK, TOILET, WATER FOUNTAIN & SHOWER  
8. SHOWER UNIT TO BE ACCESSIBLE TYPE WITH 1/2" THRESHOLD & GRAB BARS

**BUILDING 1/A**

**BLDG. A**

**NEW STORAGE FACILITY FOR HARNETT SELF STORAGE SPOUT SPRINGS, NC**

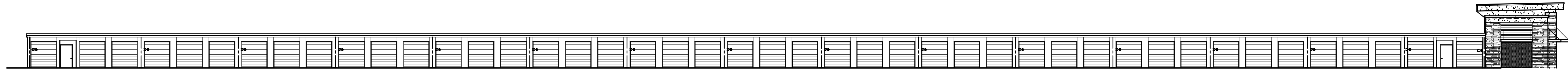
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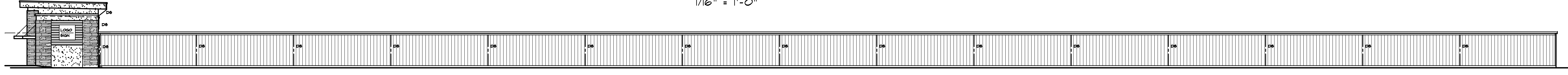
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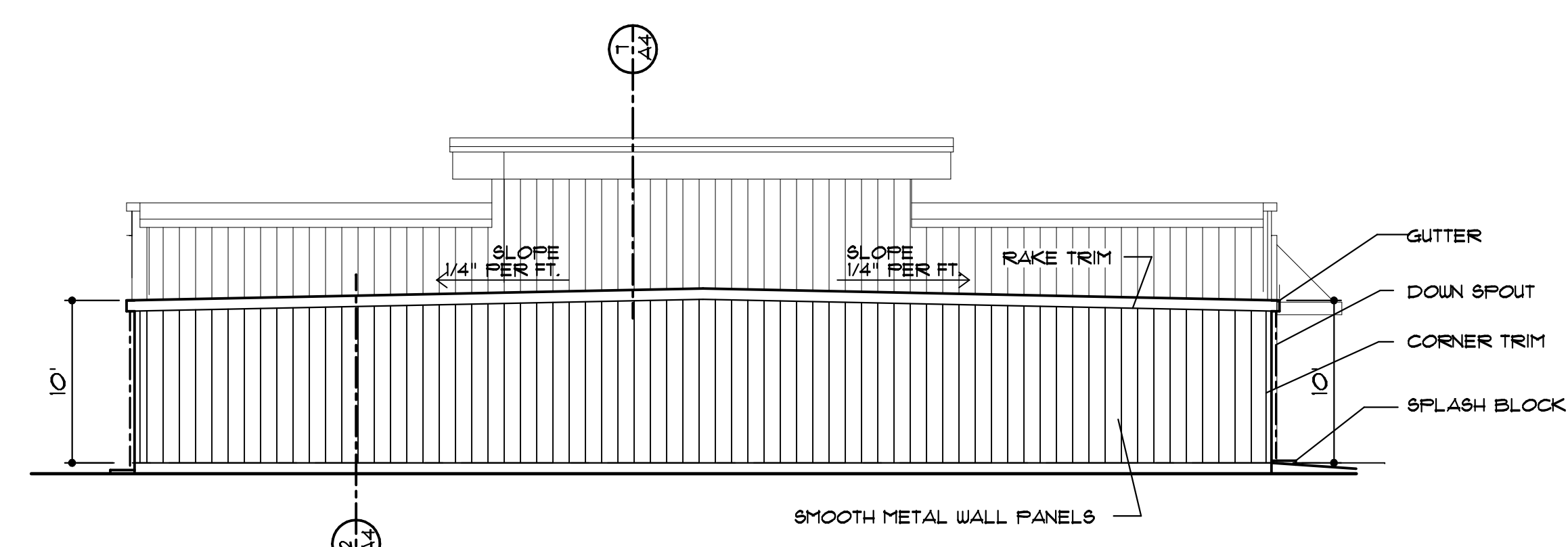
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 architecture research planning  
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 Phone (336) 855-1286 Fax 855-5602



**EAST ELEVATION**  
 1/16" = 1'-0"



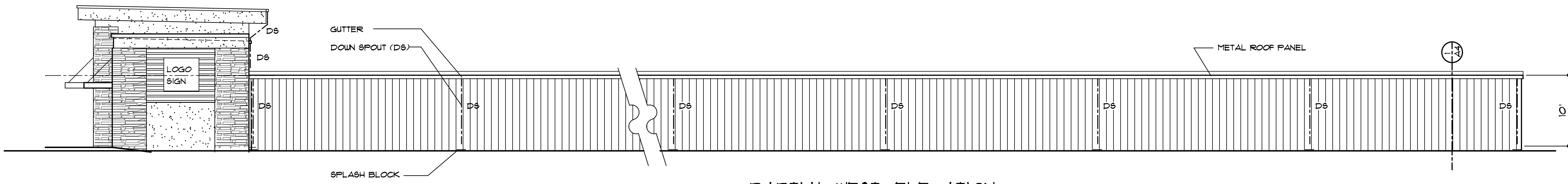
**WEST ELEVATION**  
 1/16" = 1'-0"



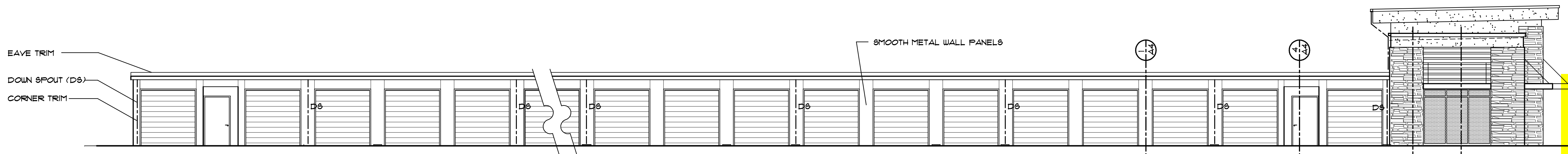
ALL RAIN LEADER TO HAVE SPLASH BLOCKS

**DOWN SPOUTS & GUTTERS**  
 ROOF AREA = 13,500 SF  
 GUTTER LENGTH = 450' LF  
 GUTTER SIZE = 5" w X 4" d  
 # DOWN SPOUT (3" x 4") = 16  
 AREA PER DOWN SPOUT = 844 sf

**SOUTH ELEVATION**  
 1/8" = 1'-0"

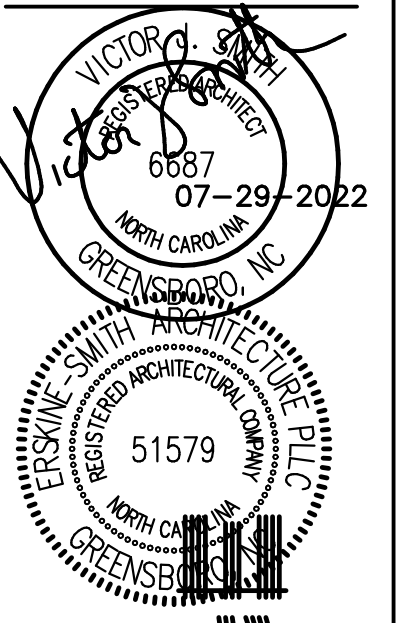


**PARTIAL WEST ELEVATION**  
 1/8" = 1'-0"



**PARTIAL EAST ELEVATION**  
 1/8" = 1'-0"

NOTE: SEE SHEET A-3 FOR ADDITIONAL NOTES AND DIMENSIONS



**NEW STORAGE FACILITY FOR HARNETT SELF STORAGE**  
 SPOUT SPRINGS, NC

REVISIONS	BY

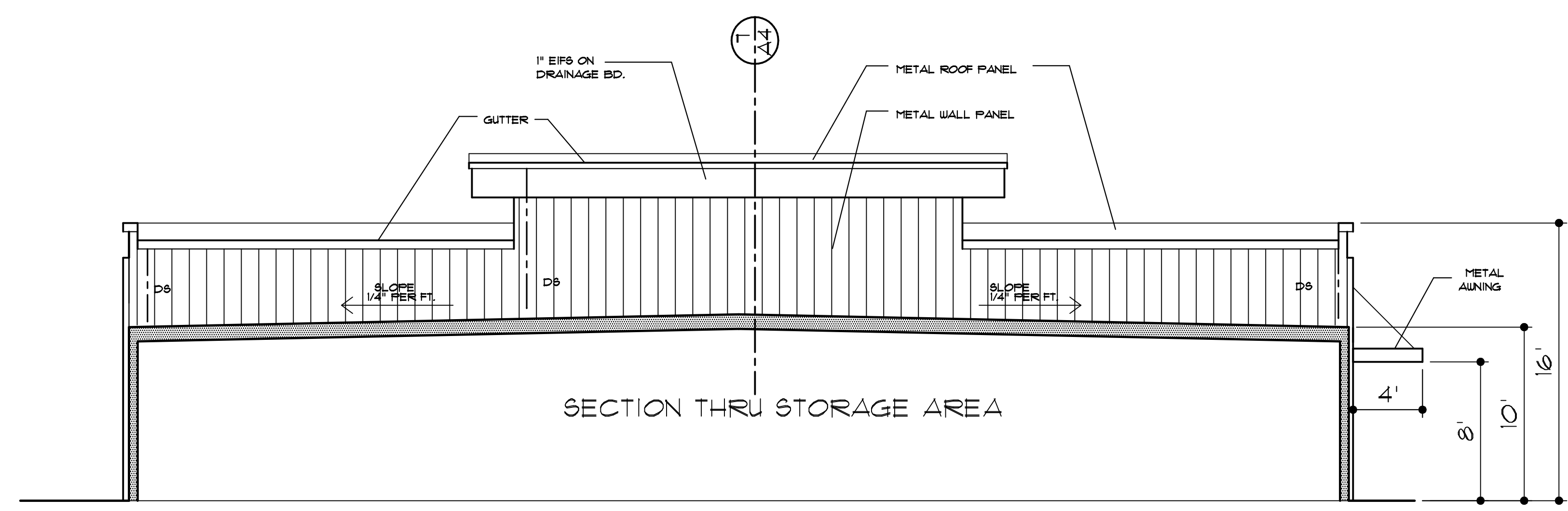
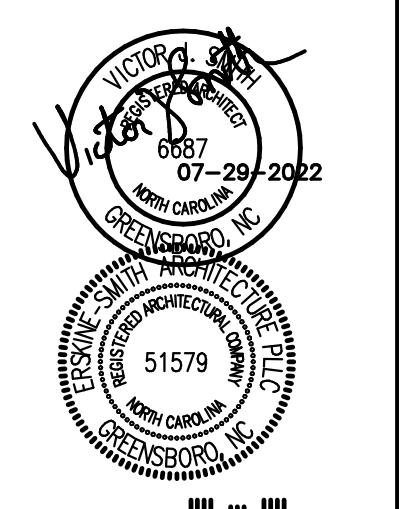
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**BLDG. A**

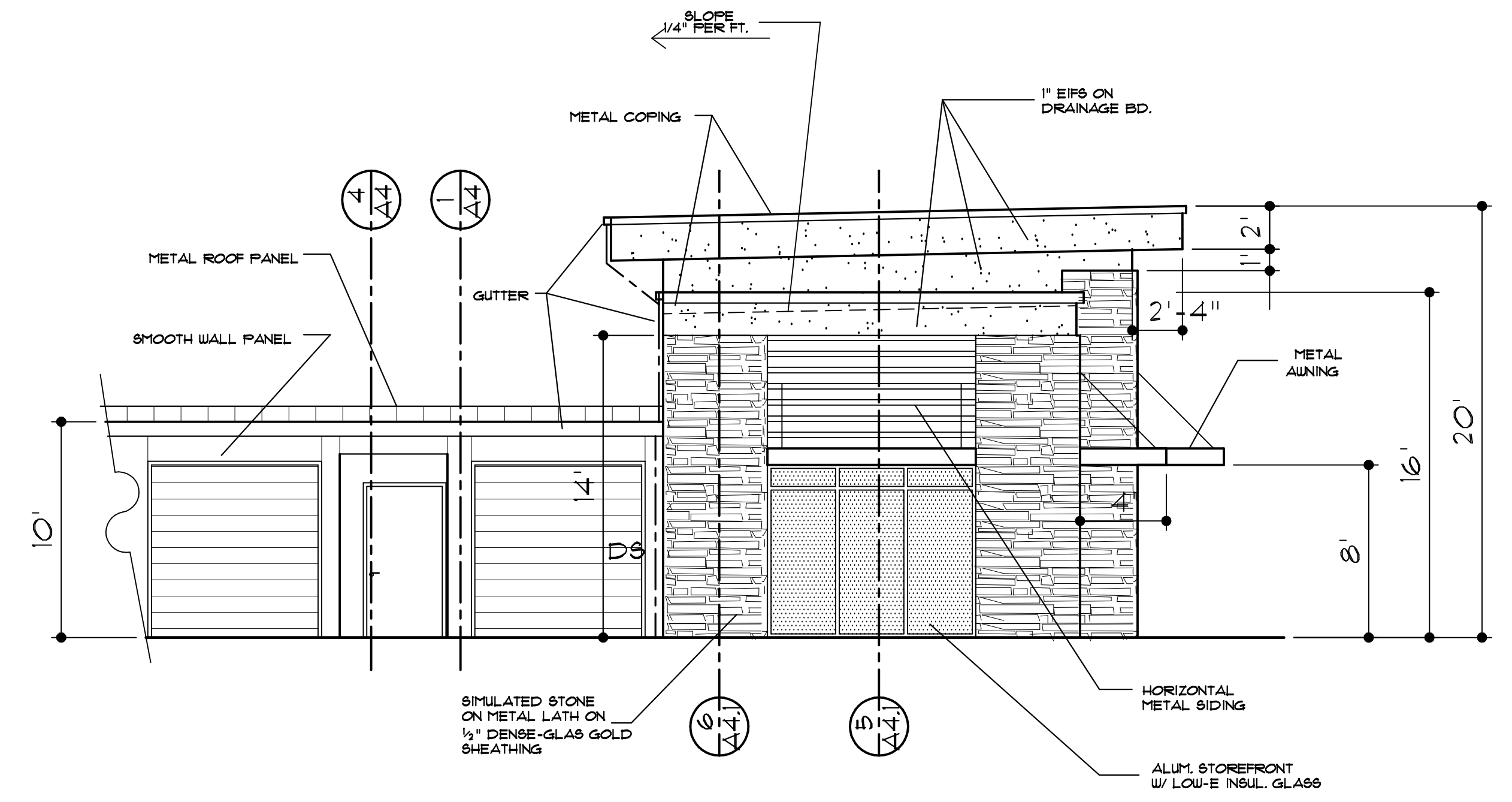
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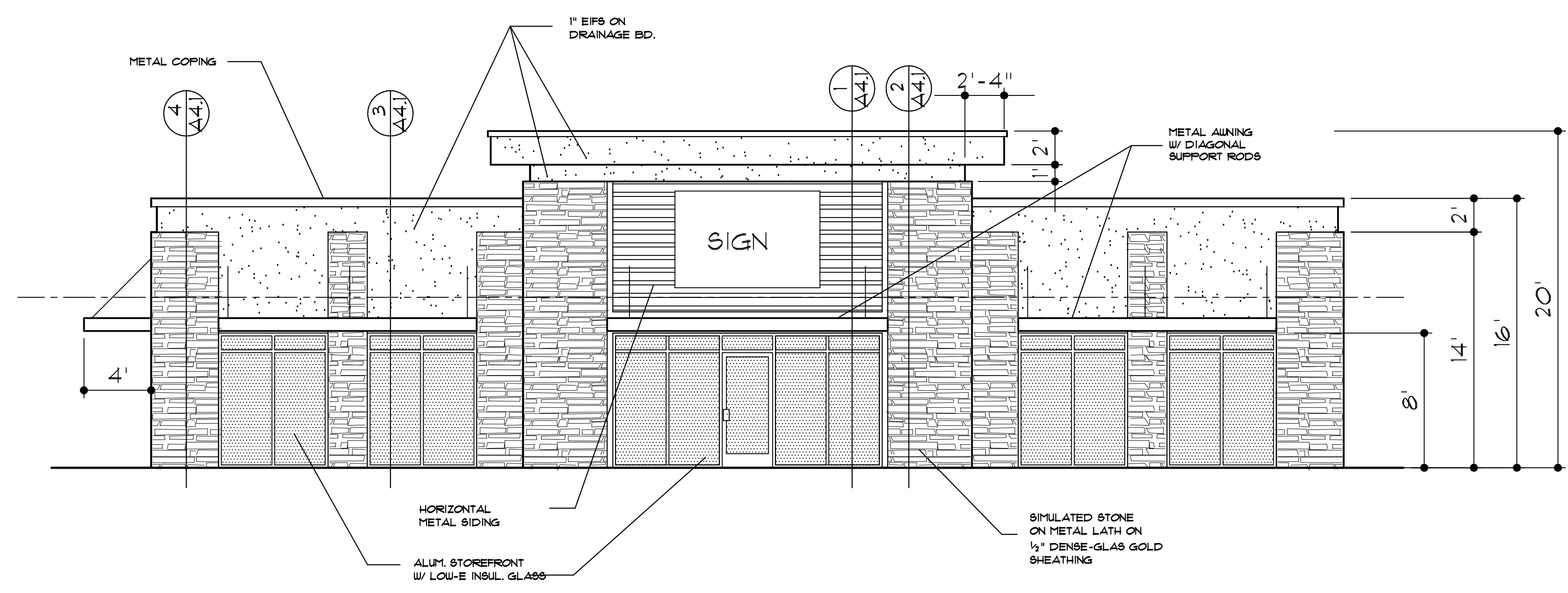
**ERSKINE-SMITH ARCHITECTURE**  
architecture research planning  
3405-A West Wendover Avenue  
Greensboro, N.C. 27407  
Phone (336) 855-1286 Fax 855-5602



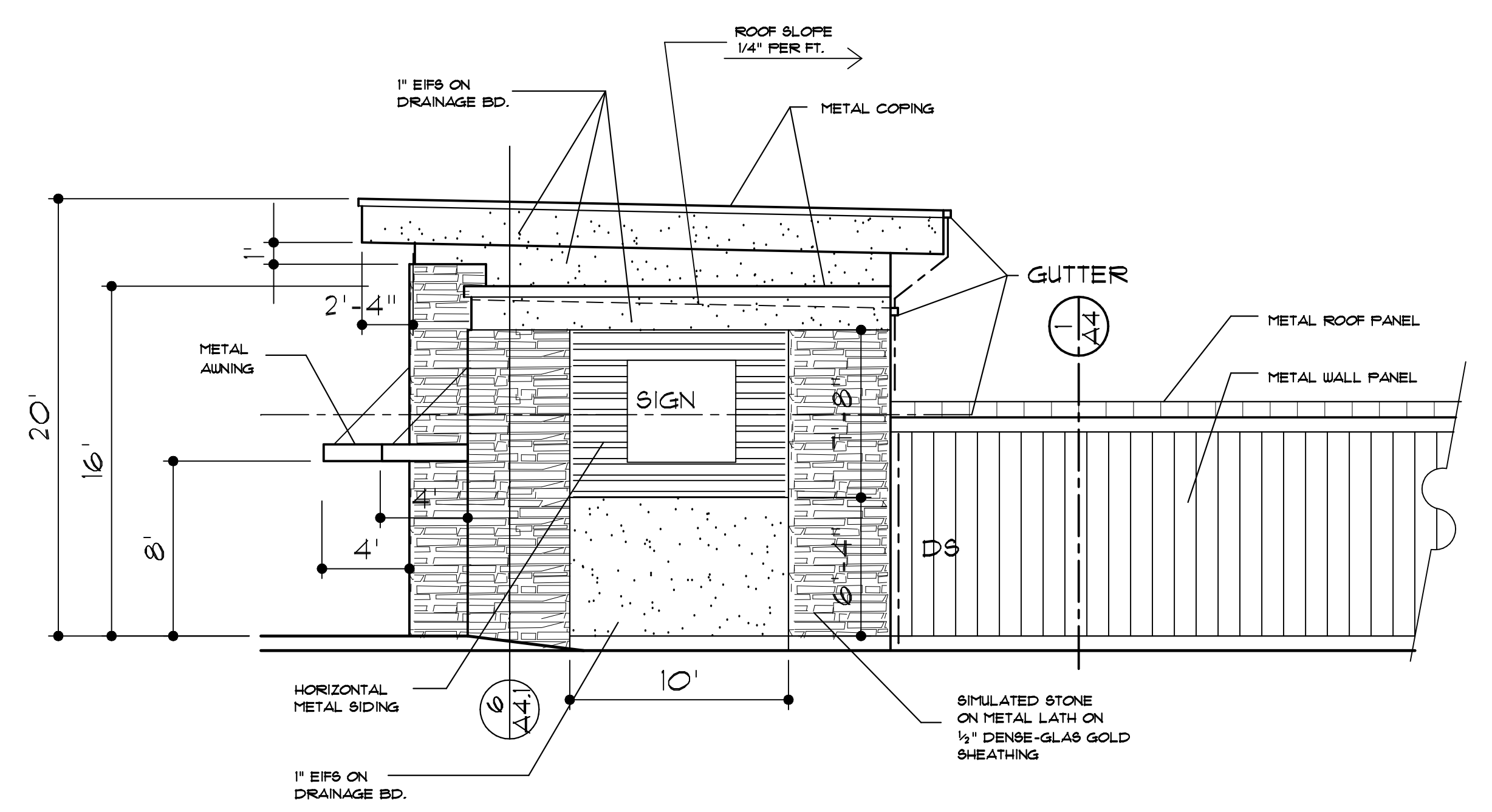
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

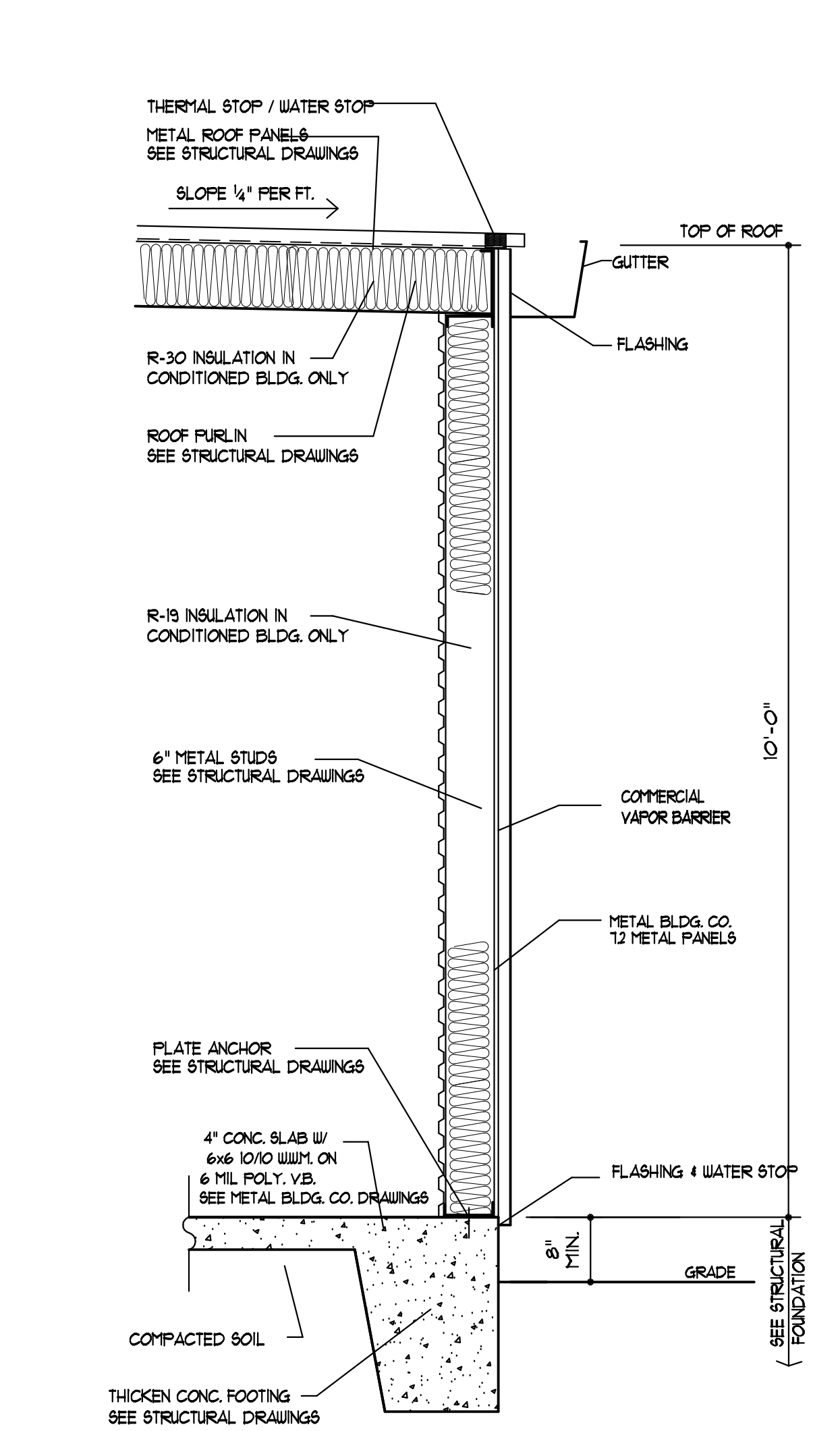
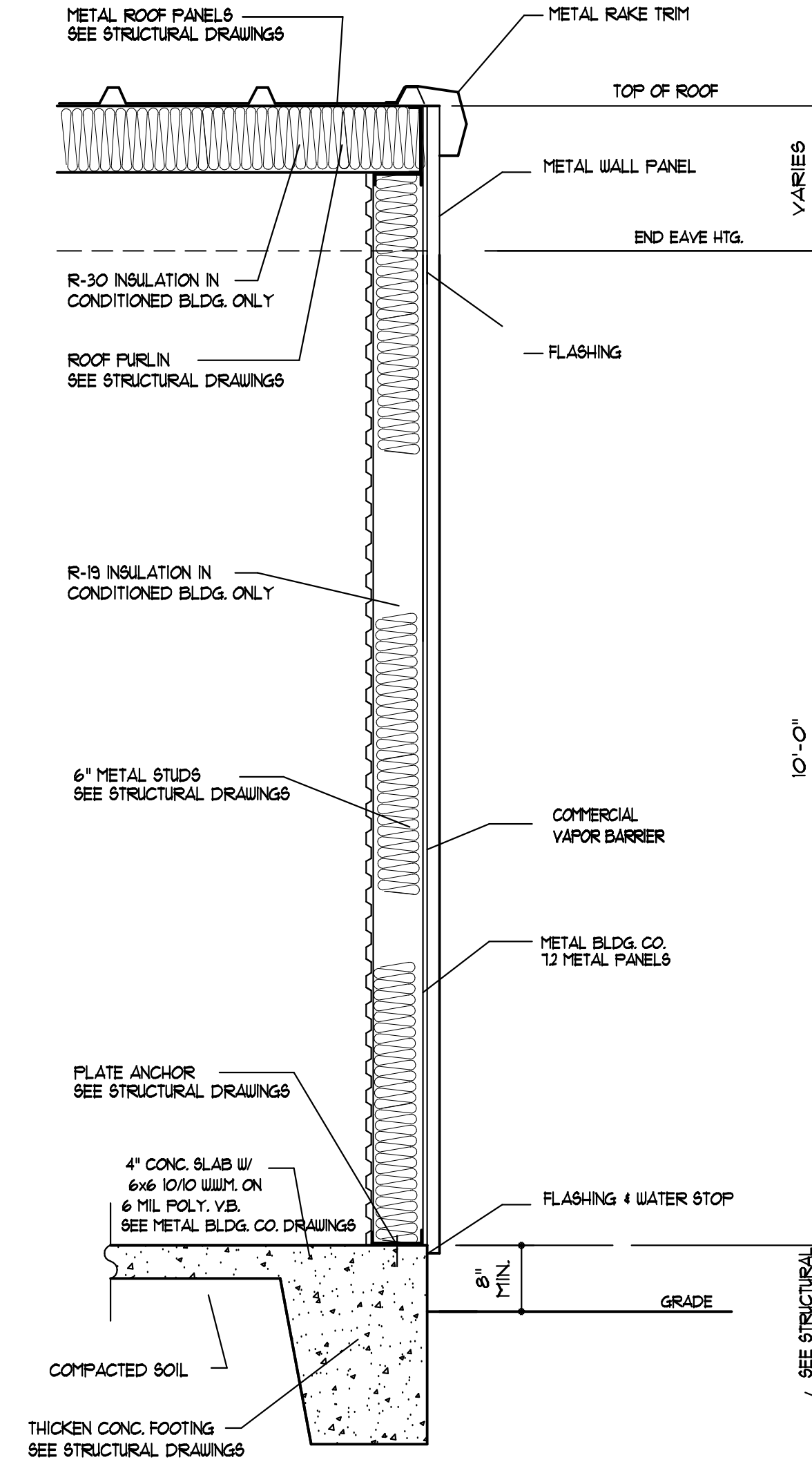
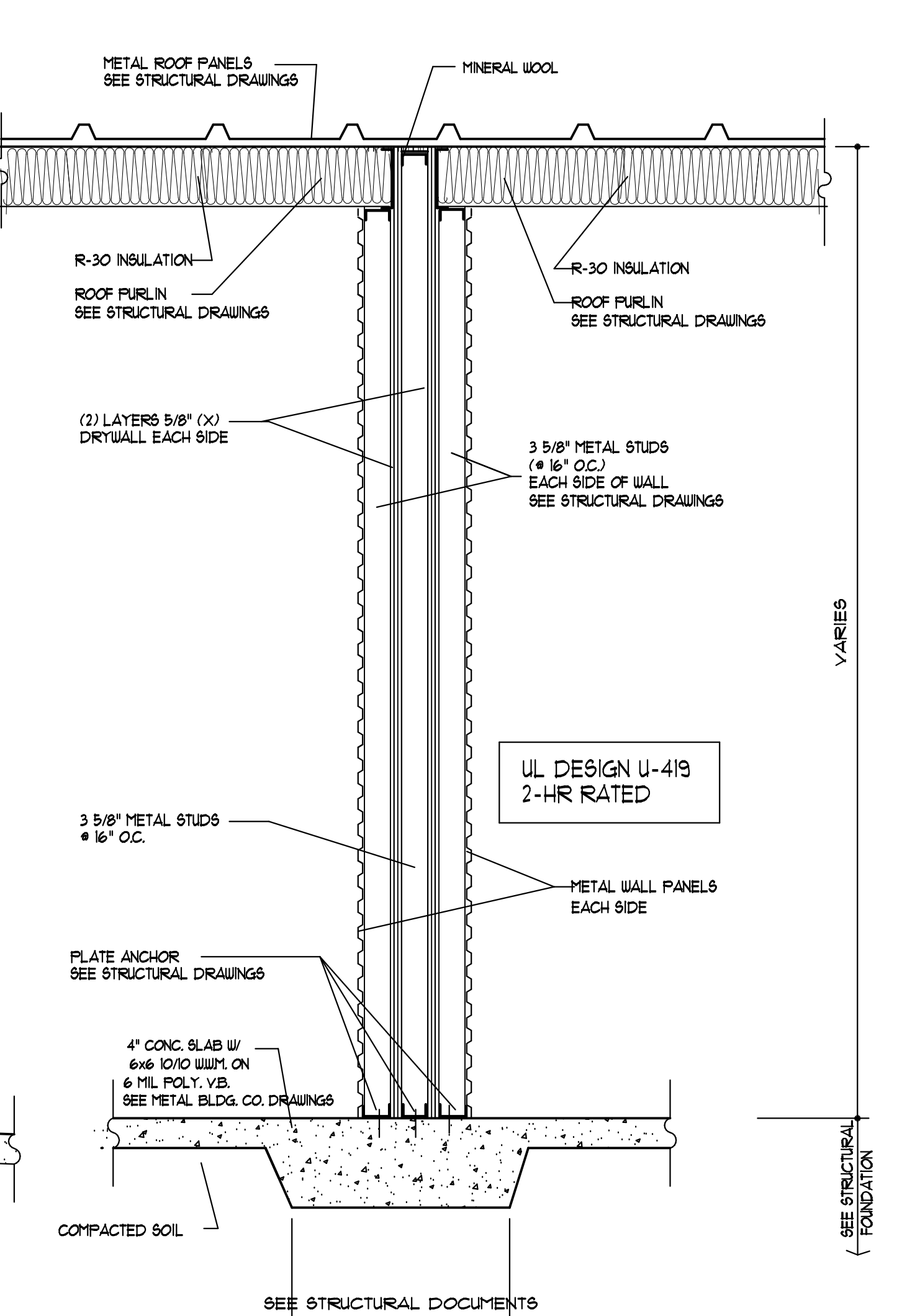
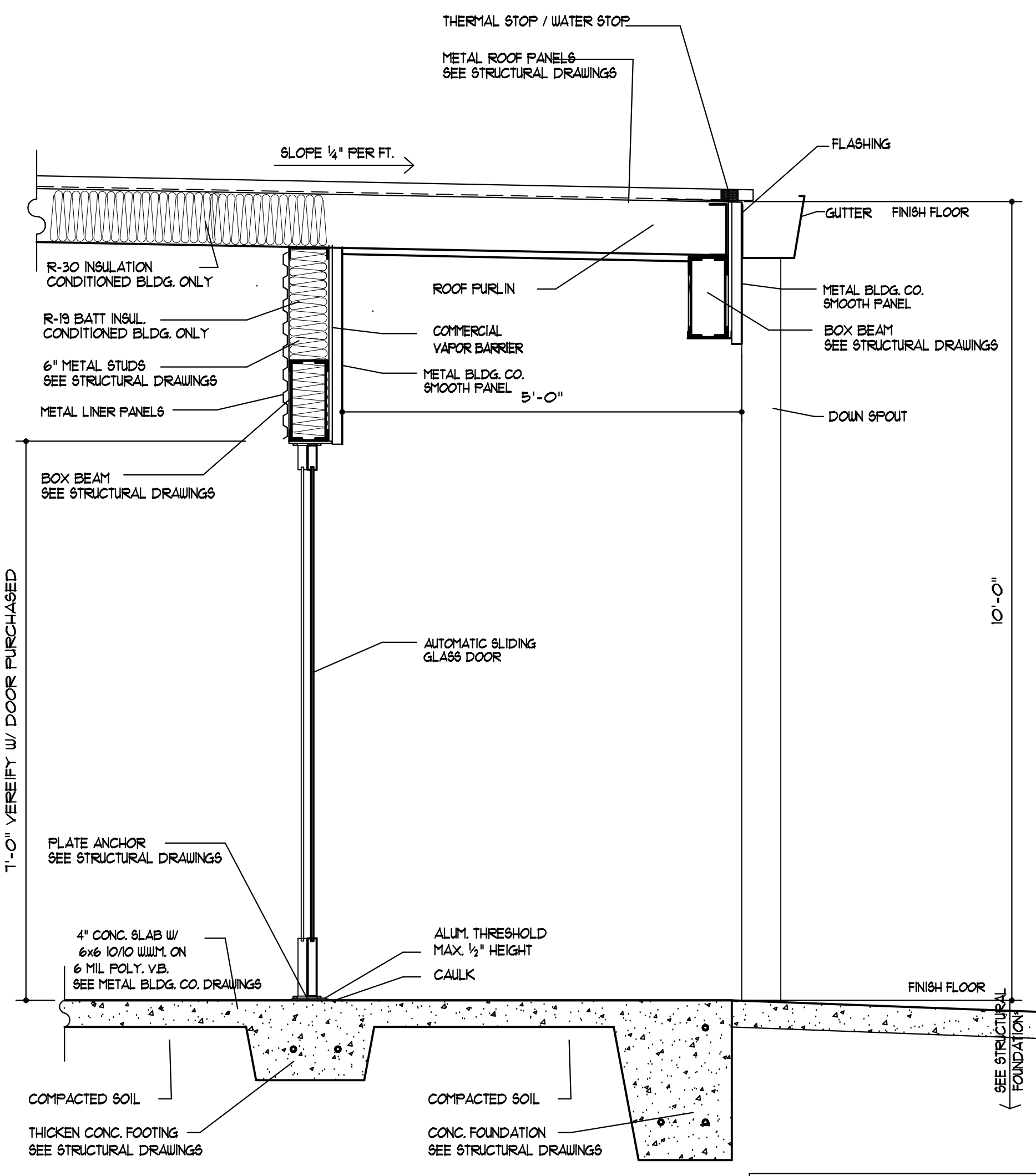
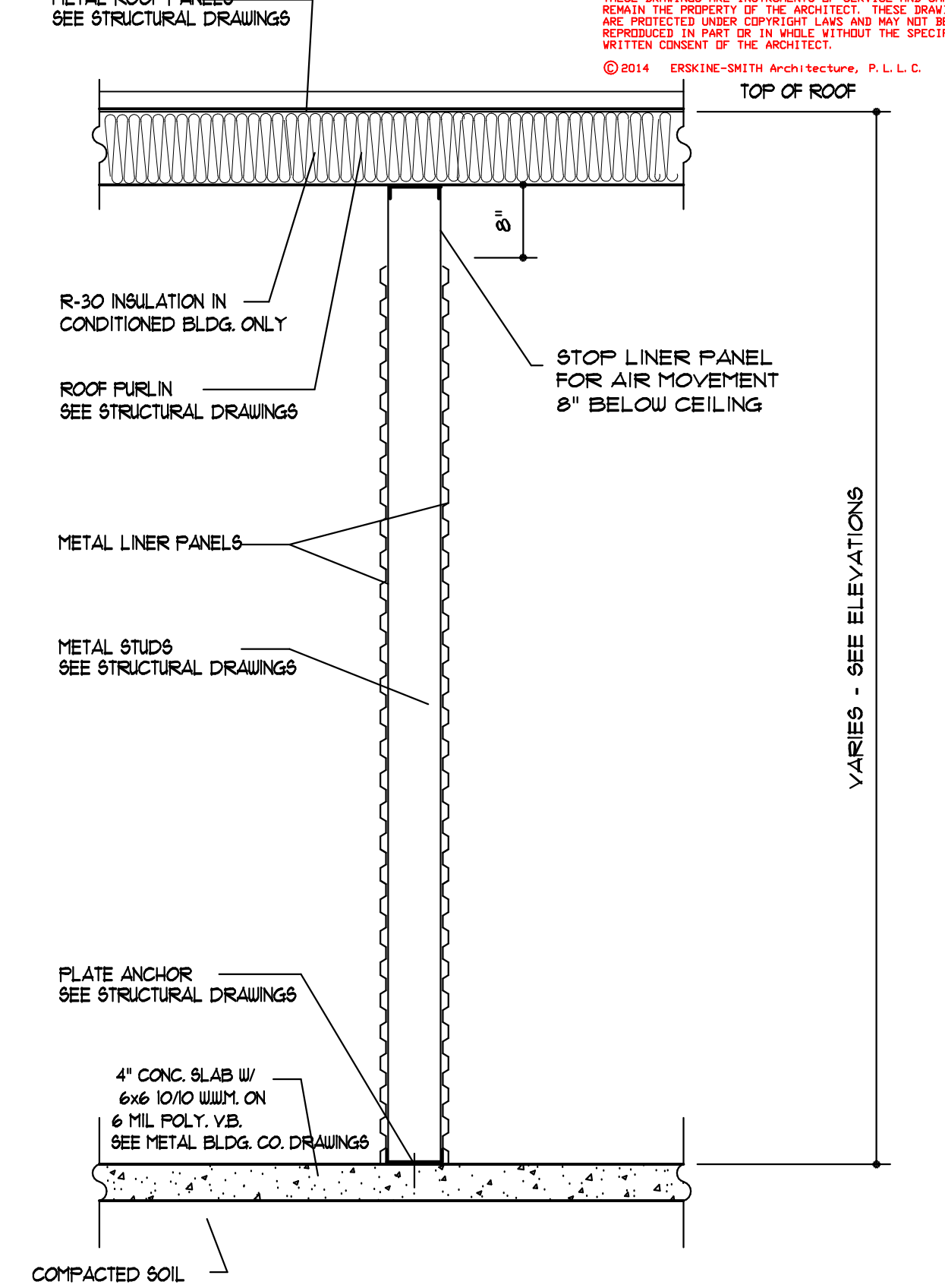
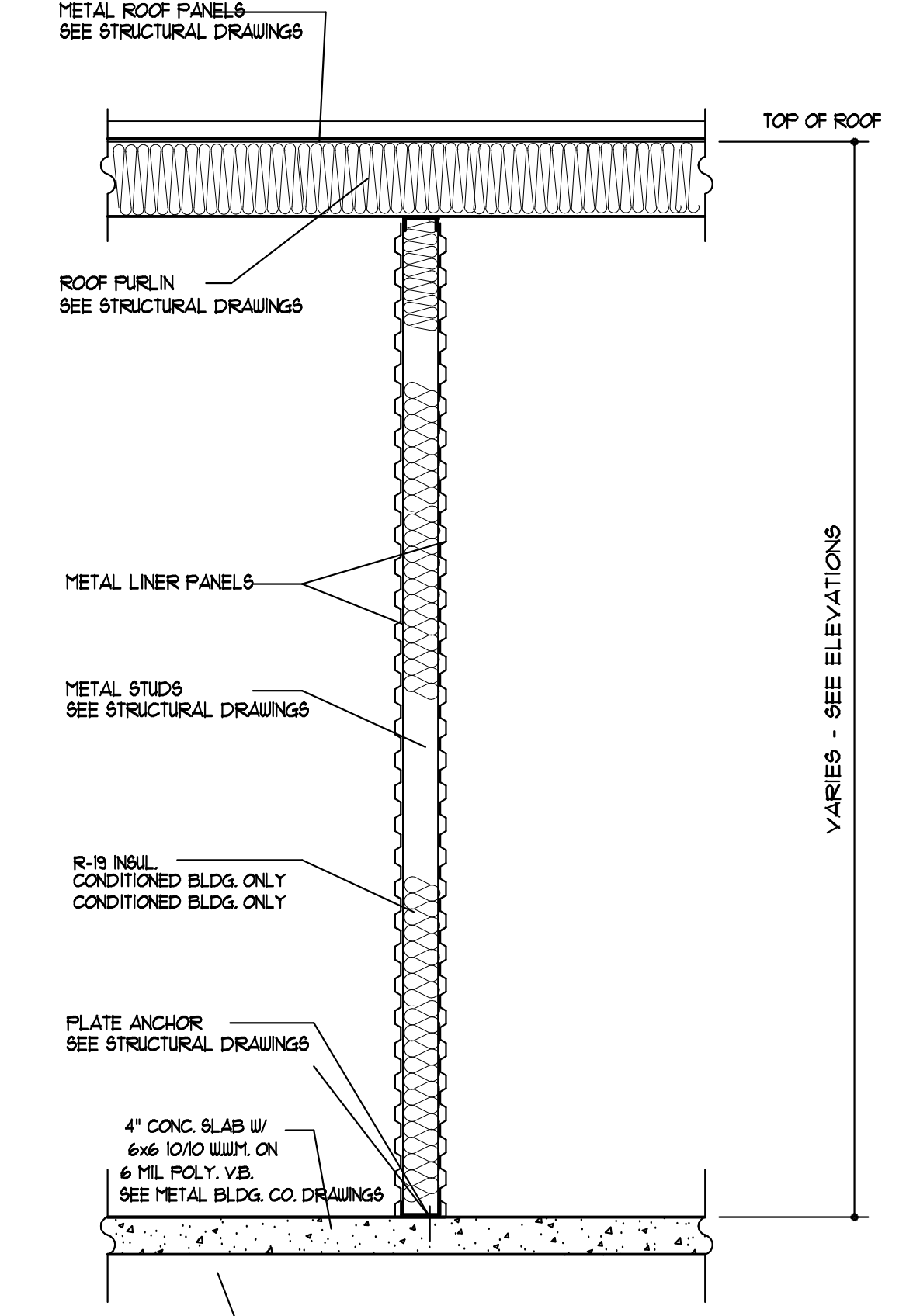
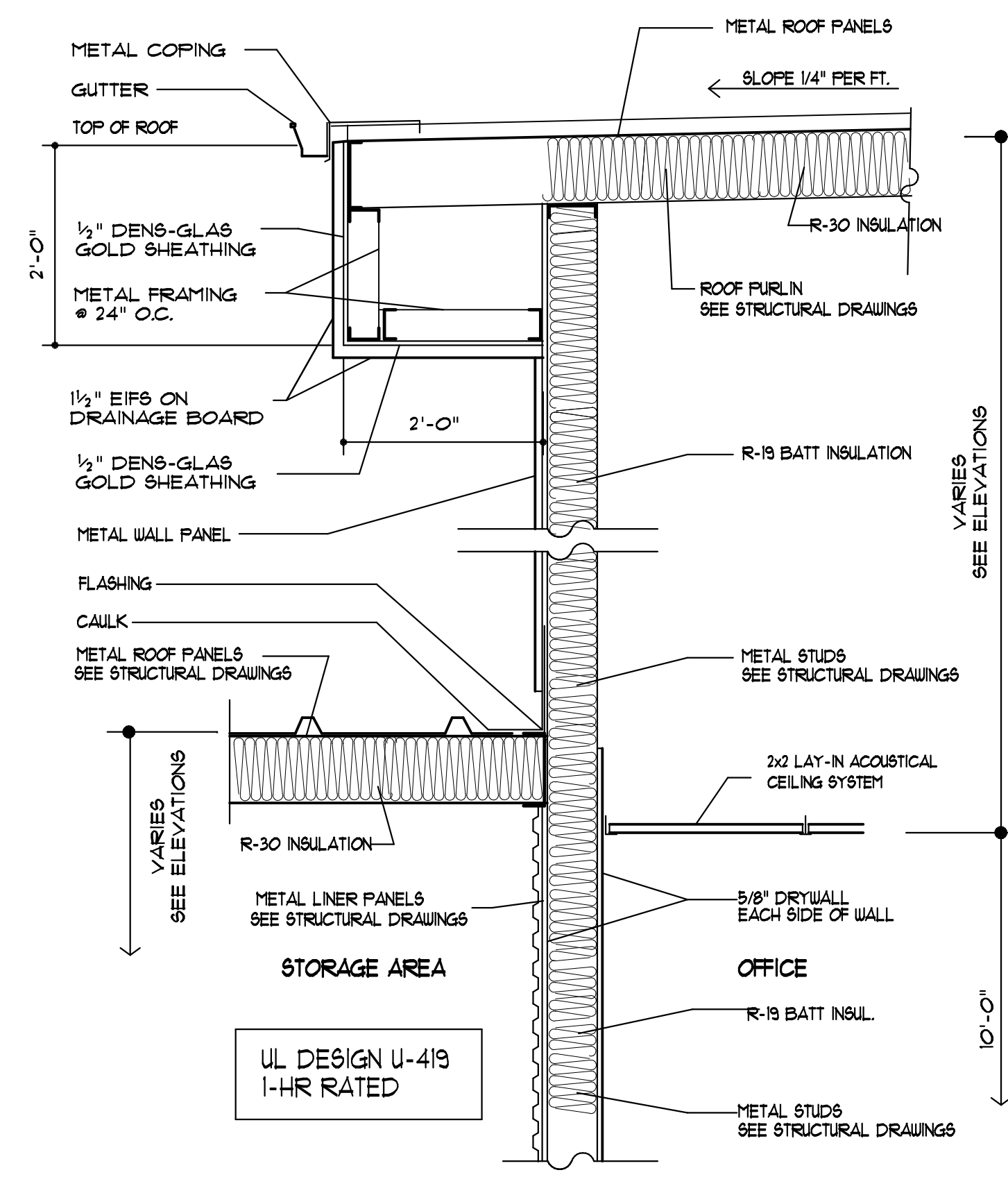
**NEW STORAGE FACILITY FOR  
HARNETT SELF STORAGE**  
SPOUT SPRINGS, NC

REVISIONS	BY

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CHECKED BY: VJS  
DATE: 07-29-2022  
SCALE: 3/16" = 1'-0"  
FILE:  
SHEET NUMBER:

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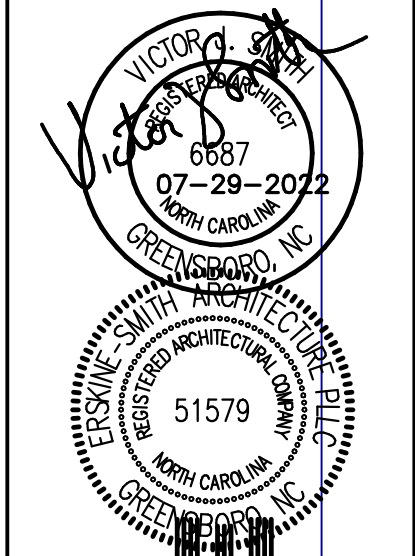
**A-3**



NOTE: STRUCTURAL ENGINEERS DESIGN & DETAILS SHALL OVERRIDE ARCHITECTURAL DETAILS

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 3406-A West Wendover Avenue  
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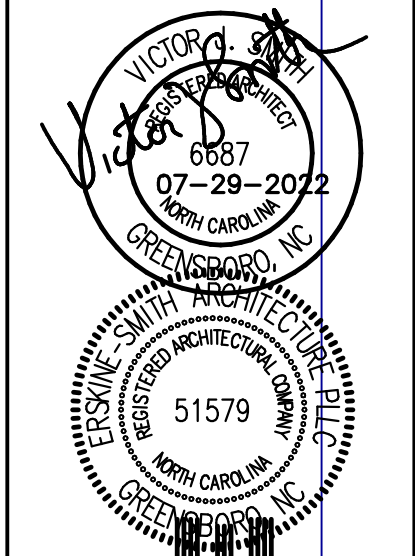
NEW STORAGE FACILITY FOR  
**HARNETT SELF STORAGE**  
 SPOUT SPRINGS, NC

REVISIONS	BY

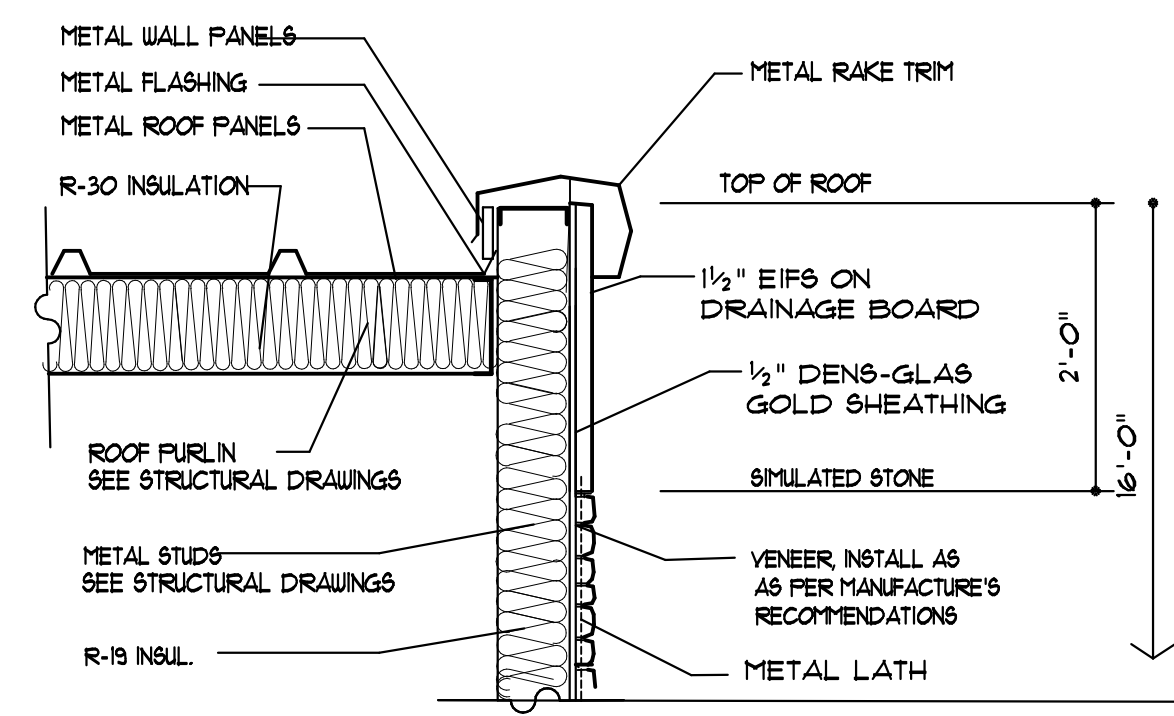
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**A-3**  
 BLDG. 'A'

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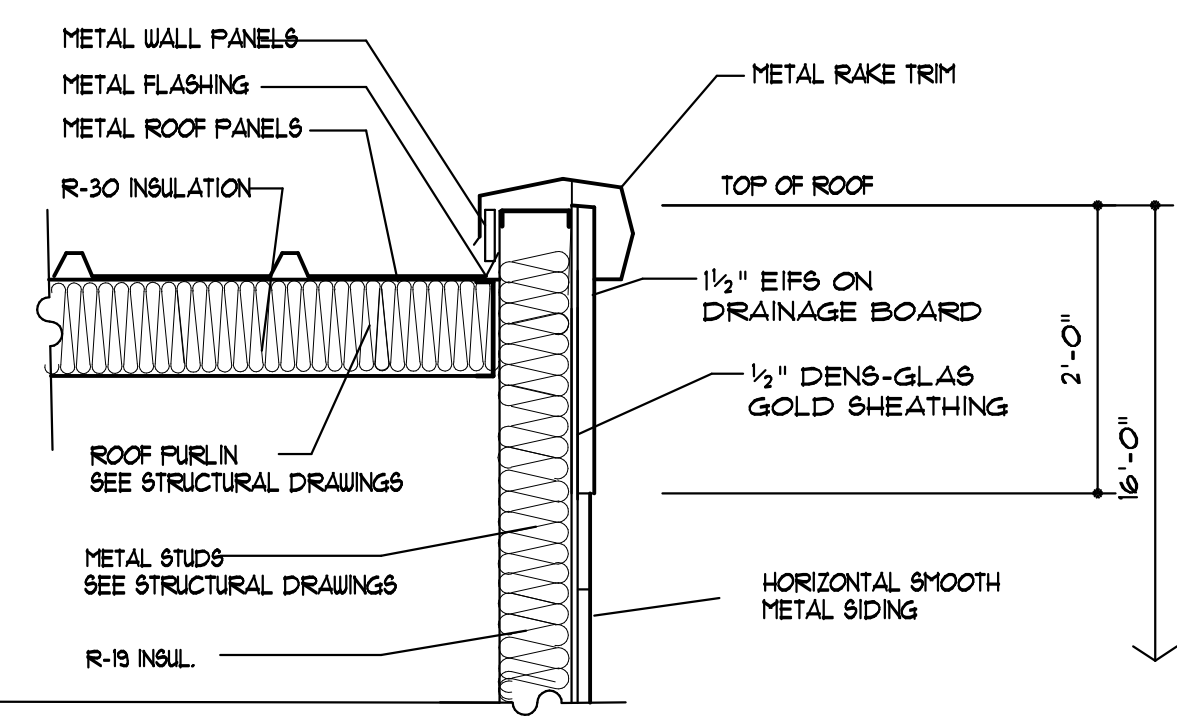
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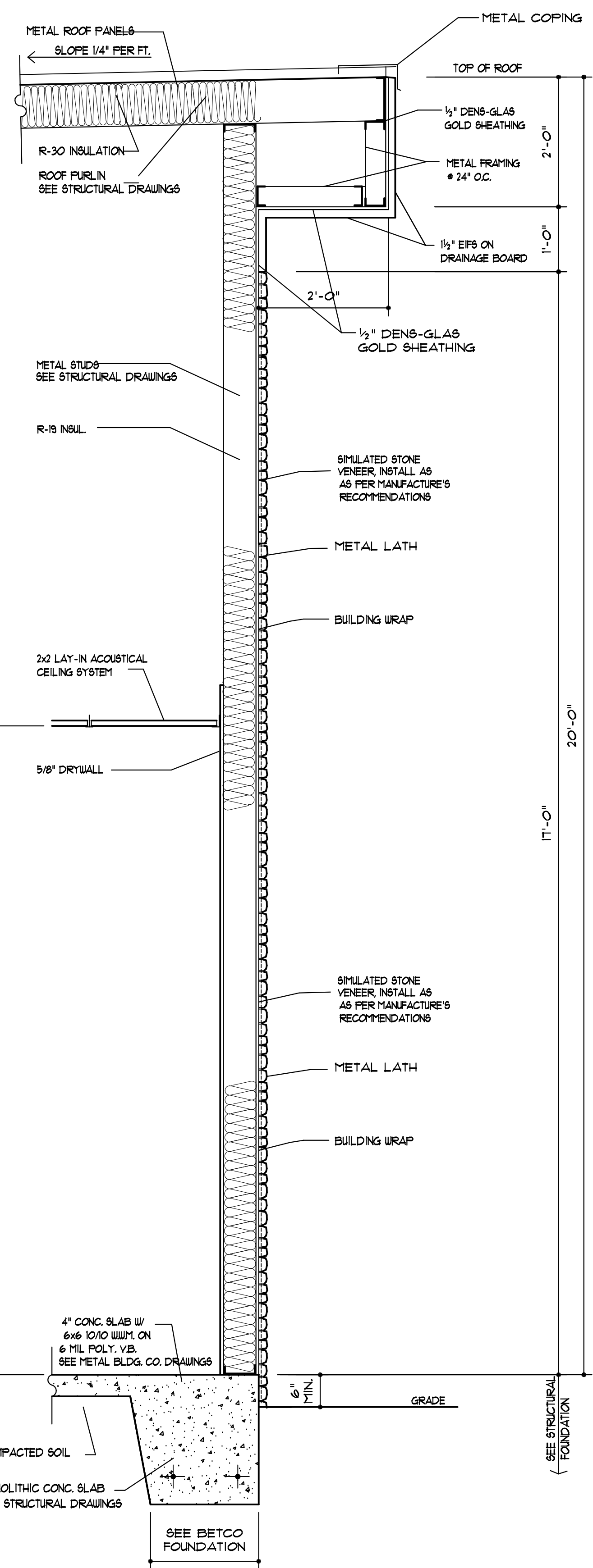
**NEW STORAGE FACILITY FOR HARNETT SELF STORAGE**  
 SPOUT SPRINGS, NC



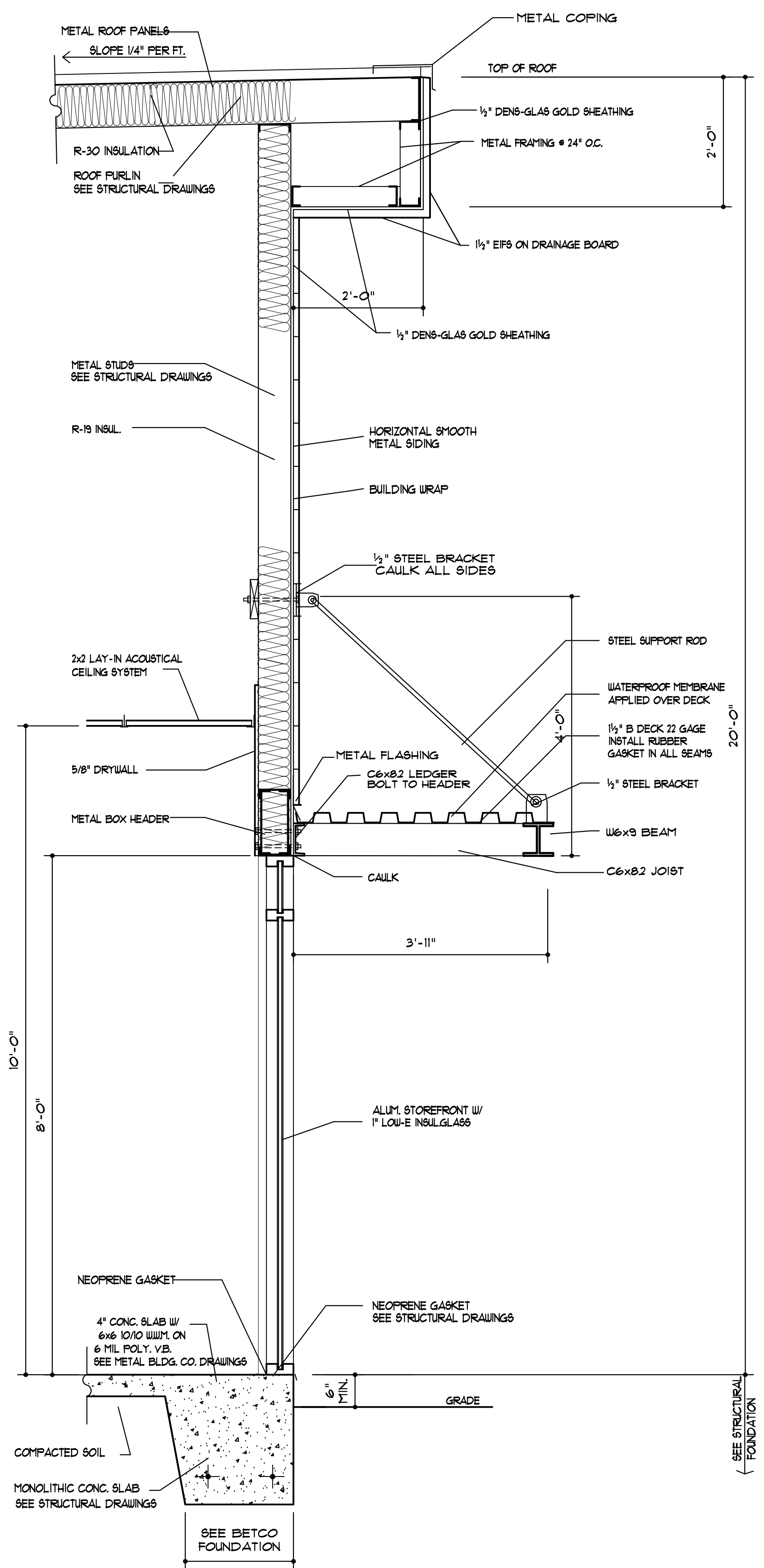
6 TYP. EXTERIOR END WALL  
 A-4.1



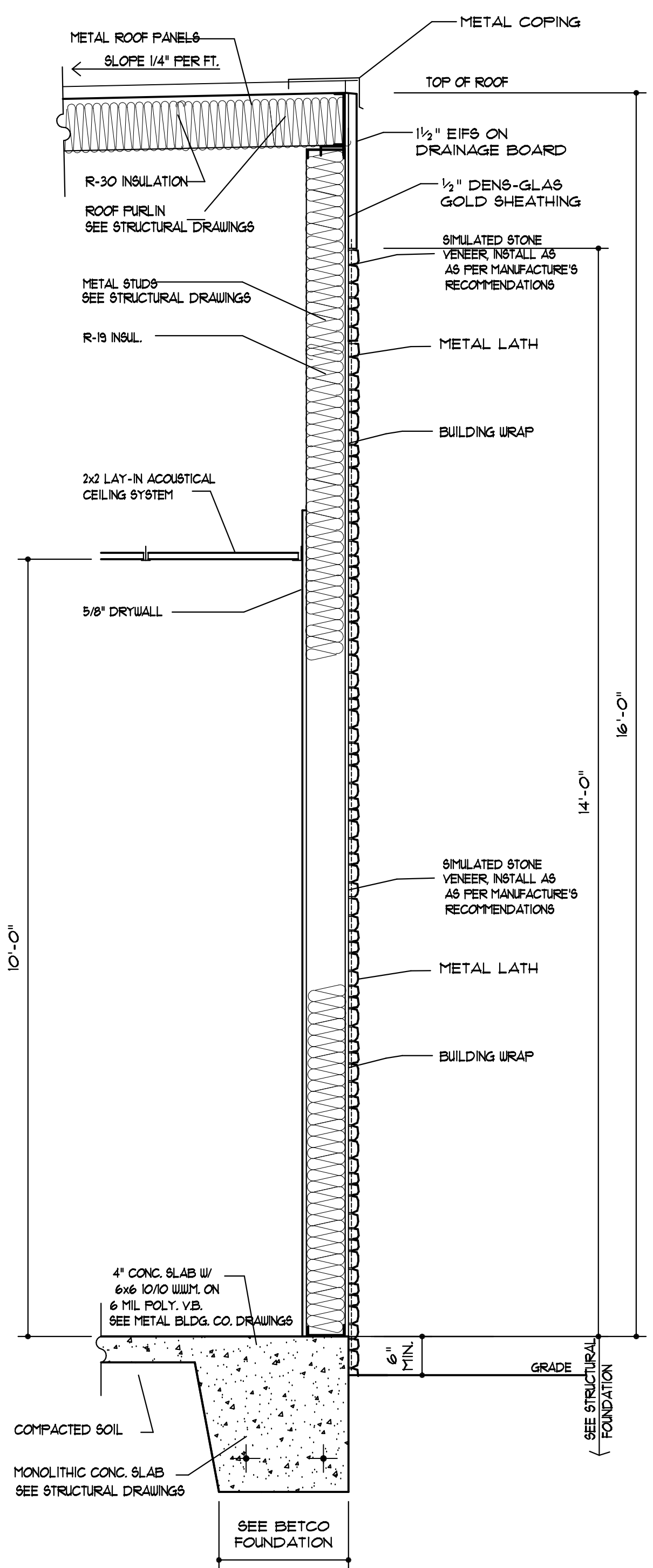
5 TYP. EXTERIOR END WALL  
 A-4.1



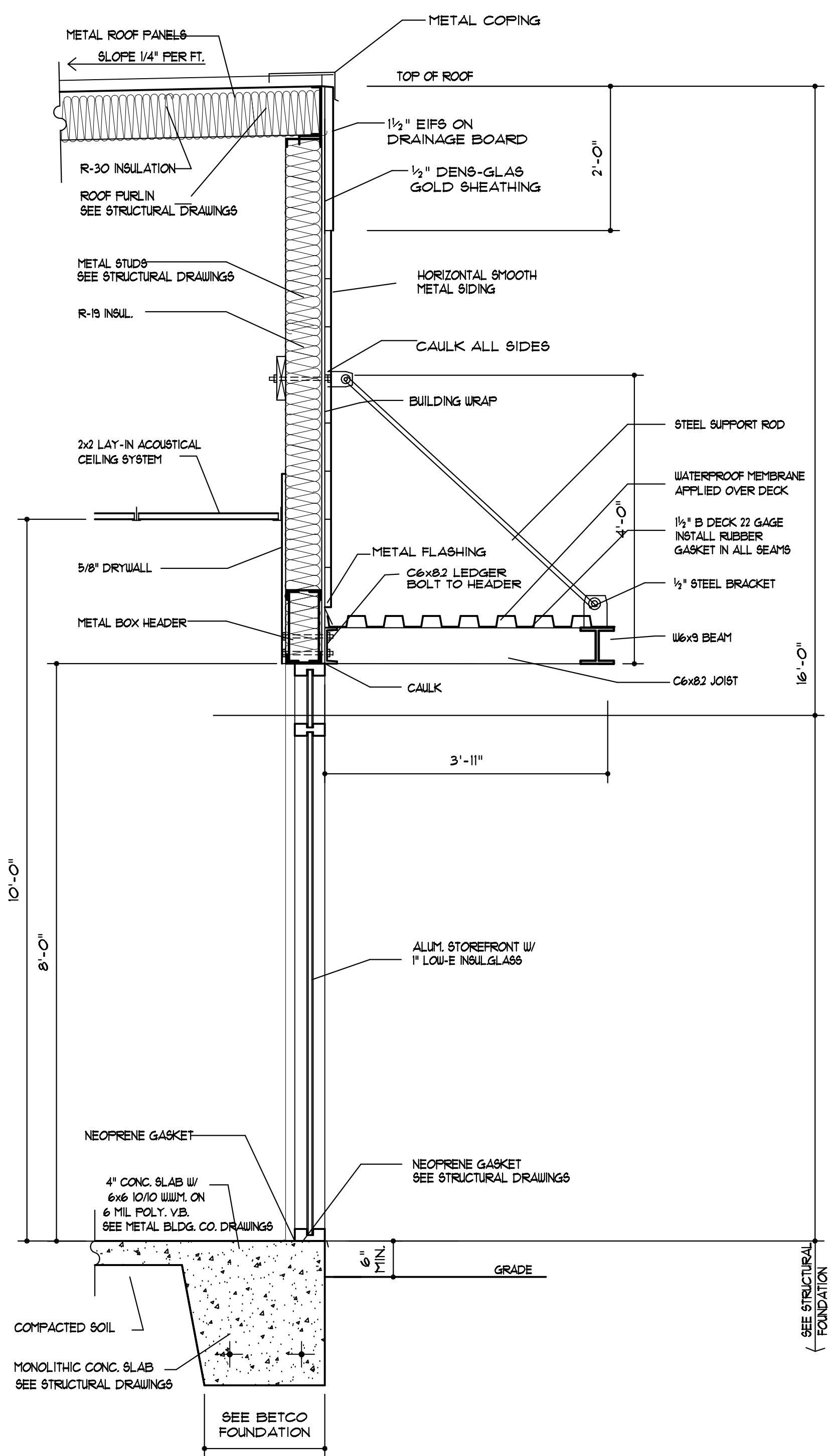
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 A-4.1



1 TYP. EXTERIOR END WALL  
 A-4.1



4 TYP. EXTERIOR END WALL  
 A-4.1



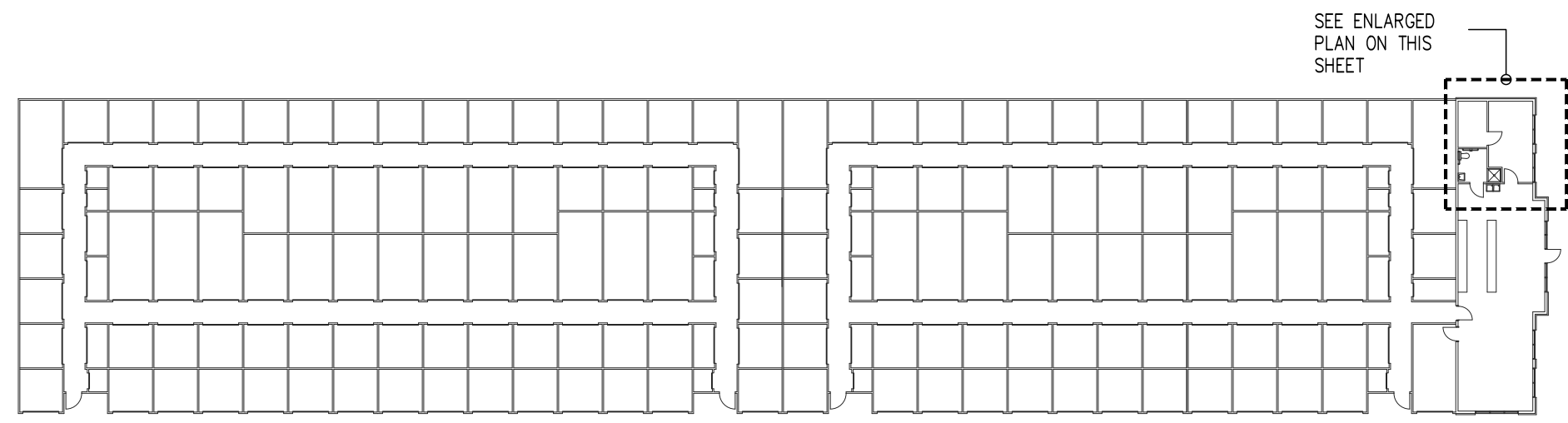
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REVISIONS	BY

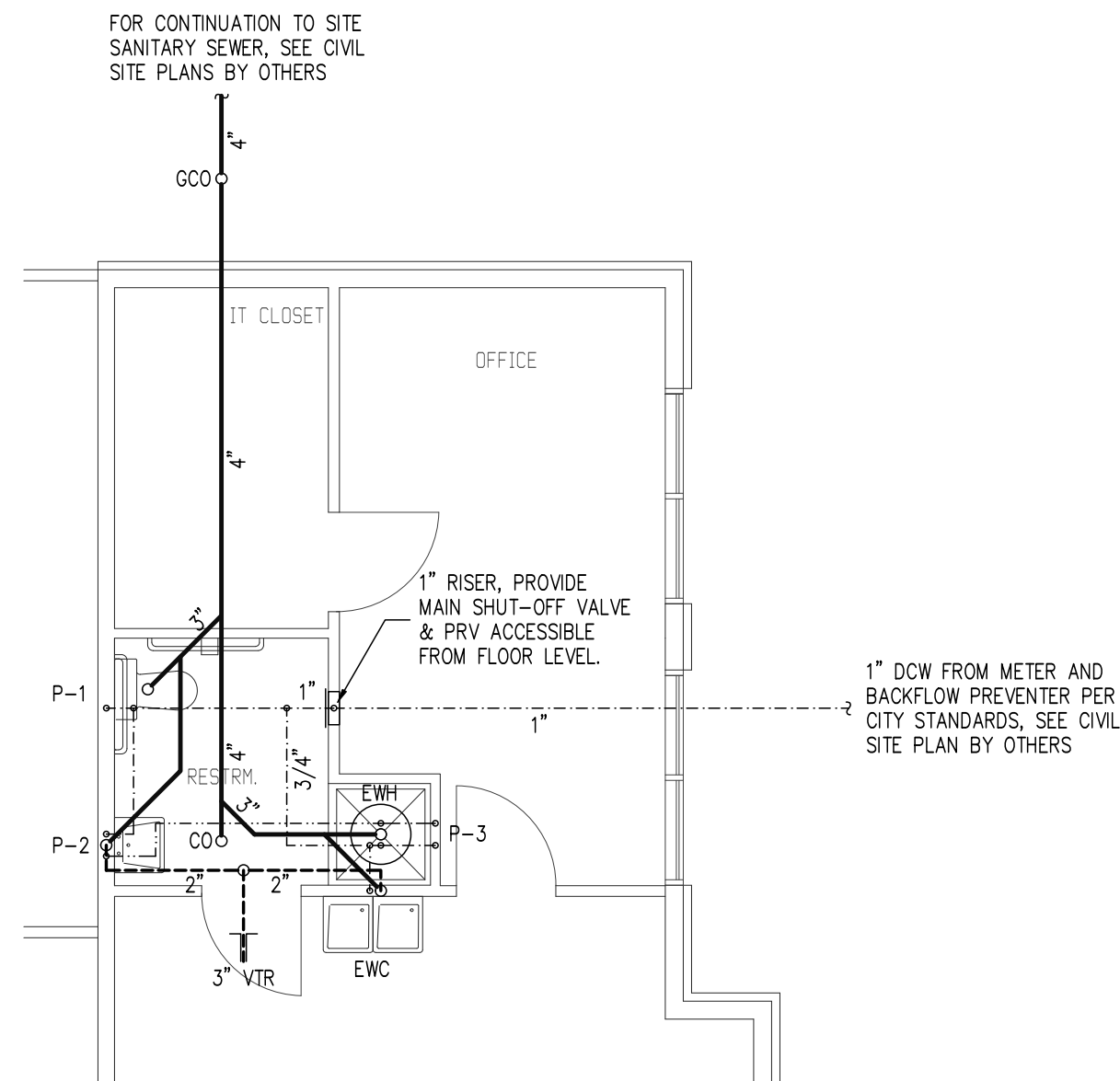
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**A-4.1**  
 BLDG. 'A'

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KEY PLAN  
NO SCALE



DWV RISER DIAGRAM  
NO SCALE

### PIPING SYMBOL LEGEND

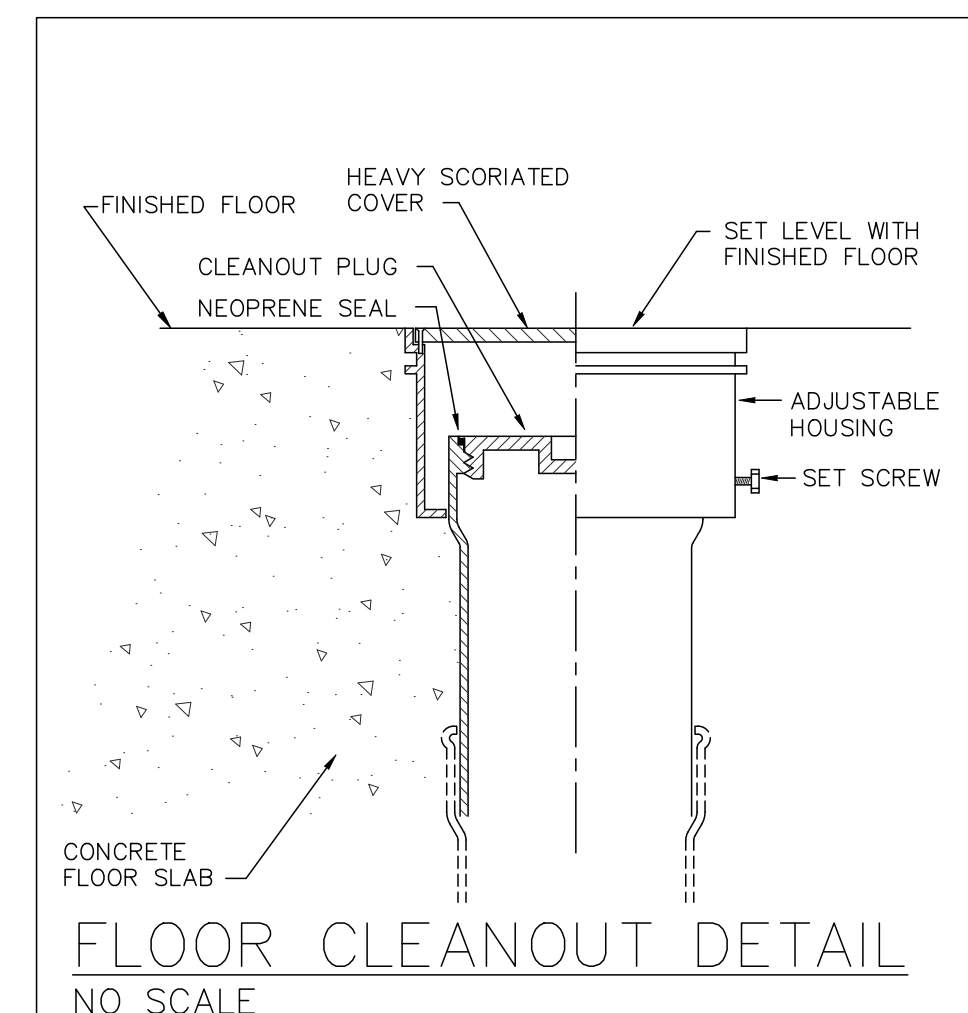
	SANITARY SOIL OR WASTE PIPING
	SANITARY BUILDING DRAIN
	ATMOSPHERIC VENT
	CLEAN-OUT
	COLD WATER
	HOT WATER (110°)
	NATURAL GAS
	HOSE BIB
	ANTI FREEZE HYDRANT
	PIPE TURNING UP/DOWN
	SHUTOFF VALVE (BALL TYPE)
	CHECK VALVE
	FIXTURE IDENTIFICATION
	CONNECT TO EXISTING

### PLUMBING ABBREVIATION LEGEND

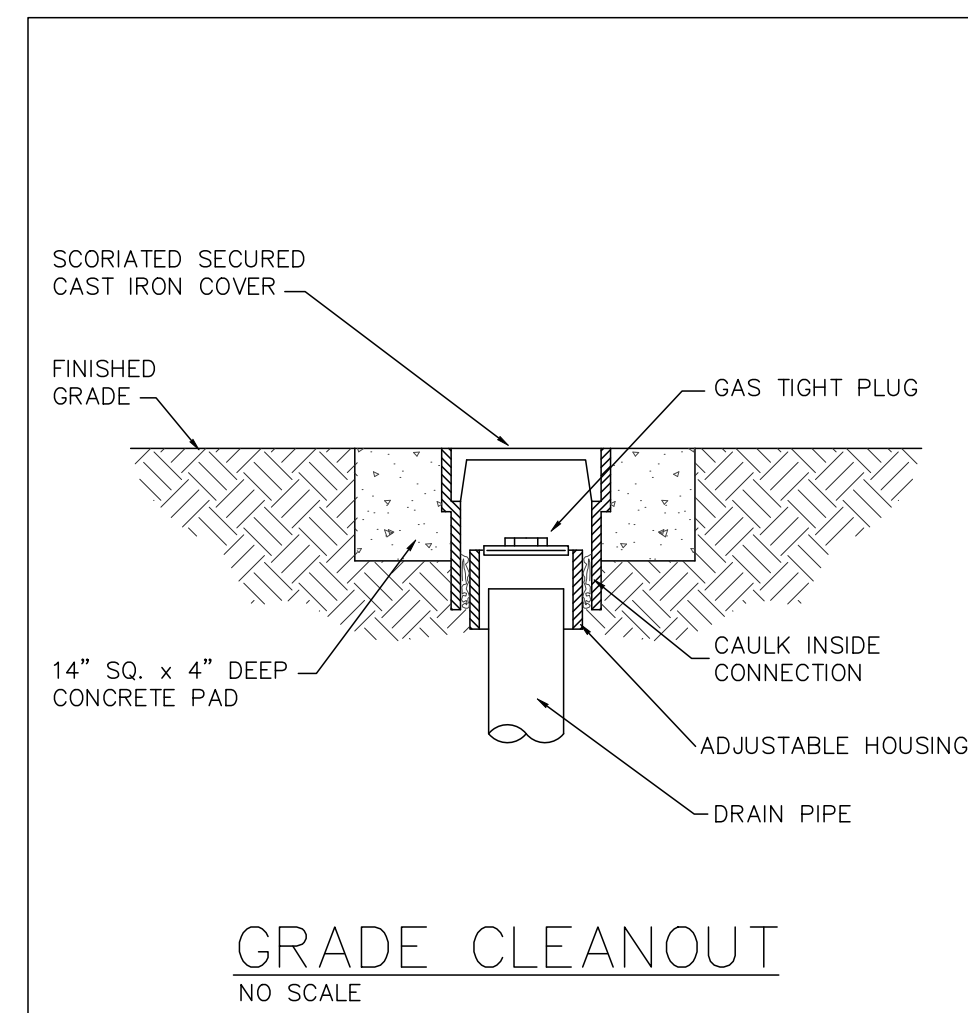
AAV	AIR ADMITTANCE VALVE, STUDDOR OR EQUAL
ABV	ABOVE
AFH	ANTI-FREEZE HYDRANT
CLG	CEILING
CW	COLD WATER
CO	CLEAN-OUT
CV	CIRCUIT VENT
EC	ELECTRICAL CONTRACTOR
EWG	ELECTRIC WATER COOLER
FD	FLOOR DRAIN
FS	FLOOR SINK
FW	FILTERED WATER
GCO	GRADE CLEAN OUT (AT FINISH GRADE IN CONC. PAD
GC	GENERAL CONTRACTOR
HB	HOSE BIB
HW	HOT WATER
HWCP	HOT WATER CIRCULATION PUMP
MC	MECHANICAL CONTRACTOR
P-X	PLUMBING FIXTURE NO. "X", SEE FIXTURE SCHEDULE
RD	ROOF DRAIN
RDL	ROOF DRAIN LEADER
V	VENT
VTR	VENT THROUGH ROOF
W	WASTE
WCO	WALL CLEAN-OUT

### PLUMBING FIXTURE SCHEDULE

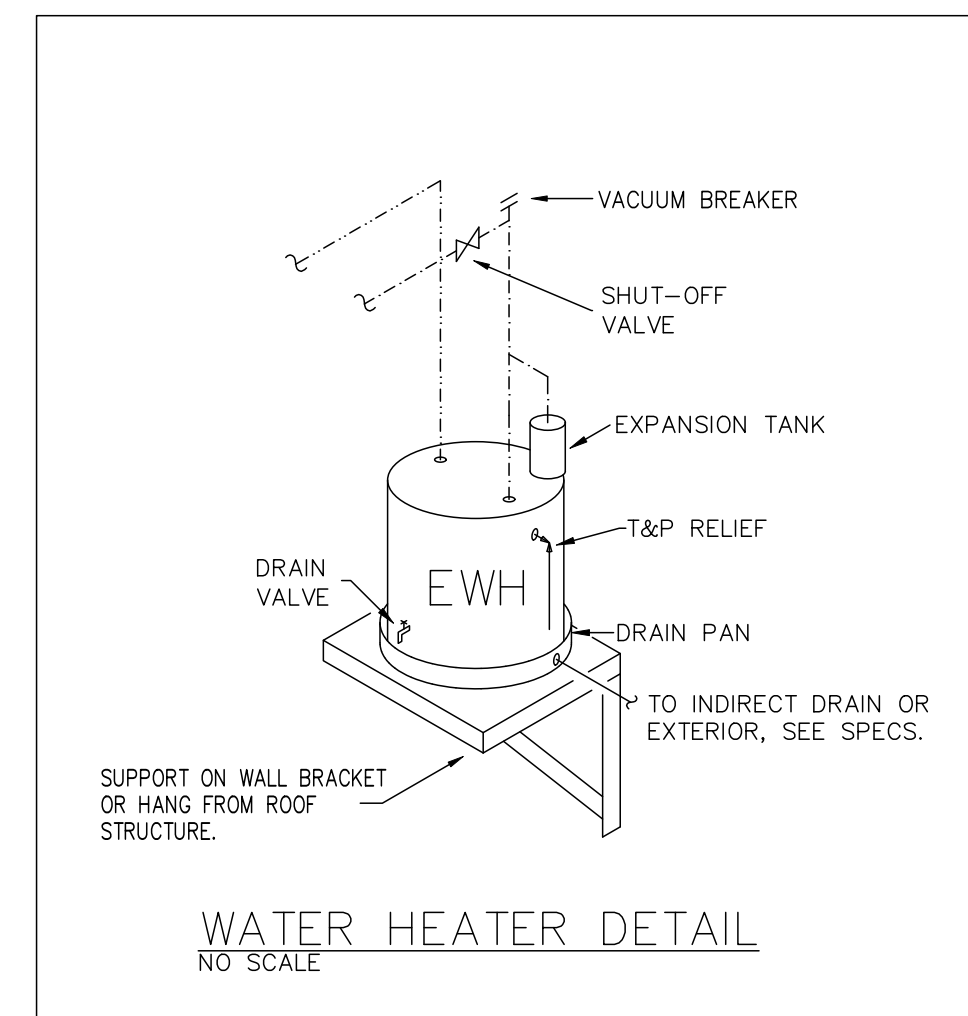
MARK	DESCRIPTION	MINIMUM CONNECTIONS				REMARKS
		WASTE	VENT	CW	HW	
P-1	ACCESSIBLE (ADA) FLOOR MOUNT, FLUSH TANK WATERCLOSET	3"	2"	1/2"	NA	WHITE VITREOUS CHINA, ELONGATED BOWL, WHITE OPEN FRONT SEAT W/ SELF-SUSTAINING CHECK HINGES, 1.6 GPF SEAT HEIGHT PER N.C. ACCESSIBILITY CODE
P-2	ACCESSIBLE (ADA) WALL-HUNG LAVATORY	2"	2"	1/2"	1/2"	WHITE VITREOUS CHINA, SINGLE LEVER FAUCET, ASSE 1070 MIXING VALVE, C.P. GRID STRAINER & TAILPIECE W/ 1-1/2" P-TRAP W/ C.O., C.P. RIGID SUPPLIES W/ ANGLE STOP, ADA TRAP AND SUPPLY INSULATION KIT
P-3	MOP SINK	3" FD	2"	1/2"	1/2"	PRE-CAST RECEPTOR W/ FLOOR DRAIN ROUGH C.P. MIXING WALL FAUCET W/ VAC. BRKR., BUCKET HOOK, WALL BRACE, HOSE THREAD OUTLET, MOP RACK & WALL GUARDS.
EWC	ACCESSIBLE (ADA) ELECTRIC WATER COOLER	2"	2"	1/2"	NA	DUAL HEIGHT BASINS WITH FLOOR CARRIER CHAIR, 120V 8-GPH, LEAD-FREE, CFC-FREE
EWH	ELECTRIC WATER HEATER	NA	NA	3/4"	3/4"	20 GALLON STORAGE, 1500 WATT, 120V 1PH W/ T&P RELIEF, VACUUM BREAKER, EXPANSION TANK AND CATCH-PAN, BRADFORD-WHITE, STATE, A.O. SMITH OR EQUAL.



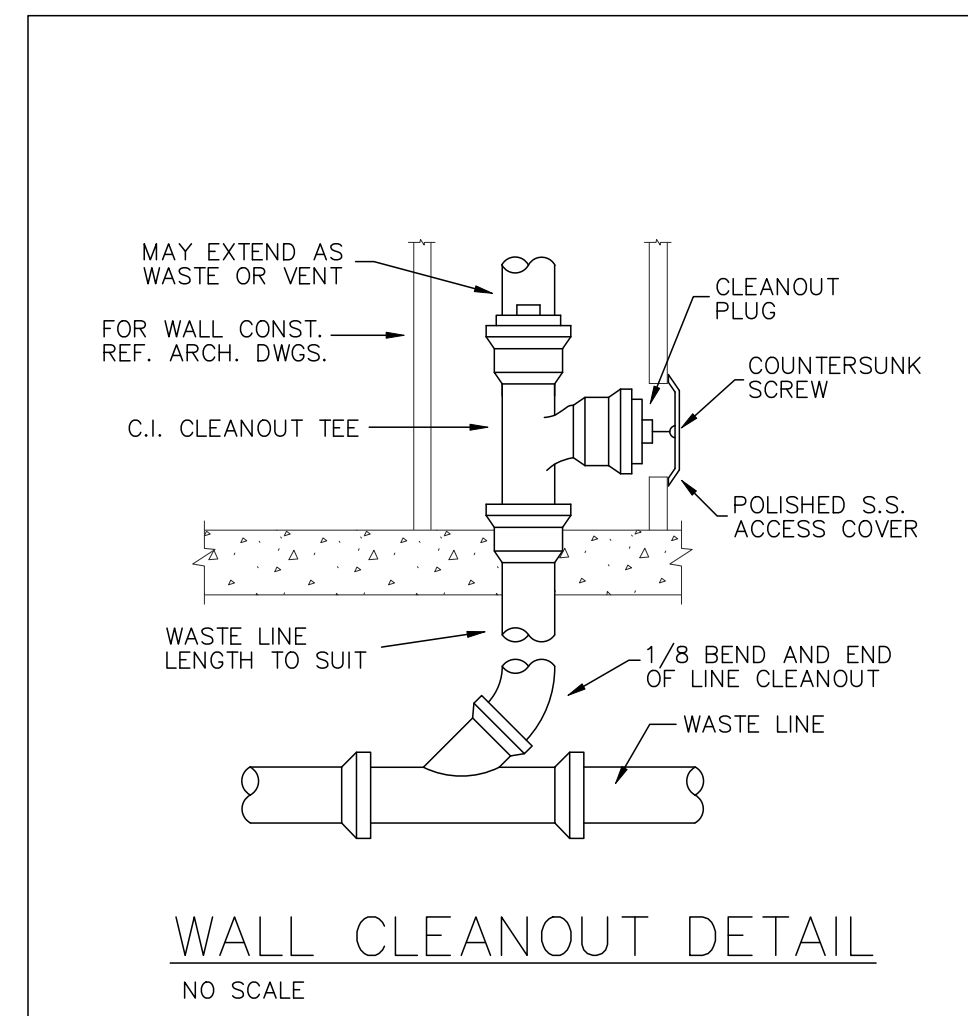
FLOOR CLEANOUT DETAIL  
NO SCALE



GRADE CLEANOUT  
NO SCALE



WATER HEATER DETAIL  
NO SCALE



WALL CLEANOUT DETAIL  
NO SCALE

**PLUMBING SPECIFICATIONS**

**GENERAL**

ALL PLUMBING WORK SHALL BE IN STRICT ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE NORTH CAROLINA PLUMBING CODE THE AND APPLICABLE REFERENCED STANDARDS.

THE WORK INCLUDES PROVIDING MATERIALS, FITTINGS AND ACCESSORIES NECESSARY FOR A COMPLETE FUNCTIONING PLUMBING SYSTEM. ALL MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE NEW AND UNUSED AND FREE FROM DEFECTS. ANY ITEM NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, BUT THAT IS NORMALLY REQUIRED TO CONFORM TO THE INTENT, ARE TO BE CONSIDERED A PART OF THE CONTRACT. THE WORK MAY ALSO INCLUDE ROUGH-IN AND FINAL CONNECTIONS TO EQUIPMENT PROVIDED BY OTHERS. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND/OR ORDINANCES AND IS SUBJECT TO INSPECTION.

HOOK-UP CHARGES, PERMITS, LOCAL FEES AND ALL OTHER EXPENSES RELATED TO A COMPLETE AND FUNCTIONING PLUMBING SYSTEM SHALL BE INCLUDED IN THE CONTRACTORS BID. THE CONTRACTOR SHALL COOPERATE FULLY WITH LOCAL COMPANIES WITH RESPECT TO THEIR SERVICES.

THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATIONS & TYPES OF FIXTURES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. REFER TO MANUFACTURER'S STANDARD ROUGH-IN DRAWINGS FOR PLUMBING FIXTURE INSTALLATION REQUIREMENTS. COMPLY WITH ALL APPLICABLE ADA INSTALLATION REQUIREMENTS.

COORDINATION: COORDINATE WITH THE WORK OF OTHER SECTIONS, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE. ANY WORK THAT IS INSTALLED BY THIS CONTRACTOR THAT RESULTS IN CONFLICT, DUE TO LACK OF COORDINATION BETWEEN TRADES, SHALL BE CHANGED AS DIRECTED BY THE ARCHITECT/ENGINEER WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.

**DEFINITIONS**

FURNISH MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. INSTALL MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. PROVIDE MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR INTENDED USE.

FIRESTOPPING IS A MATERIAL OR COMBINATION OF MATERIALS USED TO RETAIN INTEGRITY OF FIRE-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND HOT GASES THROUGH PENETRATIONS IN FIRE RATED WALL AND FLOOR ASSEMBLIES.

PROVIDE LABOR AND MATERIALS TO REPAIR OR REPLACE DEFECTIVE PARTS AND MATERIALS AS REQUIRED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION OR OWNER ACCEPTANCE OF THE COMPLETED PROJECT.

PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.

**PIPING SYSTEMS**

**GENERAL:**

MATERIALS PENETRATING FIRE RATED CONSTRUCTION SHALL BE PROVIDED AS LISTED IN AN APPROVED U.L. TESTED FIRESTOP SYSTEM.

ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION. ALL PIPING SHALL BE CONCEALED EXCEPT IN UNFINISHED SPACES. INSTALL AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK SUCH AS DUCTS AND ELECTRICAL CONDUIT. AT ALL CONNECTIONS BETWEEN FERROUS PIPING AND NONFERROUS PIPING, PROVIDE AN ISOLATING DIELECTRIC UNION. ALL HANGERS SHALL BE COMPATIBLE WITH PIPING MATERIAL TO PREVENT CORROSION.

**SEWER AND WASTE PIPING:**

PROVIDE ALL DRAINS AND SEWERS WITHIN THE SPACE WITH CONNECTION TO THE EXISTING DRAINAGE SYSTEMS ON-SITE. SANITARY DRAINAGE PIPING ABOVE FLOOR SHALL BE HUBLESS CAST-IRON PIPE, FITTINGS AND CONNECTIONS OR DWV PVC PLASTIC SCHEDULE 40 PIPING WITH SOLVENT WELD FITTINGS. SANITARY DRAINAGE PIPING BELOW GRADE SHALL BE SERVICE-WEIGHT HUB AND SPIGOT TYPE CAST-IRON WITH NEOPRENE GASKET JOINTS OR DWV PVC PLASTIC SCHEDULE 40 PIPING WITH SOLVENT WELD FITTINGS.

FOR PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL BE NOT LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.

BUILDING SEWER PIPING WITHIN 5 FT OF WATER PIPING BELOW GRADE SHALL BE CAST-IRON PIPE PER ASTM A 74, OISI 301, AND ASTM A 888 OR SHALL BE SCHEDULE 40 PVC DWV PIPE CONFORMING TO ASTM F 1488.

PIPE FITTINGS SHALL BE APPROVED FOR INSTALLATION WITH THE PIPING MATERIAL INSTALLED AND SHALL CONFORM TO THE RESPECTIVE PIPE STANDARDS REFERENCED IN THE N.C. PLUMBING CODE.

ALL DRAINAGE PIPING SHALL BE UNIFORMLY PITCHED, MINIMUM 1/8" PER FOOT FOR 3" AND LARGER AND 1/4" PER FOOT FOR 2" AND SMALLER UNLESS OTHERWISE REQUIRED BY EXISTING CONDITIONS, OR INDICATED ON THE DRAWINGS.

**CLEANOUTS:**

PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE, CONFORMING TO CODE REQUIREMENTS. PROVIDE SUITABLE WALL OR FLOOR CLEANOUTS WITH ACCESSORIES TO OBSCURE FROM VIEW.

**VENTS:**

PROVIDE A COMPLETE SYSTEM OF STANDARD WEIGHT CAST IRON NO-HUB VENT RISERS WHERE THE CEILING SPACE IS USED AS A RETURN AIR PLENUM OR USE DWV PLASTIC WHERE THERE IS A DUCTED RETURN AIR SYSTEM. DO NOT USE DWV PLASTIC IN RETURN AIR PLENUM SPACES.

THE VENT SYSTEM SHALL BE CARRIED THROUGH THE ROOF WITH APPROPRIATE FLASHING.

**WATER DISTRIBUTION PIPING:**

LAYOUT WATER PIPING SO THAT THE ENTIRE SYSTEM CAN BE DRAINED. HOT AND COLD WATER PIPING SHALL CONFORM TO NSF 61 AND ONE OF THE CORRESPONDING STANDARDS LISTED IN TABLE 605.3(SERVICE PIPE) & 605.4(DISTRIBUTION PIPE) OF THE 2018 NC PLUMBING CODE. PROVIDE WATER HAMMER ARRESTERS AT EACH FIXTURE OR GROUP OF FIXTURES AS REQUIRED. INSTALL CHROME PLATED BRASS ESCUTCHEON PLATES AT ALL PENETRATIONS THROUGH FINISHED SURFACES (INCLUDING CABINET INTERIORS).

TEST WATER SYSTEM AND PROVE TIGHT UNDER A WATER PRESSURE OF NOT LESS THAN 100 PSI OR FOR PIPING SYSTEMS OTHER THAN PLASTIC, BY AN AIR TEST OF NOT LESS THAN 100 PSI. WATER SHALL BE OBTAINED FROM A POTABLE SOURCE OF SUPPLY. WHEN TESTING INDICATES MATERIALS OR WORKMANSHIP IS DEFICIENT, REPLACE OR REPAIR AS REQUIRED, AND REPEAT TEST UNTIL STANDARDS ARE ACHIEVED.

INSULATE ALL HOT WATER SUPPLY AND RETURN PIPING & CW PIPING OUTSIDE OF BUILDING INSULATION ENVELOPE (EXCEPT AT FIXTURE CONNECTIONS) WITH 1 INCH OF INSULATION HAVING A CONDUCTIVITY NOT EXCEEDING 0.28 BTU PER INCH/H\*F.F. INSULATE COLD WATER PIPING WITH 1/2 INCH OF INSULATION TO PREVENT CONDENSATION. INSULATE ANY EXPOSED CONDENSATE PIPING WITH WASTE TEMPERATURE BELOW 60 DEGREES F.

SHUTOFF VALVES WITH UNIONS SHALL BE PROVIDED FOR SERVICE TO EACH PLUMBING FIXTURE TO FACILITATE ISOLATION FOR REPAIR OR REPLACEMENT. VALVES SHALL BE EQUAL TO JENKINS BALL VALVE, CHROME-FINISHED BRONZE, TEFLON SEATS AND PACKING, 400 LB. W.O.G., SOLDER END.

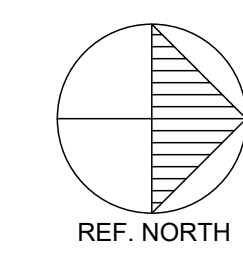
**INSTALLATION**

FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLING, CONNECTING, AND ADJUSTING ALL EQUIPMENT AND PLUMBING SYSTEM COMPONENTS.

THOROUGHLY CLEAN ITEMS BEFORE INSTALLATION. CAP PIPE OPENINGS TO EXCLUDE DIRT UNTIL FIXTURES ARE INSTALLED AND FINAL CONNECTIONS HAVE BEEN MADE. PROCEED AS RAPIDLY AS CONSTRUCTION WILL PERMIT. SET FIXTURES LEVEL AND IN PROPER ALIGNMENT. INSTALL SUPPLIES IN PROPER ALIGNMENT WITH FIXTURES. INSTALL SILICONE SEALANT BETWEEN FIXTURES AND ADJACENT MATERIAL, FOR SANITARY JOINT, AND OMIT ESCUTCHEONS.

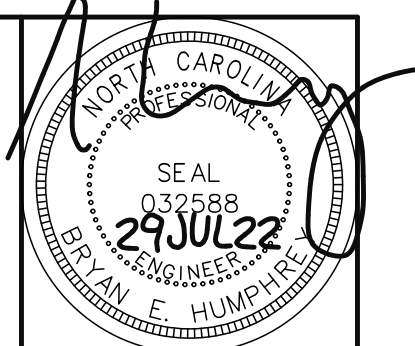
ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.

ROOF PENETRATIONS SHALL COMPLY WITH "SMACNA" AND "NRCA" STANDARDS, AND WITH THE REQUIREMENTS OF THE ROOFING WARRANTY, IF APPLICABLE. DO NOT PERFORM ROOFING PENETRATIONS IN A MANNER WHICH WOULD VOID OR OTHERWISE LIMIT THE ROOFING WARRANTY.



# PLUMBING PLAN

SCALE: 3/16" = 1'-0"



### REVISIONS

NO.	DESCRIPTION

**EUBANKS ENGINEERING P.C.**  
**HUMPHREY**

102 Pateley St., Suite 200  
Greensboro, NC 27401

Phone 336.379.0663  
Fax 336.379.0663

FIRM LICENSE: C-2272

BUILDING SYSTEMS PLANS FOR:

**HARNETT SELF STORAGE**  
SPOUT SPRINGS, NC

JOB NO. 2278  
ORIGINAL ISSUE DATE 29JUL22  
DRAWN BY JMK  
CHECKED BY BEH  
SHEET NO.

**P-1**  
OF 1

HVAC ABBREVIATIONS

Table of HVAC abbreviations including ABV, AD, BDD, CD, CFM, COMP, DMPR, EC, ECR, ED, EF, EG, ER, EVAP, FRAG, FD, FOB, FOT, GC, GD, KES, MUAI, MUAD, MUAF, CAI, OAD, PC, PDD, RAD, RAG, RAR, RCD, RDR, RH, RTS, RTU, SAD, SAF, SR, SG, STR, TG, TSTAT, UCD, VAVCD.

HVAC PLAN SYMBOLS

Table of HVAC plan symbols including WXH, ceiling diffuser, return air grille, return air register, exhaust fan, and programmable electronic thermostat.

MITSUBISHI ELECTRIC TRANE HVAC US: CITY MULTI VRF OUTDOOR UNIT SCHEDULE

Table for Mitsubishi Electric Trane HVAC US: City Multi VRF Outdoor Unit Schedule with columns for System Tag, Tag Reference, Nominal Data, Design Conditions, Performance Data, and Notes/Options.

MITSUBISHI ELECTRIC TRANE HVAC US: CITY MULTI VRF INDOOR UNIT SCHEDULE

Table for Mitsubishi Electric Trane HVAC US: City Multi VRF Indoor Unit Schedule with columns for System Tag, Tag Reference, Nominal Data, Design Conditions, Performance Data, Fan/Water Flow Data, Electrical Data, and Notes/Options.

MECHANICAL SPECIFICATIONS

MECHANICAL SPECIFICATIONS text detailing work includes, equipment, materials, condensate disposal, ductwork, and other mechanical requirements.

SPLIT HEAT PUMP AIR HANDLER SCHEDULE

BASED ON TRANE SERIES AIR HANDLERS. EQUIVALENT SYSTEMS BY OTHER MANUFACTURERS MAY BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY ENGINEER.

Table for Split Heat Pump Air Handler Schedule with columns for System Mark, Model No., CFM, ESP High Speed, Power, Fan FLA, Auxilliary Htg. Coil, Minimum Ckt. Amps, Max. Ckt. Brkr, and Balance Outdoor Airflow.

SPLIT HEAT PUMP OUTDOOR UNIT SCHEDULE

BASED ON TRANE SERIES HEAT PUMPS. EQUIVALENT SYSTEMS BY OTHER MANUFACTURERS MAY BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY ENGINEER.

Table for Split Heat Pump Outdoor Unit Schedule with columns for System Mark, Model No., Net Clg Capacity, Sensible Net Clg Capacity, Rev. Cyc. Htg. Cap., ARI Rated Efficiency, Power, Comp. RLA, Cond. FLA, MCA, and Max Ckt. Brkr.

DEHUMIDIFIER SCHEDULE

Table for Dehumidifier Schedule with columns for Tag, Make, Model, Capacity, Airflow, Voltage, FLA, and MOP.

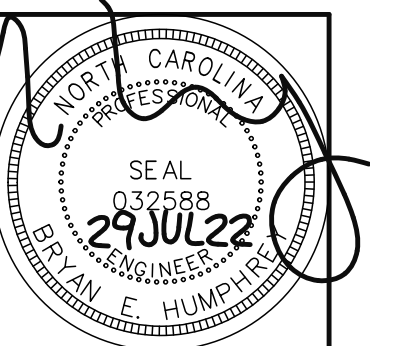
VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY

BASED ON 2018 SC MECHANICAL CODE

STORAGE AREA: BUILDING'S PRIMARY USE IS STORAGE AND IS INTENDED TO BE OCCUPIED ONLY OCCASIONALLY AND FOR SHORT PERIODS OF TIME.

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL design. Includes sections for Mechanical Systems, Service Systems and Equipment, and Mechanical Spacing/Conditioning System.

NOTE: VRF MANUFACTURER SHALL PROVIDE UPDATED SCHEDULES & PIPING DIAGRAMS BASED ON ACTUAL LAYOUT OF EQUIPMENT.



REVISIONS table with columns for No., Description, and Date.

PROVIDE OPERATION MANUALS, MAINTENANCE MANUALS AND SCHEMATICS FOR ALL MECHANICAL EQUIPMENT INSTALLED.

CONDENSATE DISPOSAL SHALL BE PROVIDED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.

SHEETMETAL DUCTWORK: PROVIDE SHEETMETAL DUCTWORK FABRICATED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.

DUCT INSULATION: PROVIDE BLANKET TYPE FIBERGLASS INSULATION COMPLYING WITH ASTM C 1290 & NFPA 90A & 90B.

DUCT LINER: (WHERE INDICATED) PROVIDE MINIMUM 1" THICK, 1.5 PCF DENSITY, NEOPRENE COATED, LONG TEXTILE FIBER TYPE DUCT LINER.

DUCT TURNING VANES: (TO BE PROVIDED WHERE RADIUS ELBOWS WILL NOT FIT SPACE CONSTRAINTS) PROVIDE FABRICATED TURNING VANES.

TEMPERATURE CONTROLS: PROVIDE SEVEN DAY PROGRAMMABLE THERMOSTAT COMPATIBLE TO HVAC UNIT(S) AND CONTROL WIRING.

PROGRAMMING: THE CONTRACTOR SHALL PROGRAM ALL THERMOSTATS AT PROJECT COMPLETION. COORDINATE WITH TENANT FOR PROGRAM SETTINGS.

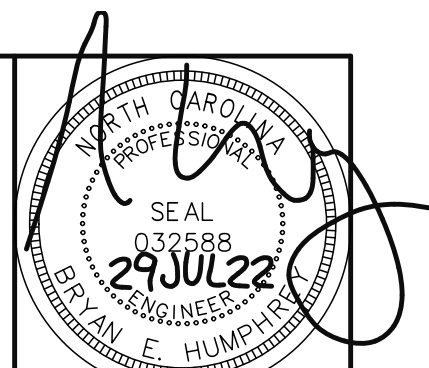
TESTING AND BALANCING: TEST AND ADJUST ALL MECHANICAL SYSTEMS AND OPERATION. ELIMINATE NOISE AND VIBRATION.

PROVIDE ALL CONTROL WIRING, THERMOSTATS, TRANSFORMERS, ETC. TO MEET SEQUENCE OF OPERATION

BUILDING SYSTEMS PLANS FOR: HARNETT SELF STORAGE SPOUT SPRINGS, NC

JOB NO. 2278 ORIGINAL ISSUE DATE 29JUL22 DRAWN BY JMK CHECKED BY BEH SHEET NO. M-1 OF 2





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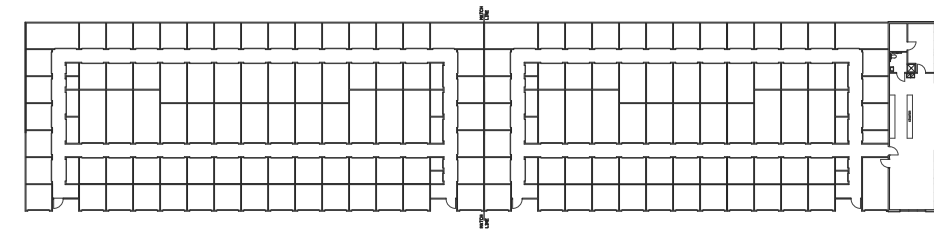
**EUBANKS ENGINEERING PC**  
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 102 Paisley St., Suite 200  
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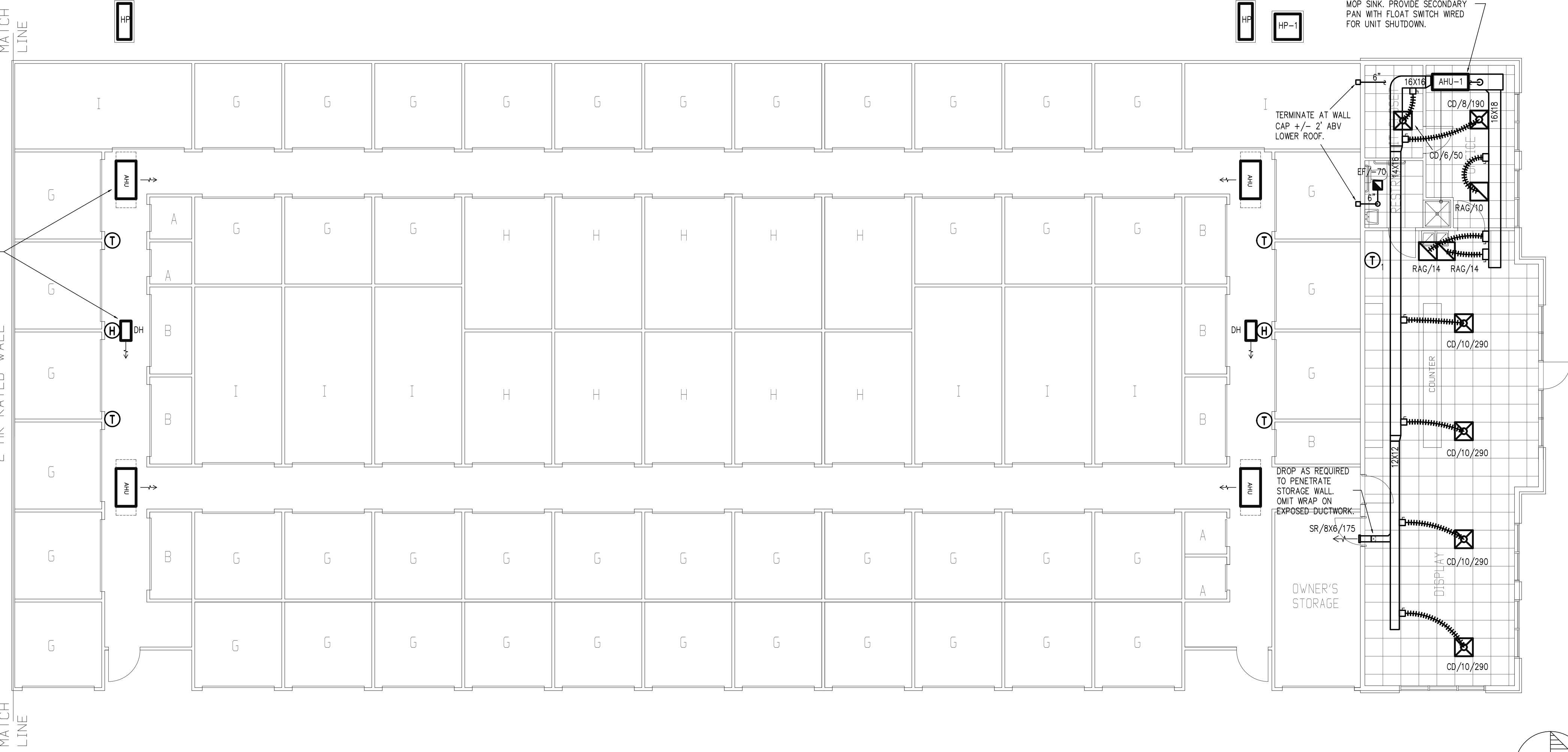
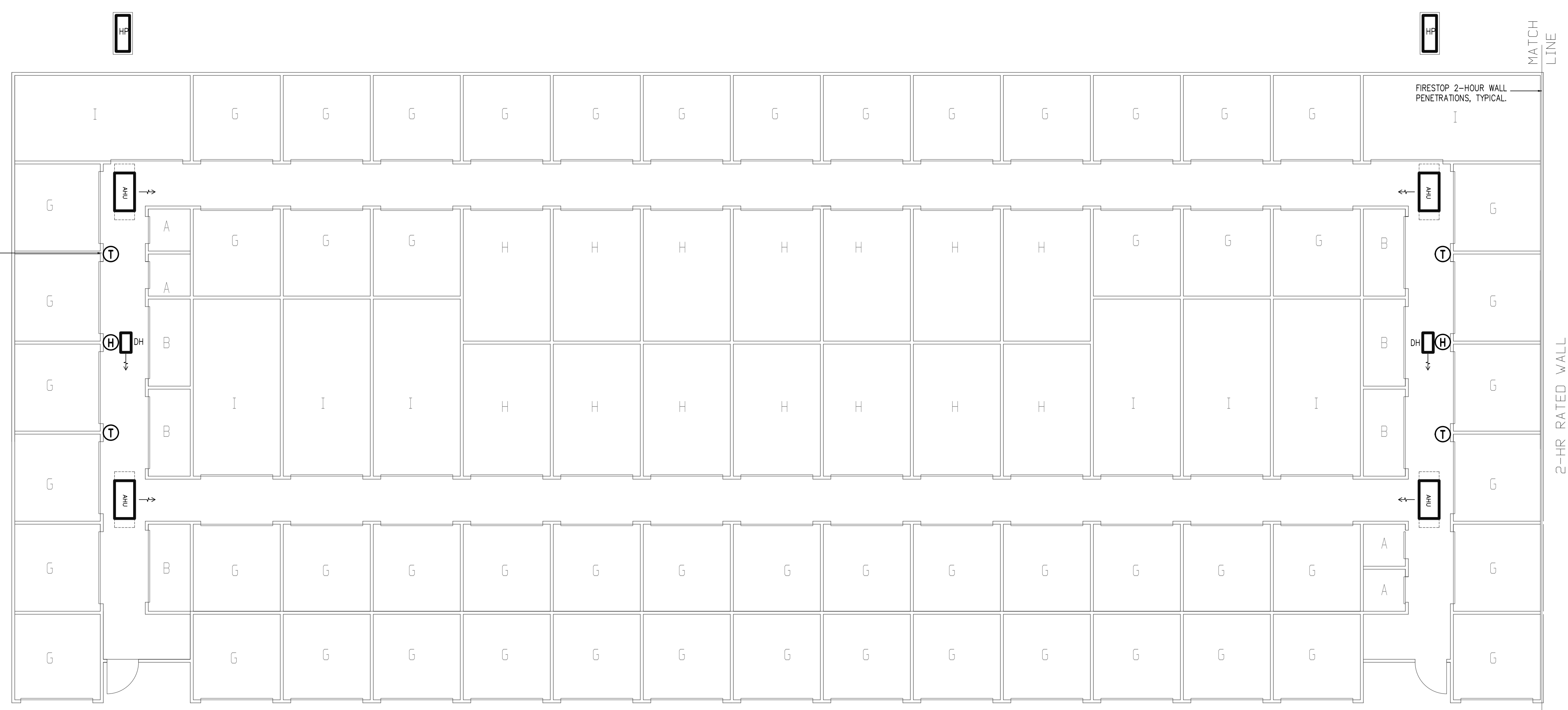
BUILDING SYSTEMS PLANS FOR:  
**HARNETT SELF STORAGE**  
 SPOUT SPRINGS, NC

JOB NO. 2278  
 ORIGINAL ISSUE DATE 29 JUL 22  
 DRAWN BY JMK  
 CHECKED BY BEH  
 SHEET NO.

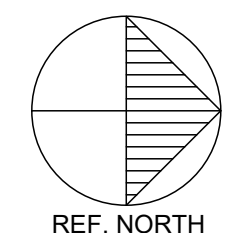
**M-2**  
 OF 2



**KEY PLAN**  
 NO SCALE



AIR HANDLERS AND DEHUMIDIFIERS SHALL BE PROVIDED WITH CONDENSATE PUMPS. A UL 508 WATER-LEVEL DETECTION DEVICE SHALL BE PROVIDED THAT WILL SHUT OFF THE EQUIPMENT IN THE EVENT THAT THE PRIMARY DRAIN IS BLOCKED. DISCHARGE CONDENSATE IN ACCORDANCE WITH LOCAL STANDARDS WHERE AS NOR TO CAUSE A NUISANCE. PROVIDE DRY WELL WHERE REQUIRED. TYPICAL.



**HVAC PLAN**  
 SCALE: 1/8" = 1'-0"

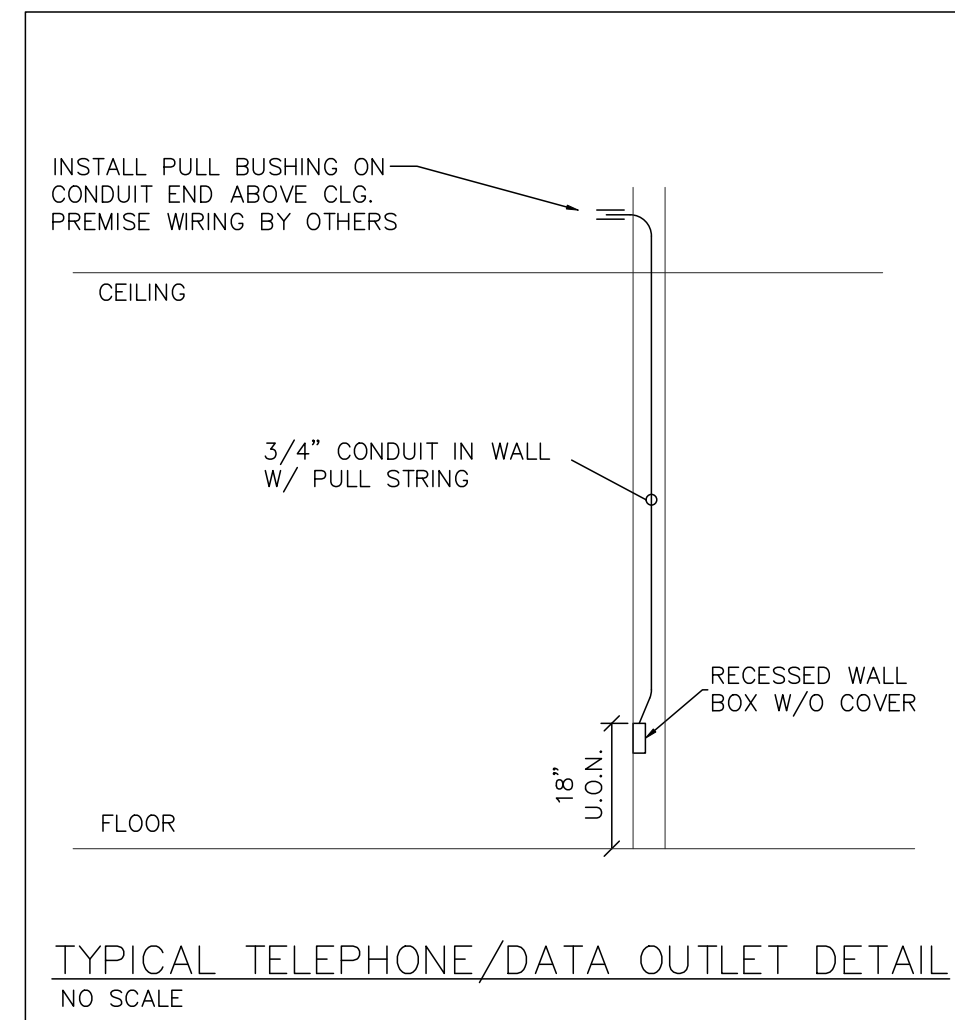
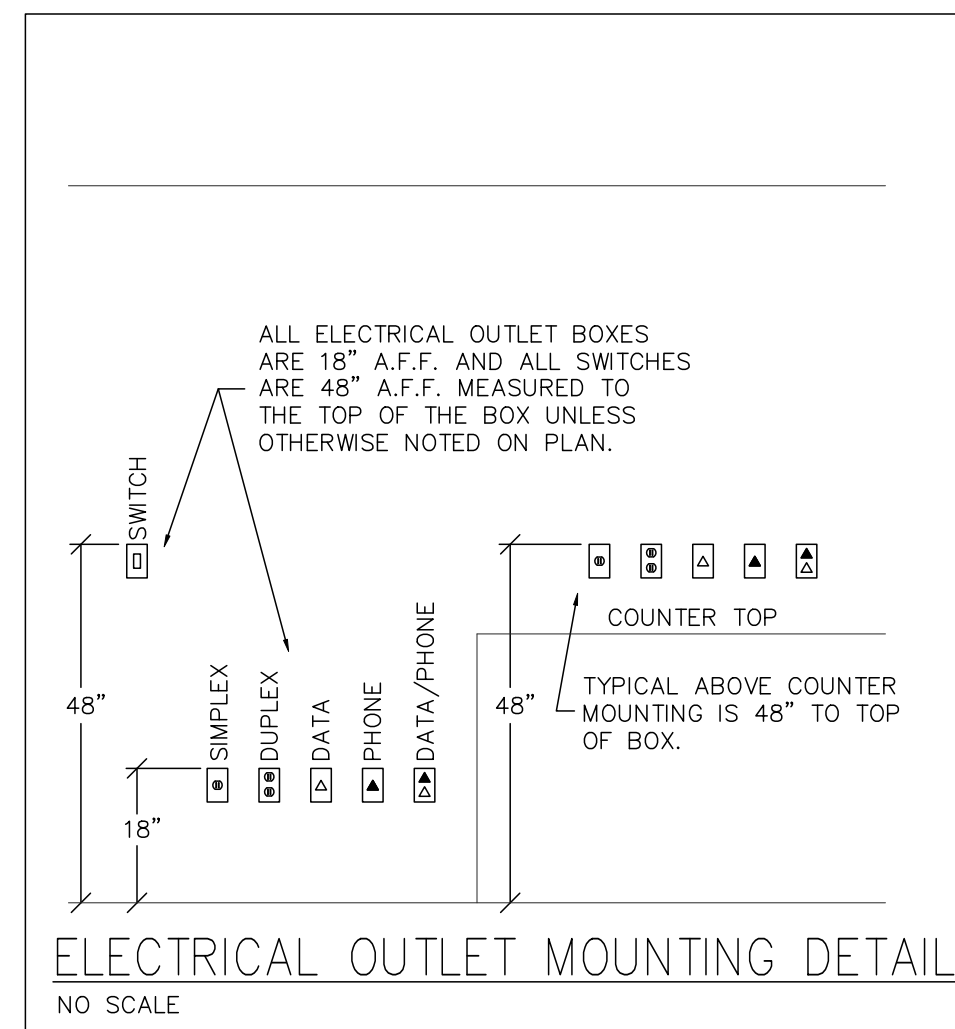
## ABBREVIATIONS

DESCRIPTION	ABBREVIATION
ABOVE	ABV
AUTOMATIC DOOR OPENER	ADO
AMPERE FRAME	AF
AMPERE TRIP	AT
BARE COPPER	BC
ELECTRICAL CONDUIT	C
CIRCUIT BREAKER	CB, C/B
DIRECT BURIAL	DB
DENTAL EQUIPMENT SUPPLIER	DES
ELECTRICAL CONTRACTOR	EC
EQUIPMENT GROUND	EG
ELECTRIC WATER COOLER	EWC
FIRE ALARM	FA
FIRESTOP	FS
FUSED SAFETY SWITCH	FSS
GENERAL CONTRACTOR	GC
GROUND TERMINAL BOX	GTB
GROUND FAULT CIRCUIT INTERRUPTER	GFCI
LOCAL TEMPERATURE CONTROL PANEL	LTCP
LIGHT FIXTURES	LTS
MAIN DISTRIBUTION PANEL	MDP
MAIN LUGS ONLY	MC
MECHANICAL CONTRACTOR	MC
NON-FUSED SAFETY SWITCH	NFSS
NIGHT LIGHT	NL
PHOTO CELL	PC
PLUMBING CONTRACTOR	PCL
POWER OPERATED DAMPER	POD
POWER TYPE ROOF VENTILATION	PTRV
RECEPTACLE	REC
SAFETY SWITCH	SS
TIME CLOCK	TC
WIRE	W
WEATHER PROOF IN USE	WP

## ELECTRICAL SYMBOL LEGEND

ONLY SYMBOLS USED ON PLANS APPLY.  
DIMENSIONS (+X) ARE TO TOP OF BOX

SYMBOL	DESCRIPTION
	CIRCUIT BREAKER PANEL BOARD
	CIRCUITRY, CONCEALED WHERE FEASIBLE 2 CONDUCTORS UNLESS INDICATED OTHERWISE BY HASH MARKS
	HOME RUN TO PANEL
	SAFETY DISCONNECT SWITCH, NEMA RATING AMPACITY AND FUSING AS REQUIRED
	120V DUPLEX GROUNDED RECEPTACLE, 18" AFF U.O.N WP = WEATHER PROOF U = DUAL USE PORTS IG = ISOLATED GROUND 120V
	120V DUPLEX GFCI RECEPTACLE, 18" AFF U.O.N
	QUADRAPLEX GROUNDED RECEPTACLE, 18" AFF U.O.N
	SPECIAL PURPOSE RECEPTACLE AS NOTED
	JUNCTION BOX
	EXHAUST FAN INSTALLED BY OTHERS
	DATA COMMUNICATIONS OUTLET, 18" AFF U.O.N (BOX, CONDUIT TO CLG SPACE ONLY)
	TELEPHONE OUTLET, 18" AFF U.O.N., (BOX, CONDUIT TO CEILING SPACE ONLY)
	TELEPHONE EQUIP. BACKBOARD, SIZE AS REQUIRED
	CABLE TV OUTLET, WIRE BACK TO SERVICE BOX.
	CIRCUITRY
	UNDERGROUND CIRCUITRY



## LIGHTING SYMBOL LEGEND

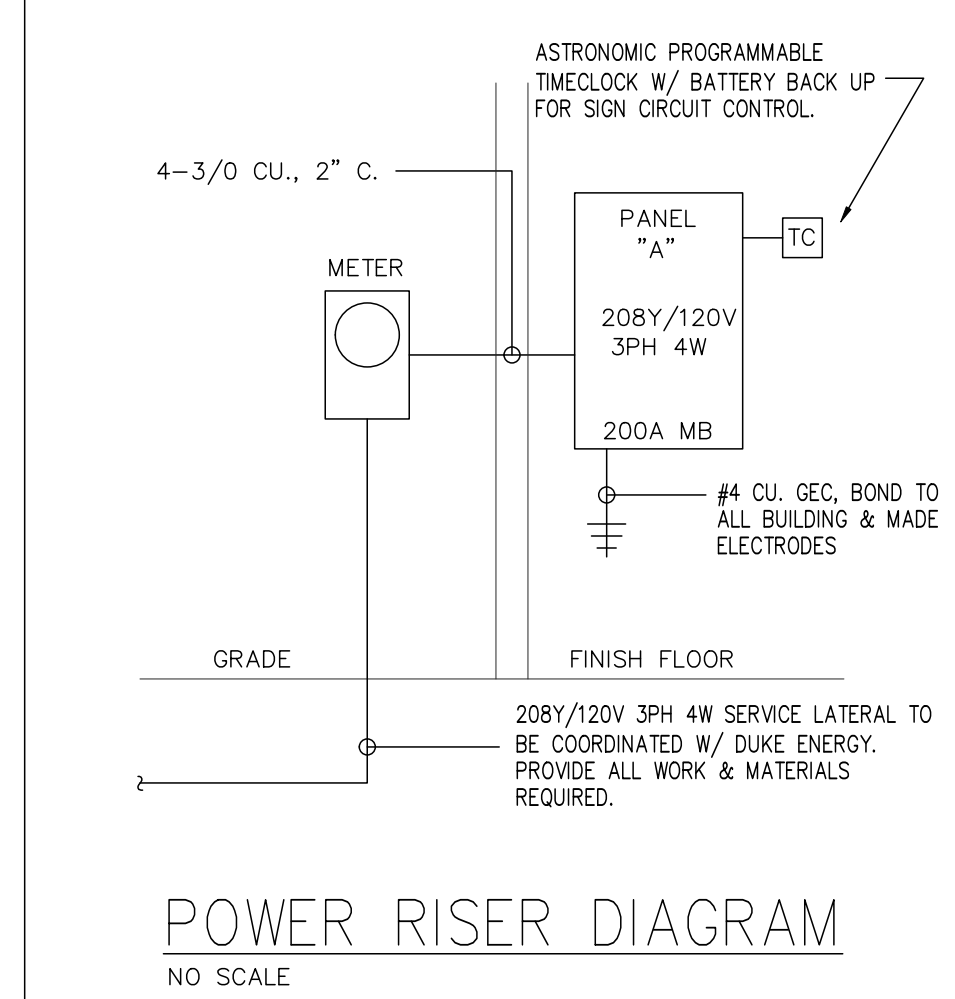
ONLY SYMBOLS USED ON PLANS APPLY.  
DIMENSIONS (+X) ARE TO TOP OF BOX

SYMBOL	DESCRIPTION
	WALL MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	2X4 LIGHT FIXTURE
	2X2 LIGHT FIXTURE
	BATTERY PACK EXIT SIGN
	BATTERY PACK EMERGENCY LIGHT
	BATTERY PACK COMBINATION EXIT/EMERGENCY LIGHT
	REMOTE EXIT DISCHARGE FIXTURE
	SWITCH 48" TO TOP AFF
	3-WAY SWITCH 48" TO TOP AFF
	4-WAY SWITCH 48" TO TOP AFF
	DIMMER SWITCH 48" TO TOP AFF
	SWITCH W/ PILOT LAMP
	HOME RUN TO PANEL
	CIRCUITRY
	UNSWITCHED CIRCUITRY
	WALL SWITCH OCCUPANCY SENSOR
	CEILING MOUNT OCCUPANCY SENSOR, 360° SENSOR VIEW.
	DIRECTIONAL CEILING/WALL MOUNT OCCUPANCY SENSOR

## SERVICE AND FEEDER LOAD SUMMARY

PER NEC ARTICLE 220

GROSS SQUARE FOOTAGE = 23,911					
LOAD	QUANTITY	RATE	LOAD (VA)	DEMAND FACTOR	DEMAND LOAD (VA)
LIGHTING (SORAGE)	22583 SF	.25 VA/SF	5645	1.25	7057
LIGHTING (OFFICE)	1328 SF	3.5 VA/SF	4648	1.25	5810
EXT. LIGHTING	NA	NA	2800	1.25	3500
SIGNAGE	2	1200VA/	2400	1.25	3000
RECEPTACLES	28	180VA/REC	5040	1.00	5040
HVAC	NA	NA	24480	1.00	24480
EMH	1	NA	1500	1.00	1500
KIT. EQUIP	NA	NA	0	0.65	0
TOTAL					50387
AMPERAGE @ 120/208V 3PH 4W					140A
SERVICE CONDUCTORS SPECIFIED					200A



## 2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

ELECTRICAL design  
electrical summary

### ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code - Prescriptive

**Lighting schedule** (each fixture type)  
lamp type required in fixture: VARIES  
number of lamps in fixture: VARIES  
ballast type used in the fixture: VARIES  
number of ballasts in fixture: VARIES  
total wattage per fixture: VARIES  
total interior wattage specified vs. allowed (whole building or space by space)  
total exterior wattage specified vs. allowed

TOTAL INTERIOR WATTAGE SPECIFIED VS ALLOWED: 7,043 VS 13,505  
WHOLE BUILDING ( ) SPACE BY SPACE (X)  
EXTERIOR LIGHTING WATTAGE SPECIFIED VS ALLOWED: 1,758 VS 3,459

**Additional Efficiency Package Options**  
(When using the 2018 NCECC; not required for ASHRAE 90.1)

- C406.2 More Efficient HVAC Equipment Performance
- C406.3 Reduced Lighting Power Density
- C406.4 Enhanced Digital Lighting Controls
- C406.5 On-Site Renewable Energy
- C406.6 Dedicated Outdoor Air System
- C406.7 Reduced Energy Use in Service Water Heating

## ELECTRICAL SPECIFICATIONS

ALL WORK SHALL COMPLY WITH LAWS APPLYING TO ELECTRICAL INSTALLATIONS IN EFFECT, AND WITH THE MOST RECENT EDITION OF THE NATIONAL ELECTRICAL CODE, ADA, APPLICABLE SECTIONS OF OTHER NFPA, OSHA, LIFE SAFETY CODES AND RECOMMENDATIONS, AND THE INTERIM AMENDMENTS IN EFFECT AT THE TIME OF THE PROPOSAL.

THE WORK INCLUDES PROVIDING MATERIALS, DEVICES, WRING, FIXTURES, ETC. NECESSARY FOR A COMPLETE FUNCTIONING ELECTRICAL SYSTEM. ALL MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE NEW AND UNUSED AND FREE FROM DEFECTS. INSTALL, CONNECT AND ADJUST ALL EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. ANY ITEM NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, BUT THAT IS NORMALLY REQUIRED TO CONFORM TO THE INTENT, ARE TO BE CONSIDERED A PART OF THE CONTRACT. ALL MATERIALS USED SHALL BE NEW AND SHALL CONFORM TO THE STANDARDS ESTABLISHED BY THE UNDERWRITERS LABORATORIES INCORPORATED.

THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR ELECTRICAL WORK ARE DIAGRAMMATIC, SHOWING THE LOCATION, TYPE, DEVICES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. PROVIDE ALL FIXTURES, DEVICES, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT FURNISHED BY OTHERS.

HOOK-UP CHARGES, PERMITS, LOCAL FEES AND ALL OTHER EXPENSES RELATED TO A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM SHALL BE INCLUDED IN THE CONTRACTORS BID. THE CONTRACTOR SHALL COOPERATE FULLY WITH UTILITY SERVICE PROVIDERS WITH RESPECT TO THEIR SERVICES.

COORDINATION: COORDINATE WITH THE WORK OF OTHER SECTIONS, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE. ANY WORK THAT IS INSTALLED BY THIS CONTRACTOR THAT RESULTS IN CONFLICT, DUE TO LACK OF COORDINATION BETWEEN TRADES, SHALL BE CHANGED AS DIRECTED BY THE ARCHITECT/ENGINEER WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.

COORDINATE WITH THE LOCAL ELECTRIC UTILITY COMPANY AND TELEPHONE COMPANY AS TO THE REQUIREMENTS FOR SERVICE CONNECTIONS AND PROVIDE ALL LABOR, MATERIALS, AND TESTING NECESSARY.

DEFINITIONS: FURNISH MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. INSTALL MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. PROVIDE MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR INTENDED USE. WIRING MEANS THE INCLUSION OF ALL RACEWAYS, FITTINGS, CONDUCTORS, CONNECTORS, JUNCTION AND OUTLET BOXES, SPLICES, CONNECTIONS, TAPE, AND ALL OTHER ITEMS NECESSARY AND/OR REQUIRED IN CONNECTION WITH SUCH WORK. CONDUIT MEANS THE INCLUSION OF ALL HANGERS, SLEEVES, SUPPORTS, FITTINGS, ETC.

FIRESTOPPING IS A MATERIAL OR COMBINATION OF MATERIALS USED TO RETAIN INTEGRITY OF FIRE-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND HOT GASES THROUGH PENETRATIONS IN FIRE RATED WALL AND FLOOR ASSEMBLIES.

WARRANTY: PROVIDE LABOR AND MATERIALS TO REPAIR OR REPLACE DEFECTIVE PARTS AND MATERIALS AS REQUIRED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION OR OWNER ACCEPTANCE OF THE COMPLETED PROJECT.

ELECTRICAL DESIGN HAS BEEN BASED ON THE INSTALLATION OF 75°C CONDUCTORS CONNECTED TO TERMINAL LUGS AND EQUIPMENT, U.L. LISTED FOR A MINIMUM 75°C. CONDUCTORS TERMINATED ON EQUIPMENT OR DEVICES WITH A LOWER RATING (60°C) OR NO RATING SHOWN, SHALL HAVE CONDUCTOR SIZE INCREASED TO CONFORM TO NEC TABLE 310-16.

ALL EQUIPMENT SHALL BE EQUAL TO OR EXCEED THE MINIMUM REQUIREMENTS OF NEMA, IEEE, AND IUL.

DISCONNECT SWITCHES SHALL BE HEAVY-DUTY, QUICK-MAKE, QUICK-BREAK TYPE, NEMA 1 ENCLOSURE FOR INDOOR LOCATIONS (NEMA 3R FOR OUTDOOR LOCATIONS). SWITCHES SHALL BE AS MANUFACTURED BY SQUARE 'D', GENERAL ELECTRIC, OR SIEMEN'S (I.T.E.). PROVIDE FUSES AS MANUFACTURED BY BUSSMAN, GOULD-SHAMWIT, OR LITTLE-FUSE. ALL CONDUCTOR TERMINALS TO BE U.L. LISTED FOR A MINIMUM OF 75°C. SWITCHES USED AS SERVICE ENTRANCE EQUIPMENT TO BE U.L. LISTED AS "SER" RATED EQUIPMENT. WHERE MULTIPLE DISCONNECTS ARE USED AS A SERVICE ENTRANCE MEANS, A NEUTRAL CONDUCTOR SHALL BE RUN TO THE NEUTRAL TERMINAL IN EACH SERVICE DISCONNECT AND SHALL BE BONDED PER NEC.

PANEL BOARDS SHALL BE AS MANUFACTURED BY SQUARE-D OR EQUAL MEETING U.L. STANDARDS 50 AND 67, WITH U.L. LABEL. PANELS USED AS SERVICE ENTRANCE EQUIPMENT TO BE U.L. LISTED AS "SER" RATED EQUIPMENT. PANELBOARDS SHALL BE FULLY RATED.

BREAKERS: THERMAL MAGNETIC TYPE, QUICK-MAKE, QUICK-BREAK, PLUG-IN TYPE OF SINGLE UNIT CONSTRUCTION. TWO POLE BREAKERS SHALL BE SINGLE UNIT COMMON TRIP TYPE. BREAKERS USED AS SWITCHES FOR 120V LIGHTING CIRCUITS SHALL BE APPROVED FOR THAT USE AND MARKED "SMO".

GROUNDING SYSTEM: PERMANENTLY AND EFFECTIVELY GROUND ALL METALLIC CONDUIT, SUPPORTS, CABINETS, PANELBOARDS AND SYSTEM NEUTRAL CONDUCTORS. MAINTAIN CONTINUITY OF EQUIPMENT GROUND THROUGHOUT THE SYSTEM. GROUND CLAMPS SHALL BE APPROVED TYPE, SPECIFICALLY DESIGNED FOR GROUNDING, WHERE GROUNDING CONDUCTOR IS ENCLOSED IN CONDUIT, GROUND CLAMP SHALL BE OF A TYPE WHICH GROUNDS BOTH CONDUCTOR AND CONDUIT. ALL CIRCUITS IN FLEXIBLE METAL OR PLASTIC CONDUIT SHALL INCLUDE A GROUND WIRE SIZED IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE.

CONDUCTORS: INSULATED SOFT ANNEALED 98% PURE COPPER WITH COLOR CODING, B AND S GAGE, #10 AND SMALLER TO BE SOLID, #8 AND LARGER TO BE STRANDED, MINIMUM #12 UNLESS OTHERWISE INDICATED. CONDUCTORS MUST BE INSTALLED IN ACCORDANCE WITH N.E.C. AND CANNOT BE SUPPORTED FROM CEILING SUPPORT WIRES. THIN MAY NOT BE USED UNDERGROUND, AT SERVICE ENTRANCE, OUTSIDE, OR IN WET LOCATIONS. ALL INSULATION TO BE RATED FOR 600 V.

LIGHT FIXTURES & LAMPS ARE TO BE FURNISHED BY E.C. AS NOTED ON THE LIGHT FIXTURE SCHEDULE. FIXTURE INSTALLATION SHALL BE BY THE ELECTRICAL CONTRACTOR ACCORDING TO LOCAL CODE AUTHORITY. THE ELECTRICAL CONTRACTOR SHALL REVIEW MATERIALS AT THE TIME OF DELIVERY AND IMMEDIATELY REPORT ANY DAMAGE OR MISSING PIECES.

LIGHT FIXTURE QUANTITIES AND INPUT WATTAGES LISTED IN LIGHT FIXTURE SCHEDULE ARE FOR ENGINEERING ENERGY CALCULATIONS ONLY AND ARE NOT TO BE USED BY CONTRACTOR FOR QUANTITY TAKE-OFFS.

EMERGENCY LIGHTING SHALL HAVE A MINIMUM OF 90 MIN. BATTERY BACK-UP, OR AS REQUIRED BY LOCAL CODE AUTHORITY.

LAYOUT BRANCH CIRCUIT WIRING AND ARRANGEMENT OF HOME RUNS FOR MAXIMUM ECONOMY AND EFFICIENCY. INCREASE WIRE SIZE IF VOLTAGE DROP EXCEEDS 3% OR 100 FEET OF LENGTH.

CONCEAL WIRING SYSTEM ABOVE SUSPENDED CEILING OR IN WALL OR FLOOR CONSTRUCTION WHERE POSSIBLE. INSTALL CONDUITS PARALLEL TO BUILDING LINES, AND TO CLEAR ALL OPENING, DEPRESSIONS, PIPES, DUCTS, STRUCTURE, ETC.

ALL WIRING SHALL BE IN CONDUIT, UNLESS SPECIFICALLY NOTED OTHERWISE.

INSTALL CONDUIT CONTINUOUS BETWEEN BOXES AND CABINETS WITH NO MORE THAN FOUR (4) 90 DEGREE BENDS. SECURELY FASTEN IN PLACE WITH STRAPS, HANGERS AND STEEL SUPPORTS AS REQUIRED. DO NOT SUPPORT CONDUIT FROM SUSPENDED CEILING GRID OR SUSPENSION WIRES. REAM CONDUIT ENDS BEFORE INSTALLATION AND THOROUGHLY CLEAN BEFORE INSTALLATION. OPENINGS SHALL BE PLUGGED OR COVERED TO KEEP CONDUIT CLEAN.

CONDUIT SHALL BE SIZED TO COMPLY WITH NEC FOR NUMBER AND SIZE OF CONDUCTORS INSTALLED, MINIMUM 24" BELOW GRADE. PROVIDE SCHEDULE 40 PVC PLASTIC OR RIGID STEEL CONDUIT BELOW GRADE, MINIMUM 3/4". PROVIDE ELECTRICAL METAL TUBING (EMT), FLEXIBLE METAL CONDUIT (N LENGTHS 6' OR LESS) FOR INTERIOR LOCATIONS. EMT CONNECTORS AND COUPLING SHALL BE SET-SCREW TYPE. CLAMP CONDUIT TO BOXES WITH BUSHING INSIDE AND LOCKNUT OUTSIDE.

BELOW GRADE RACEWAYS SHALL BE CONSIDERED WET LOCATION AND SHALL BE SEALED PER NEC 300.5 (G) WITH A SEALANT IDENTIFIED FOR USE WITH INSTALLED CONDUCTORS/INSULATION. "MC" TYPE CABLES MAY BE USED IN SPACES WHERE NOT SUBJECT TO PHYSICAL DAMAGE OR CORROSION. "MC" & "AC" CABLE MUST BE INSTALLED IN A WORKMANLIKE MANNER AND PERPENDICULAR OR PARALLEL TO BUILDING LINES. CABLE MUST BE INSTALLED IN ACCORDANCE WITH N.E.C. ARTICLE 330.

ALL CONDUIT AND RACEWAY SYSTEMS SHALL BE INSTALLED WITH SEPARATE GROUND CONDUCTOR. CONDUIT SYSTEM IS NOT TO BE USED AS THE SOLE GROUNDING MEANS.

TOUCH UP OR REFINISH DAMAGED SURFACES OF FIXTURES AND EQUIPMENT, EXPOSED TO VIEW.

DATA & TELEPHONE PREMISES WIRING & CABLES TO BE FURNISHED AND INSTALLED BY OWNER. RACEWAY AND/OR CONDUIT TO BE PROVIDED BY E.C. VERIFY EXACT MOUNTING LOCATIONS WITH ARCHITECT PRIOR TO FASTENING RACEWAY OR CONDUIT TO WALL, CEILING OR FLOOR. FASTEN TO SURFACE AS RECOMMENDED BY MANUFACTURER. MOUNT SO RACEWAY IS IN THE LEAST OBVIOUS LOCATION. REAM ALL CUTS SMOOTH. PROVIDE ALL REQUIRED BOXES, EXTENSIONS, FITTINGS, ELBOWS AND DEVICES FOR A COMPLETE INSTALLATION.

REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF LIGHTING FIXTURES AND OTHER CEILING MOUNTED EQUIPMENT.

FOR EQUIPMENT FURNISHED BY OWNER OR OTHER CONTRACTORS, ELECTRICAL CONTRACTOR TO VERIFY EXACT LOAD, TYPE OF CONNECTION AND MOUNTING HEIGHT FOR EACH BOX OR EQUIPMENT ITEM TO BE INSTALLED. ALL HARDWIRED CONNECTIONS TO EQUIPMENT TO BE MADE WITH FLEXIBLE LIQUID-TITE METAL CONDUIT WITH GREEN GROUND CONDUCTOR INSTALLED INSIDE RACEWAY. GROUND CONDUCTOR SHALL BE BONDED AT BOTH ENDS.

COORDINATE ALL REQUIRED ROOF AND WALL OPENINGS WITH THE GENERAL CONTRACTOR. PROVIDE ALL CURBS, FLASHING, SLEEVES, SUPPORTING FRAMES, REINFORCING ANGLES, ETC. WHICH ARE REQUIRED UNLESS DIRECTED OTHERWISE.

MINIMUM WIRE SIZE - 20 AMP BRANCH CIRCUIT SHALL BE AWG LISTED SIZE PER DISTANCE SHOWN BELOW. DISTANCE SHALL BE MEASURED FROM THE PANELBOARD CIRCUIT BREAKER TO THE FURTHEST OUTLET ALONG THE CIRCUIT PATH.

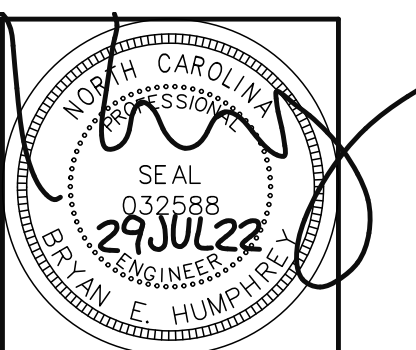
- A. #12 LESS THAN 100 FEET
- B. #10 BETWEEN 100-150 FEET
- C. #8 BETWEEN 150 - 250 FEET
- D. #6 OVER 250 FEET

ON ALL 20 AMP BRANCH CIRCUITS, CONDUCTORS LARGER THAN #10 AWG SHALL BE REDUCED TO #10 AWG WITHIN 10 FEET OF PANEL BOARD AND DEVICE IN JUNCTION BOXES ON RATED TERMINAL STRIPS.

ALUMINUM CONDUCTORS ARE NOT PERMITTED, EXCEPT AT SERVICE ENTRANCE. CONDUCTOR CONNECTION MUST BE PER MANUFACTURER'S REQUIREMENTS.

# ELECTRICAL SYMBOLS, DETAILS & NOTES

NO SCALE



## REVISIONS

NO.	DESCRIPTION

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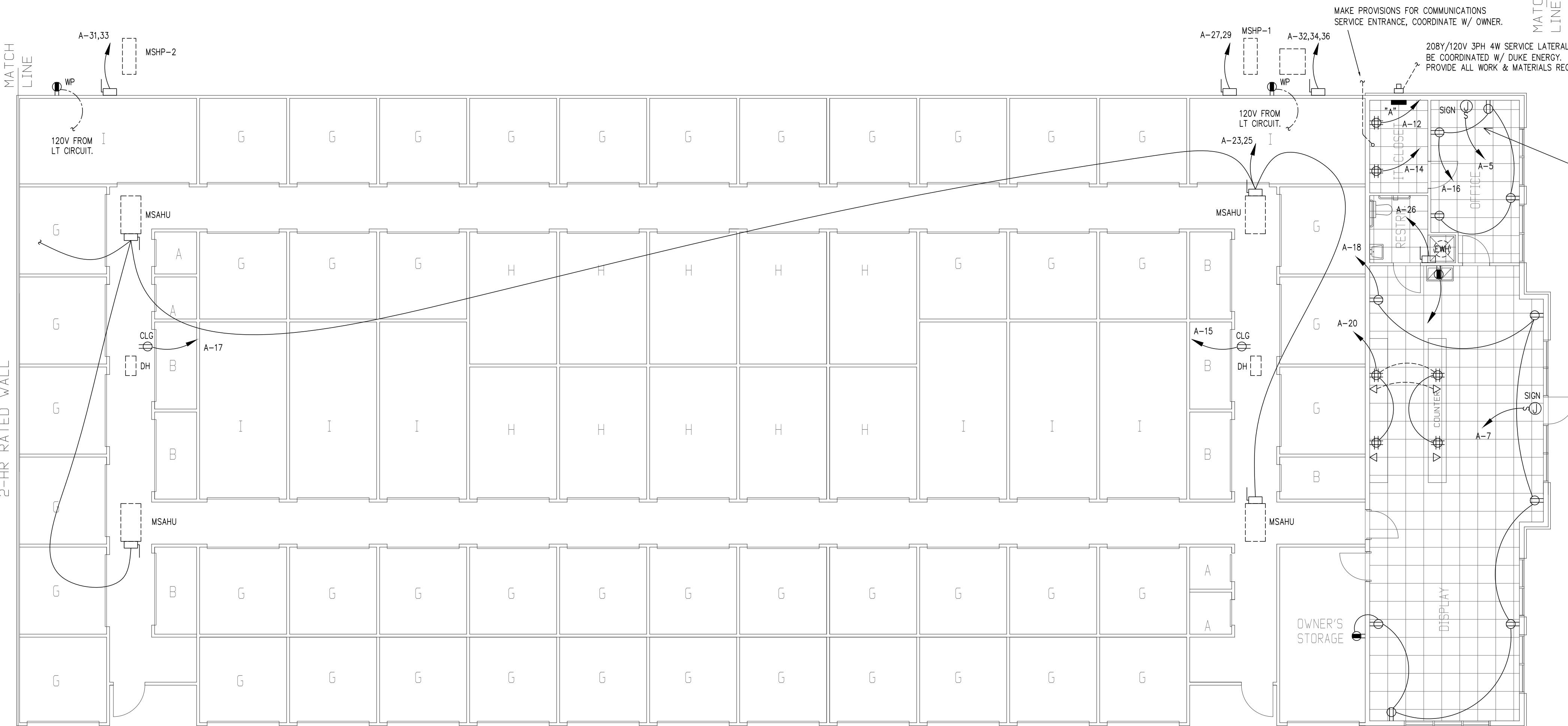
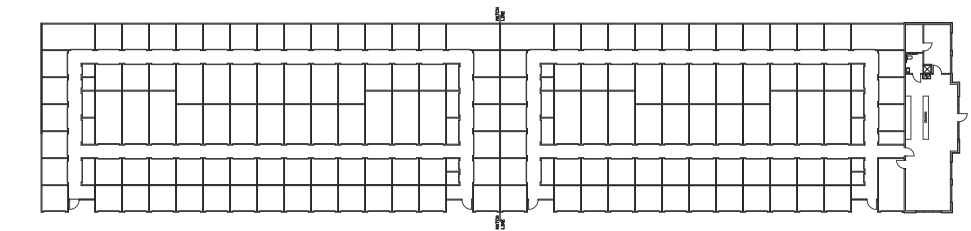
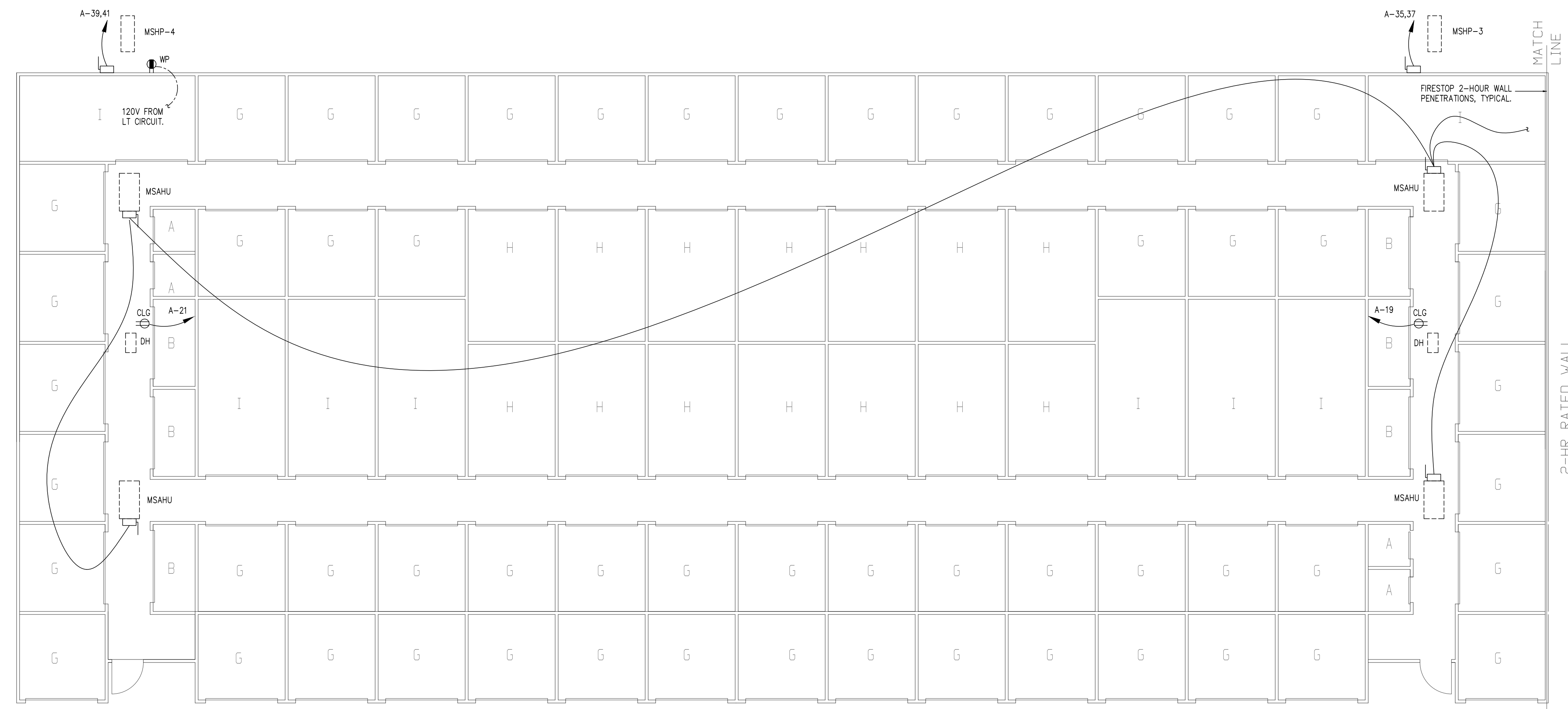
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BUILDING SYSTEMS PLANS FOR:  
**HARNETT SELF STORAGE**  
SPOUT SPRINGS, NC

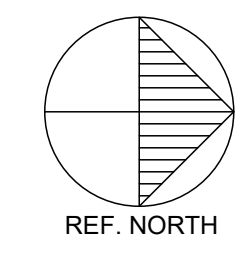
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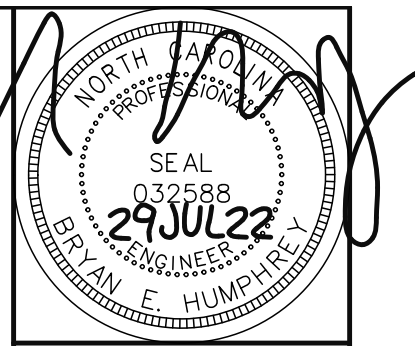


NOTE: VERIFY GENERAL PURPOSE RECEPTACLE QUANTITY/LOCATION WITH OWNER PRIOR TO ROUGH-IN.



# POWER PLAN

SCALE: 1/8" = 1'-0"



NO.	DESCRIPTION	DATE

**EUBANKS ENGINEERING P.C.**  
**HUMPHREY**  
 102 Parkside Sq., Suite 200  
 Greensboro, NC 27401  
 Phone: 336.379.0663  
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FIRM LICENSE: C-2272

BUILDING SYSTEMS PLANS FOR:  
**HARNETT SELF STORAGE**  
 SPOUT SPRINGS, NC

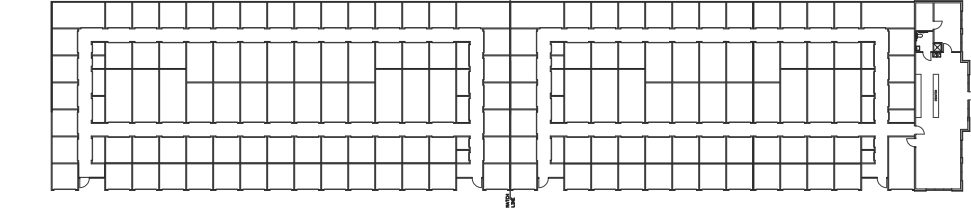
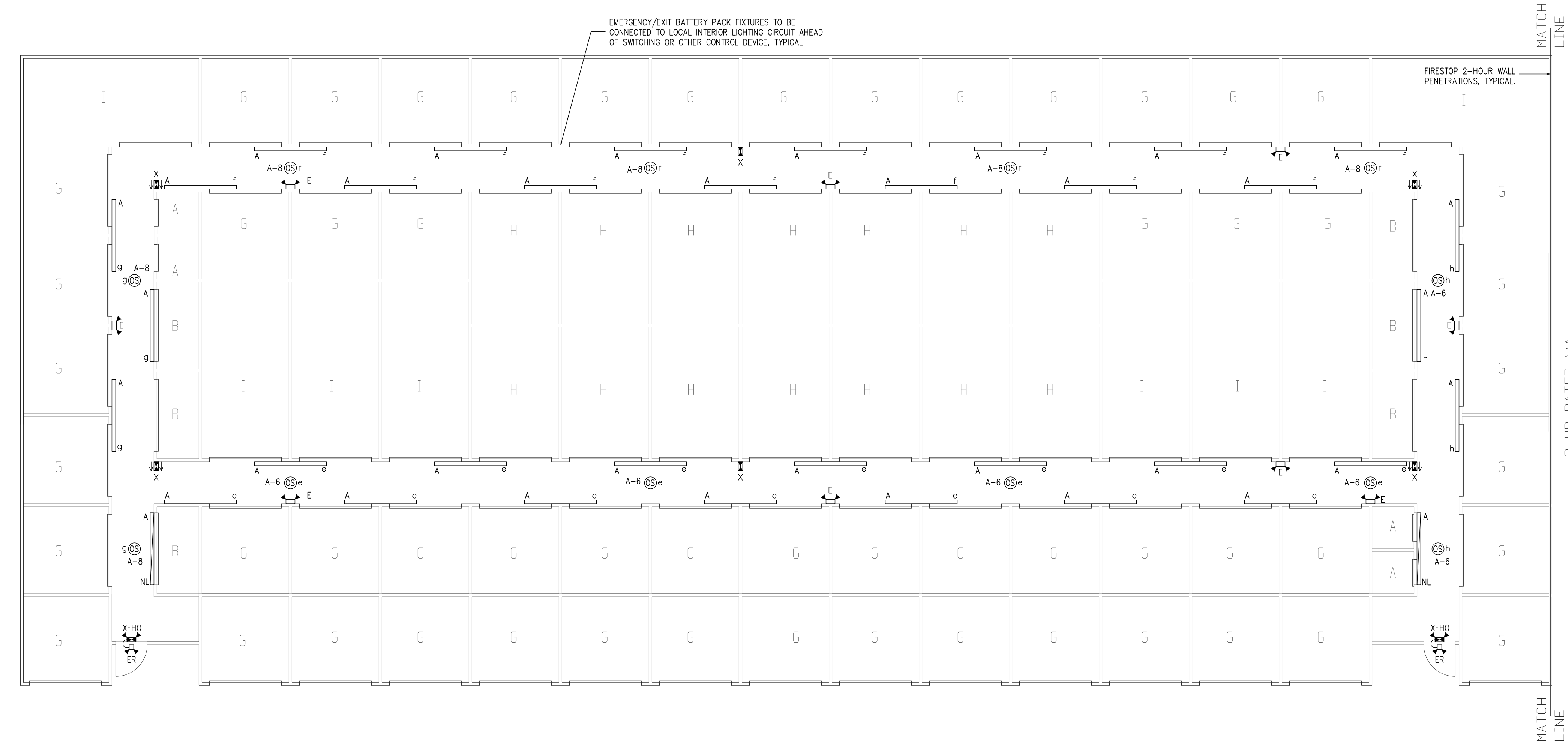
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 OF 5

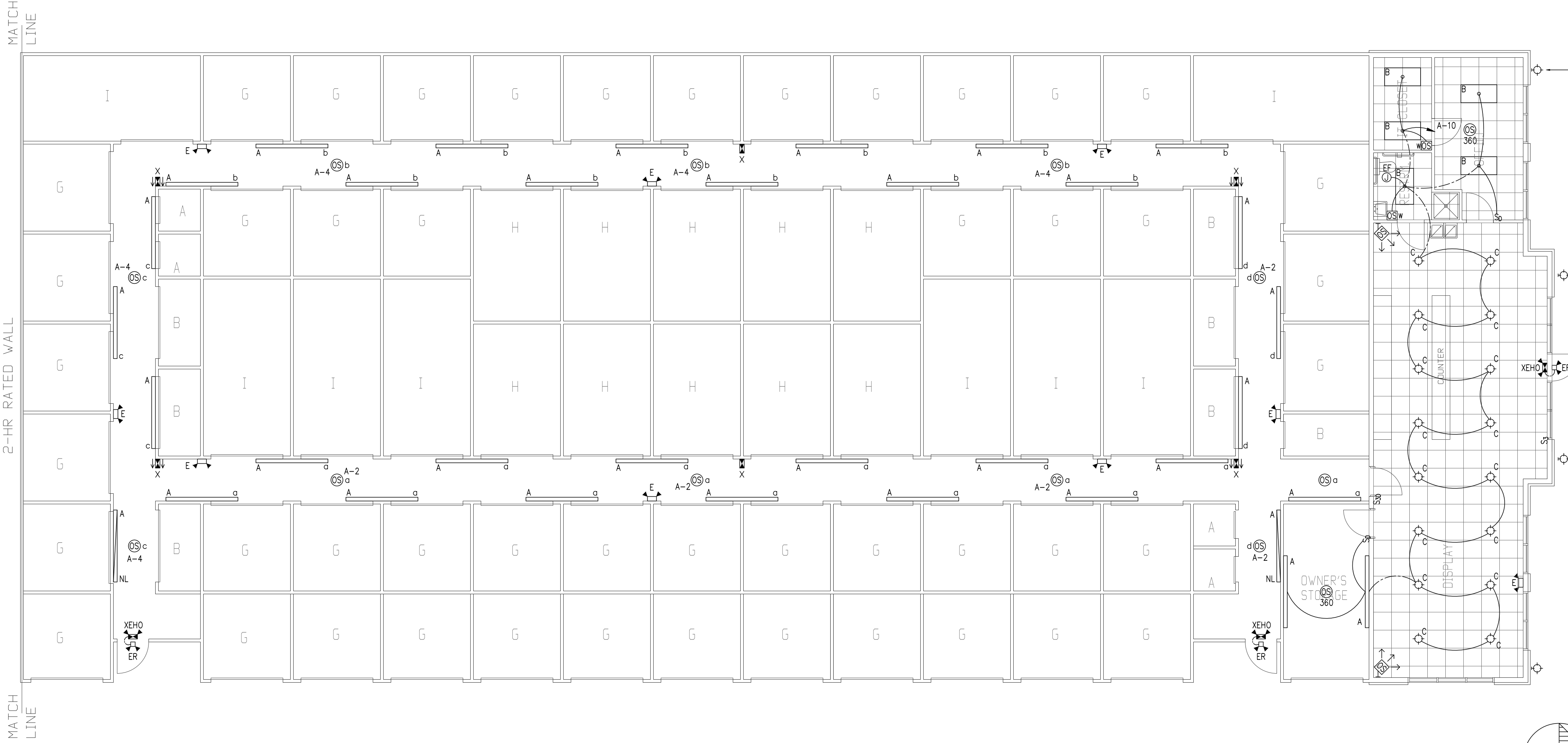
NOTE: OCCUPANCY SENSOR LAYOUT IS SCHEMATIC & INTENDED TO INDICATE CONTROL ZONES. COORDINATE SELECTION, QUANTITIES & LOCATION WITH SENSOR SUPPLIER AS REQUIRED TO CONTROL THE INDICATED ZONES. COORDINATE INSTALLATION WITH OTHER TRADES. PROVIDE ALL WORK REQUIRED FOR A COMPLETE INSTALLATION. ACCEPTABLE MANUFACTURERS ARE WATTSTOPPER, LEGRAND, LUTRON, LEVITON OR HUBBELL. CONTRACTOR'S WORK TO INCLUDE ALL LABOR & MATERIALS NECESSARY FOR AND INCIDENTAL TO THE DELIVERY, INSTALLATION AND FURNISHING OF A COMPLETELY OPERATIONAL OCCUPANCY SENSOR LIGHTING CONTROL SYSTEM. MAKE ALL ADJUSTMENTS REQUIRED TO CONTROL INDICATED ZONES. AVOID INSTALLING SENSORS WITHIN 8' OF AIR HANDLERS, DEHUMIDIFIERS OR AIR VENTS.

EMERGENCY/EXIT BATTERY PACK FIXTURES TO BE CONNECTED TO LOCAL INTERIOR LIGHTING CIRCUIT AHEAD OF SWITCHING OR OTHER CONTROL DEVICE, TYPICAL

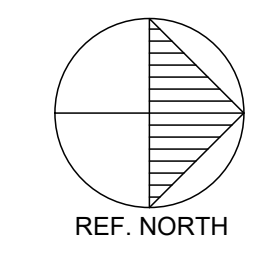
FIRESTOP 2-HOUR WALL PENETRATIONS, TYPICAL.



KEY PLAN  
NO SCALE

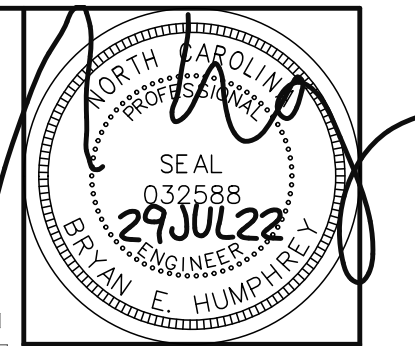


SEE AREA LIGHTING PLAN, TYPICAL.



# LIGHTING PLAN

SCALE: 1/8" = 1'-0"



NO.	REVISIONS

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P.C.  
HUMPHREY**

102 Pateley St., Suite 200  
Greensboro, NC 27401

Phone 336.379.0683  
Fax 336.379.0683

FIRM LICENSE: C-2272

BUILDING SYSTEMS PLANS FOR:  
**HARNETT SELF STORAGE**  
SPOUT SPRINGS, NC

JOB NO. 2278
ORIGINAL ISSUE DATE 29JUL22
DRAWN BY JMK
CHECKED BY BEH
SHEET NO.

**E-3**

OF 5





# BUILDING 'B'

## NEW STORAGE FACILITY FOR HARNETT SELF STORAGE

### SPOUT SPRINGS, NC

Reviewed for For Code Compliance  
 Leslie Jackson  
 12/05/2022 1:25:59 PM

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**ERSKINE-SMITH ARCHITECTURE, P.L.L.C.**  
 architecture research planning  
 3406-A West Wendover Avenue  
 Greensboro, N.C. 27407  
 Phone (336) 855-1266 Fax 855-5602

#### APPENDIX "B" BUILDING CODE SUMMARY

Name of project: BLDG. 'B' NEW FACILITY FOR HARNETT SELF STORAGE  
 Address: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Owner or Authorized Agent: VC SMITH Phone: 336-855-1266 E-mail: erskinesmith@bellsouth.net  
 Owned By:  City/County  Private  State  
 Code Enforcement Jurisdiction:  City - SARTFORD  County

CONTACT: Victor J. Smith  
 DESIGNER: FIRM NAME LICENSE NO. TELEPHONE NO. E-MAIL ADDRESS  
 Architectural: ERSKINE-SMITH ARCHITECTURE, P.L.L.C. Victor J. Smith 6887 336-855-1266 erskinesmith@bellsouth.net  
 Civil: \_\_\_\_\_  
 Electrical: \_\_\_\_\_  
 Fire Alarm: \_\_\_\_\_  
 Plumbing: \_\_\_\_\_  
 Mechanical: \_\_\_\_\_  
 Sprinkler/Standpipe: \_\_\_\_\_  
 Structural: \_\_\_\_\_  
 Retaining Walls >8' High: \_\_\_\_\_  
 Other: \_\_\_\_\_

2018 NC BUILDING CODE:  New Building  Addition  Renovation  
 1st Time Interior Completion  
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements  
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE, EXISTING:  Prescriptive  Repair  Chapter 14  
 Alterations  Level I  Level II  Level III  
 Historic Property  Change of Use

CONSTRUCTION (date): \_\_\_\_\_ ORIGINAL OCCUPANCY (Ch. 3): \_\_\_\_\_  
 RENOVATED (date): \_\_\_\_\_ PROPOSED OCCUPANCY (Ch. 3): BLDG. STORAGE

RISK CATEGORY (Table 1604.3):  
 Current  I  II  III  IV  
 Proposed  I  II  III  IV

BASIC BUILDING DATA  
 Construction Type:  I-A  I-B  II-A  II-B  III-A  III-B  IV  V-A  V-B  
 Sprinklers:  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 13D  
 Standpipes:  No  Yes Class:  I  II  III  Wet  Dry  
 Fire District:  No  Yes Flood Hazard Area:  No  Yes  
 Special Inspections Required:  No  YES  Contact the local inspection jurisdiction for additional procedures and requirements  
 Manual Fire Alarm System with Notification:  No  Yes

Gross Building Area:  
 FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL  
 4th Floor \_\_\_\_\_  
 3rd Floor \_\_\_\_\_  
 2nd Floor \_\_\_\_\_  
 Mezzanine \_\_\_\_\_  
 1st Floor 8,100 sf  
 Basement \_\_\_\_\_  
 TOTAL 8,100 sf

Primary Occupancy Classification(s): ALLOWABLE AREA  
 Assembly  A-1  A-2  A-3  A-4  A-5  
 Business  B-1  B-2  B-3  B-4  
 Educational  E-1  E-2  E-3  
 Factory  F-1  F-2  F-3  
 High Hazard  H-1  H-2  H-3  H-4  H-5  H-6  
 Institutional  I-1  I-2  I-3  
 Mercantile  M-1  M-2  M-3  M-4  
 Residential  R-1  R-2  R-3  R-4  
 Storage:  S-1  S-2  S-3  S-4  
 Utility and Miscellaneous  U-1  U-2  U-3  U-4

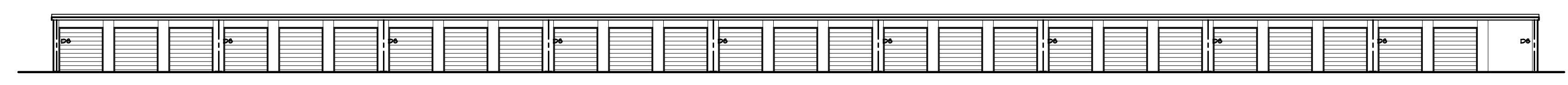
Accessory Occupancy Classification(s): \_\_\_\_\_  
 Special Uses (Chapter 4 - List Code Sections): \_\_\_\_\_  
 Special Provisions (Chapter 5 - List Code Sections): \_\_\_\_\_  
 Mixed Occupancy:  No  Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_  
 Non-separated use (508.3)  
 The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction so determined shall apply to the entire building.  
 Separated Mixed Occupancy (508.4) - See below for area calculations.  
 For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by allowable floor area for each use shall not exceed 1.  
 Actual Area of Occupancy A + Actual Area of Occupancy E ≤ 1  
 Allowable Area of Occupancy A + Allowable Area of Occupancy E ≤ 100

**FIRE PROTECTION REQUIREMENTS**

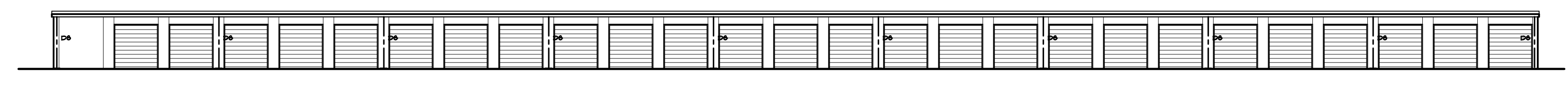
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING	DETAIL AND SHEET #	DESIGN FOR RATED ASSEMBLY	DESIGN FOR RATED PENETRATION	DESIGN FOR RATED JOINTS
Structural Framing, including columns, girders, trusses		0				
Bearing walls						
Exterior						
NORTHWEST	6'-6"	0				
NORTHEAST	6'-6"	0				
SOUTHWEST WALL (ASSUMED PROPERTY LINE)	15'	0				
SOUTHWEST WALL	3'-4"	0				
Interior						
Nonbearing walls and partitions						
Exterior walls						
North	N/A	0				
East	N/A	0				
West	N/A	0				
South	N/A	0				
Interior walls & partitions						
Floor construction including supporting beams and joists						
Floor Ceiling Assembly						
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Floor Ceiling Assembly						
Columns supporting roof						
Roof construction including supporting beams and						

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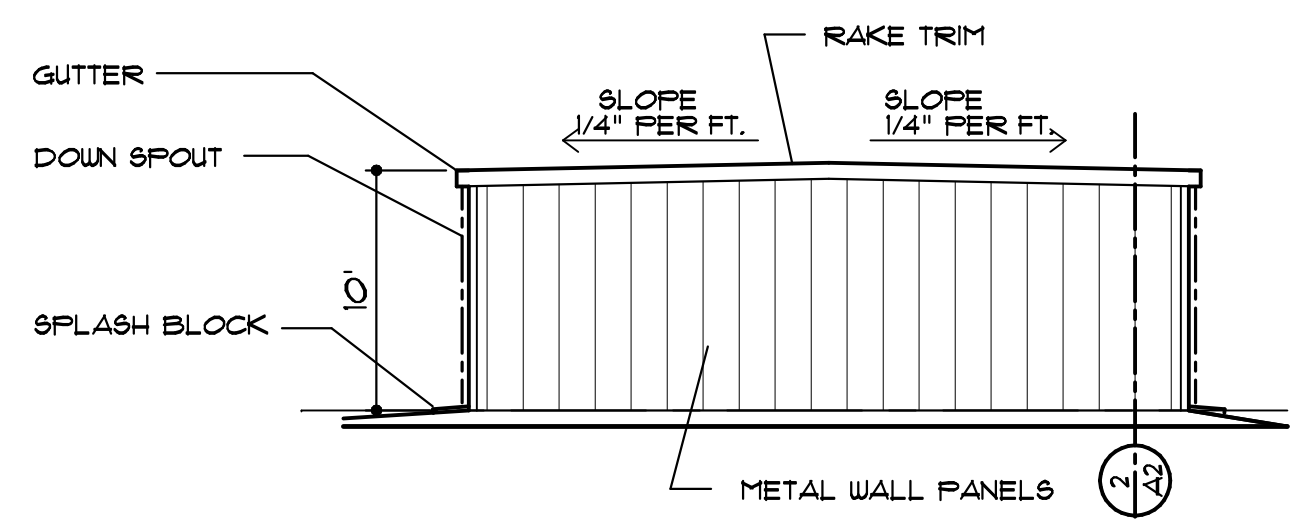
**ERSKINE-SMITH ARCHITECTURE**  
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 3406-A West Wendover Avenue  
 Greensboro, N.C. 27407  
 Phone (336) 855-1286 Fax 855-5602



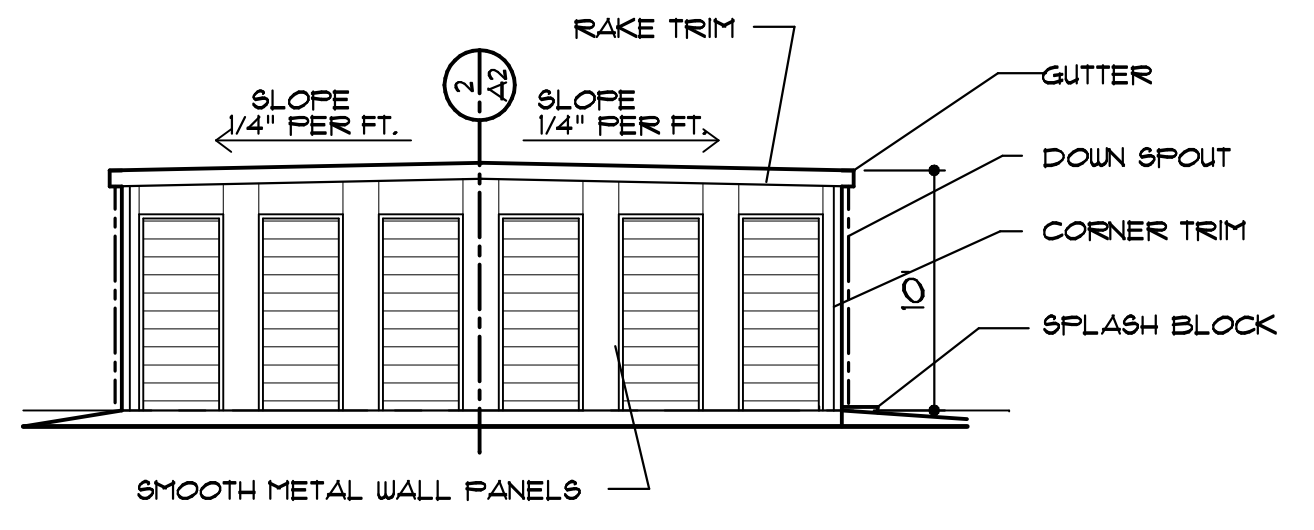
**WEST ELEVATION**  
 1/16" = 1'-0"



**EAST ELEVATION**  
 1/16" = 1'-0"



**NORTH ELEVATION**  
 1/8" = 1'-0"



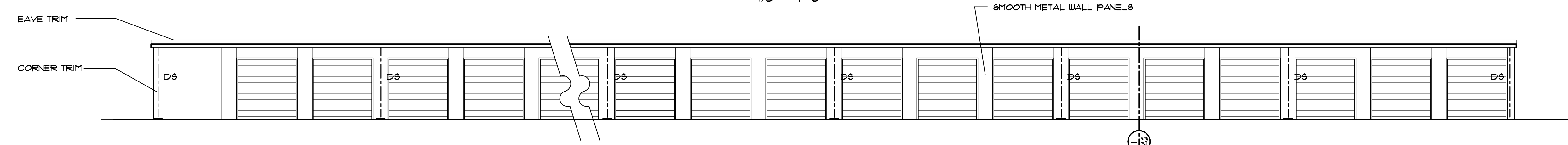
**SOUTH ELEVATION**  
 1/8" = 1'-0"

ALL RAIN LEADER TO HAVE SPLASH BLOCKS

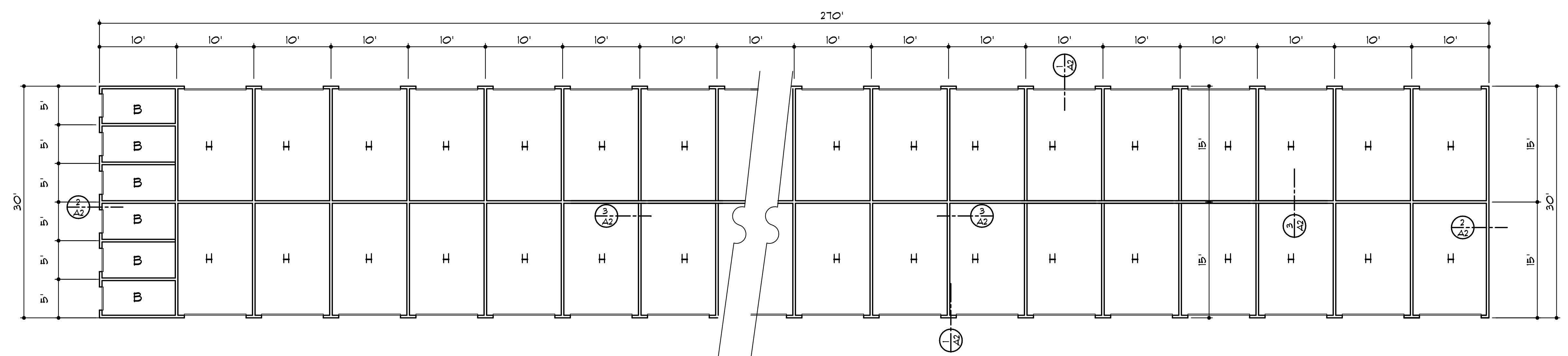
**DOWN SPOUTS & GUTTERS**  
 ROOF AREA = 13,500 SF  
 GUTTER LENGTH = 450' LF  
 GUTTER SIZE = 5" w x 4" d  
 # DOWN SPOUT (3" x 4") = 16  
 AREA PER DOWN SPOUT = 844 sf



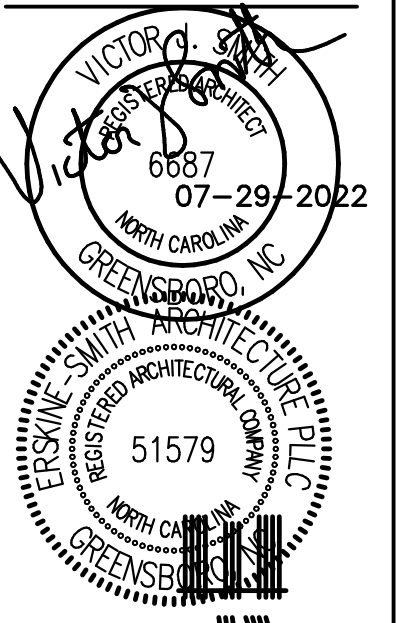
**PARTIAL WEST ELEVATION**  
 1/8" = 1'-0"



**PARTIAL EAST ELEVATION**  
 1/8" = 1'-0"



**FLOOR PLAN**  
 1/8" = 1'-0"



**NEW STORAGE FACILITY FOR  
 HARNETT SELF STORAGE  
 SPOUT SPRINGS, NC**

**BLDG. B 8,100 SF**

REVISIONS	BY

DRAWN BY : VJS  
 CHECKED BY : VJS  
 DATE : 07-29-2022  
 SCALE : AS SHOWN  
 FILE :  
 SHEET NUMBER :

**A-1**

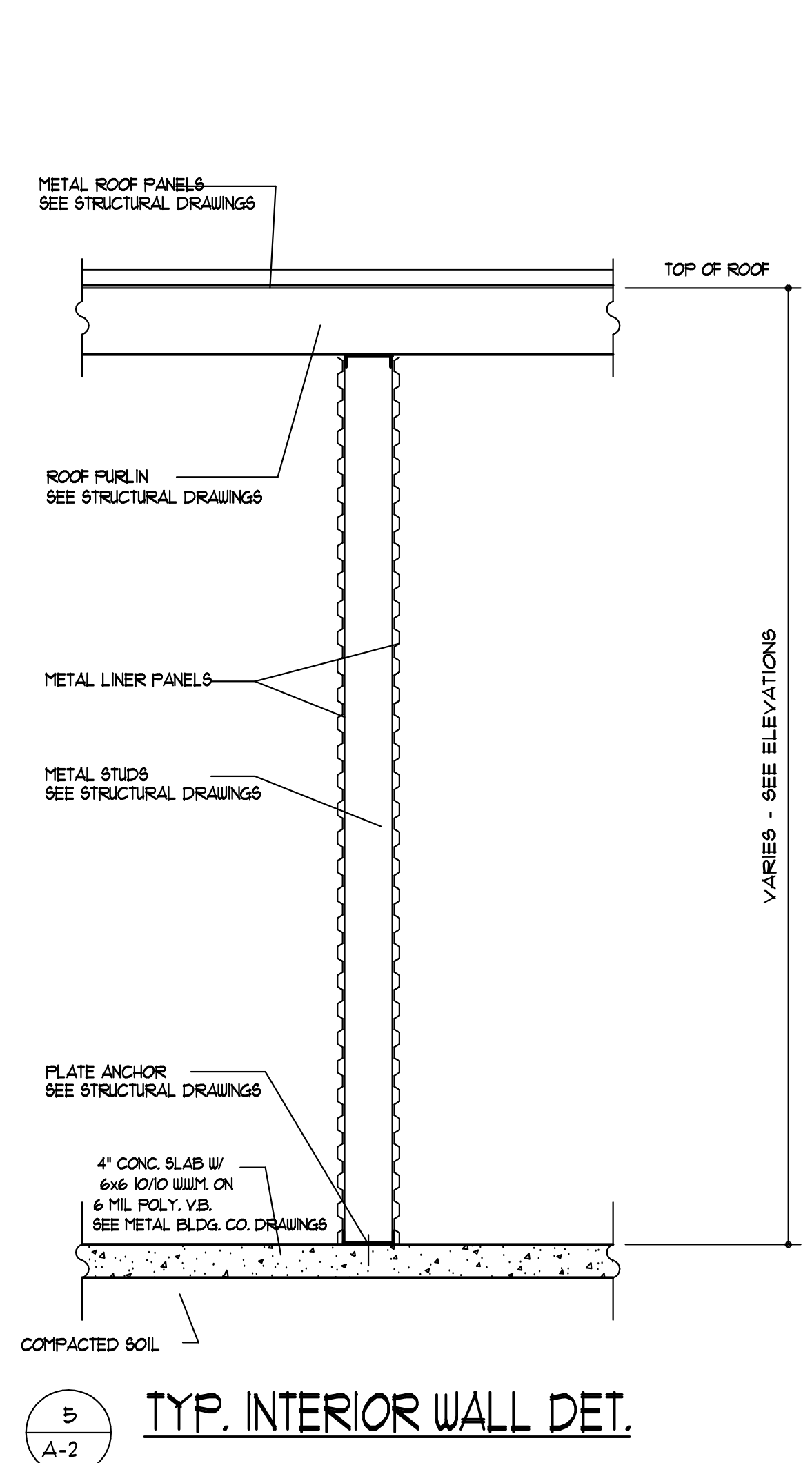


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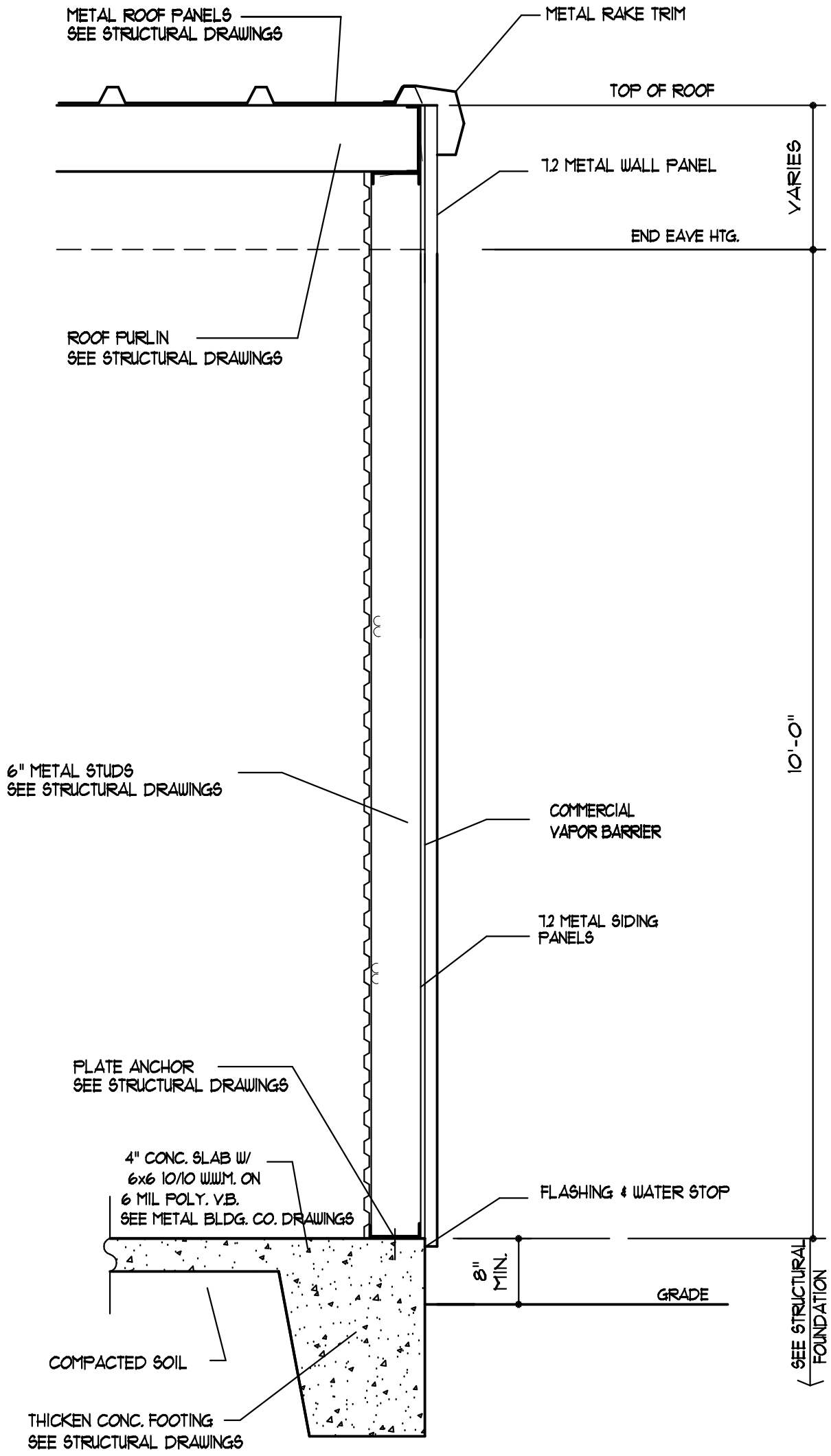
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 3406-A West Wendover Avenue  
 Greensboro, N.C. 27407  
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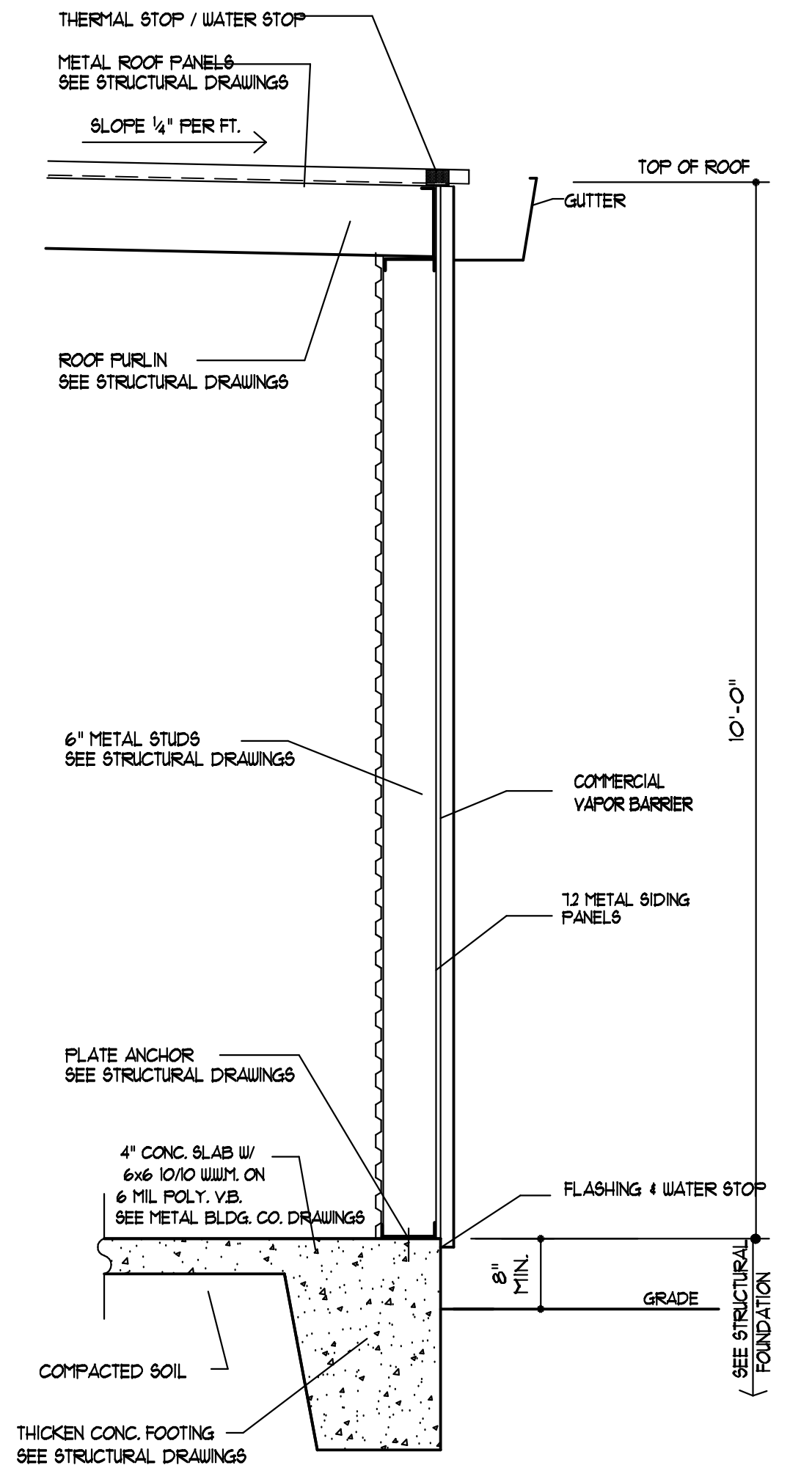
**NEW STORAGE FACILITY FOR BLDG. 'B'**  
**HARNETT SELF STORAGE**  
 SPOUT SPRINGS, NC



5  
A-2 TYP. INTERIOR WALL DET.



2  
A-2 TYP. EXTERIOR END WALL DET.



1  
A-2 TYP. EXTERIOR WALL DET.

NOTE: DO NOT SCALE DRAWINGS  
 PDF & PRINTING CHANGES SCALE

REVISIONS	BY

DRAWN BY : VJS  
 CHECKED BY : VJS  
 DATE : 07-29-2022  
 SCALE : 3/4" = 1'-0"  
 FILE :

SHEET NUMBER :  
**A-2**  
 BLDG. 'B'

# BUILDING 'C'

## NEW STORAGE FACILITY FOR

# HARNETT SELF STORAGE

## SPOUT SPRINGS, NC

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 Greensboro, N.C. 27407  
 Phone (336) 855-1286 Fax 855-5602

### APPENDIX "B" BUILDING CODE SUMMARY

Name of project: BLDG. 'C' NEW FACILITY FOR HARNETT SELF STORAGE  
 Address: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Owner or Authorized Agent: VC SMITH Phone: 336-855-1286 E-mail: erskinesmith@bellsouth.net  
 Owned By:  City/County  Private  State  
 Code Enforcement Jurisdiction:  City  SAITFORD  County

CONTACT: Victor J. Smith  
 DESIGNER: FIRM NAME LICENSE NO. TELEPHONE NO. E-MAIL ADDRESS  
 Architectural: ERSKINE-SMITH ARCHITECTURE, P.L.L.C. Victor J. Smith 336-855-1286 erskinesmith@bellsouth.net  
 Civil: \_\_\_\_\_  
 Electrical: \_\_\_\_\_  
 Fire Alarm: \_\_\_\_\_  
 Plumbing: \_\_\_\_\_  
 Mechanical: \_\_\_\_\_  
 Sprinkler/Standpipe: \_\_\_\_\_  
 Structural: \_\_\_\_\_  
 Retaining Walls >8' High: \_\_\_\_\_  
 Other: \_\_\_\_\_

2018 NC BUILDING CODE:  New Building  Addition  Renovation  
 1st Time Interior Completion  
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements  
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE, EXISTING:  Prescriptive  Repair  Chapter 14  
 Alterations:  Level I  Level II  Level III  
 Historic Property  Change of Use

CONSTRUCTION (date): ORIGINAL OCCUPANCY (Ch. 3) : \_\_\_\_\_  
 RENOVATED (date): PROPOSED OCCUPANCY (Ch. 3) : STORAGE  
 RISK CATEGORY (Table 1604.3): Current  I  II  III  IV  
 Proposed  I  II  III  IV

BASIC BUILDING DATA  
 Construction Type:  I-A  I-B  II-A  II-B  III-A  III-B  IV  V-A  V-B  
 Sprinklers:  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 13D  
 Standpipes:  No  Yes Class:  I  II  III  Wet  Dry  
 Fire District:  No  Yes Flood Hazard Area:  No  Yes  
 Special Inspections Required:  No  YES  Contact the local inspection jurisdiction for additional procedures and requirements  
 Manual Fire Alarm System with Notification:  No  Yes

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine	AREA 'A'	AREA 'B'	
1st Floor	9,200 sf	3,200 sf	
Basement			
TOTAL	9,200 sf	12,400 sf	12,400 sf TOTAL

Primary Occupancy Classification(s): **ALLOWABLE AREA**  
 Assembly  A-1  A-2  A-3  A-4  A-5  
 Business   
 Educational   
 Factory  F-1 Moderate  F-2 Low  
 H-1 Detached  H-2 Detached  H-3 Combust  H-4 Health  H-5 HPM  
 High Hazard Institutional  I-1 Condition  I-2  I-3 Condition  I-4  
 Mercantile Residential  R-1  R-2  R-3  R-4  
 Storage:  S-1 Moderate  S-2 Low  High Piled  
 Utility and Miscellaneous   
 Accessory Occupancy Classification(s): NA  
 Special Uses (Chapter 4 - List Code Sections): NA  
 Special Provisions (Chapter 5 - List Code Sections): NA  
 Mixed Occupancy:  No  Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_  
 Non-separated Use (508.3)  
 The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.  
 Separated Mixed Occupancy (508.4) - See below for area calculations. For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by allowable floor area for each use shall not exceed 1.  
 Actual Area of Occupancy A + Actual Area of Occupancy E ≤ 1  
 Allowable Area of Occupancy A + Allowable Area of Occupancy E ≤ 100

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR INCREASE 1.4	(D) ALLOWABLE AREA PER STORY (QUALIFIED 1)

(1) Frontage area increases from Section 506.2 are computed as:  
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_ (F)  
 b. Total Building Perimeter = \_\_\_\_\_ (P)  
 c. Ratio (F/P) = \_\_\_\_\_ (F/P)  
 d. W = Minimum width of public way = \_\_\_\_\_ (W)  
 e. Percent of frontage increase =  $(\frac{F}{P} - 0.25) \times W \times 30 = \dots \%$   
 (2) Unlimited area applicable under conditions of Section 507  
 (3) Maximum Building Area = total number of stories in the building x D (506.2)  
 (4) The maximum area of open parking garages must comply with 406.5.4. The maximum area of air traffic control towers must comply with 403.3.  
 (5) Frontage increase is based on the unspinklered area value in Table 506.2

ALLOWABLE HEIGHT	Allowable		Code Reference
	Building Height in Feet (Table 504.3)	Show on plans	
Building Height in Feet (Table 504.3)	55 FT.	12'	
Building Height in Stories (Table 504.4)	2		

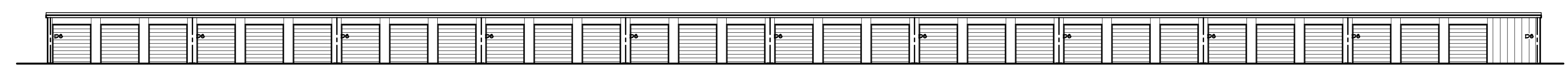
Provide code reference if the "shown on Plans" quantity is not based on Table 504.3 or 504.4.

NS = BUILDING NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING	DETAIL AND SHEET #		DESIGN FOR RATED ASSEMBLY	DESIGN FOR RATED PENETRATION	DESIGN FOR RATED JOINTS
			PROVIDED	REDUCTION			
Structural Framing, including columns, girders, trusses							
Bearing walls							
Exterior							
NORTHWEST	6'-6"	0					
NORTHEAST	6'-6"	0					
SOUTHWEST WALL (ASSUMED PROPERTY LINE)	15'	0					
SOUTHWEST WALL	3'-4"	0					
Interior							
Nonbearing walls and partitions							
Exterior walls							
North	N/A	0					
East	N/A	0					
West	N/A	0					
South	N/A	0					
Interior walls & partitions							
Floor construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Roof							
Roof construction including supporting beams and joists							
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Roof construction including supporting beams and joists							
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Roof construction including supporting beams and joists							
Columns Supporting Roof							
Roof construction including supporting beams and joists							

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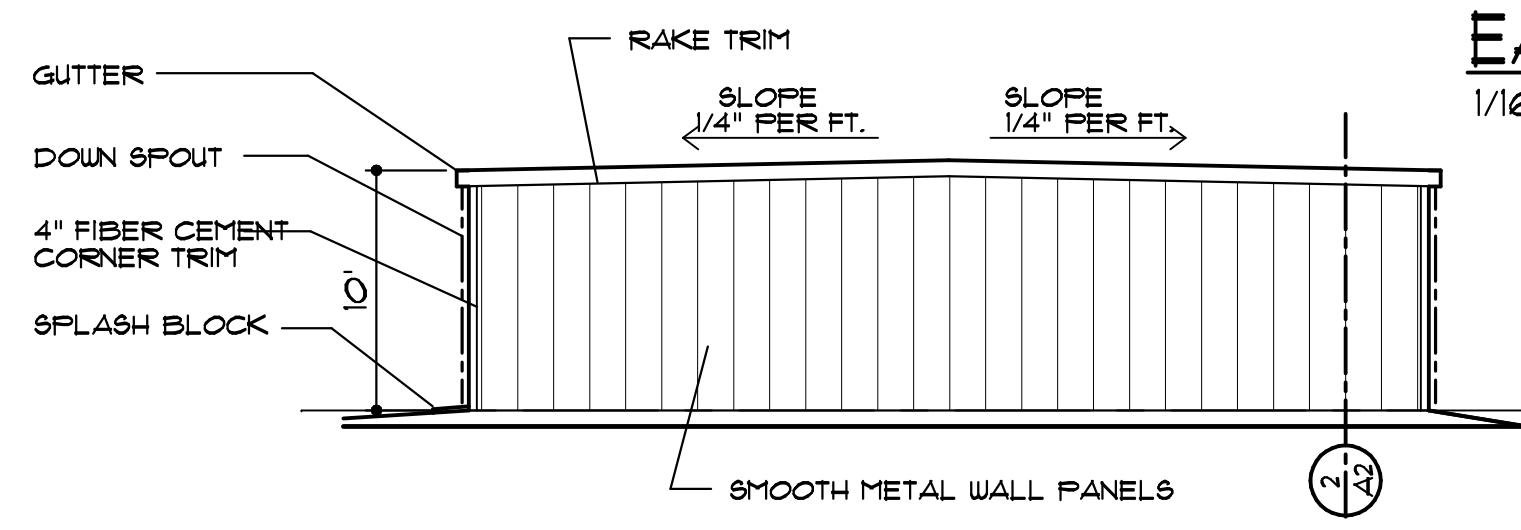
**ERSKINE-SMITH ARCHITECTURE**  
architecture research planning  
3406-A West Wendover Avenue  
Greensboro, N.C. 27407  
Phone (336) 855-1286 Fax 855-5602



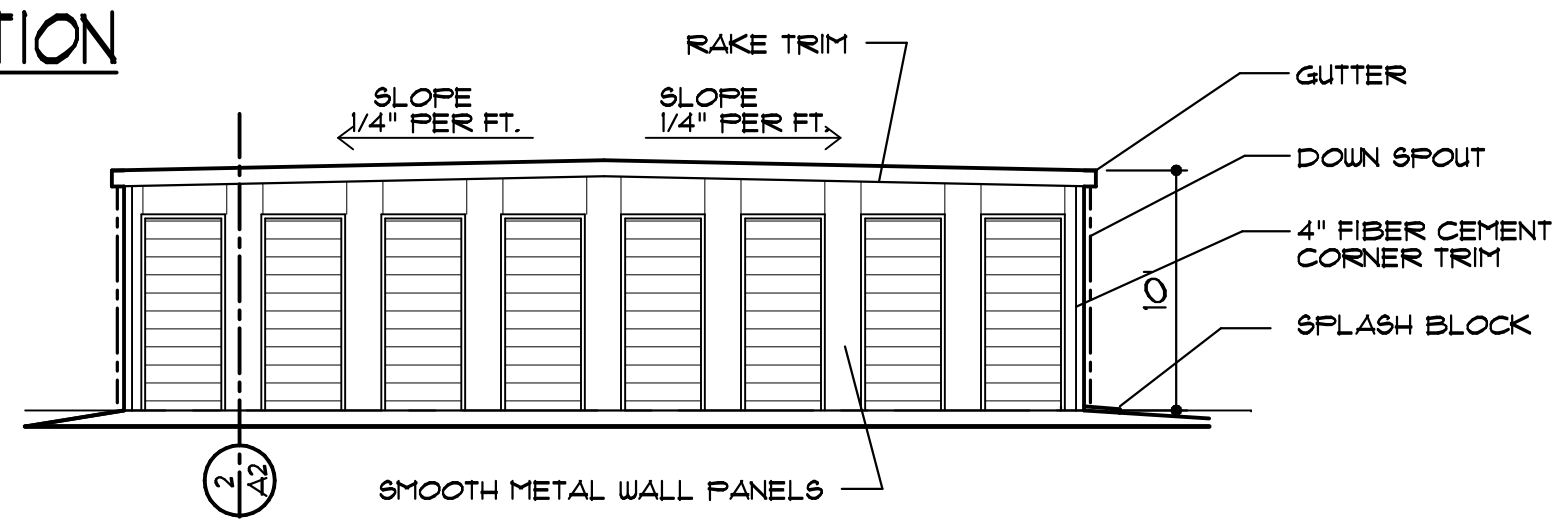
**WEST ELEVATION**  
1/16" = 1'-0"



**EAST ELEVATION**  
1/16" = 1'-0"



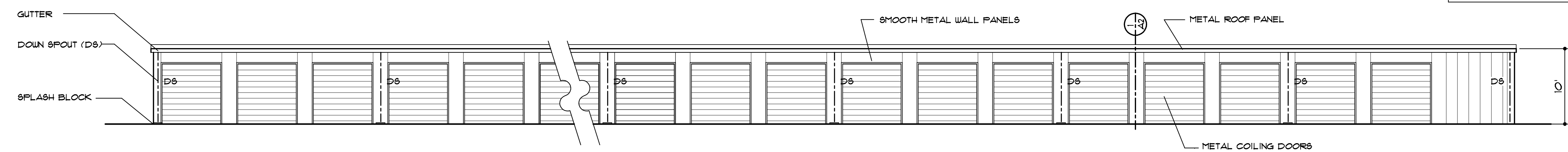
**NORTH ELEVATION**  
1/8" = 1'-0"



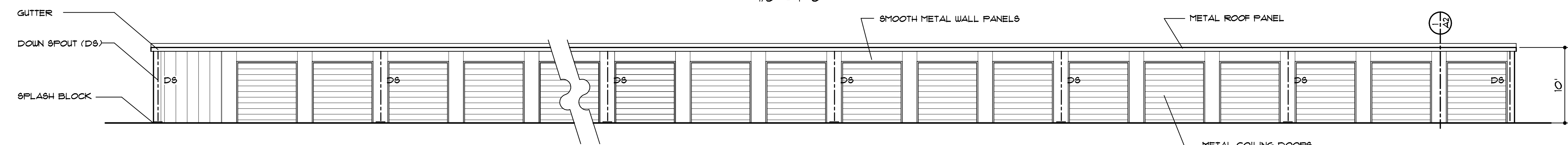
**SOUTH ELEVATION**  
1/8" = 1'-0"

ALL RAIN LEADER TO HAVE SPLASH BLOCKS

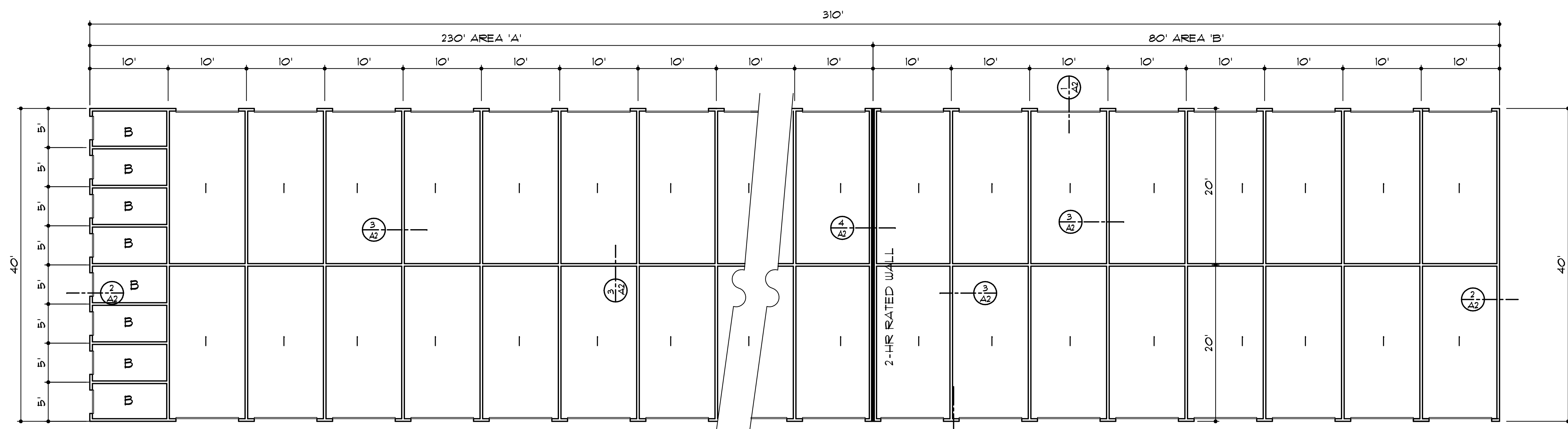
**DOWN SPOUTS & GUTTERS**  
ROOF AREA = 13,500 SF  
GUTTER LENGTH = 450' LF  
GUTTER SIZE = 5" w x 4" d  
# DOWN SPOUT (3" x 4") = 16  
AREA PER DOWN SPOUT = 844 sf



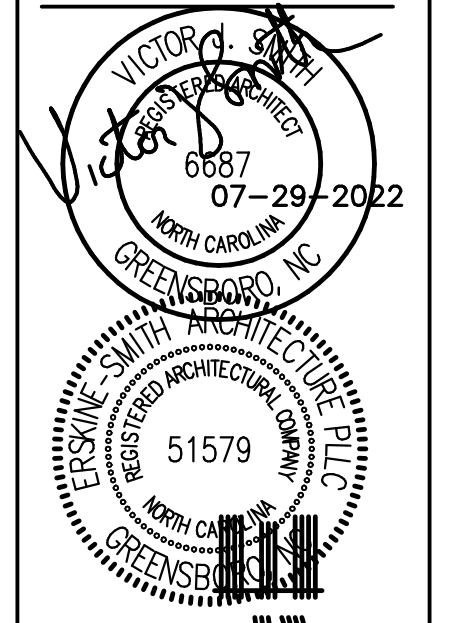
**PARTIAL WEST ELEVATION**  
1/8" = 1'-0"



**PARTIAL EAST ELEVATION**  
1/8" = 1'-0"



**FLOOR PLAN**  
1/8" = 1'-0"



**NEW STORAGE FACILITY FOR HARNETT SELF STORAGE**  
SPOUT SPRINGS, NC

**BLDG. C 12,400. C**

REVISIONS	BY

DRAWN BY : VJJS  
CHECKED BY : VJJS  
DATE : 07-29-2022  
SCALE : AS SHOWN  
FILE :  
SHEET NUMBER :

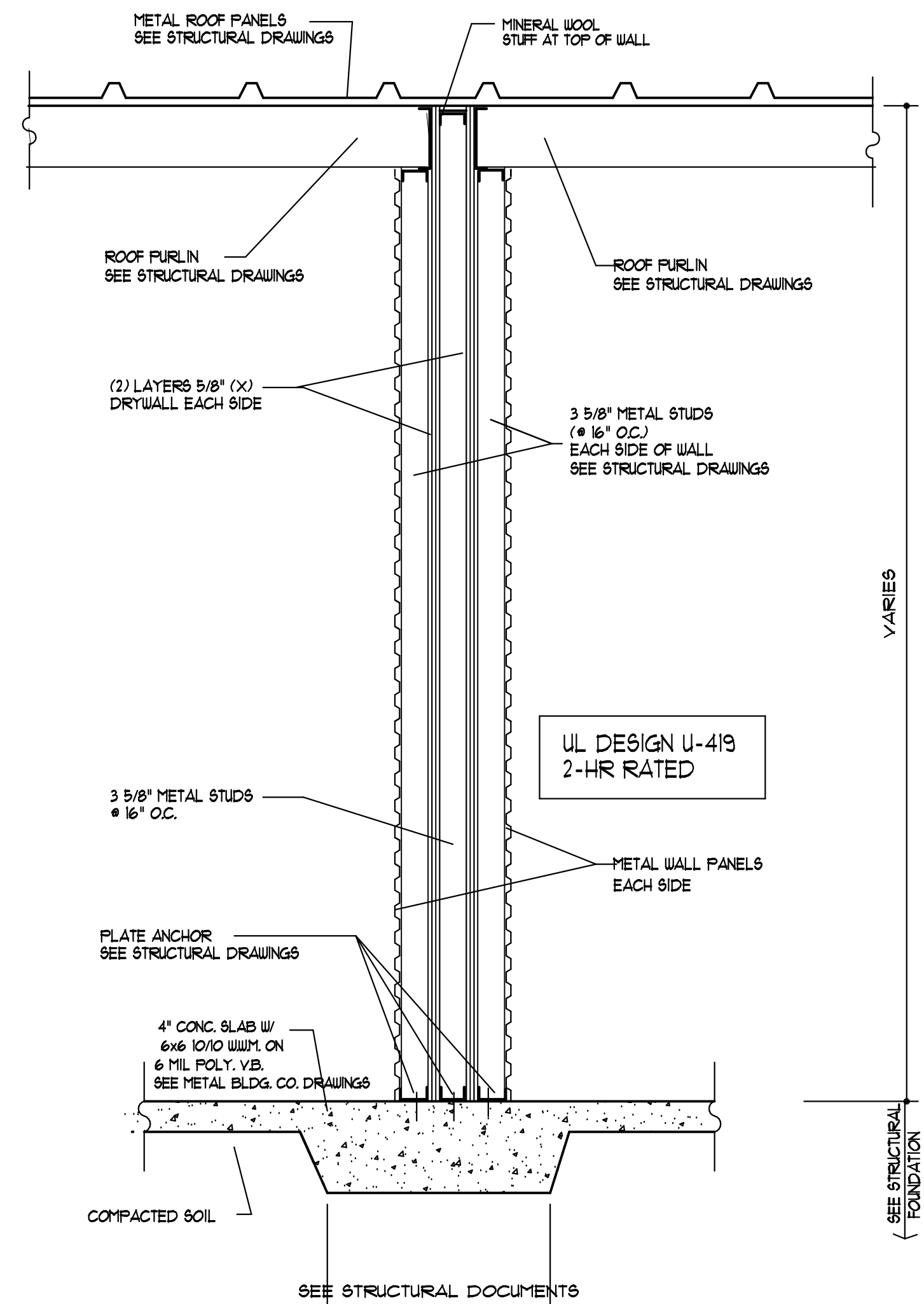
**A-1**

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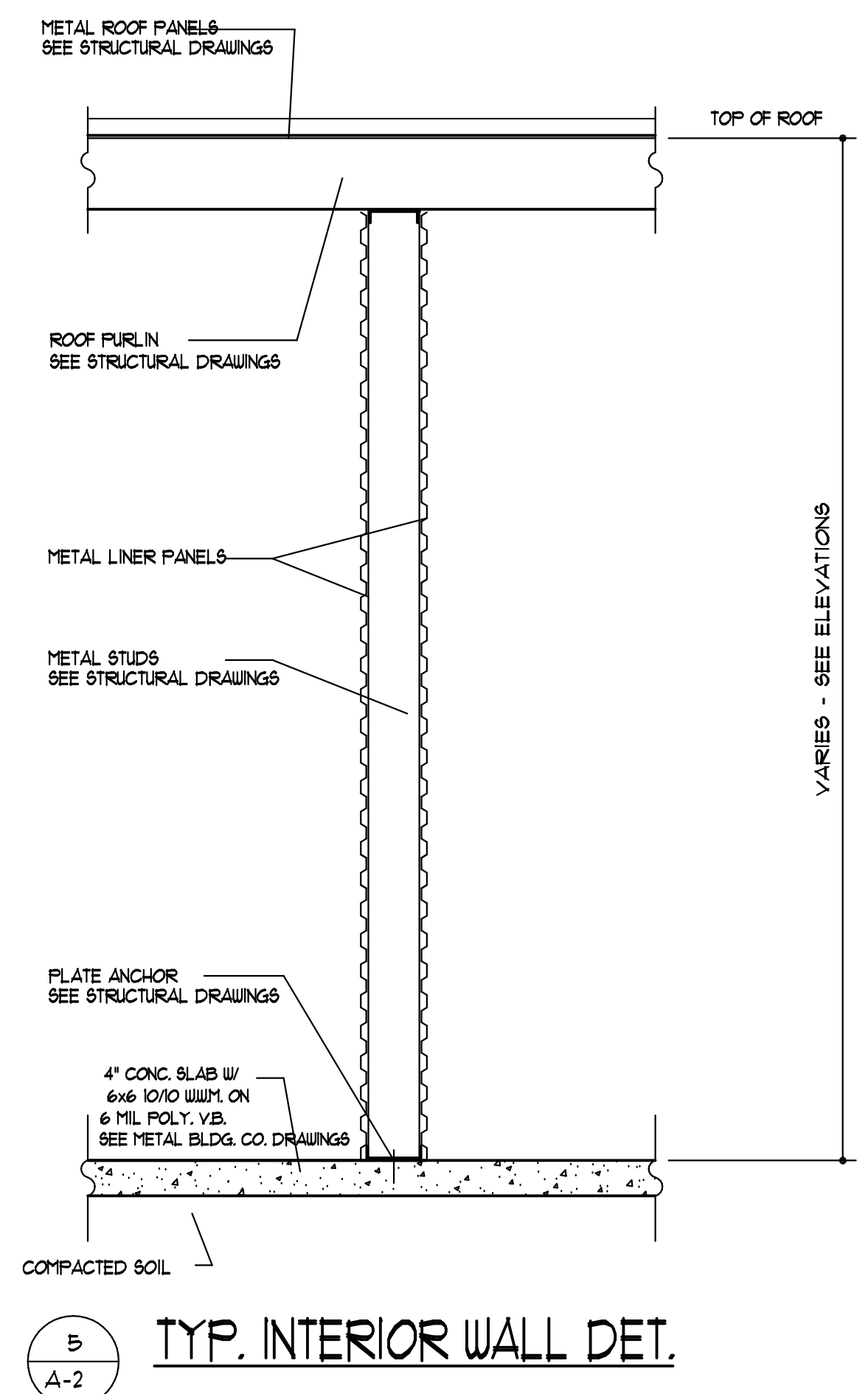
**ERSKINE-SMITH ARCHITECTURE, P.L.L.C.**  
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 3406-A West Wendover Avenue  
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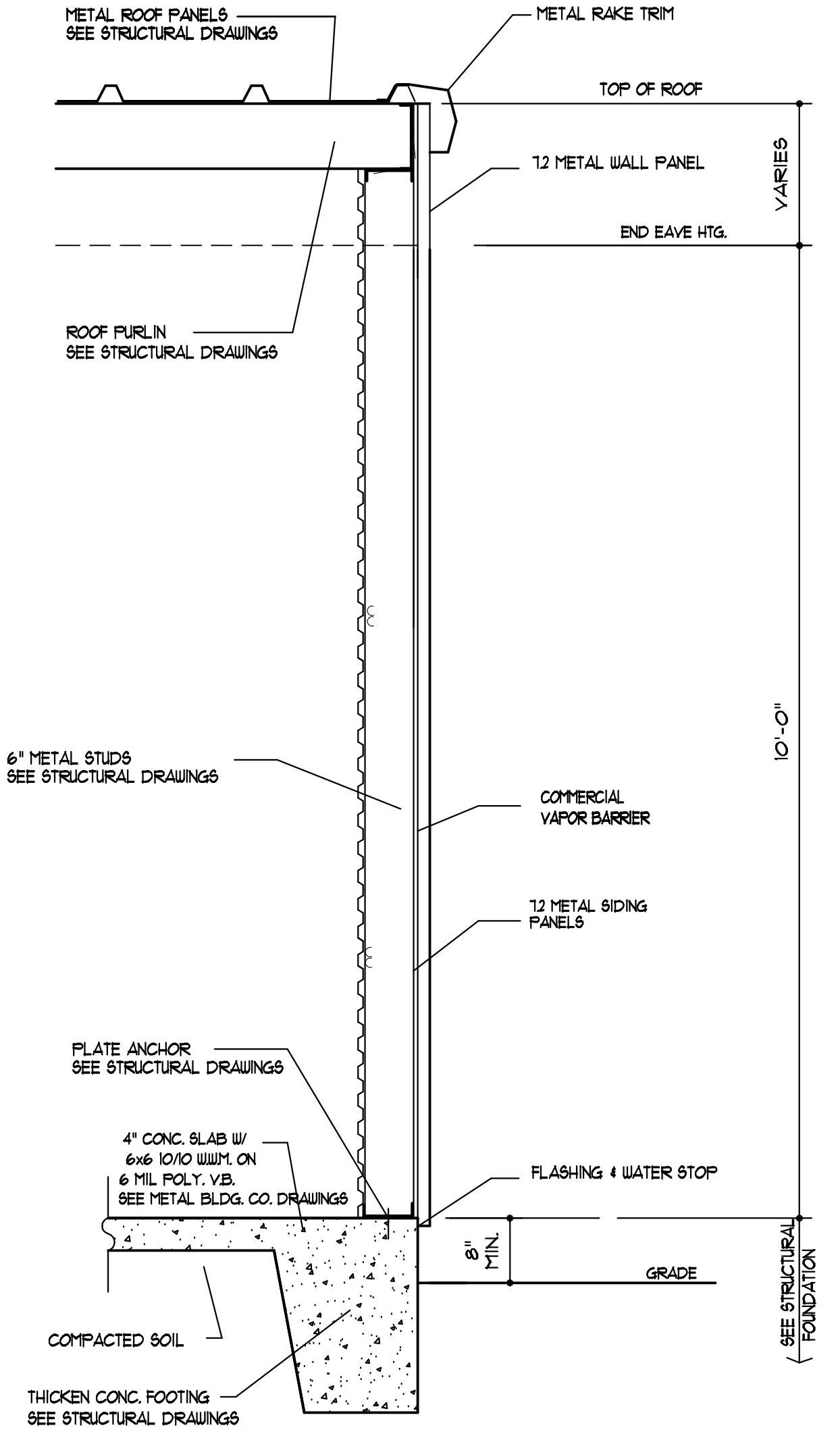
**NEW STORAGE FACILITY FOR BLDG. 'C'**  
**HARNETT SELF STORAGE**  
 SPOUT SPRINGS, NC



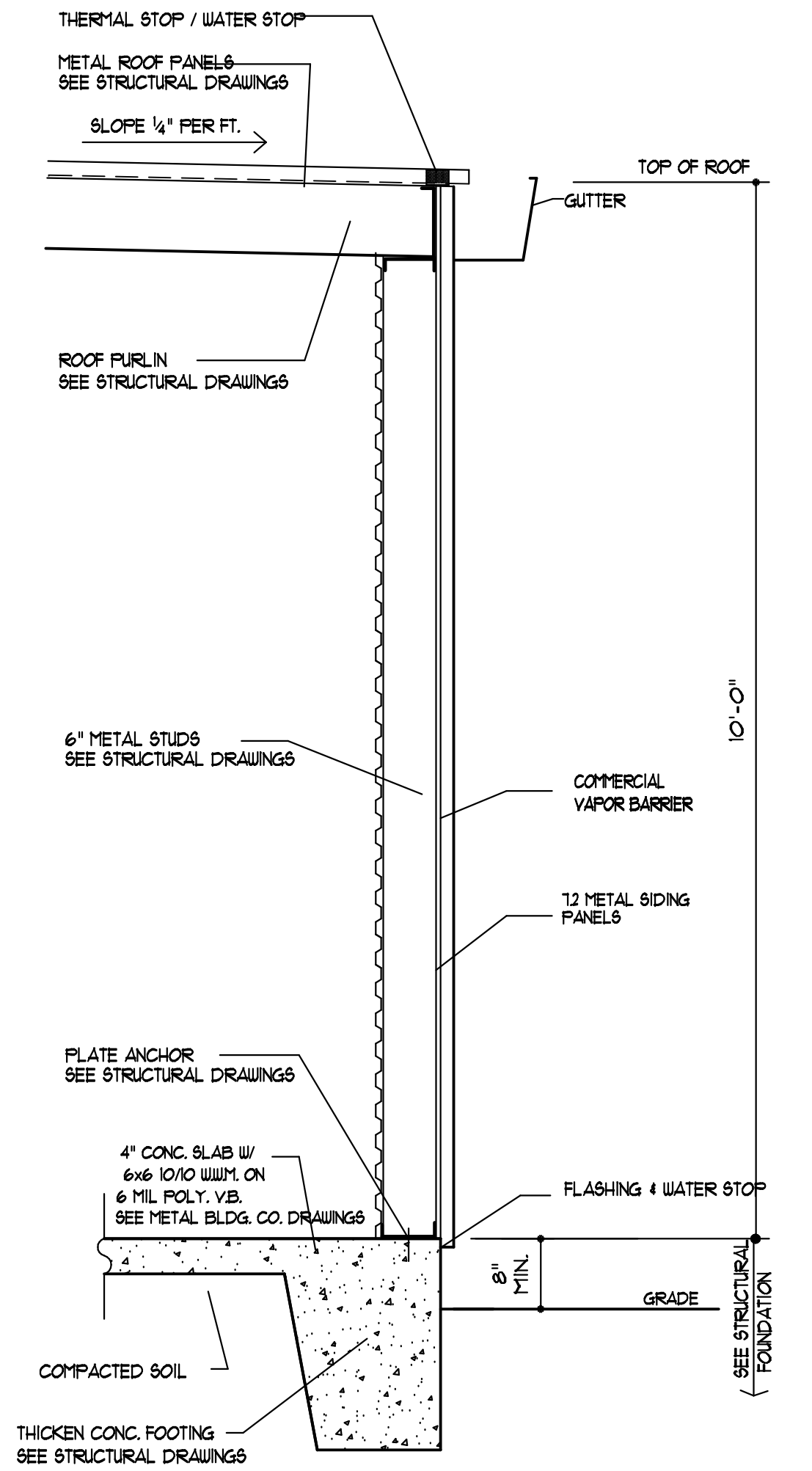
**4**  
**A-2** 2-HR. RATED FIRE WALL DETAIL



**5**  
**A-2** TYP. INTERIOR WALL DET.



**2**  
**A-2** TYP. EXTERIOR END WALL DET.



**1**  
**A-2** TYP. EXTERIOR WALL DET.

NOTE: DO NOT SCALE DRAWINGS  
 PDF & PRINTING CHANGES LAKE

REVISIONS	BY

DRAWN BY : VJS  
 CHECKED BY : VJS  
 DATE : 07-29-2022  
 SCALE : 3/4" = 1'-0"  
 FILE :

SHEET NUMBER :  
**A-2**  
 BLDG. 'C'

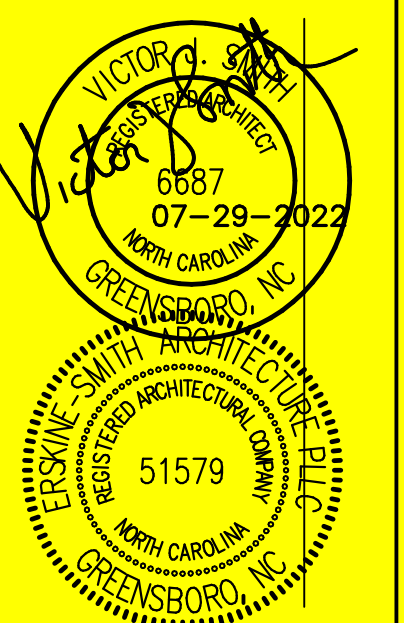
# BUILDING 'J'

## NEW STORAGE FACILITY FOR HARNETT SELF STORAGE

### SPOUT SPRINGS, NC

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Phone (336) 855-1286 Fax 855-5602



### APPENDIX "B" BUILDING CODE SUMMARY

Name of project: BLDG. 'J' NEW FACILITY FOR HARNETT SELF STORAGE  
Address: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Owner or Authorized Agent: VC SMITH Phone: 336-855-1286 E-mail: erskinesmith@earthlink.net  
City/County: \_\_\_\_\_ State: \_\_\_\_\_  
Code Enforcement Jurisdiction: \_\_\_\_\_ City: SAFFORD County: \_\_\_\_\_

CONTACT: Victor J. Smith  
DESIGNER: FIRM NAME LICENSE NO. TELEPHONE NO. E-MAIL ADDRESS  
Architectural: ERSKINE-SMITH ARCHITECTURE, P.L.L.C. Victor J. Smith 336-855-1286 erskinesmith@earthlink.net  
Civil  
Electrical  
Fire Alarm  
Plumbing  
Mechanical  
Sprinkler/Standpipe  
Structural  
Retaining Walls 18" High  
Other: \_\_\_\_\_

2018 NC BUILDING CODE:  New Building  Addition  Renovation  
 1st Time Interior Completion  
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements  
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE, EXISTING:  Prescriptive  Repair  Chapter 14 Alterations  
 Level I  Level II  Level III  
 Historic Property  Change of Use

CONSTRUCTION (date): \_\_\_\_\_ ORIGINAL OCCUPANCY (Ch. 3): \_\_\_\_\_  
RENOVATED (date): \_\_\_\_\_ PROPOSED OCCUPANCY (Ch. 3): 10-1 STORAGE  
RISK CATEGORY (Table 1604.3): Current  I  II  III  IV Proposed  I  II  III  IV

BASIC BUILDING DATA  
Construction Type:  I-A  I-B  II-A  II-B  III-A  III-B  IV  V-A  V-B  
Sprinklers:  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 13D  
Standpipes:  No  Yes Class:  I  II  III  Wet  Dry  
Fire District:  No  Yes Flood Hazard Area:  No  Yes  
Special Inspections Required:  No  YES (Contact the local inspection jurisdiction for additional procedures and requirements)  
Manual Fire Alarm System with Notification:  No  Yes

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine	AREA 'A'	AREA 'B'	
1st Floor	6,540 sf	6,360 sf	
Basement			
TOTAL	6,540 sf	6,360 sf	13,500 sf TOTAL

Primary Occupancy Classification(s): **ALLOWABLE AREA**  
Assembly  A-1  A-2  A-3  A-4  A-5  
Business  B-1  
Educational  E-1  
Factory  F-1 Moderate  F-2 Low  
High Hazard  H-1 Detonate  H-2 Deflagrate  H-3 Combust  H-4 Health  H-5 HPM  
Institutional  I-1 Condition  I-2  I-3 Condition  I-4  
Mercantile  M-1  M-2  M-3  M-4  
Residential  R-1  R-2  R-3  R-4  
Storage:  S-1 Moderate  S-2 Low  
 Parking Garage  Open  Enclosed  Repair Garage  
Utility and Miscellaneous

Accessory Occupancy Classification(s): NA  
Special Uses (Chapter 4 - List Code Sections): NA  
Special Provisions (Chapter 5 - List Code Sections): NA  
Mixed Occupancy:  No  Yes Separation:  Hr. Exception: \_\_\_\_\_  
 Non-separated Use (508.3)  
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction so determined shall apply to the entire building.  
 Separated Mixed Occupancy (508.4) - See below for area calculations. For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by allowable floor area for each use shall not exceed 1.  
Actual Area of Occupancy A + Actual Area of Occupancy E ≤ 1  
Allowable Area of Occupancy A + Allowable Area of Occupancy E ≤ 100

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA PERCENTAGE INCREASE (1)	(D) ALLOWABLE AREA PER STORY (OR QUALIFIED 1)

(1) Frontage area increases from Section 506.2 are computed thus:  
a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_ (F)  
b. Total Building Perimeter = \_\_\_\_\_ (P)  
c. Ratio (F/P) = \_\_\_\_\_ (F/P)  
d. W = Minimum width of public way = \_\_\_\_\_ (W)  
e. Percent of frontage increase =  $100(F/P - 0.25) \times W/30 = \%$   
(2) Unlimited area applicable under conditions of Section 507  
(3) Maximum Building Area = total number of stories in the building x D (506.2)  
(4) The maximum area of open parking garages must comply with 406.5.4. The maximum area of air traffic control towers must comply with 403.3  
(5) Frontage increase is based on the unspinklered area value in Table 506.2

ALLOWABLE HEIGHT	Allowable	Show on plans	Code Reference
Building Height in Feet (Table 504.3)	55 FT.	1'	
Building Height in Stories (Table 504.4)	2		

Provide code reference if the "Show on Plans" quantity is not based on Table 504.3 or 504.4.

NS = BUILDING NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

SPECIAL APPROVALS (Table 2902.1)  
Special approval: (Local Jurisdiction, Department of Insurance, OIG, DPI, DHH, ICC, etc., describe below)

### FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING PROVIDED	RATING REDUCTION	DETAIL AND SHEET #	DESIGN FOR RATED ASSEMBLY	DESIGN FOR RATED PENETRATION	DESIGN FOR RATED JOINTS
Structural Framing, including columns, girders, trusses		0					
Bearing walls							
Exterior							
NORTHWEST	6'-6"	0					
NORTHWEST	6'-6"	0					
SOUTHWEST WALL (ASSUMED PROPERTY LINE)	15'	0					
SOUTHWEST WALL	3'-6"	0					
Interior							
Nonbearing walls and partitions							
Exterior walls							
North	N/A	0					
East	N/A	0					
West	N/A	0					
South	N/A	0					
Interior walls & partitions							
Floor construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Roof							
Roof construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Roof							
Roof construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Roof							
Shafts Enclosures - Exit	N/A						
Shafts Enclosures - Other	N/A						
Corridor Separation	N/A						
Occupancy/Fire Barrier Separation	N/A						
Party/Fire Wall Separation	2-hr	2-hr	U-419	3/A-3			
Smoke Barrier Separation	N/A						
Tenant / Dwelling Unit / Sleeping Unit Separation	N/A						
Incidental Use Separation	N/A						

### PERCENTAGE OF WALL OPENINGS CALCULATION

Fire Separation Distance (feet) (See Property Line)	Degree of Opening Protection (Table 1008.6)	Allowable Area	Actual Shown on Plan (%)
NORTH 35'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 ex. 2	51%
WEST 15'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 ex. 2	47%
SOUTH 25'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 ex. 2	0
EAST 122'	UNPROTECTED, NONSPRINKLERED	NO LIMIT PER TABLE 705.8.1 ex. 2	0

### LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet # \_\_\_\_\_ COVER SHEET  
 Fire and/or smoke rated wall locations (Chapter 7)  
 Assumed and real property line locations (if not on site plan)  
 Exterior wall opening areas with respect to distance to assumed property lines (1008.6)  
 Occupancy Use for each area as it relates to occupancy load calculation (Table 1004.1.2)  
 Occupant loads for each area  
 Exit access travel distance (1017)  
 Common path of travel distance (Table 1006.2.1 & 1006.3.2(1))  
 Actual occupant load for each exit door  
 A separate schematic plan indicating where fire rated floor ceiling and/or roof structure is provided for purposes of occupancy separation  
 Location of doors with panic hardware (1010.10)  
 Location of doors with delayed egress locks and the amount of delay (1010.1.1.1)  
 Location of doors with electromagnetic egress locks (1010.13.3)  
 Location for doors equipped with hold-open devices  
 Location of emergency escape windows (1020)  
 The square footage of each fire area (1021)  
 The square footage of each smoke compartment for Occupancy Classification 1-2 (401B)  
 Note any code exceptions or table notes that may have been utilized regarding the items above

### ACCESSIBLE DUELLING UNITS (Section 1101)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE 'A' UNITS REQUIRED	TYPE 'A' UNITS PROVIDED	TYPE 'B' UNITS REQUIRED	TYPE 'B' UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

### ACCESSIBLE PARKING (Section 1106)

LOT OR PARKING AREAS	TOTAL # OF PARKING SPACES REQUIRED	# OF ACCESSIBLE SPACES PROVIDED	REGULAR UNITS BY ACCESSIBLE	VAN SPACES WITH BY ACCESSIBLE BY ACCESSIBLE	TOTAL NO. ACCESSIBLE

### PLUMBING FIXTURE REQUIREMENTS (Table 2902.1)

USE	WATER CLOSETS	URINALS	LAVATORIES	SHOWERS	DRINKING FOUNTAINS				
	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX	TUBS	REGULAR	ACCESSIBLE
OUTSIDE	EXISTING								
INSIDE	EXISTING								
	REQUIRED								
TOTAL	PROVIDED								

### SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OIG, DPI, DHH, ICC, etc., describe below)

### ENERGY REQUIREMENTS

The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost standard reference design vs annual energy cost for the proposed design.

Climate Zone  3  4  5  
Method of Compliance  Prescriptive (Energy Code)  
 Performance (Energy Code)  
 Prescriptive (ASHRAE 90.1)  
 Performance (ASHRAE 90.1)

### THERMAL ENVELOPE

Roof/Ceiling Assembly (each assembly)  
Description of assembly: \_\_\_\_\_  
U-value of total assembly: \_\_\_\_\_  
R-value of total assembly: \_\_\_\_\_  
Skylights in each assembly: \_\_\_\_\_  
U-value of skylight: \_\_\_\_\_  
total square footage of skylights in each assembly: \_\_\_\_\_

Exterior Walls (each assembly)  
Description of assembly: \_\_\_\_\_  
U-value of total assembly: \_\_\_\_\_  
R-value of total assembly: \_\_\_\_\_  
Openings in each assembly: \_\_\_\_\_  
Door R-values: \_\_\_\_\_  
Window R-values: \_\_\_\_\_  
Door R-values: \_\_\_\_\_

Floors over unconditioned space (each assembly)  
Description of assembly: \_\_\_\_\_  
U-value of total assembly: \_\_\_\_\_  
R-value of total assembly: \_\_\_\_\_

Floors slab on grade (each assembly)  
Description of assembly: \_\_\_\_\_  
U-value of total assembly: \_\_\_\_\_  
R-value of total assembly: \_\_\_\_\_  
Horizontal/vertical requirement: \_\_\_\_\_  
slab nested: \_\_\_\_\_

### STRUCTURAL DESIGN

DESIGN LOADS:  
Importance Factors: Snow (Is) \_\_\_\_\_  
Seismic (Ie) \_\_\_\_\_  
Live Loads: Roof \_\_\_\_\_ psf  
Mezzanine \_\_\_\_\_ psf  
Floor \_\_\_\_\_ psf  
Ground Snow Load: \_\_\_\_\_ psf  
Wind Loads: Ultimate Wind Speed (ASCE-7) \_\_\_\_\_  
Exposure Category \_\_\_\_\_

### SEISMIC DESIGN CATEGORY

Provide the following Seismic Design Parameters:  
Risk Category (Table 1004.3)  I  II  III  IV  
Spectral Response Acceleration Coefficient (ASCE-7)  A  B  C  D  E  F  
Site Classification (ASCE-7)  I  II  III  IV  
Basic structural analysis (check one):  
 Dual w/ Special Moment Frame  
 Dual w/ Special Moment Frame (Upper Walls)  
 Dual w/ Intermediate RC or Special Steel Inverted Pendulum  
Analysis Procedure:  Simplified  Equivalent Lateral Force  Dynamic  
Architectural, Mechanical, components anchored:  Yes  No

### LATERAL DESIGN CONTROL

Earthquake (Lower Level - Bldg. A & B)  
 Wind (Upper Level - Bldg. A & B and C & D)

### SOIL BEARING CAPACITIES

Field Test (provide copy of test report) \_\_\_\_\_ psf  
File size, type, and capacity \_\_\_\_\_

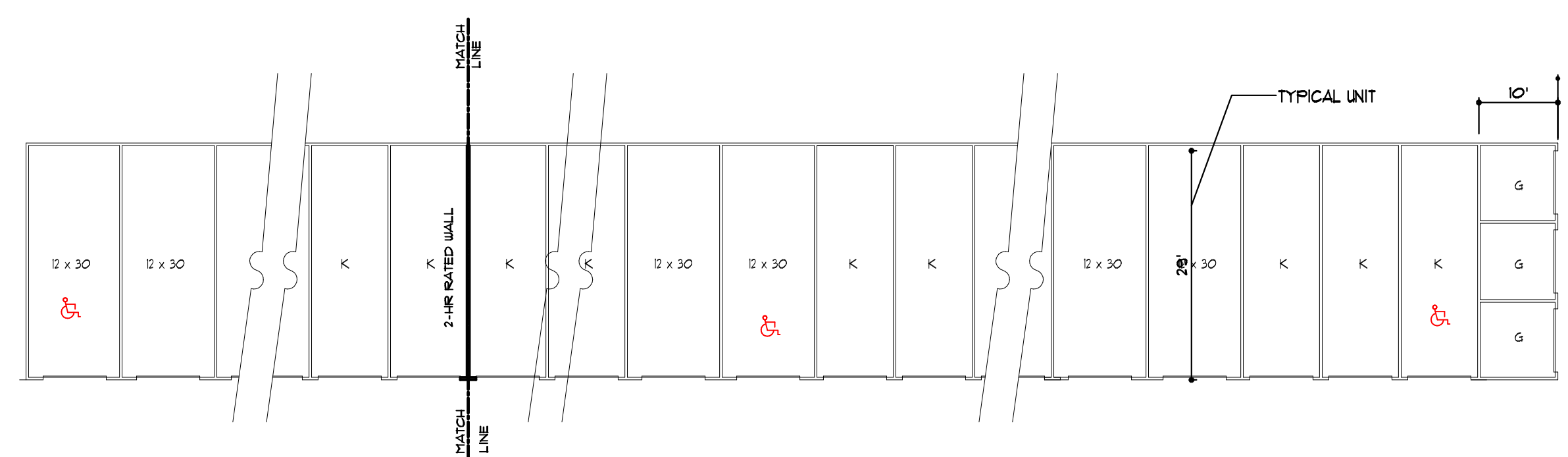
### UNIT MIX - TOTAL 4 BLDG.

SIZE	MARK	BUILDING TYPE				TOTAL	ACCESSIBLE UNITS
		A	B	C	J		
5'x5'	A	4	-	-	-	66	
5'x10'	B	13	6	8	-	81	BLDG. A
10'x10'	G	105	-	-	-	81	BLDG. B
10'x15'	I	24	52	-	-	183	BLDG. A
10'x20'	J	16	-	60	-	88	BLDG. B
10'x30'	K	-	-	-	26	44	BLDG. J
12'x30'	L	-	-	-	15	30	BLDG. J
TOTAL		162	58	68	44	332	
NET SQ. FT. PER BLDG.		18,284	8,100	12,400	13,500	53,284	SQ. FT. NET TOTAL
GROSS SQ. FT. PER BLDG.		23,508	8,100	12,400	13,500	57,508	SQ. FT. GROSS TOTAL

### UNIT CALCULATIONS

CODE REQUIREMENTS	PERCENTAGE	# OF UNITS	# OF ADA UNITS REQ.
5% OF THE FIRST 200 UNITS	5%	200	10
2% OF REMAINING UNITS	2%	132	2.64
TOTAL		332	3

NOTE: ALL ACCESSIBLE STORAGE UNIT DOORS SHALL HAVE A MAX. 5 LB. FULL



### LIFE SAFETY & OCCUPANCY PLAN

1/16" = 1'-0"

OCCUPANCY STORAGE  
13,500 SF / 500 = 27

NOTE:  
ADA UNITS WILL INCLUDE AN ELECTRIC DOOR LIFT OPERATOR WITH BATTERY BACKUP, PHOTO EYES, EMERGENCY RELEASE AND KEYPAD FOR OPERATION. KEYPAD WILL BE MOUNTED WITHIN ACCESSIBLE REACH RANGES PER ANSI 308. MANUFACTURER: LIFTMASTER 8850U OR EQUAL  
HORIZONTAL SLIDING DOORS SHALL COMPLY WITH SECTION 1010.1.4.3 OF NCBC. ELECTRICAL TO BE COORDINATED.  
OCCUPANT DISPERSAL FROM EXITS TO PUBLIC ROAD SHOWN ON SITE PLAN

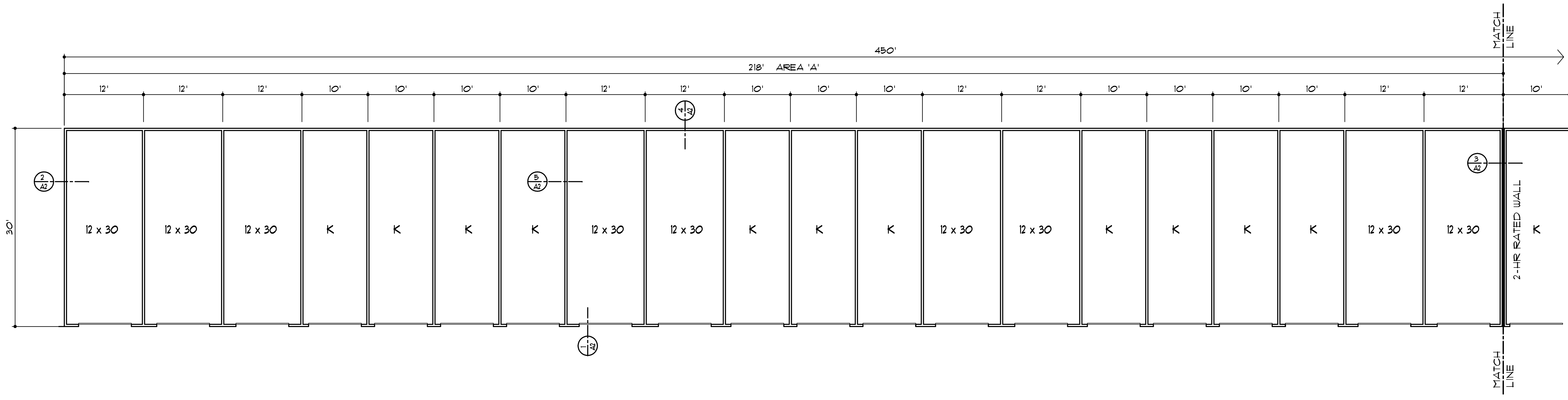
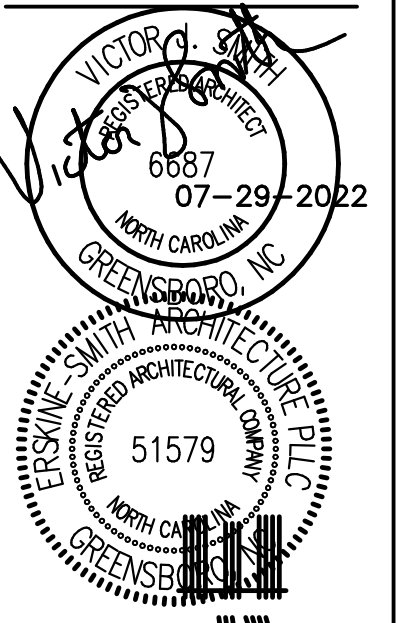


NEW STORAGE FACILITY FOR BLDG. 'J'  
**HARNETT SELF STORAGE**  
SPOUT SPRINGS, NC

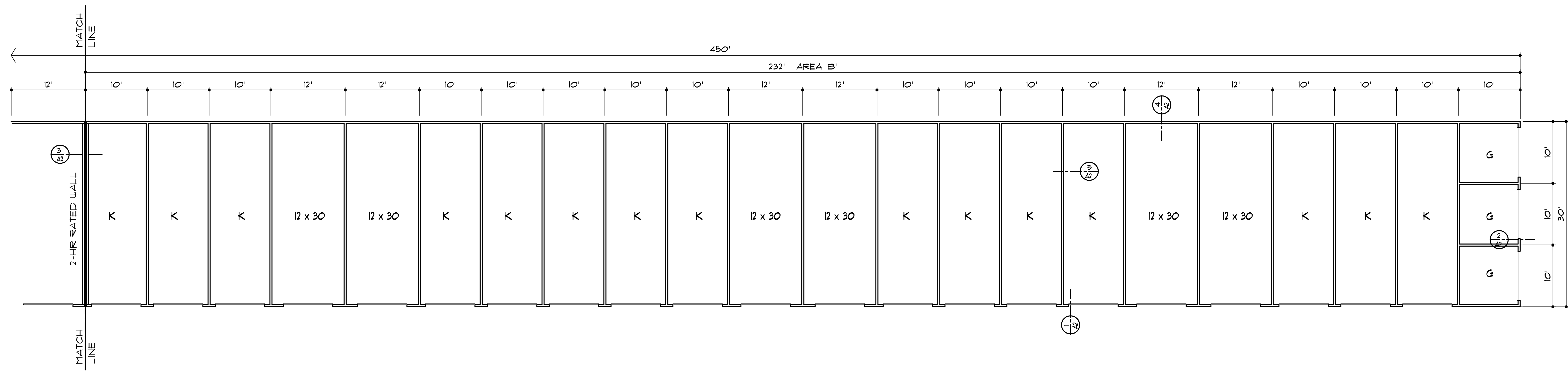
REVISIONS BY  
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CHECKED BY: RHE  
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FILE:  
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**COVER BLDG. J**

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 3406-A West Wendover Avenue  
 Greensboro, N.C. 27407  
 Phone (336) 855-1286 Fax 855-5602



**PARTIAL FLOOR PLAN**  
 1/8" = 1'-0"



**PARTIAL FLOOR PLAN**  
 1/8" = 1'-0"

**BLDG. J 13,500 sf**

**NEW STORAGE FACILITY FOR  
 HARNETT SELF STORAGE  
 SPOUT SPRINGS, NC**

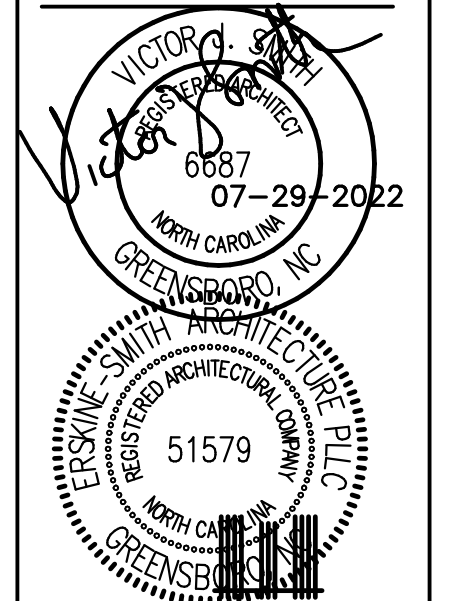
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**A-1**

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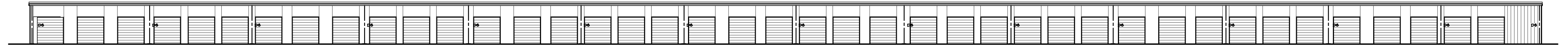


**NEW STORAGE FACILITY FOR HARNETT SELF STORAGE**  
 SPOUT SPRINGS, NC

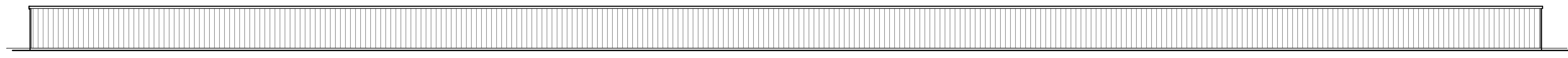
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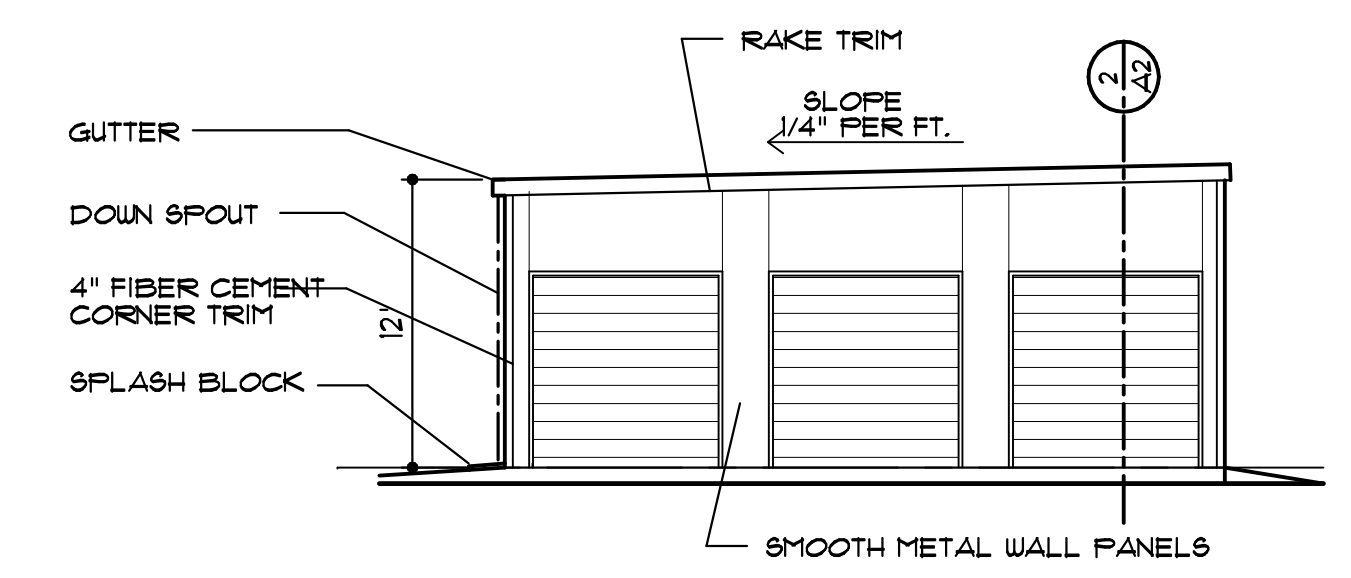
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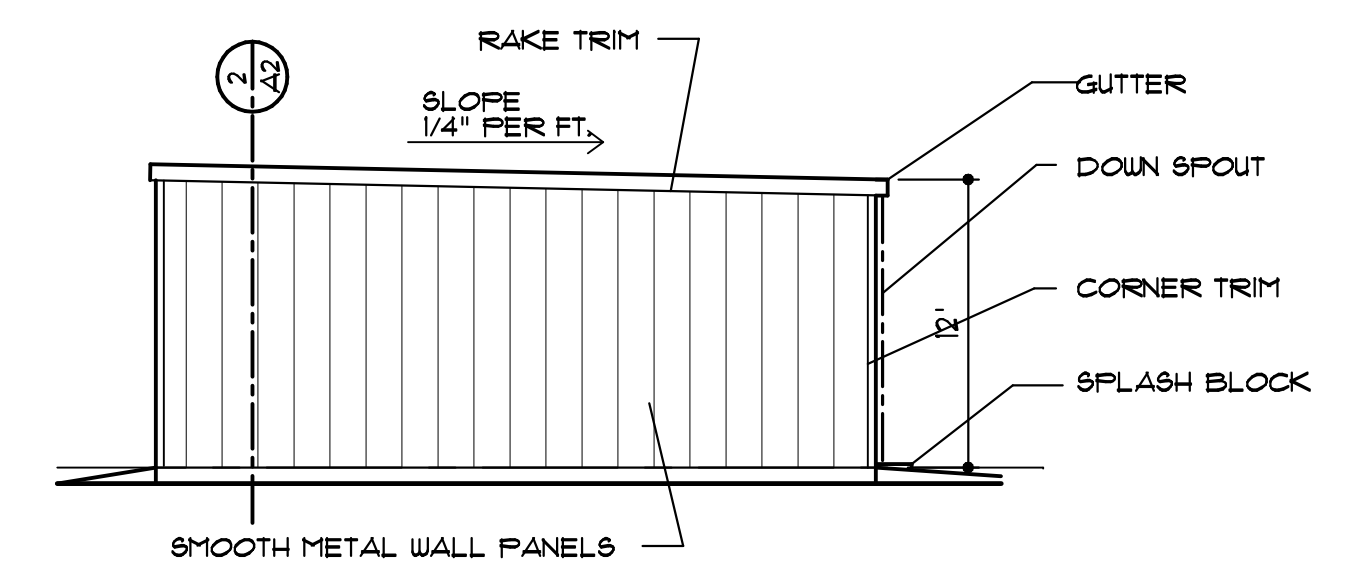
**NORTH ELEVATION**  
 1/16" = 1'-0"



**SOUTH ELEVATION**  
 1/16" = 1'-0"



**WEST ELEVATION**  
 1/8" = 1'-0"

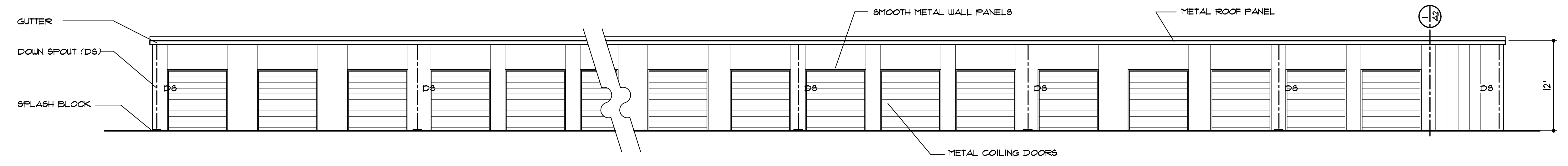


**EAST ELEVATION**  
 1/8" = 1'-0"

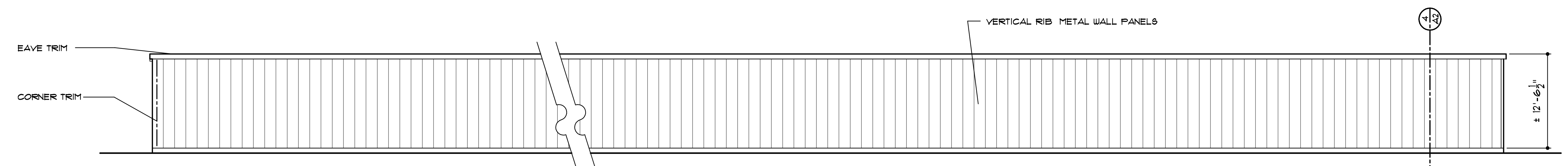
ALL RAIN LEADER TO HAVE SPLASH BLOCKS

**DOWN SPOUTS & GUTTERS**  
 ROOF AREA = 13,500 SF  
 GUTTER LENGTH = 450'LF  
 GUTTER SIZE = 5" w x 4" d  
 # DOWN SPOUT (3" x 4") = 16  
 AREA PER DOWN SPOUT = 844 sf

BUILDING 10



**PARTIAL NORTH ELEVATION**  
 1/8" = 1'-0"

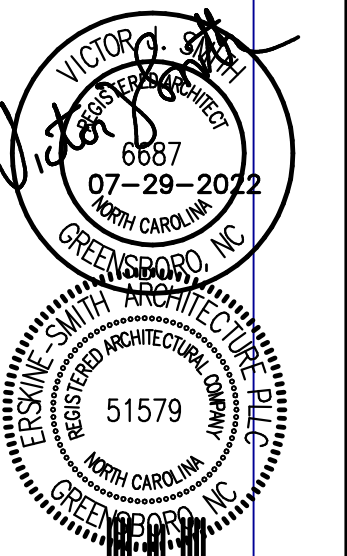


**PARTIAL SOUTH ELEVATION**  
 1/8" = 1'-0"

**BLDG. J**

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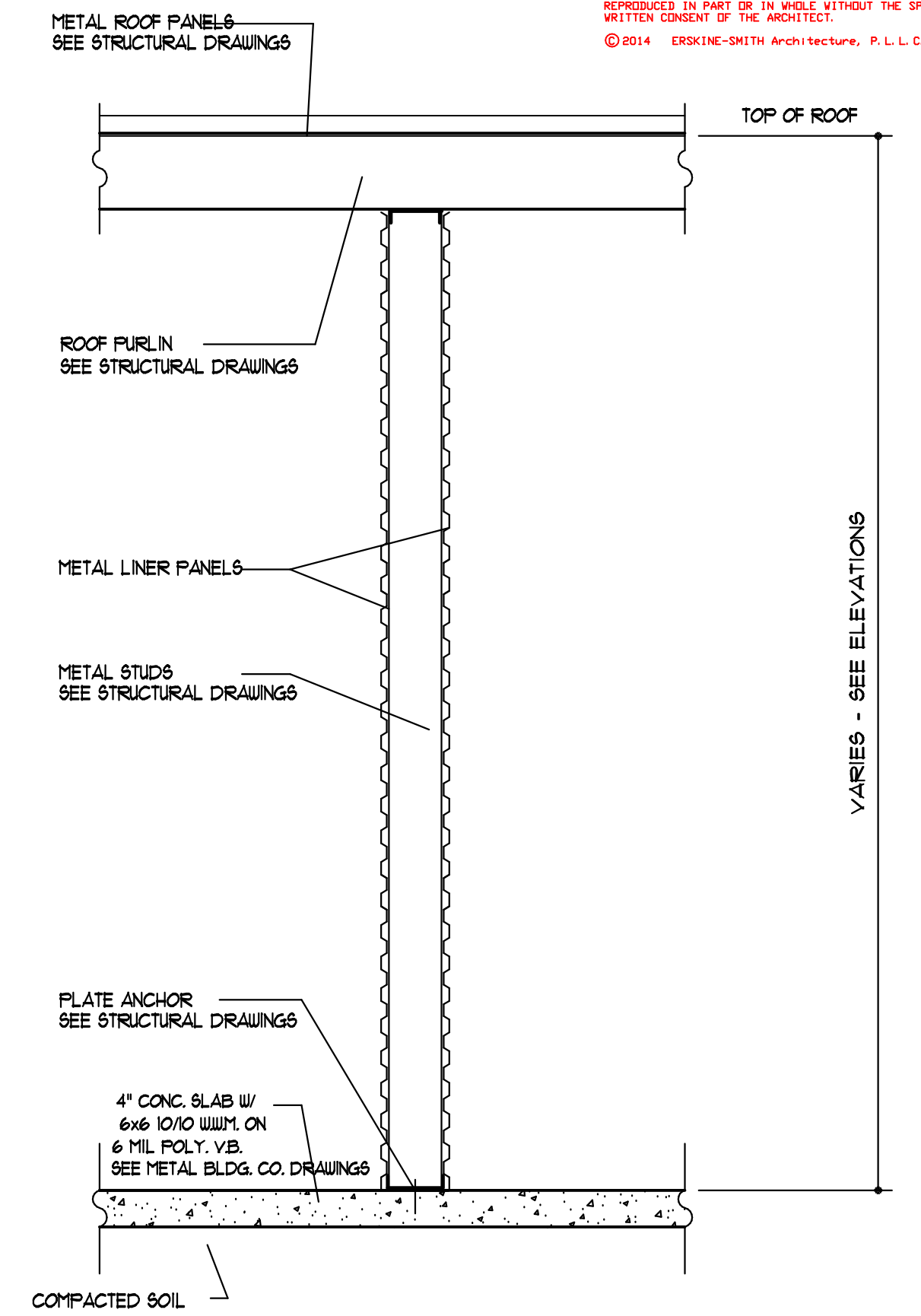
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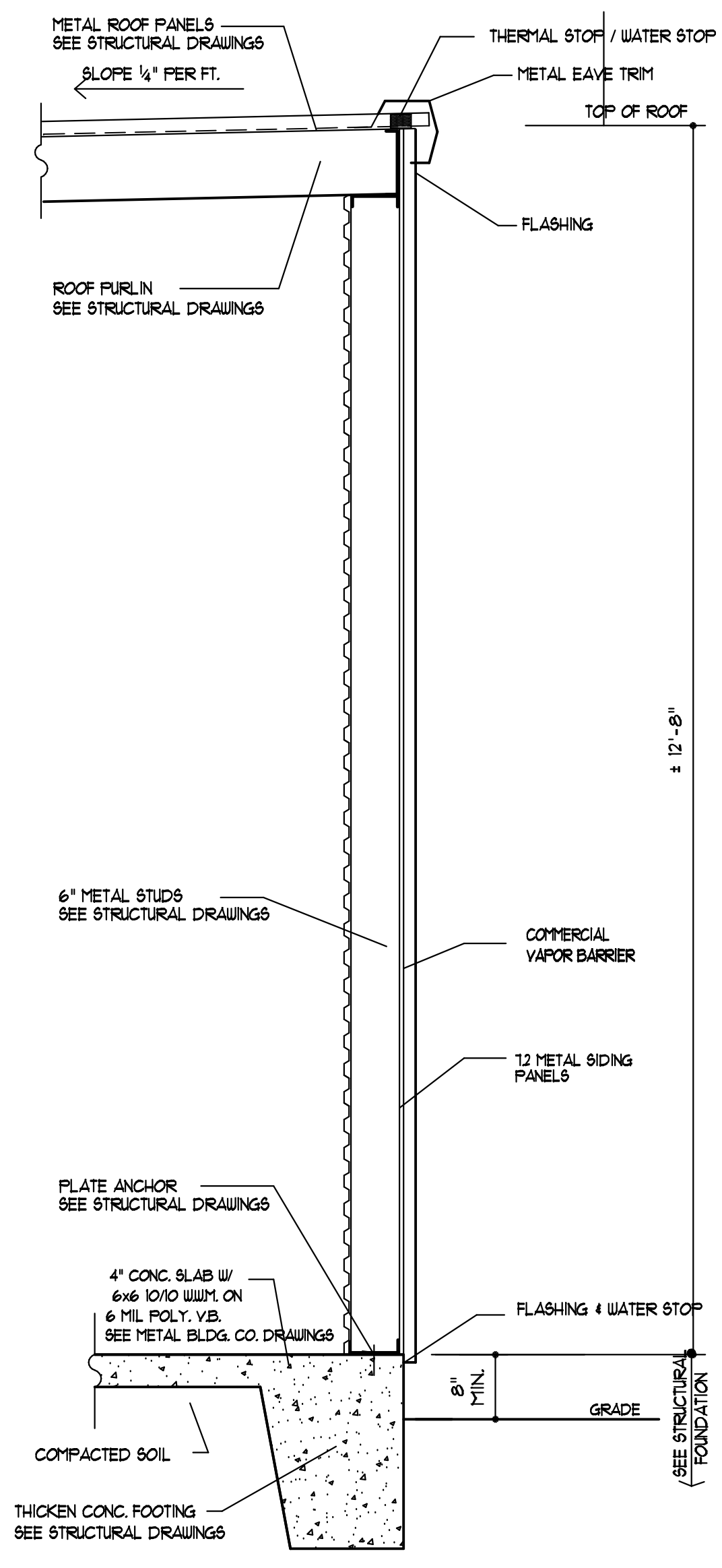
**NEW STORAGE FACILITY FOR HARNETT SELF STORAGE SPOUT SPRINGS, NC**

REVISIONS	BY

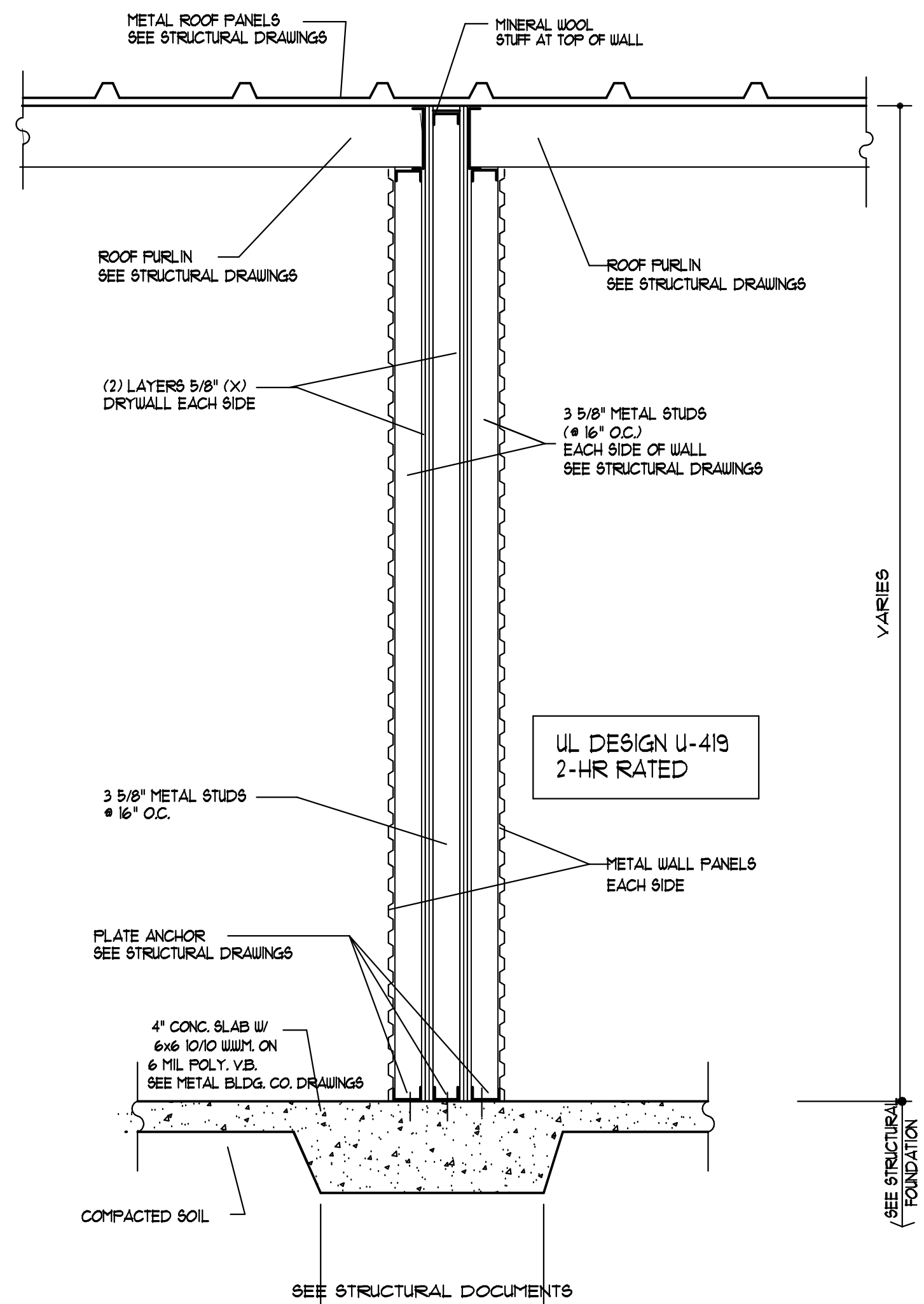
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 SHEET NUMBER:  
**A-3**  
 BLDG. 'J'



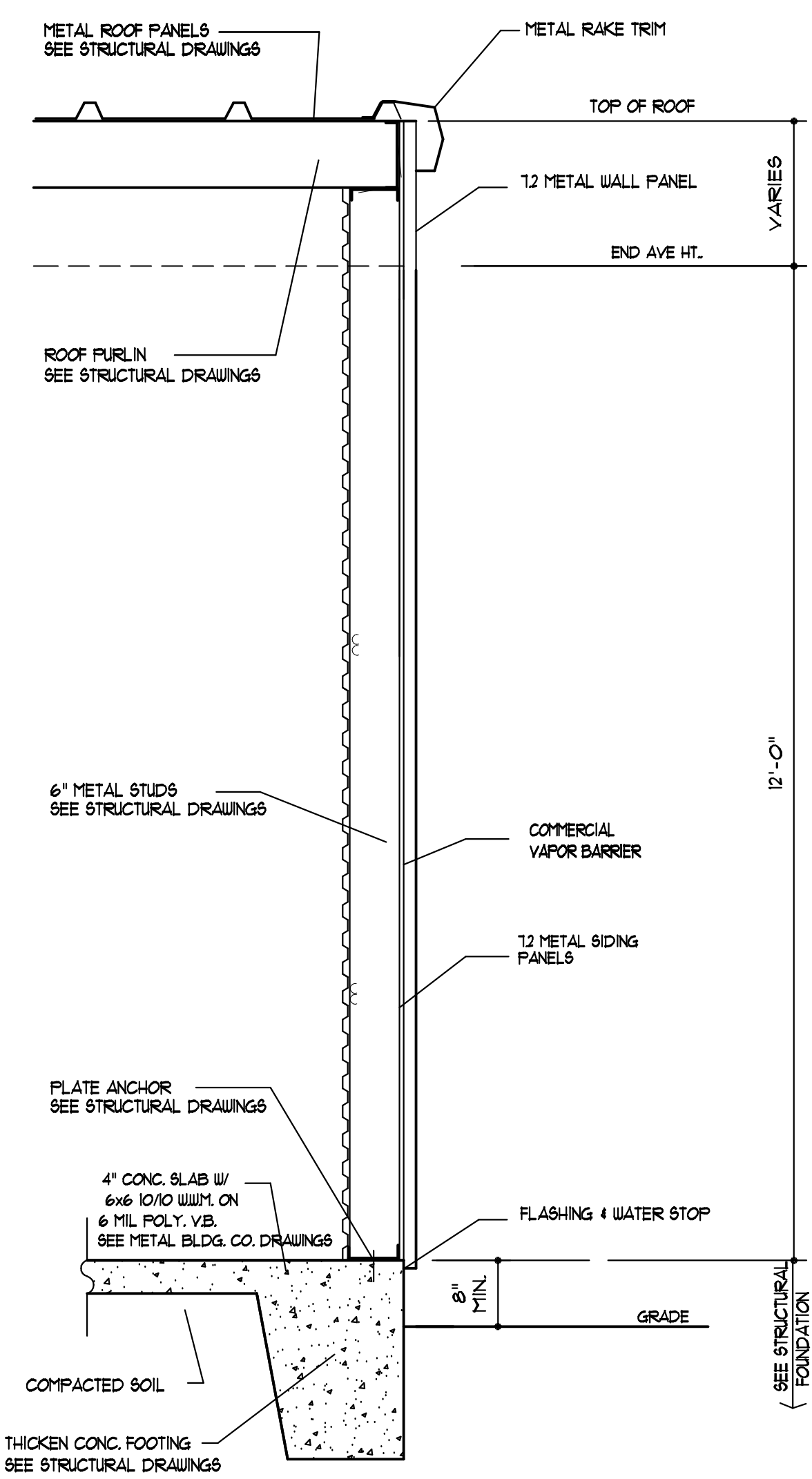
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 A-3 **TYP. INTERIOR WALL DET.**



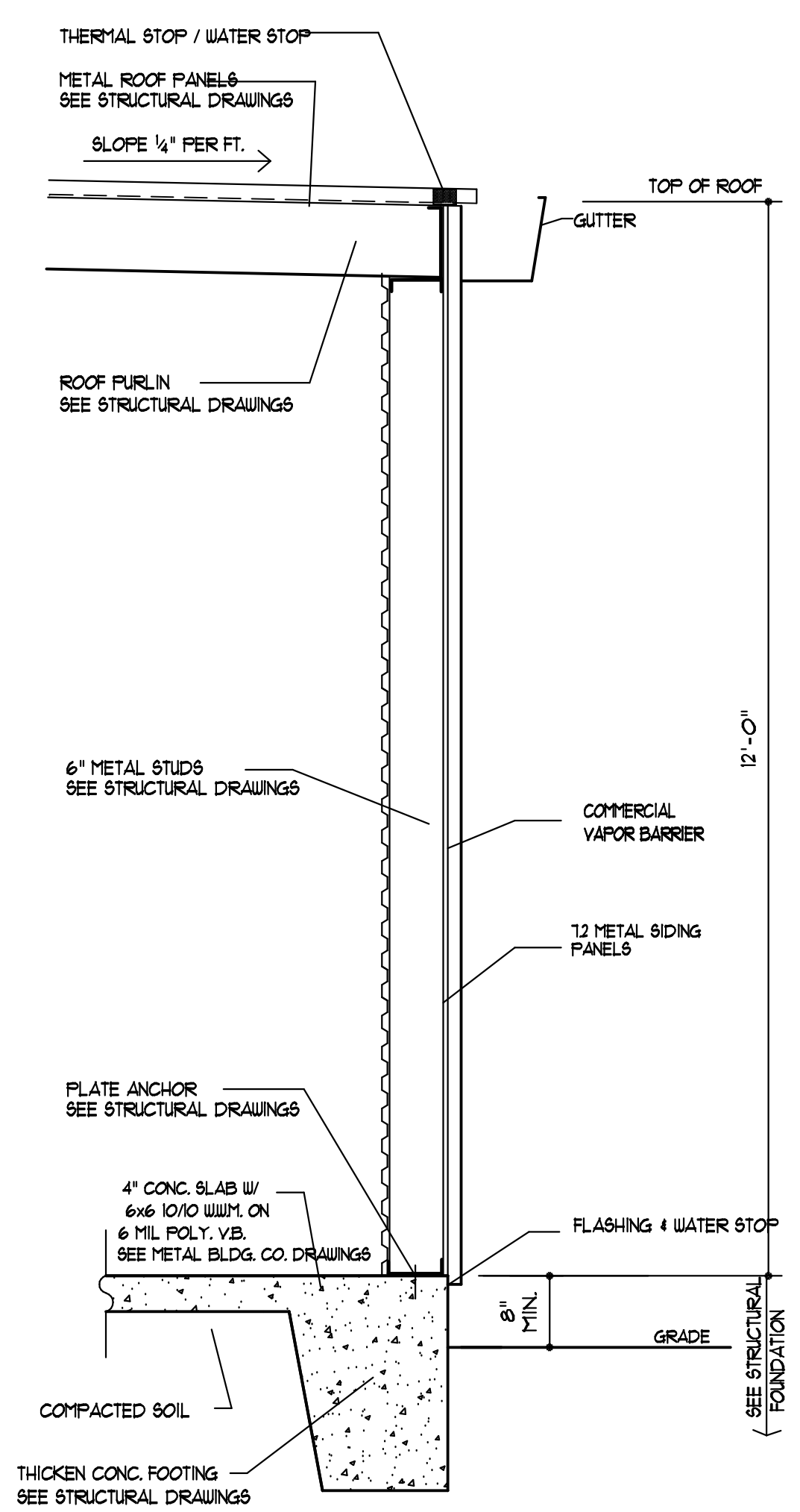
4  
 A-3 **TYP. EXTERIOR WALL DET.**



3  
 A-3 **2-HR. RATED FIRE WALL DETAIL**



2  
 A-3 **TYP. EXTERIOR END WALL DET.**



1  
 A-3 **TYP. EXTERIOR WALL DET.**

NOTE:  
 STRUCTURAL ENGINEER'S DESIGN  
 & DETAILS SHALL OVERRIDE  
 ARCHITECTURAL DETAILS

NOTE: DO NOT SCALE DRAWINGS  
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