

07-29-**2**022

REVISIONS

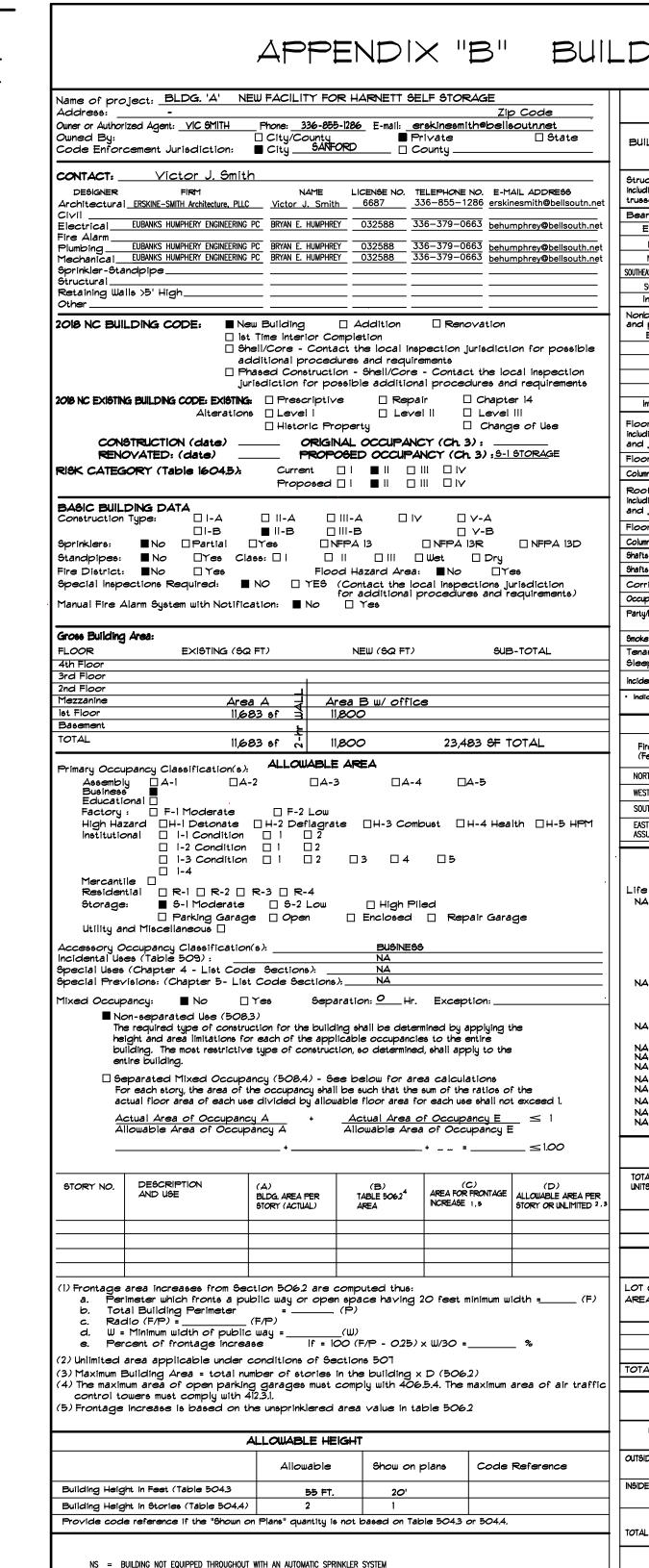
DRAWN BY: VJS

CHECKED BY: 07-29-2022 SCALE : <u> 1/16" = 1'-0'</u>

BUILDING 'A'

NEW STORAGE FACILITY FOR SPOUT SPRINGS, NC

BUILDING CODE SUMMARY APPENDIX "B" TYP. TOILET ELEVATION



•	■No □Yes ctions Required: larm System with Notifi		YES (Cor for a	azard Area: ntact the locadditional p Yes	■ No cal inspe rocedure	□Ye ctions ju es and re						
Gross Building		O ET)	NI	EIII (60 ET)		GUE	TOTAL					
FLOOR 4th Floor	EXISTING (S	Q FI7	N	EW (SQ FT)		Sub	B-TOTAL					
3rd Floor												
2nd Floor												
Mezzanine ist Floor		<u>88 A</u>	Area 1	<u>Bw/office</u>	3							
Basement	11,76		11,000									
TOTAL	11,6	7 1e 88	11,800	>	23,4	83 SF T	OTAL					
Assembly Business Education Factory: High Haz Institution Mercantil Resident Storage: Utility and Accessory Ocincidental Uses Special Uses Special Previous Mixed Occupation Not the heighbuildent Storage:	mal	F-2 H-2 Defined F-2 H-2 Defined F-2 H-2 Defined F-2 General F-2 R-3 R-3 R-3 R-3 R-3 R-3 R-4 F-2 General General General General General General General General General General General General General General General General General General General General General General General General General General General General General General General General General General General Gen	alagrate 2 2 2 4 Low Signature Signature Separation Sep	A-4 H-3 Comb High Pile Enclosed Business NA NA NA On: O Hr. hall be determined by determined determined solution that the second that the	Exceptioned by a stothe a calculation of the	tion: applying tentire oly to the	he î the					
<u> Ac</u>	tual Area of Occupar owable Area of Occu DESCRIPTION AND USE	ncy A	+ <u>Ac</u> Allo	ctual Area o bwable Area (B) ABLE 50624 REA	f Occup. of Occi + =	ancy E upancy B C) FRONTAGE	_ ≤ 1 : _ ≤1.00					
a. Perin b. Tota c. Rad d. W = e. Perc (2) Unlimited a (3) Maximum B (4) The maximum control tota	b. Total Building Perimeter = (P) c. Radio (F/P) = (F/P) d. W = Minimum width of public way = (W)											
		ALLOWABL	E HEIGHT									
		Allow	able	Show on k	olans	Code	Reference					
Building Heigh	nt in Feet (Table 504.3		55 FT.	20'								
Building Heigh	nt in Stories (Table 504.4		2	1								
Provide code	reference if the "Shown	on Plans" qua	ntity is not l	oased on Tab	le 5043 d	or 504.4.						
NS = BU	IILDING NOT EQUIPPED THROUGHOU	JT WITH AN AUTOMA	atic sprinkler	SYSTEM								

Adaress:	oject: <u>BLDG. 'A'</u> N				(ip Code				FIRE PR	OTECTION	REQUIRE	MENTS		
Owner or Author Owned By:	rized Agent: VIC 9MITH cement Jurisdiction:	Phone: <u>336-855-</u> □ City/County ■ City <u>SANFO</u>	■ Pi	ivate	□ State	BUILDI	NG ELEMENT	FIRE SEPARATION DISTANCE (FEET)		PROVIDED (W/	DETAIL 4 AND SHEET *	DESIGN * FOR RATED ASSEMBLY	DESIGN FOR RATED PENETRATION	DESIGN * FOR RATE JOINTS
CONTACT: _	FIRM	NAME		ELEPHONE NO. E-	MAIL ADDRESS kinesmith@bellsoutn.net		al Framing, olumns, girders,		0	REDUCTION				
Civil	I <u>ERSKINE-SMITH Architecture</u> , PLLI EUBANKS HUMPHERY ENGINEERING				numphrey@bellsouth.net	Bearing								
Electrical Fire Alarm						Exter	rior HWEST	86'	0					+
Plumbing Mechanical _	EUBANKS HUMPHERY ENGINEERING EUBANKS HUMPHERY ENGINEERING		032588 33	36-379-0663 <u>bel</u> 36-379-0663 bel	numphrey@bellsouth.net numphrey@bellsouth.net	NORTH		68'	0					
Sprinkler-Sta	andpipe						LL (ASSUMED PROPER		0					
Retaining Wa	ılls >5' High					SOUTH	WEST WALL	364'	0					+
						Nonbear	ing walls							
OB NC BUI		ew Building [t Time Interior Com] Addition pletion	☐ Renovation	1	and part Exte	itions erior Walls							
		hell/Core - Contac dditional procedu			tion for possible	F	orth	N/A	0					
	□ ₽	hased Constructio	n - Shell/Core	- Contact the I	ocal inspection		let ∋et	N/A N/A	0					
Me NC EVIETIN	ال I G BUILDING CODE: EXISTIN C	urisdiction for pos		•	'		outh	N/A	0					
OP NO EXION		ns 🗆 Level i	☐ Leve	III 🗆 Leve	el III	-	r walls 4 partitions		0 0					-
		☐ Historic Prop			nge of Use	including su	onstruction upporting beams							
	STRUCTION (date) _ OYATED: (date) _			NCY (Ch. 3): <u> </u>		and jois	ts siling Assembly		0					-
RISK CATEG	ORY (Table 1604.5):		11 🔳 11 🖂				oporting Roof	•	0					
		Proposed [Roof co	enstruction							
	DING DATA					including au and jois	upporting beams ts		0					
Construction	Type: □ I-A □ I-B		II-A □ IV I-B	□ ∨-A □ ∨-B			iling Assembly	J	0					
Sprinklers:	■No □Partial	Tes NF	PA 13	□ NFPA 13R	□ NFPA 13D		oporting Roof osures - Exit		N/A		_			
Standpipes: Fire District:			I □III □ I Hazard Area:	•	Yes		osures - Exit osures - Others		N/A N/A					
	ections Required:	NO TES (Contact the lo	cal inspections	jurisdiction	Corridor	Separation		N/A					
Manual Fire A	Alarm System with Notific	cation: No	or additional p ☐ Yes	procedures and	requirements/		/Fire Barrier Sepa	ration	1-hr	1-hr	U-419			<u> </u>
_						rarty/Fire U	llall Separation	·	2-hr	2-hr	U-419	3/4-	3	
Gross Building	<i>*</i>) ET)	NEW (SQ FT)	G	JB-TOTAL		ier Separation		N/A					
FLOOR 4th Floor	EXISTING (SC	¥ F17	NEW (SQ FI)		AB-101AL		Dwelling Unit/ J Unit Separati		N/A					
3rd Floor 2nd Floor		<u> </u>				Incidental L	lse Separation		N/A					
Mezzanine	Are	a A 🚽 Are	a B w/ offic			• Indicate	section number per	mitting reduction	1		•	•	•	•
Ist Floor Basement	11,6	.83 sf 🖹 11,8	300				1	PERCENTA	GE OF W	ALL OPE	lings cal	CULATIONS		
TOTAL	3,11	83 sf 🐰 11,8	300	23,483 SF	TOTAL	Fire Se	paration Distanc	Dec	ree of O	pening	Allowak	ole Area	Actual Shou	n on Pla
			ΔREΔ	•		(Feet)	from Property Li	na I From	ection le 705.8%			%)	(%)	
Assembl	upancy Classification(s) ly	•	□ △-4			NORTH	100'	UNPRO	TECTED. NONS	PRINKLERED	NO	LIMIT	0	
Business Educati						WEST	36'		TECTED. NONS			LIMIT	0	
Factory High Ha	: □ F-1 Moderate zard □H-1 Detonate	☐ F-2 Low		oust □ U-4 Ha	ealth □U-5 UPM	SOUTH	25' 19'		TECTED. NONS			LIMIT	0	
Institutio	onal 🗌 I-1 Condition				<u> </u>		PROPERTY LINE	UNPRO	TECTED. NONS	KINKLERED	NO LIMIT PER T	ABLE 705.8.1 ex. 2	54%	
	☐ 1-2 Condition☐ 1-3 Condition☐ 1-4	_	□3 □4	□5						FETY PLA	N SEATIF	DEMENTA		
Accessory C	ntial 🗆 R-1 🗆 R-2 🗆	□ 6-2 Low ge □ Open	□ High Pil □ Enclosed BuślNEśś NA	□ Repair Ga	rage	NA F		moke rated real prope opening ar se for each	wall loca erty line lo ea with re I area as h area	ocations (i espect to it relates	f not on si distance to	o assumed pi	roperty lines (' culation (Table	
Special Uses	(Chapter 4 - List Coc		NA				Sommon path	of travel of	distance (62.1 \$ 100	6.3.2(1))		
•	visions: (Chapter 5- Lis			Exception: _			Dead end le Clear exit wid	dths for ea	ch exit d					1.1 **
Mixed Occup ■ No	pancy: ■ No □ on-separated Use (508	•	audri: <u>-</u> Hr.	Exception: _		_	Actual occup	ant load fo	or each e	xit door			ised on egress wi	
Th he bu en	e required type of constri light and area limitations fo uilding. The most restrictiv tire building.	uction for the buildin or each of the applic re type of construction	able occupancie on, so determined	es to the entire indication in the interest of the state	´	14 	ourposes of _ocation of _ocation of _ocation of	occupancy doors with doors with doors with	separati panic har delayed electroma	on dware (101 egress loc Ignetic eg	0.1.10) iks and the ress locks	amount of a	tructure is provid delay (1010.1.9.7	
Fo	sparated Mixed Occup or each story, the area of	the occupancy shall b	oe such that the	sum of the ratios	of the	NA □ I	_ocation fo location of e	emergency e	scape wi	ndows (10:	30)	•		
ac	ctual floor area of each us	se divided by allowa	ble floor area fo	or each use shall t	not exceed 1.	NA 🗆 1	The square fo	ootage of	each fire	area (202)	Occupancu C	lassification I-	2 (407.
	ctual Area of Occupan Ilowable Area of Occup			of Occupancy E of Occupancy									the items above	
		+		.+ =	≤1.00			۵۲.۲≡	381B1 F 1	WELLING.	UNITS /	Section 1107.)	
						TOTAL	ACCESSIBLE	ACCESSIBLE	TYPE "A"	TYPE "A"	TYPE "B"	TYPE "B"	TOTAL	
		(A)	(B) TABLE 5062 ⁴	(C) AREA FOR FRONTAG	LEFECAMENTE SIZES FIZ.	UNITS	UNITS	UNITS PROVIDED	UNITS REQUIRED	UNITS PROVIDED	UNITS REQUIRED	UNITS PROVIDED	ACCESSIBLE UNI	TS
	DESCRIPTION AND USE	BLDG. AREA PER	AREA	INCREASE 1,5	STORY OR UNLIMITED 2,3									
		BLDG, AREA PER STORY (ACTUAL)							N/A					
												1 1106 \		
								AC	CESSIBL	E PARKIN	G (Sect			
STORY NO.	AND USE	STORY (ACTUAL)			ust add to			DTAL * OF PARK	NG SPACES	* OF A	CESSIBLE SPA	CES PROVIDED		TOTAL NO.
STORY NO. (1) Frontage a. Per b. Tot	area increases from Se imeter which fronts a pu al Building Perimeter	ection 5062 are coublic way or open	space having :	20 feet minimum	width =(F)	LOT OR AREAS				* OF AC	CESSIBLE SPA		HTOIU	ACCESSIBL
STORY NO. (1) Frontage a. Per b. Tot c. Rac d. W	area increases from Se imeter which fronts a pi al Building Perimeter dio (F/P) =	ection 5062 are coublic way or open (F/P) c way =	space having : P) (₩)					DTAL * OF PARK	NG SPACES	* OF AC	CESSIBLE SPA	CES PROVIDED VAN SPACES	HTOIU	ACCESSIBL
6TORY NO. (1) Frontage a. Per b. Tot c. Rac d. W = e. Per	area increases from Se imeter which fronts a pula! Building Perimeter dio (F/P) = Minimum width of publicent of frontage incre.	oction 5062 are coublic way or open (F/P) c way =	space having : P) (W) O (F/P - 0.25)					DTAL * OF PARK	NG SPACES	* OF AC	CESSIBLE SPA	CES PROVIDED VAN SPACES	HTOIU	ACCESSIBL
STORY NO. (1) Frontage a. Per b. Tot c. Rac d. W = e. Per (2) Unlimited	area increases from Se imeter which fronts a pu al Building Perimeter dio (F/P) = Minimum width of publicent of frontage incre area applicable under	ection 5062 are coublic way or open (F/P) c way = conditions of Sec	space having : P) (W) O (F/P - 0.25) tions 507	x W/30 =				DTAL * OF PARK	NG SPACES PROVID	POF ACCES	CESSIBLE SPA	CES PROVIDED VAN SPACES	HTOIU	ACCESSIBI
STORY NO. (1) Frontage a. Per b. Tot c. Rac d. W = e. Per (2) Unlimited (3) Maximum E (4) The maxim	area increases from Se imeter which fronts a pi al Building Perimeter dio (F/P) = Minimum width of publi- cent of frontage incre- area applicable under Building Area = total no num area of open parkir	ection 5062 are comblic way or open (F/P) c way =	space having : P) (W) O (F/P - 025) tions 507 the building x	x W/30 =	%	AREAS		DTAL * OF PARK	NG SPACES PROVID	* OF AC	CESSIBLE SPA	CES PROVIDED VAN SPACES	HTOIU	ACCESSIBI
STORY NO. STORY NO. (1) Frontage a. Per b. Tot c. Rac d. W = e. Per (2) Unlimited 3) Maximum E 4) The maxim control to	area increases from Se imeter which fronts a pi al Building Perimeter dio (F/P) = Minimum width of publi- cent of frontage incre- area applicable under Building Area = total ni num area of open parkinowers must comply with	ection 5062 are coublic way or open = (F/P) c way = ase	space having : P) (W) O (F/P - 0.25) tions 507 the building x omply with 406	x W/30 = D (5062) .5.4. The maximum	%	AREAS		DTAL * OF PARK REQUIRED	NG SPACES PROVID SEE SI	P AN	CCESGIBLE SPA AR WITH 5' 6 AISLE 13:	CES PROVIDED VAN SPACES	WIDTH B' ACCESS ISLE	ACCESSIBI
STORY NO. (1) Frontage a. Per b. Tot c. Rac d. W = e. Per (2) Unlimited (3) Maximum E (4) The maxim control to	area increases from Se imeter which fronts a pi al Building Perimeter dio (F/P) = Minimum width of publi- cent of frontage incre- area applicable under Building Area = total no num area of open parkir	ection 5062 are coublic way or open = (F/P) c way = ase	space having : P) (W) O (F/P - 0.25) tions 507 the building x omply with 406	x W/30 = D (5062) .5.4. The maximum	%	TOTAL	1	DTAL * OF PARK REQUIRED	NG SPACES PROVID SEE SI	P AN	CCESGIBLE SPA AR WITH 5' 6 AISLE 13:	CES PROVIDED VAN SPACES ACCESS AISLE (Table 290	WIDTH B' ACCESS ISLE	ACCESSIBL PROVIDED
STORY NO. (1) Frontage a. Per b. Tot c. Rac d. W = e. Per (2) Unlimited (3) Maximum E (4) The maxim control to	area increases from Serimeter which fronts a policy of F/P) = Minimum width of publicent of frontage increases applicable under Building Area = total num area of open parking owers must comply with increase is based on the publicy of the publicy	ection 5062 are coublic way or open = (F/P) c way = ase	space having : P) (W) O (F/P - 025) tions 507 the building x omply with 406 rea value in ta	x W/30 = D (5062) .5.4. The maximum	%	AREAS	1	DTAL * OF PARK REQUIRED	PROVID SEE SI	POF AN	CESSIBLE SPAR WITH 5' 3 AIGLE 13:	CES PROVIDED VAN SPACES ACCESS AISLE (Table 290	WIDTH B' ACCESS ISLE	ACCESSIBL PROVIDED
6TORY NO. (1) Frontage a. Per b. Tot c. Rac d. W = e. Per (2) Unlimited (3) Maximum E (4) The maxim control to	area increases from Serimeter which fronts a policy of F/P) = Minimum width of publicent of frontage increases applicable under Building Area = total num area of open parking owers must comply with increase is based on the publicy of the publicy	ction 5062 are coublic way or open (F/P) c way =	space having: P) (W) O (F/P - 0.25) tions 501 the building x omply with 406 rea value in ta	x W/30 = D (5062) .5.4. The maximum ble 5062	%	TOTAL	EXISTING	PLUMBING	PROVID SEE SI	POF AN	CESSIBLE SPA AR WITH 5' 6 AIGLE 13: EMENTS LAVATORIES	CES PROVIDED VAN SPACES ACCESS AISLE (Table 290	UIDTH B' ACCESS ISLE 22.1) DUERS/ DRINKING	ACCESSIBL PROVIDED
STORY NO. (1) Frontage a. Per b. Tot c. Rac d. W = e. Per (2) Unlimited (3) Maximum E (4) The maxim control to (5) Frontage	area increases from Serimeter which fronts a prival Building Perimeter dio (F/P) = Minimum width of publicant of frontage increasea applicable under Building Area = total num area of open parkind bus area is based on the comply with the comply with a comply with the complex must complex mus	ction 5062 are coublic way or open (F/P) c way =(conditions of Sec umber of stories in g garages must coublic unsprinklered a ALLOWABLE HEK Allowable	space having: P) (W) O (F/P - 0.25) tions 501 the building x omply with 406 rea value in ta	x W/30 = D (5062) .5.4. The maximum ble 5062	% m area of air traffic	TOTAL	EXISTING NEW	PLUMBING	PROVID SEE SI	POF AN	CESSIBLE SPA AR WITH 5' 6 AIGLE 13: EMENTS LAVATORIES	CES PROVIDED VAN SPACES ACCESS AISLE (Table 290	UIDTH B' ACCESS ISLE 22.1) DUERS/ DRINKING	ACCESSIBLE PROVIDED
6TORY NO. (1) Frontage a. Per b. Tot c. Rac d. W = e. Per (2) Unlimited (3) Maximum E (4) The maxim control to (5) Frontage	area increases from Serimeter which fronts a polar Building Perimeter dio (F/P) = Minimum width of publicant of frontage increase applicable under Building Area = total num area of open parking were must comply with increase is based on the publicant of the pub	ction 5062 are coublic way or open (F/P) c way =(conditions of Sec umber of stories in g garages must on 412.3.1. the unaprinklered a ALLOWABLE HEK Allowable 55 FT.	space having: P) (W) O (F/P - 0.25) tions 501 the building x omply with 406 rea value in ta	x W/30 = D (5062) .5.4. The maximum ble 5062	% m area of air traffic	TOTAL USE OUTSIDE	EXISTING	PLUMBING	PROVID SEE SI FIXTUR	POF AN	CESSIBLE SPA AR WITH 5' 6 AIGLE 13: EMENTS LAVATORIES	CES PROVIDED VAN SPACES " ACCESS AIGLE (Table 290 LE UNISEX T	UIDTH B' ACCESS ISLE 22.1) DUERS/ DRINKING	ACCESSIBLE PROVIDED
STORY NO. (1) Frontage a. Per b. Tot c. Rad d. W = e. Per (2) Unlimited (3) Maximum E (4) The maxim control to (5) Frontage Building Height	area increases from Serimeter which fronts a prival Building Perimeter dio (F/P) = Minimum width of publicant of frontage increasea applicable under Building Area = total num area of open parkind bus area is based on the comply with the comply with a comply with the complex must complex mus	story (ACTUAL) story (ACTUAL) cotion 5062 are coublic way or open (F/P) county =	space having : P) (W) O (F/P - 025) tions 507 the building x omply with 406 rea value in ta SHT Show on 20'	x W/30 =	% m area of air traffic	TOTAL USE OUTSIDE	EXISTING NEW EXISTING	PLUMBING ATER CLOSETS ALE FEMALE	SEE SI SEE SI SEE SI SEE SI SEE SI SEE SI	POF AN	EMENTS LAYATORIES MALE FEM.	CES PROVIDED VAN SPACES " ACCESS AISLE (Table 29C LE UNISEX T	WIDTH B' ACCESS ISLE V2.1) DUERS/ DRINKING REGULAR	ACCESSIBL PROVIDED

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

UNIT MIX - TOTAL 4 BLDG. ACCESSIBLE BLDG. A 10'x10' BLDG. A 10'x15' 10'x20' BLDG. J 10'x30' 3 12'x30' NET SQ. FT. PER BLDG 8,284 | 8,100 | 12,400 | 13,500 | SQ. FT NET 23,508 8,100 12,400 13,500 57,508 9Q, FT. GROSS TOTAL GROSS SQ. FT. PER BLDG

UNIT CALCULATIONS

ENERGY REQUIREMENTS:

Method of Compliance

□ Prescriptive

☐ Performance

□ Prescriptive

☐ Performance

Roof/ceiling Assembly (each assembly

Skylights in each assembly
U-Value of skylight
total square footage of skylights in each assembly

Description of assembly . U-Value of total assembly R-Value of insulation

Description of assemble

U-Value of total assembly

Floors over unconditioned space (each asser

R-Value of insulation

Description of assembly

R-Value of insulation

Description of assembly

R-Value of insulation

U-Value of total assembly

Floors slab on grade

slab heated

U-Value of total assembly

U-Value of total a

R-Value of insulation Openings (windows)

THERMAL ENVELOPE

The following data shall be considered minimum and any special attribute required to meet the energy code shall also

be provided. Each Designer shall furnish the furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost standard reference design vs annual energy cost for the

■ 3 □ 4 □ 5

(Energy Code)

(Energy Code) (ASHRAE 90.1)

(ASHRAE 90.1)

CODE REQUIREMENTS	PERCENTAGE	# OF UNITS	* OF ADA UNITS REQ.
5% OF THE FIRST 200 UNITS	5%	200	0
2% OF REMAINING UNITS	2%	132	2.64
TOTAL		332	3

NOTE: ALL ACCESSIBLE STORAGE UNTIS DOORS SHALL HAVE A MAX. 5 LB. PULL

OWNER'S STORAGE EXIT SIGN W/ -EXIT SIGN EMERGENCY LIGHT PRIMARY EXIT SECONDARY EXIT EMERGENCY LIGHT

EXTERIOR -

EMERGENCY LIGHT

EXHAUST FAN

36" GRAB BAR -

42" GRAB BAR MTD. 12" OFF

REAR WALL WATER CLOSET

PAPER HOLDER

ADA UNITS WILL INCLUDE AN ELECTRIC DOOR LIFT

OPERATOR WITH BATTERY BACKUP, PHOTO EYES,

HORIZONTAL SLIDING DOORS SHALL COMPLY WITH

OCCUPANT DISPERSAL FROM EXITS TO PUBLIC ROAD

SECTION 1010.1.4.3 OF NCBC. ELECTRICAL TO BE

FLOOR PLAN - AREA 'A'

MANUFACTURER: LIFTMASTER 8950W OR EQUAL

EMERGENCY RELEASE AND KEYPAD FOR OPERATION.

KEYPAD WILL BE MOUNTED WITHIN ACCESSIBLE REACH

المالات المالات

RANGES PER ANSI 308.

SHOWN ON SITE PLAN

STORAGE - AREA 11,900 SF / 500 = 24

COORDINATED.

SINK ELEVATION

1'-3"

18" VERT. GRAB BAR

7" *10* 19" |

NOTE:

5' CLR.

PROVIDE BLOCKING IN ALL

WALLS BEHIND GRAB BARS

AS PER HANDICAPPED CODE

* WALL HUNG SINKS

39" -41"

NOTE: ALL DIMENSIONS TAKEN TO

FACE OF FINISH SURFACE

GRAB BAR —

WATER CLOSET

PAPER HOLDER -

PRIMARY EXIT

-CLEAR EXIT WIDTH = 41"

MAX. OCCUPANCY LOAD = 205

-CLEAR EXIT WIDTH = 41"

MAX. OCCUPANCY LOAD = 205

ACTUAL OCCUPANCY LOAD = 12

ACTUAL OCCUPANCY LOAD = 12

LIGHT FIXTURE —

SEE ELECTRICAL FIXTURE SCHEDULE

2'4x3' MIRROR

WATER FOUNTAIN

SECONDARY EXIT

-CLEAR EXIT WIDTH = 41"

-CLEAR EXIT WIDTH = 41"

MAX. OCCUPANCY LOAD = 205

ACTUAL OCCUPANCY LOAD = 12

MAX. OCCUPANCY LOAD = 205

ACTUAL OCCUPANCY LOAD = 12

LIFE SAFETY & OCCUPANCY PLAN



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GLAZING FRAME MATERIAL HARDWARE 3'-0" x 7'-0" x 1 3/4" ALUM. STOREFRONT FULL LITE ALUM. PUSH / PILL W/ LOCK SET, $1\frac{1}{2}$ pr BUTT HINGE, SILENCERS, DOOR STOP, CLOSER 16 ga. METAL LEVER HANDLE LOCK SET, 1/2 pr BUTT HINGE, 3'-0" x 1'-0" x 1 3/4" SOLID CORE BIRCHN/A SILENCERS, DOOR STOP LEVER HANDLE PASSAGE SET, 11/2 pr BUTT HINGE, 3'-0" x 7'-0" x 1 3/4" SOLID CORE BIRCHN/A SILENCERS, DOOR STOP 3'-0" x 1'-0" x 1 3/4" SOLID CORE METALN/A 16 ga. METAL LEVER HANDLE LOCK SET, 1½ pr BUTT HINGE, DOOR STOP, ½" HC THRESHOLD, CLOSER, (20 MIN. ASSEMBLY) 6"x30" | 16 ga. METAL LEVER HANDLE LOCK SET, 2 pr BUTT HINGE, SILENCERS CLOSER, 1/2" HC THRESHOLD, WEATHER-STRIPPING 4 3'-6" x 7'-0" x | 3/4" INSUL. METAL 1. ALL INTERIOR OVERHEAD DOORS BY "METAL BUILDING COMPANY"

JIN	DOW	SCHEDULE				
	1	15'-10" x 8'-0"	ALUM. STOREFRON	T FULL LITE	ALUM.	ALUM. STOREFRONT W/ I" LOW-E INSUL. GLASS WITH DOOR #
ı	4	6'-6" x 8'-0"	ALUM. STOREFRON	T FULL LITE	ALUM.	ALUM. STOREFRONT W/ 1" LOW-E INSUL. GLASS
	1	9'-7" x 8'-0"	ALUM. STOREFRON	T FULL LITE	ALUM.	ALUM. STOREFRONT W/ 1" LOW-E INSUL. GLASS

UNIT	MIX	-	TOTAL	4	BLDG	;
						_

		ŧ	BUILDIN	ng tyf	Ě		ACCESSIBLE	
SIZE	MARK	Д	B			TOTAL	UNITS	
5'x5' 5'x10' 10'x10' 10'x15' 10'x20'	10' B G H		- 6 - 52 -	- 8 - - 60	හ	66 81 57 183 88	BLDG. A 5 BLDG. A 5	
10'x30' 12'x30'	Z	-	- -	-	26 15	44 3 <i>O</i> 332	BLDG. J	
NET SQ. FT. PER BLDG	TOTAL	162 18,284	58 8,100	68 12,400	13,500	55,284 5Q, FT, NET TOTAL		
GROSS SQ. FT. PER BLDG		23,508	8,100	12,400	13,500	57,508 5Q. FT. GROSS TOTAL		

ADA UNITS WILL INCLUDE AN ELECTRIC DOOR LIFT OPERATOR WITH BATTERY BACKUP, PHOTO EYES, EMERGENCY RELEASE AND KEYPAD FOR OPERATION. KEYPAD WILL BE MOUNTED WITHIN ACCESSIBLE REACH RANGES PER ANSI 308.

MANUFACTURER: LIFT MASTER 8950W OR EQUAL

HORIZONTAL SLIDING DOORS SHALL COMPLY WITH SECTION 1010.1.4.3 OF NCBC. ELECTRICAL TO BE COORDINATED.

OCCUPANT DISPERSAL FROM EXITS TO PUBLIC ROAD SHOWN ON SITE PLAN

- 1. EXTERIOR WALL DIMENSIONS TAKEN FROM EXTERIOR FACE OF STUD 2. INTERIOR WALL DIMENSIONS TAKEN FROM CENTER LINE OF WALL 3. OVERHEAD DOORS FOR STORAGE UNITS SUPPLIED AND SIZED BY METAL BLDG. MANUFACTURER.
- 4. EXTERIOR WALLS TO BE INSULATED EXCEPT AT EXTERIOR STORAGE UNITS 5. WALL BETWEEN EXTERIOR ENTRANCE STORAGE UNITS AND
- INTERIOR STORAGE UNITS TO BE INSULATED. 6. WALLS BETWEEN OFFICE & STORAGE AREA TO BE INSULATED 1. PROVIDE BLOCKING BEHIND SINK, TOILET, WATER FOUNTAIN & SHOWER

REVISIONS DRAWN BY: VJS CHECKED BY : VJS

07-29-2022 SCALE : 1/8" = 1'-0"

SHEET NUMBER :

ALL RAIN LEADER TO HAVE SPLASH BLOCKS

DOWN SPOUTS & GUTTERS

ROOF AREA = 13,500 SF GUTTER LENGTH = 450'LF

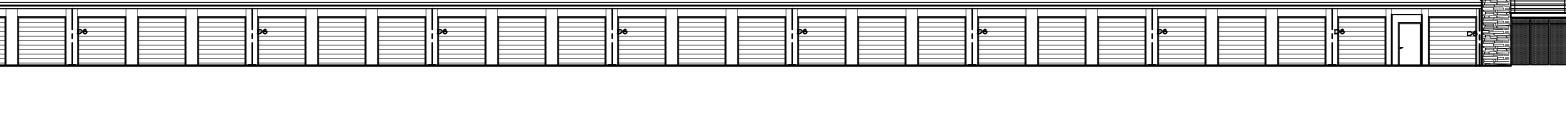
GUTTER SIZE = 5"w × 4"d # DOWN SPOUT (3"x4") = 16

AREA PER DOWN SPOUT = 844 sf

REVISIONS

CHECKED BY : VJS 07-29-2022 SCALE : 1/8" = 1'-0"

SHEET NUMBER :

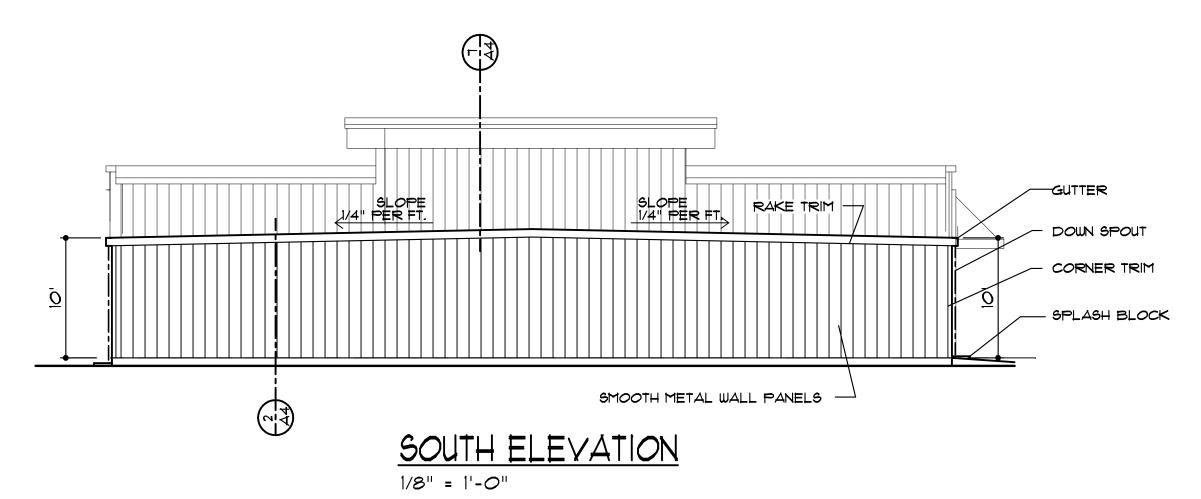


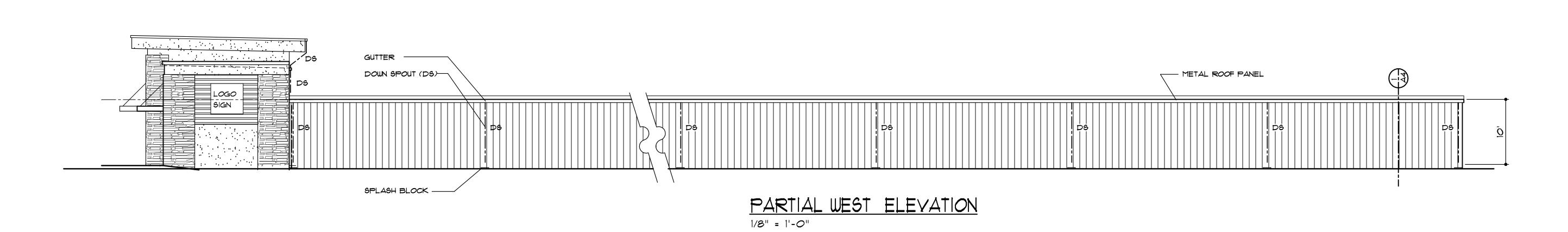
EAST ELEVATION

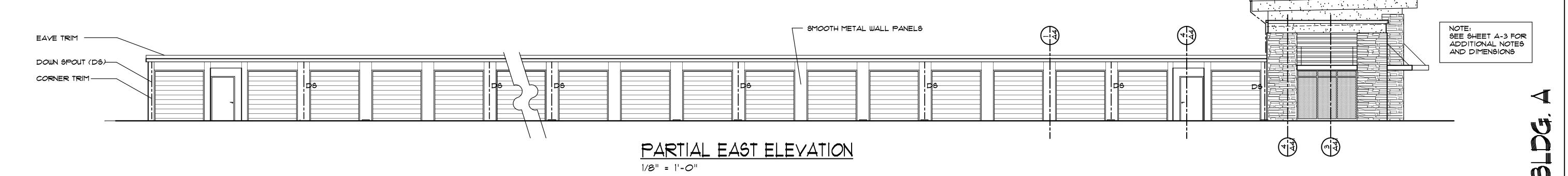
1/16" = 1'-0"

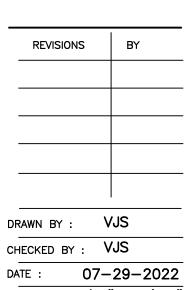
WEST ELEVATION

1/16" = 1'-0"

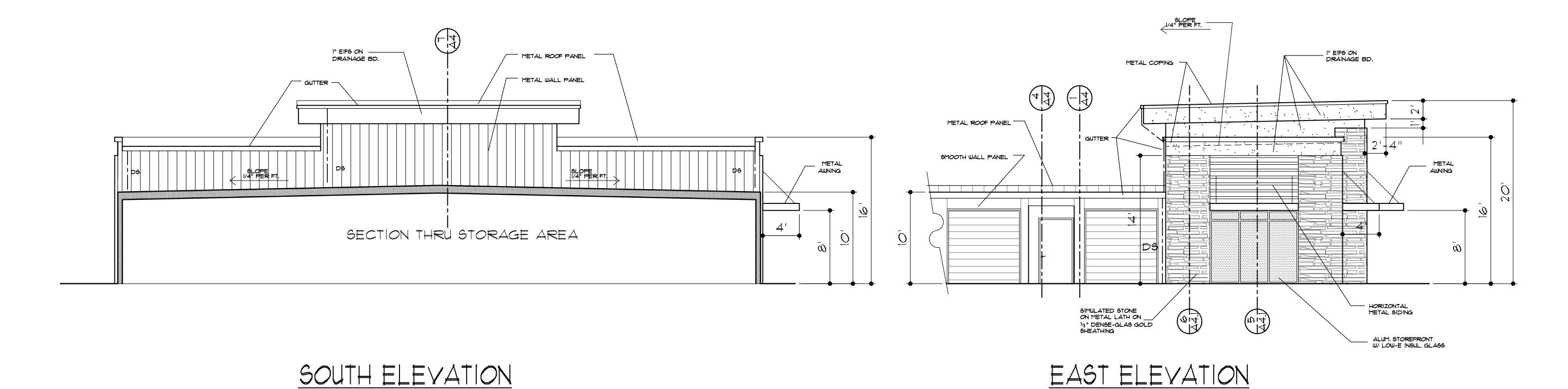


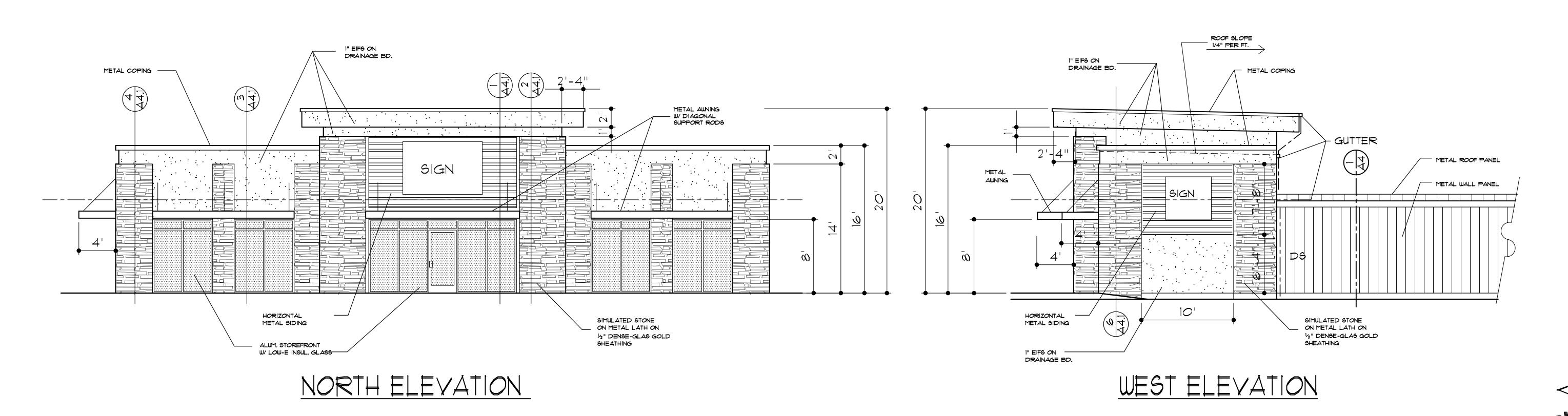


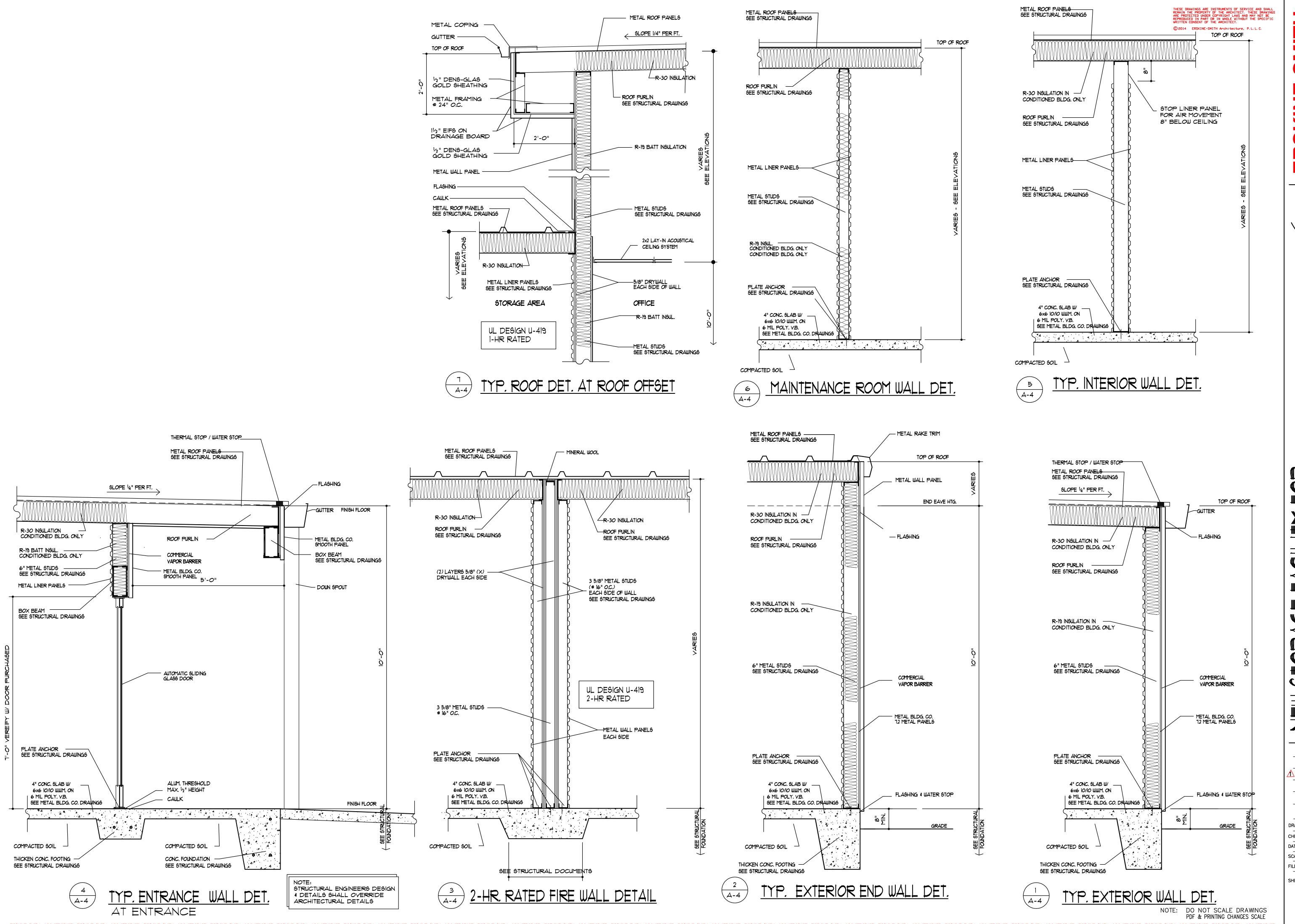




SCALE : 3/16" = 1'-0"

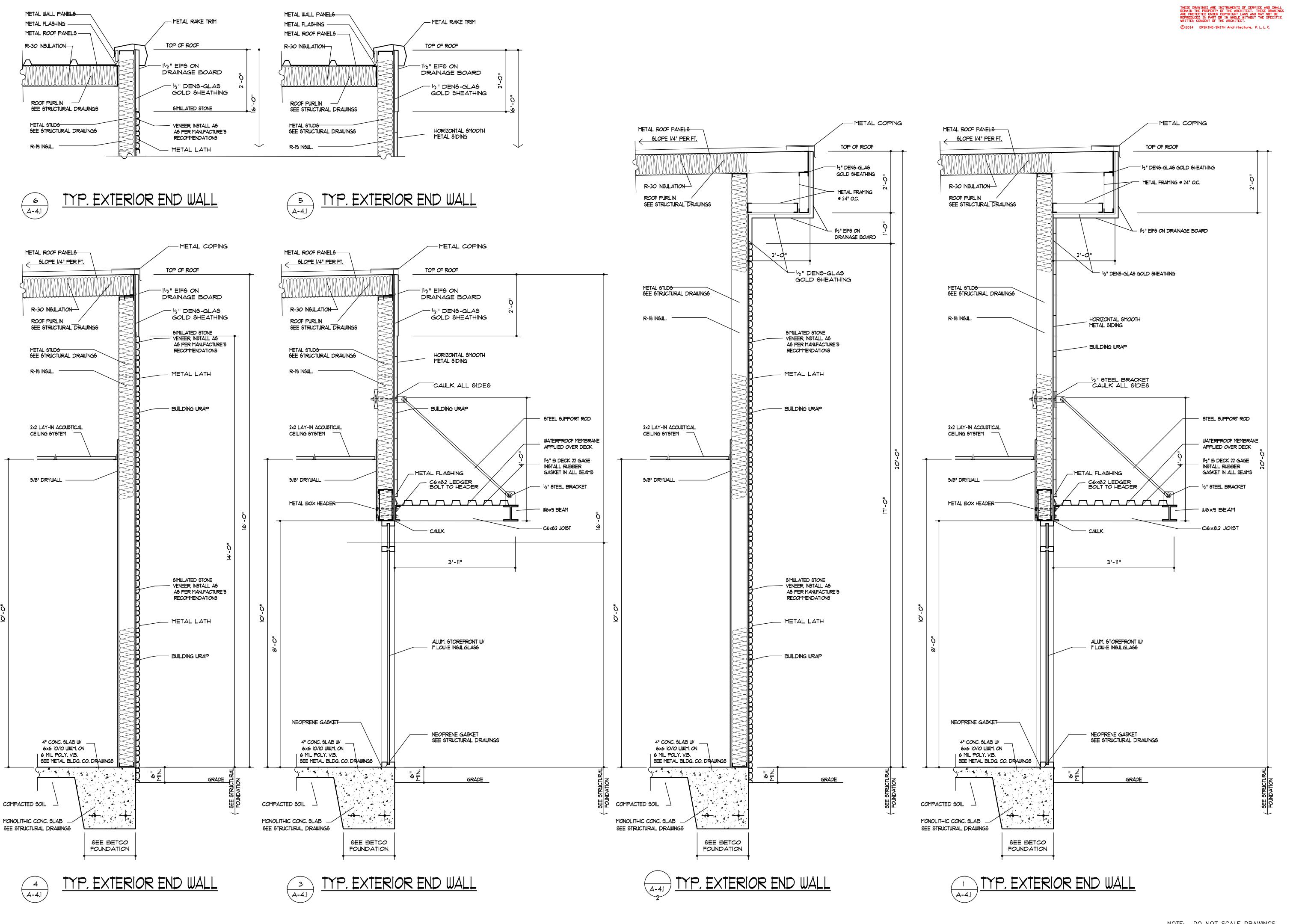






REVISIONS VJS DRAWN BY: CHECKED BY : VJS 07-29-2022 SCALE: 3/4" = 1'-0"

SHEET NUMBER : BLDG. 'A'



ERSKINE-SMITH ARCHITECTURE ERSKINE-SMITH ARCHITE

RCHITECTURE, P.L.L.C.

A R C H I T E C T U R E, architecture research plan 3406-A West Wendover Avenue Greensboro, N.C. 27407

REVISIONS BY

DRAWN BY: VJS

CHECKED BY: VJS

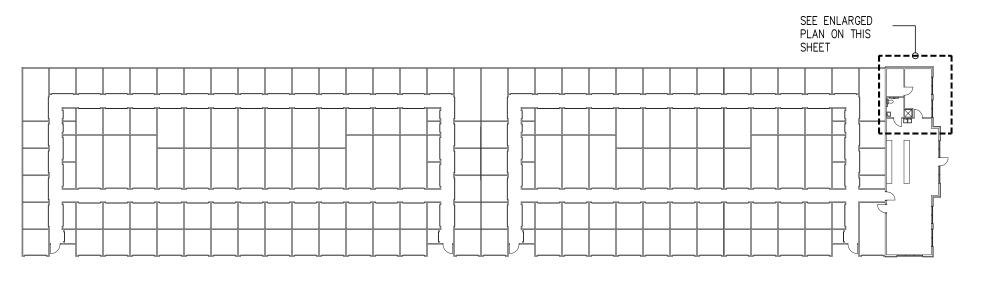
DATE: 03-08-2022

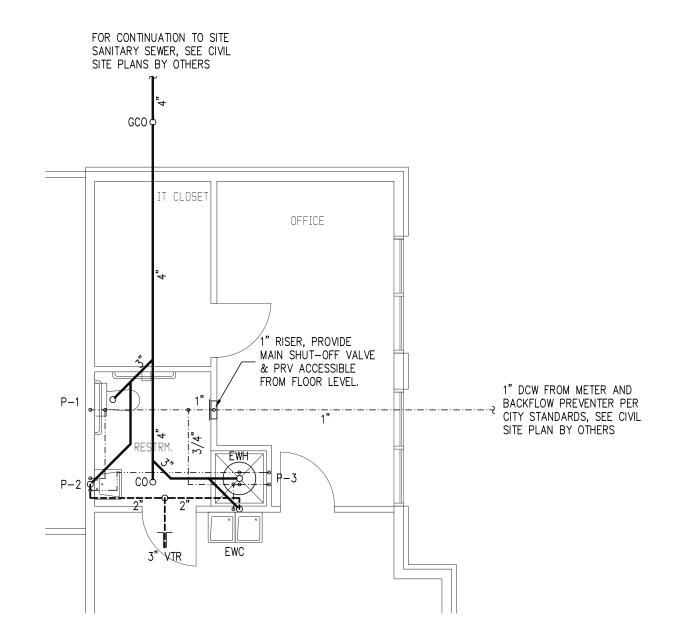
SCALE: 3/4" = 1'-0"

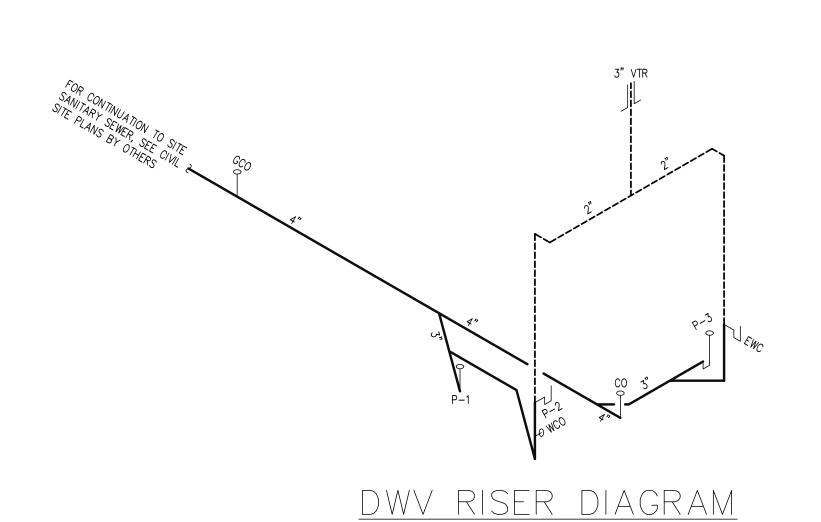
SHEET NUMBER :

A-4.1

BLDG. 'A'







NO SCALE

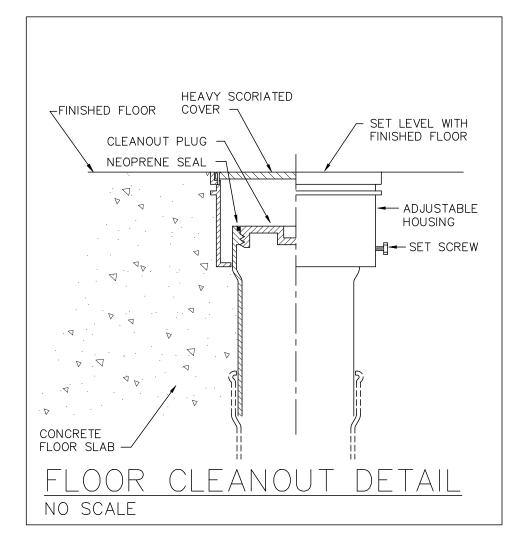
PIPING SYMBOL LEGEND

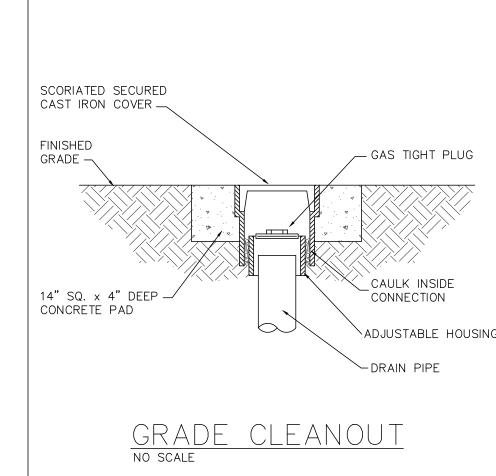
	SANITARY SOIL OR WASTE PIPING
SAN	SANITARY BUILDING DRAIN
	ATMOSPHERIC VENT
	CLEAN-OUT
	COLD WATER
	HOT WATER (110°)
G	NATURAL GAS
HB + ─⊸	HOSE BIB
AFH ↓ ──•	ANTI FREEZE HYDRANT
——o ——∋	PIPE TURNING UP/DOWN
——————————————————————————————————————	SHUTOFF VALVE (BALL TYPE)
<u> </u>	CHECK VALVE
P-#	FIXTURE IDENTIFICATION
lacktriangle	CONNECT TO EXISTING

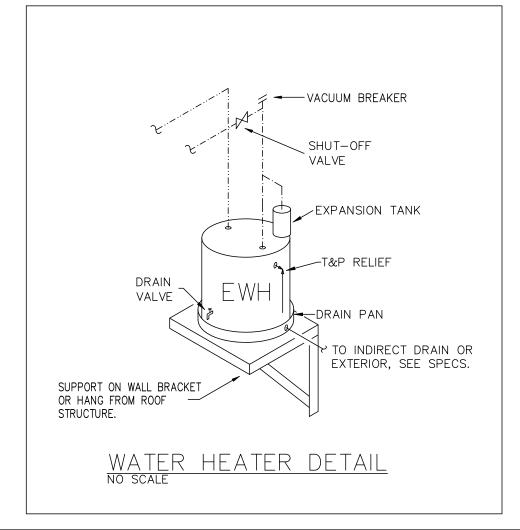
	PLUMBING ABBREVIATION LEGEND
AAV ABV AFH CLG CW CO CV EC EWC FD FS FW GCO GC HB HWCP MC P-X RD RDL V VTR W WCO	AIR ADMITTANCE VALVE, STUDOR OR EQUAL ABOVE ANTI-FREEZE HYDRANT CEILING COLD WATER CLEAN-OUT CIRCUIT VENT ELECTRICAL CONTRACTOR ELECTRIC WATER COOLER FLOOR DRAIN FLOOR SINK FILTERED WATER GRADE CLEAN OUT (AT FINISH GRADE IN CONC. PAD GENERAL CONTRACTOR HOSE BIBB HOT WATER HOT WATER HOT WATER CIRCULATION PUMP MECHANICAL CONTRACTOR PLUMBING FIXTURE NO. "X", SEE FIXTURE SCHEDULE ROOF DRAIN ROOF DRAIN ROOF DRAIN LEADER VENT VENT THROUGH ROOF WASTE WALL CLEAN-OUT

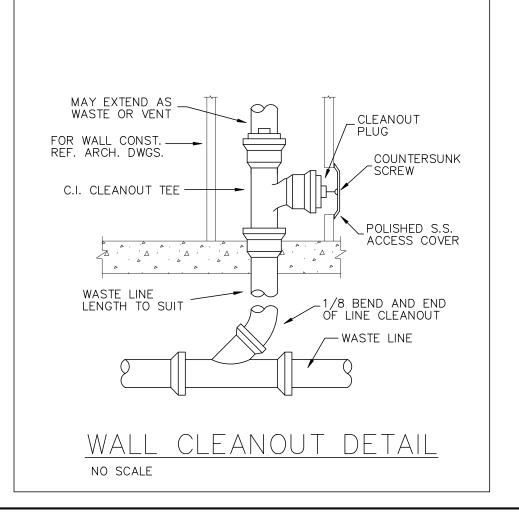
PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	MINIM	иим со	NNECTI	ONS	REMARKS
WAIN	DESCRIPTION	WASTE	VENT	CW	HW	NEWARKS
P-1	ACCESSIBLE (ADA) FLOOR MOUNT, FLUSH TANK WATERCLOSET	3"	2"	1/2"	NA	WHITE VITREOUS CHINA, ELONGATED BOWL, WHITE OPEN FRONT SEAT W/ SELF-SUSTAINING CHECK HINGES, 1.6 GPF SEAT HEIGHT PER N.C. ACCESSIBILITY CODE
P-2	ACCESSIBLE (ADA) WALL-HUNG LAVATORY	2"	2"	1/2"	1/2"	WHITE VITREOUS CHINA, SINGLE LEVER FAUCET, ASSE 1070 MIXING VALVE, C.P. GRID STRAINER & TAILPIECE W/ 1-1/2" P-TRAP W/ C.O., C.P. RIGID SUPPLIES W/ ANGLE STOPS. ADA TRAP AND SUPPLY INSULATION KIT
P-3	MOP SINK	3" FD	2"	1/2"	1/2"	PRE-CAST RECEPTOR W/ FLOOR DRAIN ROUGH C.P. MIXING WALL FAUCET W/ VAC. BRKR., BUCKET HOOK, WALL BRACE, HOSE THREAD OUTLET, MOP RACK & WALL GUARDS.
EWC	ACCESSIBLE (ADA) ELECTRIC WATER COOLER	2"	2"	1/2"	NA	DUAL HEIGHT BASINS WITH FLOOR CARRIER CHAIR, 120V 8—GPH, LEAD—FREE, CFC—FREE
EWH	ELECTRIC WATER HEATER	NA	NA	3/4"	3/4"	20 GALLON STORAGE, 1500 WATT, 120V 1PH W/ T&P RELIEF, VACUUM BREAKER, EXPANSION TANK AND CATCH-PAN. BRADFORD-WHITE, STATE, A.O. SMITH OR EQUAL.









PLUMBING SPECIFICATIONS

ALL PLUMBING WORK SHALL BE IN STRICT ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE NORTH CAROLINA PLUMBING CODE THE AND APPLICABLE REFERENCED STANDARDS. THE WORK INCLUDES PROVIDING MATERIALS, FITTINGS AND ACCESSORIES NECESSARY FOR A COMPLETE FUNCTIONING PLUMBING SYSTEM. ALL MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE NEW AND UNUSED AND FREE FROM DEFECTS. ANY ITEM NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, BUT THAT IS NORMALLY REQUIRED TO CONFORM TO THE INTENT, ARE TO BE CONSIDERED A PART OF THE CONTRACT. THE WORK MAY ALSO INCLUDE ROUGH-IN AND FINAL CONNECTIONS TO EQUIPMENT PROVIDED BY OTHERS. ALL WORK SHALL BE IN

HOOK-UP CHARGES, PERMITS, LOCAL FEES AND ALL OTHER EXPENSES RELATED TO A COMPLETE AND FUNCTIONING PLUMBING SYSTEM SHALL BE INCLUDED IN THE CONTRACTORS BID. THE CONTRACTOR SHALL COOPERATE FULLY WITH LOCAL COMPANIES WITH RESPECT TO THEIR SERVICES.

THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATIONS & TYPES OF FIXTURES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. REFER TO MANUFACTURER'S STANDARD ROUGH-IN DRAWINGS FOR PLUMBING FIXTURE INSTALLATION REQUIREMENTS. COMPLY WITH ALL APPLICABLE ADA INSTALLATION REQUIREMENTS.

COORDINATION: COORDINATE WITH THE WORK OF OTHER SECTIONS, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE. ANY WORK THAT IS INSTALLED BY THIS CONTRACTOR THAT RESULTS IN CONFLICT, DUE TO LACK OF COORDINATION BETWEEN TRADES, SHALL BE CHANGED AS DIRECTED BY THE ARCHITECT/ENGINEER WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.

FURNISH MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. INSTALL MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. PROVIDE MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR INTENDED USE.

FIRESTOPPING IS A MATERIAL OR COMBINATION OF MATERIALS USED TO RETAIN INTEGRITY OF FIRE-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND HOT GASES THROUGH PENETRATIONS IN FIRE RATED WALL AND FLOOR ASSEMBLIES.

PROVIDE LABOR AND MATERIALS TO REPAIR OR REPLACE DEFECTIVE PARTS AND MATERIALS AS REQUIRED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION OR OWNER ACCEPTANCE OF THE COMPLETED PROJECT.

PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.

MATERIALS PENETRATING FIRE RATED CONSTRUCTION SHALL BE PROVIDED AS LISTED IN AN APPROVED U.L. TESTED FIRESTOP SYSTEM.

ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION. ALL PIPING SHALL BE CONCEALED EXCEPT IN UNFINISHED SPACES. INSTALL AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK SUCH AS DUCTS AND ELECTRICAL CONDUIT. AT ALL CONNECTIONS BETWEEN FERROUS PIPING AND NONFERROUS PIPING, PROVIDE AN ISOLATING DIELECTRIC UNION. ALL HANGERS SHALL BE COMPATIBLE WITH PIPING MATERIAL TO PREVENT CORROSION. SEWER AND WASTE PIPING:

PROVIDE ALL DRAINS AND SEWERS WITHIN THE SPACE WITH CONNECTION TO THE EXISTING DRAINAGE SYSTEMS ON-SITE. SANITARY DRAINAGE PIPING ABOVE FLOOR SHALL BE HUBLESS CAST-IRON PIPE. FITTINGS AND CONNECTIONS OR DWV PVC PLASTIC SCHEDULE 40 PIPING WITH SOLVENT WELD FITTINGS. SANITARY DRAINAGE PIPING BELOW GRADE SHALL BE SERVICE-WEIGHT HUB AND SPIGOT TYPE CAST-IRON WITH NEOPRENE GASKET JOINTS OR DWV PVC PLASTIC SCHEDULE 40 PIPING WITH SOLVENT WELD FITTINGS.

FOR PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL BE NOT LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.

BUILDING SEWER PIPING WITHIN 5 FT OF WATER PIPING BELOW GRADE SHALL BE CAST-IRON PIPE PER ASTM A 74, CISPI 301, AND ASTM A 888 OR SHALL BE SCHEDULE 40 PVC DWV PIPE CONFORMING TO ASTM F 1488.

PIPE FITTINGS SHALL BE APPROVED FOR INSTALLATION WITH THE PIPING MATERIAL INSTALLED AND SHALL CONFORM TO THE RESPECTIVE PIPE STANDARDS REFERENCED IN THE N.C. PLUMBING

ALL DRAINAGE PIPING SHALL BE UNIFORMLY PITCHED, MINIMUM 1/8" PER FOOT FOR 3" AND LARGER AND 1/4" PER FOOT FOR 2" AND SMALLER UNLESS OTHERWISE REQUIRED BY EXISTING CONDITIONS, OR INDICATED ON THE DRAWINGS.

ACCORDANCE WITH LOCAL CODES AND/OR ORDINANCES AND IS SUBJECT TO INSPECTION.

PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE, CONFORMING TO CODE REQUIREMENTS. PROVIDE SUITABLE WALL OR FLOOR CLEANOUTS WITH ACCESSORIES TO OBSCURE FROM VIEW.

PROVIDE A COMPLETE SYSTEM OF STANDARD WEIGHT CAST IRON NO-HUB VENT RISERS WHERE THE CEILING SPACE IS USED AS A RETURN AIR PLENUM OR USE DWV PLASTIC WHERE THERE IS A DUCTED RETURN AIR SYSTEM. DO NOT USE DWV PLASTIC IN RETURN AIR PLENUM SPACES.

THE VENT SYSTEM SHALL BE CARRIED THROUGH THE ROOF WITH APPROPRIATE FLASHING.

WATER DISTRIBUTION PIPING:

LAYOUT WATER PIPING SO THAT THE ENTIRE SYSTEM CAN BE DRAINED. HOT AND COLD WATER PIPING SHALL CONFORM TO NSF 61 AND ONE OF THE CORRESPONDING STANDARDS LISTED IN TABLE 605.3(SERVICE PIPE) & 605.4(DISTRIBUTION PIPE) OF THE 2018 NC PLUMBING CODE. PROVIDE WATER HAMMER ARRESTERS AT EACH FIXTURE OR GROUP OF FIXTURES AS REQUIRED. INSTALL CHROME PLATED BRASS ESCUTCHEON PLATES AT ALL PENETRATIONS THROUGH FINISHED SURFACES (INCLUDING CABINET INTERIORS).

TEST WATER SYSTEM AND PROVE TIGHT UNDER A WATER PRESSURE OF NOT LESS THAN 100 PSI OR FOR PIPING SYSTEMS OTHER THAN PLASTIC, BY AN AIR TEST OF NOT LESS THAN 100 PS WATER SHALL BE OBTAINED FROM A POTABLE SOURCE OF SUPPLY. WHEN TESTING INDICATES MATERIALS OR WORKMANSHIP IS DEFICIENT, REPLACE OR REPAIR AS REQUIRED, AND REPEAT TEST UNTIL STANDARDS ARE ACHIEVED.

INSULATE ALL HOT WATER SUPPLY AND RETURN PIPING & CW PIPING OUTSIDE OF BUILDING INSULATION ENVELOPE (EXCEPT AT FIXTURE CONNECTIONS) WITH 1 INCH OF INSULATION HAVING A CONDUCTIVITY NOT EXCEEDING 0.28 BTU PER INCH/h*F.F. INSULATE COLD WATER PIPING WITH 1/2 INCH OF INSULATION TO PREVENT CONDENSATION. INSULATE ANY EXPOSED CONDENSATE PIPING WITH WASTE TEMPERATURE BELOW 60 DEGREES F.

SHUTOFF VALVES WITH UNIONS SHALL BE PROVIDED FOR SERVICE TO EACH PLUMBING FIXTURE TO FACILITATE ISOLATION FOR REPAIR OR REPLACEMENT. VALVES SHALL BE EQUAL TO JENKINS BALL VALVE, CHROME-FINISHED BRONZE, TEFLON SEATS AND PACKING, 400 LB. W.O.G., SOLDER END.

FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLING, CONNECTING, AND ADJUSTING ALL EQUIPMENT AND PLUMBING SYSTEM COMPONENTS.

THOROUGHLY CLEAN ITEMS BEFORE INSTALLATION. CAP PIPE OPENINGS TO EXCLUDE DIRT UNTIL FIXTURES ARE INSTALLED AND FINAL CONNECTIONS HAVE BEEN MADE. PROCEED AS RAPIDLY AS CONSTRUCTION WILL PERMIT. SET FIXTURES LEVEL AND IN PROPER ALIGNMENT. INSTALL SUPPLIES IN PROPER ALIGNMENT WITH FIXTURES. INSTALL SILICONE SEALANT BETWEEN FIXTURES AND ADJACENT MATERIAL, FOR SANITARY JOINT, AND OMIT ESCUTCHEONS.

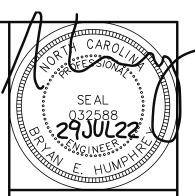
ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.

PLUMBING PLAN

SCALE: 3/16" = 1'-0"

REF. NORTH

ROOF PENETRATIONS SHALL COMPLY WITH "SMACNA" AND "NRCA" STANDARDS, AND WITH THE REQUIREMENTS OF THE ROOFING WARRANTY, IF APPLICABLE. DO NOT PERFORM ROOFING PENETRATIONS IN A MANNER WHICH WOULD VOID OR OTHERWISE LIMIT THE ROOFING WARRANTY.



REVISIONS

© 2022 EUBANKS HUMPHREY ENGINEERING, F

 $\mathbf{H}_{\square}^{\mathsf{L}}\mathbf{T}$ 102 Paisley S

FIRM LICENSE: C-2272

TORAGE S S HARNI

JOB NO. 2278 ORIGINAL ISSUE DATE 29JUL22 DRAWN BY CHECKED BY BEH



HVAC ABBREVIATIONS

AROVE DUCT ACCESS DOOR BACK-DRAFT-DAMPER BDD CEILING DIFFUSER CUBIC FEET/MINUTE CFM COMP COMPRESSOR DMPR ELECTRICAL CONTRACTOR ECR EGGCRATE RETURN GRILLE EXHAUST DUCT EXHAUST FAN EXHAUST GRILLE EXHAUST REGISTER

EVAPORATOR FRAG FILTERED RETURN AIR GRILLE FIRE DAMPER, PER ASSEMBLY RATING FLAT ON BOTTOM DUCT TRANSITION FLAT ON TOP DUCT TRANSITION GENERAL CONTRACTOR GREASE EXHAUST DUCT

KES KITCHEN EQUIPMENT SUPPLIER MAKE-UP AIR INTAKE MUAD MAKE-UP AIR DUCT MUAF MAKE-UP AIR FAN OAI OUTSIDE-AIR-INTAKE OUTSIDE AIR DUCT PLUMBING CONTRACTOR PDD PERFORATED FACE DIRECTIONAL DIFFUSER RETURN-AIR DUCT

RAR RETURN AIR REGISTER RCD ROUND CEILING DIFFUSER RDR ROUND DUCT REGISTER RADIANT HEATER ROUND TO SQUARE DUCT TRANSITION RTU ROOFTOP HVAC UNIT SUPPLY AIR DUCT SUPPLY AIR FAN

RETURN AIR GRILLE

SUPPLY REGISTER

RAG

SUPPLY GRILLE SQUARE TO ROUND DUCT TRANSITION TRANSFER GRILLE, EQUAL TO RAG T'STAT THERMOSTAT UNDER-CUT DOOR 1" VAVCD VARIABLE VOLUME CEILING DIFFUSER

+48" AFF TO TOP

WXH

RECTANGULAR & ROUND DUCTWORK ABOVE CEILING, NET INTERNAL SIZE AS INDICATED GALVANIZED STEEL SHEET CONSTRUCTED TO SMACNA LOW PRESSURE STANDARD. INSULATED.

CEILING DIFFUSER (CD). 24X24 LAY-IN SQUARE CONE DIFFUSER. PROVIDE VOLUME DAMPER AT DUCT TAKEOFF FOR BALANCING. NECK SIZE AS INDICATED.

RETURN AIR GRILLE (RAG). 24X24 LAY-IN PERFORATED FACE. PROVIDE VOLUME DAMPER AT NECK CONNECTION OR DUCT TAKE-OFF FOR BALANCING. NECK SIZE AS INDICATED.

RETURN AIR REGISTER (RAR) WITH INTEGRAL DAMPER. SIZE AS INDICATED. DUCT

INDICATED. CF LAMP OPTION.

VOLUME DAMPER TAKE-OFF. USE TO ROUGH BALANCE AIR SYSTEM. THEN FASTEN DAMPERS SECURELY IN PLACE.

VOLUME DAMPER W/ 45° TAKE-OFF. USE TO ROUGH BALANCE AIR SYSTEM. THEN FASTEN DAMPERS SECURELY IN

PROGRAMMABLE ELECTRONIC THERMOSTAT

NOTE: THIS PROJECT MAY NOT USE EVERY SYMBOL OR DEVICE APPEARING ON THIS LEGEND.

SPLIT HEAT PUMP AIR HANDLER SCHEDULE BASED ON TRANE SERIES AIR HANDLERS. EQUIVALENT SYSTEMS BY OTHER MANUFACTURERS MAY BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY ENGINEER. PLANS BASED ON THESE

BASED ON TRANE SERIES HEAT PUMPS. EQUIVALENT SYSTEMS BY OTHER MANUFACTURERS MAY BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY ENGINEER. PLANS BASED ON THESE SYSTEMS, CHANGES TO WORK OF OTHERS CAUSED BY SUBSTITUTIONS ARE IN THE CONTRACT, M.C. COORDINATE WITH G.C.

SYSTEM MARK	MODEL NO.	NET CLG CAPACITY, MBH	SENSIBLE NET CLG CAPACITY, MBH	REV. CYC. HTG. CAP. (HIGH TEMP) MBH	ARI RATED EFFICIENCY	POWER	COMP. RLA	COND. FLA	MCA	MAX CKT. BRKR
AHU-1	4TWA7048A3	47.7	35.7	46.5	17.5 SEER, 9.0 HSPF	208V/3PH	14.0	0.93	18	30

DEHUMIDIFIER SCHEDULE

ı													
	TAG	MAKE	MODEL	CAPACITY	AIRFLOW © 0.2" W.C.	VOLTAGE	FLA	МОР					
	DH APRILAIRE E100 100 PPD 267 CFM 120V 8.3A												
	PROVIDE WALL MOUNT DEHUMIDIFIER CONTROL MODEL 76. PROVIDE DRAIN PAN, CONDENSATE PUMP & WATER LEVEL SENSOR TO SHUT DOWN UNIT. DISCHARGE CONDENSATE TO DRY WELL.												

VENTILATION FOR ACCEPTABLE

INDOOR AIR QUALITY

BASED ON 2018 SC MECHANICAL CODE

STORAGE AREA BULDING'S PRIMARY USE IS STORAGE AND IS INTENDED TO BE OCCUPIED ONLY OCCASIONALLY AND FOR SHORT PERIODS OF TIME. REFERENCE CHAPER 2 "OCCUPIABLE SPACE" DEFINITION.

BUILDING AREA DOES NOT MEET DEFINITION OF "OCCUPIABLE SPACE". MECHANICAL VENTILATION IS NOT REQUIRED FOR THIS BUILDING.

SALES OFFICE AREA AHU-1

1078 SF X 5 PPL/1000 SF = 5 PPL X 5 CFM/PPL + 1078 SF X .06 CFM/SF = 89

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL design mechanical summar

winter dry bulb: summer dry bulb: Interior design conditions

winter dry bulb: summer dry bulb: relative humidity **Building heating load:**

heating efficiency: cooling efficiency:

Size category. If oversized, state reason.:

EXHAUST FAN. CFM AS INDICATED.

COMBO EXHAUST FAN & LIGHT, CFM AS

SYSTEMS, CHANGES TO WORK OF OTHERS CAUSED BY SUBSTITUTIONS ARE IN THE CONTRACT, M.C. COORDINATE WITH G.C..

SYSTEM MARK	MODEL NO.	CFM	ESP HIGH SPEED (HORIZ.)	POWER	FAN FLA 230/1		MINIMUM CKT. AMPS	MAX. CKT. BRKR	BALANCE OUTDOOR AIRFLOW TO (CFM)
AHU-1	TEM6A0C48H41SA	1600	0.50"	208V/3PH	6.8	10.8/1/3	45	45	90

SPLIT HEAT PUMP OUTDOOR UNIT SCHEDULE

SYSTEM MARK	MODEL NO.	NET CLG CAPACITY, MBH	SENSIBLE NET CLG CAPACITY, MBH	REV. CYC. HTG. CAP. (HIGH TEMP) MBH	ARI RATED EFFICIENCY	POWER	COMP. RLA	COND. FLA	MCA	MAX CKT. BRKR
AHU-1	4TWA7048A3	47.7	35.7	46.5	17.5 SEER, 9.0 HSPF	208V/3PH	14.0	0.93	18	30

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

19.9 TONS **Building cooling load:**

Mechanical Spacing Conditioning Syster SEE SCHEDULE(S) <u>SEE</u> SCHEDULE(S) size category of unit: _____SEE SCHEDULE(S)

List equipment efficiencies: SEE SCHEDULE(S)

MITSUBISHI ELECTRIC TRANE HVAC US: CITY MULTI VRF OUTDOOR UNIT SCHEDULE

		System Tag	System 1			
		Tag Reference	HP			
		M-NET Address	51			
		Model Number	PUMY-P48NKMU3-BS			
	a	Modules	P48			
	al Dat	Nominal Cooling Capacity (BTU/h)	48,000.0			
	Nominal Data	Nominal Heating Capacity (BTU/h)	54,000.0			
	Ž	Cooling Efficiency IEER/EER [SEER]	0 / 12.2 [19.55]			
		Heating COP @ 47°F [HSPF]	4.08 [11.5]			
		Nom System Connected Capacity (% of NOM)	100.0%			
	ions	Design Cooling Outdoor Temp DB (°F)	95.0			
	ondit	Design Heating Outdoor Temp WB (°F)	43.0			
	Design Conditions	Max Pipe Length from BC or 1st Joint (feet)	33.9			
	Des	Refrig Pipe Dim High/Low Pressure (inch) (See Note 4)	3/8 / 5/8			
	nce	Corrected Cooling Total Capacity (BTU/h)	46,222.2			
	Performance Data	Corrected Heating Capacity (BTU/h)	50,748.9			
		Sound Pressure (dBA)	51/54			
	Compres sor Data	Compressor Type	SCROLL			
	Com	Compressor Quantity	1			
		Preliminary Added Field Charge (See Note 5)	8.7			
	t	Voltage / Phase	208/230V / 1-phase			
	al Da	MCA 208/230 or [460V]	29			
	Electrical Data	Recommended Fuse Size (RFS)	30			
	1000	MOCP	44			
	Notes / Options	Applicable System Notes - See Notes Below	1, 2, 3, 4, 5, 6, 7, 8, 9			
П						

1 Nominal cooling capacities are based on indoor coil EAT of 80/67°F (DB/WB), outdoor of 95°F (DB) 2 Nominal heating capacities are based on indoor coil EAT of 70°F (DB), outdoor of 43°F (WB)

3 Efficiency values for EER, IEER, COP are based on AHRI 1230 test method for mixture of ducted & non-ducted indoor units.

4 For systems with multiple modules, refrigerant pipe dimensions indicate total system combined piping downstream of module twinning. 5 Added field charge listed is in addition to factory charge, this must be updated based upon final as-built piping layout.

6 Factory representatives shall review the project prior to and throughout the installation of CITY MULTI equipment 7 Factory representatives shall startup and commission CITY MULTI equipment upon completion of equipment installations

8 Factory representatives shall provide on-site assistance for the BMS integration of the CITY MULTI equipment 9 Factory representatives shall provide end-user training on the CITY MULTI equipment upon completion of the installation of equipment

System 1

System 1

MITSUBISHI ELECTRIC TRANE HVAC US: CITY MULTI VRF INDOOR UNIT SCHEDULE

System Tag

_						
		Tag Reference	AHU	AHU		
		Room Name				
	es es	M-NET Address	1	2		
	ıl Dat	Model	PCFY-P24NKMU-ER1	PCFY-P24NKMU-ER1		
	Nominal Data	Туре	Ceiling-Suspended	Ceiling-Suspended		
	ž	Nominal Cooling Capacity (BTU/h)	24,000.0	24,000.0		
		Nominal Heating Capacity (BTU/h)	27,000.0	27,000.0		
	S	Cooling Design Entering Temp DB/WB (°F) / [Water in temp]	80.0/67.0	80.0/67.0		
	dition	Heating Design Entering Temp DB/WB (°F) / [Water in temp]	70.0	70.0		
	Conc	Cooling Diversity Full/Partial (See Note 5, 6)	FULL DEMAND	FULL DEMAND		
	Design Conditions	Heating Diversity Full/Partial (See Note 5, 6)	FULL DEMAND	FULL DEMAND		
	Δ	Refrig Pipe Dim Liquid/Suction (inch)	3/8 / 5/8	3/8 / 5/8		
	_	Cooling Total Capacity (BTU/h)	23,111.1	23,111.1		
	Performance Data	Cooling Sensible Capacity (BTU/h)	15,277.8	15,277.8		
	nance	Heating Capacity (BTU/h)	25,374.5	25,374.5		
	erforr	Estimated Cooling Coil LAT (°F) / [LWT]	57.3	57.3		
	Д	Estimated Heating Coil LAT (°F) / [LWT]	107.0	107.0		
	ow	Fan Speed Setting	HIGH	HIGH		
	Fan / Water Flow Data	Peak Fan Airflow (cfm) / [Design gpm]	636	636		
	/ Water Data	Max Fan ESP Setting 208V/230V (IN WG)				
	Fan	Sound Pressure Per Fan Speed 208V/230V (dBA)	31-33-35-37	31-33-35-37		
	ta	Voltage / Phase	208/230V/1-phase	208/230V/1-phase		
	Electrical Data	Power Cooling 208V/230V (kW)	0.04	0.04		
	ectric	Power Heating 208V/230V (kW)	0.04	0.04		
	Ш	Electrical MCA/MFS	0.52/0.52/15	0.52/0.52/15		
Ī		Condensate Removal Rate (gal/hr)	1.01	1.01		
	Notes / Options	Applicable System Notes - See Notes Below	1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6		

1 Nominal cooling capacities are based on indoor coil EAT of 80/67°F (DB/WB), outdoor of 95°F (DB)

2 Nominal heating capacities are based on indoor coil EAT of 70°F (DB), outdoor of 43°F (WB) 3 See outdoor unit schedule for outdoor ambient conditions, connected capacity, and other factors associated with corrected capacities 4 See schematic piping/control diagram for indication of required indoor unit remote controllers, system controllers, and integration devices.

Full demand corrected capacity includes de-rate associated with indoor vs. outdoor connected capacity indicated on outdoor unit schedule for associated system. Partial corrected capacity assumes sufficient diversity exists such that the connected capacity de-rate does not apply. It is the designer's responsibility to ensure "Diamond System Builder" is set in the appropriate output capacity setting (full demand/partial demand) prior to generating this schedule. 6 It is recommended to always base heating corrected capacity on full demand.

> NOTE: VRF MANUFACTURER SHALL PROVIDE UPDATED SCHEDULES & PIPING DIAGRAMS BASED ON ACTUAL LAYOUT OF EQUIPMENT.

MECHANICAL SPECIFICATIONS

CONDITIONS OF THE PROJECT SITE.

THE WORK INCLUDES PROVIDING MATERIALS, FITTINGS AND ACCESSORIES NECESSARY FOR A COMPLETE FUNCTIONING HVAC SYSTEM. ALL MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE NEW AND UNUSED AND FREE FROM DEFECTS. ANY ITEM NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, BUT THAT IS NORMALLY REQUIRED TO CONFORM TO THE INTENT, ARE TO BE CONSIDERED A PART OF THE CONTRACT. THE WORK MAY ALSO INCLUDE ROUGH-IN AND FINAL CONNECTIONS TO EQUIPMENT PROVIDED BY OTHERS. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND/OR ORDINANCES AND IS SUBJECT TO INSPECTION.

PROVIDE EQUIPMENT INDICATED ON THE DRAWINGS, AND AS REQUIRED FOR A COMPLETE FUNCTIONING SYSTEM. INSTALL ALL HVAC EQUIPMENT AND MATERIALS IN ACCORDANCE WITH

MANUFACTURER'S RECOMMENDATIONS. ALL HVAC WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST ADOPTED EDITIONS OF THE SOUTH CAROLINA BUILDING CODES. INCLUDE PERMITS AND INSPECTION FEES IN

THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR MECHANICAL WORK ARE DIAGRAMMATIC, SHOWING THE LOCATION, TYPE, DEVICES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. PROVIDE ALL EQUIPMENT, DEVICES, ACCESSORIES, DUCTWORK,

OFFSETS, TRANSITIONS, MATERIALS, ETC. NECESSARY TO FACILITATE THE SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT FURNISHED BY OTHERS. DEFINITIONS: FURNISH MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. INSTALL MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. PROVIDE MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR INTENDED USE.

FIRESTOPPING IS A MATERIAL OR COMBINATION OF MATERIALS USED TO RETAIN INTEGRITY OF FIRE-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND HOT GASES THROUGH PENETRATIONS IN FIRE RATED WALL, FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES.

WARRANTY: PROVIDE LABOR AND MATERIALS TO REPAIR OR REPLACE DEFECTIVE PARTS AND MATERIALS AS REQUIRED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION OR OWNER ACCEPTANCE OF THE COMPLETED PROJECT.

PROVIDE OPERATION MANUALS, MAINTENANCE MANUALS AND SCHEMATICS FOR ALL MECHANICAL EQUIPMENT INSTALLED.

COORDINATION: COORDINATE WITH THE WORK OF OTHER SECTIONS, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING

CONDENSATE DISPOSAL SHALL BE PROVIDED ACCORDING TO MANUFACTURERS INSTALLATION INSTRUCTIONS. CONDENSATE SHALL NOT DISCHARGE INTO AN AREA SO AS TO CAUSE A NUISANCE. AN AUXILIARY DRAIN PAN WITH A SEPARATE SECONDARY DRAIN SHALL BE PROVIDED WHERE DAMAGE TO ANY BUILDING COMPONENTS WILL OCCUR AS A RESULT OF OVERFLOW OF THE EQUIPMENT DRAIN PAN OR STOPPAGE IN THE CONDENSATE DRAIN PIPING. THE SECONDARY DRAIN SHALL DISCHARGE TO A CONSPICUOUS POINT OF DISPOSAL TO ALERT

COORDINATE ALL REQUIRED ROOF AND WALL OPENINGS WITH THE GENERAL CONTRACTOR. PROVIDE ALL CURBS, FLASHING, SLEEVES, SUPPORTING FRAMES, REINFORCING ANGLES, ETC. WHICH ARE REQUIRED UNLESS DIRECTED OTHERWISE.

DUCT DIMENSIONS: UNLESS OTHERWISE NOTED, DUCT DIMENSIONS ON THE DRAWINGS ARE INSIDE CLEAR DIMENSIONS.

SHEETMETAL DUCTWORK: PROVIDE SHEETMETAL DUCTWORK FABRICATED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS. DUCTWORK SHALL BE ASTM A653 GALVANIZED STEEL SHEET, LOCK-FORMING QUALITY, HAVING G90 ZINC COATING IN CONFORMANCE WITH ASTM A90. ALL ANGLE IRON USED FOR SUPPORT SHALL BE GALVANIZED. CONNECTIONS TO WALLS OR FLOOR SHALL BE AIR TIGHT WITH ANGLE IRON AND CAULKING. SEAL ALL DUCT SEAMS, TRANSVERSE AND LONGITUDINAL, AIR TIGHT. PROVIDE TURNING VANES

ROUND SHEET METAL DUCT: PROVIDE UL 181, CLASS 1, ROUND SPIRAL LOCKSEAM DUCT CONSTRUCTED OF GALVANIZED STEEL COMPLYING WITH SMACNA STANDARDS.

OCCUPANTS IN THE EVENT OF A STOPPAGE OF THE PRIMARY DRAIN. CONDENSATE DRAINS SHALL BE TRAPPED ACCORDING TO MANUFACTURER.

FLEXIBLE AIR DUCT: PROVIDE FACTORY ASSEMBLED CLASS 0 OR CLASS 1 AIR DUCT TESTED IN ACCORDANCE WITH UL 181 WITH INSULATION AND REINFORCED OUTER PROTECTIVE COVER/VAPOR BARRIER. FLEXIBLE DUCT SHALL MEET NFPA 90A WITH FLAME SPREAD UNDER 25, SMOKE DEVELOPED UNDER 50, AND SHALL BE RATED FOR MINIMUM 2" W.G. PRESSURE AND 0 TO 250°F TEMPERATURE. FLEXIBLE DUCTS SHALL BE INSTALLED SO THAT NO BEND HAS A MEAN RADIUS OF LESS THAN ONE AND HALF TIME THE DUCT DIAMETER. ALL FLEXIBLE DUCTWORK SHALL BE CUT TO THE LENGTHS NECESSARY FOR EACH APPLICATION, AND NO JOINTING OF PIECES OF FLEXIBLE DUCTWORK WILL BE PERMITTED. JOINTS BETWEEN FLEXIBLE AND SHEET METAL DUCTS SHALL BE MADE WITH APPROVED METAL BAND CLAMPS.

EXPOSED DUCTWORK: EXPOSED DUCTWORK SHALL BE CLEANED OF DEBRIS AND OIL, THEN WIPED DOWN WITH VINEGAR OR OTHER SURFACE PREPARING CHEMICAL TO PREPARE DUCT FOR

DUCT INSULATION: PROVIDE BLANKET TYPE FIBERGLASS INSULATION COMPLYING WITH ASTM C 1290 & NFPA 90A & 90B & WITH FACTORY APPLIED KRAFT PAPER BONDED TO ALUMINUM FOIL, REINFORCED WITH FIBERGLASS VAPOR BARRIER/JACKET. JACKET SHALL CONFORM TO ASTM C-1136, TYPE II. CLOSED-CELL NEOPRENE INSULATION SIMILAR TO ARMAFLEX MAY BE USED IN LIEU OF BLANKET TYPE INSULATION.

ALL SUPPLY AND RETURN AIR DUCTS AND PLENUMS SHALL BE INSULATED WITH A MINIMUM OF R-6 INSULATION WHEN LOCATED IN UNCONDITIONED SPACES INSIDE THE BUILDING AND R-8 MINIMUM WHEN LOCATED OUTSIDE THE BUILDING INSULATION ENVELOPE OR IN ATTIC. WHEN LOCATED WITHIN THE BUILDING ENVELOPE ASSEMBLY, THE DUCT OR PLENUM SHALL BE SEPARATED FROM THE BUILDING EXTERIOR OR UNCONDITIONED SPACE BY A MINIMUM OF R-8. "R" VALUES SHALL BE AS INSTALLED.

DUCT LINER: (WHERE INDICATED) PROVIDE MINIMUM 1" THICK, 1.5 PCF DENSITY, NEOPRENE COATED, LONG TEXTILE FIBER TYPE DUCT LINER CONFORMING TO ASTM C 1071, WITH COATING ON THE AIR STREAM SIDE CONFORMING TO NFPA 90A & 90B. DUCT LINER ADHESIVE SHALL BE AS RECOMMENDED BY DUCT LINER MANUFACTURER, AND SHALL COMPLY WITH ASTM C-916. DUCT LINER FASTENERS SHALL COMPLY WITH SMACNA "HVAC DUCT CONSTRUCTION STANDARDS", LATEST EDITION.

DUCT SEALANT: SEAL DUCT JOINTS, SEAMS AND CONNECTIONS IN ACCORDANCE WITH SC MECHANICAL AND ENERGY CODES. ARRANGE FOR INSPECTIONS IN ACCORDANCE WITH LOCAL AHJ. DUCT & EQUIPMENT HANGERS: PROVIDE HANGERS AND SUPPORTS TO SECURE EQUIPMENT OR DUCTWORK IN PLACE, PREVENT VIBRATION, & PROVIDE FOR EXPANSION AND CONTRACTION. PROVIDE INSULATION PROTECTION SADDLES TO ACCOMMODATE INSULATION. INSTALL SUPPORTS OF STRENGTH AND RIGIDITY TO SUIT LOADING WITHOUT UNDULY STRESSING BUILDING. SELECT HANGERS AND SUPPORTS CONSTRUCTED FOR THE SPECIFIC APPLICATION AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED MAXIMUM LOADING. FASTEN HANGERS AND SUPPORTS TO BUILDING STRUCTURE.

DUCT TURNING VANES: (TO BE PROVIDED WHERE RADIUS ELBOWS WILL NOT FIT SPACE CONSTRAINTS) PROVIDE FABRICATED TURNING VANES AND VANE RUNNERS, CONSTRUCTED IN ACCORDANCE WITH SMACNA "HVAC DUCT CONSTRUCTION STANDARDS". PROVIDE TURNING VANES CONSTRUCTED OF CURVED BLADES, SUPPORTED WITH BARS PERPENDICULAR TO BLADES. AND SET INTO SIDE STRIPS SUITABLE FOR MOUNTING IN DUCTWORK. FOLLOW SMACNA GUIDELINES FOR SPACING SUPPORT, AND CONSTRUCTION. ALL BLADES SHALL BE SINGLE WIDTH TYPE.

TESTING AND BALANCING: TEST AND ADJUST ALL MECHANICAL SYSTEMS AND EQUIPMENT TO ASSURE PROPER BALANCE AND OPERATION. ELIMINATE NOISE AND VIBRATION, AND ASSURE

TEMPERATURE CONTROLS: PROVIDE SEVEN DAY PROGRAMMABLE THERMOSTAT COMPATIBLE TO HVAC UNIT(S) AND CONTROL WIRING, THERMOSTAT SHALL HAVE AN ACCESSIBLE MANUAL OVERRIDE THAT WILL RETURN TO THE PRESETBACK OR SHUTDOWN SCHEDULE WITHOUT REPROGRAMMING. THÉRMOSTAT SHALL MEET SETPOINT ADJUSTMENT FOR UNOCCUPIED MODE: HEATING DOWN TO 55 DEGREES AND COOLING UP TO 85 DEGREES. THERMOSTAT SHALL HAVE AN AUTOMATIC CHANGEOVER FEATURE BETWEEN HEATING & COOLING AND SHALL HAVE A SEPARATE FAN CONTROL. AUTOMATIC CHANGEOVER FUNCTION SHALL INCORPORATE A 5"F DEADBAND.

PROGRAMMING:

THE CONTRACTOR SHALL PROGRAM ALL THERMOSTATS AT PROJECT COMPLETION. COORDINATE WITH TENANT FOR PROGRAM SETTINGS.

HVAC SYMBOLS,

NO SCALE

SCHEDULES & NOTES

*PROVIDE ALL CONTROL WIRING, THERMOSTATS, TRANSFORMERS, ETC. TO MEET SEQUENCE OF OPERATION

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REVISIONS

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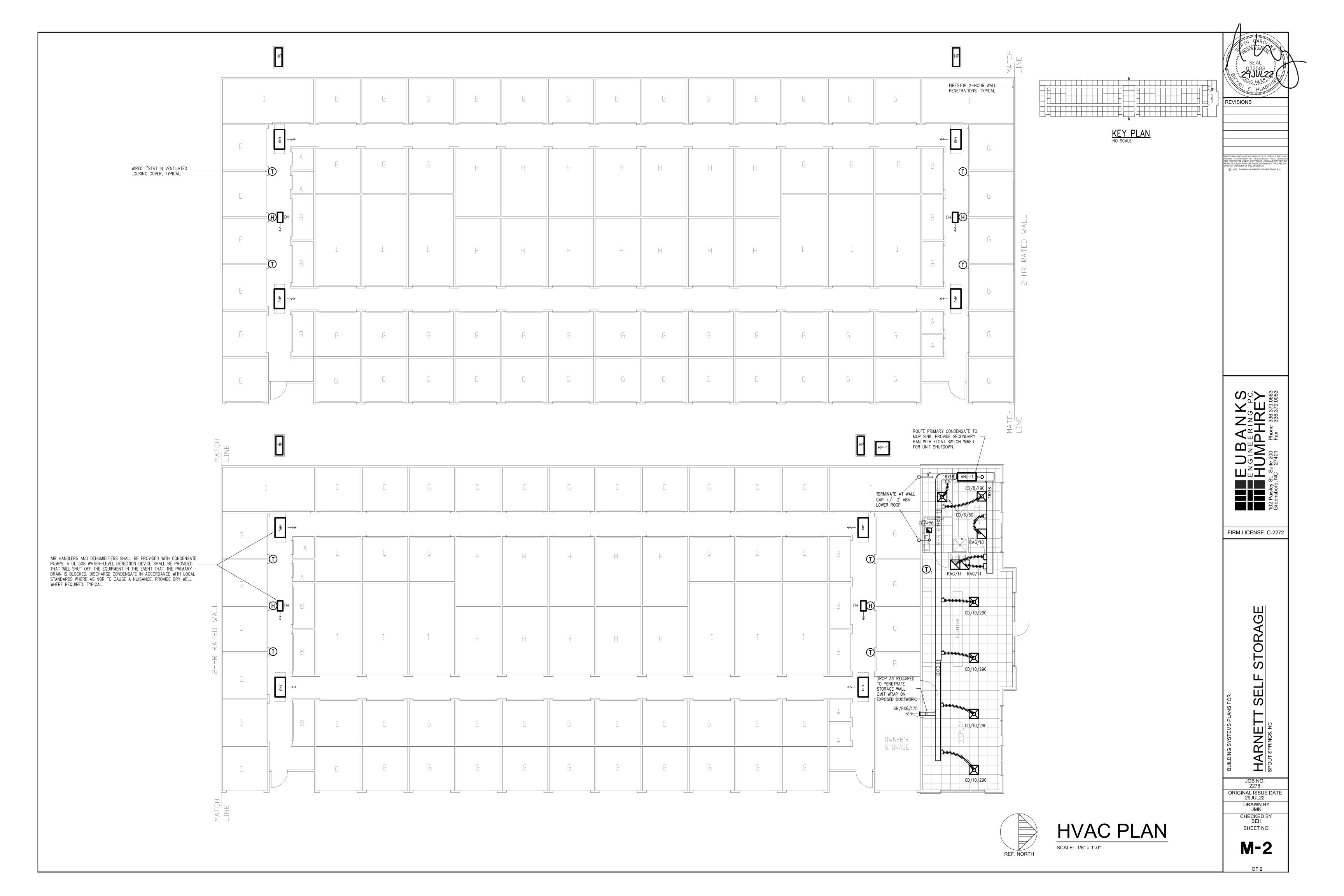
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JOB NO.

2278 ORIGINAL ISSUE DATE 29JUL22 **DRAWN BY**

CHECKED BY

SHEET NO.



ABBREVIATIONS

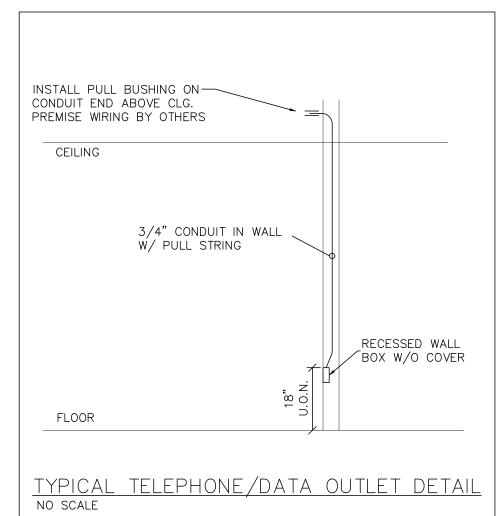
DESCRIPTION

AUTOMATIC DOOR OPENER AMPERE TRIP BARE COPPER ELECTRICAL CONDUIT CIRCUIT BREAKER DIRECT BURIAL DENTAL EQUIPMENT SUPPLIER ELECTRICAL CONTRACTOR EQUIPMENT GROUND ELECTRIC WATER COOLER FIRE ALARM FIRESTOP FUSED SAFETY SWITCH GENERAL CONTRACTOR GROUND TERMINAL BOX GROUND FAULT CIRCUIT INTERRUPTER GFCI LOCAL TEMPERATURE CONTROL PANEL LTCP LIGHT FIXTURES MAIN DISTRIBUTION PANEL MAIN LUGS ONLY MECHANICAL CONTRACTOR NON-FUSED SAFETY SWITCH PLUMBING CONTRACTOR POWER OPERATED DAMPER POWER TYPE ROOF VENTILATION RECEPTACLE SAFETY SWITCH TIME CLOCK

WEATHER PROOF IN USE

ONLY SYMBOLS	CICAL SYMBOL LEGEND USED ON PLANS APPLY. () ARE TO TOP OF BOX
SYMBOL	DESCRIPTION
_	CIRCUIT BREAKER PANEL BOARD
	CIRCUITRY, CONCEALED WHERE FEASIBLE 2 CONDUCTORS UNLESS INDICATED OTHERWISE BY HASH MARKS
	HOME RUN TO PANEL
	SAFETY DISCONNECT SWITCH, NEMA RATING AMPACITY AND FUSING AS REQUIRED
Ф	120V DUPLEX GROUNDED RECEPTACLE, 18" AFF U.O.N WP = WEATHER PROOF U = DUAL USB PORTS IG = ISOLATED GROUND 120V
•	120V DUPLEX GFCI RECEPTACLE, 18" AFF U.O.N
#	QUADRAPLEX GROUNDED RECEPTACLE, 18" AFF U.O.N
	SPECIAL PURPOSE RECEPTACLE AS NOTED
	JUNCTION BOX
O _{EF}	EXHAUST FAN INSTALLED BY OTHERS
Δ	DATA COMMUNICATIONS OUTLET, 18" AFF U.O.N (BOX, CONDUIT TO CLG SPACE ONLY)
•	TELEPHONE OUTLET, 18" AFF U.O.N., (BOX, CONDUIT TO CEILING SPACE ONLY)
TEL	TELEPHONE EQUIP. BACKBOARD, SIZE AS REQUIRED
(TV)	CABLE TV OUTLET, WIRE BACK TO SERVICE BOX.
	CIRCUITRY
	UNDERGROUND CIRCUITRY

ALL ELECTRICAL OUTLET BOXES ARE 18" A.F.F. AND ALL SWITCHES ARE 48" A.F.F. MEASURED TO THE TOP OF THE BOX UNLESS OTHERWISE NOTED ON PLAN.
TYPICAL ABOVE COUNTER MOUNTING IS 48" TO TOP OF BOX.
ELECTRICAL OUTLET MOUNTING DETAIL NO SCALE



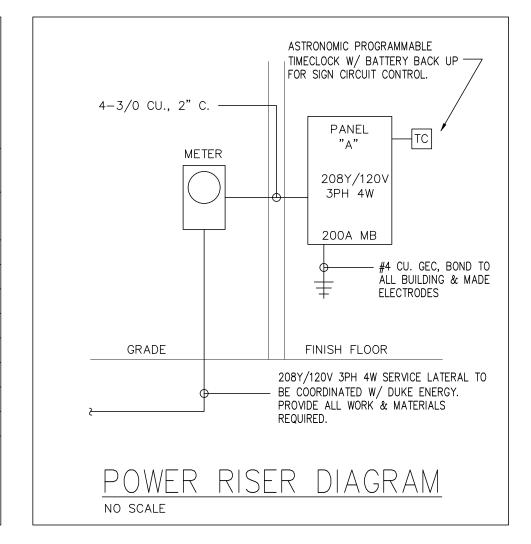
ONLY SYMBOLS	USED ON PLANS APPLY. X) ARE TO TOP OF BOX
SYMBOL	DESCRIPTION
ф	WALL MOUNTED LIGHT FIXTURE
ф	CEILING MOUNTED LIGHT FIXTURE
0	2X4 LIGHT FIXTURE
0	2X2 LIGHT FIXTURE
M	BATTERY PACK EXIT SIGN
Ľ,	BATTERY PACK EMERGENCY LIGHT
I	BATTERY PACK COMBINATION EXIT/EMERGENCY LIGHT
4	REMOTE EXIT DISCHARGE FIXTURE
S	SWITCH 48" TO TOP AFF
S ₃	3-WAY SWITCH 48" TO TOP AFF
S ₄	4-WAY SWITCH 48" TO TOP AFF
S _D	DIMMER SWITCH 48" TO TOP AFF
S _P	SWITCH W/ PILOT LAMP
	HOME RUN TO PANEL
	CIRCUITRY
	UNSWITCHED CIRCUITRY
os _w	WALL SWITCH OCCUPANCY SENSOR
©S 360	CEILING MOUNT OCCUPANCY SENSOR, 360° SENSOR VIEW.
↑ 7	DIRECTIONAL CEILING/WALL MOUNT OCCUPANCY SENSOR

SERVICE AND FEEDER LOAD

PER NEC ARTICLE 220

GROSS SQUARE FOOTAGE = 23.911

	GROSS SQL	JARE FOOTAGE	= 23,911		
LOAD	QUANTITY	RATE	LOAD (VA)	DEMAND FACTOR	DEMAN LOAD (VA)
LIGHTING (SORAGE)	22583 SF	.25 VA/SF	5645	1.25	7057
LIGHTING (OFFICE)	1328 SF	3.5 VA/SF	4648	1.25	5810
EXT. LIGHTING	NA	NA	2800	1.25	3500
SIGNAGE	2	1200VA/	2400	1.25	3000
RECEPTACLES	28	180VA/REC	5040	1.00	5040
HVAC	NA	NA	24480	1.00	24480
EWH	1	NA	1500	1.00	1500
KIT. EQUIP	NA	NA	0	0.65	0
TOTAL					50387
AMPERAGE @ 120/20	8V 3PH 4W				140A
SERVICE CONDUCTORS	SPECIFIED				200A



2018 APPENDIX B **BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS** ELECTRICAL design electrical summary ELECTRICAL SYSTEM AND EQUIPMENT Method of Compliance: Energy Code - Prescriptive Lighting schedule (each fixture type) lamp type required in fixture: VARIES ballast type used in the fixture: VARIES number of ballasts in fixture: VARIES total wattage per fixture: VARIES total interior wattage specified vs. allowed (whole building or space by space) total exterior wattage specified vs. allowed TOTAL INTERIOR WATTAGE SPECIFIED VS ALLOWED: WHOLE BUILDING () SPACE BY SPACE (X) EXTERIOR LIGHTING WATTAGE SPECIFIED VS ALLOWED: 1,758 VS 3,459 Additional Efficiency Package Options (When using the 2018 NCECC; not required for ASHRAE 90.1) ☐ C406.2 More Efficient HVAC Equipment Performance C406.4 Enhanced Digital Lighting Controls C406.5 On-Site Renewable Energy C406.6 Dedicated Outdoor Air System ☐ C406.7 Reduced Energy Use in Service Water Heating

ELECTRICAL SPECIFICATIONS

ALL WORK SHALL COMPLY WITH LAWS APPLYING TO ELECTRICAL INSTALLATIONS IN EFFECT, AND WITH THE MOST RECENT EDITION OF THE NATIONAL ELECTRICAL CODE, ADA, APPLICABLE SECTIONS OF OTHER NFPA, OSHA, LIFE SAFETY CODES AND RECOMMENDATIONS, AND THE INTERIM AMENDMENTS IN EFFECT AT THE TIME OF THE PROPOSAL.

THE WORK INCLUDES PROVIDING MATERIALS, DEVICES, WIRING, FIXTURES, ETC. NECESSARY FOR A COMPLETE FUNCTIONING ELECTRICAL SYSTEM. ALL MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE NEW AND UNUSED AND FREE FROM DEFECTS. INSTALL, CONNECT AND ADJUST ALL EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. ANY ITEM NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, BUT THAT IS NORMALLY REQUIRED TO CONFORM TO THE INTENT, ARE TO BE CONSIDERED A PART OF THE CONTRACT. ALL MATERIALS USED SHALL BE NEW AND SHALL CONFORM TO THE STANDARDS ESTABLISHED BY THE UNDERWRITERS LABORATORIES INCORPORATED.

THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THE PROJECT. THE DRAWINGS FOR ELECTRICAL WORK ARE DIAGRAMMATIC, SHOWING THE LOCATION, TYPE, DEVICES AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. PROVIDE ALL FIXTURES, DEVICES, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT FURNISHED BY OTHERS.

HOOK-UP CHARGES, PERMITS, LOCAL FEES AND ALL OTHER EXPENSES RELATED TO A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM SHALL BE INCLUDED IN THE CONTRACTORS BID. THE CONTRACTOR SHALL COOPERATE FULLY WITH UTILITY SERVICE PROVIDERS WITH RESPECT TO THEIR SERVICES.

COORDINATION: COORDINATE WITH THE WORK OF OTHER SECTIONS, EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE. ANY WORK THAT IS INSTALLED BY THIS CONTRACTOR THAT RESULTS IN CONFLICT, DUE TO LACK OF COORDINATION BETWEEN TRADES, SHALL BE CHANGED AS DIRECTED BY THE ARCHITECT/ENGINEER WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.

COORDINATE WITH THE LOCAL ELECTRIC UTILITY COMPANY AND TELEPHONE COMPANY AS TO THE REQUIREMENTS FOR SERVICE CONNECTIONS AND PROVIDE ALL LABOR, MATERIALS, AND TESTING

DEFINITIONS: <u>FURNISH</u> MEANS TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR INSTALLATION. <u>INSTALL</u> MEANS TO PLACE IN POSITION AND MAKE CONNECTIONS FOR SERVICE OR USE. <u>PROVIDE</u> MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR INTENDED USE. <u>WIRING</u> MEANS THE INCLUSION OF ALL RACEWAYS, FITTINGS, CONDUCTORS, CONNECTORS, JUNCTION AND OUTLET BOXES, SPLICES, CONNECTIONS, TAPE, AND ALL OTHER ITEMS NECESSARY AND/OR REQUIRED IN CONNECTION WITH SUCH WORK. <u>CONDUIT</u> MEANS THE INCLUSION OF ALL HANGERS, SLEEVES, SUPPORTS,

FIRESTOPPING IS A MATERIAL OR COMBINATION OF MATERIALS USED TO RETAIN INTEGRITY OF FIRE—RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND HOT GASES THROUGH PENETRATIONS IN FIRE RATED WALL AND FLOOR ASSEMBLIES.

WARRANTY: PROVIDE LABOR AND MATERIALS TO REPAIR OR REPLACE DEFECTIVE PARTS AND MATERIALS AS REQUIRED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION OR OWNER ACCEPTANCE OF THE COMPLETED PROJECT.

ELECTRICAL DESIGN HAS BEEN BASED ON THE INSTALLATION OF 75°C°C CONDUCTORS CONNECTED TO TERMINAL LUGS AND EQUIPMENT, U.L. LISTED FOR A MINIMUM 75°C.°C. CONDUCTORS TERMINATED ON EQUIPMENT OR DEVICES WITH A LOWER RATING (60°C)°C) OR NO RATING SHOWN, SHALL HAVE CONDUCTOR SIZE INCREASED TO CONFORM TO NEC TABLE 310-16.

ALL EQUIPMENT SHALL BE EQUAL TO OR EXCEED THE MINIMUM REQUIREMENTS OF NEMA, IEEE, AND UL.

DISCONNECT SWITCHES SHALL BE HEAVY-DUTY, QUICK-MAKE, QUICK-BREAK TYPE, NEMA 1 ENCLOSURE FOR INDOOR LOCATIONS (NEMA 3R FOR OUTDOOR LOCATIONS). SWITCHES SHALL BE AS MANUFACTURED BY SQUARE 'D', GENERAL ELECTRIC, OR SIEMEN'S (I.T.E.). PROVIDE FUSES AS MANUFACTURED BY BUSSMAN, GOULD-SHAWMUT, OR LITTLE-FUSE. ALL CONDUCTOR TERMINALS TO BE U.L. LISTED FOR A MINIMUM OF 75°C.°C. SWITCHES USED AS SERVICE ENTRANCE EQUIPMENT TO BE U.L. LISTED AS "SER" RATED EQUIPMENT. WHERE MULTIPLE DISCONNECTS ARE USED AS A SERVICE ENTRANCE MEANS, A NEUTRAL CONDUCTOR SHALL BE RUN TO THE NEUTRAL TERMINAL IN EACH SERVICE DISCONNECT AND SHALL BE BONDED PER NEC.

PANEL BOARDS SHALL BE AS MANUFACTURED BY SQUARE-D OR EQUAL MEETING U.L. STANDARDS 50 AND 67, WITH U.L. LABEL. PANELS USED AS SERVICE ENTRANCE EQUIPMENT TO BE U.L. LISTED AS "SER" RATED EQUIPMENT. PANELBOARDS SHALL BE FULLY RATED.

BREAKERS: THERMAL MAGNETIC TYPE, QUICK-MAKE, QUICK-BREAK, PLUG-IN TYPE OF SINGLE UNIT CONSTRUCTION. TWO POLE BREAKERS SHALL BE SINGLE UNIT COMMON TRIP TYPE. BREAKERS USED AS SWITCHES FOR 120V LIGHTING CIRCUITS SHALL BE APPROVED FOR THAT USE AND MARKED "SWD".

GROUNDING SYSTEM: PERMANENTLY AND EFFECTIVELY GROUND ALL METALLIC CONDUIT, SUPPORTS, CABINETS, PANELBOARDS AND SYSTEM NEUTRAL CONDUCTORS. MAINTAIN CONTINUITY OF EQUIPMENT GROUND THROUGHOUT THE SYSTEM. GROUND CLAMPS SHALL BE APPROVED TYPE, SPECIFICALLY DESIGNED FOR GROUNDING. WHERE GROUNDING CONDUCTOR IS ENCLOSED IN CONDUIT, GROUND CLAMP SHALL BE OF A TYPE WHICH GROUNDS BOTH CONDUCTOR AND CONDUIT. ALL CIRCUITS IN FLEXIBLE METAL OR PLASTIC CONDUIT SHALL INCLUDE A GROUND WIRE SIZED IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE.

CONDUCTORS: INSULATED SOFT ANNEALED 98% PURE COPPER WITH COLOR CODING, B AND S GAGE, #10 AND SMALLER TO BE SOLID, #8 AND LARGER TO BE STRANDED, MINIMUM #12 UNLESS OTHERWISE INDICATED. CONDUCTORS MUST BE INSTALLED IN ACCORDANCE WITH N.E.C. AND CANNOT BE SUPPORTED FROM CEILING SUPPORT WIRES. THHN MAY NOT BE USED UNDERGROUND, AT SERVICE ENTRANCE, OUTSIDE, OR IN WET LOCATIONS. ALL INSULATION TO BE RATED FOR 600 V.

LIGHT FIXTURES & LAMPS ARE TO BE FURNISHED BY E.C. AS NOTED ON THE LIGHT FIXTURE SCHEDULE. FIXTURE INSTALLATION SHALL BE BY THE ELECTRICAL CONTRACTOR ACCORDING TO LOCAL CODE AUTHORITY. THE ELECTRICAL CONTRACTOR SHALL REVIEW MATERIALS AT THE TIME OF DELIVERY AND IMMEDIATELY REPORT ANY DAMAGE OR MISSING PIECES.

LIGHT FIXTURE QUANTITIES AND INPUT WATTAGES LISTED IN LIGHT FIXTURE SCHEDULE ARE FOR ENGINEERING ENERGY CALCULATIONS ONLY AND ARE NOT TO BE USED BY CONTRACTOR FOR QUANTITY

EMERGENCY LIGHTING SHALL HAVE A MINIMUM OF 90 MIN. BATTERY BACK-UP, OR AS REQUIRED BY LOCAL CODE AUTHORITY.

LAYOUT BRANCH CIRCUIT WIRING AND ARRANGEMENT OF HOME RUNS FOR MAXIMUM ECONOMY AND EFFICIENCY. INCREASE WIRE SIZE IF VOLTAGE DROP EXCEEDS 3% OR 100 FEET OF LENGTH.

CONCEAL WIRING SYSTEM ABOVE SUSPENDED CEILINGS OR IN WALL OR FLOOR CONSTRUCTION WHERE POSSIBLE. INSTALL CONDUITS PARALLEL TO BUILDING LINES, AND TO CLEAR ALL OPENING, DEPRESSIONS, PIPES, DUCTS, STRUCTURE, ETC.

ALL WIRING SHALL BE IN CONDUIT, UNLESS SPECIFICALLY NOTED OTHERWISE.

INSTALL CONDUIT CONTINUOUS BETWEEN BOXES AND CABINETS WITH NO MORE THAN FOUR (4) 90 DEGREE BENDS. SECURELY FASTEN IN PLACE WITH STRAPS, HANGERS AND STEEL SUPPORTS AS REQUIRED. DO NOT SUPPORT CONDUIT FROM SUSPENDED CEILING GRID OR SUSPENSION WIRES. REAM CONDUIT ENDS BEFORE INSTALLATION AND THOROUGHLY CLEAN BEFORE INSTALLATION. OPENINGS SHALL BE PLUGGED OR COVERED TO KEEP CONDUIT CLEAN.

CONDUIT SHALL BE SIZED TO COMPLY WITH NEC FOR NUMBER AND SIZE OF CONDUCTORS INSTALLED, MINIMUM 24" BELOW GRADE. PROVIDE SCHEDULE 40 PVC PLASTIC OR RIGID STEEL CONDUIT BELOW GRADE, MINIMUM 3/4". PROVIDE ELECTRICAL METAL TUBING (EMT), FLEXIBLE METAL CONDUIT (IN LENGTHS 6' OR LESS) FOR INTERIOR LOCATIONS. EMT CONNECTORS AND COUPLING SHALL BE SET—SCREW TYPE. CLAMP CONDUIT TO BOXES WITH BUSHING INSIDE AND LOCKNUT OUTSIDE.

BELOW GRADE RACEWAYS SHALL BE CONSIDERED WET LOCATION AND SHALL BE SEALED PER NEC 300.5 (G) WITH A SEALANT IDENTIFIED FOR USE WITH INSTALLED CONDUCTORS/INSULATION.

"MC" TYPE CABLES MAY BE USED IN SPACES WHERE NOT SUBJECT TO PHYSICAL DAMAGE OR CORROSION. "MC" & "AC" CABLE MUST BE INSTALLED IN A WORKMANLIKE MANNER AND PERPENDICULAR OR PARALLEL TO BUILDING LINES. CABLE MUST BE INSTALLED IN ACCORDANCE WITH N.E.C. ARTICLE 330.

ALL CONDUIT AND RACEWAY SYSTEMS SHALL BE INSTALLED WITH SEPARATE GROUND CONDUCTOR. CONDUIT SYSTEM IS NOT TO BE USED AS THE SOLE GROUNDING MEANS.

TOUCH UP OR REFINISH DAMAGED SURFACES OF FIXTURES AND EQUIPMENT, EXPOSED TO VIEW.

DATA & TELEPHONE PREMISES WIRING & CABLES TO BE FURNISHED AND INSTALLED BY OWNER. RACEWAY AND/OR CONDUIT TO BE PROVIDED BY E.C. VERIFY EXACT MOUNTING LOCATIONS WITH ARCHITECT PRIOR TO FASTENING RACEWAY OR CONDUIT TO WALL, CEILING OR FLOOR. FASTEN TO SURFACE AS RECOMMENDED BY MANUFACTURER. MOUNT SO RACEWAY IS IN THE LEAST OBVIOUS LOCATION. REAM ALL CUTS SMOOTH. PROVIDE ALL REQUIRED BOXES, EXTENSIONS, FITTINGS, ELBOWS AND DEVICES FOR A COMPLETE INSTALLATION

REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF LIGHTING FIXTURES AND OTHER CEILING MOUNTED EQUIPMENT.

FOR EQUIPMENT FURNISHED BY OWNER OR OTHER CONTRACTORS; ELECTRICAL CONTRACTOR TO VERIFY EXACT LOAD, TYPE OF CONNECTION AND MOUNTING HEIGHT FOR EACH BOX OR EQUIPMENT ITEM TO BE INSTALLED. ALL HARDWIRED CONNECTIONS TO EQUIPMENT TO BE MADE WITH FLEXIBLE LIQUID—TITE METAL CONDUIT WITH GREEN GROUND CONDUCTOR INSTALLED INSIDE RACEWAY. GROUND CONDUCTOR SHALL BE BONDED AT BOTH ENDS.

COORDINATE ALL REQUIRED ROOF AND WALL OPENINGS WITH THE GENERAL CONTRACTOR. PROVIDE ALL CURBS, FLASHING, SLEEVES, SUPPORTING FRAMES, REINFORCING ANGLES, ETC. WHICH ARE

MINIMUM WIRE SIZE - 20 AMP BRANCH CIRCUIT SHALL BE AWG LISTED SIZE PER DISTANCE SHOWN BELOW. DISTANCE SHALL BE MEASURED FROM THE PANELBOARD CIRCUIT BREAKER TO THE FURTHEST OUTLET ALONG THE CIRCUIT PATH.

A. #12 LESS THAN 100 FEET B. #10 BETWEEN 100-150 FEET C. #8 BETWEEN 150 - 250 FEET D. #6 OVER 250 FEET

NO SCALE

ON ALL 20 AMP BRANCH CIRCUITS, CONDUCTORS LARGER THAN #10 AWG SHALL BE REDUCED TO #10 AWG WITHIN 10 FEET OF PANEL BOARD AND DEVICE IN JUNCTION BOXES ON RATED TERMINAL

ALUMINUM CONDUCTORS ARE NOT PERMITTED, EXCEPT AT SERVICE ENTRANCE. CONDUCTOR CONNECTION MUST BE PER MANUFACTURER'S REQUIREMENTS.

ELECTRICAL SYMBOLS, DETAILS & NOTES

SE AL
032588
29JUL22
HUMPHILL

EVISIONS

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E U B A N K S E N G I N E E R I N G P.C. HUMPHREY V St., Suite 200 Phone 336,379,0663

FIRM LICENSE: C-2272

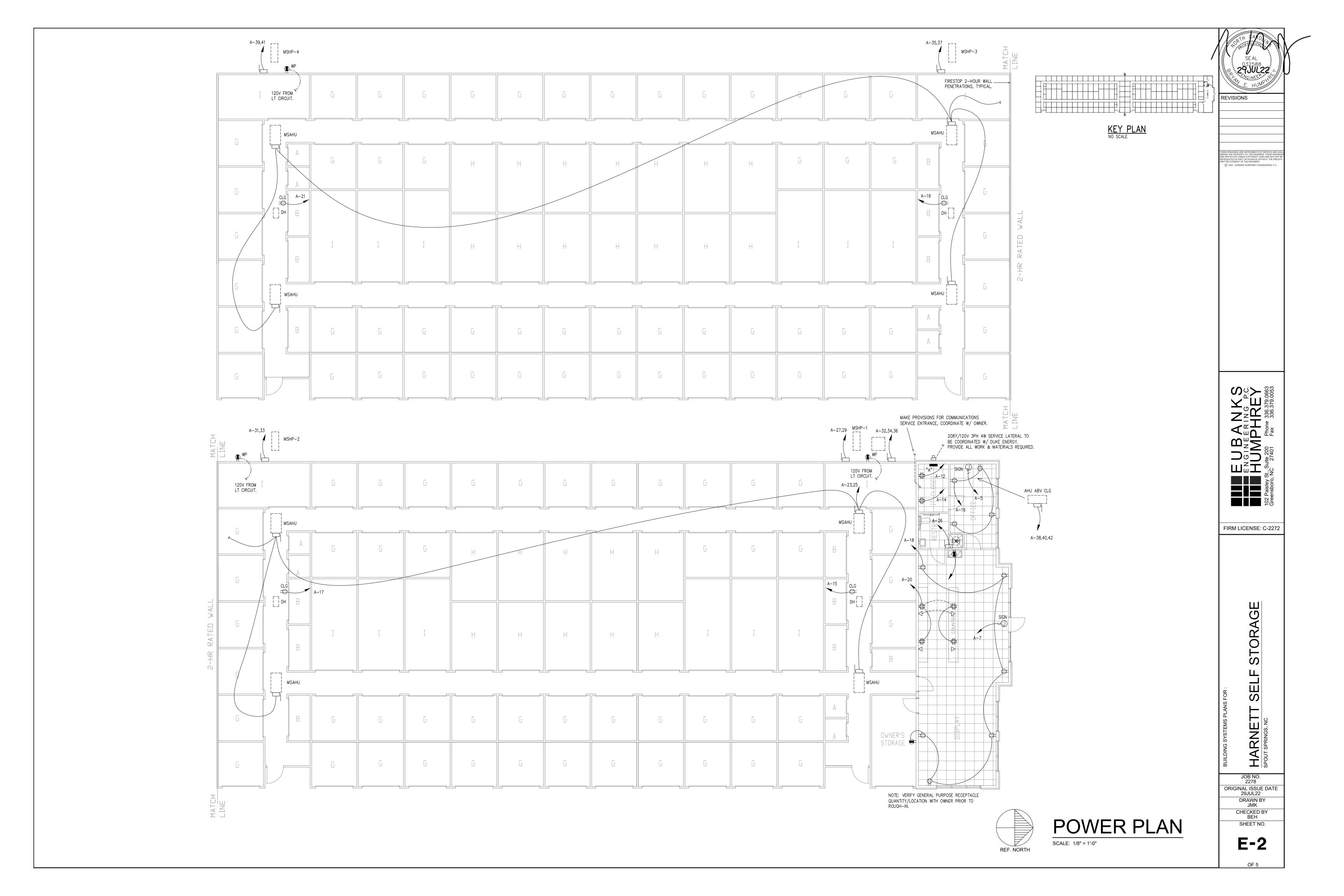
RNETT SELF STORAGE

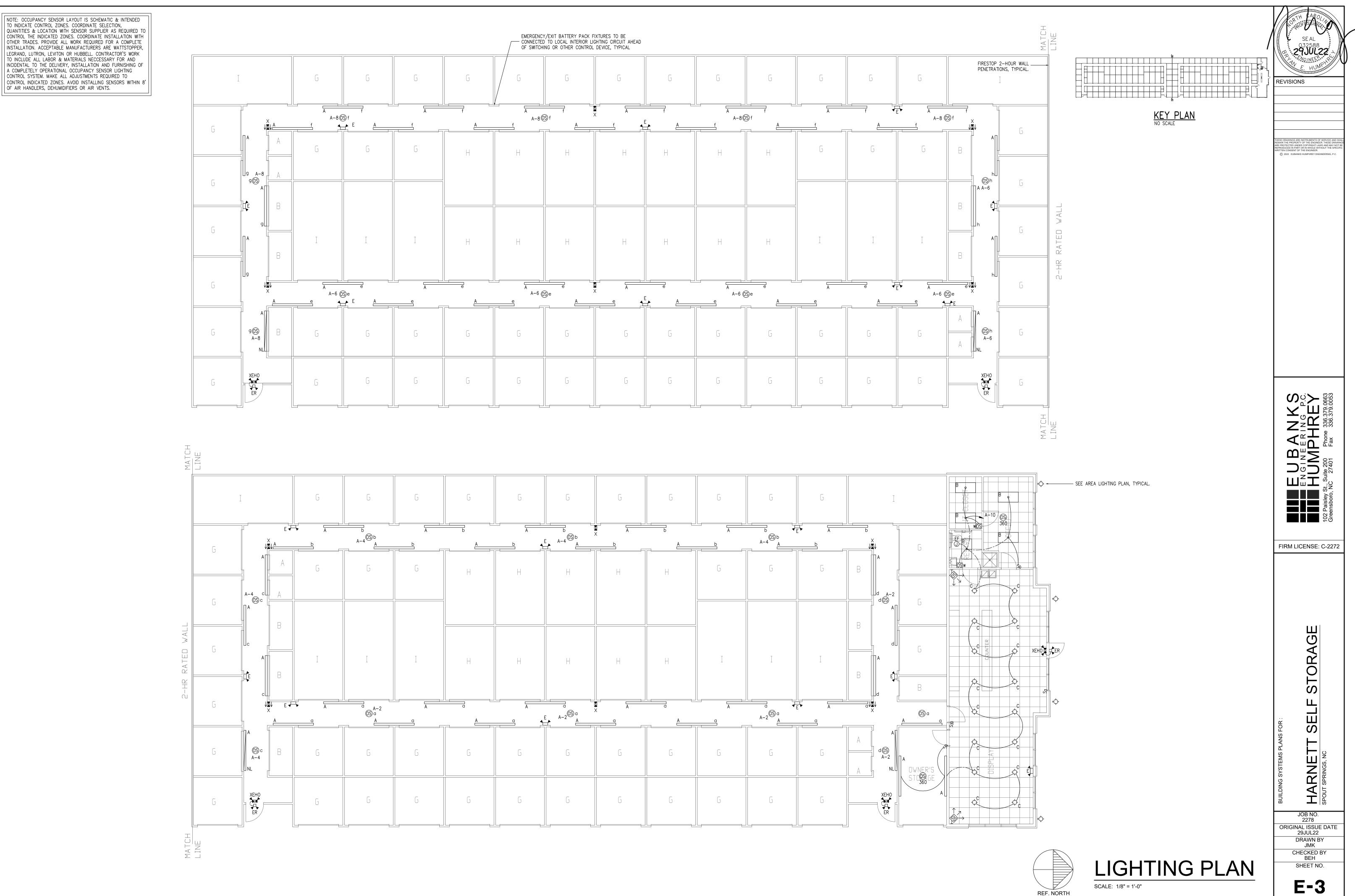
JOB NO. 2278 ORIGINAL ISSUE DATE 29JUL22 DRAWN BY JMK CHECKED BY

E-1

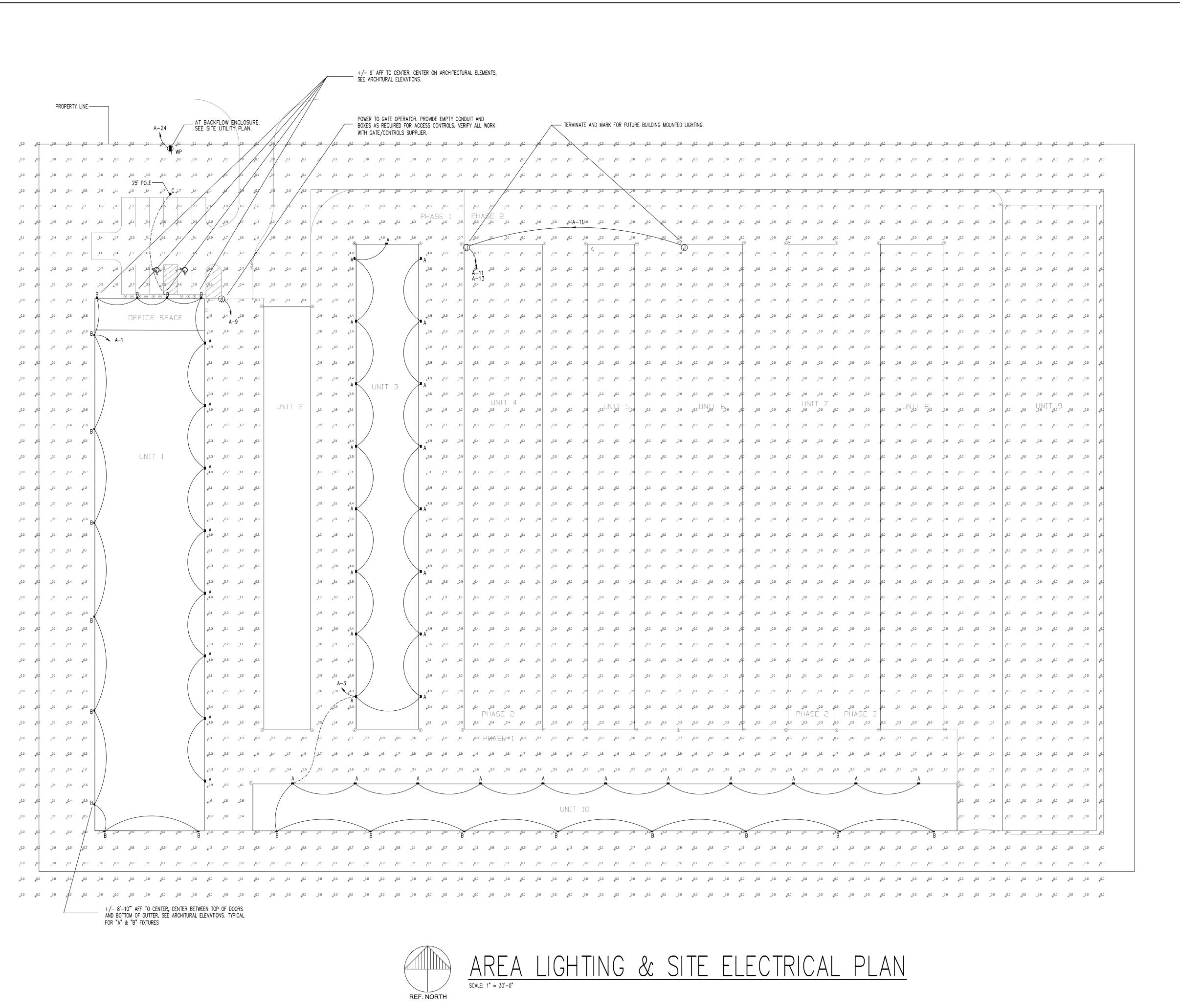
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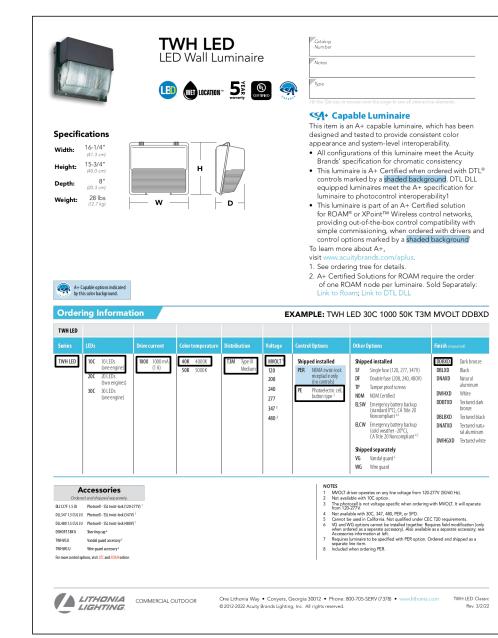




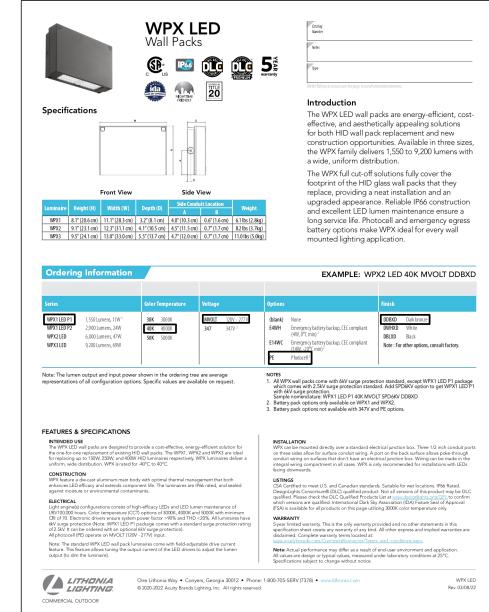
OF 5



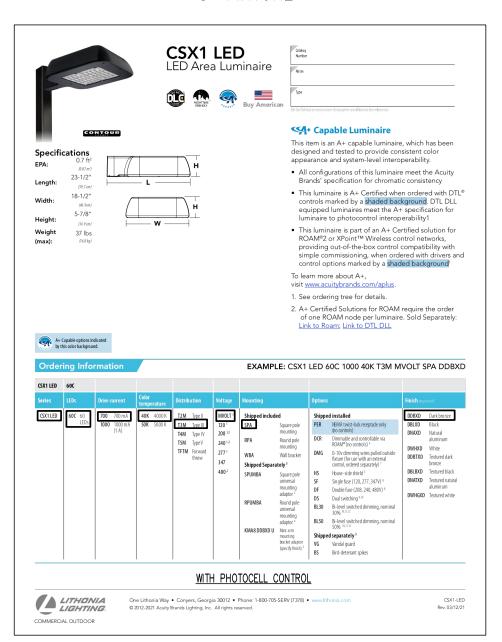
"A" FIXTURE

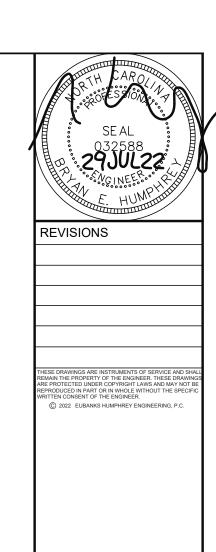


"B" FIXTURE



"C" FIXTURE







FIRM LICENSE: C-2272

BUILDING SYSTEMS PLANS FOR:

HARNETT SELF STORAGE

SPOUT SPRINGS, NC

ORIGINAL ISSUE DATE
29JUL22
DRAWN BY
JMK
CHECKED BY
BEH
SHEET NO.

E-4

OF 5

		URE SCHEDULE HER MANUFACTURERS ARE GENERALLY	ACCEPTABLE FO	DR SUBMITTAL	BUT SUE	BJECT TO RE	VIEW AND AI	PPROVAL	
MARK	MANUFACTURER	CATALOG NUMBER	LAMPS	POWER	NO.	WATTS EA.	INT. WATTS	EXT. WATTS	REMARKS
А	LITHONIA	CSS L96 ALO4 MVOLT SWW3 80CRI	LED	120V	71	88	6248	NA	8' LINEAR LED STRIP LIGHT W/ ROUND DIFFUSE LENS, SET TO 10,000 LUMENS AND COLOR TEMP. TO 40K
В	LITHONIA	2TL4 60L FW A12 EZ1 LP835	LED	120V	5	47	235	NA	LED, 2X4 RECESSED STATIC TROFFER WITH ACRYLIC LENS
С	LITHONIA	LDN6 35/30 LO6 AR LSS MVOLT	LED	120V	16	35	560	NA	6" OPEN DOWNLIGHT, SEMI-SPECULAR REFLECTOR
Е	LITHONIA	ELM4L	STANDARD	120V	16	NA	NA	NA	EMERGENCY LIGHT WITH DUAL ADJUSTABLE HEADS AND EMERGENCY BATTERY PACK.
X	LITHONIA	LQM S W 3 R 120/277 EL N	LED	120V	12	5	NA	NA	SINGLE FACE ILLUMINATED EXIT SIGN WITH EMERGENCY BATTERY PACK & EXTRA FACE.
XEHO	LITHONIA	LHQM LED R HO	STANDARD	120V	5	5	NA	NA	COMBO ILLUMINATED EXIT SIGN & EMERGENCY LIGHT WITH HIGH OUTPUT BATTERY PACK
ER	LITHONIA	ELA B T QWP L0309	STANDARD	120V	5	NA	NA	NA	OUTDOOR REMOTE DUAL HEAD EMERGENCY FIXTURE POWERED FROM XEHO FIXTURE
NOTE:	FIXTURE QUANTITI	ES LISTED ARE NOT TO BE RELIED UPO	N FOR TAKE-O	FF PURPOSES.	-	•	7043	480	
							1	1	

MOUNTING:	F	PANEL		Α			ı													MAIN	200A
																				BUS	225A
FLUSH	120	\	208	VOL	ΓS			3	PH	ASE 4			WIRE			Y				AIC	22K
LOAD	V	OLT AM	_	L R	H K	M S		вк	C K	BUS	C K			M S	K H	1	1 1		OLT AM		LOAD
	φΑ	φB	φC	GC	CT	C	-		Т	A B C	T	BKR	 	С	T C	C	G	φΑ	φB	φC	
EXTERIOR LTS	1400						#12	20	1		2	20	#12					1400			LTS
EXTERIOR LTS		1400					#12	20	3		4	20	#12						1400		LTS
SIGN (TIMECLOCK)			1200				#12	20	5		6	20	#12							1600	LTS
SIGN (TIMECLOCK)	1200					+ +	#12	20	7		8	20	#12					1600			LTS
GATE OPERATOR		1200				+ +	#12	20	9		10	20	#12						1200		LTS
FUTURE EXTERIOR LTS						$\perp \perp$	#10	20	11		12	20	#12							360	REC
FUTURE EXTERIOR LTS							#10	20	13		14	20	#12					360			REC
DEHUMIDIFIER		960				_	#12	15	15		16	20	#12						720		REC
DEHUMIDIFIER			960				#12	15	17		18	20	#12							1260	REC
DEHUMIDIFIER	960						#12	15	19		20	20	#12					1140			REC
DEHUMIDIFIER		960					#12	15	21		22	20									SPARE
MSA HUs			160				#12	15	23		24	20	#12							180	REC AT RPZ
n	160						"	11	25		26	20	#12					1500			EWH
MSHP-1		3015					#8	40	27		28	20									SPARE
п			3015				"	"	29		30	20									SPARE
MSHP-2	3015						#8	40	31		32	30	#10					1800			HP-1
п		3015					"	11	33		34	11	"						1800		п
MSHP-3			3015				#8	40	35		36	"	"							1800	п
п	3015						11	"	37		38	45	#8					4080			AHU-1
MSHP-4		3015					#8	40	39		40	"	"						4080		п
п			3015				"	"	41		42	"	"							4080	п
SPACE									43		44										SPACE
п									45		46										п
п									47		48										п
п									49		50										п
п									51		52										II .
п									53		54										п
VOLT - AMPS PER PHASE		φΑ		2163	0					<i>φ</i> Β			22765				-		φC		20645
AMPS PER PHASE		7		180						γ –			190						7 -		172
7 0.1																					
TOTAL VOLT - AMPS =		65040								AMPS =				180	000 000 0					L=	
	AVAIL	ABLE	FAUL	T CU	RREN	ТТО	BE DI	ETER	MIN	ED IN C	000	PER/	ATION V	VITH	DU	KE	ENE	RGY	BEFO	RE PU	RCHASING EQUIPMENT
NOTES:																					
					DATE:			August						1							

REVISIC THESE DRAWINGS / REMAIN THE PROPE HARP PROTECTION REPRODUCED IN PURITIEN CONSENT	SE AL 032588 9300 SE AL 032588 POUC NE HUM NS NS NS NS NS NS NS NS NS N
G SYSTEMS PLANS FOR:	RNETT SELF STORAGE

ELECTRICAL SCHEDULES

OF !

E-5

ORIGINAL ISSUE DATE 29JUL22 DRAWN BY JMK

SPOUT SPRINGS, NC

BUILDING CODE SUMMARY APPENDIX "B"

Owner or Authorized Agent: <u>VIC SMITH</u> Owned By:	EW FACILITY FOR HA		Zip Code				FIRE PA	OTECTION	REQUIF	REMENTS		
Code Enforcement Jurisdiction:	_ Phone: <u>336-855-1286</u> □ City/County ■ City <u>SANFORD</u>	■ Private	emith®bellsoutnnet Grate	BUILDIN	G ELEMEN	FIRE SEPARATIO DISTANCE (FEET)		PROVIDED (W/	DETAI AND - SHEET	RATED	DESIGN * FOR RATED PENETRATION	DESIGN * FOR RATI
ONTACT: Victor J. Smith	NAME LIC	CENSE NO. TELEPH	ONE NO. E-MAIL ADDRESS	Structural including col trusses	Framing, lumns, girders,		0					
rchitectural <u>ERSKINE-SMITH Architecture, PLLC</u>				Bearing w	ıalle		+		1			
lectrical ire Alarm				Exterio			1_					
Plumbing				NORTHV NORTHE		86' 68'	0					
prinkler-Standpipe					. (ASSUMED PROPE	RTY LINE) 15'	ō					
Retaining Walls >5' High				SOUTHWE Interio	EST WALL	364'	0					
Other		·		Nonbearin	ng walls		+ -					
	w Building 🔲 A . Time Interior Comple		Renovation	and partii Exter	tions ior Walls							
	ell/Core - Contac't th Iditional procedures		on jurisdiction for possible	Nor Eas		N/A N/A	0					
□ i Ph	nased Construction -	Shell/Core - Co	ntact the local inspection poedures and requirements	Wes	-	N/A	0		1			
Jur BIB NC EXISTING BUILDING CODE: EXISTING:	•	le additional pro □ Repair	Chapter 14	Sou	uth walls & partition	N/A	0					
	B Level	 □ Level II ty	☐ Level III ☐ Change of Use	Floor con	struction	1 E	0					
CONSTRUCTION (date)			th 3): (Ch 3): ^{6-1 6TORAGE}	and joists								
RISK CATEGORY (Table 1604.5):	Current 🗌 I] V		ling Assemb porting Roof	ly	0		-			
	Proposed 🗆 l] [V	Roof con	etruction		0					
BASIC BUILDING DATA Construction Type: I-A			□ <i>∨-A</i>	and Joists	pporting beams s		"					
□1-8	■ II-B III-B	3	□ V-B		ling Assemb	ly	0					
	□Yes □NFPA	13	PA 13R NFPA 13D Dry	Columns Supp Shafts Enclose	oorting Roof sures - Exit		N/A N/A		+			+
Fire District: ■No ☐ Yes	Flood Ha	azard Area: 🔳	No Tes	_	sures - Others		N/A					
	for a	additional proce	spections jurisdiction dures and requirements)		Separation Fire Barrier Sep	paration	N/A N/A		-			-
Manual Fire Alarm System with Notifica	ation: ■ No 🗆	T CS			ill Separation		N/A		1			
Gross Building Area:				Smoke Barrie	er Separation		N/A					
FLOOR EXISTING (SQ	FT) N	EW (SQ FT)	SUB-TOTAL		Dwelling Unit		N/A					
4th Floor 3rd Floor				· · ·	Unit Separa e Separation		N/A					
2nd Floor Mezzanine					•	ermitting reduction	 on		-			
ist Floor Basement	8,100) sf				PERCENT	AGE OF IL	ALL OPEN	INGS C	ALCULATIONS		
OTAL	8,100) sF		Fire Sen	aration Distan	De	aree of C	<u> </u>		able Area	Actual Shou	ın on Pla
Primary Occupancy Classification(s):	ALLOWABLE AR	 生み			om Property L	ine Pro	Rection ble 705.8.)		(%)	(%	
Assembly A-1 DA-Business D		□ A- 4	□A-5	NORTH	35'		OTECTED. NONS			NO LIMIT	0	
Educational 🗆 .	□ = 2.1			ASSUMED P	19 PROPERTY LINE		OTECTED. NONS		IO LIMIT PER	R TABLE 705.8.1 ex. 2	64%	.
Factory : ☐ F-1 Moderate High Hazard ☐H-1 Detonate	_ ~	□H-3 Combust	□H-4 Health □H-5 HPM	SOUTH ASSUMED P	17.5' PROPERTY LINE	UNPR	OTECTED. NONS	PRINKLERED	IO LIMIT PER	R TABLE 705.8.1 ex. 2	56%	6
Institutional				EAST ASSUMED P	14.5' PROPERTY LINE	UNPR	OTECTED. NONS	PRINKLERED 1	IO LIMIT PER	R TABLE 705.8.1 ex. 2	54%	•
☐ 1-3 Condition☐ 1-4		3 🗆 4 🗆	5			<u>'</u>	I IEE G/	EETY EI A	N SEAL	UREMENTS		
Storage: Storag	(s): e Sections): . Code Sections):	High Piled Enclosed NA NA NA NA NA NA On: O Hr. Ex.	Repair Garage		esumed and eccupancy laccupant laccupant laccupant laccess ommon pational laccess	Use for each ads for each travel dist h of travel engths (1020 idths for each	erty line lorea with real with real as charea as ance (1017 distance 0.4) ach exit d	ocations (if espect to c it relates t) (Table 1006 oor	not on distance o occup	to assumed propancy load calculo	ulation (Table	s 1004.1.2
■ Non-separated Use (508.3 The required type of constructions for building. The most restrictive entire building.	3) ction for the building show the second of the applicable type of construction, some (508.4) - See being the occupancy shall be se	nall be determined e occupancies to so determined, shall elow for area casuch that the sum of loor area for eac	by applying the he entire apply to the localitions the ratios of the		ctual occu separate solurposes of ocation of ocation of ocation fo ocation of ne square ne square	pant load from the pant load from the pant load from the doors with doors eques emergency footage of footage of footage of the pant load from the	for each endicating what is separation to be a sepa	ixit door are fire rated on dware (1010 egress loci agnetic egr n hold-ope ndows (103 area (202) ke compart	floor cei D.1.10) As and these lock In device O) ment for	n accommodate base ling and/or roof stru- the amount of de- ks (1010.1.9.9) les r Occupancy Cla tilized regarding th	ucture is providely (1010.1.9.7) selfication 1-	ded for
For each story, the area of the actual floor area of each use Actual Area of Occupancy Allowable Area of Occupancy	ancy A + Ac	bwable Area of Oc bwable Area of (Decupancy E					DIJELLING I	UNITS	(Section 1107)		
For each story, the area of the actual floor area of each use Actual Area of Occupancy	<u>y A</u> + <u>Ac</u> ancy A Alle +	ctual Area of Oc owable Area of (+	Occupancy E ≤1.00					1				
For each story, the area of the actual floor area of each use Actual Area of Occupancy	(A) BLDG, AREA PER T	Owable Area of (+ (B) AREA 50624	CC) FOR FRONTAGE ALLOWABLE AREA PER	UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE "A" UNIT6 REQUIRED	TYPE "A" UNITS PROVIDED	TYPE "E UNITS REQUIRE	UNITS	TOTAL ACCESSIBLE UN PROVIDED	ITS
For each story, the area of the actual floor area of each use Actual Area of Occupance Allowable Area of Occupance Occupa	(A) BLDG. AREA PER T	(B) AREA (AREA (B) (AREA	Occupancy E _ = ≤1.00	UNITS	UNITS	ACCESSIBLE UNITS	TYPE "A" UNITS	TYPE "A"	UNITS	UNITS	ACCESSIBLE UN	ITS
For each story, the area of the actual floor area of each use Actual Area of Occupance Allowable Area of Occupance Occupa	(A) BLDG, AREA PER T	Owable Area of (+ (B) AREA 50624	CC) FOR FRONTAGE ALLOWABLE AREA PER	UNITS	UNITS	ACCESSIBLE UNITS	TYPE "A" UNITS REQUIRED	TYPE "A"	UNITS	UNITS	ACCESSIBLE UN	ITS
For each story, the area of the actual floor area of each use Actual Area of Occupance Allowable Area of Occupance Occupa	(A) BLDG, AREA PER T	Owable Area of (+ (B) AREA 50624	CC) FOR FRONTAGE ALLOWABLE AREA PER	UNITS	UNITS	ACCESSIBLE UNITS PROVIDED	TYPE "A" UNITS REQUIRED	TYPE "A" UNITS PROVIDED	UNITS REQUIRE	UNITS	ACCESSIBLE UN	ITS
For each story, the area of the actual floor area of each use Actual Area of Occupance Allowable Area of Occupance	(A) BLDG. AREA PER STORY (ACTUAL) A Ction 5062 are comp	(B) AREA AREA AREA Putted thus:	CC) FOR FRONTAGE ASE 1.5 ALLOWABLE AREA PER STORY OR UNLIMITED 2.3	LOT OR F	UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE "A" UNITS REQUIRED N/A CCESSIBL CING SPACES	TYPE "A" UNITS PROVIDED E PARKIN	UNITS REQUIRE G (Sec	etion 1106) SPACES PROVIDED	ACCESSIBLE UN PROVIDED	TOTAL NO.
For each story, the area of the actual floor area of each use Actual Area of Occupance Allowable Area of Occupance And USE STORY NO. DESCRIPTION AND USE 1) Frontage area increases from Section And USE Total Building Perimeter C. Radio (F/P) =	Allo (A) BLDG. AREA PER STORY (ACTUAL) Ction 5062 are comp blic way or open spa = (P) (F/P)	(B) AREA (B) AREA AREA NCRI buted thue: ace having 20 fe	CC) FOR FRONTAGE ASE 1.5 ALLOWABLE AREA PER STORY OR UNLIMITED 2.3	UNITS	UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE "A" UNIT6 REGUIRED N/A	TYPE "A" UNITS PROVIDED E PARKIN	UNITÉ REQUIRE GESSIBLE S R WITH 5'	ed UNITÉ PROVIDED	ACCESSIBLE UN PROVIDED	TOTAL NO. ACCESSIBL
For each story, the area of the actual floor area of each uses Actual Area of Occupance. Allowable Area of Occupance. STORY NO. DESCRIPTION AND USE (1) Frontage area increases from Secondary and Perimeter which fronts a public. Total Building Perimeter	Allo (A) BLDG. AREA PER STORY (ACTUAL) Ction 5062 are comp blic way or open spa = (P) (F/P) way = (W)	(B) AREA (B) AREA AREA NCRI buted thue: ace having 20 fe	CC) ALLOWABLE AREA PER STORY OR UNLIMITED 2.3 et minimum width = (F)	LOT OR F	UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE "A" UNITS REQUIRED N/A CCESSIBL CING SPACES	TYPE "A" UNITS PROVIDED E PARKING OF ACCED REGULA	UNITÉ REQUIRE GESSIBLE S R WITH 5'	ED UNITS PROVIDED CATION 1106) SPACES PROVIDED VAN SPACES WIL	ACCESSIBLE UN PROVIDED	TOTAL NO.
For each story, the area of the actual floor area of each uses Actual Area of Occupance, Allowable Area of Occupance, And USE STORY NO. DESCRIPTION AND USE 1) Frontage area increases from Secondary and Se	Allowing A	(B) AREA (B) AREA AREA Outed thue: ace having 20 fe F/P - 025) × W/3 ns 507	CC) FOR FRONTAGE ALLOWABLE AREA PER STORY OR UNLIMITED 2.3 et minimum width = (F) O = %	LOT OR F	UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE "A" UNITS REQUIRED N/A CCESSIBL CING SPACES PROVID	E PARKING OF ACCESS	UNITÉ REQUIRE GESSIBLE S R WITH 5'	ED UNITS PROVIDED CATION 1106) SPACES PROVIDED VAN SPACES WIL	ACCESSIBLE UN PROVIDED	TOTAL NO.
For each story, the area of the actual floor area of each uses Actual Area of Occupance Allowable Area of Occupan	(A) BLDG. AREA PER STORY (ACTUAL) ction 5062 are comp blic way or open spa = (P) (F/P) way = (W) se If = 100 (F) conditions of Section mber of stories in the g garages must comp	Owable Area of ((B) AREA AREA NCRI Puted thue: ace having 20 fe F/P - 0.25) x W/3 ne 507 s building x D (5)	CC) ALLOWABLE AREA PER STORY OR UNLIMITED 2.3 et minimum width = (F) O = %	LOT OR F AREAS	UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE "A" UNITS REQUIRED N/A CCESSIBL CING SPACES PROVID	TYPE "A" UNITS PROVIDED E PARKING OF ACCED REGULA	UNITÉ REQUIRE GESSIBLE S R WITH 5'	ED UNITS PROVIDED CATION 1106) SPACES PROVIDED VAN SPACES WIL	ACCESSIBLE UN PROVIDED	TOTAL NO.
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For each story, the area of the actual floor area of each uses Actual Area of Occupance. Allowable Area of Occupance. Allowable Area of Occupance. STORY NO. DESCRIPTION AND USE 1) Frontage area increases from Section a. Perimeter which fronts a public b. Total Building Perimeter c. Radio (F/P) = 1.0 (a. W = Minimum width of public e. Percent of frontage increase. 2) Unlimited area applicable under co. 3) Maximum Building Area = total num. 4) The maximum area of open parking control towers must comply with 4. 5) Frontage increase is based on the section of the s	Allowable (A) BLDG. AREA PER STORY (ACTUAL) (F/P) way = (W) see	CB) AREA CB) AREA CB) AREA CREA CRE	CCUPANCY E = < 1.00 (C) FOR FRONTAGE ALLOWABLE AREA PER STORY OR UNLIMITED 2.3 et minimum width = (F) O = % FOG 2) The maximum area of air traffic	LOT OR F AREAS	UNITÉ REQUIRED PARKING:	ACCESSIBLE UNITS PROVIDED ACCESSIBLE UNITS PROV	TYPE "A" UNITS REQUIRED N/A CCESSIBL CING SPACES PROVID SEE SI	E PARKING OF ACCESS TE P AN E REGULA URINALS	UNITS REQUIRE CESSIBLE S R WITH 5' AISLE EMENTS LAVATORI	CALIDA IIO6) SPACES PROVIDED VAN SPACES WID 132" ACCESS AISLE 8' (Table 2902	ACCESSIBLE UN PROVIDED DTH ACCESS ISLE	TOTAL NO. ACCESSIBL PROVIDED
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	F	ire pr	ROTECTION	REQUIREM	ENTS			ENERGY REQUIREMENTS:
	FIRE	R	ATING		I			The following data shall be considered minimum and any special attribute required to meet the energy code shall also
BUILDING ELEMENT	SEPARATION DISTANCE (FEET)	REQID	PROVIDED (W/	DETAIL * AND SHEET *	DESIGN * FOR RATED ASSEMBLY	DESIGN * FOR RATED PENETRATION	DESIGN * FOR RATED JOINTS	be provided. Each Designer shall furnish the furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost standard reference design vs annual energy cost for the
Structural Framing, ncluding columns, girders, russes	11217	0	REDUCTION					- proposed design. Climate Zone ■ 3 □ 4 □ 5
Bearing walls				1	1			•
Exterior								Method of Compliance
NORTHWEST	86'	0						☐ Prescriptive (Energy Code)
NORTHEAST	68'	0						☐ Performance (Energy Code)
OUTHEAST WALL (ASSUMED PROPERTY	INE) 15'	0						☐ Prescriptive (ASHRAE 90.1)
SOUTHWEST WALL	364'	0						Performance (ASHRAE 90.1)
interior		0						THERMAL ENVELOPE
Nonbearing walls and partitions Exterior Walls								Roof/ceiling Assembly (each assembly) Description of assembly
North	N/A	0						U-Value of total assembly
East	N/A	0						R-Value of insulation
West	N/A	0						U-Value of skylight
South	N/A	0						total square footage of skylights in each assemble
Interior walls & partitions		0						Ful set on Halle (on the gas swip liv)
Floor construction ncluding supporting beams and Joists		0						THERMAL ENVELOPE Roof/ceiling Assembly (each assembly) Description of assembly U-value of total assembly R-value of insulation Skylights in each assembly U-value of skylights in each assembly total square footage of skylights in each assembly Description of assembly L-value of total assembly R-value of insulation Openings (window or doors with glazing) Assembly Assembly Assembly Assembly
loor Ceiling Assembly		0						Openings (wired or doors with glazing)
Columns Supporting Roof		0						alte of assembly
Roof construction including supporting beams and joists		0						brojection factor Door R-Values:
loor Ceiling Assembly		0						Walls below grade (each assembly)
Columns Supporting Roof		N/A						Description of assembly
Shafts Enclosures - Exit		N/A						U-Value of total assembly
Shafts Enclosures - Others		N/A						R-value of insulation
Corridor Separation		N/A						Floors over unconditioned space (each assembly)
Occupancy/Fire Barrier Separa	tion	N/A						Description of assembly
Party/Fire Wall Separation		N/A						U-Value of total assembly R-Value of insulation
Smoke Barrier Separation		N/A						
Tenant / Dwelling Unit/ Bleeping Unit Separatio	n	N/A						Floors slab on grade Description of assembly
ncidental Use Separation		N/A						U-Value of total assembly
Indicate section number permi	tting reduction			1	ļ	ı		R-Value of insulation Horzontial/vertical requirement slab heated
P	ERCENTAG	E OF U	JALL OPEN	NGS CALC	ULATIONS			
Fire Separation Distance (Feet) from Property Line	, Prote	ee of C ection e 705.8	pening)	Allowable (%)	Area	Actual Showr (%)		STRUCTURAL DESIGN
NODTH 75'	UNDDOTT	OTED NONE	PROBABLIC FRED	NO LIN	UT			

DESIGN LOADS ±			
Importance Factors :	Snow (ls) Seismic (le)		_
Live Loads :	Roof Mezzanine Floor	pef pef pef	NEEP
Ground Snow Load :	psf	_\	6
Wind Loads :	Ultimate Wind Spec Exposure Categor		SCE-1)
SEISMIC DESIGN CATEGO	XRY □ A	ОС	□Þ
Provide the following Seis	mic Design Branet	4 8,	
Riase Category (Table 160			
Spectral Response A	\ _	%g Smi	%g
Site Classification (A		B C C I	
Basic structural syst	m (check one)		_
Bearing Building Moment	g Frame (Upper Walls)	Dual w/ Special Momer Dual w/ Intermediate F Inverted Pendulum	
Analysis Procedure	□ Simplified	☐ Equivalent Lateral	Force Dynamic
Architectural, Mechai	nical, components ar	•	□No
			4

LATERAL DESIGN CONTROL: □ Earthquake (Lower Level - Bidg. A & B) \square Wind (Upper Level - Bldg. A $\stackrel{\bullet}{\bullet}$ B and C $\stackrel{\bullet}{\bullet}$ D)

SOIL BEARING CAPACITIES: Field Test (provide copy of test report)_ Pile size, type, and capacity

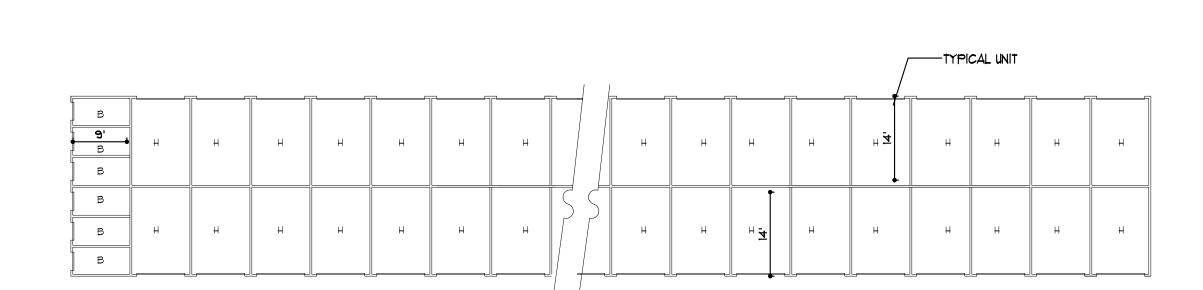
	UNIT MIX - TOTAL 4 BLDG.							
		E	3UIL DIN	G TYF	Έ		ACCESSIBL	
SIZE	MARK	A	m	C	J	TOTAL	UNITS	
5'x5' 5'x10' 10'x10' 10'x15' 10'x20' 10'x30' 12'x30'	4 B & I – K N	4 3 <u>0</u> 4 9 · ·	- 6 - 52 - -	- 8 - 6 -	- - 3 - 26 15	66 81 57 183 88 44 30	BLDG. A 5 BLDG. A 5 BLDG. A 3	
	TOTAL	162	58	68	44	332	13	
NET SQ. FT. PER BLDG		18,284	8,100	12,400	13,500	55,284 SQ. FT. NET TOTAL		
GROSS SQ. FT. PER BLDG		23,508	8,100	12,400	13,500	57,508 SQ. FT. GROSS TOTAL		

UNIT CALCULATIONS

CODE REQUIREMENTS	PERCENTAGE	# OF UNITS	* OF ADA UNITS REG
5% OF THE FIRST 200 UNITS	5%	200	10
2% OF REMAINING UNITS	2%	132	2.64
TOTAL		332	3

REVISIONS

DRAWN BY :	VJS	
CHECKED BY :	RHE	
DATE: 07	7-29	<u>-20</u> 2
SCALE : 1/1	6" =	1'-
FILE :		
SHEET NUMBER :		



LIFE SAFETY & OCCUPANCY PLAN

1/16" = 1'-0"

OCCUPANCY STORAGE 8,100 SF / 500 = 16.2

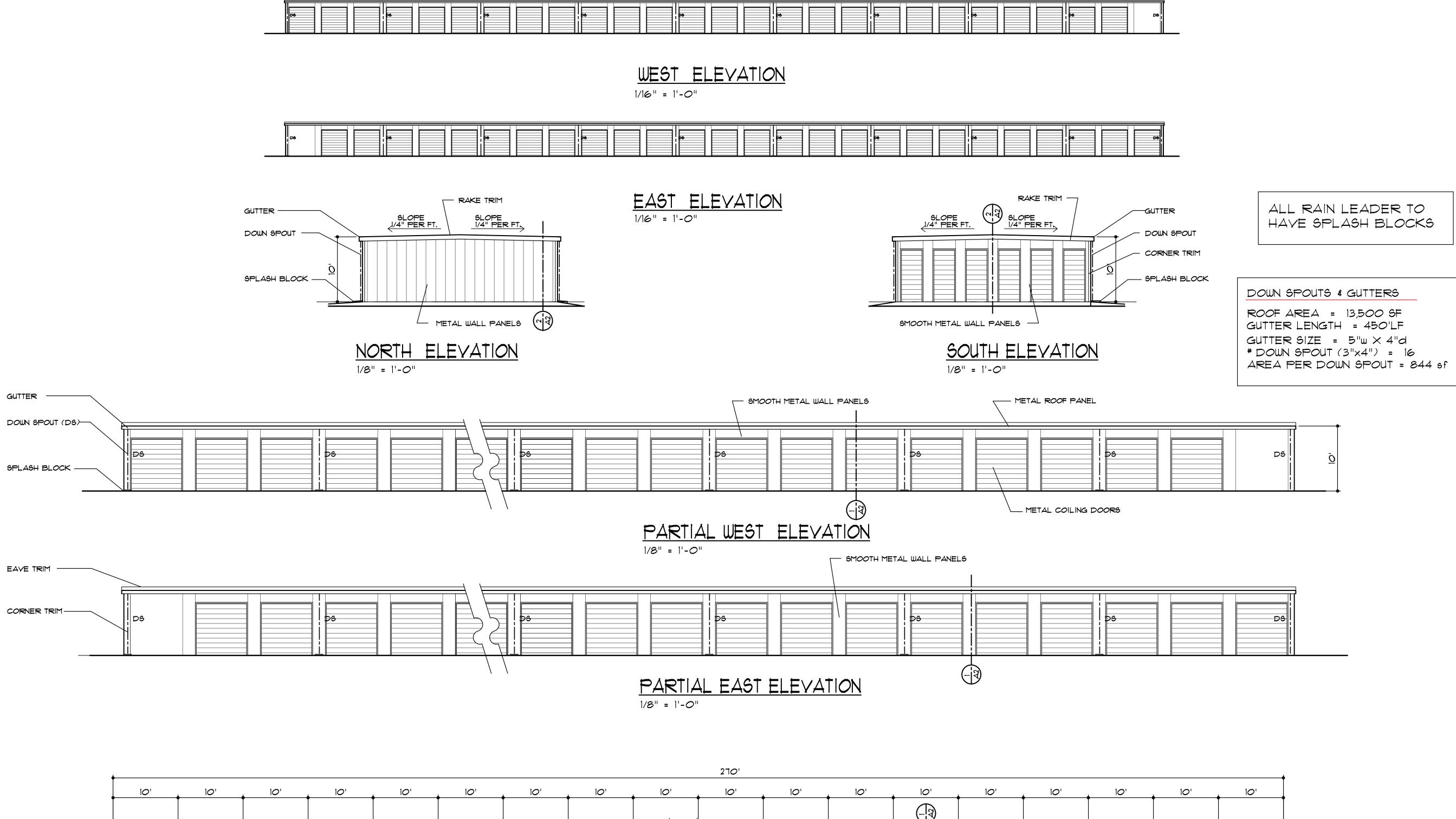


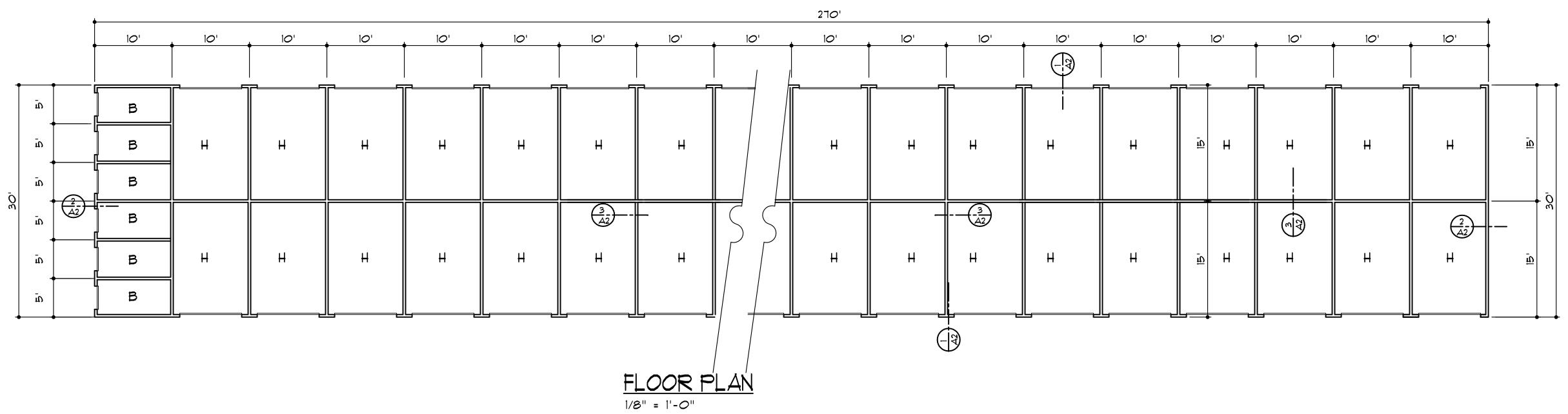
REVISIONS CHECKED BY : VJS 07-29-2022

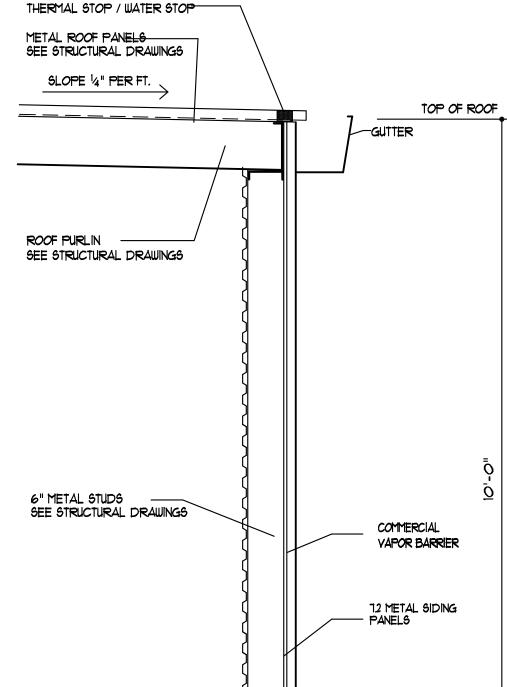
SCALE : AS SHOWN FILE:

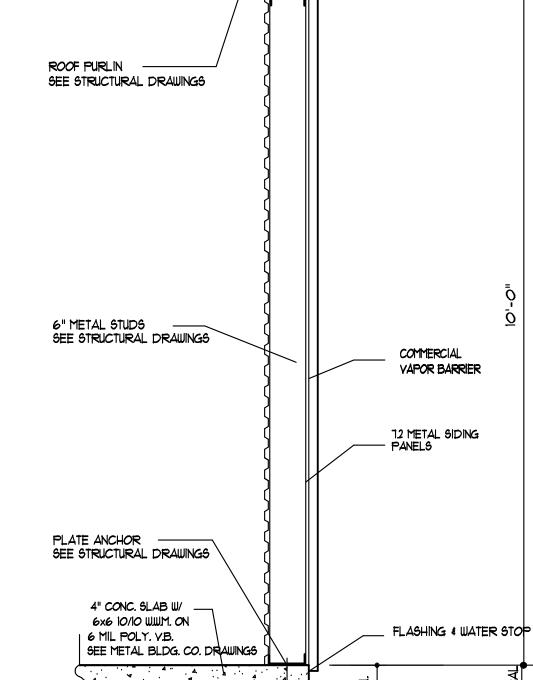
8 0 0

SHEET NUMBER :









COMPACTED SOIL

THICKEN CONC. FOOTING: — SEE STRUCTURAL DRAWINGS

NOTE: DO NOT SCALE DRAWINGS PDF & PRINTING CHANGES SCALE

SHEET NUMBER: BLDG. 'B'

DRAWN BY:

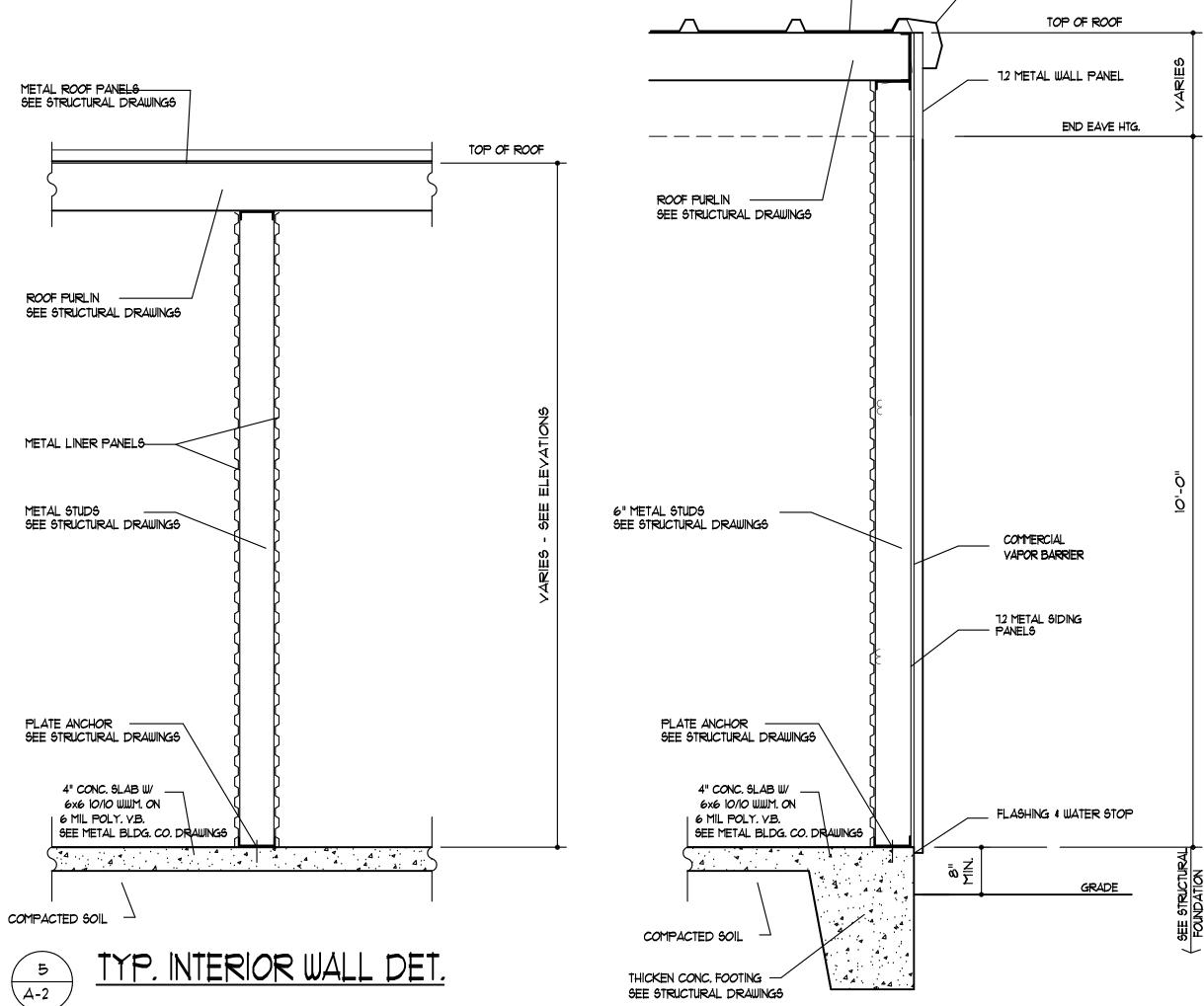
CHECKED BY : VJS

SCALE : 3/4" = 1'-0"

REVISIONS

VJS

07-29-2022



METAL ROOF PANELS ———— SEE STRUCTURAL DRAWINGS

- METAL RAKE TRIM

TYP. EXTERIOR END WALL DET.



LIFE SAFETY & OCCUPANCY PLAN 1/16" = 1'-0"

OCCUPANCY STORAGE 12.400 SF / 500 = 25

BUILDING 'C'

NEW STORAGE FACILITY FOR

SPOUT SPRINGS, NC

ALLOWABLE HEIGHT

Provide code reference if the "Shown on Plane" quantity is not based on Table 504.3 or 504.4.

NS = BUILDING NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

Building Height in Feet (Table 504.3

Building Height in Stories (Table 504.4)

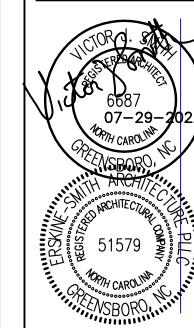
Code Reference

TOTAL

Show on plans

APPENDIX "B" BUILDING CODE SUMMARY Name of project: BLDG. 'C' NEW FACILITY FOR HARNETT SELF STORAGE FIRE PROTECTION REQUIREMENTS ENERGY REQUIREMENTS: Phone: 336-855-1286 E-mail: erskinesmith@bellsoutn.net BUILDING ELEMENT FIRE SEPARATION DISTANCE The following data shall be considered minimum and any special attribute required to meet the energy code shall also DESIGN * FOR RATED RATED PENETRATION JOINTS DETAIL * AND - SHEET * Owned By: ☐ City/County Code Enforcement Jurisdiction: ☐ City SANFORD I REQ'D PROVIDE (W/ pe provided. Each Designer shall furnish the furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost standard reference design vs annual energy cost for the Victor J. Smith including columns, girder trusses ■ 3 □ 4 □ 5 Architectural ERSKINE-SMITH Architecture, PLLC Victor J. Smith 6687 336-855-1286 erskinesmith@bellsoutn.net Bearing walls Method of Compliance Exterior (Fire Alarm (Energy Code) □ Prescriptive NORTHWEST Plumbing_ Mechanical □ Performance (Energy Code) (ASHRAE 90.1) □ Prescriptive Sprinkler-Standpipe_ ☐ Performance (ASHRAE 90.1) Structural_ SOUTHWEST WALL Retaining Walls >5' High. Interior THERMAL ENVELOPE Nonbearing walls and partitions 2018 NC BUILDING CODE: ■ New Building ☐ Addition ☐ Renovation Roof/ceiling Assembly (each assembly) Exterior Walls ☐ 1st Time Interior Completion Description of assembly _ ☐ Shell/Core - Contact the local inspection jurisdiction for possible North U-Value of total assembly_ N/A R-Value of insulation additional procedures and requirements East Skylights in each assembly Phased Construction - Shell/Core - Contact the local inspection N/A U-Value of skylight total square footage of skylights in each asse jurisdiction for possible additional procedures and requirements N/A 0 South 2018 NC EXISTING BUILDING CODE: EXISTING: 🗆 Prescriptive 🗆 Repair Exterior Walls (each assembly) Alterations □ Level I ☐ Level II ☐ Level III Floor construction Description of assembly ☐ Historic Property ☐ Change of Use including supporting beams and joists U-Value of total ass ORIGINAL OCCUPANCY (Ch. 3): PROPOSED OCCUPANCY (Ch. 3): 9-1 STORAGE RENOYATED: (date) Floor Ceiling Assembly Openings (wind the blacors with glazing) U-blue assembly Interest gain coefficient Current □ I ■ II □ III □ IV RISK CATEGORY (Table 1604.5): Columns Supporting Roof Proposed □ | ■ || □ || | □ || ∨ Roof construction including supporting beams BASIC BUILDING DATA Floor Ceiling Assembly ■ II-B □ Y-B □ NFPA 13R □ NFPA 13D Columns Supporting Roof Shafts Enclosures - Exit □ NFPA 13 ■No □Partial □Yes U-Value of total assembly Standpipes: ■ No □Yes Class: □ I N/A R-Value of insulation Fire District: ■No ☐ Yes Flood Hazard Area: No Tes Shafts Enclosures - Others Special Inspections Required: ■ NO ☐ YES (Contact the local Inspections jurisdiction for additional procedures and requirements) Corridor Separation N/A Floors over unconditioned space (each assem Description of assembly Occupancy/Fire Barrier Separation Manual Fire Alarm System with Notification: U-Value of total assembly Party/Fire Wall Separation 3/A-3 2-hr u-419 R-Value of insulation Gross Building Area: Floors slab on grade FLOOR Tenant / Dwelling Unit Description of assembly 4th Floor Sleeping Unit Separation U-Value of total assembly 3rd Floo Incidental Use Separation N/A R-Value of insulation 2nd Floor Horzontial/vertical requirement slab heated PERCENTAGE OF WALL OPENINGS CALCULATIONS Basement 9,200 sF 🐰 12,400 sF 12,400 sf TOTAL Protection (Table 705.8) STRUCTURAL DESIGN Primary Occupancy Classification(s): ALLOWABLE AREA □*A*-2 □*A*-3 UNPROTECTED, NONSPRINKLERED NO LIMIT Assembly DESIGN LOADS ± UNPROTECTED. NONSPRINKLERED | NO LIMIT PER TABLE 705.8.1 ex. 2 WEST 14.5 ASSUMED PROPERTY LINE 64% Importance Factors : Educational [Seismic (le) ☐ F-1 Moderate Factory : UNPROTECTED. NONSPRINKLERED NO LIMIT PER TABLE 705.8.1 ex. 2 SOUTH 17.5' ASSUMED PROPERTY LINE High Hazard □H-1 Detonate □H-2 Deflagrate □H-3 Combust □H-4 Health □H-5 HPM □ 1-1 Condition Live Loads UNPROTECTED. NONSPRINKLERED | NO LIMIT PER TABLE 705.8.1 ex. 2 1-2 Condition 🔲 1 □ 1-3 Condition □ 1 □ 2 □ 3 □ 4 □ 5 LIFE SAFETY PLAN REQUIREMENTS Ground Snow Load: Life Safety Plan Sheet * COVER SHEET Residential 🗌 R-1 🗌 R-2 📗 R-3 🗌 R-4 Ultimate Wind Speed_ Wind Loads : ☐ Fire and/or smoke rated wall locations (Chapter 7) ■ 6-1 Moderate 🗆 6-2 Low Exposure Category __ □ Assumed and real property line locations (if not on site plan) ☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage Exterior wall opening area with respect to distance to assumed property lines (705.8) Utility and Miscellaneous [Occupancy Use for each area as it relates to occupancy load calculation (Table 1004.12) SEISMIC DESIGN CATEGORY Accessory Occupancy Classification(s): Incidental Uses (Table 509): □ Occupant loads for each area ☐ Exit access travel distance (1017) Provide the following Seismic Design Praince Special Uses (Chapter 4 - List Code Sections): ■ Common path of travel distance (Table 1006.2.1 \$ 1006.3.2(1)) Riase Category (Table 1604.5) Spectral Response Acceleration Site Classification (Assistant A Basic structural system (Check one) Special Previsions: (Chapter 5- List Code Sections):_ □ Dead end lengths (1020.4) ☐ Clear exit widths for each exit door Tixed Occupancy: lacktriangle No \Box Yes Separation: ${\color{red} {\cal O}}$ Hr. Exception: \Box □ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3) ☐ Presumptive ☐ Historical Data ■ Non-separated Use (508.3) ☐ Actual occupant load for each exit door A separate schematic plan indicating where fire rated floor ceiling and/or roof structure is provided for purposes of occupancy separation The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire Location of doors with panic hardware (1010.1.10) Dual w/ Intermediate R/C or Special Steel Inverted Pendulum building. The most restrictive type of construction, so determined, shall apply to the Location of doors with delayed egress locks and the amount of delay (1010.1.9.7) □ Location of doors with electromagnetic egress locks (IOIO.1.9.9) □ Location fo doors equipped with hold-open devices ☐ Separated Mixed Occupancy (508.4) - See below for area calculations For each story, the area of the occupancy shall be such that the sum of the ratios of the ☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic □ location of emergency escape windows (1030) □ The square footage of each fire area (202) Architectural, Mechanical, components anchored? Tes No actual floor area of each use divided by allowable floor area for each use shall not exceed 1. ☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)☐ note any code exceptions or table notes that may have been utilized regarding the items above LATERAL DESIGN CONTROL: ☐ Earthquake (Lower Level - Bidg. A & B) ☐ Wind (Upper Level - Bldg. A & B and C & D) ACCESSIBLE DWELLING UNITS (Section 1107) SOIL BEARING CAPACITIES: Field Test (provide copy of test report)_ ACCESSIBLE ACCESSIBLE TYPE "A" TYPE "A" TYPE "B" UNITS UNITS UNITS UNITS UNITS REQUIRED PROVIDED REQUIRED (C) (D) AREA FOR FRONTAGE ALLOWABLE AREA PER STORY NO. DESCRIPTION Pile size, type, and capacity BLDG. AREA PER STORY (ACTUAL) TABLE 50624 AREA INCREASE 1,5 STORY OR UNLIMITED 2. ACCESSIBLE PARKING (Section 1106) UNIT MIX - TOTAL 4 BLDG. LOT OR PARKING TOTAL OF PARKING SPACES) Frontage area increases from Section 5062 are computed thus: TOTAL NO. REQUIRED PROVIDED REGULAR WITH 5' VAN SPACES WIDTH a. Perimeter which fronts a public way or open space having 20 feet minimum width =_____(F) ACCESSIBLE b. Total Building Perimeter = c. Radio (F/P) = _____ (F/P) ACCESS AIGLE 132" ACCESS AIGLE 8' ACCESS IGLE PROVIDED d. W = Minimum width of public way = ____(W) e. Percent of frontage increase If = 100 (F/P - 025) x W/30 = _____ % 5'x10' 10'x10' G 105 2) Unlimited area applicable under conditions of Sections 507 10'x15' 183 SEE SITE PLAN 3) Maximum Building Area = total number of stories in the building x D (506.2)10'x20' The maximum area of open parking garages must comply with 406.5.4. The maximum area of air traffic control towers must comply with 412.3.1. 10'x30' 12'x30' Z 30 PLUMBING FIXTURE REQUIREMENTS (Table 2902.1) (5) Frontage increase is based on the unsprinklered area value in table 5062 162 58 68 44 332

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REVISIONS

ACCESSIBLE

BLDG. A

BLDG. A

BLDG.

* OF ADA UNITS REQ.

10

2.64

* OF UNITS

200

132

332

8,284 | 8,100 | 12,400 | 13,500 | SQ. FT

23,508 8,100 12,400 13,500 57,508 6Q, FT. GROSS TOTAL

PERCENTAGE

5%

2%

NOTE: ALL ACCESSIBLE STORAGE UNTIS DOORS SHALL HAVE A MAX. 5 LB. PULL

NET SQ. FT. PER BLDG

UNIT CALCULATIONS

CODE REQUIREMENTS

TOTAL

5% OF THE FIRST 200 UNITS

2% OF REMAINING UNITS

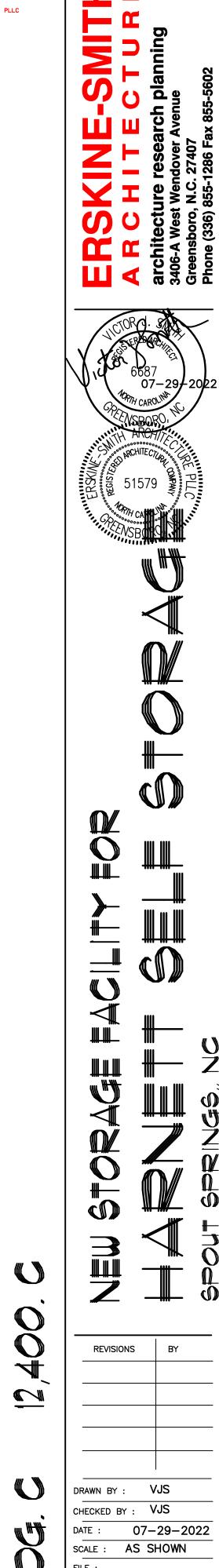
MALE FEMALE UNISEX TUBS REGULAR ACCESSIBLE

SPECIAL APPROVALS

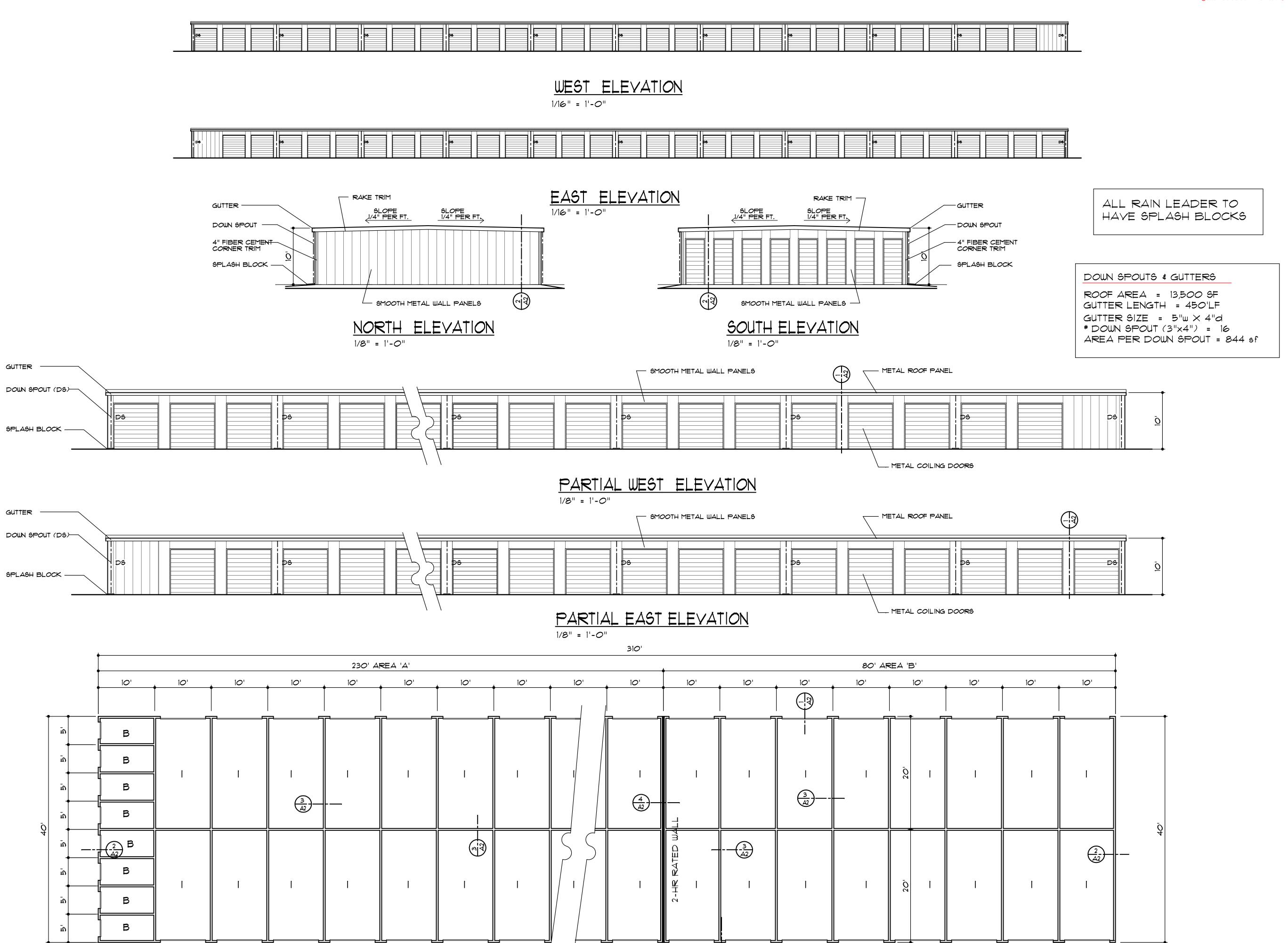
Special approval : (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below:

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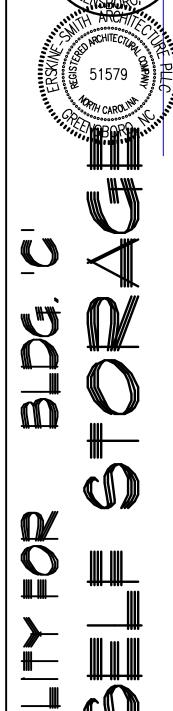
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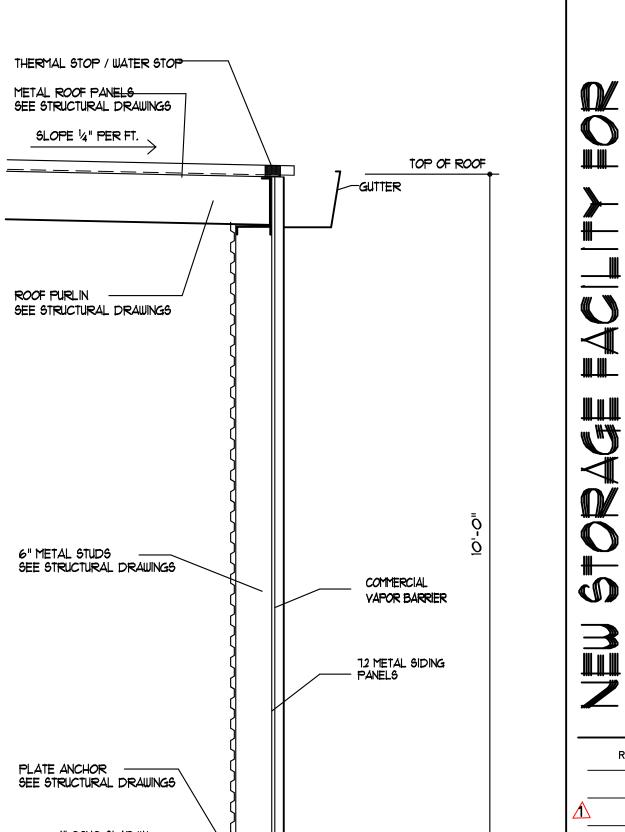


SHEET NUMBER :



FLOOR PLAN





FLASHING & WATER STOP

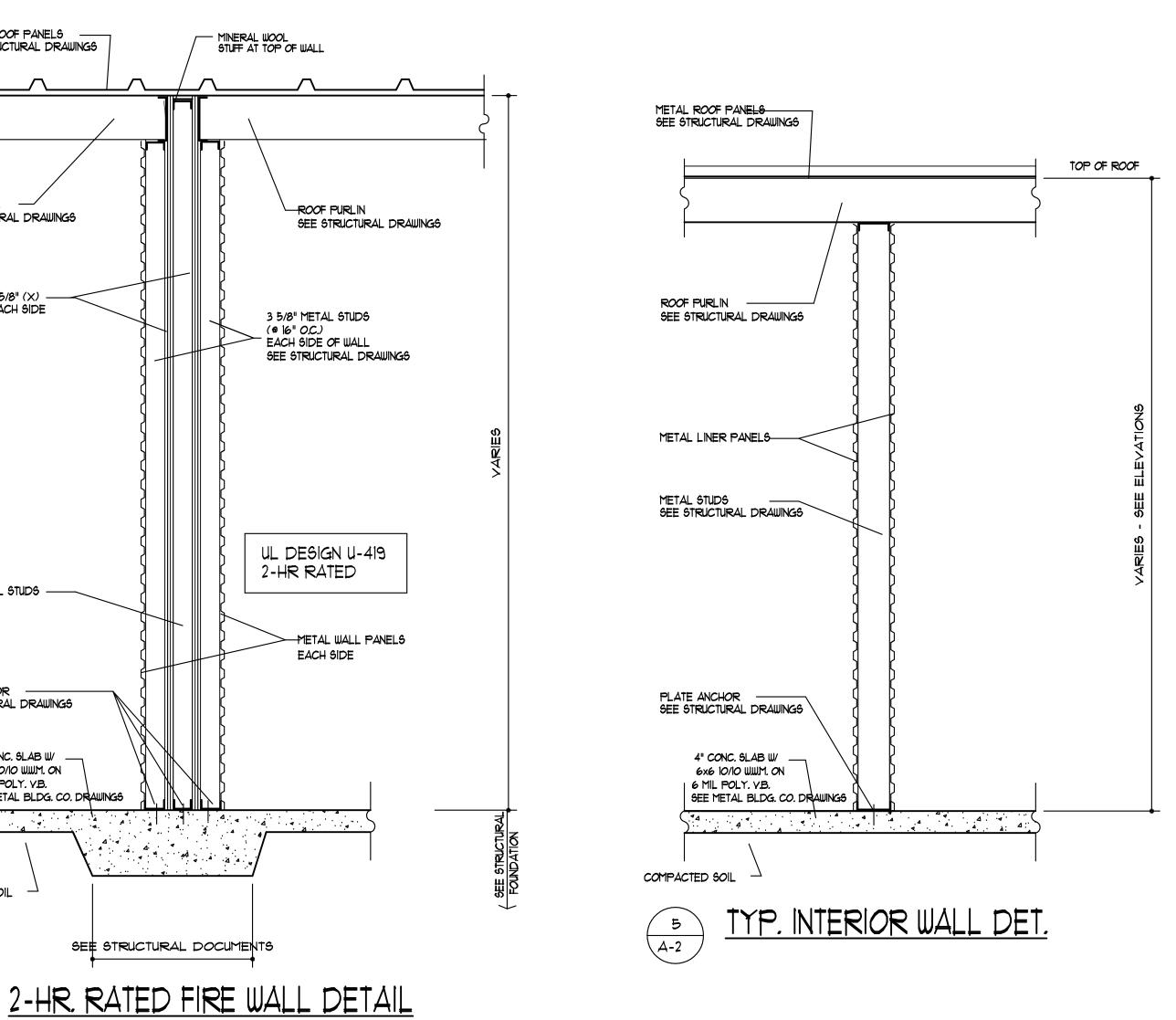
NOTE: DO NOT SCALE DRAWINGS

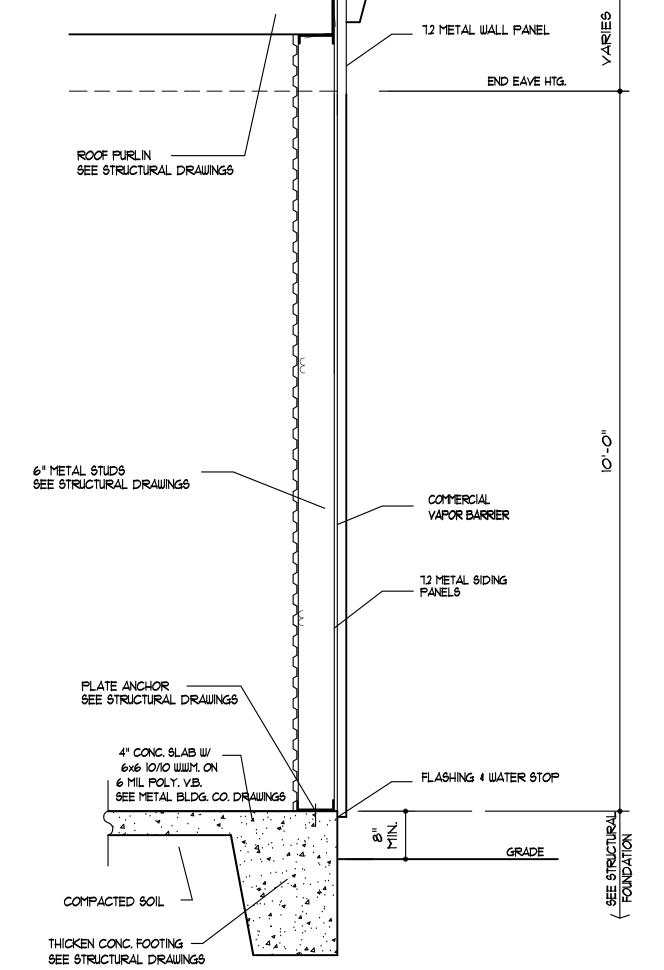
PDF & PRINTING CHANGES SCALE

REVISIONS VJS DRAWN BY: CHECKED BY : VJS 07-29-2022 SCALE : 3/4" = 1'-0"

SHEET NUMBER :

BLDG. 'C'





TYP. EXTERIOR END WALL DET.

METAL RAKE TRIM

TOP OF ROOF

THERMAL STOP / WATER STOP

METAL ROOF PANELS SEE STRUCTURAL DRAWINGS

SLOPE 4" PER FT.

6" METAL STUDS SEE STRUCTURAL DRAWINGS

PLATE ANCHOR SEE STRUCTURAL DRAWINGS

COMPACTED SOIL

THICKEN CONC. FOOTING: — SEE STRUCTURAL DRAWINGS

4" CONC. SLAB W/
6X6 10/10 WWM. ON
6 MIL POLY. V.B.
SEE METAL BLDG. CO. DRAWINGS

METAL ROOF PANELS ———— SEE STRUCTURAL DRAWINGS

ROOF PURLIN

SEE STRUCTURAL DRAWINGS

(2) LAYER\$ 5/8" (X) — DRYWALL EACH SIDE

3 5/8" METAL STUDS -9 16" O.C.

COMPACTED SOIL

4" CONC. SLAB W/ _ 6x6 10/10 W.W.M. ON

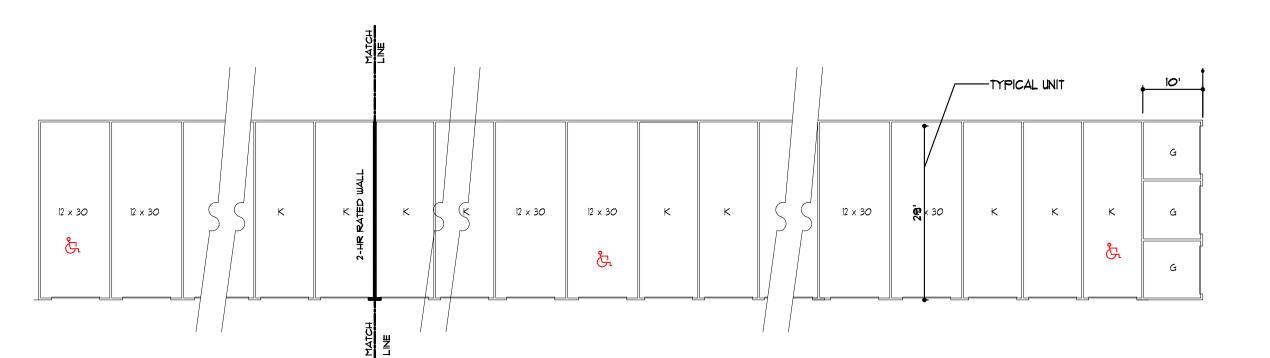
6 MIL POLY. V.B. SEE METAL BLDG. CO. DRAWINGS

SEE STRUCTURAL DOCUMENTS

- MINERAL WOOL STUFF AT TOP OF WALL

UL DESIGN U-419 2-HR RATED

EACH SIDE



LIFE SAFETY & OCCUPANCY PLAN

OCCUPANCY

13,500 SF / 500 = 27

STORAGE

ADA UNITS WILL INCLUDE AN ELECTRIC DOOR LIFT OPERATOR WITH BATTERY BACKUP, PHOTO EYES, EMERGENCY RELEASE AND KEYPAD FOR OPERATION. KEYPAD WILL BE MOUNTED WITHIN ACCESSIBLE REACH RANGES PER ANSI 308.

MANUFACTURER: LIFTMASTER 8950W OR EQUAL

HORIZONTAL SLIDING DOORS SHALL COMPLY WITH SECTION 1010.1.4.3 OF NCBC. ELECTRICAL TO BE COORDINATED.

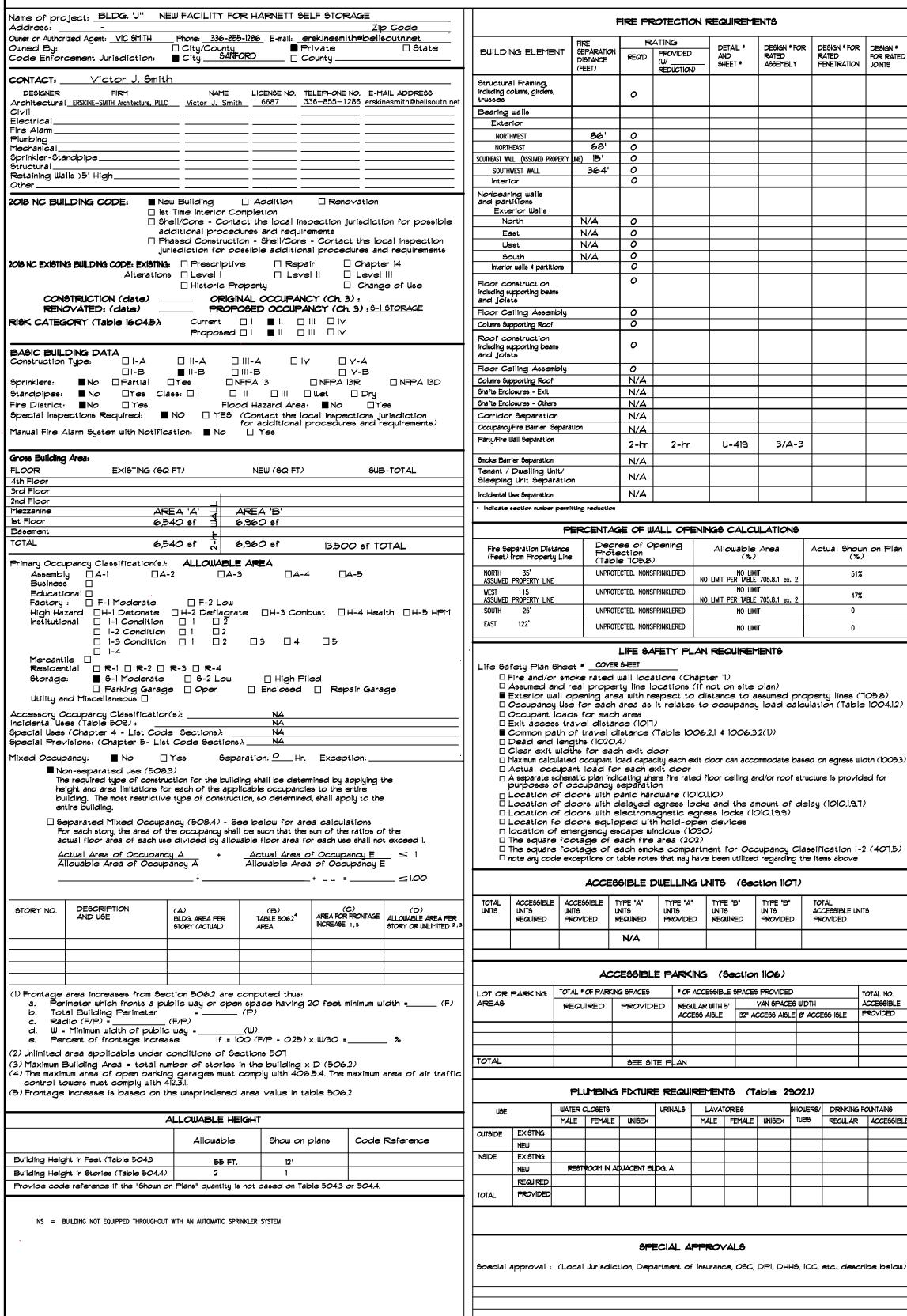
OCCUPANT DISPERSAL FROM EXITS TO PUBLIC ROAD SHOWN ON SITE PLAN

BUILDING 'J'

NEW STORAGE FACILITY FOR

SPOUT SPRINGS, NC

BUILDING CODE SUMMARY APPENDIX "B"



ctural Framing, ing columns, girders, es ing walls	FIRE SEPARATION DISTANCE (FEET)	REQID	ATING: PROVIDED (W/ REDUCTION)	DETAIL * AND SHEET *	DESIGN * FOR RATED ASSEMBLY	DESIGN * FOR	DESIGN *	ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute required to meet the energy code sha
etural Framing, ing columns, girders, es ing walls	DISTANCE		(W/	AND	RATED		DESIGN "	
ing columns, girders, es ing walls		0			ASSEMBLI	PENETRATION	FOR RATED JOINTS	be provided. Each Designer shall furnish the furnish the required portions of the project information for the pla sheet. If performance method, state the annual energy cost standard reference design vs annual energy cost for proposed design.
								Climate Zone ■ 3 □ 4 □ 5
xterior	İ							
								Method of Compliance
NORTHWEST	86'	0						☐ Prescriptive (Energy Code)
NORTHEAST	68'	0						☐ Performance (Energy Code)
ST WALL (ASSUMED PROPERTY	INE) 15'	ō						☐ Prescriptive (ASHRAE 90.1)
OUTHWEST WALL	364'	ō						☐ Performance (ASHRAE 90.1)
terior		0						Prescriptive (ASHRAE 90.1) Performance (ASHRAE 90.1) THERMAL ENVELOPE Roof/ceiling Assembly (each assembly) Description of assembly U-Value of total assembly R-value of insulation Skylights in each assembly U-Value of skylight total square footage of skylights in each assemble
pearing walls partitions								Roof/ceiling Assembly (each assembly)
Exterior Walls								Description of assembly
North	N/A	0						U-Value of total assembly
East	N/A	ō			1			R-Value of insulation
West	N/A	0		1	1			Skylights in each assembly
South	N/A	0		1	1			U-Value of skylight total square footage of skylights in each assembly
terior walls & partitions	177	0						
construction ing supporting beams joists		0						total square footage of skylights in each assembly Exterior Walls (each assembly) Description of assembly U-Value of total assembly R-Value of insulation Openings (windship)
Ceiling Assembly		0						Chemings (wind all core with glazing)
		0		1				II. Assembly
ns Supporting Roof								U-12 (G) assembly
f construction ing supporting beams Joists		0						Door R-Values:
Ceiling Assembly		0						Walls below grade (each assembly)
ns Supporting Roof		N/A		1				Description of assembly
Enclosures - Exit		N/A						U-Value of total assembly
Enclosures - Others		N/A			1			R-Value of insulation
idor Separation		N/A						Floors over unconditioned space (each assembly)
pancy/Fire Barrier Separat	tion	N/A						Description of assembly
Fire Wall Separation		IN/A		1	<u> </u>			U-Value of total assembly
wan ooparation		2-hr	2-hr	u-419	3/4-3			R-Value of insulation
Barrier Separation		N/A						
nt / Dwelling Unit/ oing Unit Separation	n	N/A						Floors slab on grade Description of assembly
ntal Use Separation		N/A						U-Value of total assembly R-Value of insulation
cate section number permit	tting reduction		I		Į.	I	ı	Horzontial/vertical requirement
								slab heated

NO LIMIT NO LIMIT PER TABLE 705.8.1 ex. :

NO LIMIT

NO LIMIT

MALE FEMALE UNISEX TUBS REGULAR ACCESSIBLE

47%

STRUCTURAL DESIGN DESIGN LOADS ± Importance Factors : Seismic (le) Live Loads Ground Snow Load: Wind Loads : Ultimate Wind Speed_ Exposure Category _ SEISMIC DESIGN CATEGORY Provide the following Seismic Design Paramet Riase Category (Table 1604.5)

Spectral Response Acceleration

Site Classification (Asceleration A Book Basic structural system Check one) Dual w/ Intermediate R/C or Special Steel
Inverted Pendulum ☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic

LATERAL DESIGN CONTROL: | Earthquake (Lower Level - Bldg. A & B)

☐ Wind (Upper Level - Bldg. A & B and C & D)

ACCESSIBLE

BLDG. A

BLDG. A

BLDG.

UNITS

		UNIT 1	MX -	TOT	4L 4	BLDO	ā .
TOTAL NO. ACCESSIBLE			E	BUILDIN	NG TYF,	È	
PROVIDED	SIZE	MARK	Д	m	N	J	TOTAL
	#\'\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	ч X — I G U Ъ	4 <u>3 0</u> 4 <u>4 </u>	- 6 - 5		· · 3 · · 2 5	66 81 58 84 30 44 30

Field Test (provide copy of test report)_

SOIL BEARING CAPACITIES:

Pile size, type, and capacity

23,508 8,100 12,400 13,500 57,508 90.FT. GROSS TOTAL GROSS SQ. FT. PER BLDG UNIT CALCULATIONS

NET SQ. FT. PER BLDG

CODE REQUIREMENTS	PERCENTAGE	* OF UNITS	* OF ADA UNITS REQ.
5% OF THE FIRST 200 UNITS	5%	200	10
2% OF REMAINING UNITS	2%	132	2.64
TOTAL		332	3

8,284 8,100 12,400 13,500 SQ. FT

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REVISIONS DRAWN BY: VJS CHECKED BY : RHF 07-29-2022 SCALE : 1/16" = 1'-0"FILE:

SHEET NUMBER:

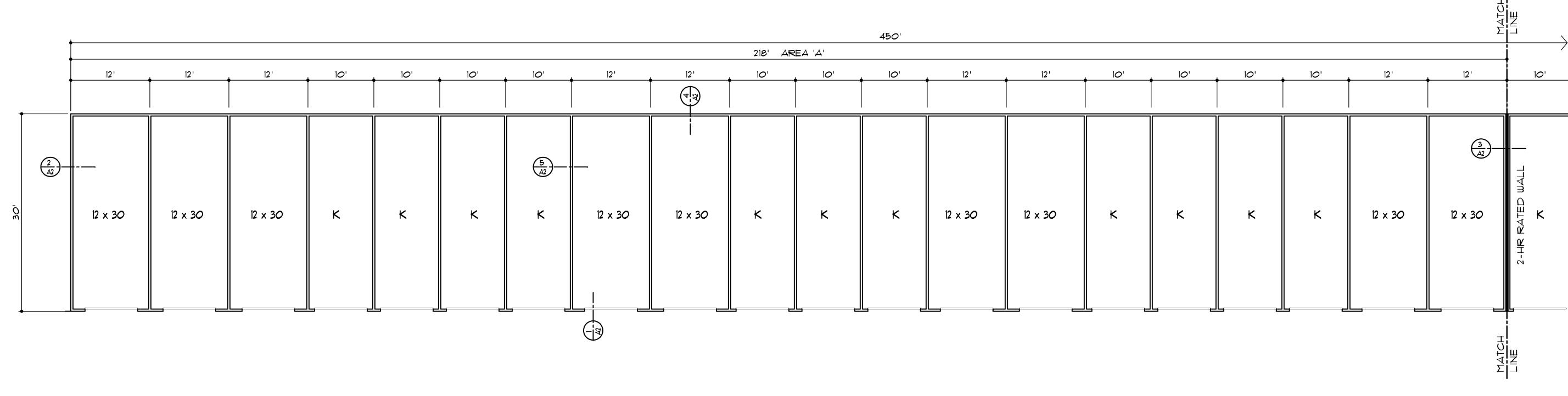


REVISIONS BY

DRAWN BY: VJS CHECKED BY : VJS DATE: 07-29-2022

SCALE : AS SHOWN SHEET NUMBER :

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PARTIAL FLOOR PLAN 1/8" = 1'-0"

450' 232' AREA 'B' 12' 12 x 30
PARTIAL FLOOR PLAN

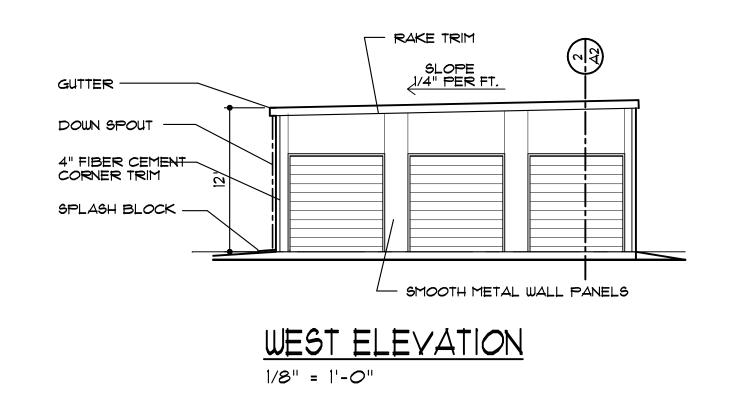
1/8" = 1'-0"

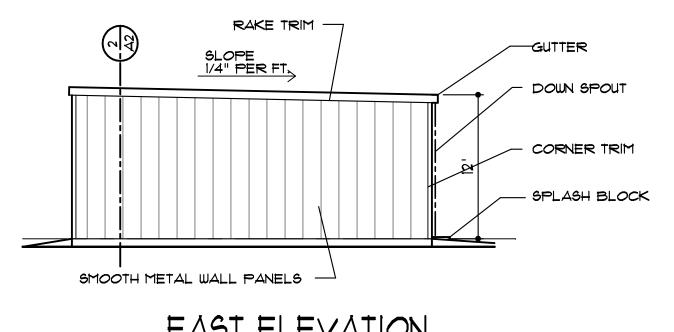
SCALE : AS SHOWN SHEET NUMBER :

NORTH ELEVATION
1/16" = 1'-0"

SOUTH ELEVATION

1/16" = 1'-0"





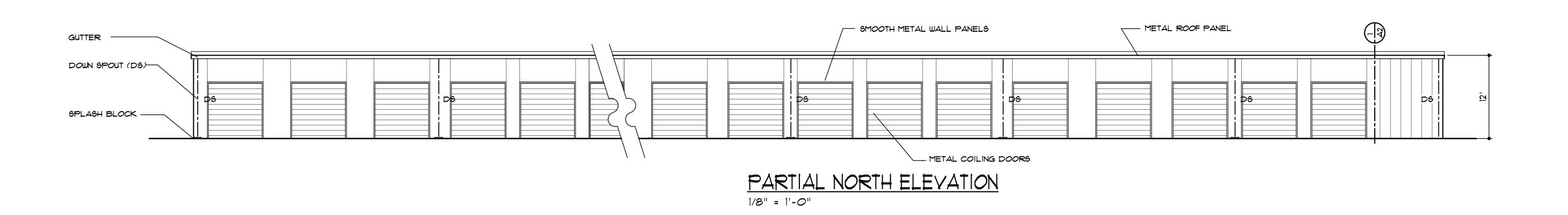
EAST ELEVATION 1/8" = 1'-0"

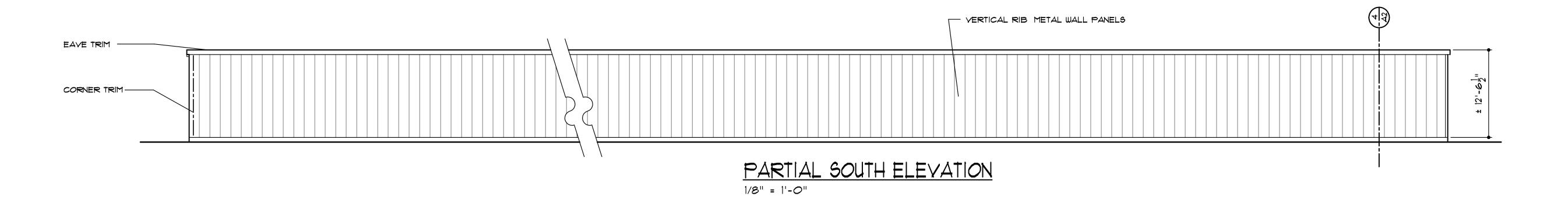
DOWN SPOUTS & GUTTERS

ROOF AREA = 13,500 SF GUTTER LENGTH = 450'LF GUTTER SIZE = 5"w × 4"d # DOWN SPOUT (3"x4") = 16 AREA PER DOWN SPOUT = 844 sf

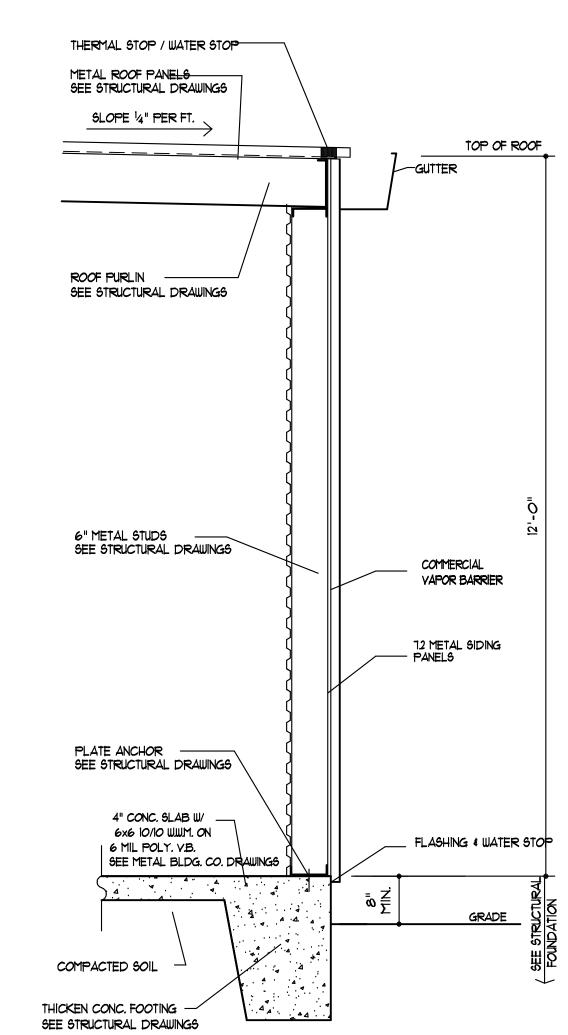
ALL RAIN LEADER TO

HAVE SPLASH BLOCKS





METAL ROOF PANELS SEE STRUCTURAL DRAWINGS © 2014 ERSKINE-SMITH Architecture, P. L. L. C. TOP OF ROOF ROOF PURLIN SEE STRUCTURAL DRAWINGS METAL LINER PANELS-METAL STUDS SEE STRUCTURAL DRAWINGS PLATE ANCHOR SEE STRUCTURAL DRAWINGS 4" CONC. SLAB W/ 6x6 10/10 W.W.M. ON | 6 MIL POLY, V.B. SEE METAL BLDG. CO. DRAWINGS



REVISIONS

DRAWN BY:

SHEET NUMBER :

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CHECKED BY : VJS

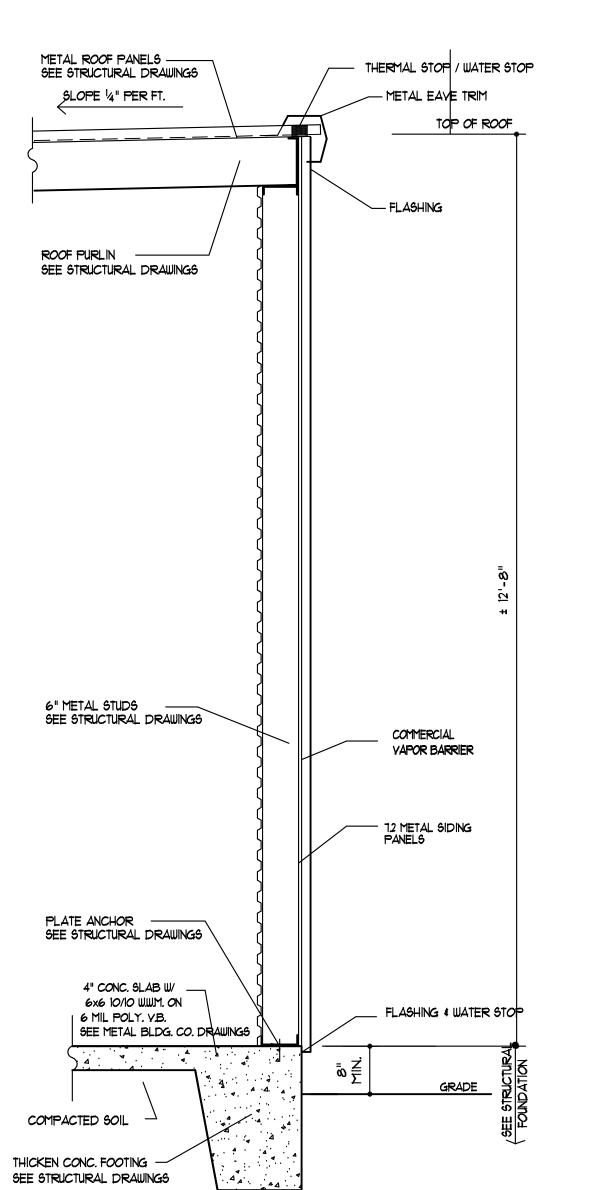
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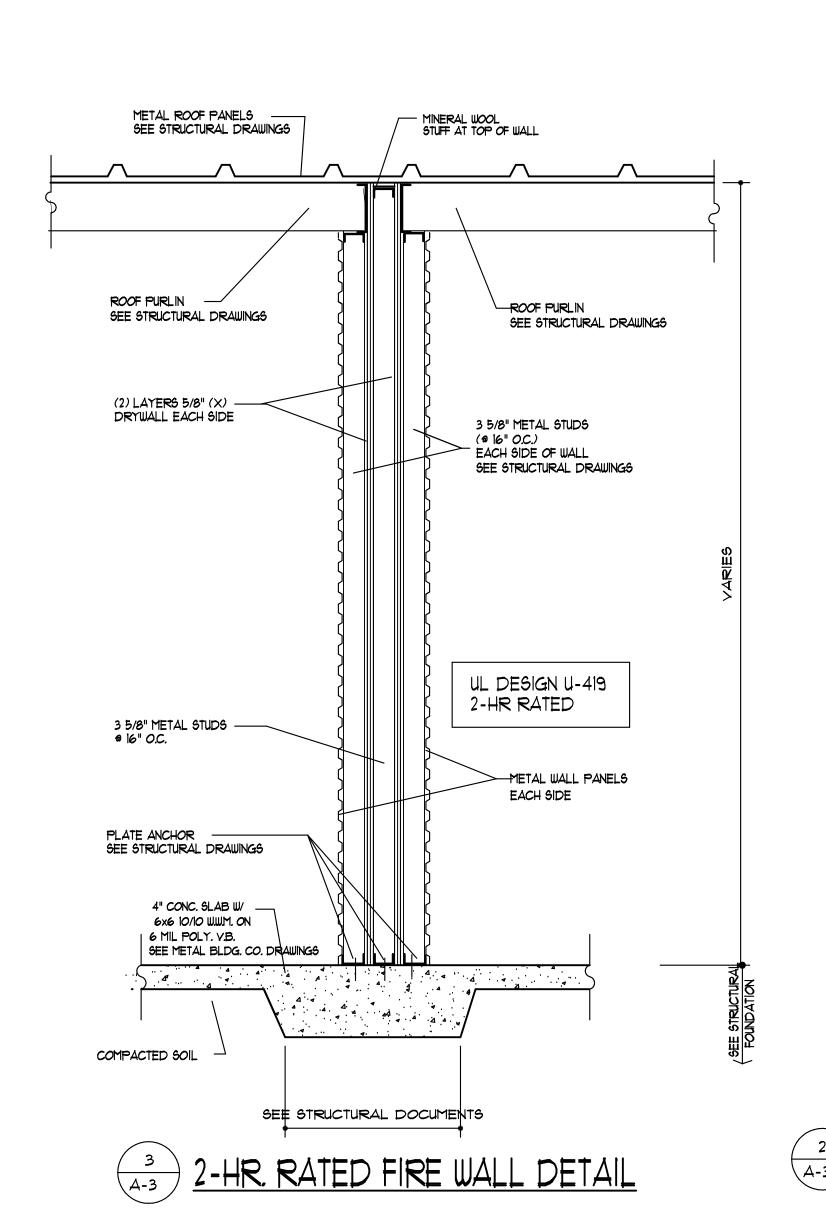
07-29-2022

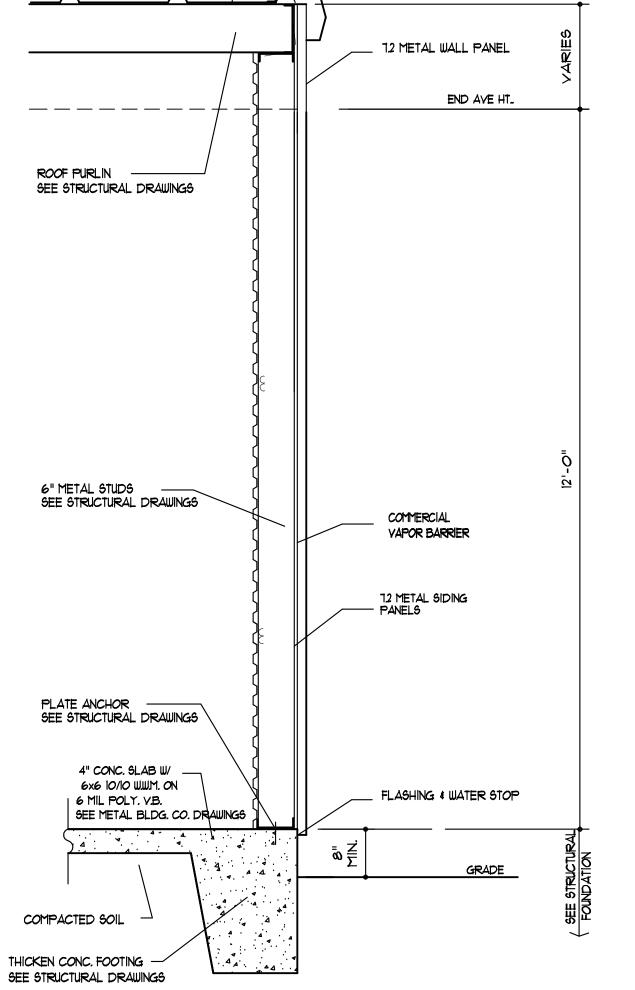
COMPACTED SOIL TYP. INTERIOR WALL DET.

STRUCTURAL ENGINEERS DESIGN # DETAILS SHALL OVERRIDE ARCHITECTURAL DETAILS









TYP. EXTERIOR END WALL DET.

METAL RAKE TRIM

TOP OF ROOF

METAL ROOF PANELS ———— SEE STRUCTURAL DRAWINGS