

2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
(EXCEPT 1 AND 2—FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: MINDFUL THERAPY  
Address: 3266 RAY ROAD, SPRING LAKE, NC Zip Code 28390  
Proposed Use: THERAPY OFFICES  
Owner or Authorized Agent: JASON WELLS Phone (910) 436-9191 E-Mail jason@wellsrealty.com  
Owned By: JASON WELLS  City/County  Private  State  
Code Enforcement Jurisdiction:  City  County HARNETT  State NORTH CAROLINA

CONTACT: GEORGE M. ROSE, P.E.

| DESIGNER                     | FIRM                        | NAME                  | LICENSE #   | TELEPHONE #            |
|------------------------------|-----------------------------|-----------------------|-------------|------------------------|
| Architectural                | N/A                         | N/A                   |             | <u>george@gmpe.com</u> |
| Civil                        | N/A                         | N/A                   |             |                        |
| Electrical                   | N/A                         | N/A                   |             |                        |
| Fire Alarm                   | N/A                         | N/A                   |             |                        |
| Plumbing                     | N/A                         | N/A                   |             |                        |
| Mechanical                   | N/A                         | N/A                   |             |                        |
| Sprinkler-Standpipe          | N/A                         | N/A                   |             |                        |
| Structural                   | N/A                         | N/A                   |             |                        |
| Precast                      | N/A                         | N/A                   |             |                        |
| Retaining Walls >5' Building | <u>GEORGE M. ROSE, P.E.</u> | <u>GEORGE M. ROSE</u> | <u>1135</u> | <u>910-471-5622</u>    |

2018 NC CODE FOR:  New Construction  
 1st Time Interior Completion  
 Shell/Car  
 Phased Construction - Shell/Car  
 Renovation

2018 NC EXISTING BUILDING CODE:  Prescriptive  Repair  Chapter 14  
Alteration:  Level I  Level II  Level III  
 Historic Property  Change of Use

CONSTRUCTED: 1970 ORIGINAL OCCUPANCY(S) (Ch. 3):  
RENOVATED: \_\_\_\_\_ CURRENT OCCUPANCY(S) (Ch. 3): STORAGE 5-2  
RISK CATEGORY (table 1604.5) Current:  I  II  III  IV  
Proposed:  I  II  III  IV

BASIC BUILDING DATA  
Construction Type:  I-A  II-A  III-A  IV  V-A  
(check all that apply)  I-B  II-B  III-B  V-B

Sprinklers:  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 130

Standpipes:  No  Yes Class:  I  II  III  Wet  Dry

Fire District:  No  Yes (Primary)  Flood Hazard Area:  No  Yes

Special Inspections Required:  No  Yes

Gross Building Area:

| FLOOR     | EXISTING (SQ FT) | NEW (SQ FT) | RENOVATED (SQ FT) | SUB-TOTAL |
|-----------|------------------|-------------|-------------------|-----------|
| 6th Floor |                  |             |                   |           |
| 5th Floor |                  |             |                   |           |
| 4th Floor |                  |             |                   |           |
| 3rd Floor |                  |             |                   |           |
| 2nd Floor |                  |             |                   |           |
| Mezzanine |                  |             |                   |           |
| 1st Floor | <u>1,208</u>     |             | <u>1,208</u>      |           |
| Basement  |                  |             |                   |           |
| TOTAL     | <u>1,208</u>     |             | <u>1,208</u>      |           |

ALLOWABLE AREA  
Primary Occupancy Classification: SELECT ONE  
Business  A-1  A-2  A-3  A-4  A-5  
Educational   
Factory  F-1 Moderate  F-2 Low  
Hazardous  H-1 Detonate  H-2 Deflagrate  H-3 Combust  H-4 Health  H-5 HPM  
Institutional  I-1 CONDITION  I-2  I-3 CONDITION  I-4  
 I-1 CONDITION  I-2  I-3 CONDITION  I-4

Mercantile  R-1  R-2  R-3  R-4  
Residential  S-1 Moderate  S-2 Low  High-piled  
Storage  Parking Garage  Open  Enclosed  Repair Garage  
Utility and Miscellaneous

Accessory Occupancy Classification(s): \_\_\_\_\_  
Incidental Uses (Table 509): \_\_\_\_\_  
Special Uses (Chapter 4 - List Code Sections): \_\_\_\_\_  
Special Provisions (Chapter 5 - List Code Sections): \_\_\_\_\_  
Mixed Occupancy:  No  Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_  
 Non-Separated Use (508.3)  
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.  
 Separated Use (508.4)  
See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.  
of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

| STORY NO. | DESCRIPTION AND USE | (A) BLDG AREA PER STORY (ACTUAL) | (B) TABLE 506.2.4 AREA | (C) AREA FOR FRONTAGE INCREASE <sup>1,5</sup> | (D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2,3</sup> |
|-----------|---------------------|----------------------------------|------------------------|---|--|
| 1         | BUSINESS            | <u>1,208</u>                     | <u>19,000</u>          |   |  |

1 Frontage area increases from Section 506.3 are computed thus:  
a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_ (F)  
b. Total Building Perimeter = \_\_\_\_\_ (P)  
c. Ratio (F/P) = \_\_\_\_\_ (F/P)  
d. W = Minimum width of public way = \_\_\_\_\_ (W)  
e. Percent of frontage increase  $I_f = 100 [ F/P - 0.25 ] \times W/30 =$  \_\_\_\_\_ (%)  
2 Unlimited area applicable under conditions of Section 507.  
3 Maximum Building Area = total number of stories in the building x D (minimum 3 stories) (506.2).  
4 The maximum area of open parking garages must comply with Table 406.5.4.  
5 Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

|  | ALLOWABLE (TABLE 503) | SHOWN ON PLANS CODE REFERENCE |
|--|-----------------------|-------------------------------|
| Building Height in Feet (Table 504.3)    | <u>55'</u>            | <u>II-4*</u>                  |
| Building Height in Stories (Table 504.4) | <u>2</u>              | <u>I</u>                      |

1 Provide code reference if the "Show on Plans" quantity is not based on Table 504.3 or 504.4.  
2 The maximum height of air traffic control towers must comply with Table 412.3.1  
3 The maximum height of open parking garages must comply with Table 406.5.4

PERCENTAGE OF WALL OPENINGS CALCULATIONS

| FIRE SEPARATION DISTANCE (FEET FROM PROPERTY LINES) | DEGREES OF OPENINGS PROTECTION (TABLE 705.8) |
|---|--|
|   |  |

FIRE PROTECTION REQUIREMENTS

| BUILDING ELEMENT   | FIRE SEPARATION DISTANCE (FEET) | RATING    |                        | DETAIL # AND SHEET # | DESIGN # FOR RATED ASSEMBLY | DESIGN # FOR RATED PENETRATION | DESIGN # FOR RATED JOINTS |
|--|---------------------------------|-----------|------------------------|----------------------|-----------------------------|--------------------------------|---------------------------|
|  |                                 | REQ'D     | PROVIDED (w/REDUCTION) |                      |                             |                                |                           |
| Structural Frame, including columns, girders, trusses    |                                 |           |                        |                      |                             |                                |                           |
| Bearing walls Exterior                                   |                                 |           |                        |                      |                             |                                |                           |
| North  |                                 |           |                        |                      |                             |                                |                           |
| East   |                                 |           |                        |                      |                             |                                |                           |
| West   |                                 |           |                        |                      |                             |                                |                           |
| South  |                                 |           |                        |                      |                             |                                |                           |
| Interior   |                                 |           |                        |                      |                             |                                |                           |
| Nonbearing walls and Partitions                          |                                 |           |                        |                      |                             |                                |                           |
| Exterior walls   |                                 |           |                        |                      |                             |                                |                           |
| North  |                                 |           |                        |                      |                             |                                |                           |
| East   |                                 |           |                        |                      |                             |                                |                           |
| West   |                                 |           |                        |                      |                             |                                |                           |
| South  |                                 |           |                        |                      |                             |                                |                           |
| Interior walls and partitions                            |                                 |           |                        |                      |                             |                                |                           |
| Floor construction including supporting beams and joists |                                 |           |                        |                      |                             |                                |                           |
| Roof construction including supporting beams and joists  |                                 |           |                        |                      |                             |                                |                           |
| Roof construction including supporting beams and joists  |                                 |           |                        |                      |                             |                                |                           |
| Roof ceiling Assembly                                    |                                 |           |                        |                      |                             |                                |                           |
| Column supporting roof                                   |                                 |           |                        |                      |                             |                                |                           |
| Shafts Enclosures - Exit                                 |                                 |           |                        |                      |                             |                                |                           |
| Shafts Enclosures - Other                                |                                 |           |                        |                      |                             |                                |                           |
| Corridor Separation                                      |                                 |           |                        |                      |                             |                                |                           |
| Occupancy/Fire Barrier Separation                        | <u>2</u>                        | <u>G1</u> |                        | <u>U419</u>          |                             |                                |                           |
| Party/Fire Wall Separation                               | <u>2</u>                        | <u>G1</u> |                        | <u>U419</u>          |                             |                                |                           |
| Smoke Barrier Separation                                 |                                 |           |                        |                      |                             |                                |                           |
| Tenant/Dwelling Unit/Sleeping Unit Sep                   |                                 |           |                        |                      |                             |                                |                           |
| Incidental Use Separation                                |                                 |           |                        |                      |                             |                                |                           |

\* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENINGS CALCULATIONS

| FIRE SEPARATION DISTANCE (FEET FROM PROPERTY LINES) | DEGREES OF OPENINGS PROTECTION (TABLE 705.8) | ALLOWABLE AREA (%) | ACTUAL SHOWN ON PLANS (%) |
|---|--|--------------------|---------------------------|
|   |  |                    |                           |

LIFE SAFETY SYSTEM REQUIREMENTS  
Life Safety Plan Sheet #: G1 (2/G1)  
Fire and/or smoke rated wall locations (Chapter 7)  
 Assumed and real property line locations (if not on the site plan)  
 Exterior wall opening area with respect to distance to assumed property lines (705.8)  
 Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.2)  
 Occupant loads for each area  
 Exit access travel distance (1017)  
 Common path of travel distances (1006.2.1 & 2006.3.2(1))  
 Dead end lengths (1020.4)  
 Clear exit widths for each exit door  
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)  
 Actual occupant load for each exit door  
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation and supporting construction for a fire barrier/fire partition/smoke barrier.  
 Location of doors with panic hardware (1010.1.10)  
 Location of doors with electromagnetic egress locks (1010.1.9.9)  
 Location of emergency escape windows (1030)  
 The square footage of each fire area (202)  
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)  
 Note any code exceptions or table notes that may have been utilized regarding the items above

ENERGY SUMMARY  
ENERGY REQUIREMENTS:  
The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy costs for the standard reference design vs. annual energy cost for the proposed design.  
Existing building envelope complies with code:  No  Yes (the remainder of this section is not applicable)  
Existing building:  No  Yes (Provide Code or Statute reference)  
Existing building: No Yes (Provide Code or Statute reference)  
Climate Zone:  3A  4A  5A  
Method of Compliance: Energy Code  Performance  Prescriptive  
ASHRAE 90.1  Performance  Prescriptive  
(If "Other" specify source here) \_\_\_\_\_  
THERMAL ENVELOPE (Prescriptive method only)  
Roof/Ceiling Assembly (each assembly)  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Skylights in each assembly: \_\_\_\_\_  
U-Value of skylight: \_\_\_\_\_  
Total square footage of skylights in each assembly: \_\_\_\_\_  
Exterior Walls (each assembly)  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Openings (windows or doors with glazing)  
U-Value of assembly: \_\_\_\_\_  
Solar heat gain coefficient: \_\_\_\_\_  
U-Value of assembly: \_\_\_\_\_  
Projection factor: \_\_\_\_\_  
Door R-Values: \_\_\_\_\_  
Walls below grade (each assembly)  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Floors over unconditioned space (each assembly)  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Floor slab on grade  
Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Horizontal/Vertical requirement: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Slab Heated: \_\_\_\_\_

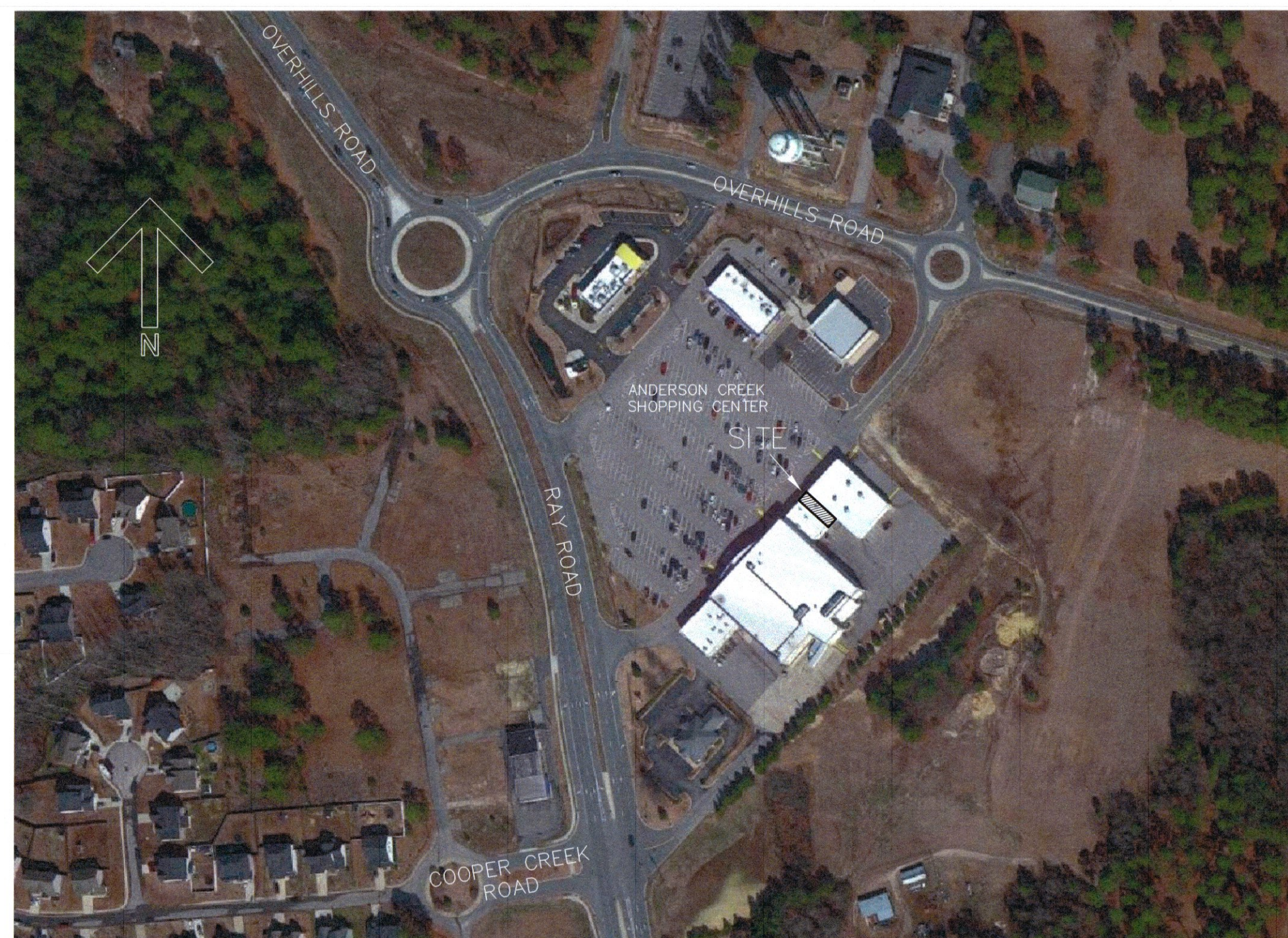
ACCESSIBLE PARKING (SECTION 1106)

| LOT OR PARKING AREA | ACCESSIBLE SPACES PROVIDED |          |                              |                                       | TOTAL # ACCESSIBLE PROVIDED |
|---------------------|----------------------------|----------|------------------------------|---------------------------------------|-----------------------------|
|                     | REQUIRED                   | PROVIDED | REGULAR WITH 5' ACCESS AISLE | VAN SPACES WITH 132" ACCESSIBLE AISLE |                             |
| EXISTING AS REQ'D   |                            |          |                              |                                       |                             |
| TOTAL               |                            |          |                              |                                       |                             |

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

| USE            | WATER CLOSETS |        |        | URINALS | LAVATORIES |        | SHOWERS/TUBS | DRINKING FOUNTAINS |         |
|----------------|---------------|--------|--------|---------|------------|--------|--------------|--------------------|---------|
|                | MALE          | FEMALE | UNISEX |         | MALE       | FEMALE |              | UNISEX             | REGULAR |
| SPACE EXISTING |               |        |        |         |            |        |              |                    |         |
| NEW            |               |        |        |         |            |        |              |                    |         |
| REQUIRED       |               |        |        |         |            |        |              |                    |         |

SPECIAL APPROVALS  
Special approval: (Local Jurisdiction, Department of Insurance, SCO, DPI, DHHS, ICC, etc., describe below)



VICINITY MAP  
NO SCALE

STRUCTURAL DESIGN  
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)  
DESIGN LOADS:  
Importance Factors: Snow (I<sub>s</sub>) 1.0  
Snow (I<sub>s</sub>) 1.0  
Roof 2.0 psf  
Mezzanine 100 psf  
Floor 100 psf  
Ground Snow Load: 10 psf  
Wind Load: Ultimate Wind Speed 120 mph (ASCE-7)  
Exposure Category \_\_\_\_\_  
SEISMIC DESIGN CATEGORY:  A  B  C  D  
Provide the following Seismic Design Parameters:  
Risk Category (Table 1604.5)  I  II  III  IV  
Spectral Response Acceleration  A  B  C  D  
Site Classification (ASCE 7)  S<sub>1</sub>  S<sub>2</sub>  S<sub>3</sub>  S<sub>4</sub>  S<sub>5</sub>  
Data Source:  Field Test  Presumptive  Historical Data  
Basic structural system  Bearing Wall  Dual w/Special Moment Frame  Special Steel  
 Building Frame  Dual w/Intermediate R/C or Special Steel  Moment Frame  Inverted Pendulum  Simplified  Equivalent Lateral Force  Dynamic  
Analysis Procedure:  Architectural, Mechanical, Components anchored?  Yes  No  
LATERAL DESIGN CONTROL: Earthquake  Wind   
SOIL BEARING CAPACITIES:  
Field Test (provide copy of test report) \_\_\_\_\_ psf  
Presumptive Bearing Capacity \_\_\_\_\_ psf  
Pile size, type, and capacity \_\_\_\_\_ psf

SHELL VARIABLE FORM (for all spaces - see plan)  
(THIS SECTION REQUIRED FOR ALL SHELL ALTERATIONS TO SHELL AND INTERIOR COMPLETION PROJECTS)  
Check each applicable line to match scope of work. Edit as necessary to provide clear detail of installation.  
Mechanical  
 No work  
 Equipment set with without power  
 Trunk line installed with without outlets  
 Gas Line  
 Install complete operational system  
Other \_\_\_\_\_  
Plumbing  
 No work  
 Install water service and sewer  
 Install building drain and water distribution main with without branches  
 Install complete plumbing system  
Other  ROUGH-IN ARE INCOMPLETE, ADD IN-SLAB WORK IS REQUIRED. WATER SERVICE IS EXISTING (PRESENTLY INSTALLED).  
Sprinkler  
 Install complete sprinkler system  
Building  
 Install slab  partial complete  
 Install demising walls  
 Install interior partitioning  partial complete  
 Install Ceilings  
 White box (additional interior completion permits are required for Certificate of Occupancy and power)  
Other \_\_\_\_\_  
Electrical  
 House panel  
 Service laterals to meter centers/panels located on buildings  
 Demise well end ceilings only  
 Conduit, duct, raceway in slab  
 Power and lighting circuits to "J" Box  
 Install light fixtures  
 Install Heat/A/C Elevator Generator Parking lot lighting  
 Install complete system  
Other  SUITE PANEL AND SERVICE ARE EXISTING (PRESENTLY INSTALLED).  
Please provide full information on any alternate methods and means incorporated into the design of this project. Provide specific details and incorporate into plan submittal any supporting documents or agreement

SPECIAL INSTRUCTIONS (CHAPTER 17)  
SPECIAL INSPECTIONS SHALL BE CONDUCTED ON ALL PROJECTS THAT FALL WITHIN BUILDING CATEGORIES AND/OR CONTAIN ELEMENTS SUBJECT TO SPECIAL INSPECTIONS AS PRESCRIBED BY REVISED SECTION 1704.  
To schedule a required pre-construction meeting with the City of Fayetteville, please call Doug Maples at (910) 433-1703. The main line number for the Development Services Center is (910) 433-1701.  
List whom will inspect the required special inspections:  
Fabricator of load bearing components \_\_\_\_\_  
Soil tests \_\_\_\_\_  
Concrete, caissons, piles, piers, pre-cast \_\_\_\_\_  
Post tension concrete \_\_\_\_\_  
Modular construction \_\_\_\_\_  
Steel and connections, welds, bolts, anchors \_\_\_\_\_  
Fire spray tests \_\_\_\_\_  
Smoke control \_\_\_\_\_  
Seismic, wind designs, Quality Assurance \_\_\_\_\_  
Retaining walls \_\_\_\_\_  
Masonry \_\_\_\_\_  
Wood \_\_\_\_\_  
Alternate Methods \_\_\_\_\_  
EIFS \_\_\_\_\_  
Other (describe) \_\_\_\_\_  
Other (describe) \_\_\_\_\_  
Owner or agent \_\_\_\_\_

SPECIAL APPROVALS:  
Special approval: (Local Jurisdiction, Department of Insurance, SCO, DPI, DHHS, ICC, etc., describe below)  
**NOTE**

Reviewed for Fire Code Compliance  
Leslie Jackson  
10/26/2022 4:35:52 PM

COUNTY OF HARNETT  
2018 APPENDIX B  
BUILDING CODE SUMMARY  
for:  
**INTERIOR UPFIT PLAN**  
**MINDFUL THERAPY**  
3266 RAY ROAD  
SPRING LAKE, NORTH CAROLINA  
28390



BC