

CERTIFICATE OF OWNERSHIP, DEDICATION, AND JURISDICTION
 I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OR AGENT OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING SETBACK LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED, ALL OF THE LAND SHOWN HEREON IS WITHIN THE SUBDIVISION REGULATION JURISDICTION OF HARNETT COUNTY EXCEPT:

DATE: 08/01/2022
 OWNER: [Signature]

CERTIFICATE OF IMPROVEMENTS MAINTENANCE
 I, HEREBY CERTIFY THAT I ASSUME ALL RESPONSIBILITY FOR THE MAINTENANCE AND UPKEEP OF ALL STREETS AND OTHER IMPROVEMENTS IN THE SERENITY PHASE 1 SUBDIVISION UNTIL SUCH TIME THAT THEY ARE ACCEPTED FOR MAINTENANCE BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION OR OTHER APPROPRIATE ENTITIES.

DATE: 08/01/2022
 OWNER: [Signature]

PUBLIC PLAT DECLARATION
 ALL ROADS IN THIS SUBDIVISION ARE HEREBY DECLARED PUBLIC. THE MAINTENANCE OF ALL STREETS AND ROADS IN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF GREENFIELD-SERENITY, LLC, AND IT SHALL BE THEIR RESPONSIBILITY TO BRING SUCH STREETS UP TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE SUCH STREETS ON THIS PLAT ARE ADDED INTO THE NORTH CAROLINA STATE HIGHWAY SYSTEM. IF THE DISTRICT ENGINEER HAS NOT RECOMMENDED THAT THE N.C. DEPARTMENT OF TRANSPORTATION ACCEPT MAINTENANCE RESPONSIBILITY FOR THE REQUIRED PUBLIC ROAD IMPROVEMENTS BY THE TIME THAT THE COUNTY HAS ISSUED BUILDING PERMITS FOR THE SEVENTY FIVE PERCENT (75%) OF THE LOTS SHOWN ON THE RECORDED PLAT, THE COUNTY SHALL NOT ISSUE ANY MORE PERMITS UNTIL THE DISTRICT ENGINEER MAKES A RECOMMENDATION AND FORMALLY NOTIFIES THE SUBDIVISION ADMINISTRATOR.

DATE: 08/01/2022
 OWNER: [Signature]

EXHIBIT A SERENITY SUBDIVISION PHASE 1A, B & C MAXIMUM BUILT-UPON AREA (BUA) PER LOT		EXHIBIT A SERENITY SUBDIVISION PHASE 1A, B & C MAXIMUM BUILT-UPON AREA (BUA) PER LOT		EXHIBIT A SERENITY SUBDIVISION PHASE 1A, B & C MAXIMUM BUILT-UPON AREA (BUA) PER LOT	
LOT #	BUA (SF)	LOT #	BUA (SF)	LOT #	BUA (SF)
1	3,600	45	2,300	89	3,600
2	3,600	46	2,300	90	3,600
3	3,600	47	3,600	91	3,600
4	3,600	48	3,600	92	3,600
5	4,000	49	3,600	93	3,600
6	4,000	50	3,600	94	3,600
7	4,000	51	3,600	95	2,300
8	4,000	52	3,600	96	2,300
9	4,000	53	3,600	97	2,300
10	4,000	54	3,600	98	2,300
11	4,000	55	3,600	99	2,300
12	4,000	56	3,600	100	2,300
13	4,000	57	3,600	101	2,300
14	4,000	58	3,600	102	2,300
15	4,000	59	3,600	103	2,300
16	4,000	60	3,600	104	2,300
17	4,000	61	3,600	105	2,300
18	4,000	62	3,600	106	2,300
19	4,000	63	2,600	107	3,600
20	4,000	64	2,600	108	3,600
21	3,600	65	2,600	109	3,600
22	3,600	66	2,600	110	5,000
23	3,600	67	2,600	111	5,000
24	3,600	68	2,600	112	5,000
25	2,600	69	2,600	113	5,000
26	2,600	70	2,600	114	5,000
27	2,600	71	2,600	115	5,000
28	2,600	72	2,600	116	5,000
29	2,600	73	2,600	117	5,000
30	2,600	74	2,300	118	5,000
31	2,600	75	2,300	119	5,000
32	2,600	76	2,300	120	5,000
33	2,600	77	2,300	121	5,000
34	2,600	78	2,300	122	5,000
35	2,600	79	2,300	123	5,000
36	2,600	80	2,300	124	5,000
37	2,600	81	2,300		
38	2,600	82	2,300		
39	2,600	83	2,600		
40	2,600	84	2,600		
41	2,600	85	2,600		
42	2,600	86	2,600		
43	2,600	87	2,600		
44	2,600	88	2,600		

Note: the BUA allocations do not include any BUA outside of the property boundaries. Any BUA adjustments to be documented as required.

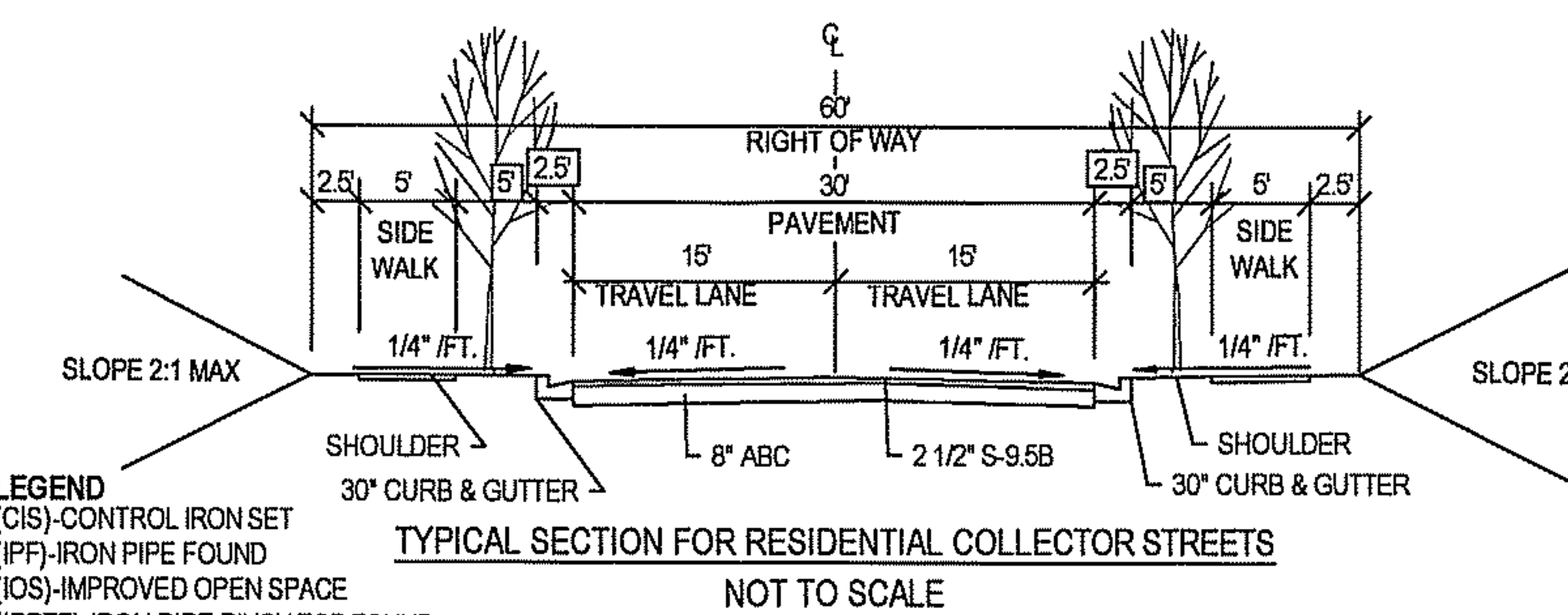
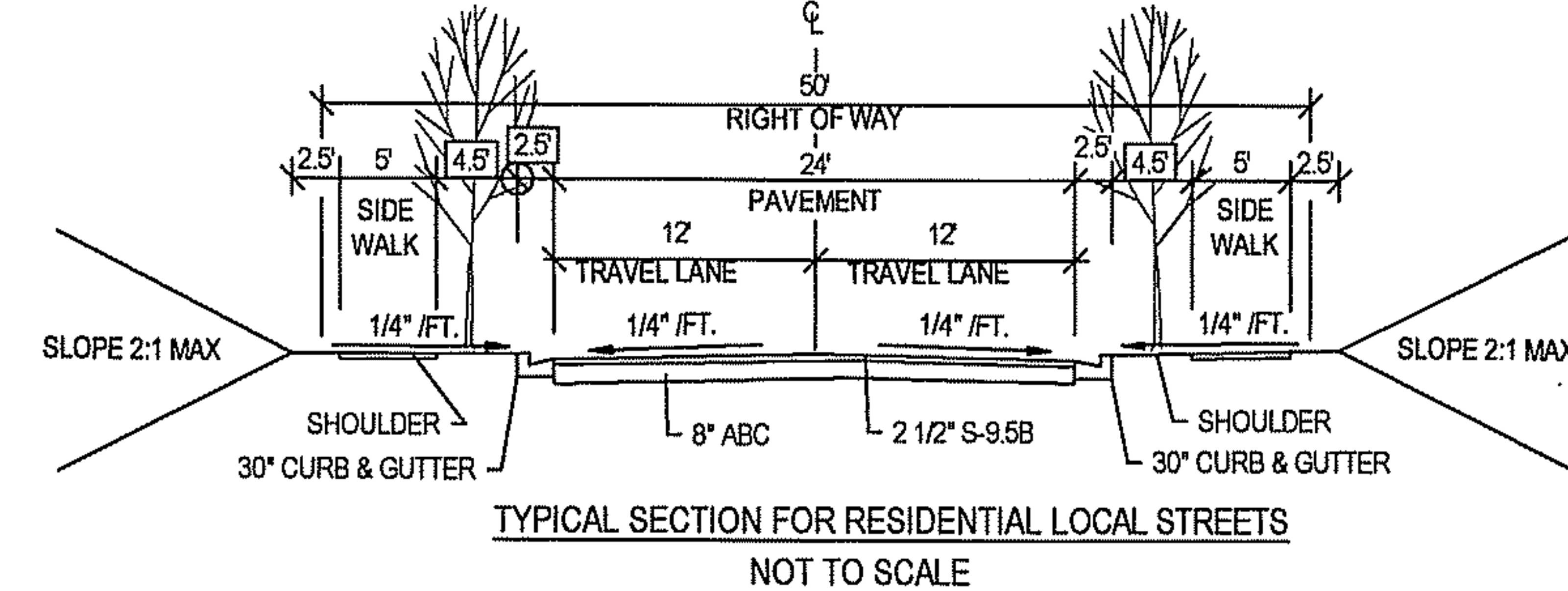
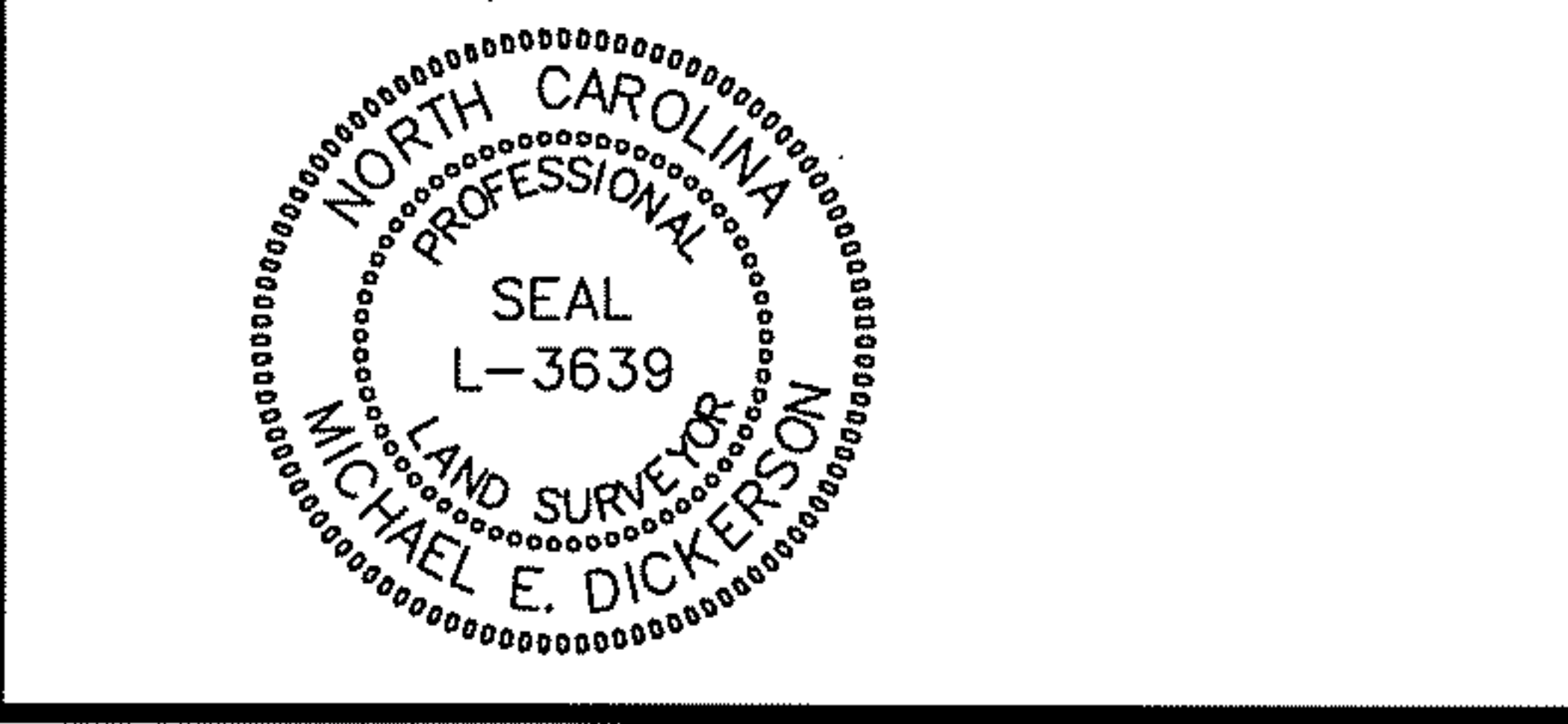
STORMWATER CERTIFICATION
 I HEREBY CERTIFY THAT THE STORMWATER CONVEYANCE FACILITIES ARE CONSTRUCTED AND INSTALLED IN GENERAL CONFORMANCE WITH THE ORDINANCES, RULES, REGULATIONS, AND DRAINAGE DESIGN STANDARDS OF HARNETT COUNTY, NC, SUBJECT TO RECORDED IN THE HARNETT COUNTY REGISTER OF DEEDS WITHIN THIRTY DAYS OF THE DATE BELOW.

DATE: 8/25/2022
 DEVELOPMENT REVIEW BOARD CHAIRMAN: [Signature]

SURVEY CERTIFICATE
 I, MICHAEL E. DICKERSON, AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF NORTH CAROLINA, DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION AND COMPLETED ON 8/1/22, USING THE REFERENCES SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN THE REFERENCES SHOWN HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1: 10,000+; THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH NORTH CAROLINA GENERAL STATUTES 47-30, AS AMENDED. WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS 1st DAY OF AUGUST, A.D., 2022.

TYPE OF PLAT I, MICHAEL E. DICKERSON, PROFESSIONAL LAND SURVEYOR No. L-3639, CERTIFY TO ONE OR MORE OF THE FOLLOWING AS CHECKED BELOW:

- A. THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND WITHIN AN AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.
- B. THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND WITHIN AN AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

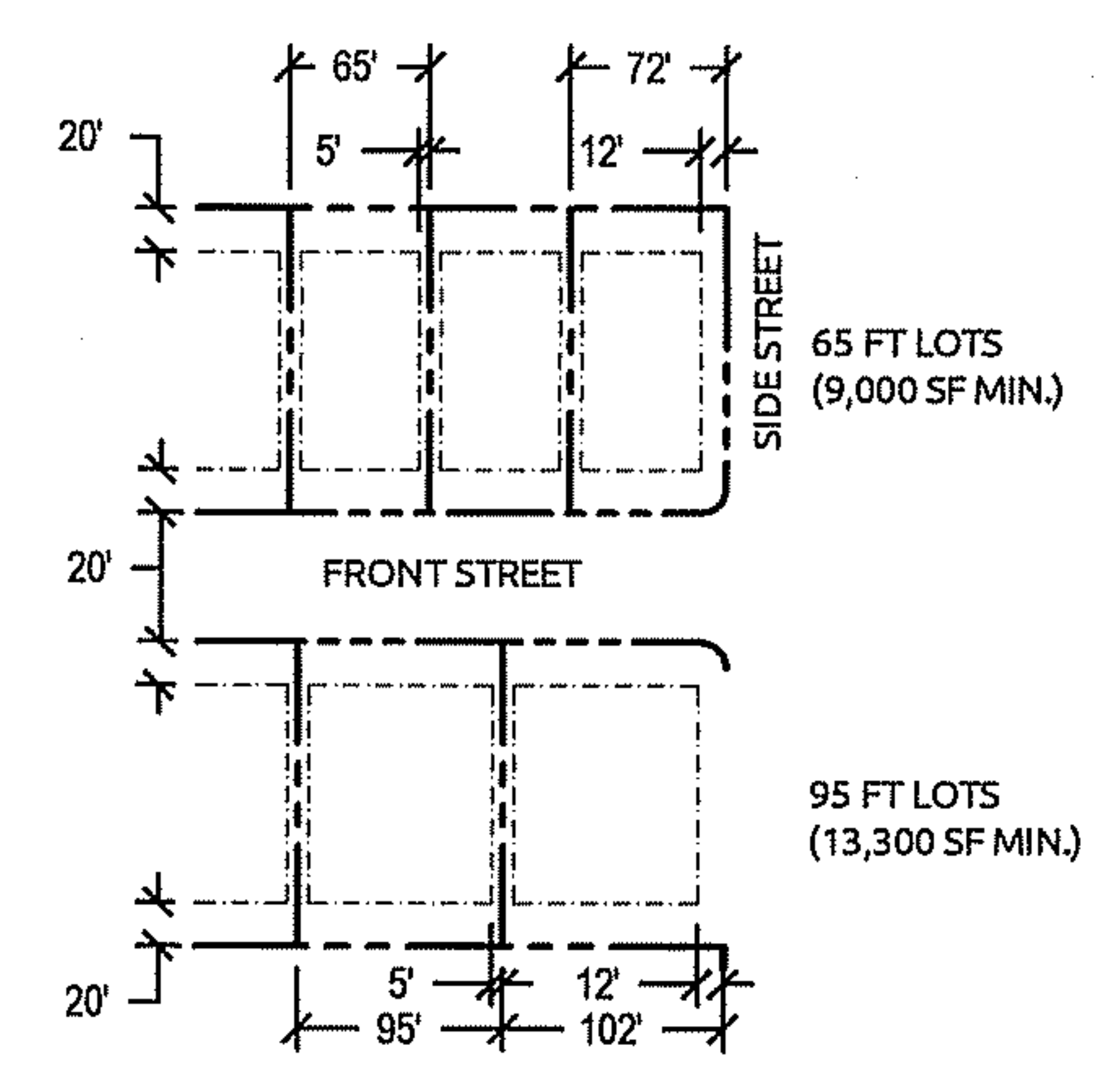


- LEGEND**
- (CIS)-CONTROL IRON SET
 - (IFF)-IRON PIPE FOUND
 - (IOS)-IMPROVED OPEN SPACE
 - (IPTF)-IRON PIPE PINCH TOP FOUND
 - (IRF)-IRON ROD FOUND
 - (OS)-OPEN SPACE
 - (RFB)-REBAR FOUND
 - (RWL)-RETAINING WALL (FUTURE)
 - (SDT)-SIGHT DISTANCE TRIANGLE
 - (SL)-SEWER LINE
 - (WL)-WATER LINE
 - BOUNDARY
 - BOUNDARY LINE NOT SURVEYED
 - BUILDING SETBACK
 - 100' CONSERVATION DISTRICT BUFFER
 - EASEMENT
 - POND
 - RIGHT OF WAY
 - SANITARY SEWER LINE
 - WATER LINE
 - BLOWOFF ASSEMBLY
 - CLEANOUT
 - FIRE HYDRANT
 - WATER METER
 - WATER VALVE
 - SANITARY SEWER MANHOLE
 - PHASE 1 LOTS NOT BEING RECORDED BY THIS MAP
 - WETLAND AREA

DATE: 8-1-2022
SCALE: N/A
SURVEYED BY: WR
DRAWN BY: MJB
CHECK & CLOSURE BY: MED
CAD FILE: SER1ABC.SUB.dwg
PROJECT NO: 02201040.00

FINAL SUBDIVISION PLAT FOR SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.) LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124, REMAINING LOT 1 AND PUMP STATION LOT			
D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615			
TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	WATERSHED: HECTOR CREEK CAPE FEAR RIVER	STATE: NORTH CAROLINA
P.I.N. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	LAND USE: RESIDENTIAL	FLOOD INFO: SEE NOTE 4
P.I.D. SEE REFERENCES			SHEET: 1 OF 15

SETBACKS DIAGRAM



AREA TABLE
 LOTS (79): 19,768 ACRES-860,886 S.F.
 IOS: 8,170 ACRES - 355,886 S.F.
 OS: 4,949 ACRES - 215,584 S.F.
 RW: 11,455 ACRES - 498,965 S.F.
 TOTAL: 44,340 ACRES - 1,931,411 S.F.

BUILDING SETBACKS:
 >43' LOT WIDTHS
 FRONT YARD: 20'
 SIDE YARD: 5'
 REAR YARD: 20'
 CORNER YARD: 12'

MINIMUM LOT SIZE REQUIRED: 9,000 S.F.

REVIEW OFFICER'S CERTIFICATE
 STATE OF NORTH CAROLINA
 COUNTY OF HARNETT
 I, Spila K. Bennett, REVIEW OFFICER OF HARNETT COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.
 REVIEW OFFICER: [Signature]
 DATE: 8-24-22

FOR REGISTRATION
 Matthew S. Willis
 REGISTER OF DEEDS
 Harnett County, NC
 08/25/2022 at 09:12:50 AM
 Bk 2022 Pg 434-448 (15)
 Fee Amt: \$315.00

INSTRUMENT # 2022108035
 KAYLA CORE

- NOTES:**
- AREAS COMPUTED BY COORDINATE METHOD.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 - THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAPS 3720065600K AND 3720084500J DATED OCTOBER 3, 2006.
 - NC GRID NAD83 (2011) FROM MAP BY TIMMONS GROUP ENTITLED "BOUNDARY SURVEY FOR GREENFIELD COMMUNITIES PINEY GROVE RAWLS ROAD FUQUAY-VARINA, NORTH CAROLINA", DATED MARCH 8, 2019.
 - OPEN SPACE AND IMPROVED OPEN SPACE AREAS SHOWN ON THIS MAP SHALL SUPERCEDE THOSE AREAS PREVIOUSLY RECORDED IN B.M. 2022, PG. 45-50.
 - VARIABLE WIDTH EGRESS, INGRESS AND REGRESS EASEMENT AND UTILITY EASEMENTS PREVIOUSLY RECORDED IN B.M. 2021, PG. 21-26 AND B.M. 2022, PG. 45-50 AND LOCATED WITHIN THE RIGHT OF WAY DEDICATION OF THIS MAP IS HEREBY REMOVED.
 - HATCHED LOT AREAS ARE NOT BEING RECORDED BY THIS MAP.
 - THIS PROJECT WAS APPROVED AS A PLANNED UNIT DEVELOPMENT.
 - DEVELOPMENT AGREEMENT RECORDED IN D.B. 3768, PG. 191.
 - CONDITIONAL USE PERMIT NUMBER: BA-CU-21-18, DATED 7/1/18.
 - SERENITY PROPERTY OWNERS ASSOCIATION WILL MAINTAIN ALL OPEN SPACE, PERIMETER & STREETSCAPE BUFFERS, OPEN SPACES, SIDEWALKS, DRAINAGE EASEMENTS AND STREET TREES. REQUIRED PLANTINGS CANNOT BE REMOVED.
 - THIS PROJECT LIES WITHIN WS IV HWY. LOT COVERAGE WILL BE LIMITED TO THE AREA AS LISTED ON EXHIBIT 'A' AS SHOWN ON SHEET 1 OF THIS PLAT.
 - STORMWATER PERMIT NUMBER: SW6200201.
 - LAND USE CLASS: AGRICULTURAL & RURAL RESIDENTIAL.
 - THIS PROJECT LIES WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT.
 - A FOUNDATION SURVEY IS REQUIRED FOR ALL LOTS.
 - EACH LOT WILL BE SERVED BY HARNETT COUNTY PUBLIC WATER AND SEWER.
 - LIGHTS SHALL BE SPACED AT INTERVALS NOT MORE THAN 300 FEET FOR RESIDENTIAL SUBDIVISIONS AND NOT MORE THAN 200 FEET FOR NONRESIDENTIAL SUBDIVISIONS. LIGHTING SHALL BE INSTALLED BEGINNING AT THE ENTRANCE TO THE SUBDIVISION.
 - FIRE HYDRANTS: IN RESIDENTIAL SUBDIVISIONS, FIRE HYDRANTS SHALL BE LOCATED IN SUCH A MANNER THAT NO PRIMARY STRUCTURE IS FURTHER THAN 500 FEET FROM A HYDRANT. THE DISTANCE BETWEEN HYDRANTS, SHALL BE MEASURED ALONG STREET CENTERLINES. THERE SHALL BE AT LEAST ONE (1) FIRE HYDRANT AT EACH INTERSECTION. WHEN RESIDENTIAL INTERSECTIONS ARE LESS THAN 700 FEET APART, A HYDRANT IS NOT REQUIRED BETWEEN THE INTERSECTIONS.
 - DEVELOPER CONTACT INFORMATION:
 GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615
 PHONE: 919-815-6469
 MATT BRUBAKER
 EMAIL: MBRUBAKER@GREENFIELDCOMMUNITIES.COM
 - NOTICE OF DEVELOPMENT GUIDELINES RECORDED IN D.B. 4148, PG. 210.
 - DECLARATION OF RESTRICTIONS AND EASEMENTS RECORDED IN D.B. 4109, PG. 612.

- REFERENCES:**
- GREENFIELD-SERENITY, LLC
 D.B. 3711, PG. 808
 LOT 1
 SERENITY
 B.M. 2021, PG. 21-26
 B.M. 2022, PG. 45-50
 - PID - 080655 0032 01
 PID - 080655 0032 11
 PID - 080655 0032 12
 PID - 080655 0032 15
 PID - 080655 0032 09
 PID - 080655 0032 10
 PID - 080655 0032 14
 PID - 080655 0032 02
 - PID - 080655 0032 06
 PID - 080655 0032 08
 PID - 080655 0032 05
 PID - 080655 0032 03
 PID - 080655 0032 07
 PID - 080655 24-2588.000
 PID - 080655 24-7107.000
 PID - 080655 33-1422.000
 PID - 080655 23-7190.000
 PID - 080655 13-4450.000
 PID - 080655 14-5061.000
 PID - 080655 03-6435.000
 PID - 080655 03-9598.000
 PID - 080655 23-3659.000
 PID - 080655 13-8692.000
 PID - 080655 13-4693.000
 PID - 080655 23-2539.000
 PID - 080655 23-5656.000
 PID - 080655 13-8588.000
 - MAP BY TIMMONS GROUP ENTITLED "BOUNDARY SURVEY FOR GREENFIELD COMMUNITIES PINEY GROVE RAWLS ROAD FUQUAY-VARINA, NORTH CAROLINA", DATED MARCH 8, 2019

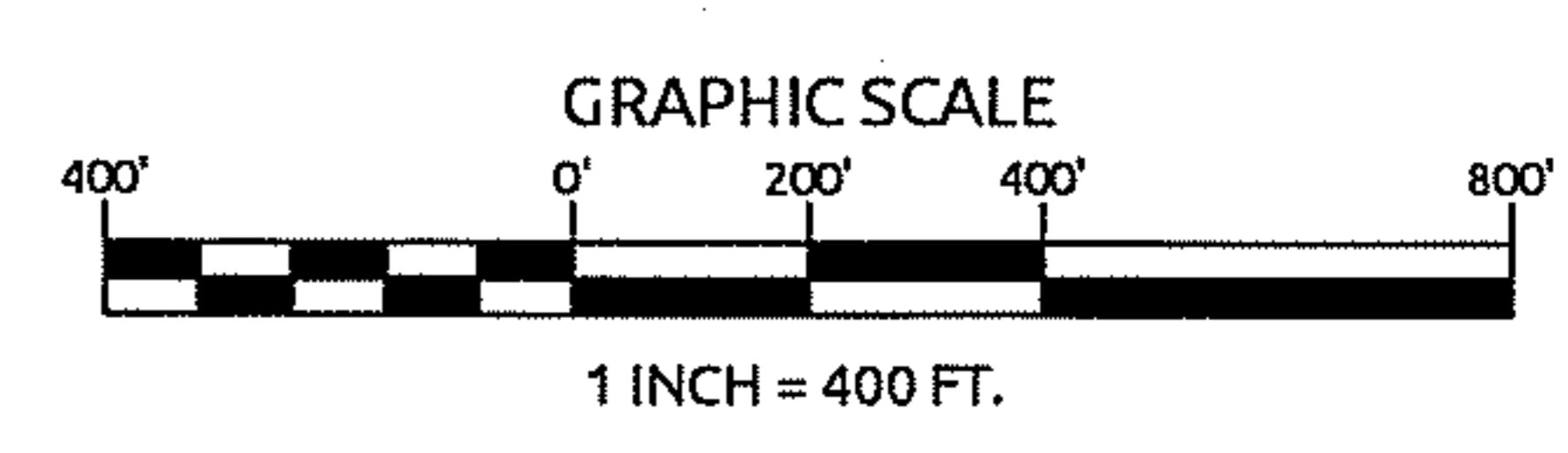
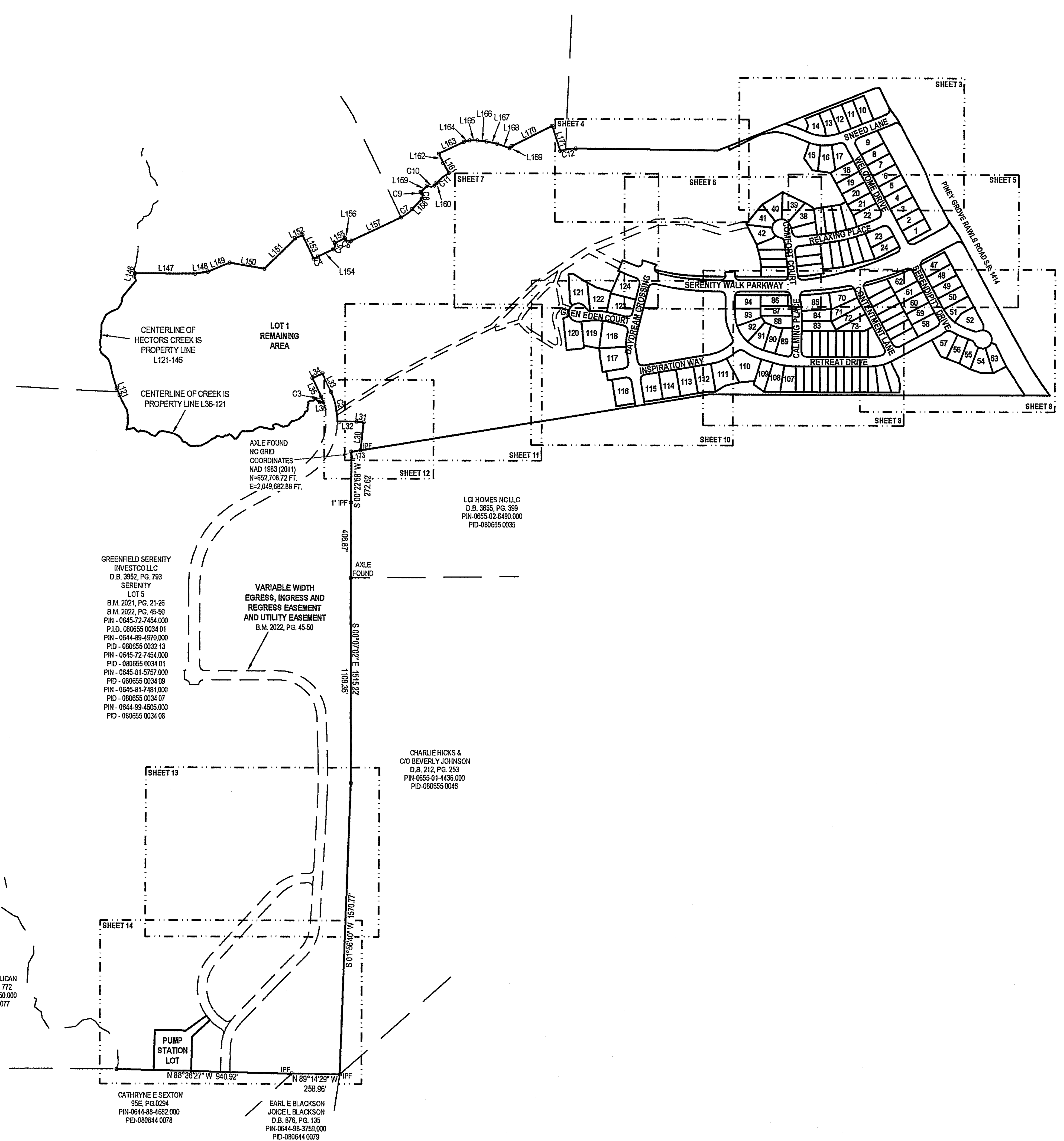
- FIRE HYDRANT NOTES**
- FIRE HYDRANT LOCATIONS SHALL MEET THE HARNETT COUNTY STANDARD SPECIFICATIONS AND DETAILS SPACING REQUIREMENT. THE MAXIMUM DISTANCE BETWEEN HYDRANTS, MEASURED ALONG STREET CENTERLINES, SHALL BE 600 FEET. WHEN RESIDENTIAL INTERSECTIONS ARE LESS THAN 700 FEET APART, A HYDRANT IS NOT REQUIRED BETWEEN THE INTERSECTIONS. THE MINIMUM ACCEPTABLE FLOW FOR HYDRANTS SERVING RESIDENTIAL SUBDIVISIONS IS 500 GPM AT 20 PSI RESIDUAL PRESSURE.
 - FIRE HYDRANTS SHOULD BE LOCATED ON THE RIGHT SIDE OF THE INCOMING FIRE APPARATUS AND SHOULD NOT BE LOCATED AT THE END OF A CUL-DE-SAC.
 - DEAD-END STREET STUBS WILL NOT EXCEED 150' WITHOUT AN APPROVED TURN-AROUND. IF THE STREET STUB WILL BE TEMPORARY, A 70' DIAMETER TEMPORARY CUL-DE-SAC IS ALLOWED.

SHEET 1: NOTES, CERTIFICATES
 SHEET 2: OVERALL LAYOUT
 SHEETS 3-10: LOTS & EASEMENTS
 SHEETS 11-12: EASEMENTS
 SHEETS 13-14: PUMP STATION & EASEMENT
 SHEET 15: LINE & CURVE TABLES

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OVERALL LAYOUT

NC GRID (NAD83) (2011)
SEE NOTES



DATE: 8-1-2022	FINAL SUBDIVISION PLAT FOR SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.) LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124, REMAINING LOT 1 AND PUMP STATION LOT D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615			
SCALE: 1"=400'	TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	WATERSHED: HECTOR CREEK CAPE FEAR RIVER	STATE: NORTH CAROLINA
SURVEYED BY: WR	P.I.N. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	LAND USE: RESIDENTIAL	FLOOD INFO: SEE NOTE 4
DRAWN BY: MJB	P.I.D. SEE REFERENCES			SHEET: 2 OF 15
CHECK & CLOSURE BY: MED				
CAD FILE: SER1ABCSUB.dwg				
PROJECT NO: 02201040.00				

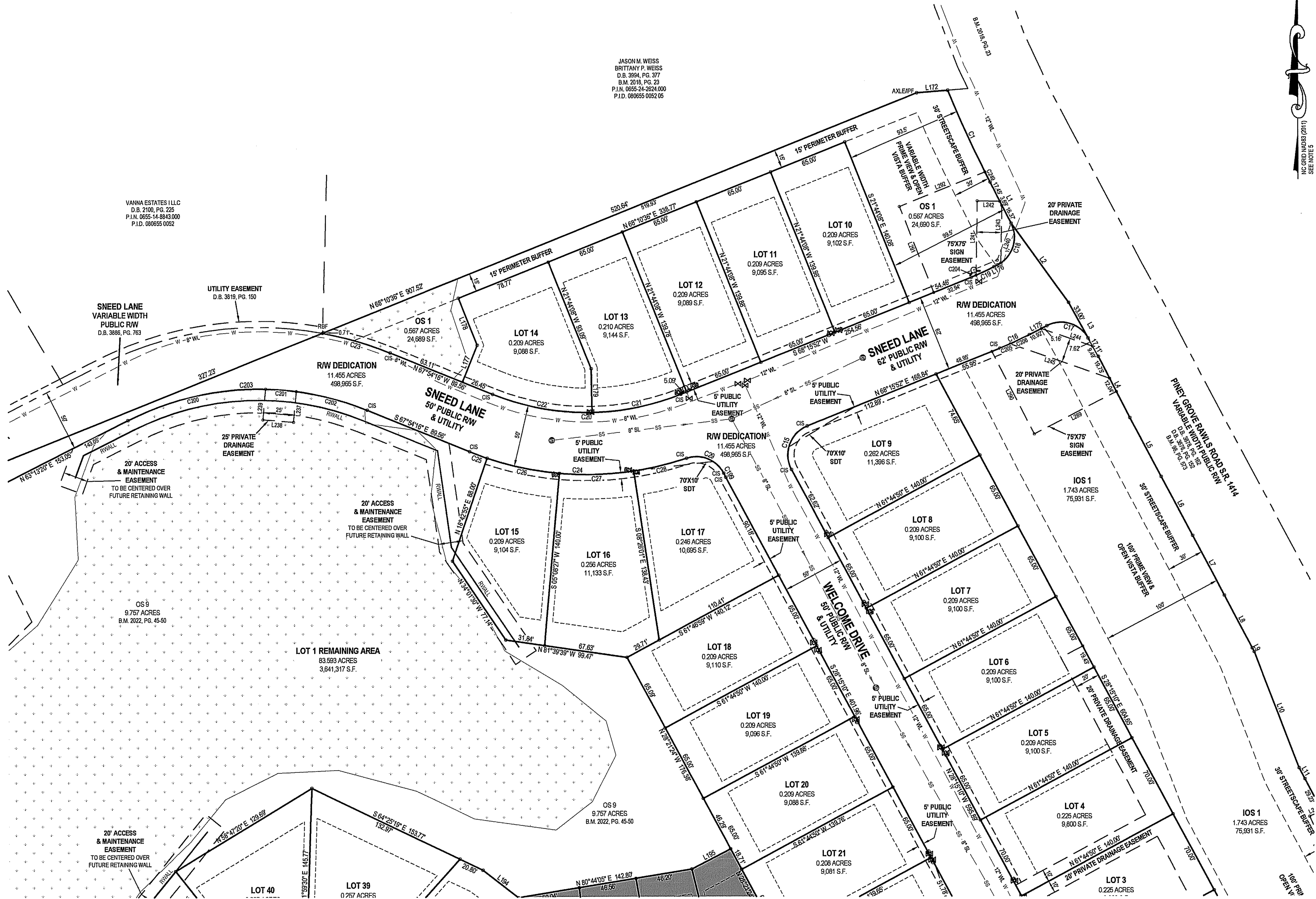
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SEAL
L-3639
MICHAEL E. DICKERSON
LAND SURVEYOR
8/1/22

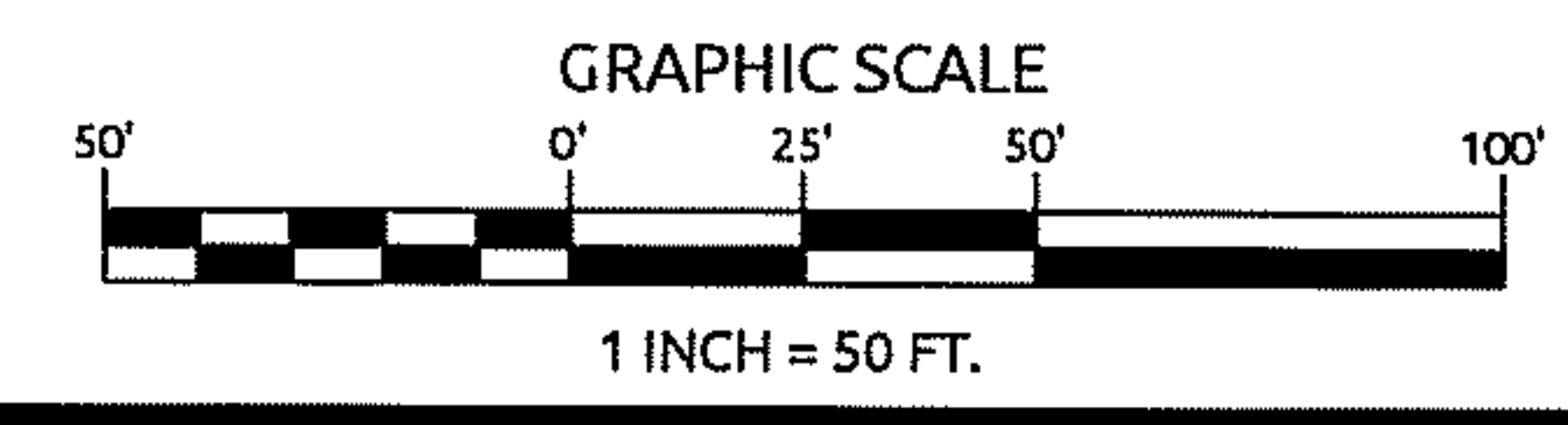
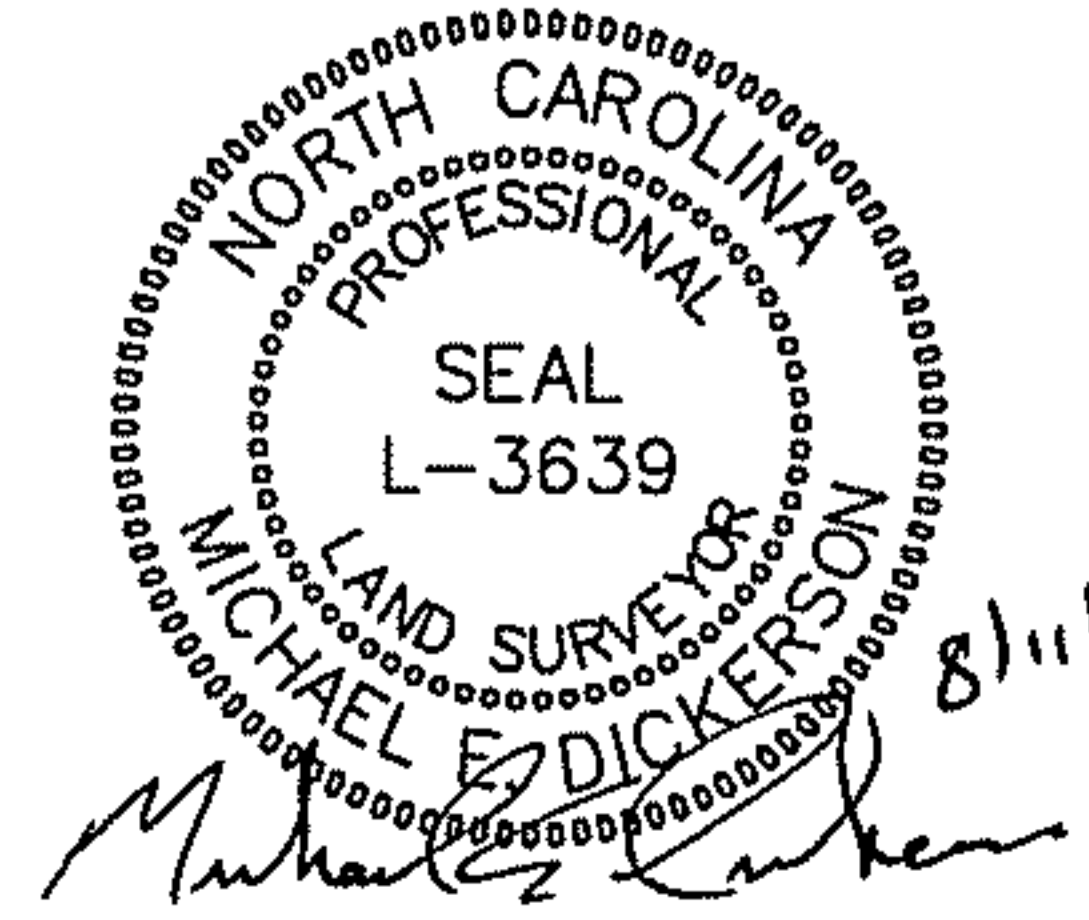
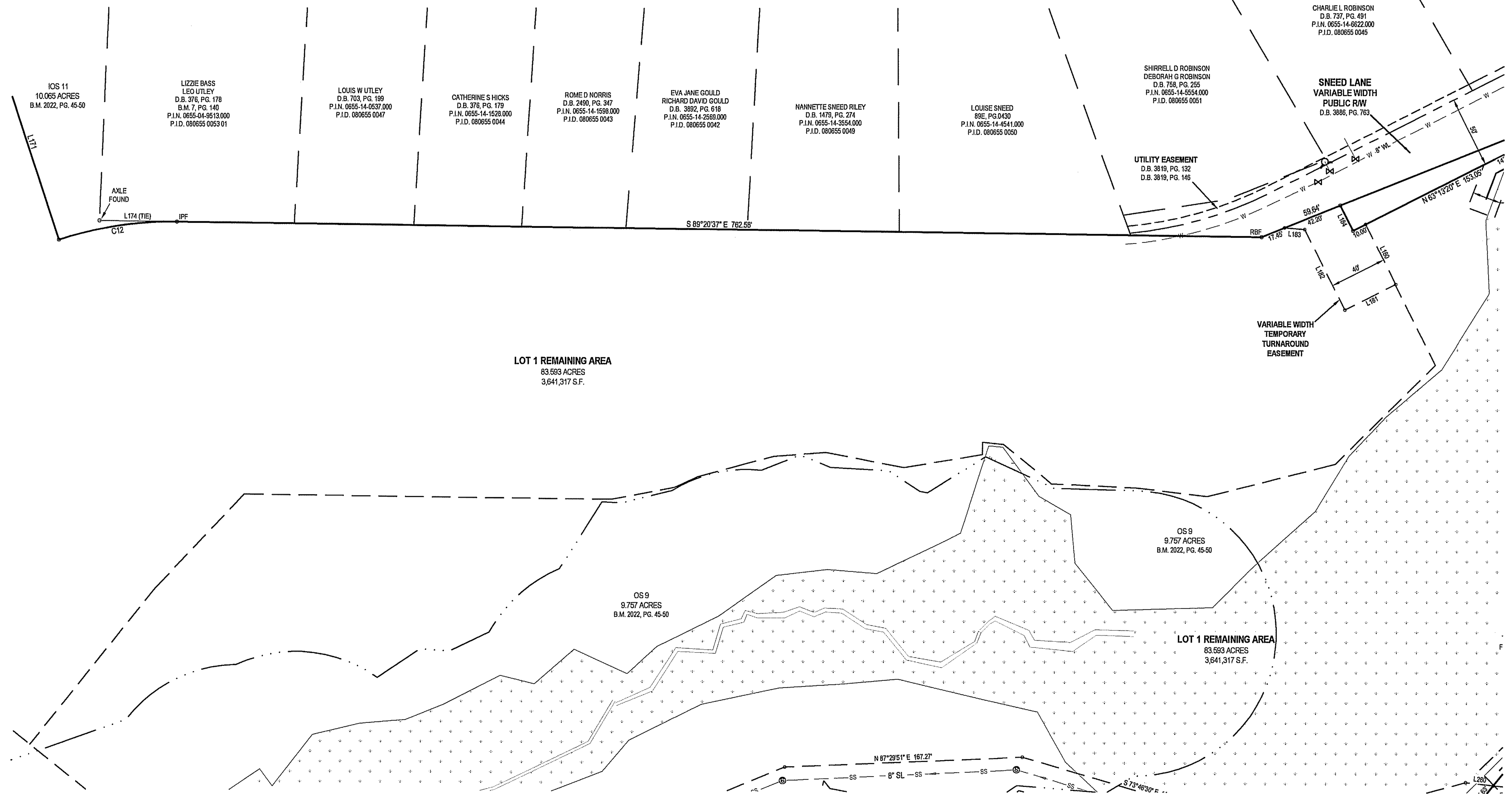


JASON M. WEISS
BRITTANY P. WEISS
D.B. 3894, PG. 377
B.M. 2018, PG. 23
P.I.N. 0655-24-2624.000
P.I.D. 080655 0052 06

VANHA ESTATES I LLC
D.B. 2100, PG. 225
P.I.N. 0655-14-8843.000
P.I.D. 080655 0052

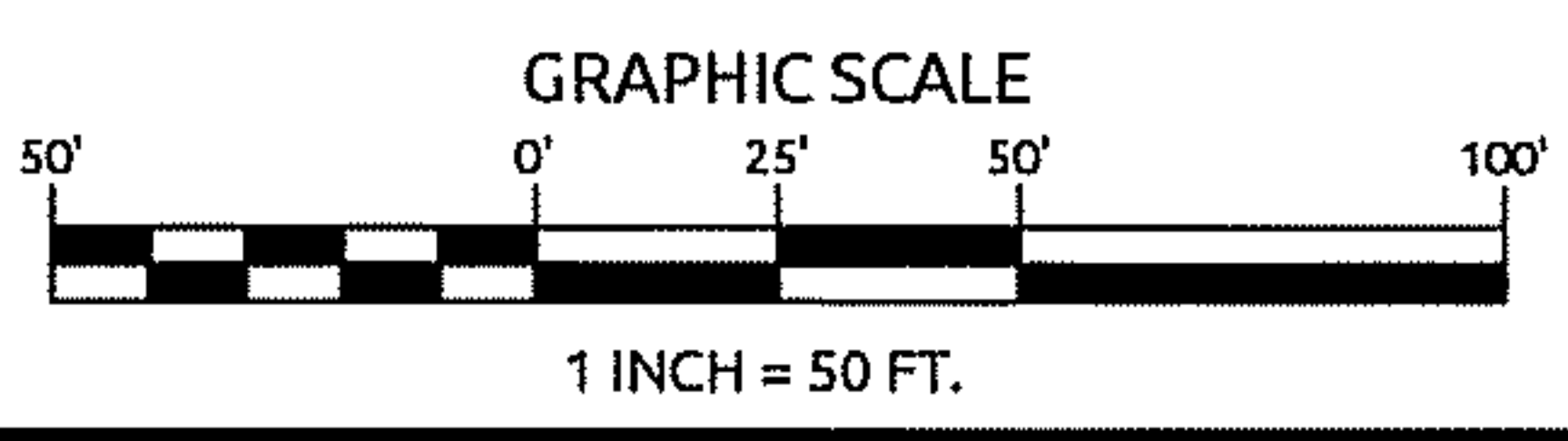
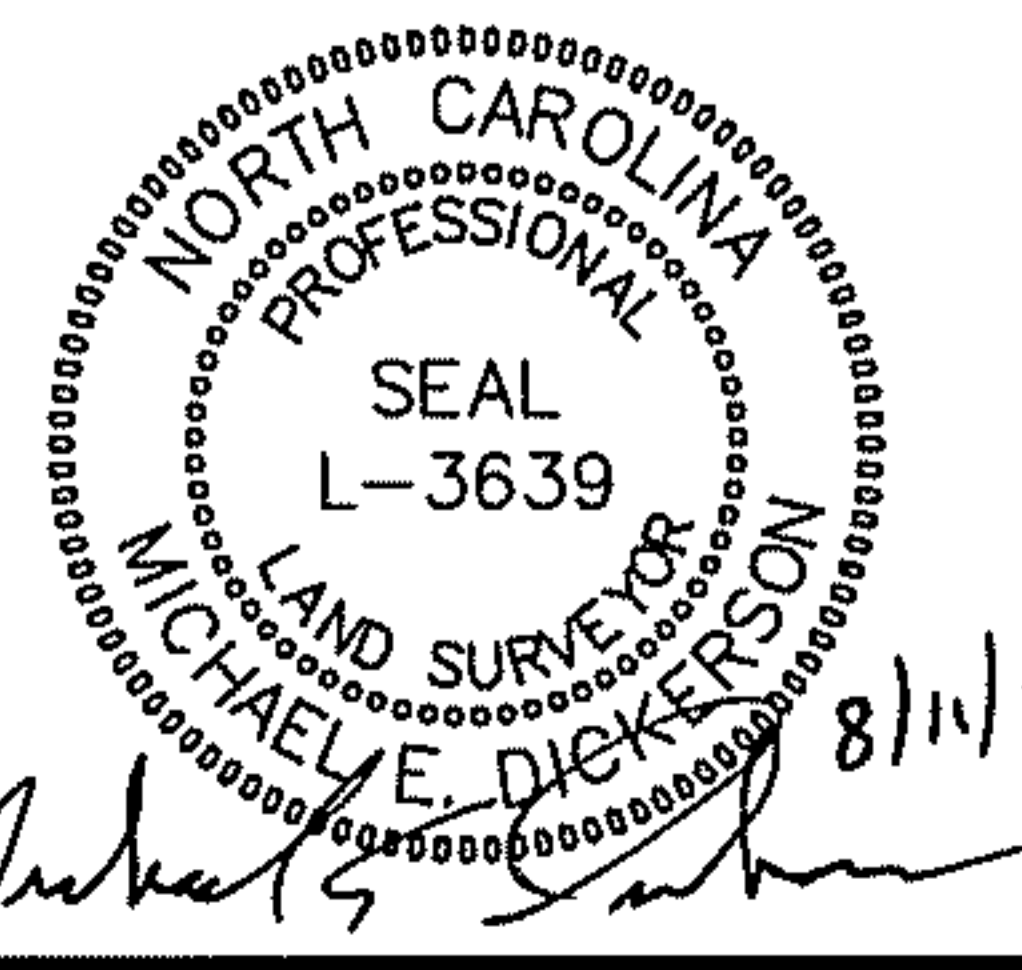


NC GRID NAD83 (2011)
SEE NOTE 5



DATE: 2-8-2022	FINAL SUBDIVISION PLAT FOR SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.) LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124, REMAINING LOT 1 AND PUMP STATION LOT		
SCALE: 1"=50'	D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615		
SURVEYED BY: WR	TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	STATE: NORTH CAROLINA
DRAWN BY: MJB	WATERSHED: HECTOR CREEK CAPE FEAR RIVER	LAND USE: RESIDENTIAL CONSERVATION	FLOOD INFO: SEE NOTE 4
CHECK & CLOSURE BY: MED	P.I.N. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	SHEET: 4 OF 15
CAD FILE: SER1ABCSUB.dwg	P.I.D. SEE REFERENCES		
PROJECT NO: 02201040.00			

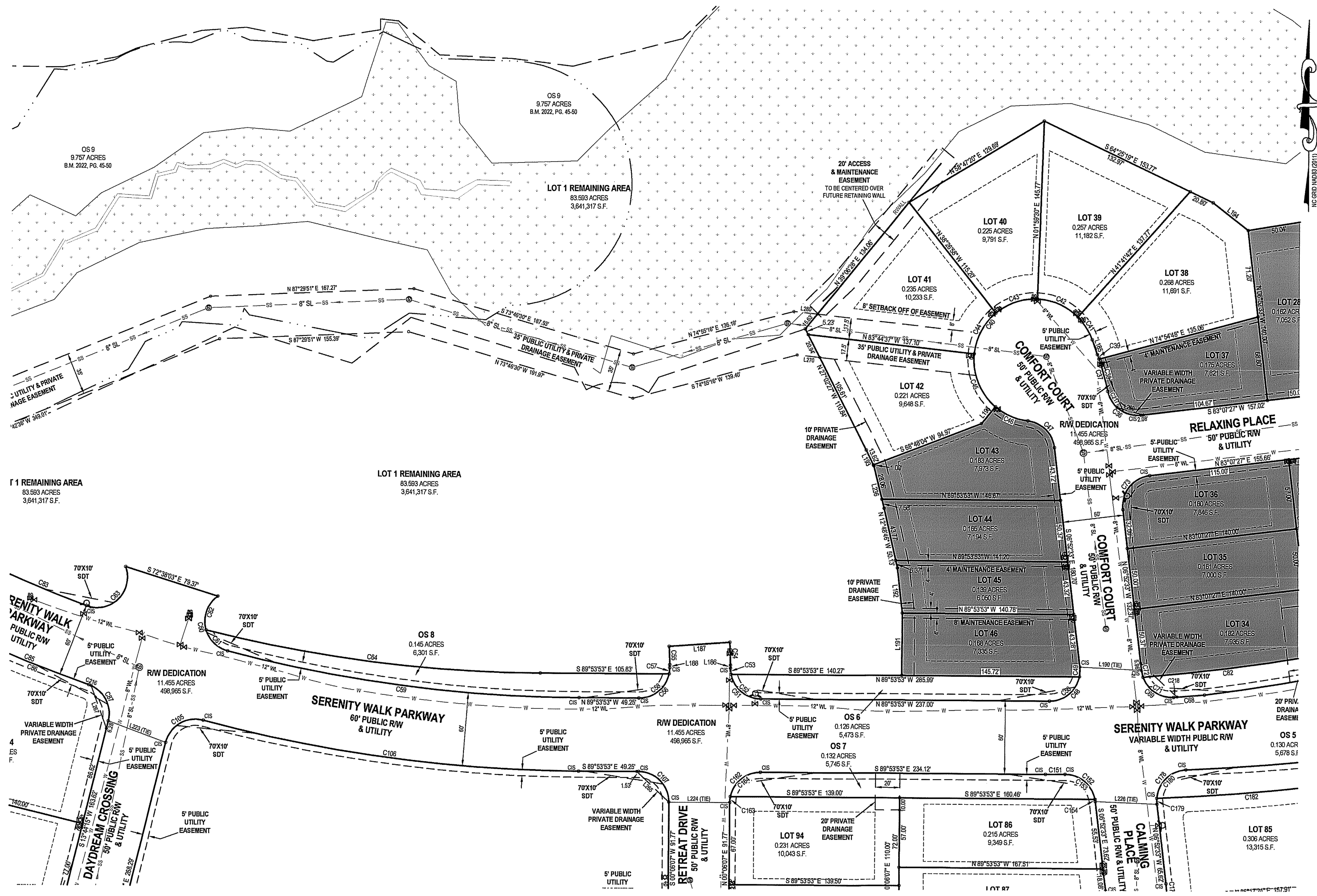
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DATE: 2-8-2022
SCALE: 1"=50'
SURVEYED BY: WR
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CAD FILE: SER1ABCSUB.dwg
PROJECT NO: 02201040.00

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D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615			
TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	WATERSHED: HECTOR CREEK CAPE FEAR RIVER	STATE: NORTH CAROLINA
P.I.N. SEE REFERENCES P.I.D. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	LAND USE: RESIDENTIAL FLOOD INFO: SEE NOTE 4	SHEET: 5 OF 15

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LOT 1 REMAINING AREA
83.593 ACRES
3,641,317 S.F.

LOT 1 REMAINING AREA
83.593 ACRES
3,641,317 S.F.

DATE: 2-8-2022
SCALE: 1"=50'
SURVEYED BY: WR
DRAWN BY: MJB
CHECK & CLOSURE BY: MED
CAD FILE: SER1ABC.SUB.dwg
PROJECT NO: 02201040.00

FINAL SUBDIVISION PLAT FOR
SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.)
LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124,
REMAINING LOT 1 AND PUMP STATION LOT
D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615

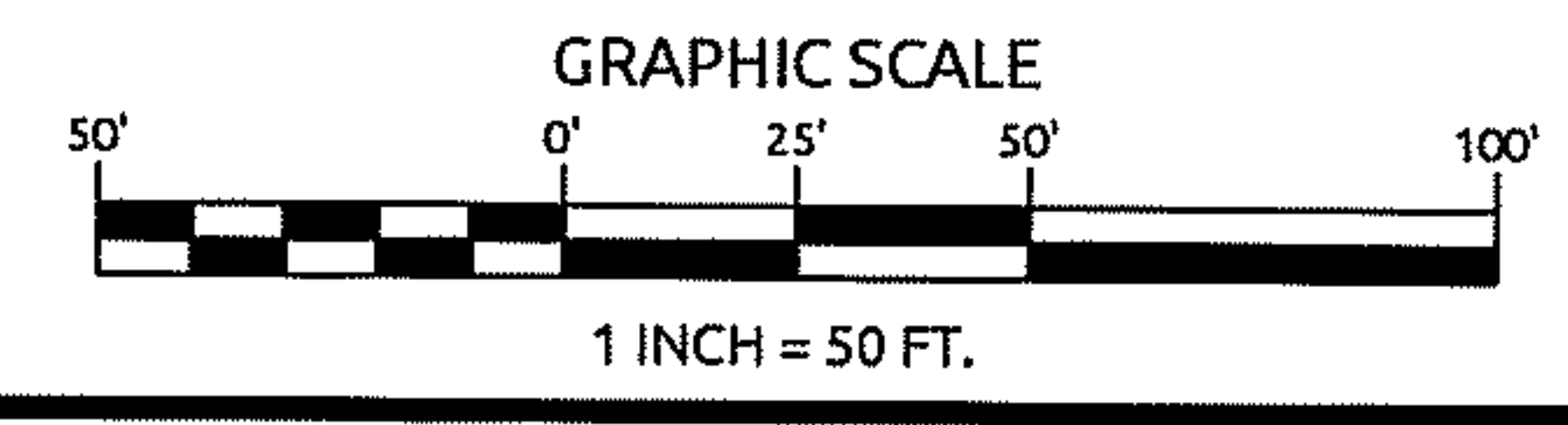
TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	WATERSHED: HECTOR CREEK CAPE FEAR RIVER	STATE: NORTH CAROLINA
P.I.N. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	LAND USE: RESIDENTIAL FLOOD INFO: SEE NOTE 4	SHEET: 6 OF 15



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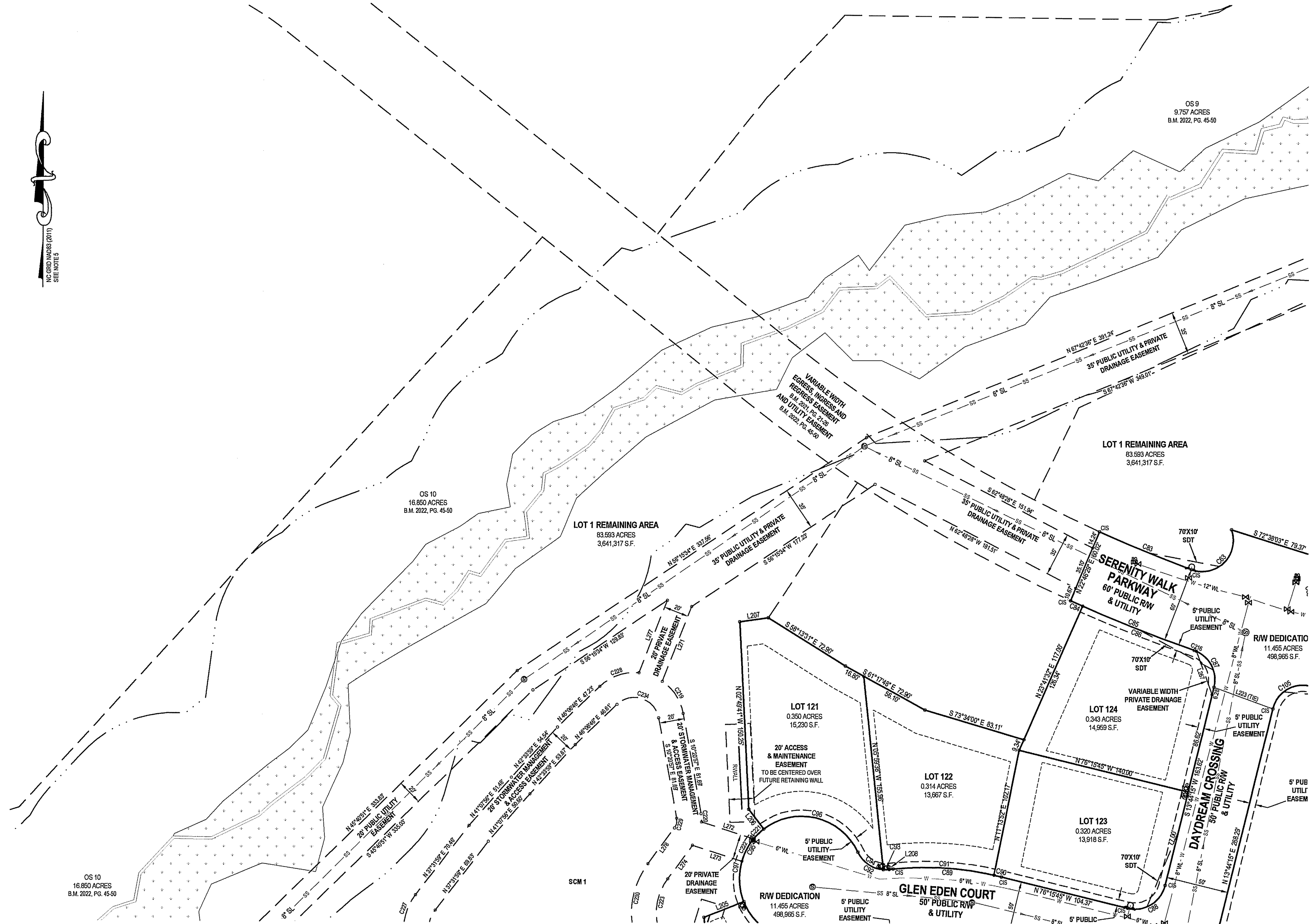
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NORTH CAROLINA
PROFESSIONAL
SEAL
L-3639
MICHAEL E. DICKERSON
LAND SURVEYOR
8/11/22



NC GRID (NAD83 (2011))
SEE NOTES 5

NC GRID MAPS (2011)
SEE NOTE 5



OS 10
16.850 ACRES
B.M. 2022, PG. 45-50

OS 10
16.850 ACRES
B.M. 2022, PG. 45-50

LOT 1 REMAINING AREA
83.693 ACRES
3,641,317 S.F.

OS 9
9.757 ACRES
B.M. 2022, PG. 45-50

LOT 1 REMAINING AREA
83.693 ACRES
3,641,317 S.F.

LOT 121
0.350 ACRES
15,230 S.F.

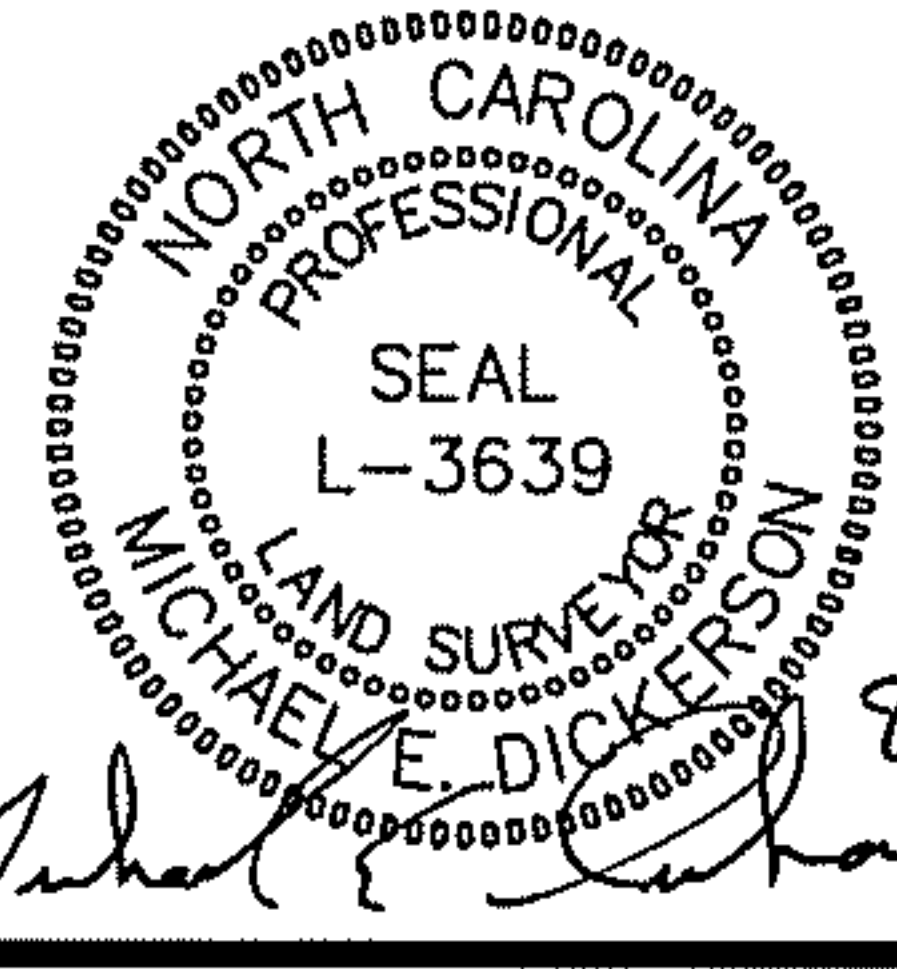
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13,667 S.F.

LOT 123
0.320 ACRES
13,918 S.F.

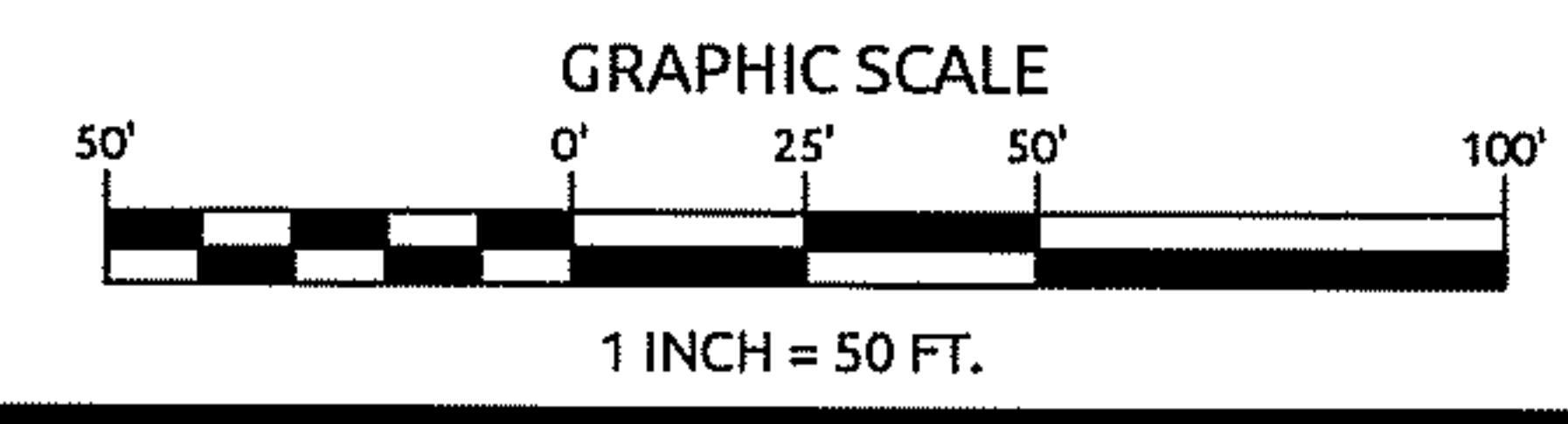
LOT 124
0.343 ACRES
14,959 S.F.

RW DEDICATION
11.455 ACRES
498,965 S.F.

RW DEDICATION
11.455 ACRES
498,965 S.F.



8/11/22



DATE: 2-8-2022	FINAL SUBDIVISION PLAT FOR SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.) LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124, REMAINING LOT 1 AND PUMP STATION LOT		
SCALE: 1"=50'	D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615		
SURVEYED BY: WR	TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	STATE: NORTH CAROLINA
DRAWN BY: MJB	WATERSHED: HECTOR CREEK	CONSERVATION	CAPE FEAR RIVER
CHECK & CLOSURE BY: MED	P.I.N. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	LAND USE: RESIDENTIAL
CAD FILE: SER1ABC.SUB.dwg	P.I.D. SEE REFERENCES	FLOOD INFO: SEE NOTE 4	SHEET: 7 OF 15
PROJECT NO: 02201040.00			

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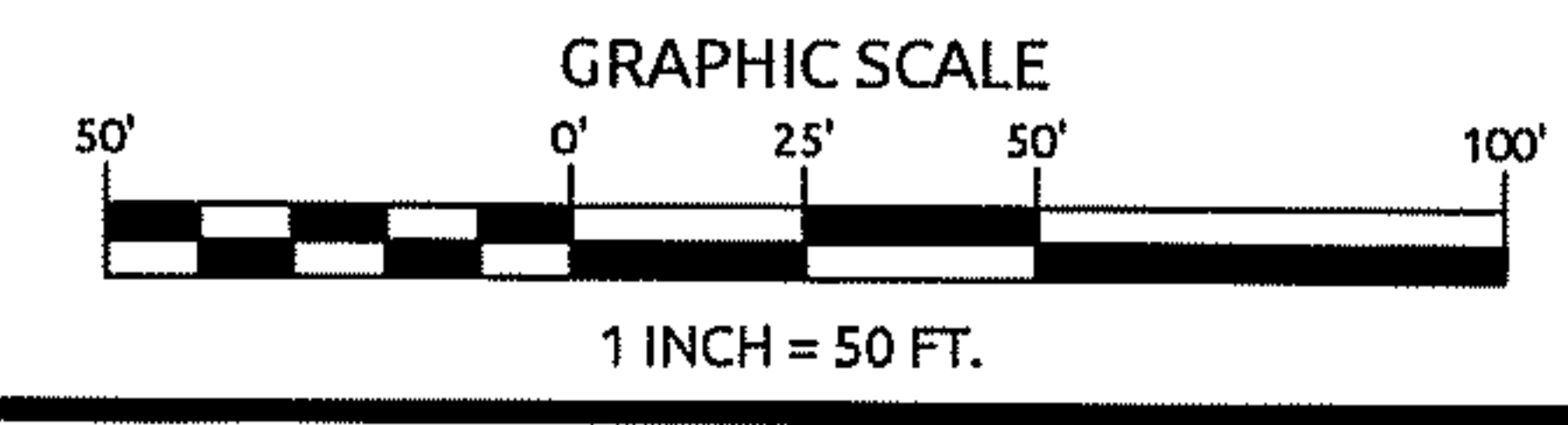
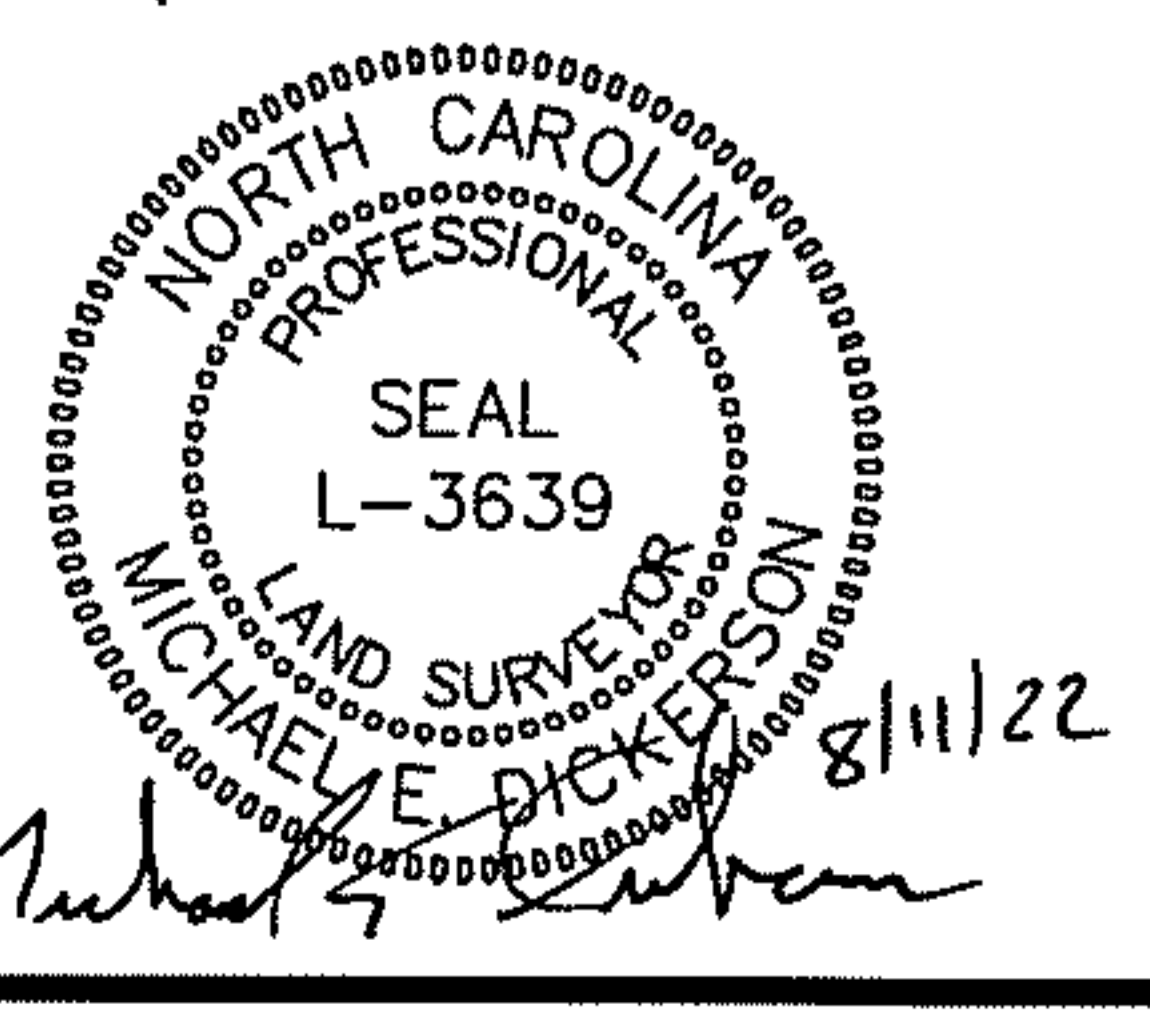
JERRY L. SHOWN
D.B. 1282, PG. 847
P.I.N. 0855-22-5921.000
P.I.D. 080655 0030 17

REGALWOOD HOMEOWNERS
ASSOC INC
D.B. 1343, PG. 382
P.I.N. 0855-22-6899.000
P.I.D. 080655 0030 02

GARY W. KOBLICH
BARBARA A. KOBLICH
D.B. 2768, PG. 205
P.I.N. 0855-22-8844.000
P.I.D. 080655 0030 16

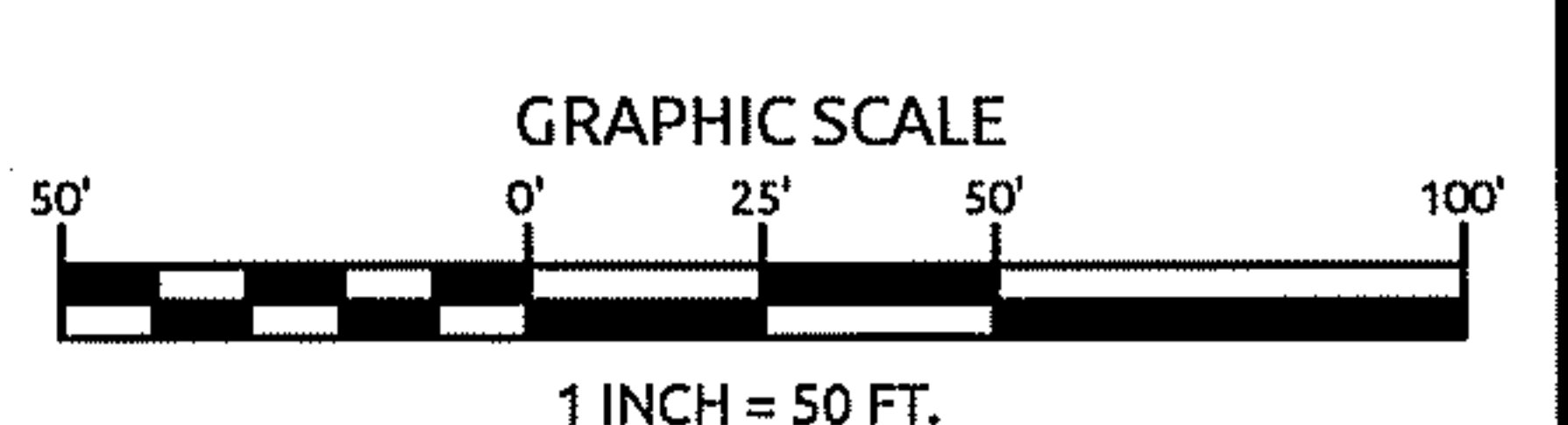
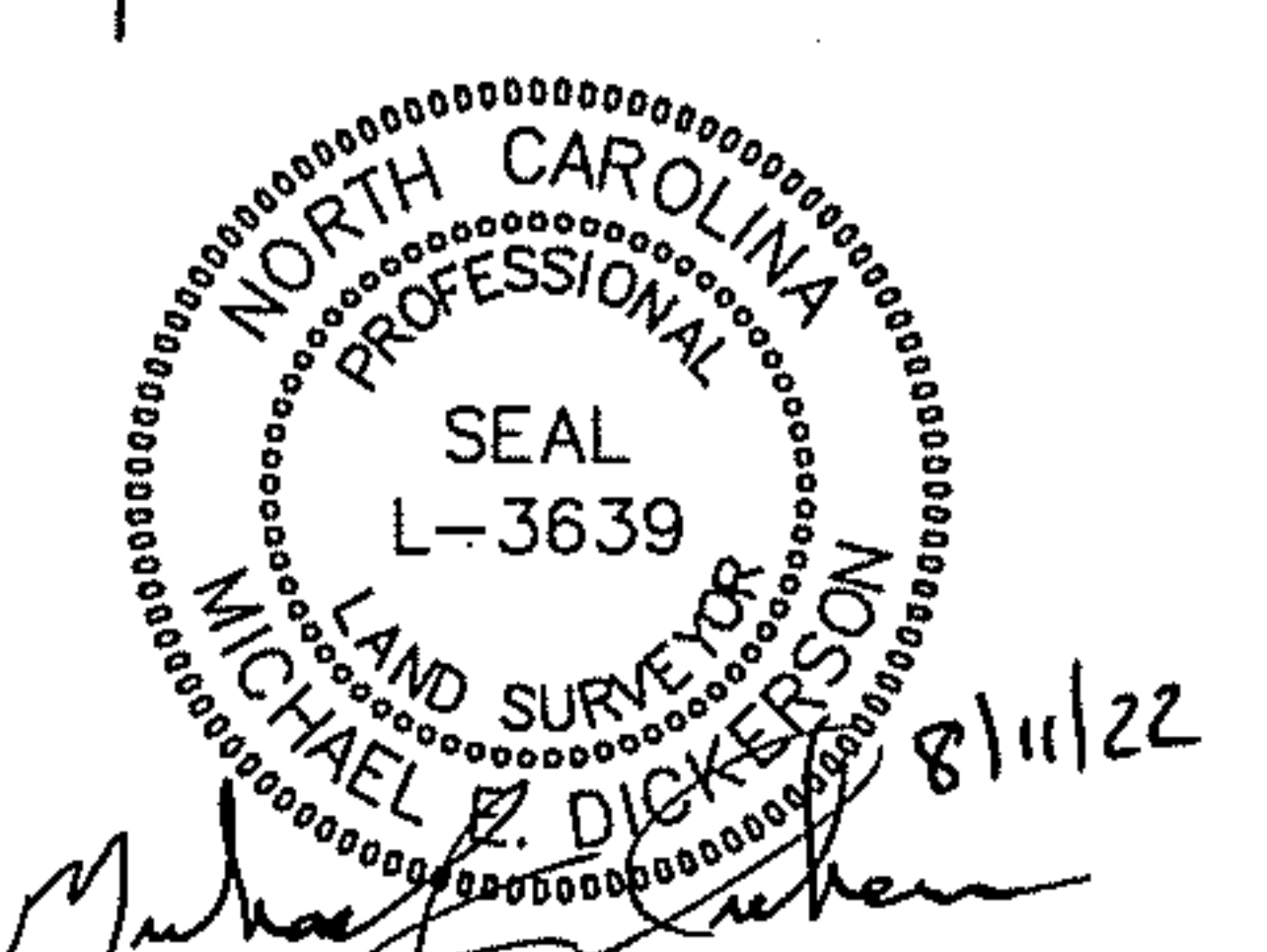
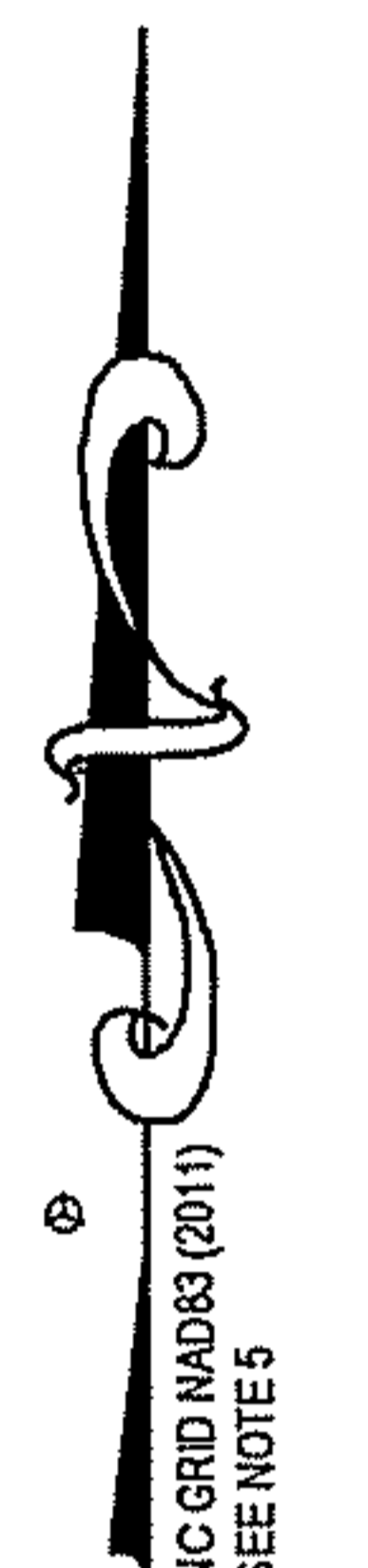
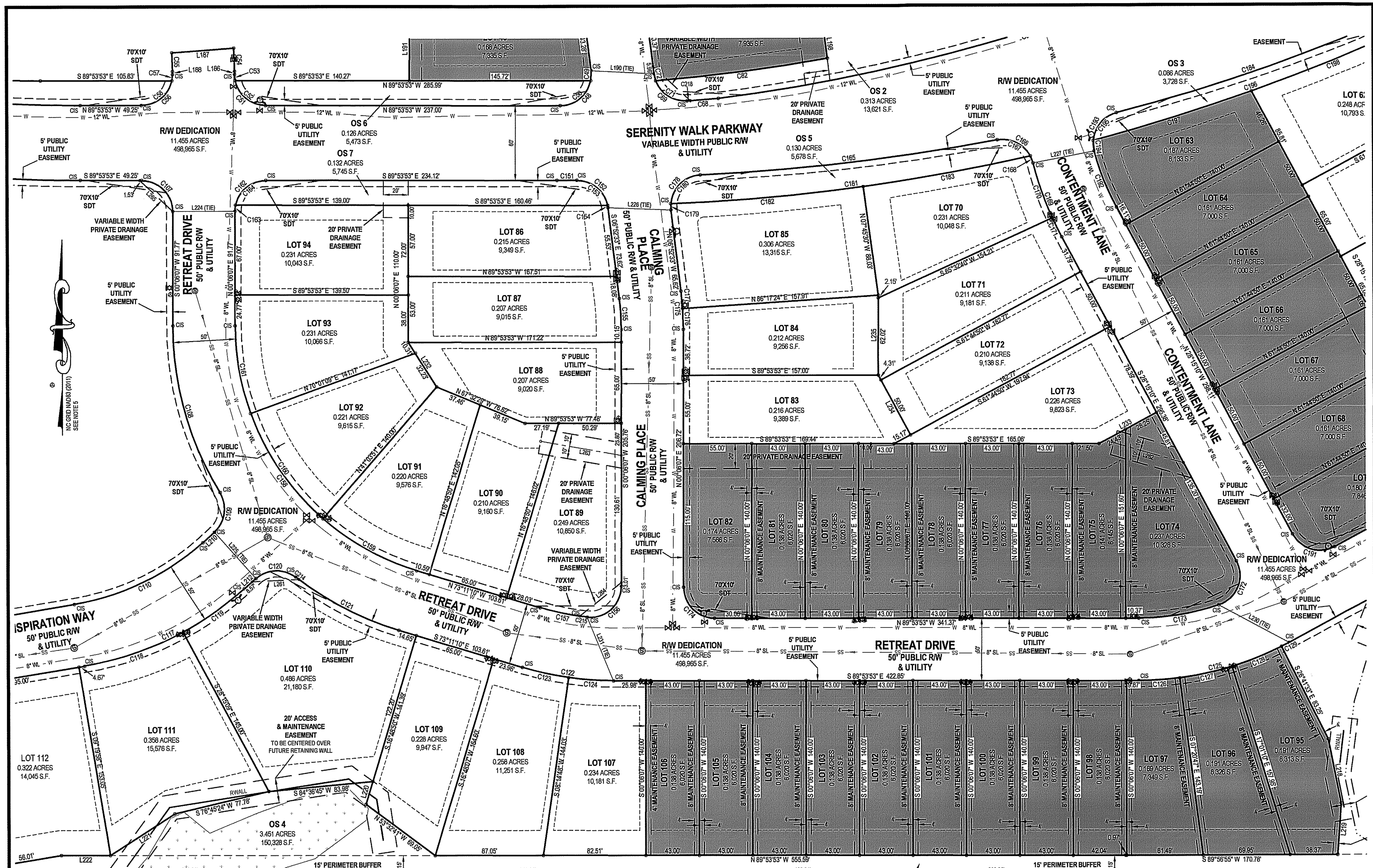
MANUEL R. CARO
GEORGINA A. DELVAL
D.B. 1283, PG. 58
P.I.N. 0855-22-0851.000
P.I.D. 080655 0030 16

CURTIS L. TEMPLE
CHRISTY A. TEMPLE
D.B. 3038, PG. 85
P.I.N. 0855-32-3897.000
P.I.D. 080655 0031



DATE: 2-8-2022	FINAL SUBDIVISION PLAT FOR SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.) LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124, REMAINING LOT 1 AND PUMP STATION LOT		
SCALE: 1"=50'	D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615		
SURVEYED BY: WR	TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	STATE: NORTH CAROLINA
DRAWN BY: MJB	P.I.N. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	WATERSHED: HECTOR CREEK CAPE FEAR RIVER
CHECK & CLOSURE BY: MED	P.I.D. SEE REFERENCES	LAND USE: RESIDENTIAL	FLOOD INFO: SEE NOTE 4
CAD FILE: SER1ABC.SUB.dwg	PROJECT NO: 02201040.00	SHEET: 8 OF 15	

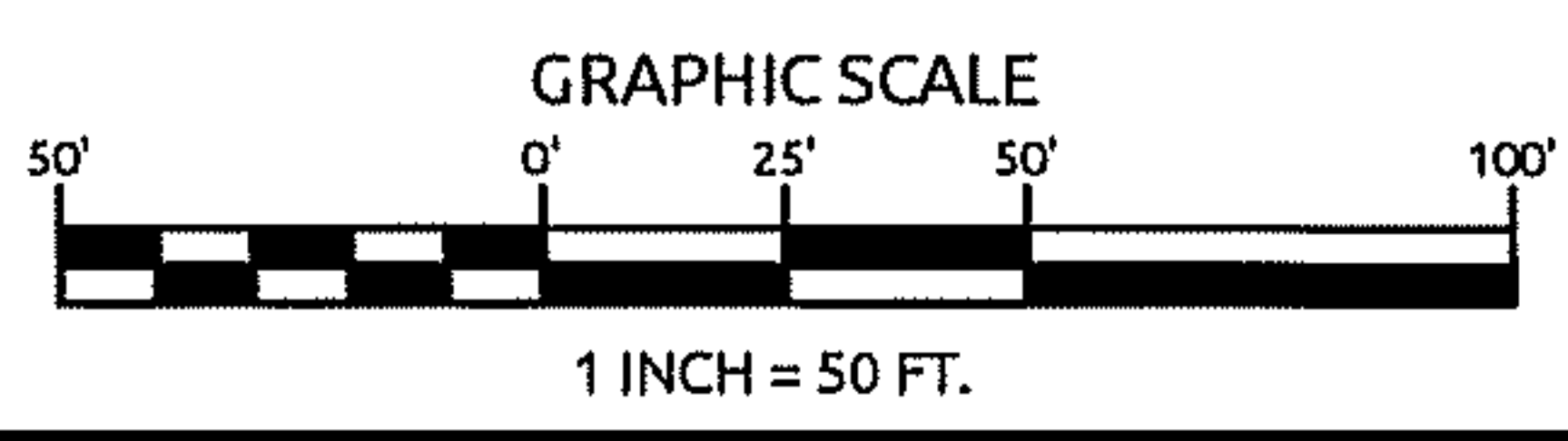
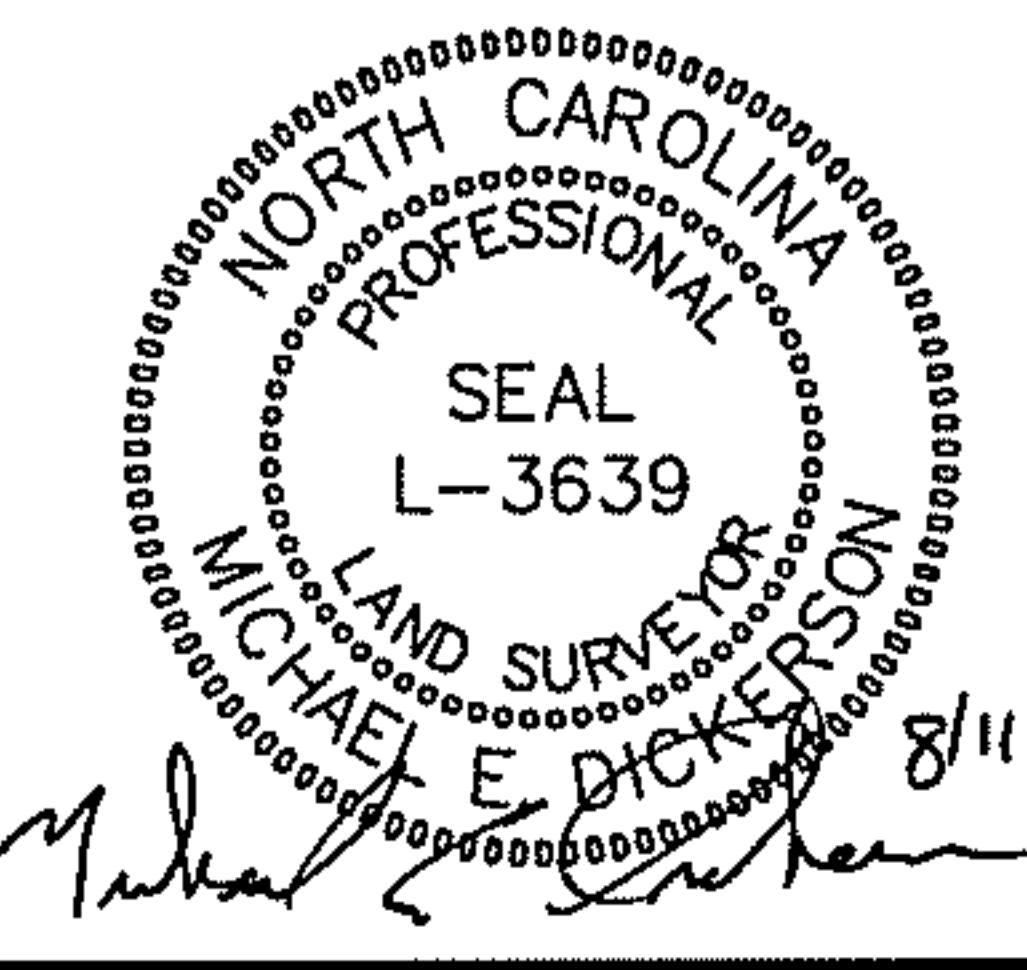
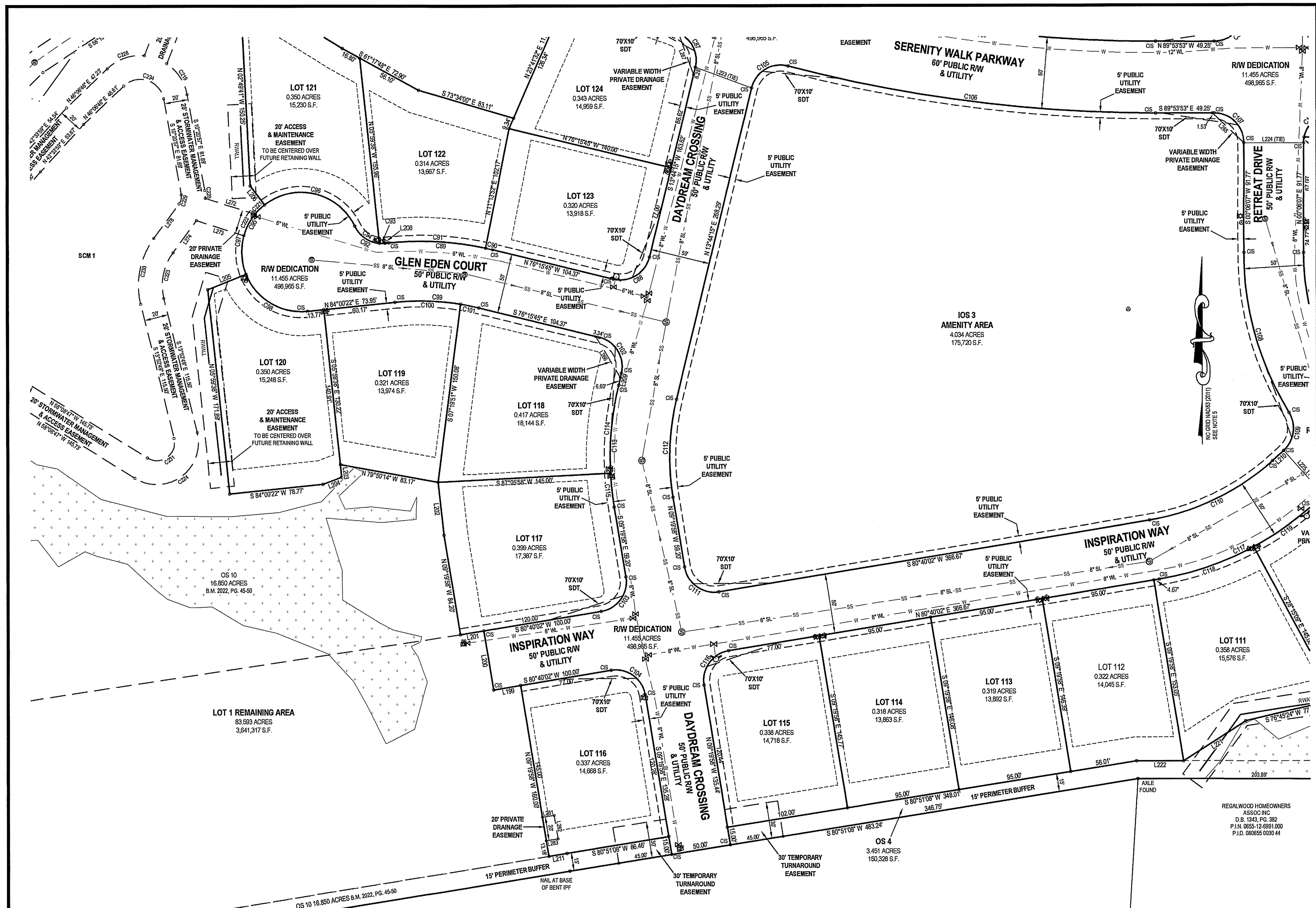
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REGALWOOD HOMEOWNERS ASSOC INC D.B. 1343, PG. 382 P.I.N. 0655-12-6991.000 P.I.D. 080655 0030 44	ASHLEY NICOLE MUENCH D.B. 3707, PG. 86 P.I.N. 0655-12-8981.000 P.I.D. 080655 0030 23	PABLO MARTINEZ & MARGARITA LOPEZ MARTINEZ D.B. 1845, PG. 899 P.I.N. 0655-12-9981.000 P.I.D. 080655 0030 22	MARTIN T VEY D.B. 3384, PG. 570 P.I.N. 0655-22-0981.000 P.I.D. 080655 0030 21	MICHAEL DELEAN WILSON D.B. 1274, PG. 788 P.I.N. 0655-22-1981.000 P.I.D. 080655 0030 20	OS 4 3.451 ACRES 150,328 S.F. TERRY C HUDNETT D.B. 2733, PG. 723 P.I.N. 0655-22-2991.000 P.I.D. 080655 0030 19	LARRY R WARD & ANNA E WARD D.B. 1340, PG. 612 P.I.N. 0655-22-3991.000 P.I.D. 080655 0030 18	JERRY L SHOWN D.B. 1282, PG. 847 P.I.N. 0655-22-5921.000 P.I.D. 080655 0030 17
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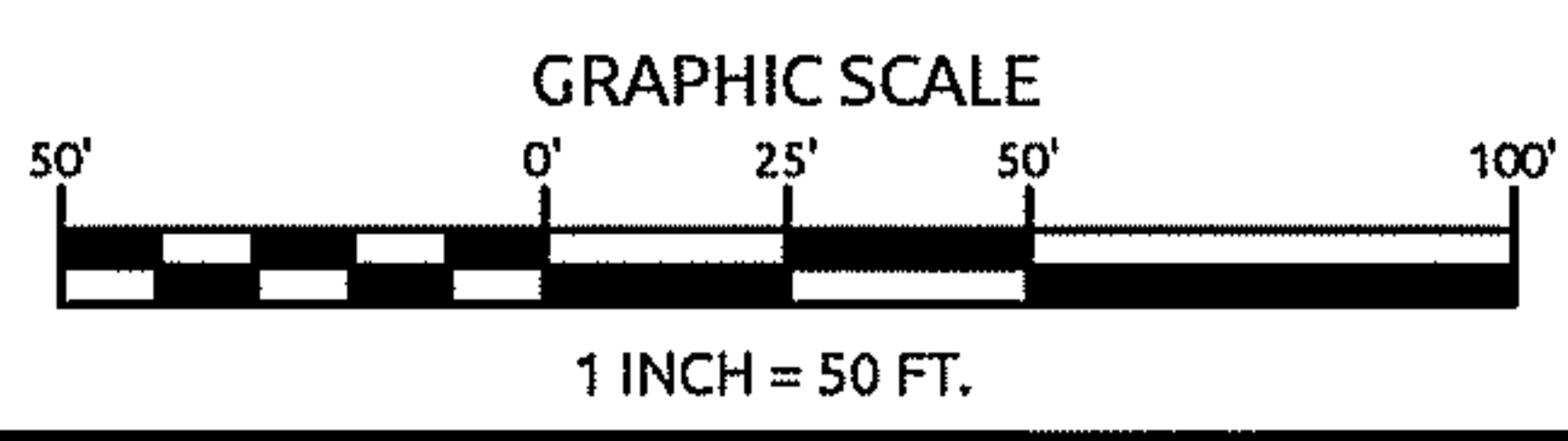
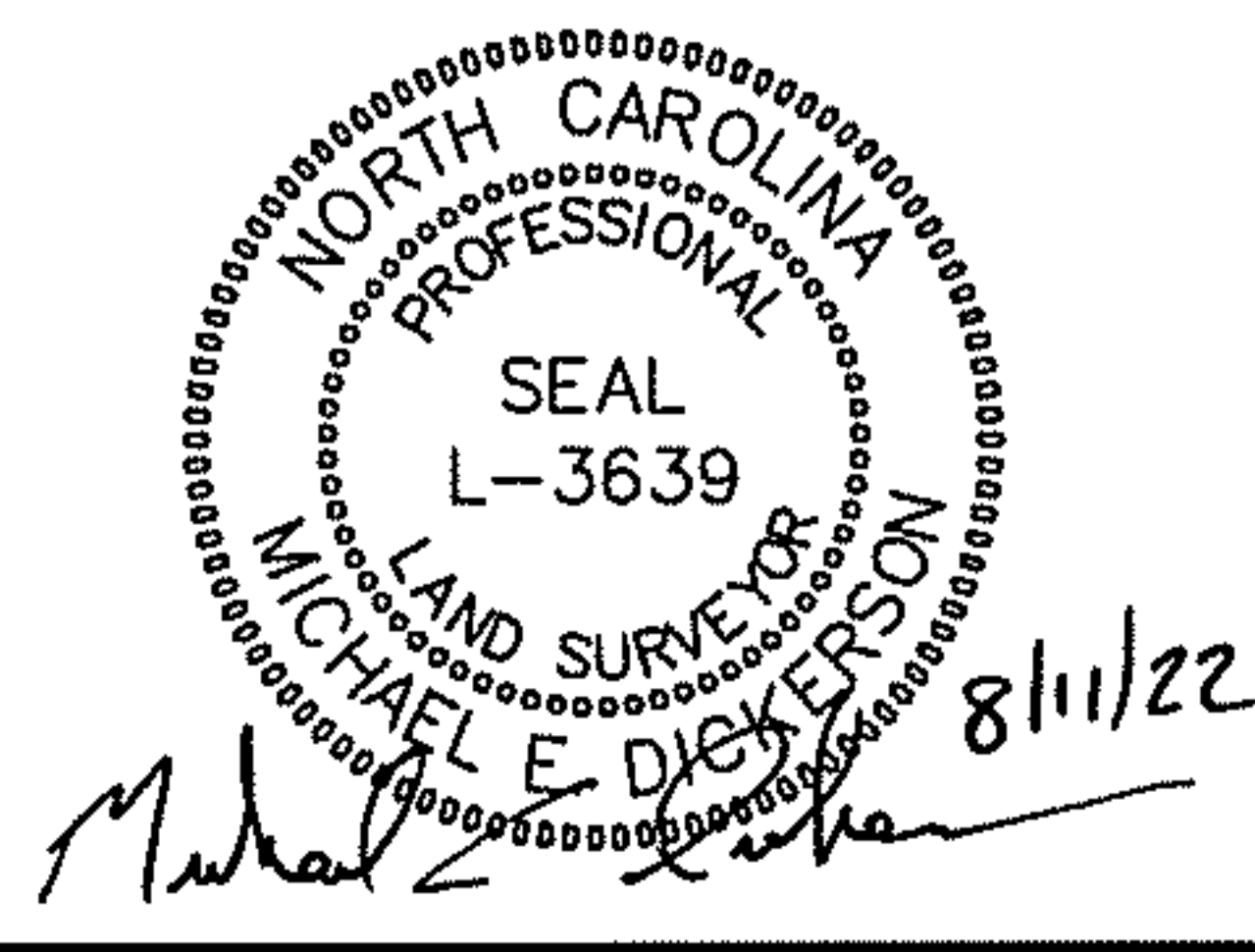
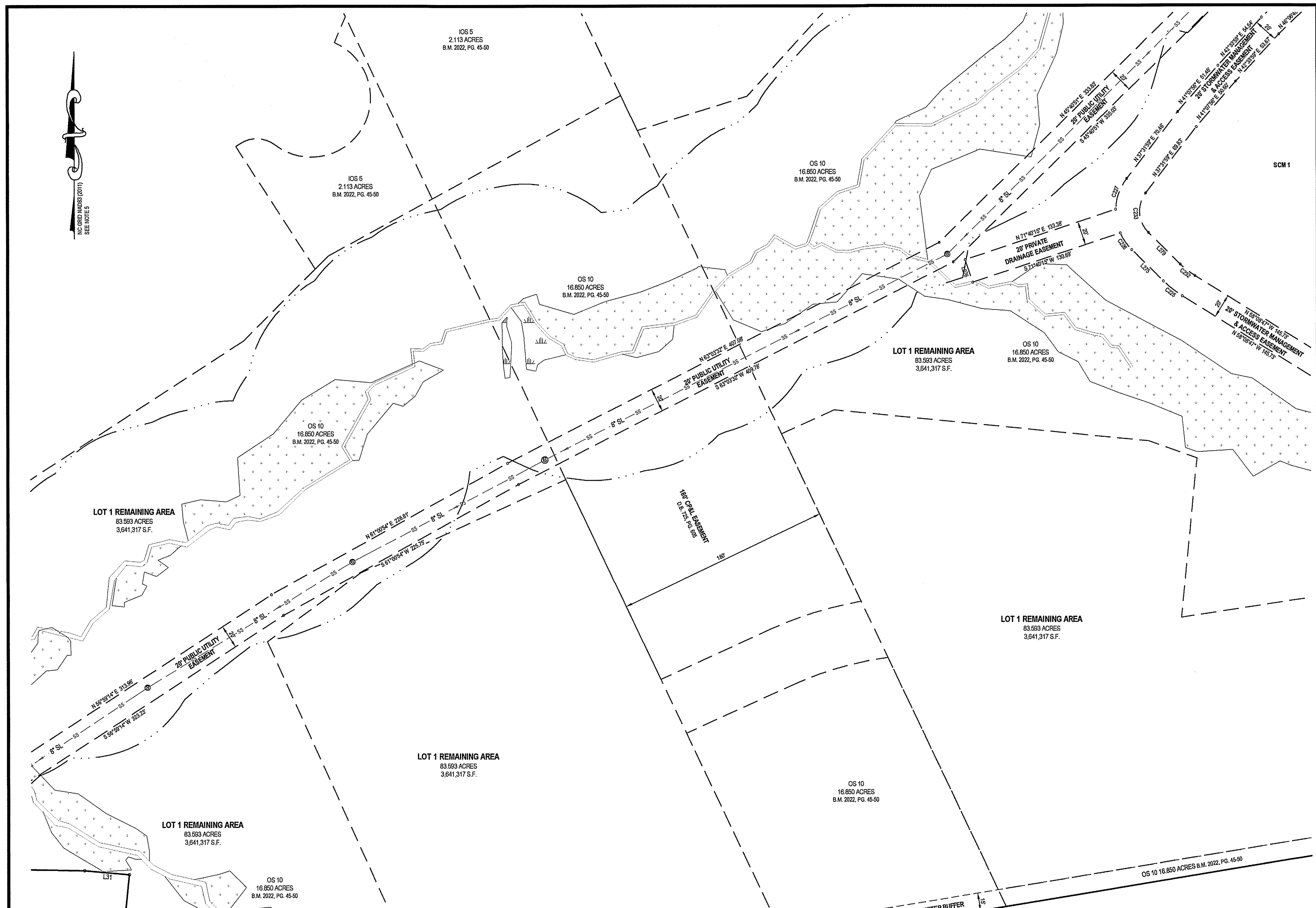
DATE: 2-8-2022	FINAL SUBDIVISION PLAT FOR SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.) LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124, REMAINING LOT 1 AND PUMP STATION LOT		
SCALE: 1"=50'	D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615		
SURVEYED BY: WR	TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	WATERSHED: HECTOR CREEK CAPE FEAR RIVER
DRAWN BY: MJB	P.I.N. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	STATE: NORTH CAROLINA
CHECK & CLOSURE BY: MED	P.I.D. SEE REFERENCES	LAND USE: RESIDENTIAL	FLOOD INFO: SEE NOTE 4
CAD FILE: SER1ABCSUB.dwg			SHEET: 9 OF 15
PROJECT NO: 02201040.00			

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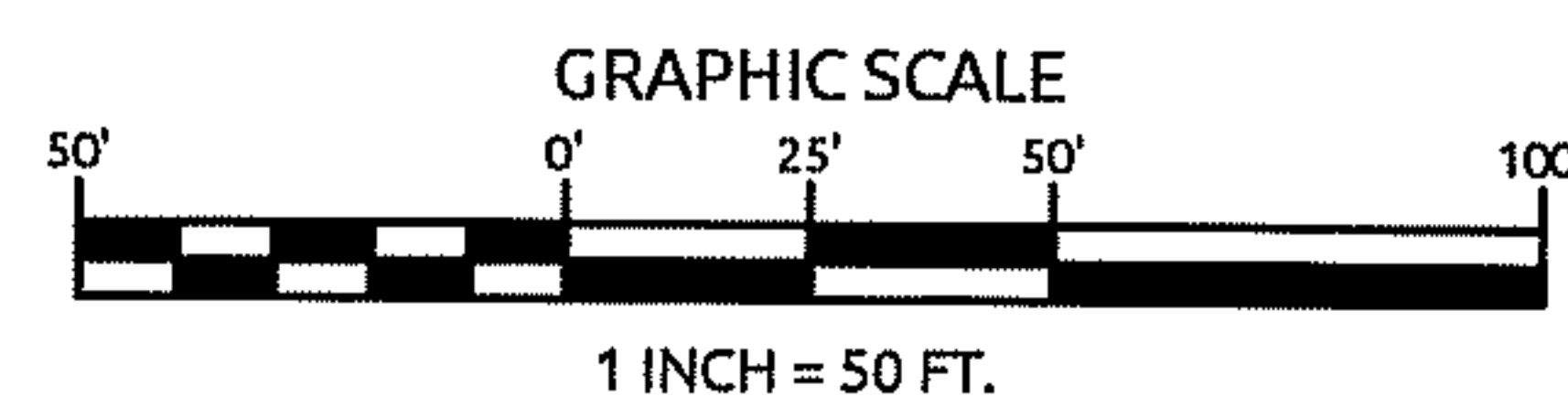
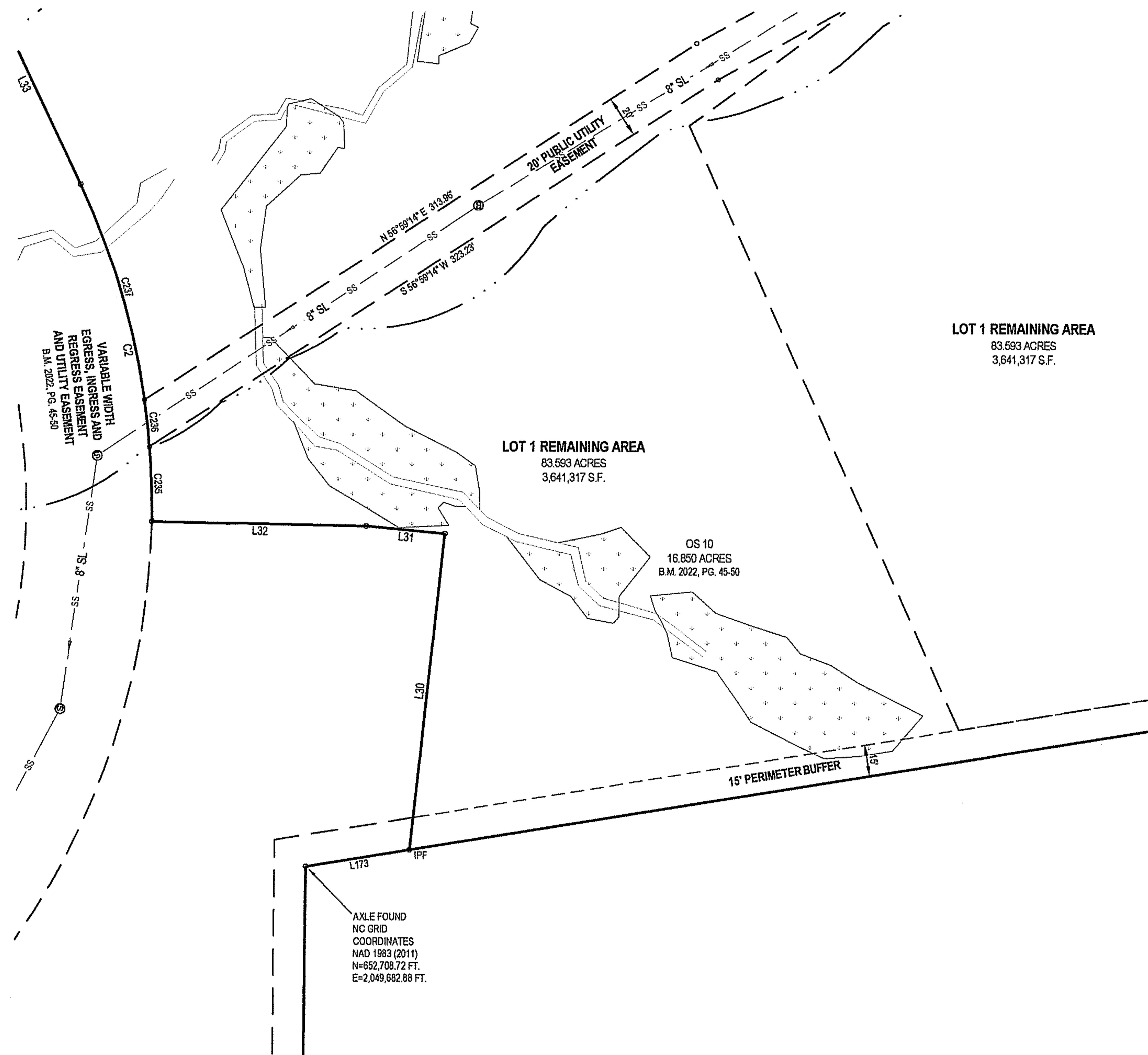
DATE: 2-8-2022	FINAL SUBDIVISION PLAT FOR SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.) LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124, REMAINING LOT 1 AND PUMP STATION LOT		
SCALE: 1"=50'	D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615		
SURVEYED BY: WR	TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	WATERSHED: HECTOR CREEK CAPE FEAR RIVER
DRAWN BY: MJB	P.I.N. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	STATE: NORTH CAROLINA
CHECK & CLOSURE BY: MED	CAD FILE: SER1ABC.SUB.DWG	LAND USE: RESIDENTIAL FLOOD INFO: SEE NOTE 4	SHEET: 10 OF 15
PROJECT NO: 02221040.00			

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DATE: 2-8-2022	FINAL SUBDIVISION PLAT FOR SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.) LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124, REMAINING LOT 1 AND PUMP STATION LOT		
SCALE: 1"=50'	D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615		
SURVEYED BY: WR	TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	WATERSHED: HECTOR CREEK CAPE FEAR RIVER
DRAWN BY: MJB	P.I.N. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	STATE: NORTH CAROLINA
CHECK & CLOSURE BY: MED	CAD FILE: SER1ABCSUB.dwg	LAND USE: RESIDENTIAL FLOOD INFO: SEE NOTE 4	SHEET: 11 OF 15
PROJECT NO: 02201040.00			

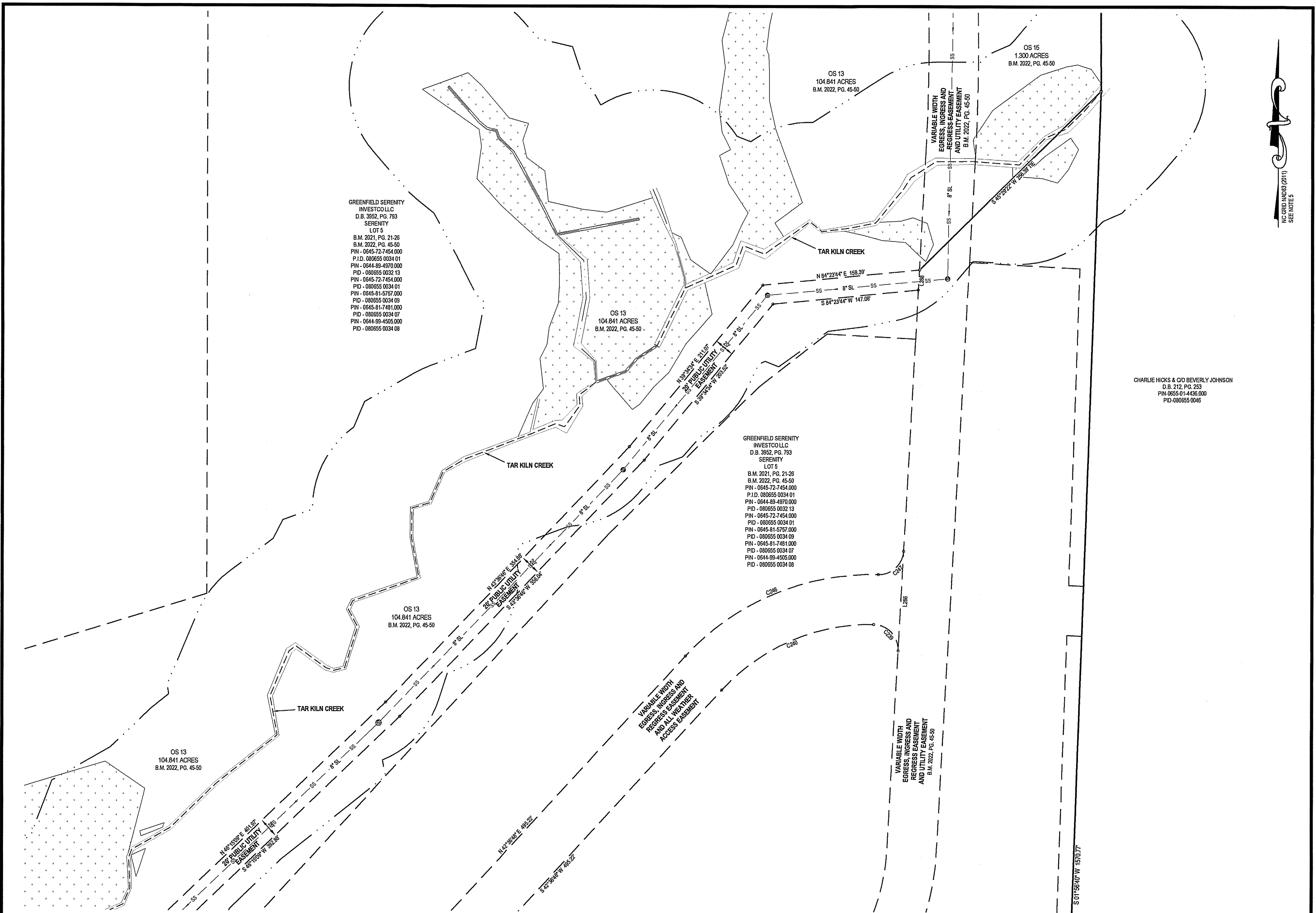
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NORTH CAROLINA
 PROFESSIONAL
 SEAL
 L-3639
 LAND SURVEYOR
 MICHAEL E. DICKERSON
 8/11/22

DATE: 2-8-2022	FINAL SUBDIVISION PLAT FOR		
SCALE: 1"=50'	SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.)		
SURVEYED BY: WR	LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124,		
DRAWN BY: MJB	REMAINING LOT 1 AND PUMP STATION LOT		
CHECK & CLOSURE BY: MED	D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615		
CAD FILE: SER1ABCSUB.dwg	TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	WATERSHED: HECTOR CREEK CAPE FEAR RIVER
PROJECT NO: 02201040.00	P.I.N. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	STATE: NORTH CAROLINA
	P.I.D. SEE REFERENCES	LAND USE: RESIDENTIAL FLOOD INFO: SEE NOTE 4	SHEET: 12 OF 15


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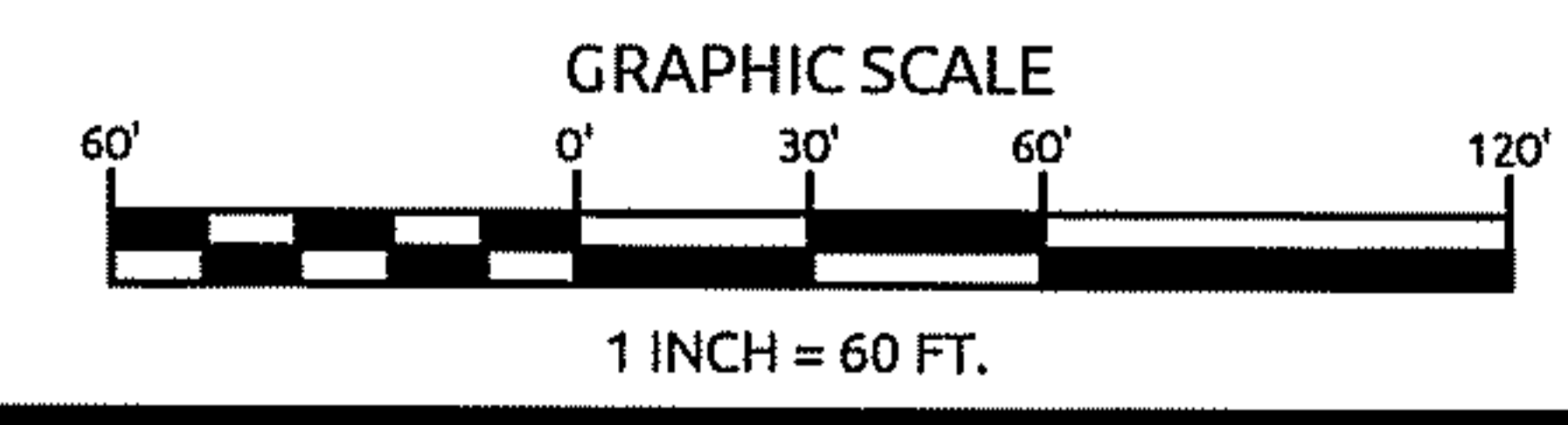
GREENFIELD SERENITY INVESTCO LLC
 D.B. 3952, PG. 793
 SERENITY LOT 5
 B.M. 2021, PG. 21-26
 B.M. 2022, PG. 45-50
 PIN - 0645-72-7454.000
 P.I.D. 080655 0034 01
 PIN - 0644-89-4970.000
 PID - 080655 0032 13
 PIN - 0645-72-7454.000
 PID - 080655 0034 01
 PIN - 0645-81-5757.000
 PID - 080655 0034 09
 PIN - 0645-81-7481.000
 PID - 080655 0034 07
 PIN - 0644-99-4505.000
 PID - 080655 0034 08

CHARLIE HICKS & C/O BEVERLY JOHNSON
 D.B. 212, PG. 253
 PIN-0655-01-4436.000
 PID-080655 0046

GREENFIELD SERENITY INVESTCO LLC
 D.B. 3952, PG. 793
 SERENITY LOT 5
 B.M. 2021, PG. 21-26
 B.M. 2022, PG. 45-50
 PIN - 0645-72-7454.000
 P.I.D. 080655 0034 01
 PIN - 0644-89-4970.000
 PID - 080655 0032 13
 PIN - 0645-72-7454.000
 PID - 080655 0034 01
 PIN - 0645-81-5757.000
 PID - 080655 0034 09
 PIN - 0645-81-7481.000
 PID - 080655 0034 07
 PIN - 0644-99-4505.000
 PID - 080655 0034 08

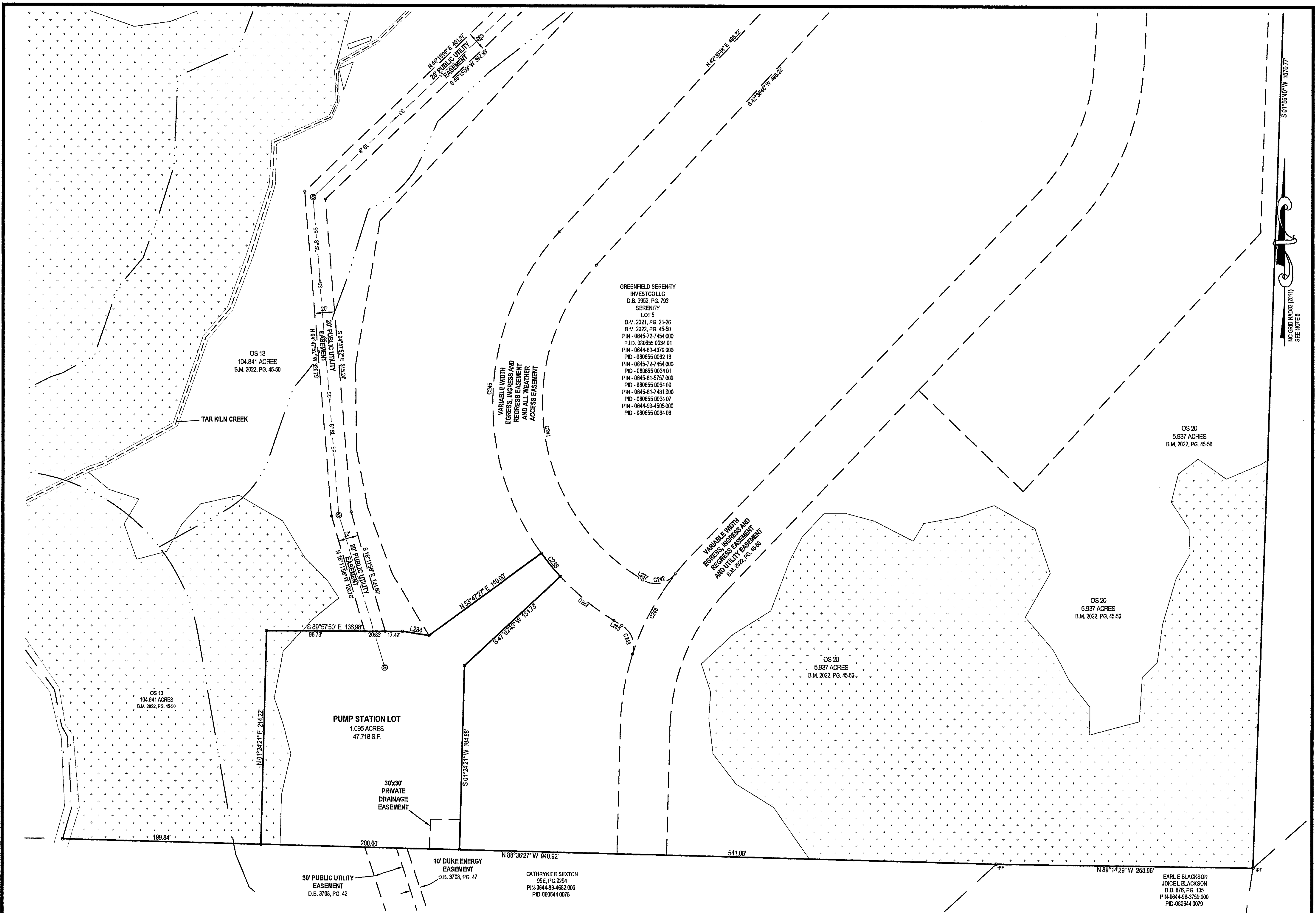
OS 13
 104.841 ACRES
 B.M. 2022, PG. 45-50

NORTH CAROLINA PROFESSIONAL LAND SURVEYOR
 SEAL L-3639
 MICHAEL E. DIEKERSOHN
 8/11/22



DATE: 2-8-2022	FINAL SUBDIVISION PLAT FOR SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.) LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124, REMAINING LOT 1 AND PUMP STATION LOT		
SCALE: 1"=60'	D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615		
SURVEYED BY: WR	TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	WATERSHED: HECTOR CREEK CAPE FEAR RIVER
DRAWN BY: MJB	P.I.N. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	STATE: NORTH CAROLINA
CHECK & CLOSURE BY: MED	P.I.D. SEE REFERENCES	LAND USE: RESIDENTIAL FLOOD INFO: SEE NOTE 4	SHEET: 13 OF 15
CAD FILE: SER1ABCSUB.dwg	PROJECT NO: 02201040.00		

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GREENFIELD SERENITY
 INVESTCO LLC
 D.B. 3052, PG. 793
 SERENITY
 LOT 5
 B.M. 2021, PG. 21-26
 B.M. 2022, PG. 45-50
 PIN - 0645-72-7454.000
 P.I.D. 080655 0034 01
 PIN - 0644-99-4970.000
 PID - 080655 0032 13
 PIN - 0645-72-7454.000
 PID - 080655 0034 01
 PIN - 0645-81-5757.000
 PID - 080655 0034 09
 PIN - 0645-81-7481.000
 PID - 080655 0034 07
 PIN - 0644-99-4535.000
 PID - 080655 0034 08

OS 20
 5.937 ACRES
 B.M. 2022, PG. 45-50

OS 20
 5.937 ACRES
 B.M. 2022, PG. 45-50

OS 20
 5.937 ACRES
 B.M. 2022, PG. 45-50

OS 13
 104.841 ACRES
 B.M. 2022, PG. 45-50

OS 13
 104.841 ACRES
 B.M. 2022, PG. 45-50

PUMP STATION LOT
 1.095 ACRES
 47,716 S.F.

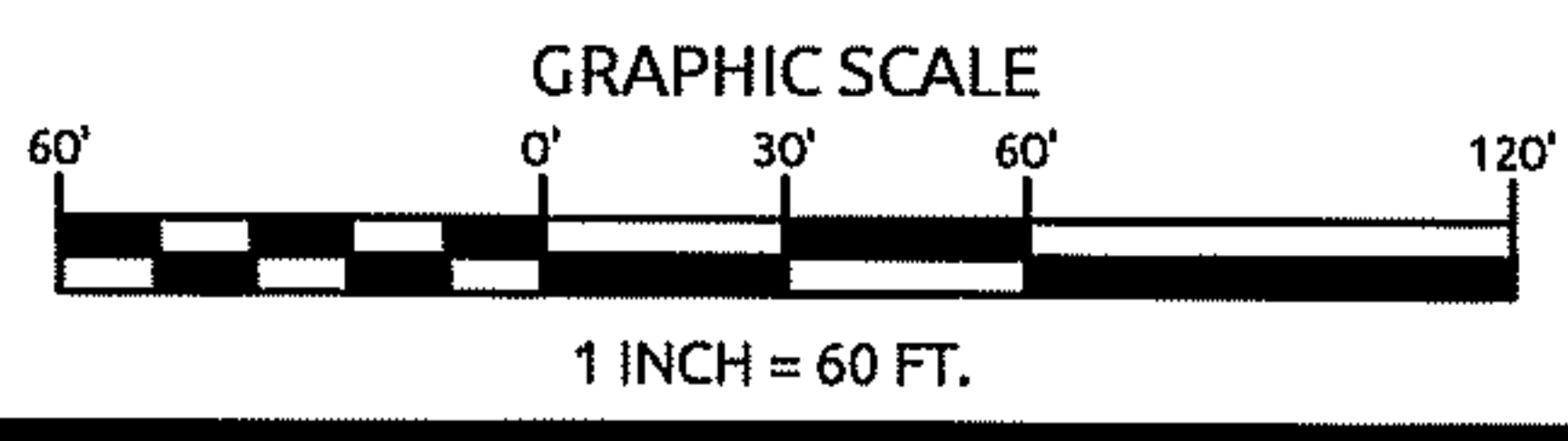
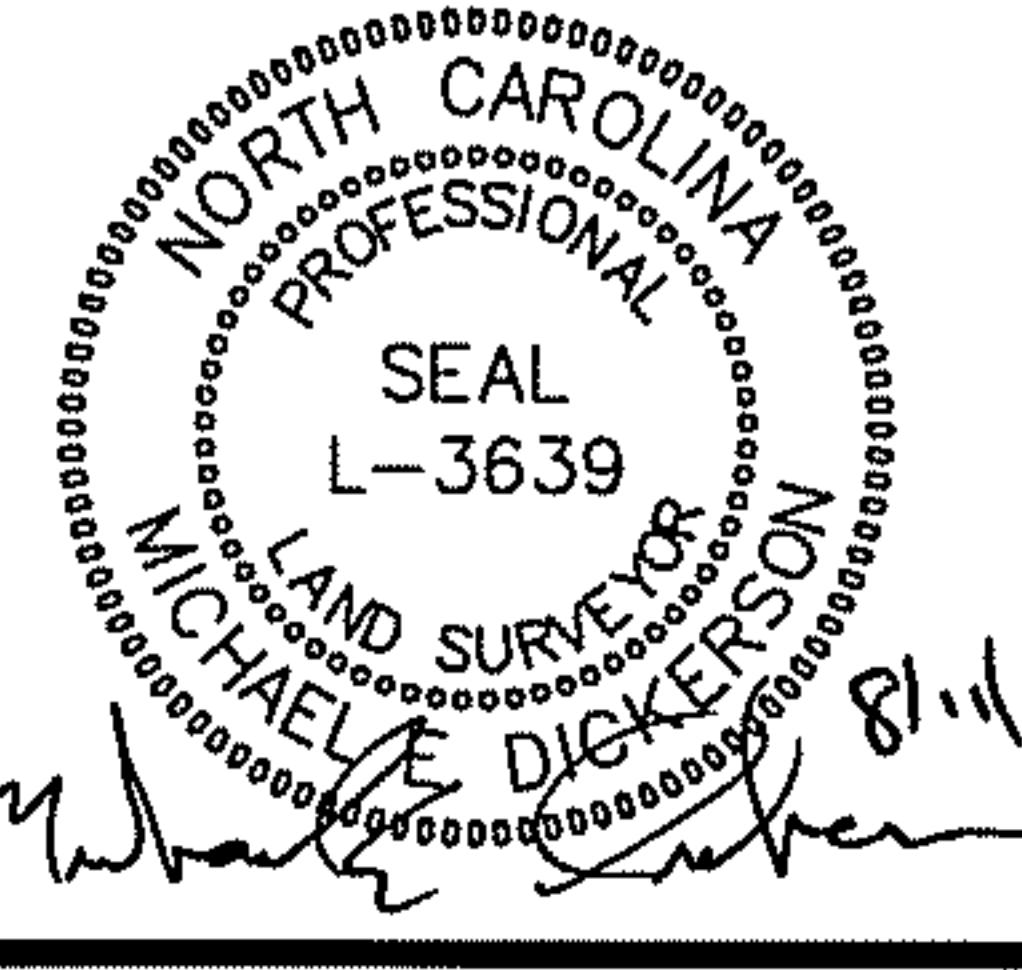
30'x30'
 PRIVATE
 DRAINAGE
 EASEMENT

30' PUBLIC UTILITY
 EASEMENT
 D.B. 3708, PG. 42

10' DUKE ENERGY
 EASEMENT
 D.B. 3708, PG. 47

CATHRYNE E SEXTON
 95E, PG.0294
 PIN-0644-88-4682.000
 PID-080644 0078

EARL E BLACKSON
 JOICE L BLACKSON
 D.B. 876, PG. 135
 PIN-0644-98-3759.000
 PID-080644 0079



DATE: 2-8-2022
SCALE: 1"=60'
SURVEYED BY: WR
DRAWN BY: MJB
CHECK & CLOSURE BY: MED
CAD FILE: SER1ABCSUB.dwg
PROJECT NO: 02201040.00

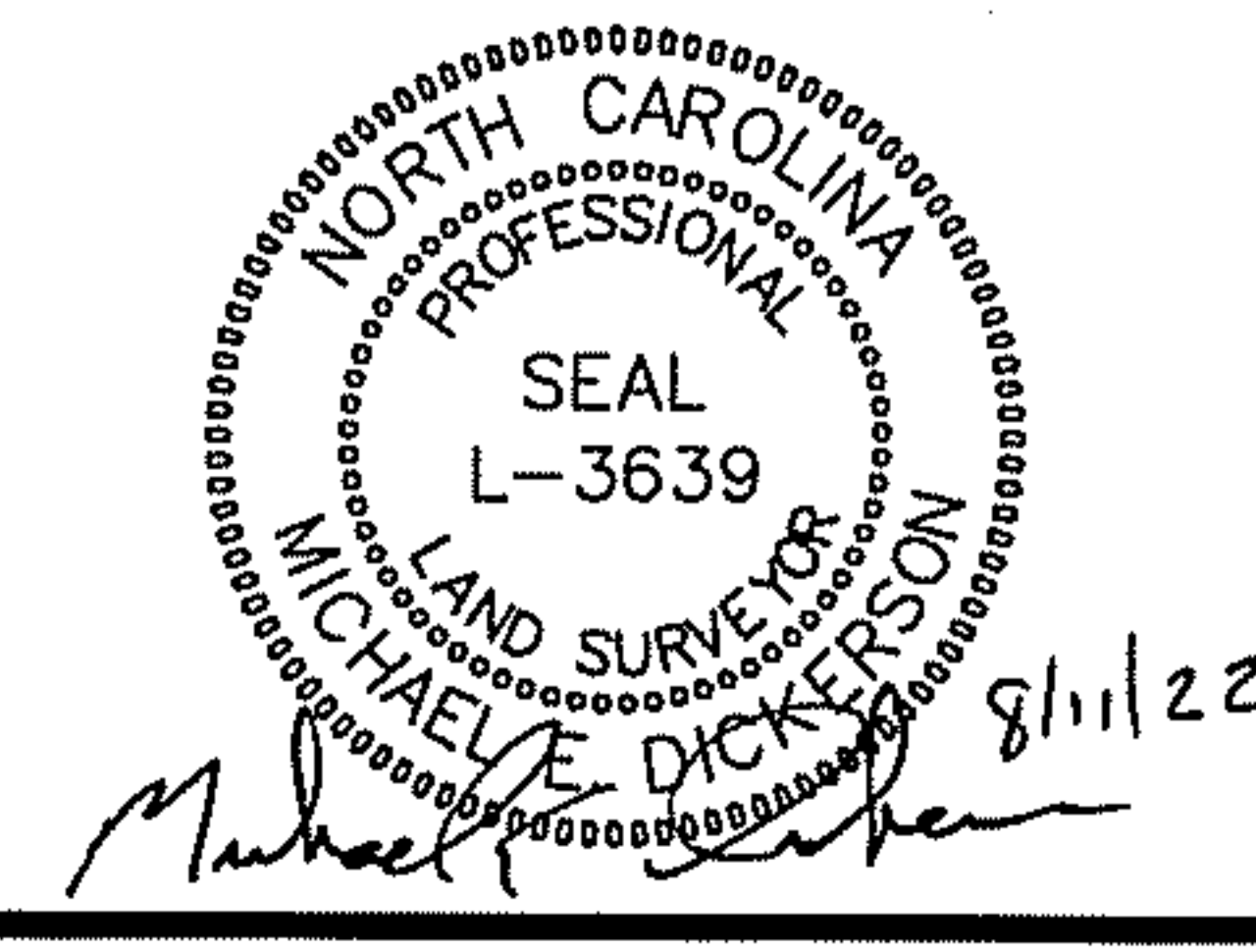
FINAL SUBDIVISION PLAT FOR SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.) LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124, REMAINING LOT 1 AND PUMP STATION LOT D.B. 3711, PG. 808, GREENFIELD-SERENITY, LLC, 8601 SIX FORKS RD., STE. 270, RALEIGH, NC 27615			
TOWNSHIP: HECTOR'S CREEK	COUNTY: HARNETT	WATERSHED: HECTOR CREEK CAPE FEAR RIVER	STATE: NORTH CAROLINA
P.I.N. SEE REFERENCES P.I.D. SEE REFERENCES	ZONING: RA-30, RA-40 & CONSERVATION	LAND USE: RESIDENTIAL FLOOD INFO: SEE NOTE 4	SHEET: 14 OF 15

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NC GRID NAD83 (2011)
 SEE NOTE 5

CURVE TABLE with columns: CURVE #, RADIUS, ARC LEN, CHORD BRG, CHORD LEN, CURVE #, RADIUS, ARC LEN, CHORD BRG, CHORD LEN. Contains data for curves C1 through C99.

LINE TABLE with columns: LINE #, BEARING, DISTANCE, LINE #, BEARING, DISTANCE, LINE #, BEARING, DISTANCE. Contains data for lines L1 through L99.



Project information form including: DATE: 8-1-2022, SCALE: N/A, SURVEYED BY: WR, DRAWN BY: MJB, CHECK & CLOSURE BY: MED, CAD FILE: SER1ABC.SUB.dwg, PROJECT NO: 02201040.00, TOWNSHIP: HECTOR'S CREEK, COUNTY: HARNETT, WATERSHED: HECTOR CREEK CAPE FEAR RIVER, STATE: NORTH CAROLINA, ZONING: RA-30, RA-40 & CONSERVATION, LAND USE: RESIDENTIAL, FLOOD INFO: SEE NOTE 4, SHEET: 15 OF 15.



FINAL SUBDIVISION PLAT FOR SERENITY PHASE 1 (LOTS GREATER THAN 9,000 S.F.) LOTS 1-24, 38-42, 47-62, 70-73, 83-94, 107-124, REMAINING LOT 1 AND PUMP STATION LOT