

Site 2101-0002

Initial Application Date: _____

Application # _____

DRB _____ CU _____

COMMERCIAL

COUNTY OF HARNETT LAND USE APPLICATION

Central Permitting 108 E. Front Street, Lillington, NC 27546 Phone: (910) 893-7525 Fax: (910) 893-2793 www.harnett.org/permits

LANDOWNER: 3D Community Church Mailing Address: 100 Upchurch Farm Road

City: Sanford State: NC Zip: 27332 Home #: 919-498-0007 Contact #: 919-499-3318

APPLICANT*: (same as landowner) Mailing Address: _____

City: _____ State: _____ Zip: _____ Office #: _____ Contact #: _____

*Please fill out applicant information if different than landowner

CONTACT NAME APPLYING IN OFFICE: Jarrold Hilliard Phone #: 919-352-2834

PROPERTY LOCATION: Subdivision: n/a Lot #: n/a Lot Size: 14.2 ac

State Road #: 1290 State Road Name: Graham Road Map Book&Page: 2018, 357

Parcel: 0395770057 PIN: 9658-83-2297.000

Zoning: Commercial/ RA-20R Flood Zone: No Watershed: No Deed Book&Page: 3666, 0306 Power Company*: D

*New structures with Progress Energy as service provider need to supply premise number 83351046 from Progress Energy.

SPECIFIC DIRECTIONS TO THE PROPERTY FROM LILLINGTON: From Lillington, take Hwy 27

West for a distance of 14.8 miles. Take a left onto Barbecue Church Rd. Go 3.6 miles and turn left onto ^{right} Olivia Rd.

Go 2,000' and turn left onto Benhaven School Rd.

Go 3,000' and turn right onto Graham Rd. Go 3,200'. Site is on right.

PROPOSED USE:

- Multi-Family Dwelling No. Units _____ No. Bedrooms/Unit _____
- Business Sq. Ft. Retail Space _____ Type _____ # Employees: _____ Hours of Operation: _____
- Daycare # Preschoolers _____ # Afterschoolers _____ # Employees _____ Hours of Operation _____
- Industry Sq. Ft. _____ Type _____ # Employees: _____ Hours of Operation: _____
- Church Seating Capacity 299 # Bathrooms 2 Kitchen yes
- Accessory/Addition/Other (Size _____ x _____) Use _____

Water Supply: County Well (No. dwellings _____) **MUST** have operable water before final
Sewage Supply: New Septic Tank (Complete Checklist) Existing Septic Tank (Complete Checklist) County Sewer

Comments: _____

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

Signature of Owner or Owner's Agent Jarrold Hilliard Hilliard Engineering Date 10/29/2024

This application expires 6 months from the initial date if no permits have been issued

A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION

Please use Blue or Black Ink ONLY

For Registration Kimberly S. Hargrove
Register of Deeds
Harnett County, NC
Electronically Recorded
2019 Jan 09 02:42 PM NC Rev Stamp: \$ 400.00
Book: 3666 Page: 306 - 307 Fee: \$ 26.00
Instrument Number: 2019000286

HARNETT COUNTY TAX ID #
039577 0057

01-09-2019 BY: SB

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$400.00

Parcel Identifier No. 039577 0057 Verified by _____ County on the ___ day of _____, 20____
By: _____

Mail/Box to: Mail to: Grantee

This instrument was prepared by: Pope & Pope, Attorneys at Law, P.A. (File No. 18.498)

Brief description for the Index: 15.21 ac. +/- Map No. 2018-357

THIS DEED made this 2nd day of January, 2019, by and between

GRANTOR	GRANTEE
James McKay Cameron, Divorced 1513 Flat Top Road Blowing Rock, NC 28605	3D Community Church, Inc. 200 Upchurch Farm Road Sanford, NC 27332

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot, parcel of land or condominium unit situated in the City of Barbecue Township, Harnett County, North Carolina and more particularly described as follows:

BEING all of that tract or parcel of real property containing 15.21 acres, more or less, as shown upon that map entitled, "Survey For: James McKay Cameron" prepared by Melvin A. Graham, PLS, dated 11/15/2018 and recorded in Map No. 2018-357, Harnett County Registry, reference to which map is hereby made for greater certainty of description.

For title reference, see that deed from Hugh Scott Cameron and wife, Janet Smith Cameron and Rebecca Cameron McLemore to James McKay Cameron dated March 16, 2018 and recorded in Book 3595, Page 163, Harnett County Registry. See also, Book 596, Page 213; Book 571, Page 140; and Book 570, Page 177, Harnett County Registry. For further reference, see the Estate of Etta R. Ruff, Harnett County Clerk of Court File No. 17 E 231.

Submitted electronically by "Pope & Pope, Attorneys at Law, P.A."
in compliance with North Carolina statutes governing recordable documents
and the terms of the submitter agreement with the Harnett County Register of Deeds.

The property hereinabove described was acquired by Grantor by instrument recorded in Book 3595, Page 163

Harnett County Registry

All or a portion of the property herein conveyed includes or does not include the primary residence of a Grantor.

A map showing the above described property is recorded in Plat Book 2018 page 357.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

1. 2019 Harnett County ad valorem taxes and subsequent years not yet due and payable.
2. This property is sold subject to all restrictions, easements, rights-of-way, covenants, and other such matters of record.
3. This property is sold subject to all such facts as a current survey of the subject property would reveal.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

By: _____ (Entity Name) James McKay Cameron (SEAL)
 Print/Type Name: James McKay Cameron

Print/Type Name & Title: _____ Print/Type Name: _____ (SEAL)

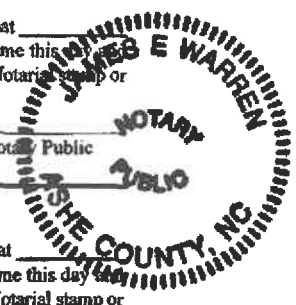
By: _____ Print/Type Name & Title: _____ Print/Type Name: _____ (SEAL)

By: _____ Print/Type Name & Title: _____ Print/Type Name: _____ (SEAL)

State of North Carolina - County or City of WATAUGA

I, the undersigned Notary Public of the County or City of ASHE and State aforesaid, certify that James McKay Cameron personally appeared before me this _____ day of _____, 2019 and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial seal or seal this 24th day of January, 2019.

My Commission Expires: 24 AUG 2021
 (Affix Seal) _____ Notary Public
 Notary's Printed or Typed Name



State of North Carolina - County or City of _____

I, the undersigned Notary Public of the County or City of _____ and State aforesaid, certify that _____ personally appeared before me this day _____ and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this _____ day of _____, 20____.

My Commission Expires: _____ Notary Public
 (Affix Seal) _____ Notary's Printed or Typed Name

State of North Carolina - County or City of _____

I, the undersigned Notary Public of the County or City of _____ and State aforesaid, certify that _____ personally came before me this day and acknowledged that he is the _____ of _____, a North Carolina or _____ corporation/limited liability company/general partnership/limited partnership (strike through the inapplicable), and that by authority duly given and as the act of such entity, he signed the foregoing instrument in its name on its behalf as its act and deed. Witness my hand and Notarial stamp or seal, this _____ day of _____, 20____.

My Commission Expires: _____ Notary Public
 Notary's Printed or Typed Name

CERTIFICATE OF OWNERSHIP, DEDICATION AND JURISDICTION (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OR AGENT OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HAVE BEEN ADVISED BY THE COUNTY PLANNER AND THAT I (WE) UNDERSTAND THE TERMS AND CONDITIONS OF THIS PLAN OF SUBDIVISION AND THAT I (WE) AGREE TO THE DEDICATION OF ALL STREETS, ALLEYS, BUILDING SETBACK LINES, AND EASEMENTS TO PUBLIC OR WALKS, PARKS AND OTHER GITES AND EASEMENTS TO PUBLIC OR TO THE STATE OR FEDERAL GOVERNMENT OR TO ANY AGENCY THEREWITH IN THE SUBDIVISION REGULATION JURISDICTION OF HARNETT COUNTY EXCEPT:

STATE OF NORTH CAROLINA
COUNTY OF HARNETT
I, Melvin A. Graham, Surveyor, do hereby certify that the above described plat is correct and true to the original survey and that the same has been recorded in the public records of Harnett County, North Carolina, in accordance with the provisions of the Subdivision Regulation Act, Chapter 40A, Article 1, of the General Statutes of North Carolina, and that the same is subject to any and all easements, rights of ways, and agreements of record prior to this plat.

DATE OF REVIEW OF PLAT BY COUNTY PLANNER: 11-29-18
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I, MELVIN A. GRAHAM, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 3595 PAGE 100) AND THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DEDICATED TO THE PUBLIC OR POSITIONAL ACCURACY AS CALCULATED IS 1:7900. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 15 DAY OF NOVEMBER, A.D. 2018

NOT TO SCALE
VICINITY MAP



NC GRID NORTH BY DOT PROJECT # R-2238BA

TAX PARCEL ID NUMBER: 001-000-000-000
OWNER: JAMES MCKAY CAMERON
OWNER: JAMES MCKAY CAMERON

NOTE: THIS SURVEY IS EXEMPT FROM HARNETT COUNTY SUBDIVISION REGULATIONS BY DEFINITION.
COUNTY PLANNER: [Signature] DATE: 11-29-18

NOTE: THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHT OF WAYS, AND AGREEMENTS OF RECORD PRIOR TO THIS PLAT.

NOTE: THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE DEFINITION OF SUBDIVISION TO SURVEYOR

RODNEY W. CIRCO
D.B. 1366, PG. 189
PLAT # 2002-65

GARY H. CAMERON
D.B. 2097, PG. 203
PLAT # 2006-217

TOTAL AREA
15.21 AC.

JAMES MCKAY CAMERON
D.B. 3560, PG. 165

LEONIE L. HALL
D.B. 3364, PG. 4
PLAT # 2015-380

NC 87 150' R/W (PAVED ROAD)

GRAHAM ROAD S.R. 1290
60' R/W (PAVED ROAD)

MINIMUM BUILDING SETBACKS
FRONT - 30'
REAR - 20'

- 1" = 100'
- GRAPHIC SCALE - FEET
- 100 0 100 200 300

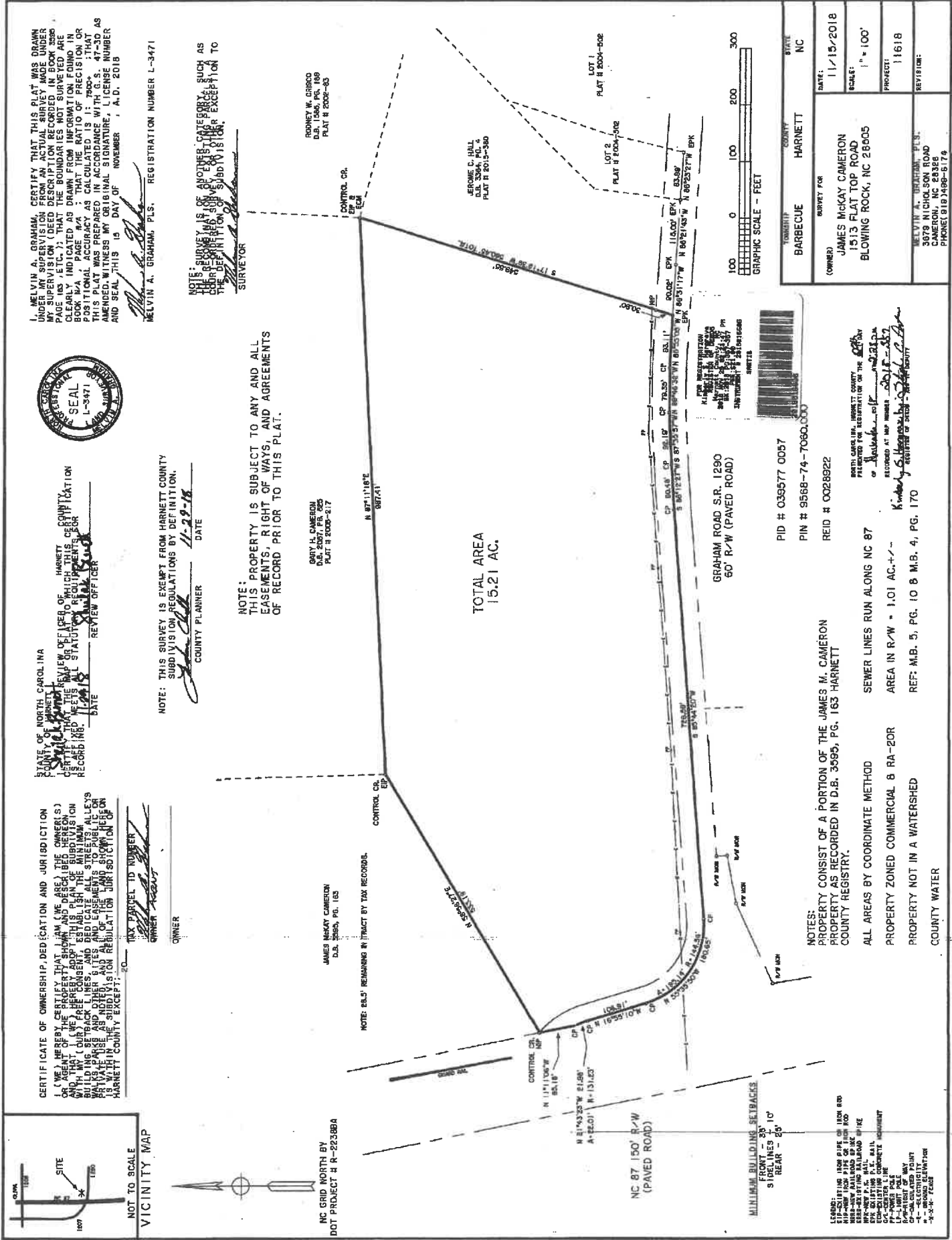
PROPERTY CONSIST OF A PORTION OF THE JAMES M. CAMERON PROPERTY AS RECORDED IN D.B. 3595, PG. 163 HARNETT COUNTY REGISTRY.
ALL AREAS BY COORDINATE METHOD
PROPERTY ZONED COMMERCIAL 8 RA-20R
PROPERTY NOT IN A WATERSHED
COUNTY WATER

SEWER LINES RUN ALONG NC 87
AREA IN R/W = 1.01 AC. +/-
REF: M.B. 5, PG. 10 & M.B. 4, PG. 170

PID # 039577 0057
PIN # 9568-74-7060,000
REID # 0028922

NOTE: THIS SURVEY IS EXEMPT FROM HARNETT COUNTY SUBDIVISION REGULATIONS BY DEFINITION.

TOWNSHIP	BARBECUE	COUNTY	HARNETT	STATE	NC
SURVEY FOR	JAMES MCKAY CAMERON 1513 FLAT TOP ROAD BLOWING ROCK, NC 28605				
DATE:	11/15/2018				
SCALE:	1" = 100'				
PROJECT:	11618				
REVISION:					



LEGEND:
1" = 100'
GRAPHIC SCALE - FEET
100 0 100 200 300