



NORTH CAROLINA 40' SERIES

BIRCHWOOD PLAN 1773 AR SALES OFFICE

SHEET INDEX

SALES OFFICE

TS TITLE SHEET
 SO.1 CONSTRUCTION FLOOR PLAN & EXTERIOR ELEVATION
 SO.2 OCCUPANCY/EGRESS, REFLECTIVE CEILING PLAN, AND FURNITURE FIXTURE EQUIPMENT
 SO.3 INTERIOR ELEVATIONS, FLOOR FINISH PLAN AND FINISH SCHEDULE
 ADI ARCHITECTURAL DETAILS

SCOPE OF WORK:

CONVERT EXISTING GARAGE
 ('U' OCCUPANCY) TO TEMPORARY SALES
 OFFICE. ('B' OCCUPANCY)

TYPE OF CONSTRUCTION:

V-B

OCCUPANCY TYPE:

B OCCUPANCY

AREA	
OFFICE 1	86 S.F.
OFFICE 2	87 S.F.
SALES FLOOR	182 S.F.
TOTAL	355 S.F.

ALLOWABLE PER TABLE 509:

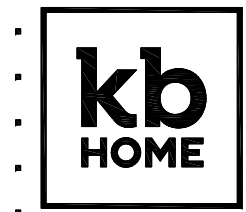
AREA = 9,000 S.F.
 STORIES = 1 STORY

NOTE: PROPOSED < ALLOWABLE. COMPLIES

OCCUPANT LOAD (SEE SHEET SO.2)			
USE	AREA	LOAD FACTOR	OCCUPANTS
OFFICE 1	86 SQ. FT.	80	1
OFFICE 2	87 SQ. FT.	80	1
SALES FLOOR	182	80	2
	355 SQ. FT.	TOTAL	4

NOTICE TO CONTRACTOR
 All construction must comply with current NC Building Codes
 and is subject to field inspection and verification.

REVIEWED FOR
 CODE COMPLIANCE
 06/10/2022



NORTH CAROLINA 50' SERIES

KB HOME
 NORTH CAROLINA DIVISION
 4518 S. MIAMI BLVD.
 SUITE 180
 DURHAM, NC 27703
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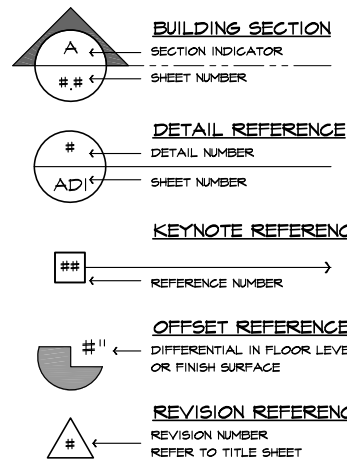
2018 NORTH CAROLINA STATE BUILDING CODES

ISSUE DATE: 01/19/21
 PROJECT No.: 1350999:57
 DIVISION MGR.: DS
 REVISIONS:

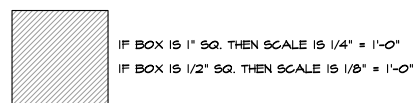
ABBREVIATIONS

ABV.	ABOVE	G.F.I.	GROUND-FAULT CIRCUIT INTERRUPTER	R.O.	ROUGH OPENING
A/C	AIR CONDITIONING	S.I.	GALVANIZED IRON GLASS	S & P	SHELF AND POLE
ADJ.	ADJUSTABLE	GL.	GYPSPUM BOARD	S.C.	SOLID CORE
ALT.	ALTERNATE	GYP. BD.	HOLLOW CORE	S.D.	SMOKE DETECTOR
AMP.	AMPERAGE	H.C.	HEADER	SEC.	SECTION
BD.	BOARD	HDR.	HEIGHT	S.H.	SINGLE HUNG
CL.	CENTER LINE	HGT. / HT.	HEADER HEIGHT	SHT.	SHEET
CAB.	CABINET	H.H.	HORIZONTAL SLIDER	SHTS.	SHEATHING
CLG.	CEILING	HS	IN LIEU OF INSULATION	SHWR.	SHOWER
CLR.	CLEAR	I.L.O.	INTERIOR	SIM.	SIMILAR
CONC.	CONCRETE	INSUL.	LAMINATED	SL.	SLIDING
CPT.	CARPET	INT.	LAVATORY	SL. GL.	SLIDING GLASS
C.T.	CERAMIC TILE	LAM.	LUMINOUS	STD.	STANDARD
D.	DRYER	LAV.	MEDICINE CABINET	S.V.	SHEET VINYL
DBL.	DOUBLE	LUM.	MANUFACTURER	TEMP.	TEMPERED GLASS
D.G.	DUAL GLAZED	M.C.	MINIMUM	THK.	THICK
DIA.	DIAMETER	MFR.	MOUNTED	T.O.C.	TOP OF CURB
DIM.	DIMENSION	MIN.	METAL	T.O.P.	TOP OF PLATE
DISP.	DISPOSAL	MTD.	NOT IN CONTRACT	T.O.S.	TOP OF SLAB
D.L.	DIVIDED LIGHT	N.I.C.	NOT TO SCALE	TYP.	TYPICAL
DP.	DEEP	N.T.S.	OVER	UNO.	UNLESS NOTED OTHERWISE
DR.	DOOR	O.	ON CENTER	V.P.	VAPOR PROOF
D.S.	DOWNSPOUT	O.C.	OPTIONAL	W.	WASHER
DTL.	DETAIL	OFT.	OPTIONAL	W/	WITH
D.W.	DISHWASHER	O.S.A.	OUTSIDE AIR	WD.	WOOD
EA.	EACH	P.B.	PUSH BUTTON	WDM.	WINDOW
ELEV.	ELEVATION	PH.	PHONE	WH.	WATER HEATER
EQ.	EQUAL	PLT.	PLATE	WI.	WROUGHT IRON
EXH.	EXHAUST	PLYMD.	PLYWOOD	XP.	WEATHER PROOF
EXT.	EXTERIOR	PR.	PAIR		
FAU.	FORCED AIR UNIT	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR		
F.C.	FIBER CEMENT	R.	RISER		
F.G./FX.	FIXED GLASS	RAD.	RADIUS		
F.S.	FUEL GAS	R.A.G.	RETURN AIR GRILL		
FIN.	FINISH	REF.	REFRIGERATOR		
FLR.	FLOOR	RE/S	RE-SAWN		
FLR. LINE	FLOOR LINE	REV.	REVERSE		
FLUOR.	FLUORESCENT	RM.	ROOM		
FR. DR.	FRENCH DOOR				
F.M.C.	FLOOR MATERIAL CHANGE				
FTG.	FOOTING				
GA.	GAUGE				
GAR. DISP.	GARBAGE DISPOSAL				

ARCH. SYMBOLS



SCALE NOTE



CONSULTANTS

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SQUARE FOOTAGE

NOTES

ALL EXPOSED PORTIONS OF CONCRETE SLAB FOUNDATIONS ARE TO BE 'PARGED'.

NOTE:
 ALL TEMPORARY IMPROVEMENTS TO BE REMOVED WITH A SEPARATE DEMOLITION PERMIT PRIOR TO ATTAINING THE CERTIFICATE OF OCCUPANCY FOR THE SINGLE FAMILY RESIDENCE.

CODE INFORMATION

APPLICABLE CODES:
 2018 NORTH CAROLINA STATE BUILDING CODE; RESIDENTIAL CODE, INCLUDING REFERENCED CODES AND STANDARDS

PROJECT DESCRIPTION:
 1-STORY SINGLE FAMILY DETACHED RESIDENTIAL PLAN IV-1 ELEVATION TYPE.

OCCUPANCY:
 RS

CONSTRUCTION TYPE:
 V - B

CODE ABBREVIATIONS	
N.C.-R.	NORTH CAROLINA RESIDENTIAL CODE
N.C.-B.	NORTH CAROLINA BUILDING CODE
N.C.-M.	NORTH CAROLINA MECHANICAL CODE
N.C.-P.	NORTH CAROLINA PLUMBING CODE
N.C.-F.	NORTH CAROLINA FUEL GAS CODE
N.C.-E.	NORTH CAROLINA ELECTRICAL CODE
N.C.-EG.	NORTH CAROLINA ENERGY CODE
N.E.C.	NATIONAL ELECTRICAL CODE
I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS
N.F.P.A.	NATIONAL FIRE PROTECTION ASSOCIATION
A.N.S.I.	AMERICAN NATIONAL STANDARDS INSTITUTE
I.E.C.C.	INTERNATIONAL ENERGY CONSERVATION CODE
I.C.C.	INTERNATIONAL CODE COUNCIL
U.L.	UNDERWRITERS LABORATORIES, INC.

REVISION LIST

DELTA	DATE	SHEETS REVISED	LOG NUMBER

PLAN:
150.1773-R
 SHEET:
TS

SPEC. LEVEL 1
**RALEIGH-DURHAM
 SALES OFFICE**

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**2018 NORTH
CAROLINA STATE
BUILDING
CODES**

ISSUE DATE: 01/19/21
PROJECT No.: 1350999-57
DIVISION MGR.: DS
REVISIONS:

PLAN:
150.1773-R
SHEET:
SO1-C SO1-BLEV
SPEC. LEVEL 1
**RALEIGH-DURHAM
SALES OFFICE**

GENERAL CONSTRUCTION PLAN NOTES

- A) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- B) ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN IN CASE OF CONFLICT, NOTIFY THE ARCHITECT IMMEDIATELY PRIOR TO COMMENCEMENT OF FRAMING.
- C) DIMENSION NOTED AS "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, PAD, VINYL, ETC...
- D) DIMENSION NOTED AS "HOLD" ARE CRITICAL. IF LAYOUT IS OFF, CONTACT ARCHITECT PRIOR TO FRAMING.
- E) ALL DIMENSION ARE TO THE FACE OF STUD, U.N.O.
- F) REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES AND INFO.
- G) ALL GYPSUM WALLBOARD SHALL BE 1/2" TYPE "X" U.N.O.
- H) G.C. TO NOTIFY ARCHITECT IMMEDIATELY AS TO SIZE AND LOCATION OF ANY EXISTING EXPANSION JOINT LOCATED IN DEMISING WALL, FLOOR, OR CEILING CONSTRUCTION.
- I) G.C. TO CONFIRM SUITABILITY OF ALL WALLS TO RECEIVE PAINT AND/OR WALL COVERING IN A FIRST CLASS MANNER. G.C. TO CONTACT ARCHITECT/OWNER IF WALL(S) ARE NOT ACCEPTABLE TO RECEIVE FINISHES SPECIFIED. FLOOR INSTALLATION OVER UNSUITABLE SURFACES ARE THE CONTRACTORS RESPONSIBILITY.

SYMBOL LEGEND

- # DENOTES PLAN / STOREFRONT NOTE
- ⊕ DENOTES WINDOW NUMBER - REFER TO WINDOW SCHEDULE
- ⊙ DENOTES DOOR NUMBER - REFER TO DOOR SCHEDULE
- ⊕ DENOTES WALL TYPE IDENTIFICATION - REFER TO SHEET AD1
- ### DENOTES ROOM NUMBER - REFER TO ROOM FINISH SCHEDULE
- NEW WALL/PARTITION - FULL HEIGHT
- - - DENOTES DROPPED CLG. / SOFFIT - SEE PLAN FOR HEIGHT

CONSTRUCTION PLAN NOTES

- 1 LINE OF DROPPED SOFFIT, REFER TO RCP FOR HEIGHT.
- 2 NEW STOREFRONT - SEE EXTERIOR ELEVATIONS.
- 3 PROVIDE 3/8" TYPE X GYP. BRD ON ALL WALL, BEAMS, FLOOR JOIST ETC. AS WELL AS CEILING TRUSSES ADJACENT TO HABITABLE SPACE PER I.R.C. SECTION R304.2
- 4 ALL WALLS SHALL HAVE SQUARE CORNERS.
- 5 FURR OUT THE EXTERIOR WALLS TO THE GARAGE CURB.
- 6 GYP. BD. CEILING; REFER TO RCP FOR HEIGHT

NOTES

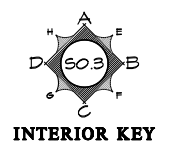
THE HATCHED AREA IS PART OF THE MODEL HOME DISPLAY AND IS NOT SUBJECT TO ACCESSIBILITY REQUIREMENTS AND IS NOT TO BE USED AS A PLACE OF PUBLIC ACCOMMODATIONS OR EMPLOYMENT.
NOTE: REFER TO THE PRODUCTION FLOOR PLAN FOR INFORMATION NOT SHOWN HERE.

SALES OFFICE ELEVATION NOTES

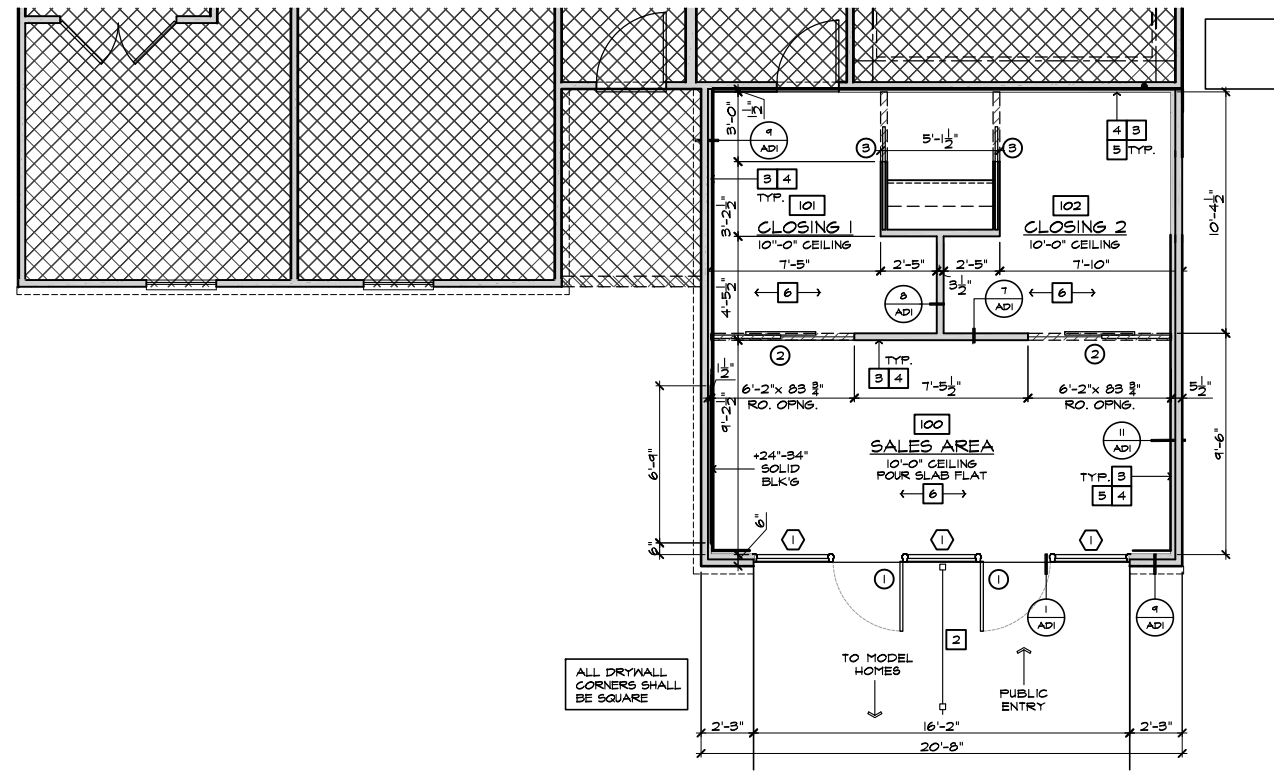
- 1. SINGLE LITE FRENCH DOOR OF MAIN SALES AREA (SEE PLAN AND ELEVATIONS FOR SIZE).
 - 2. TRIM - REFER TO ELEVATION FOR SIZE.
 - 3. DECORATIVE SHUTTER - REFER TO ELEVATION FOR SIZE
 - 4. 12"x12" KB LOGO ETCHED FROM REVERSE SIDE
 - 5. 3"x3" ETCHED SQUARES FROM REVERSE SIDE
 - 6. SATIN FINISH HANDLE
 - 7. RESERVED
 - 8. EXTERIOR FINISH - REFER TO BASE PLAN FOR FINISH TYPE.
- NOTE: REFER TO THE PRODUCTION ELEVATIONS FOR INFORMATION NOT SHOWN HERE.

STOREFRONT NOTES

- A NEW STOREFRONT, ENTRY DOORS AND TEMP. GLASS WINDOW WITH WOOD HEAD, JAMB AND SILL.
- B NEW MASONRY VENEER.
- C NEW DOOR AND WINDOW, REFERENCE DETAIL 4/ADI



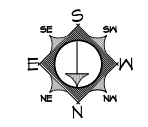
INTERIOR KEY



CONSTRUCTION PLAN

SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

SALES OFFICE

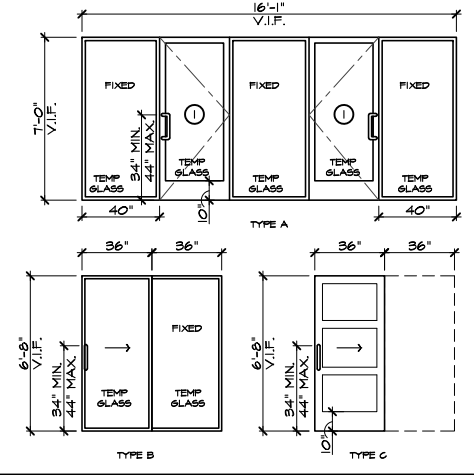


DOOR SCHEDULE

DOOR NUMBER	ROOM	DOORS				FRAME		HARDWARE GROUP	FIRE RATING	REMARKS			
		WIDTH	HEIGHT	THICK	TYPE	MATERIAL	FINISH						
1	SALES	5'-0"	7'-0"	1-3/4"	A	SL/MTL	FF	-	MTL	PT-F	1	N/A	STOREFRONT
2	CLOSING	5'-0"	6'-8"	1-3/8"	B	SL/MTL	FF OR FT-S	-	N/A	N/A	2	N/A	TEMP. GLASS
3	COPY	5'-0"	6'-8"	1-3/8"	C	WD	PT-S	-	N/A	N/A	3	N/A	3-PANEL POCKET DOOR, FINISH CLEAR OPENING 32"

FF: FACTORY FINISH, PT: PAINT, REFER TO FINISH SCHEDULE

DOOR TYPES



DOOR/HARDWARE NOTES

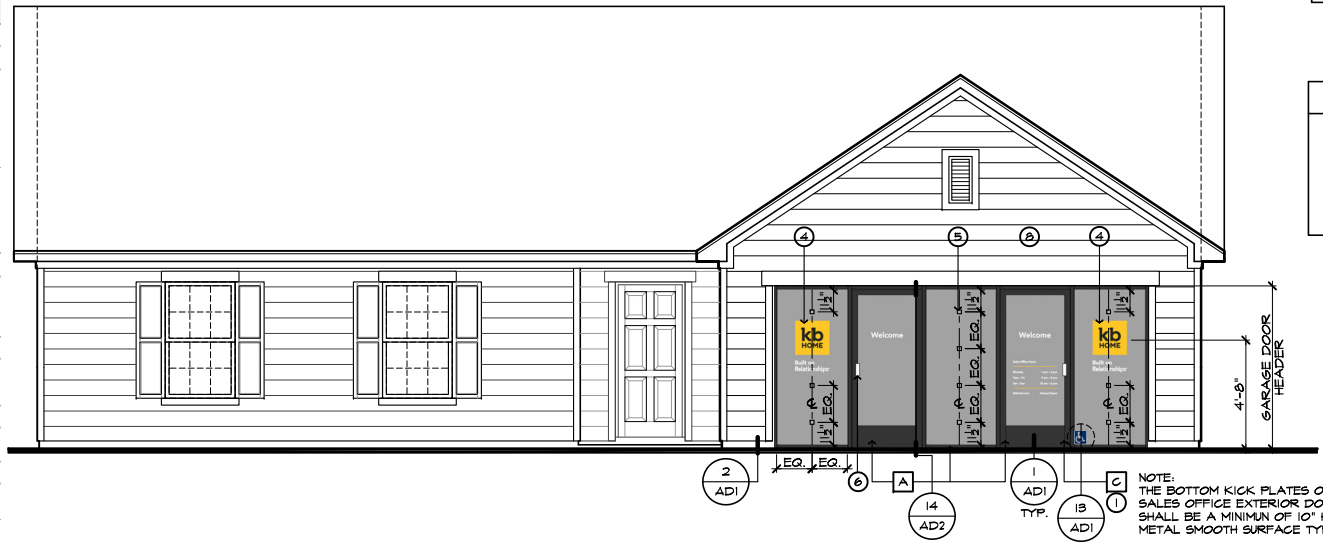
- ALL DOORS TO BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- ALL HANDLES AND PULLS TO BE INSTALLED BETWEEN 36" AND 44" ABOVE FINISHED FLOOR.
- FRONT AND REAR DOORS TO BE KEYPED ALIKE. PROVIDE (3) SETS OF KEYS. MARK 'DO NOT DUPLICATE' ON KEYS.
- INTERIOR DOORS TO BE UNDERCUT 1/2".
- ALL DOORS TO BE SINGLE ACTION.
- FOR ALL CYLINDERS AND CORES TO BE PROVIDED BY CONTRACTOR.
- ALL DOORS TO BE SOLID CORE HARDBOARD "PAINT GRADE", U.N.O.
- PROVIDE A SIGN OVER THE MAIN ENTRY DOOR WITH 1" HIGH LETTERS WITH A CONTRASTING BACKGROUND THAT READS "THESE DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED".

GLAZING NOTES

- CLEAR GLASS: 1/2 INCH FLOAT GLASS, TYPE I; CLASS I; QUALITY Q3 (GLAZING SELECT QUALITY).
- TEMPERED GLASS: SAME AS SPECIFIED ABOVE FOR CLEAR GLASS, AND FULLY TEMPERED. USE AT ALL DOORS AND WINDOWS, AND WHERE SCHEDULED, IN COMPLIANCE WITH GOVERNING CODES.

HARDWARE SCHEDULE

HARDWARE GROUP #1 (ENTRY DOORS)	
STOREFRONT SYSTEM	MFR. - KAWNEER TRIFAB 400 FRAMING SYSTEM OR EQUAL; CENTER PLANE GLASS (ALL GLASS TO BE TEMPERED); 4" X 1-3/4" FRAME; COLOR - #29 (BLACK ANODIZED)
DOOR	MFR. - KAWNEER STANDARD ENTRANCE DOOR, 350 MEDIUM STYLE, SINGLE ACTION; BOTT. RAIL 10" MIN; W/ OVERHEAD CLOSURE (INTERIOR SIDE); W/ BOTTOM RAIL WEATHERING OR EQUAL; COLOR - #29 (BLACK ANODIZED)
HINGES	MFR. - KAWNEER TOP AND BOTTOM 4-1/2" X 4" BALL BEARING BUTT HINGE WITH NON-REMOVABLE PIN (NRP) OR EQUAL; COLOR - #29 (BLACK ANODIZED)
LOCK	MFR. - ADAMS-RITE MS 1850A DEADLOCK WITH (2) 1-5/32" DIA. 5-PIN CYLINDERS OR EQUAL; COLOR - MATCH FRAMING COLOR
CLOSURE	MFR. - NORTON 1601 ADJUSTABLE OR EQUAL; COLOR - MATCH FRAMING COLOR
PUSH/PULLS	ARCHITECTS CLASSIC HARDWARE; STYLE - CO-12/CO-12; LENGTH - 12" OR EQUAL; COLOR - #29 (BLACK ANODIZED); ADA COMPLIANT
THRESHOLD	1/2" X 4" ALUMINUM MILL THRESHOLD; ADA COMPLIANT OR EQUAL; COLOR - #29 (BLACK ANODIZED)
WEATHERSTRIP	WEATHERING SYSTEM IN DOOR AND FRAME BY KAWNEER
SIGNAGE	XXXX
HARDWARE GROUP #2 (CLOSING OFFICE) SLIDING	
HINGES	N/A
LOCKSET	NONE
PUSH/PULLS	MFR. - TRIMCO; API21 SERIES ARCHITECTURAL STRAIGHT PULLS; 12" CENTER-TO-CENTER; COLOR - MATTE BLACK; ADA COMPLIANT
CLOSER	NONE
DOOR STOP	NONE
SILENCER	NONE
HARDWARE GROUP #3 (COPY)	
POCKET ASSEMBLY	MFR. - JOHNSON HARDWARE; 153068 POCKET DOOR FRAME W/ #1125 BALL BEARING HANGERS/CARRIAGE ASSEMBLY; W/ SOFT CLOSE
DOOR	36" X 80" X 1-3/8" 3-PANEL WOOD DOOR, PRIME AND PAINT
PUSH/PULLS	MFR. - TRIMCO; API21 SERIES ARCHITECTURAL STRAIGHT PULLS; 12" CENTER-TO-CENTER; COLOR - MATTE BLACK; ADA COMPLIANT

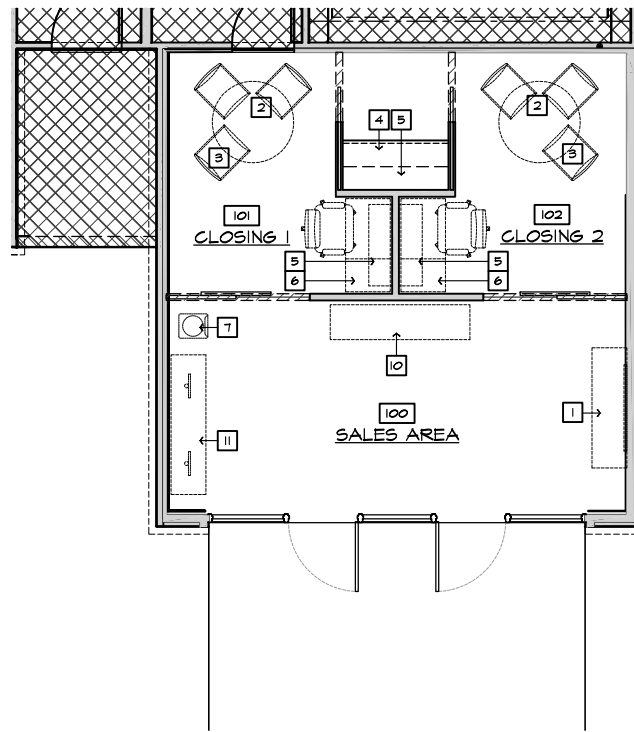


EXTERIOR ELEVATION 'A'

SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

SALES OFFICE

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GENERAL FURNISHINGS, FIXTURES NOTES:

THE MINIMUM CLEAR AISLE WIDTH SHALL NOT BE LESS THAN 36"
 THE MINIMUM CLEAR WIDTH FOR AN AISLE ACCESSWAY NOT REQUIRED TO BE ACCESSIBLE SHALL NOT BE LESS THAN 30"

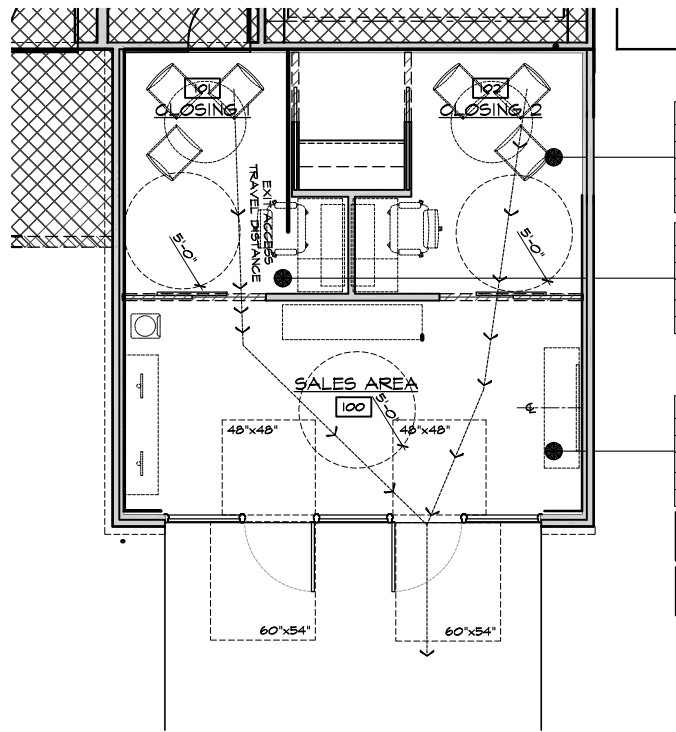
FURNISHINGS, FIXTURES & EQUIPMENT NOTES

- 1 LOOSE FURNITURE- CREDENZA
- 2 LOOSE FURNITURE- TABLE
- 3 LOOSE FURNITURE- CHAIR
- 4 24" DP BASE CABINET WITH COUNTERTOP
- 5 UPPER CABINETS
- 6 LOOSE FURNITURE- DESK
- 7 WATER COOLER
- 8 WALL GRAPHICS BY OTHERS SEE ALSO INTERIOR ELEVATIONS FOR LOCATIONS OF GRAPHICS AND FIELD GUIDE SUPPLIED SEPARATELY.
- 9 TOUCHSCREEN TV
- 10 LOOSE FURNITURE- BENCH WITH DRAWERS
- 11 FLOATING SHELF
- 12 UNDERCOUNTER REFRIGERATOR
- 13 COPIER

FURNITURE, FIXTURE & EQUIPMENT

SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

SALES OFFICE



CLOSING 1	
AREA	87
LOAD FACTOR	80
OCCUPANCY	1
REQ'D EXITS	1
PROVIDED EXITS	1

CLOSING 2	
AREA	86
LOAD FACTOR	80
OCCUPANCY	1
REQ'D EXITS	1
PROVIDED EXITS	1

CLOSING 2	
AREA	182
LOAD FACTOR	80
OCCUPANCY	2
REQ'D EXITS	1
PROVIDED EXITS	1

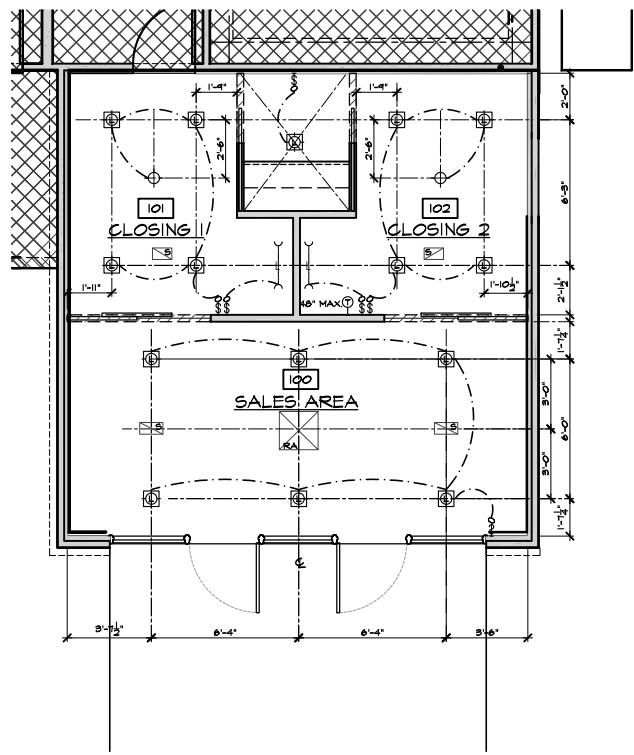
TOTAL OCCUPANT LOAD = 4

PER SECTION 1015/TABLE 1015.1
 1 EXIT IS REQUIRED

OCCUPANCY AND EGRESS PLAN

SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

SALES OFFICE



G.C. RESPONSIBLE FOR PURCHASE AND INSTALLATION OF ALL LOW VOLTAGE WIRING, CAT-5E, SPEAKER WIRES, ETC.

NOTE: ELECTRICALS TO VERIFY IN FIELD

GENERAL REFLECTED CEILING PLAN NOTES

- A) ALL CEILING HEIGHTS INDICATED ON PLANS ARE FROM TOP OF FINISH FLOOR TO UNDERSIDE OF FINISH CEILING UNO. (MIN. CEILING HEIGHT T-6")
- B) PROVIDE ADEQUATE CLEARANCES FOR DUCTS AND RELATED APPURTENANT ITEMS NECESSARY TO MAINTAIN THE SPECIFIED CEILING HEIGHT ABOVE THE FINISH FLOOR FOR LIGHT FIXTURES.
- C) SEE ELECTRICAL DRAWINGS FOR FIXTURE MODEL NUMBER AND QUANTITIES.
- D) PROVIDE HANGER AND SAFETY WIRE FOR LIGHT FIXTURES, SPEAKERS AND AIR SUPPLY/RETURN DIFFUSERS (AS REQUIRED)
- E) SEE MECHANICAL DRAWINGS FOR DIFFUSER LOCATIONS. ARCHITECTURAL DRAWINGS DETERMINE LUMINAIRE LOCATION AND OTHER ARCHITECTURAL ITEMS AND SUPERCEDE ALL OTHER CEILING APPURTENANCES.
- F) PREP AND PAINT ENTIRE SALES FLOOR EXPOSED CEILING, DECK, DUCTS, PIPING, ETC., (PER MANUFACTURER'S SPECIFICATIONS)
- G) IT IS THE CONTRACTOR'S RESPONSIBILITY TO AIM SPOT LIGHTS PER OWNER'S DIRECTION. (APPROXIMATE HEIGHT FOR HOT SPOT AT T2')
- H) ALL ELEMENTS SUSPENDED FROM THE DECK THAT OVERHANGS A PEDESTRIAN WAY SHALL BE A MINIMUM OF 80" ABOVE THE WALKING SURFACE AS MEASURED FROM THE BOTTOM OF THE OBSTRUCTION PER 2007 C.B.C. SECTION 1139B.02.

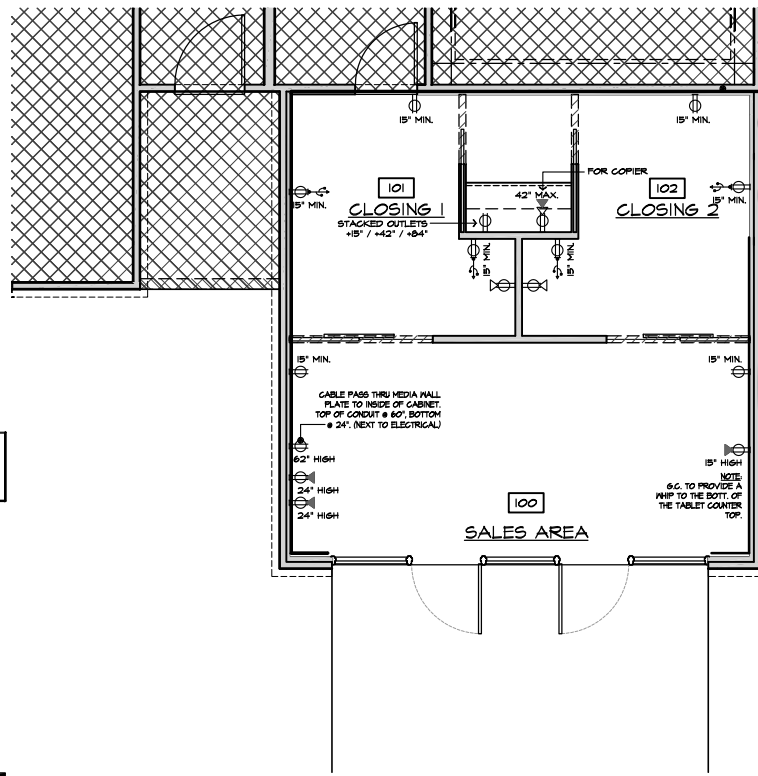
SYM.	REFLECTED CEILING NOTES	NO. FXT.	FXT. WATT' G
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- ⊗ RETURN AIR REGISTER, MOUNT IN 6YRBD. CEILING 1 -
- ⊞ SUPPLY AIR REGISTER, MOUNT IN 6YRBD. CEILING 4 -
- ☐ SEAGULL LIGHTING MODEL 146095-15 TRAVERSE 6-IN. LED DOWNLIGHT WARM WHITE 2700 K 100 LUMENS 105 1/2 BEAM SPREAD 14.5 IN RATED FOR 50,000 HOURS 5 YEAR WARRANTY. 10 14.5
- ⊕ SEAGULL LIGHTING HANGING LIGHT PER SALES OFFICE SPEC. GUIDE 2 12
- LED UNDERCABINET LIGHTING 1 15
- ALL FINISHED RECEPT., SWITCHES & PLATES TO BE WHITE UNO. - -

REFLECTIVE CEILING PLAN

SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

SALES OFFICE



UTILITY PLAN

SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

SALES OFFICE

SYMBOL LEGEND

- DENOTES PLAN NOTE
- ### DENOTES ROOM NUMBER - REFER TO ROOM FINISH SCHEDULE
- ← DENOTES DIRECTION OF TRAVEL

ACCESSIBLE ROUTE NOTES

- 1 44" WIDE CLEAR EGRESS PATH TO BE MAINTAINED THROUGHOUT THE SALES FLOOR
- 2 ACCESSIBLE FIXED WRITING TABLE NOT TO EXCEED 2'-10" MAX. HEIGHT

ACCESSIBILITY CONSTRUCTION PLAN NOTES

DOOR HARDWARE. HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE MOUNTED 2'-10" A.F.F. AND BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE.

DOOR EFFORT. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.

SMOOTH DOOR BOTTOM. THE BOTTOM 10" OF ALL DOORS (EXCEPT SLIDING AUTOMATIC) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

REQUIRED DOOR OPENING. ALL REQUIRED EXIT DOORWAYS SHALL HAVE A MINIMUM 32" CLEAR OPENING WITH THE DOOR AT 90 DEGREES TO THE CLOSED POSITION. EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3'-0" IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT.

THRESHOLD HEIGHT. MAXIMUM HEIGHT OF THRESHOLD SHALL BE 1/2" WITH VERTICAL CHANGE AT EDGE OF 1/2 WITH A MAXIMUM LEVEL OF 45 DEGREES CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.

FAUCET LEVERS. ALL FAUCET CONTROLS FOR SINKS (EXISTING AND/OR NEW) ARE TO BE OPERABLE WITH LEVER TYPE CONTROLS.

PLUMBING PROTECTION. ALL EXPOSED PLUMBING IS TO BE WRAPPED WITH INSULATION.

DOOR OPERABILITY. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.

CHANGES IN LEVEL. ABRUPT CHANGES IN LEVEL ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 1/2" IN HEIGHT. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE OF NO GREATER THAN 1:12, EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL.

DOOR LANDING AREAS. THE FLOOR OR LANDING ON EACH SIDE OF AND ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR IN THE LENGTH ON THE DIRECTION OF THE DOOR SWING AT LEAST 60", AND THE LENGTH ON THE OPPOSITE SIDE OF THE DOOR SWING AT 44" AS MEASURED PERPENDICULAR TO THE PLAN OF THE DOOR IN ITS CLOSED POSITION.

AVAILABLE SIDE ACCESS TO DOORS. THE WIDTH OF THE LEVEL AND CLEAR AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS.

TOILET CONTROLS. TOILET FLUSH CONTROLS PROVIDED AND INSTALLED AS PART OF THE WORK SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. CONTROL FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREA. NO MORE THAN 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE THE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.

OTHER FLUSH CONTROLS. OTHER FLUSH CONTROLS PROVIDED AND INSTALLED AS PART OF THE WORK SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. CONTROL FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREA. NO MORE THAN 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE THE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.

ACCEPTABLE DEVICE/FIXTURE CONTROLS. FAUCET CONTROLS OR OTHER OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE THE CONTROLS SHALL BE NOT GREATER THAN 5 POUNDS. NON-OPERATED, PUSH TYPE ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

ELECTRICAL & MECHANICAL CONTROLS. CONTROLS AND SWITCHES INTENDED TO BE USED BY OCCUPANT OF A ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES OR HEATING & VENTILATING EQUIPMENT SHALL COMPLY WITH SECTION 11B-308 EXCEPT THE LOW REACH SHALL BE MEASURED TO THE BOTTOM OF THE OUTLET BOX AND THE HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET BOX. CBC-308.1.1 ELECTRICAL OUTLETS, SWITCHES, THERMOSTATS FIRE ALARMS & SIMILAR DEVICES SHALL BE LOCATED A MIN. OF 15" ABOVE THE FINISHED FLOOR, MEASURED AT THE BOTTOM OF THE BOX, & A MAX. OF 48" MEASURED TO THE TOP OF THE BOX.

FLOOR FINISHES. FLOOR SHALL BE SLIP RESISTANT.

ENTRY SIGNAGE. ALL DISABLE ACCESSIBLE ENTRANCES SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.



NORTH CAROLINA 50' SERIES

KB HOME
 NORTH CAROLINA DIVISION
 4518 S. MIAMI BLVD.
 SUITE 180
 DURHAM, NC 27703
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 FAX: (919) 472-0582

2018 NORTH CAROLINA STATE BUILDING CODES

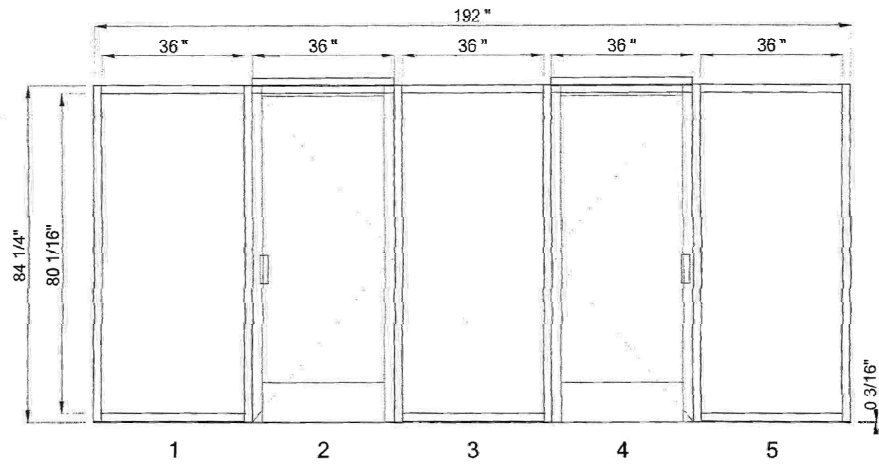
ISSUE DATE: 01/19/21
 PROJECT No.: 1350999:57
 DIVISION MGR.: DS
 REVISIONS:

PLAN:
150.1773-R

SHEET:
SO2-OC SO.2 SS&

SPEC. LEVEL 1
RALEIGH-DURHAM SALES OFFICE

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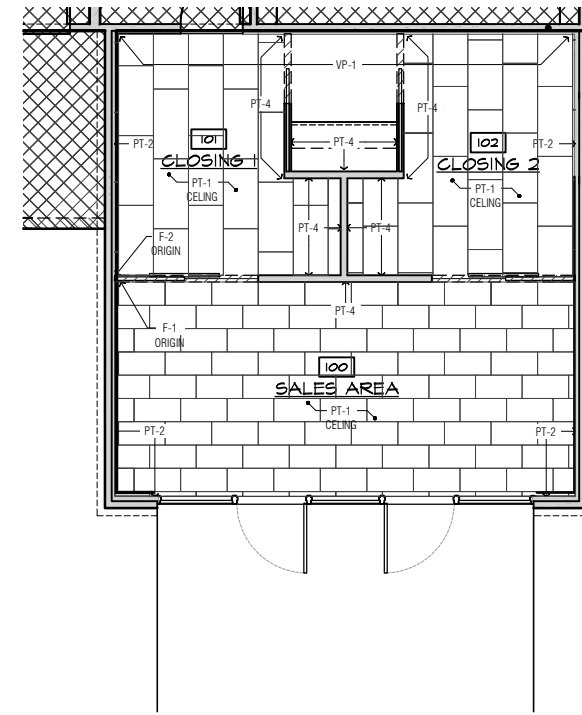
KB Home - 001 - Sales Office.dwg (1 Thus)
Frame: (BRONZE) ASL451 2 x 4 1/2 Screw In CG

STOREFRONT DETAIL

SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

SALES OFFICE

FINISH SCHEDULE				
KEY	MATERIAL	MANUFACTURER	DESCRIPTION	GENERAL LOCATION
FLOOR FINISHES				
F-1	TILE	EMSER TILE www.emser.com	SERIES: UPTOWN COLOR: HUDSON SIZE: 12"x24"x3/8" SET: RUNNING BOND TO 90 GROUT JOINT: 1/8"; USE WITH G-1; REFER TO PLAN FOR TILE START POINT	SALES AREA
F-2	CARPET TILE	SHAW CONTRACT GROUP www.shawcontractgroup.com	STYLE: 54204 URBAN GEOMETRY; COLOR: 04500 (MINGLEED MUSE) SIZE: 18"x36" SET: ASHLAR; REFER TO PLAN FOR START POINT	CLOSING OFFICES & COPY
GROUT FINISHES				
G-1	GROUT	CUSTOM BUILDING PRODUCTS	SERIES: CEMENT GROUT PRODUCT: PRISM ULTIMATE PERFORMANCE GROUT COLOR: 185 (NEW TAUPE)	SALES AREA
BASE FINISHES				
B-1	WOOD BASE	N/A	1X3 FINGER JOINT PINE, SQUARE EDGE, PRIME AND PAINT; USE PT-3	ALL
WALL FINISHES				
W-1	GYPSUM WALLBOARD	GEORGIA PACIFIC OR EQUAL	TOUGHRock GYPSUM WALLBOARD, LEVEL 4 FINISH	ALL AREAS AS NOTED ON PLANS
PAINT FINISHES				
PT-1	PAINT	SHERWIN WILLIAMS	COLOR: SW7021 (SIMPLY WHITE); FINISH: FLAT	ALL CEILINGS
PT-2	PAINT	SHERWIN WILLIAMS	COLOR: SW7103 (WHITETAIL) FINISH: FLAT	AS NOTED ON PLAN
PT-3	PAINT	SHERWIN WILLIAMS	COLOR: SW7103 (WHITETAIL) FINISH: SEMI-GLOSS	AS NOTED ON PLAN
PT-4	PAINT	SHERWIN WILLIAMS	COLOR: SW7513 (SANDERLINS); FINISH: FLAT	AS NOTED ON PLAN
PT-5	PAINT	SHERWIN WILLIAMS	COLOR: SW6250 (BLACK) FINISH: EGGSHELL	AS NOTED ON PLAN
MISC. FINISHES				
VP-1	VINYL PANELING	SHAW CONTRACT GROUP www.shawcontractgroup.com	RESTO PLUS; VE217 COLOR - 00144 (MAJESTIC); SET HORIZONTAL RANDOM PATTERN; END JOINTS TO BE CUT SQUARE TO THE WALL; CAULK END TO WALL.	AS NOTED ON PLAN
TS-1	FLOORING TRANSITION STRIP	SCHLUTER SYSTEMS www.schluter.com	RENO-TK; HEIGHT: 3/8"; FINISH: ATK100AB6B (BRUSHED ANTIQUE BRONZE ANODIZED ALUM.)	AS NOTED ON PLAN
MM-1	DOOR TRIM	N/A	1X FINGER JOINT PINE, SQUARE EDGE, PRIME AND PAINT; USE PT-3	REFER TO PLAN FOR SIZE



FLOOR FINISH PLAN

SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

SALES OFFICE



**NORTH CAROLINA
50' SERIES**

KB HOME
NORTH CAROLINA DIVISION

4518 S. MIAMI BLVD.
SUITE 180
DURHAM, NC 27703
TEL: (919) 768-7988
FAX: (919) 472-0582

**2018 NORTH
CAROLINA STATE
BUILDING
CODES**

ISSUE DATE: 01/19/21
PROJECT No.: 1350999:57
DIVISION MGR.: DS
REVISIONS:

SALES OFFICE INTERIOR ELEV. NOTES

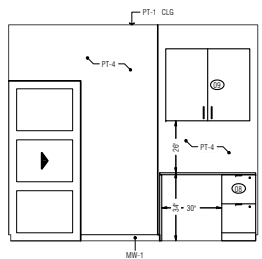
1. CREDENZA
2. FLOATING SHELF FOR TOUCHPADS
3. BENCH SEATING WITH STORAGE
4. RESERVED
5. RESERVED
6. RESERVED
7. RESERVED
8. CLOSING OFFICE WORKSTATION
9. UPPER CABINET OVER WORKSTATION
10. TOUCHSCREEN MONITOR
11. COPIER
12. UNDERCABINET REFRIGERATOR
13. (2) 18" DEEP SHELVES FOR MICRO AND DMX UNIT
14. UPPER CABINET
15. WATER COOLER

NOTE:

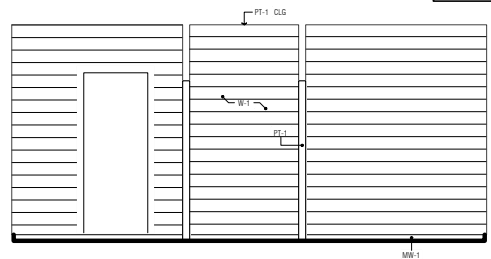
SEE SALES OFFICE INSTALL BOOK FOR SPECIFIC REQUIREMENTS.
INSTALL 1X6 BASE BOARD IN THE ENTIRE SALES OFFICE.
REFER TO THE PRODUCTION ELEVATIONS FOR INFORMATION NOT
SHOWN HERE.
ADD 2X BLOCKING FOR TV BRACKET AND FLOATING SHELF

GRAPHICS PACKAGE NOTES

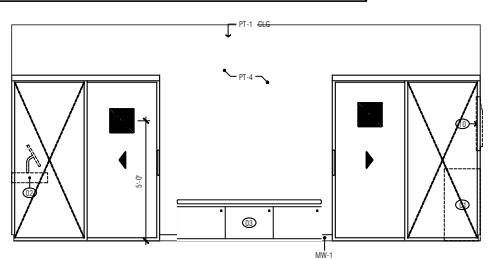
NOTE:
GRAPHICS FILES ARE PROVIDED BY CORPORATE MARKETING,
TO BE PRINTED AND MOUNTED LOCALLY.
GRAPHICS, FURNITURE, TECHNOLOGY, MATERIALS, COLORS,
FINISHES, ACCESSORIES - SEE SALES OFFICE 2.0 INSTALL GUIDE



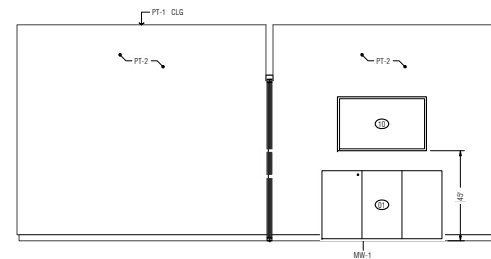
CLOSING OFFICE 1
WORKSTATION WALL (OFFICE 2 SIM.)



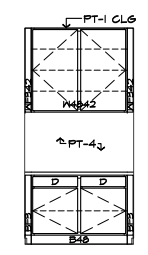
CLOSING OFFICE1 / COPY / CLOSING OFFICE 2
VINYL PLANK ACCENT WALL



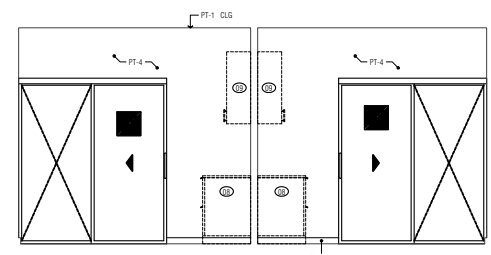
LOBBY
PHOTO GALLERY



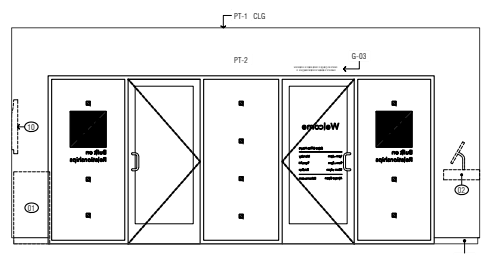
LOBBY
CREDENZA WALL



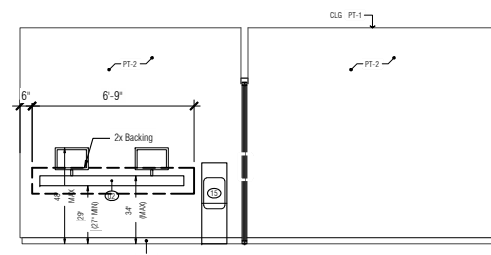
COPY



CLOSING OFFICE 2 / CLOSING OFFICE 1
ENTRY WALL



LOBBY
STOREFRONT ENTRY



LOBBY
TABLE SHELF WALL

INTERIOR ELEVATIONS

SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

SALES OFFICE

PLAN:
150.1773-R

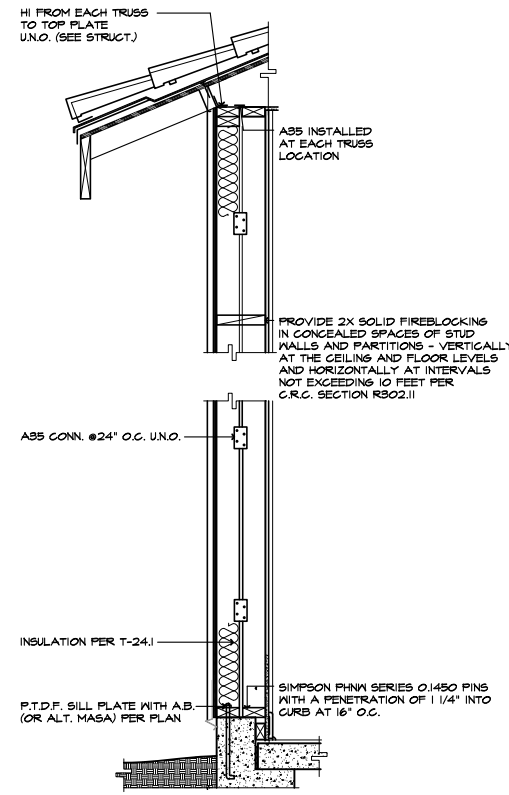
SHEET:
SO3-FINISHES

SO3 INT ELEV

SPEC. LEVEL 1
RALEIGH-DURHAM

SALES OFFICE

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TYPICAL EXTERIOR WALL
SCALE 1/4"=1'-0"
SALES OFFICE **11**

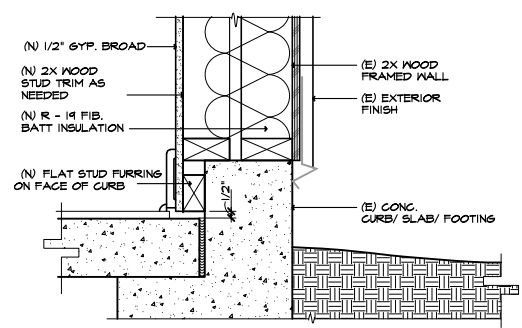
NOT USED **10**



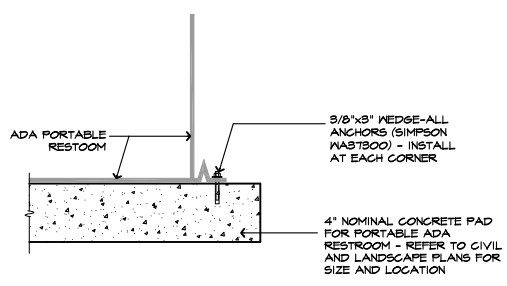
The International Symbol of Accessibility shall comply with Figure 11B-703.7.2.1. The symbol shall consist of a white figure on a blue background. The blue shall be FS 15090 in Federal Standard 595C

FIGURE 11B-703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA)

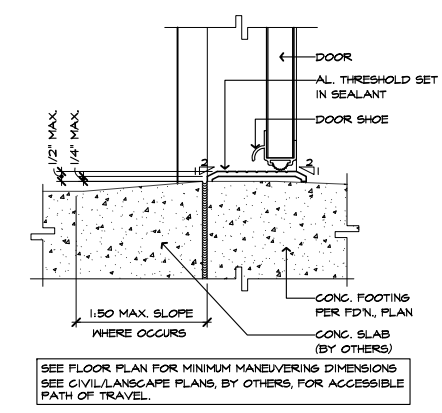
ACCESSIBILITY SIGNAGE
SCALE: NONE
SALES OFFICE **13**



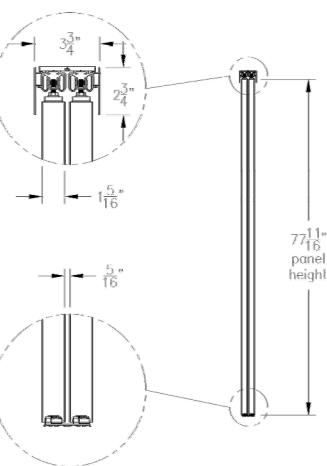
FURRED WALL AT CURB
SCALE 2/4"=1'-0"
SALES OFFICE **9**



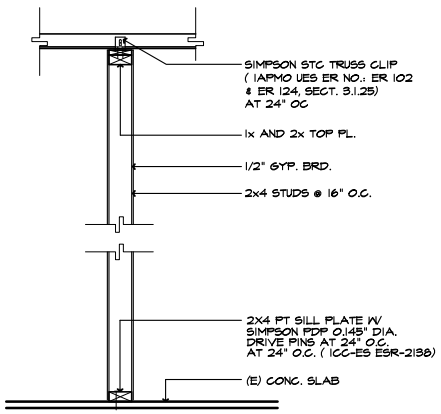
ADA RESTROOM ANCHORS
SCALE: NONE
SALES OFFICE **12**



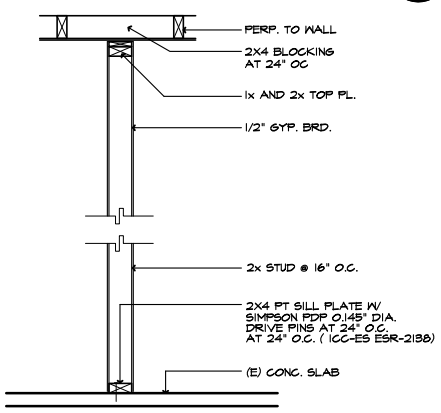
THRESHOLD
SCALE 1/4"=1'-0"
SALES OFFICE **1**



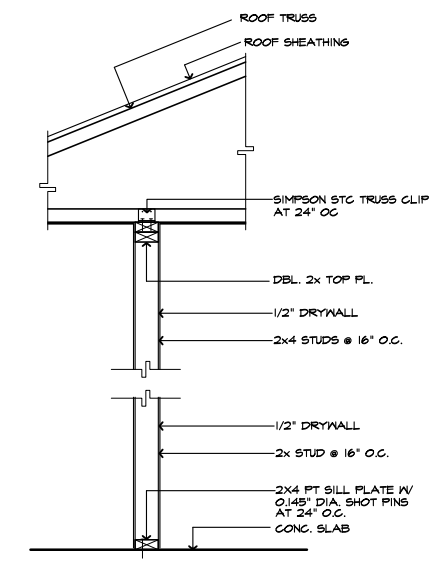
STORE FRONT WINDOW
SCALE N.T.S.
SALES OFFICE **14**



NON-BRG. INT. WALL "A"
SCALE 1/4"=1'-0"
SALES OFFICE **7**



NON-BRG. INT. WALL "B"
SCALE 1/4"=1'-0"
SALES OFFICE **8**



NON-BRG. INT. WALL
SCALE 1/4"=1'-0"
SALES OFFICE **4**



NORTH CAROLINA 50' SERIES

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4518 S. MIAMI BLVD.
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2018 NORTH CAROLINA STATE BUILDING CODES

ISSUE DATE: 01/19/21
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DIVISION MGR.: DS
REVISIONS:

PLAN: 150.1773-R

SHEET: 150 AD 1 ES

SPEC. LEVEL 1
RALEIGH-DURHAM
SALES OFFICE

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LOT 77 INFORMATION:

PIN: IN REVIEW
 TOTAL LOT AREA = 0.617 AC = 26,887 SF
 PARKING AREA = 3,250 SF
 SIDEWALK = 495 SF
 PROPOSED IMPERVIOUS = 3,745 SF
 PERCENT IMPERVIOUS = 13.9 %
 MAXIMUM ALLOWED IMPERVIOUS = 4,000 SF

LOT 78 INFORMATION:

PIN: 0652-03-2738.000
 TOTAL LOT AREA = 0.597 AC = 26,026 SF
 HOUSE = 2,197 SF
 PORCH = 51 SF
 SIDEWALK = 646 SF
 PATIO = 18 SF
 AC PAD = 9 SF
 PROPOSED IMPERVIOUS = 2,921 SF
 PERCENT IMPERVIOUS = 11.2 %
 MAXIMUM ALLOWED IMPERVIOUS = 4,000 SF

NOTES:

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND/OR PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. THE PROPERTY LIES IN ZONE 'X' PER NATIONAL FLOOD INSURANCE PROGRAM F.I.R.M. MAP #37200642001, DATED OCTOBER 03 2006.
10. ZONING IS: RA-40
11. A 5' PUBLIC UTILITY EASEMENT LIES PARALLEL TO THE ROADWAY RIGHT-OF-WAY ALONG EACH SIDE, EXCEPT OPEN SPACE 4.
12. PROPERTY OWNER: KB HOME RALEIGH- DURHAM INC.
 4506 S. MIAMI BLVD. #100
 DURHAM, NC 27703

LOT 79 INFORMATION:

PIN: 0652-03-3759.000
 TOTAL LOT AREA = 0.541 AC = 23,577 SF
 HOUSE = 2,329 SF
 PORCH = 114 SF
 SIDEWALK = 547 SF
 PATIO = 100 SF
 AC PAD = 9 SF
 PROPOSED IMPERVIOUS = 3,099 SF
 PERCENT IMPERVIOUS = 13.1 %
 MAXIMUM ALLOWED IMPERVIOUS = 4,000 SF

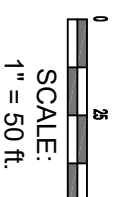
LOT 80 INFORMATION:

PIN: 0652-03-4883.000
 TOTAL LOT AREA = 0.864 AC = 37,676 SF
 HOUSE = 1,415 SF
 PORCH = 152 SF
 SIDEWALK = 377 SF
 COVERED PATIO = 100 SF
 AC PAD = 9 SF
 STOOP = 25 SF
 PROPOSED IMPERVIOUS = 2,078 SF
 PERCENT IMPERVIOUS = 5.5 %
 MAXIMUM ALLOWED IMPERVIOUS = 4,000 SF

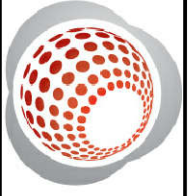
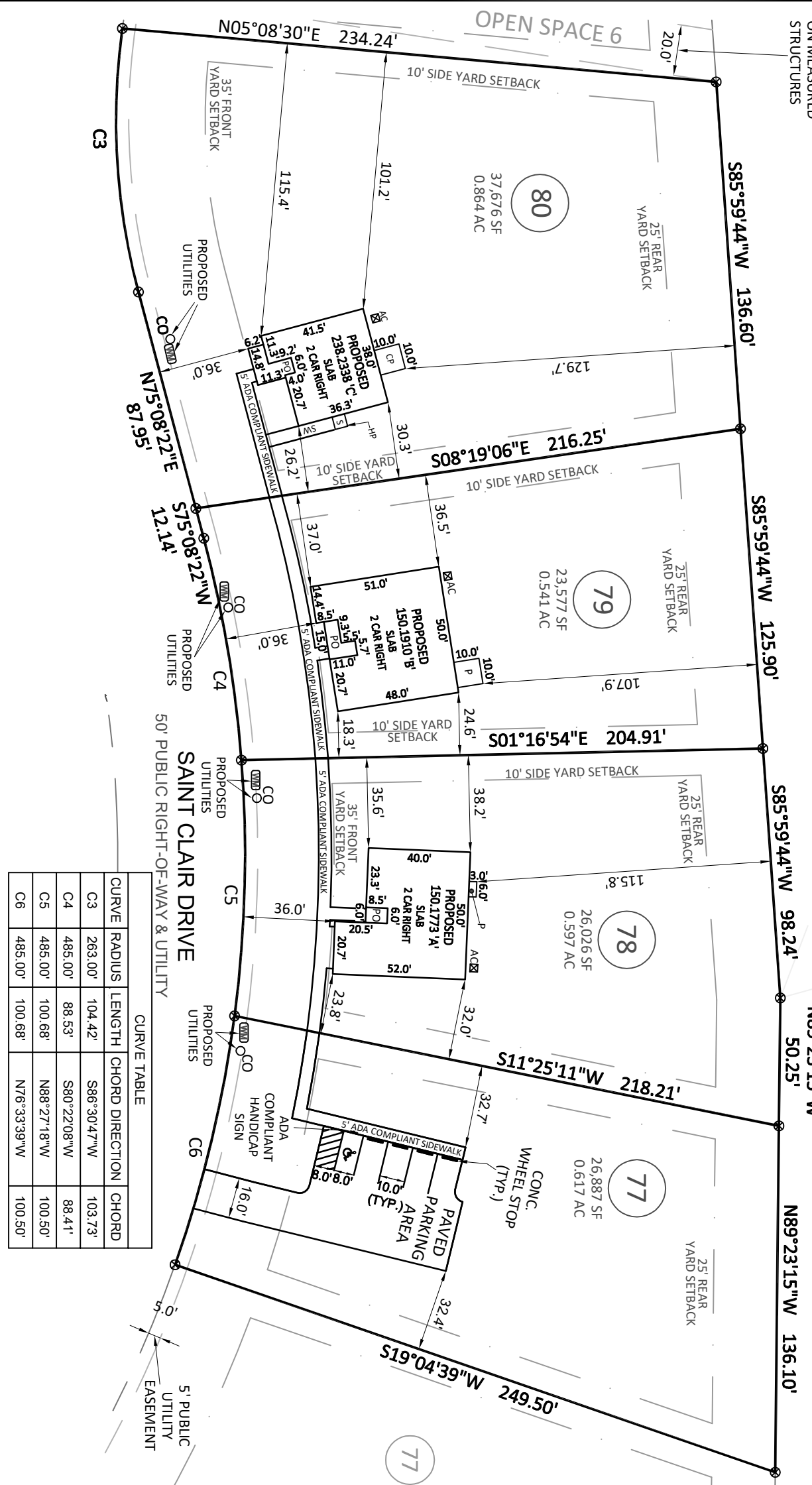
N/F
 CHARLES R. SMITH
 DB. 6532 PG. 870

N/F
 CHARLES R. &
 ELIZABETH SMITH
 DB. 752 PG. 842

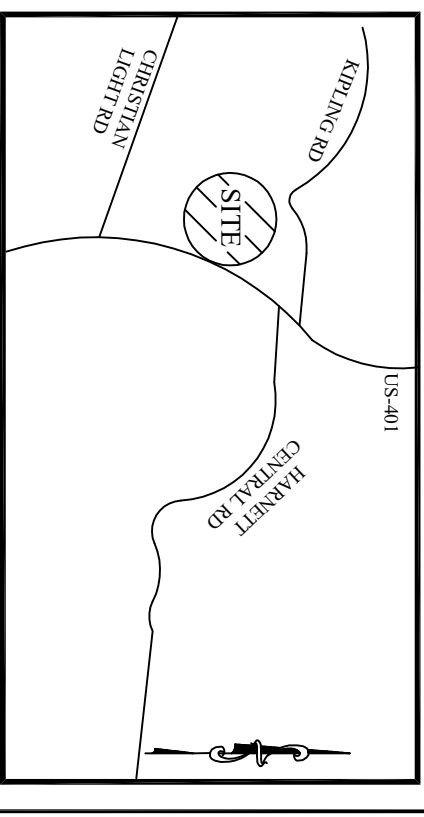
N/F
 CHARLES R. &
 ELIZABETH SMITH
 DB. 752 PG. 842



BK2022 PGS. 69-72



Bateman Civil Survey Company
 Engineers • Surveyors • Planners
 2524 Reliance Avenue, Apex, NC 27539 Ph: 919.577.1080 Fax: 919.577.1081
 www.batemancivilsurvey.com info@batemancivilsurvey.com
 NCBELS Firm No. C-2378



VICINITY MAP
 (Not to Scale)

LEGEND
 PO = PORCH
 P = PATIO
 SP = SCREENED PORCH OR PATIO
 CP = COVERED PORCH OR PATIO
 WD = WOOD DECK
 SW = SIDEWALK
 DW = CONC DRIVEWAY
 ⊗ = COMPUTED POINT
 ⊙ = IRON PIPE SET (IPS)
 ⊕ = WATER METER
 ○ = CLEANOUT
 AC = AIR CONDITIONER
 □ = AIR CONDITIONER
 □ = CABLE BOX
 □ = TELEPHONE PEDESTAL
 ⊙ = LIGHT POLE
 ⊙ = CURB INLET
 ⊙ = YARD INLET
 FH = FIRE HYDRANT
 HP = HANDICAP PORTAJOHN WITH SCREENING
 ⊙ = SEWER MANHOLE
 ⊕ = FIRE HYDRANT
 TR = TRASH RECEPTACLES

BUILDING SETBACKS:
 FRONT = 35 ft
 SIDE = 10 ft
 REAR = 25 ft
 CORNER SIDE = 20 ft

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

BUILDER TO VERIFY HOUSE LOCATION, DIMENSIONS AND REVIEW TOTAL IMPERVIOUS NOTED ON THIS PLOT PLAN

PRELIMINARY PLOT PLAN

FOR
KB HOMES

BIRCHWOOD GROVE - LOTS 77-80
 SAINT CLAIR DRIVE, FUQUAY-VARINA, NC
 HECTORS CREEK TOWNSHIP, HARNETT COUNTY

DATE: 2/17/22 DRAWN BY: BMN CHECKED BY: SPC
 REFERENCE: BK2022 PGS. 69-72 PROJECT# 220207 SCALE: 1" = 50'