

PARCEL DATA  
 OWNER/DEVELOPER: VOLA, LLC  
 PO BOX 1328  
 CARY, NC 27512

ZONING: RA-20R  
 SETBACKS:

30' - FRONT SETBACK - IF STREET R/W IS 60' OR MORE  
 35' - FRONT SETBACK - IF STREET R/W IS LESS THAN 60'  
 25' - REAR SETBACK  
 20' - CORNER SETBACK  
 10' /5' SIDE SETBACK

PIN: 9594-09-9184

DEED REFERENCE: BOOK 2948, PAGE 429

FLOOD PLAIN INFO:  
 ZONE: X  
 MAP NUMBER: 3710958400J  
 EFFECTIVE DATE: OCT 3, 2006  
 PARCEL AREA: 3.81 ACRES  
 LAND USE CLASS: COMPACT MIXED USE/LDR

PARKING: 44 STANDARD & 4 HANDICAP = 48 TOTAL  
 SWIMMING: 1/15 sf OF POOL, 1200SF - 80 SWIMMERS MAX  
 EST. WATER/SEWER USAGE: 10 GAL/DAY/SWIMMER - 800 GAL/DAY

NOTES:  
 • PARKING AREAS, DRIVE AISLES, ACCESS ROADS WILL HAVE AN ASPHALT OR CONCRETE SURFACE.  
 • PARKING AREAS AND DRIVE AISLES ARE REQUIRED TO BE SCREENED/LANDSCAPED.  
 • PROPOSED DISTURBED AREA IS UNDER ONE ACRE - NO EROSION CONTROL PLAN IS REQUIRED PER NCDEQ  
 • PROPERTY OWNER IS TO BE RESPONSIBLE FOR MAINTAINING PARKING AREAS, LANDSCAPING AND ALL OTHER SITE APPURTENANCES  
 • THIS DEVELOPMENT IS WITHIN THE FIVE MILE MILITARY CORRIDOR OVERLAY ZONE, AND MAY BE SUBJECT TO MILITARY TRAINING ACTIVITIES.  
 • OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PARKING AREAS, DRIVE AISLES, AND ALL LANDSCAPE BUFFERING.  
 • LANDSCAPE BUFFERING SHALL BE IN ACCORDANCE WITH THE HARNETT COUNTY ZONING ORDINANCE.  
 • PROJECT WILL BE SERVED BY HRW FOR WATER AND SEWER.  
 • THE WATER AND SEWER TAPS WILL BE INSTALLED BY PRIVATE UTILITY CONTRACTOR.  
 • PROPERTY IS NOT IN A WATERSHED DISTRICT.

**BUFFER REQUIREMENTS**  
 ALL BUFFER TYPES SHALL INCLUDE:

1. A STAGGERED ROW OF LARGE MATURING TREES SPACED NOT MORE THAN 30 FEET APART; AND  
 LOW GROWING EVERGREEN SHRUBS, EVERGREEN GROUND COVER, OR MULCH COVERING THE BALANCE OF THE BUFFER AREA.

**TYPE "A" (MINIMUM WIDTH OF 15 FEET)**  
 OPTION 1: A ROW OF EVERGREEN SHRUBS PLACED NOT MORE THAN FOUR(4) TO SIX(6) FEET APART WHICH WILL GROW TO FORM A CONTINUOUS HEDGE OF AT LEAST SIX(6) FEET IN HEIGHT WITHIN TWO(2) YEARS OF PLANTING; OR

OPTION 2: A MASONRY WALL LOCATED WITHIN THE REQUIRED BUFFER AREA; SUCH WALL SHALL BE A MINIMUM HEIGHT OF SIX(B) FEET ABOVE FINISHED GRADE; AND, IF A BLOCK WALL, IT SHALL BE PAINTED ON ALL SIDES; OR AN OPAQUE FENCE SIX(6) FEET IT HEIGHT.

OPTION 3: A BERM MEETING THE REQUIREMENTS OF HARNETT COUNTY UDO

**TYPE "D" (MINIMUM WIDTH OF 15 FEET)**  
 OPTION 1: A ROW OF EVERGREEN SHRUBS, 10 SHRUBS FOR EVERY REQUIRED LARGE MATURING TREE, PLACED NOT MORE FOUR(4) FEET APART WHICH WILL ROW TO FORM A CONTINUOUS HEDGE OF AT LEAST SIX (6) FEET IN HEIGHT WITHIN TWO(2) YEARS OF PLANTING; OR

OPTION 2: AN OPAQUE FENCE LOCATED WITHIN THE REQUIRED BUFFER AREA; SUCH FENCE SHALL BE A MINIMUM HEIGHT IF SIX(B) FEET IN HEIGHT.



THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**Draper Aden Associates**  
 Engineering • Surveying • Environmental Services

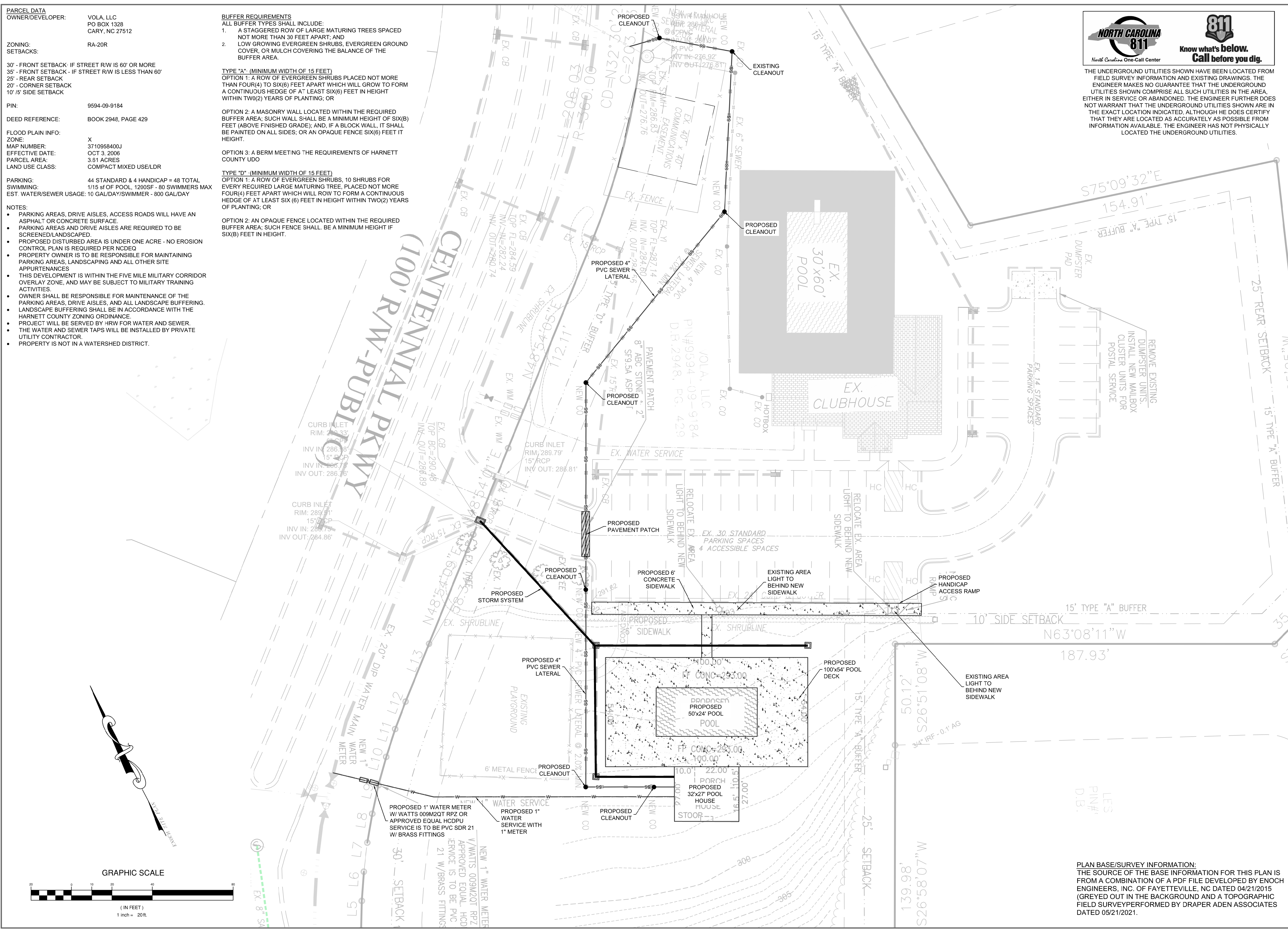
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• Hampton Roads, VA  
 • Fayetteville, NC  
 • Richmond, VA  
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 • Northern Virginia  
 • Charlottesville, VA  
 • Virginia Beach, VA

**PRELIMINARY SITE PLAN**  
**LEXINGTON PLANTATION POOL**  
 HARNETT COUNTY, NC

REVISIONS	
DESIGNED BY:	APM
DRAWN BY:	APM
CHECKED BY:	KTB
SCALE:	1" = 20'
DATE:	7.19.21
PROJECT NUMBER:	2101033-01
<b>C1.0</b>	

**PLAN BASE/SURVEY INFORMATION:**  
 THE SOURCE OF THE BASE INFORMATION FOR THIS PLAN IS FROM A COMBINATION OF A PDF FILE DEVELOPED BY ENOCH ENGINEERS, INC. OF FAYETTEVILLE, NC DATED 04/21/2015 (GREYED OUT IN THE BACKGROUND AND A TOPOGRAPHIC FIELD SURVEY PERFORMED BY DRAPER ADEN ASSOCIATES DATED 05/21/2021.



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