

BUILDING PLANS

Harrington Farmers Market

US 421 HWY

HARNETT COUNTY, NORTH CAROLINA

PREPARED FOR

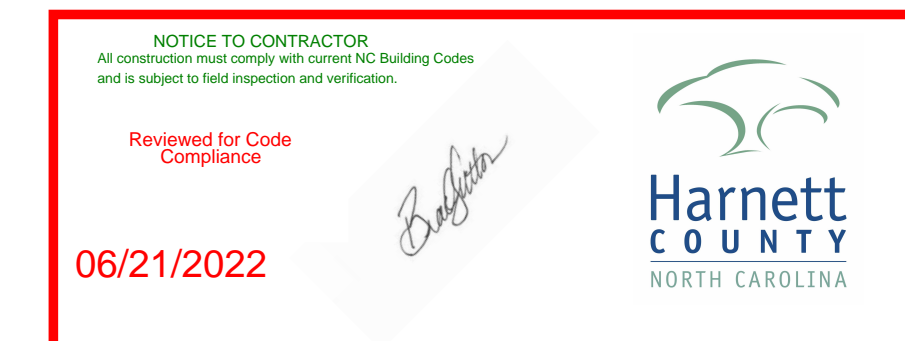
WARREN HEATH
Harrington Farmers Market
421 HWY
LILLINGTON, NC
TELEPHONE (919) 737-4344

ENGINEER

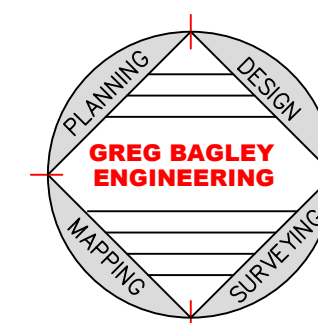
GREG BAGLEY
805 COKESBURY ROAD
FUQUAY VARINA, NC
PHONE: (919) 552-1600

SHEET INDEX

0000....COVER SHEET
0001....APPENDIX B / BUILDING CODE SUMMARY
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0005 & 6....ELEVATIONS BUILDINGS AND SHELTERS
0007....PLUMBING
0008....ELECTRICAL



**Buildings already constructed
prior to permits. Provide needed
documentation for footings and
plumbing under slabs at field
inspections, as per the
requirements of the field
inspector.**



NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE
WITH HARNETT COUNTY NC.

1972 CONSTRUCTION FOR THIS FACILITY

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: Harrington Farmers Market
Address: US 421 Hwy HARNETT COUNTY NC Zip Code 27584
Owner/Authorized Agent: C. GREGORY BAGLEY Phone # (919) 809-0300 E-Mail CGREG@COWAL.COM
Owned By: Private
Code Enforcement Jurisdiction: Select one HARNETT CO.

CONTACT: C. GREGORY BAGLEY
DESIGNER FIRM NAME LICENSE # TELEPHONE # E-MAIL
Architectural
Civil C. Gregory Bagley, Engineer - Cng Bagley 12276 (919) 809-0300 CGREG@COWAL.COM
Electrical C. Gregory Bagley, Engineer - Cng Bagley 12276 (919) 809-0300 CGREG@COWAL.COM
Fire Alarm
Mechanical C. Gregory Bagley, Engineer - Cng Bagley 12276 (919) 809-0300 CGREG@COWAL.COM
Plumbing C. Gregory Bagley, Engineer - Cng Bagley 12276 (919) 809-0300 CGREG@COWAL.COM
Sprinkler-Standpipe
Structural
Retaining Walls >5' High
Other
(Other should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: Select one NEW CONSTRUCTION
2018 NC EXISTING BUILDING CODE: Select one Select one Select one
CONSTRUCTED (date) CURRENT OCCUPANCY(S) (Ch. 3) MECHWHL
RENOVATED: (date) PROPOSED OCCUPANCY(S) (Ch. 3) MECHWHL
RISK CATEGORY (Table 1604.5) Current: Select one Proposed: Select one

BASIC BUILDING DATA
Construction Type: Select one 4-B
Sprinklers: Select one Select one
Standpipes: Select one NO
Primary Fire District: Select one NO Flood Hazard Area: Select one NO
Special Inspections Required: Select one N/A

FLOOR	EXISTING (SQ FT)		NEW (SQ FT)		SUB-TOTAL
	B1	B2	S1	S2	
3rd Floor					
2nd Floor					
Mezzanine					
1st Floor	5500	5500	3200	3200	20600
Basement					
TOTAL					20600

2018 NC Administrative Code and Policies

ALLOWABLE AREA

Primary Occupancy Classification(s): Select one Select one Select one Select one Select one 4-2
Accessory Occupancy Classification(s):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions: (Chapter 5 - List Code Sections):
Mixed Occupancy: Select one Separation: Select one Exception:
Select one
Actual Area of Occupancy A + Actual Area of Occupancy B
Allowable Area of Occupancy A ≤ 1

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA FOR FRONTAGE INCREASE 1.3	(C) AREA FOR FRONTAGE INCREASE 1.3	(D) ALLOWABLE AREA PER STORY OR UNLIMITED 2.3
1	MECHWHL	5500	9000	N/A	9,000

- Frontage area increases from Section 506.3 are computed thus:
 - Perimeter which fronts a public way or open space having 20 feet minimum width = N/A (F)
 - Total Building Perimeter = N/A (P)
 - Ratio (F/P) = N/A (F/P)
 - W = Minimum width of public way = N/A (W)
 - Percent of frontage increase $I = 100(F/P - 0.25) \times W/30 = \underline{N/A}$ (%)
- Unlimited area applicable under conditions of Section 507.
- Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
- The maximum area of open parking garages must comply with Table 406.5.4.
- Frontage increase is based on the unspinklered area value in Table 506.2.

Building Height in Feet (Table 504.3) 2	ALLOWABLE		CODE REFERENCE 1
	ALLOWABLE	SHOWN ON PLANS	
Building Height in Stories (Table 504.4) 3	1	1	

- Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
- The maximum height of air traffic control towers must comply with Table 412.3.1.
- The maximum height of open parking garages must comply with Table 406.5.4.

2018 NC Administrative Code and Policies

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RECO	RATING PROVIDED (IW REDUCTIONS)	DETAIL AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses							
Bearing Walls							
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing Walls and Partitions							
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions							
Floor Construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof Construction, including supporting beams and joists							
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy/Tenancy Barrier Separation							
Party/Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
Tenant Dwelling Unit Separation							
Incidental Use Separation							

*Indicate section number permitting reduction

2018 NC Administrative Code and Policies

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
30'	UP, 5	70%	70%

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Select one NO
Exit Signs: Select one NO
Fire Alarm: Select one NO
Smoke Detection Systems: Select one NO
Carbon Monoxide Detection: Select one NO

LIFE SAFETY PLAN REQUIREMENTS

- Life Safety Plan Sheet #:
- Fire and/or smoke rated wall locations (Chapter 7)
 - Assumed and real property line locations (if not on the site plan)
 - Exterior wall opening area with respect to distance to assumed property lines (705.8)
 - Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 - Occupant loads for each area
 - Exit access travel distances (1017)
 - Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
 - Dead end lengths (1020.4)
 - Clear exit widths for each exit door
 - Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 - Actual occupant load for each exit door
 - A separate schematic plan indicating where fire rated ceiling and/or roof structure is provided for purposes of occupancy separation
 - Location of doors with panic hardware (1010.1.10)
 - Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 - Location of doors with electromagnetic egress locks (1010.1.9.9)
 - Location of doors equipped with hold-open devices
 - Location of emergency escape windows (1030)
 - The square footage of each fire area (202)
 - The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 - Note any code exceptions or table notes that may have been utilized regarding the items above

2018 NC Administrative Code and Policies

ACCESSIBLE DWELLING UNITS

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
8	1	1	1				1

ACCESSIBLE PARKING

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	# OF ACCESSIBLE SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 13' ACCESS AISLE	
North	16	18			2
South					
TOTAL	16	18			2

PLUMBING FIXTURE REQUIREMENTS

USE	WATERCLOSETS		URINALS	LAVATORIES		SHOWERS	DRINKING FOUNTAINS	
	MALE	FEMALE		MALE	FEMALE		TUBES	REGULAR ACCESSIBLE
EXIST'G								
NEW	1				1	1		
TOTAL								

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

2018 NC Administrative Code and Policies

ENERGY SUMMARY

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: Select one

Exempt Building: Select one Provide code or statutory reference:

Climate Zone: 4

Method of Compliance: Select one (If "Other" specify source here) PERSCRPTIVE

THERMAL ENVELOPE (Prescriptive method only)

- Roof/ceiling Assembly (each assembly)
Description of assembly: META ROOFING
U-Value of total assembly: 0.05
R-Value of insulation: COMPOSITE 8-30+
Skylights in each assembly:
U-Value of skylight: _____
total square footage of skylights in each assembly: _____
- Exterior Walls (each assembly)
Description of assembly: 1" AIR SP. 1/2" SHEATHING
U-Value of total assembly: 0.09
R-Value of insulation: 8-19
Openings (windows or doors with glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
projection factor: _____
Door R-Values: _____
- Walls below grade (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
- Floors over unconditioned space (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
- Floors slab on grade
Description of assembly: 8-7.45 PER SECTION 505.2.4 TABLE 1.0.3
U-Value of total assembly: 0.08
R-Value of insulation: 8-4
Horizontal/vertical requirement: _____
slab heated: _____

2018 NC Administrative Code and Policies

2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

Importance Factors: Snow (IS) Select one .87
Seismic (IE) Select one 4

Live Loads: Roof 20 psf
Mezzanine 50 psf
Floor 50 psf 100 PSF FOR COMMON PORCHES

Ground Snow Load: 15 psf

Wind Load: Ultimate Wind Speed 110 mph (ASCE-7)
Exposure Category Select one C

SEISMIC DESIGN CATEGORY: Select one

Provide the following Seismic Design Parameters: A
Risk Category (Table 1604.5) Select one 1
Spectral Response Acceleration S_s 0.2 %g S₁ 3.7 %g
Site Classification (ASCE 7) Select one E
Data Source: Select one PRESUMPTIVE
Basic structural system Select one BUILDING FRAME
Analysis Procedure: Select one SIMPLIFIED
Architectural, Mechanical, Components anchored? Select one

LATERAL DESIGN CAPACITIES: Select one

Select one 2000 psf
File size, type, and capacity _____

2018 NC Administrative Code and Policies

2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone: _____
Winter dry bulb: _____
summer dry bulb: _____

Interior design conditions
winter dry bulb: NOT APPLICABLE
summer dry bulb: _____
relative humidity: _____

Building heating load: _____
Building cooling load: _____

Mechanical Spacing Conditioning System
Unitary description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____
Boiler Size category, if oversized, state reason: _____
Chiller Size category, if oversized, state reason: _____

List equipment efficiencies: _____

2018 NC Administrative Code and Policies

2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

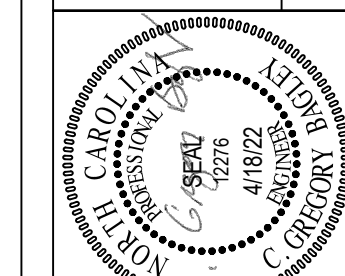
Method of Compliance: Select one PERSCRPTIVE
Lighting schedule (each fixture type) PER DRAWINGS
lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed

Additional Efficiency Package Options

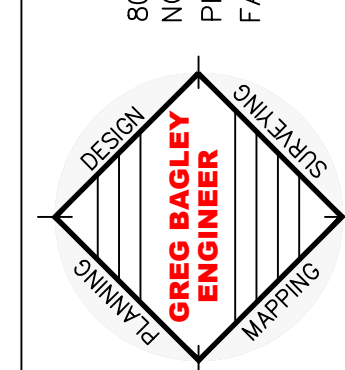
- (When using the 2018 NCECC; not required for ASHRAE 90.1)
- C406.2 More Efficient HVAC Equipment Performance
 - C406.3 Reduced Lighting Power Density
 - C406.4 Enhanced Digital Lighting Controls
 - C406.5 On-Site Renewable Energy
 - C406.6 Dedicated Outdoor Air System
 - C406.7 Reduced Energy Use in Service Water Heating

2018 NC Administrative Code and Policies

REVISIONS	BY



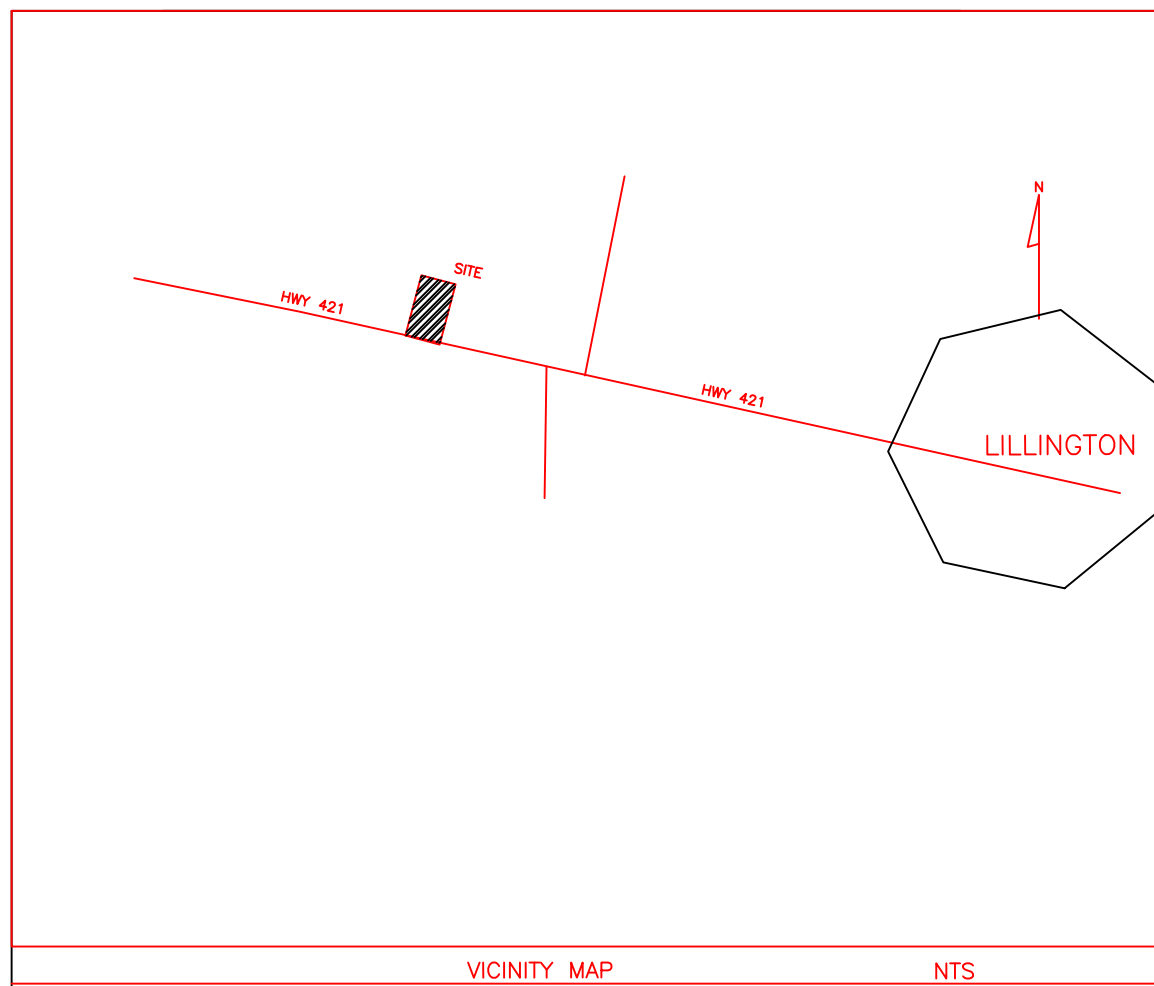
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NORTH CAROLINA, NC 27526
PHONE: (919) 552-1600
FAX: (919) 552-6325



FLOOR PLAN

Harrington Farmers Market
LOCATED
US HWY 421
HARNETT COUNTY
NORTH CAROLINA

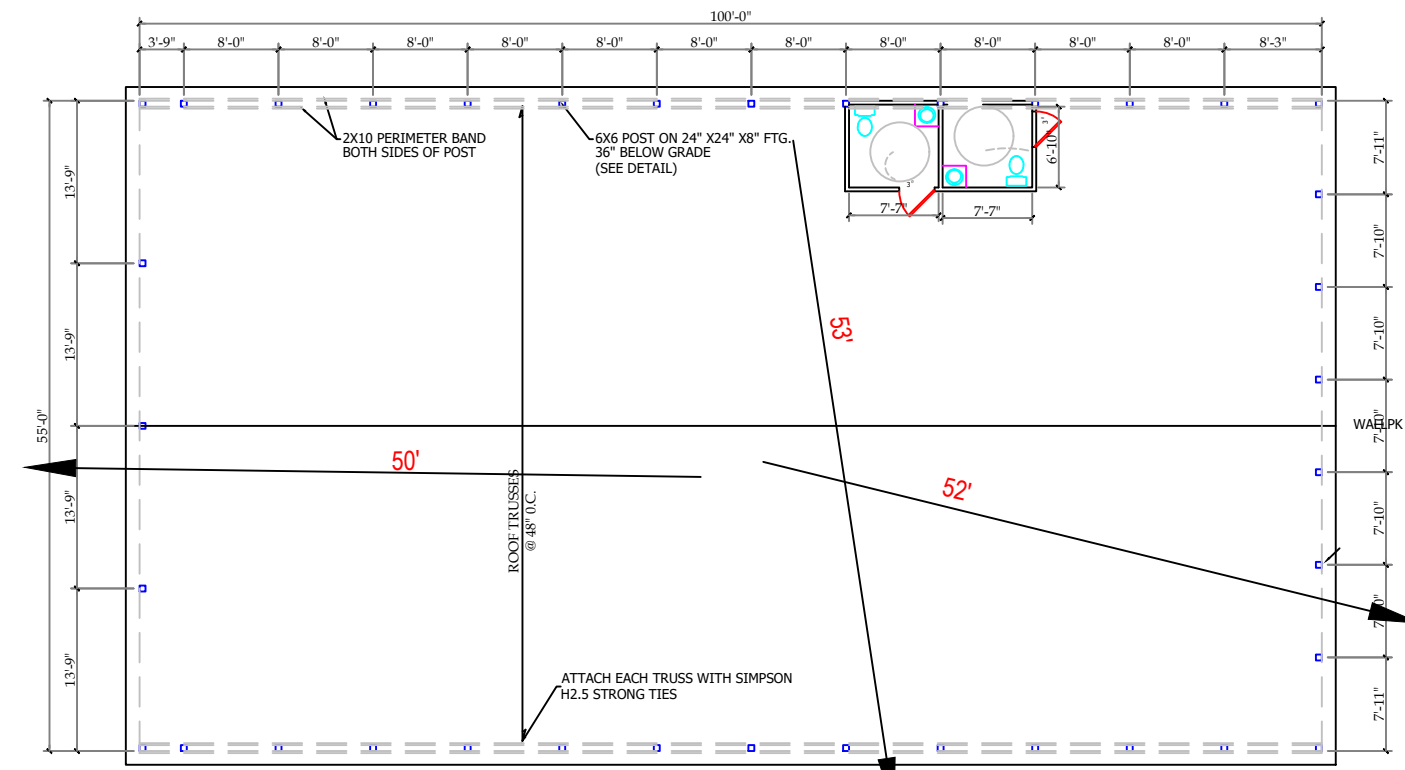
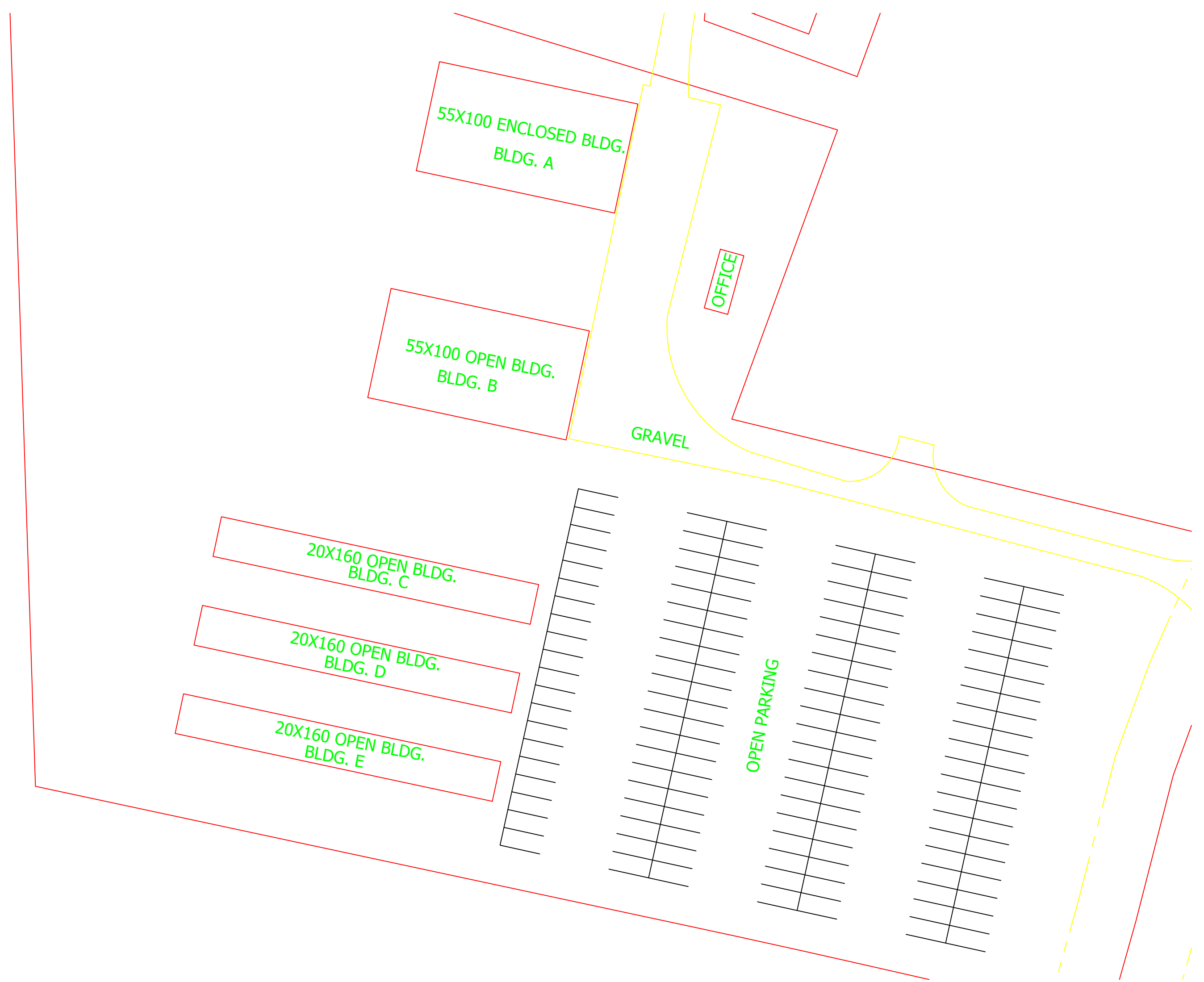
DATE	4/18/22
SCALE	3/16:1
DESIGNED BY	CGB
DRAWN BY	
SHEET	CD1-OF-1
CODE	



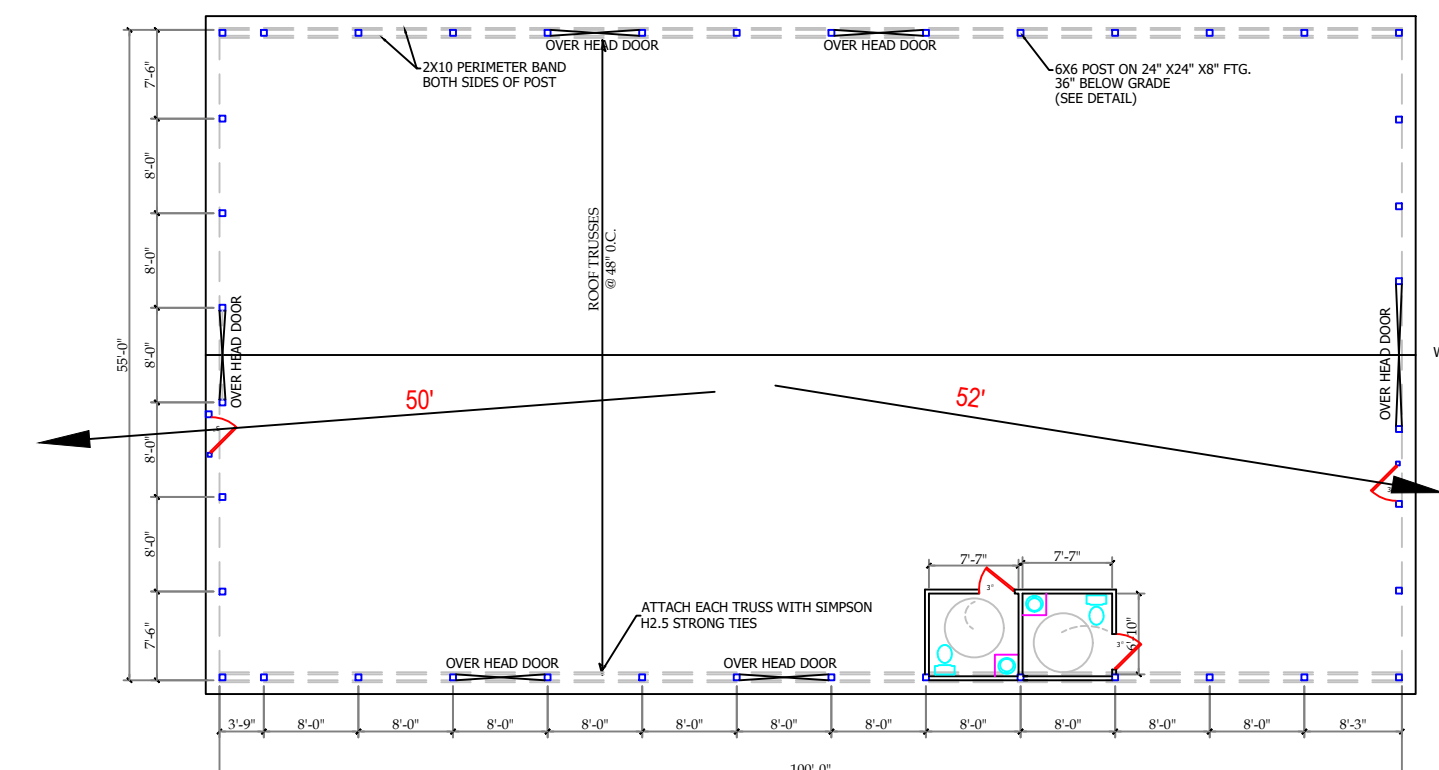
LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: CODE SHEET

- Fire and/or smoke rated wall locations (Chapter 7)
- Assumed and real property line locations
- Exterior wall opening area with respect to distance to assumed property lines (705.8)
- Existing structures within 30' of the proposed building
- Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.1)
- Occupant loads for each area
- Exit access travel distances (1016)
- Common path of travel distances (1014.3 & 1028.8)
- Dead end lengths (1018.4)
- Clear exit widths for each exit door
- Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)
- Actual occupant load for each exit door



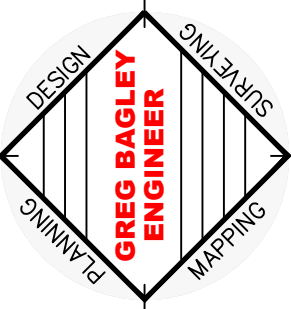
55 X 100 OPEN BUILDING -BLDG B
SCALE: 1/8"=1'-0"



55 X 100 ENCLOSED BUILDING-BLDG A
SCALE: 1/8"=1'-0"

REVISIONS	BY

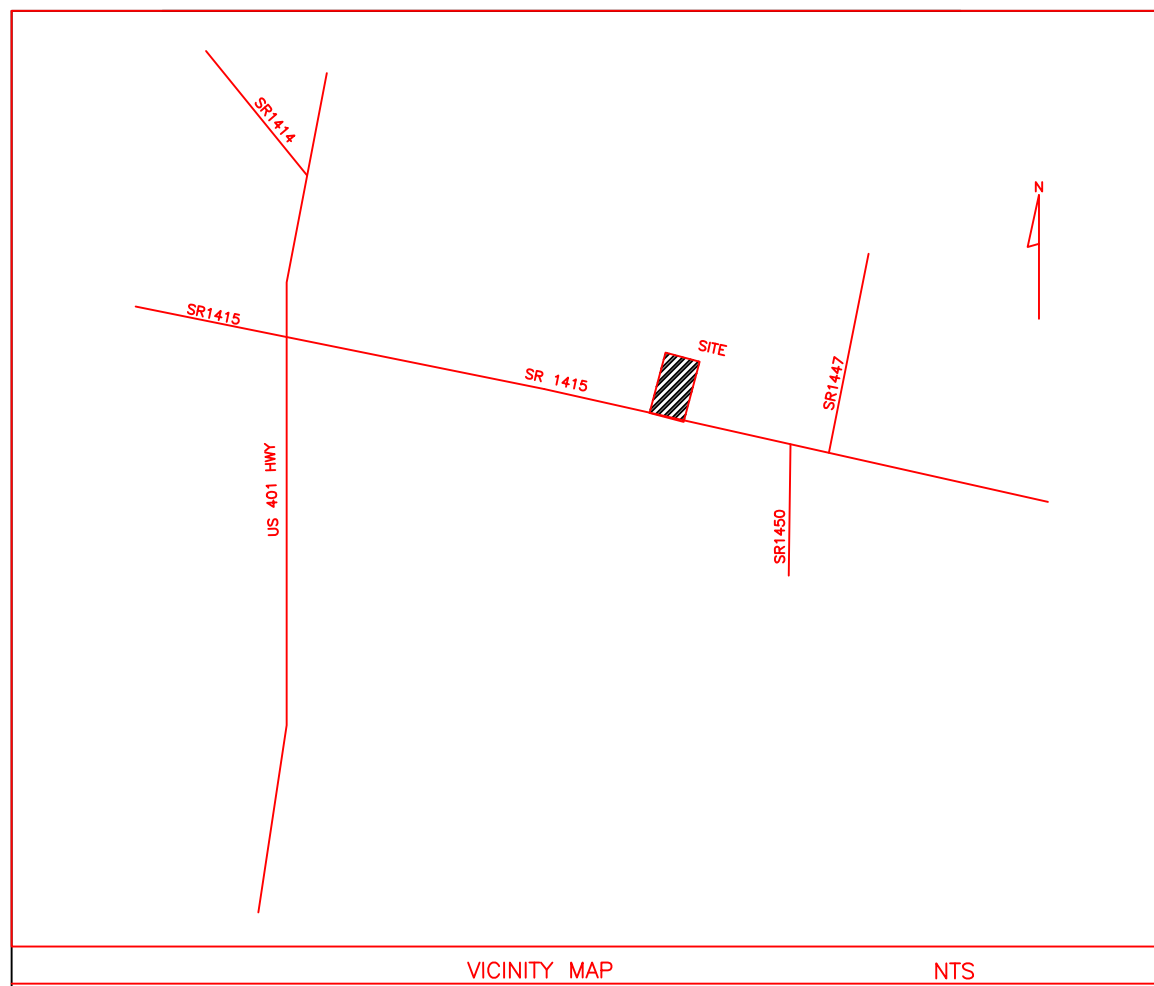
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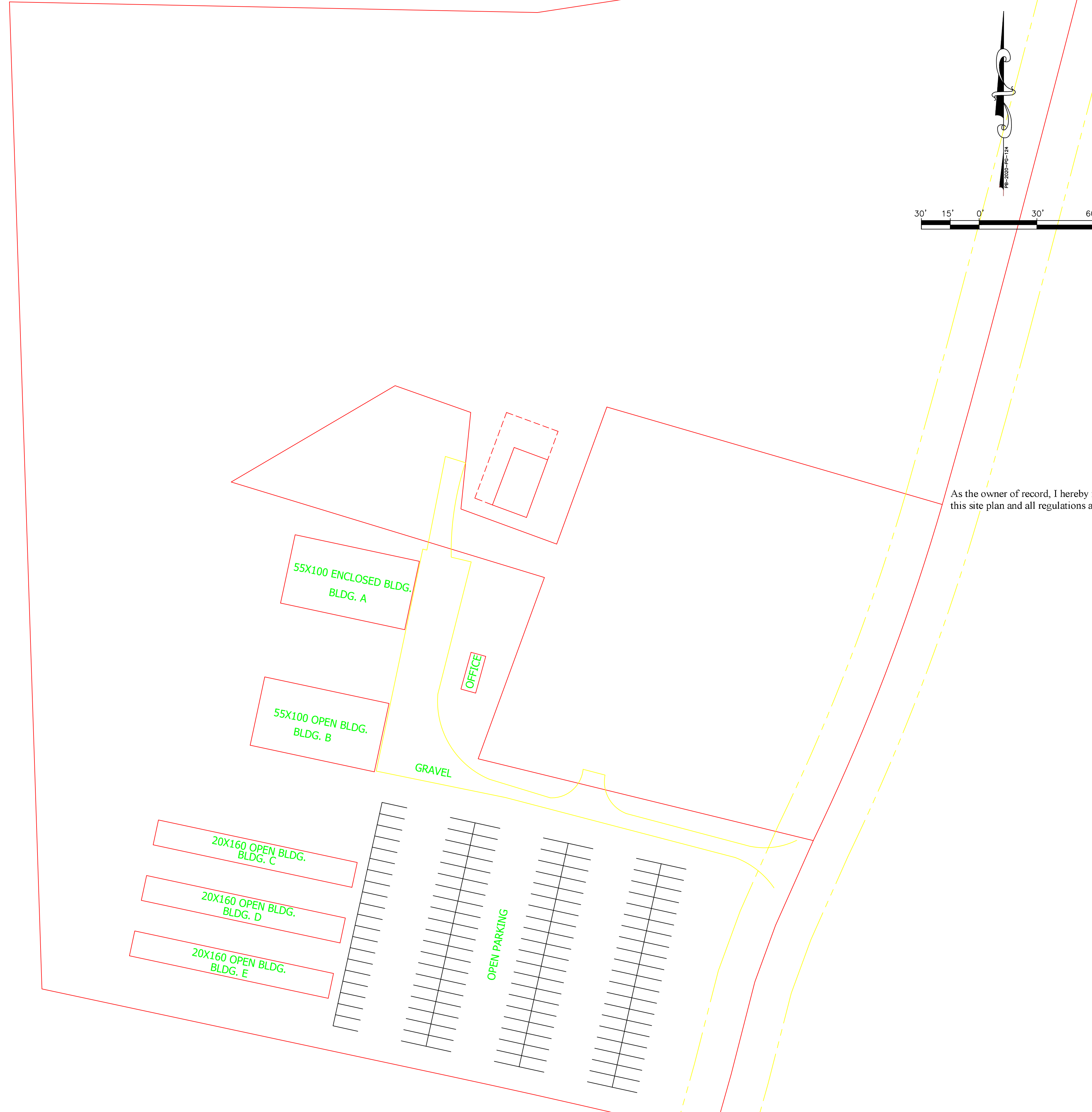
LIFE SAFETY

Harrington Farmers Market
LOCATED
US HWY 421
HARNETT COUNTY
NORTH CAROLINA

DATE: 4/18/22
SCALE: 1/4"=1'
DESIGNED BY: CGB
DRAWN BY:
SHEET: SP1-OF-1
SITE PLAN



VICINITY MAP NTS



As the owner of record, I hereby formally consent to the proposed development shown on this site plan and all regulations and requirements of the Harnett County ordinances.

LANDSCAPE REQUIREMENTS

- Landscape buffer required along the side & rear property lines; show existing landscaped if applicable.
- o Type A & D landscaping buffer is required.
- o In addition to the A & D, all buffer areas shall include at least:
 1. A staggered row of large maturing trees, spaced not more than 30' apart; and
 2. Low-growing evergreen shrubs or mulch covering the balance of the buffer area.
- A. Type A Buffer
 1. Minimum width of 15' (applies to side and rear property lines)
 2. Option 1
A row of evergreen shrubs placed not more than 4'-6' apart which will grow to form a continuous hedge of at least 6' in height within 2 years of planting; or
 3. Option 2
A masonry wall located within the required buffer area; such wall shall be a minimum height of 6' (above finished grade); and, if a block wall, it shall be painted on all sides; or an opaque fence 6' in height; or
 4. Option 3
A berm: 3:1 max slope, with stabilizing groundcover and above noted plantings
- B. Type D Buffer
 1. Minimum width of 15' (applies to property lines adjacent to public right-of-way or as otherwise noted within this Ordinance)
 2. Option 1
A row of evergreen shrubs, 10 shrubs for every required large maturing tree, placed not more than 4' apart which will grow to form a continuous hedge of at least 6' in height within 2 years of planting; or
 3. Option 2
An opaque fence located within the required buffer area; such fence shall be a minimum height of 6' in height.

GENERAL NOTES

This property is within the WS-IV district. Note previous impervious & proposed impervious amounts. Since existing bldg. was before Zoning, that area is excluded.
 All mechanical areas located on, beside, or adjacent to any building or developments shall be screened from the views of streets and adjacent property.
 "Land Use Classification = Employment Mixed Use"
 "This development is within one mile of a Voluntary Agricultural District."
 Owner will be responsible for maintenance of the parking area and landscape buffering.
 All existing & proposed utilities shown on plan.
 No lighting added per this new construction
 No signs to be changed or added per this construction
 No dumpster added per this construction
 A new DW permit is not needed per Earl Locklear. He is providing a letter to that affect.

OWNER

SITE DATA

SITE	12.99 ACRES TOTAL
PIN NO	PIN - 0611-20-7065
OWNER	HARRINGTON PROPERTIES, LLC
PROPOSED BUILDING	5000 SQ FT
ZONING	RA 30
PARKING REQUIRED	25 SPACES
IMPERVIOUS AREA	64.7%

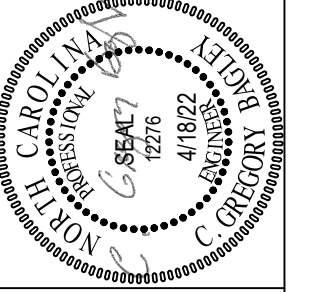
OCCUPANCY

SHELTER	60 GROSS
3 @ 20x160 = 9600	160 OCC
ENCLOSED AND OPEN BUILDING	60 GROSS
2@ 55x100=11000	183 OCC
TOTAL OCCUPANCY	343 OCC

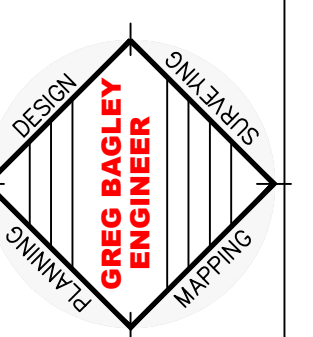
PLUMBING FIXTURES

	REQUIRED	PROVIDED
WATER CLOSETS 1PER 500	1	4
LAVATORIES 1 PER 750	1	2
DRINKING FOUNTAINS 1UP TO 1000	1	1
SERVICE SINK -1	1	1

REVISIONS	BY



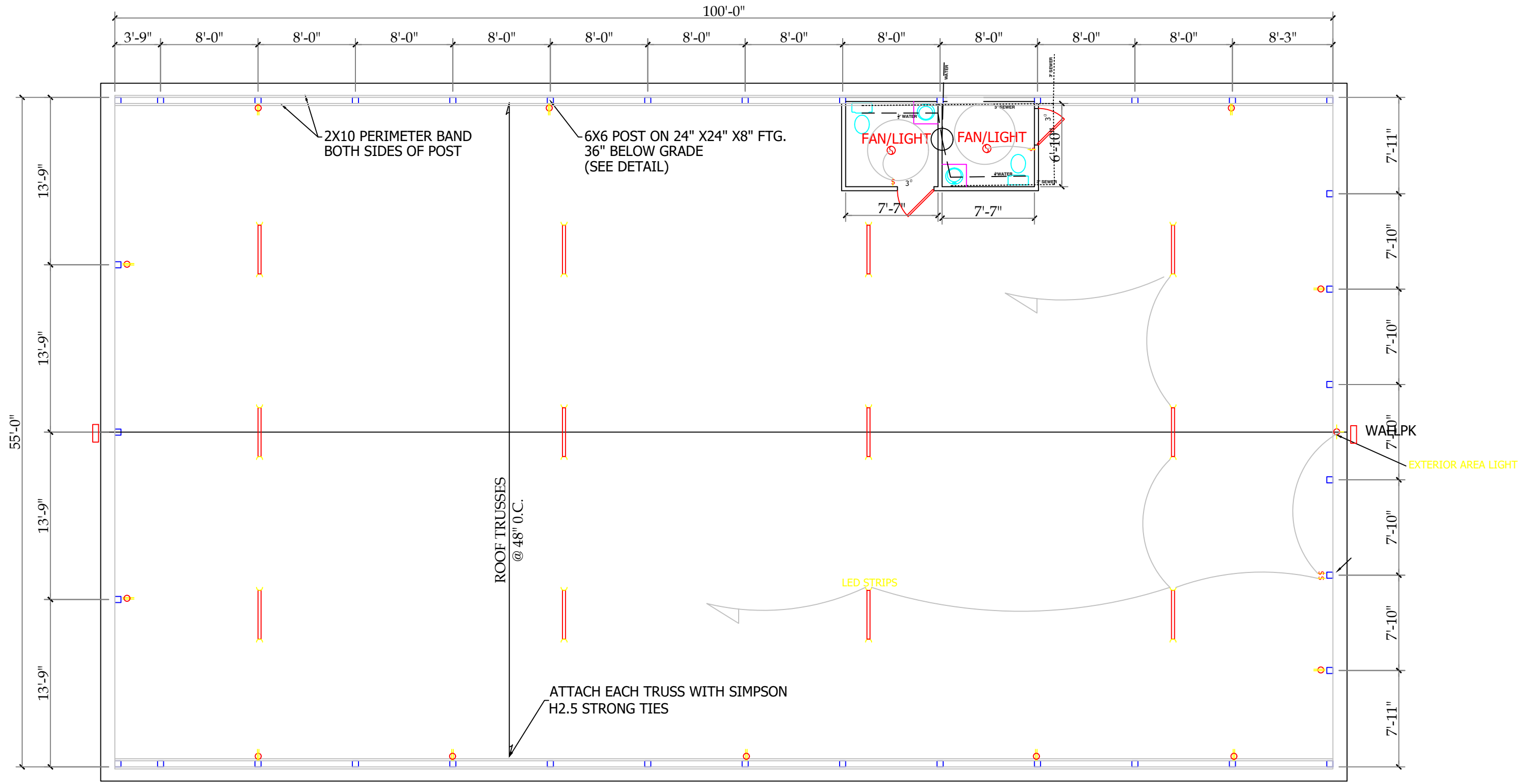
805 COKEBERRY ROAD
 NORTH CAROLINA, NC 27526
 PHONE: (919) 552-1600
 FAX: (919) 552-6325



SITE PLAN

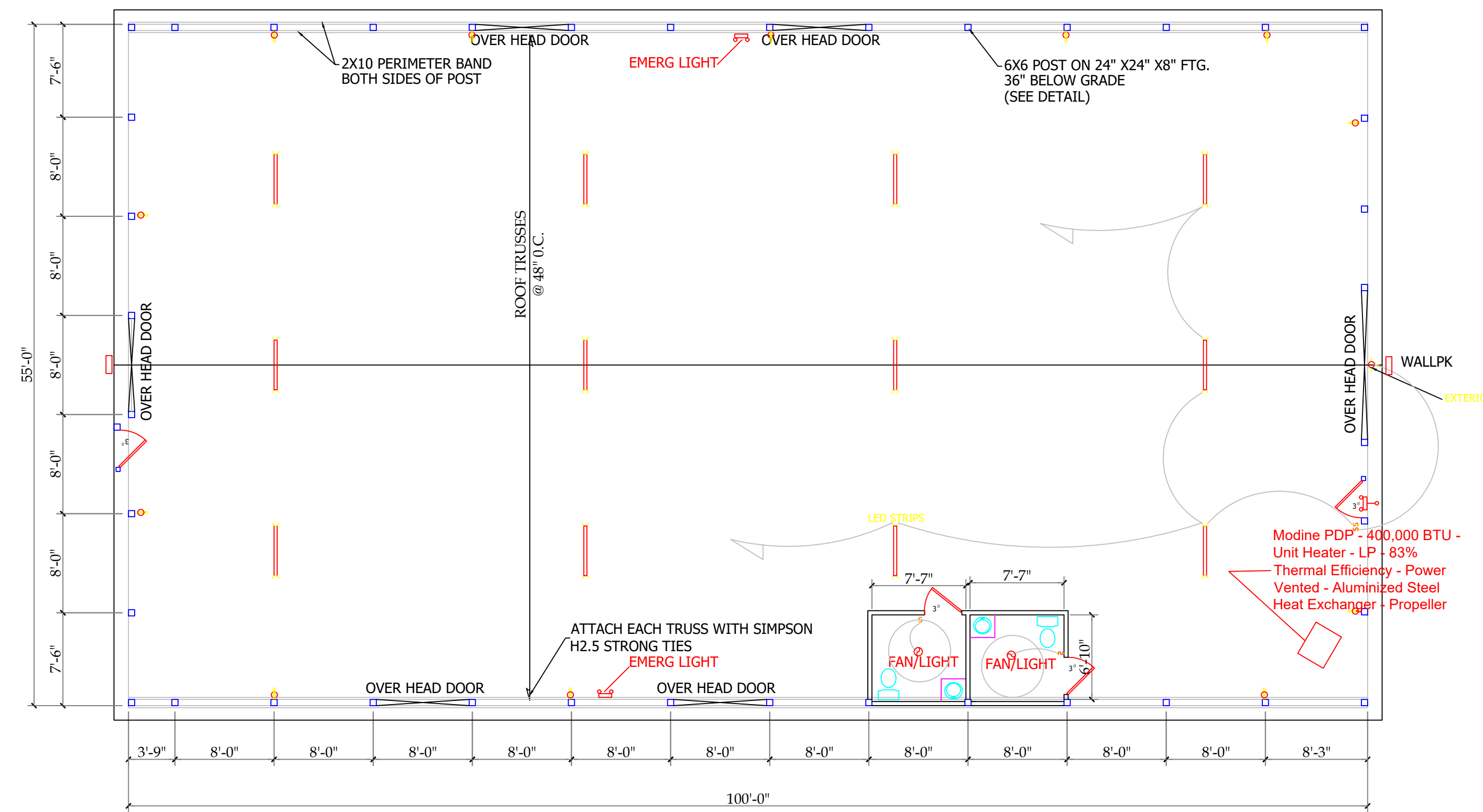
Harrington Farmers Market
 LOCATED
 US HWY 421
 HARNETT COUNTY
 NORTH CAROLINA

DATE	4/18/22
SCALE	1/4"=1'
DESIGNED BY	CGB
DRAWN BY	
SHEET	SP1-OF-1
SITE PLAN	



55 X 100 OPEN BUILDING -BLDG B

SCALE: 1/8"=1'-0"



55 X 100 ENCLOSED BUILDING-BLDG A

SCALE: 1/8"=1'-0"

GENERAL CONSTRUCTION NOTES

1. PROVIDE AND INSTALL FIRE EXTINGUISHERS AS REQUIRED PER CODE.
2. THREE (3) DUPLICATE SHELTERS
3. 1 ENCLOSED BUILDING AND 1 WITH OPEN SIDES

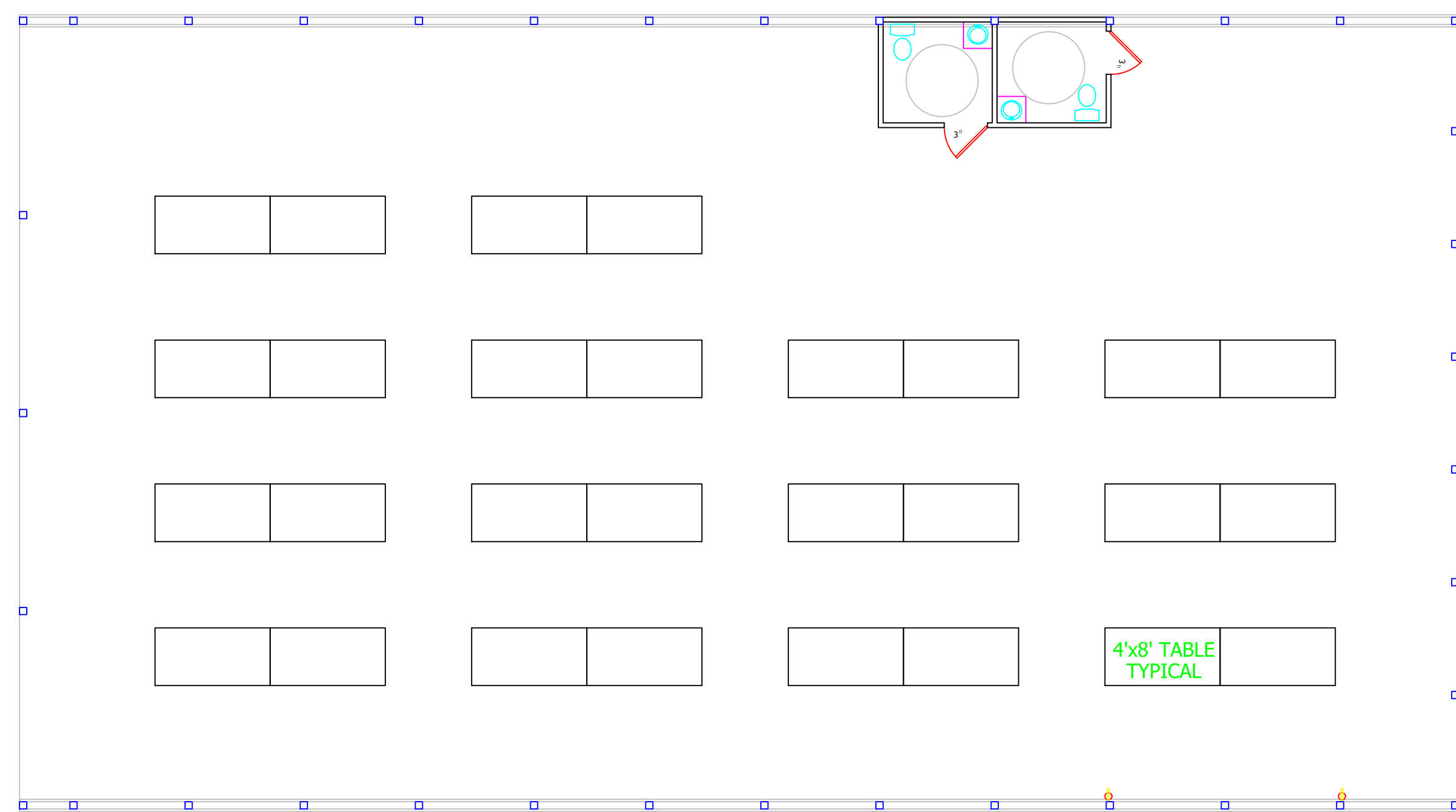


TABLE LAYOUT

SCALE: 1/8"=1'-0"

FLOOR PLAN

SCALE: 1/4"=1'

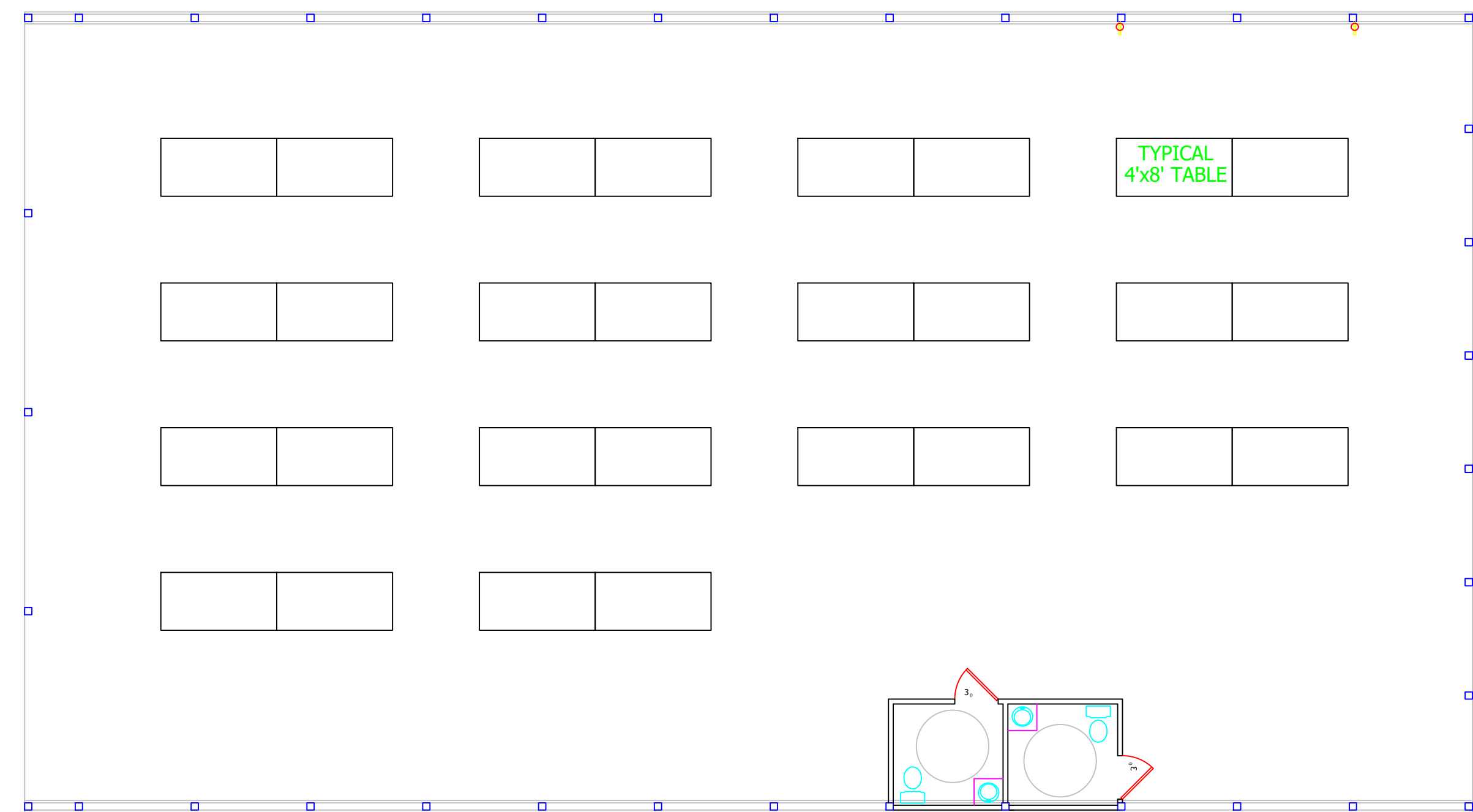
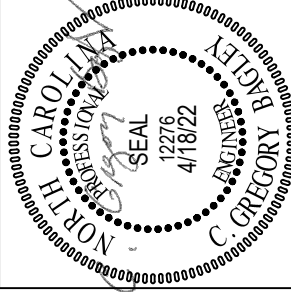


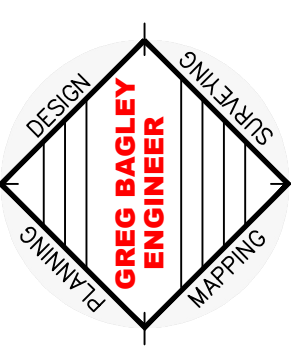
TABLE LAYOUT

SCALE: 1/8"=1'-0"

REVISIONS	BY



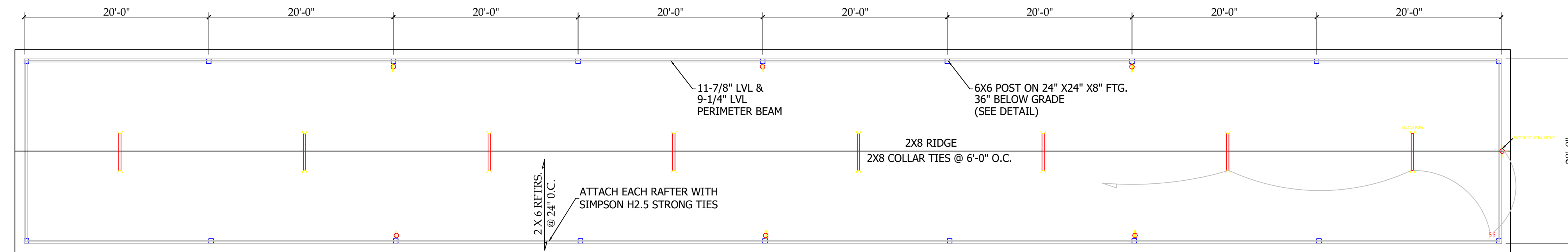
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FLOOR PLAN

Harrington Farmers Market
LOCATED
US HWY 421
HARNETT COUNTY
NORTH CAROLINA

DATE	4/18/22
SCALE	1/4"=1'
DESIGNED BY	CGB
DRAWN BY	
SHEET	FP1-OF-1
FLOOR PLAN	



20 X 160 OPEN BUILDING- ELECTRICAL
SCALE: 1/8"=1'-0"

GENERAL CONSTRUCTION NOTES

1. PROVIDE AND INSTALL FIRE EXTINGUISHERS AS REQUIRED PER CODE.
2. THREE (3) DUPLICATE SHELTERS
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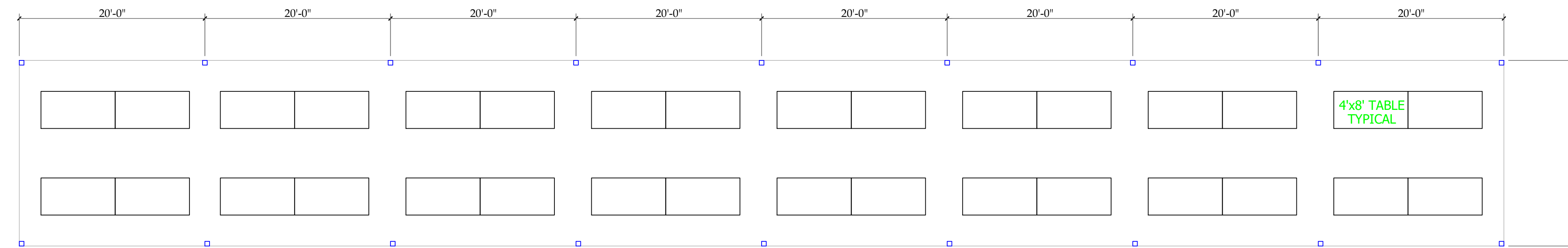
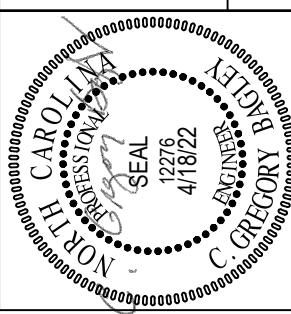


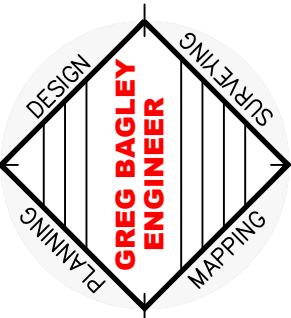
TABLE LAYOUT
SCALE: 1/8"=1'-0"

FLOOR PLAN
SCALE: 1/4"=1'

REVISIONS	BY



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FLOOR PLAN

Harrington Farmers Market

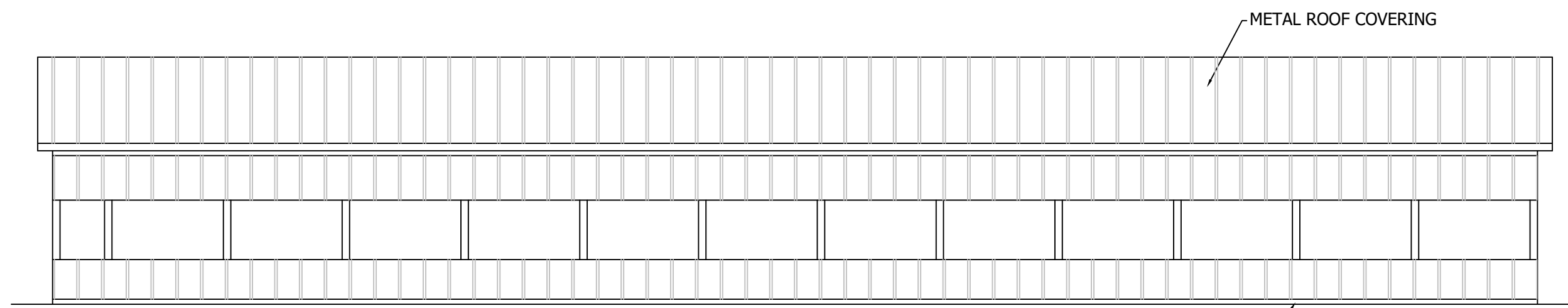
LOCATED
US HWY 421

NORTH CAROLINA

HARNETT COUNTY

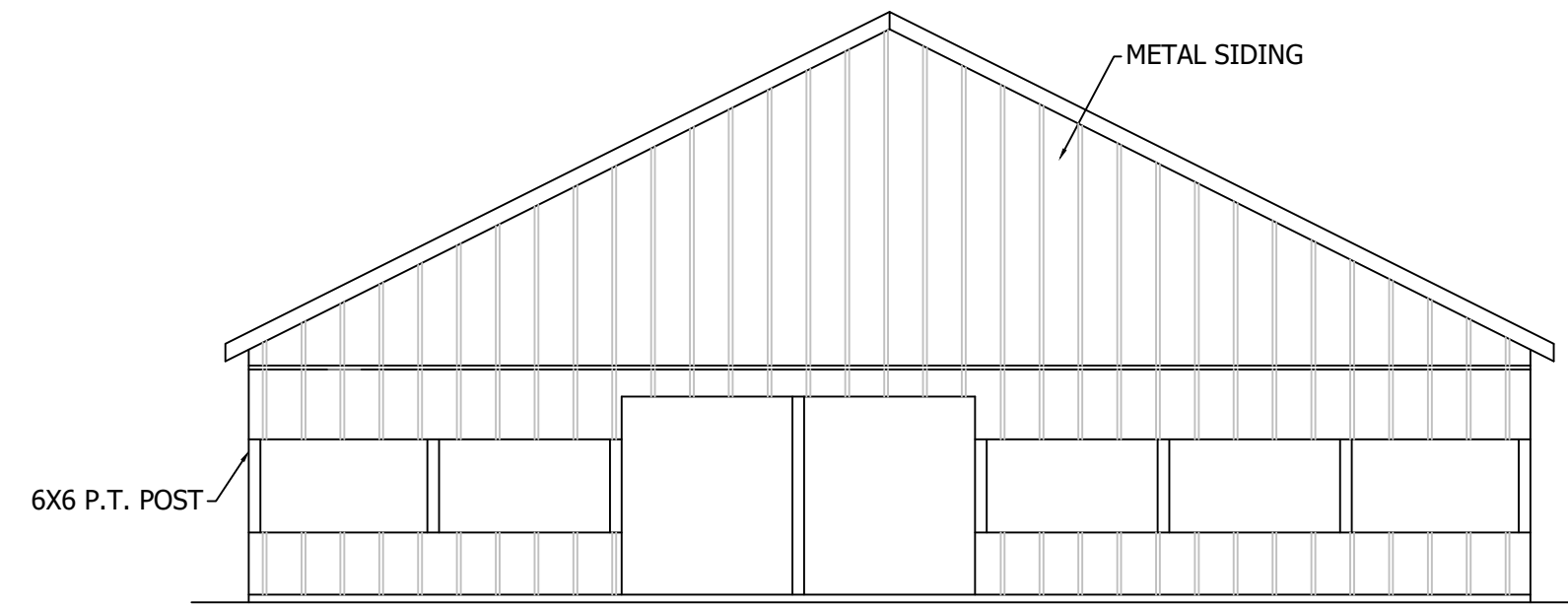
DATE: 4/18/22
SCALE: 1/4"=1'
DESIGNED BY: CGB
DRAWN BY:

SHEET:
FP1-OF-1
FLOOR PLAN



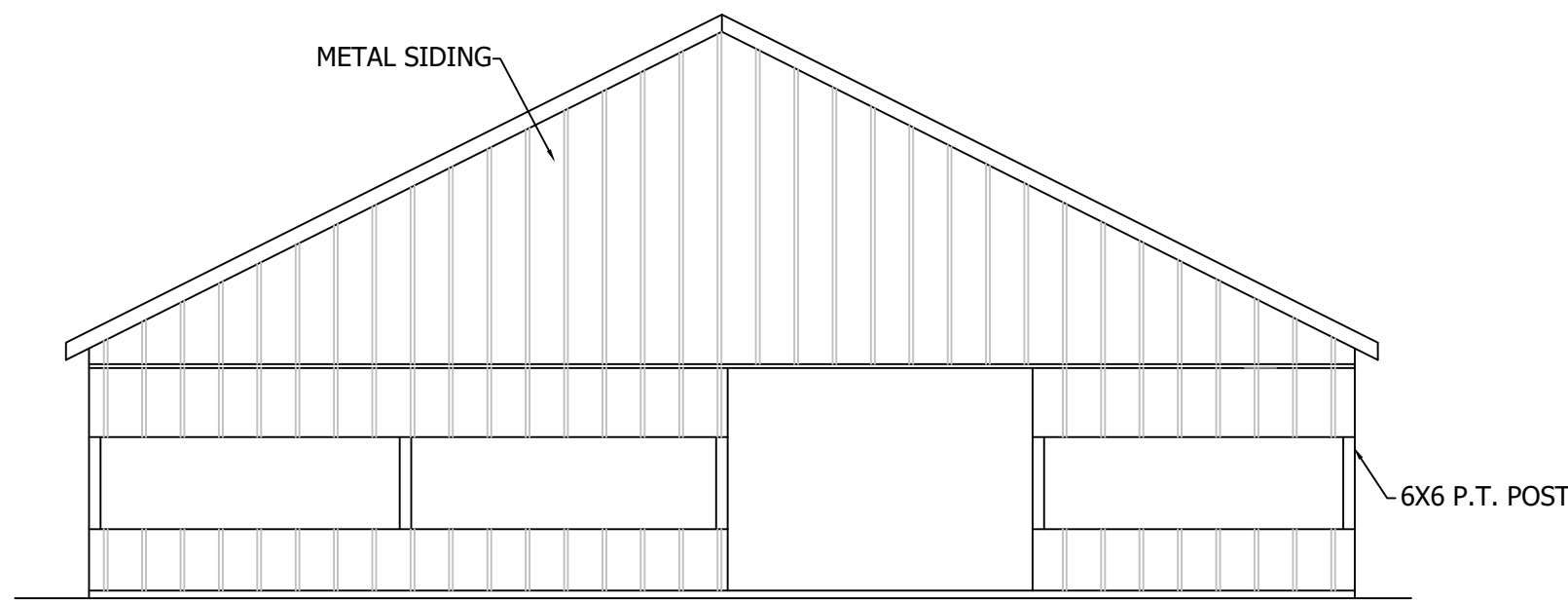
LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"



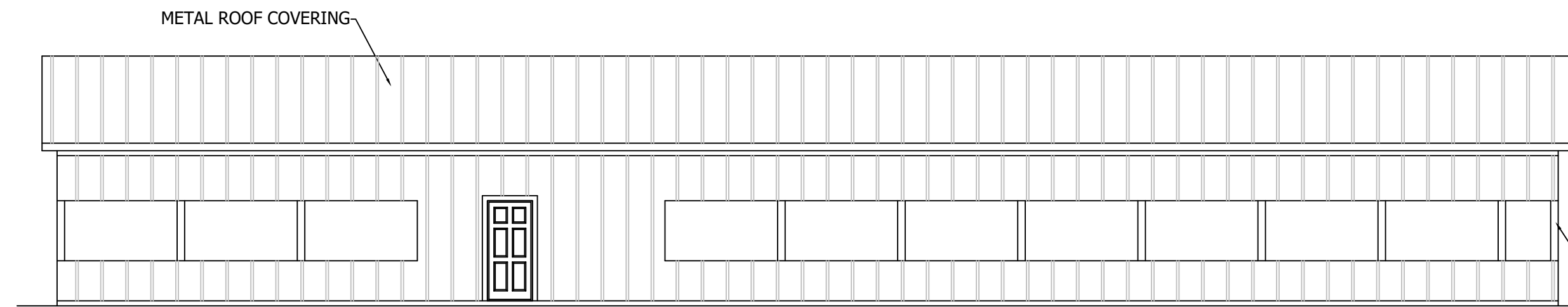
FRONT ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"

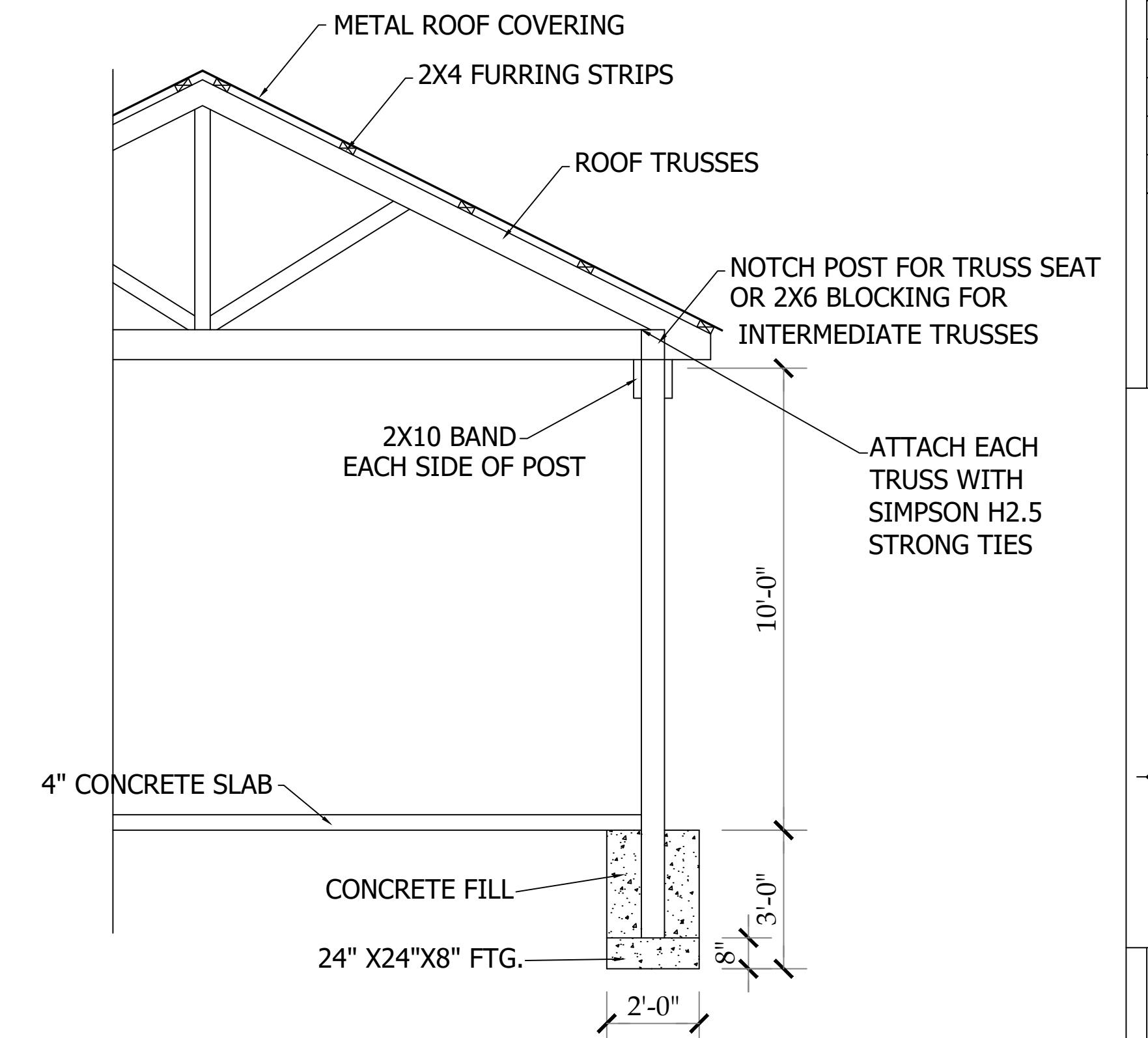


RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"

55 X 100 OPEN BUILDING -BLDG B

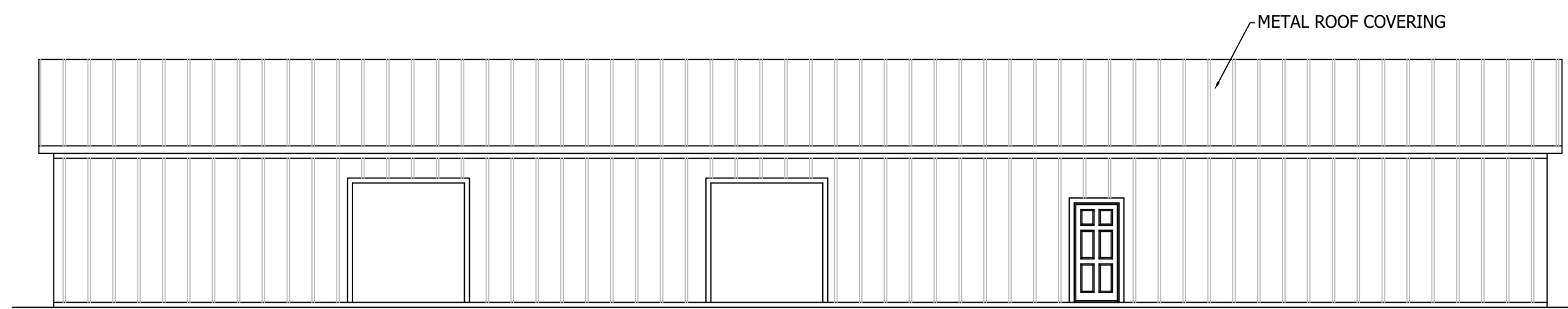
SCALE: 1/8"=1'-0"



CROSS SECTION

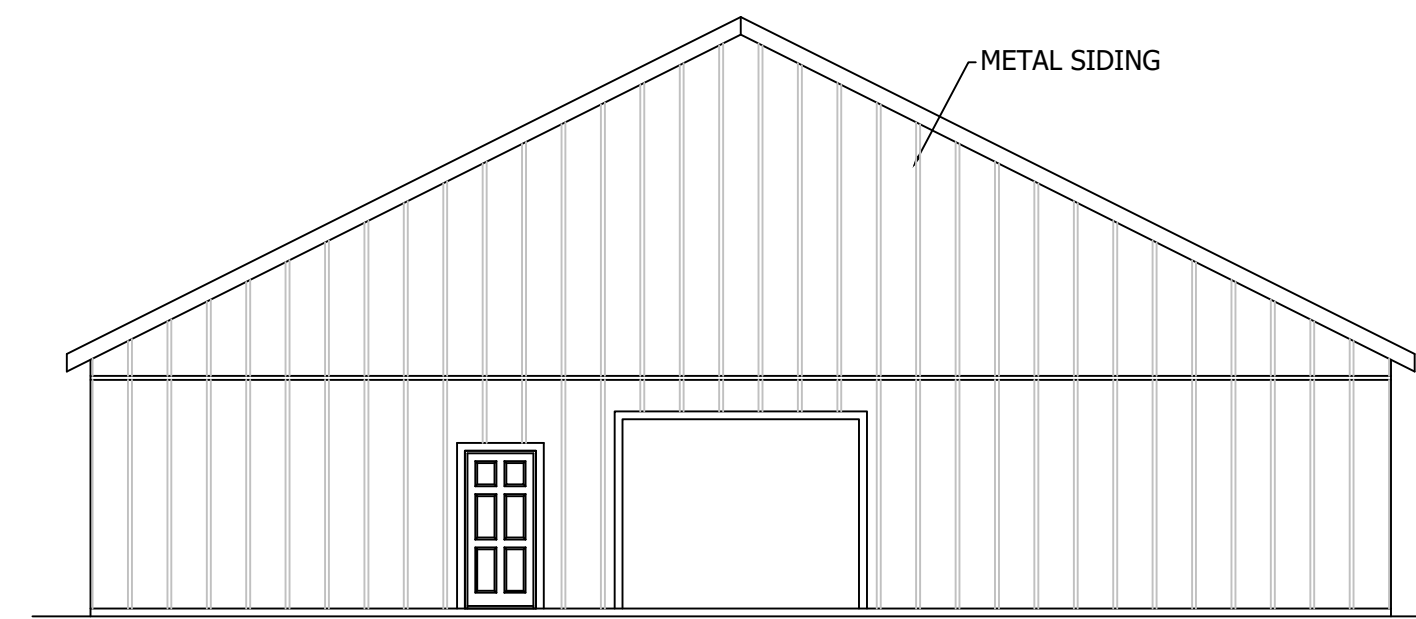
GENERAL CONSTRUCTION NOTES

1. PROVIDE AND INSTALL FIRE EXTINGUISHERS AS REQUIRED PER CODE.
2. THREE (3) DUPLICATE SHELTERS
3. 1 ENCLOSED BUILDING AND 1 WITH OPEN SIDES



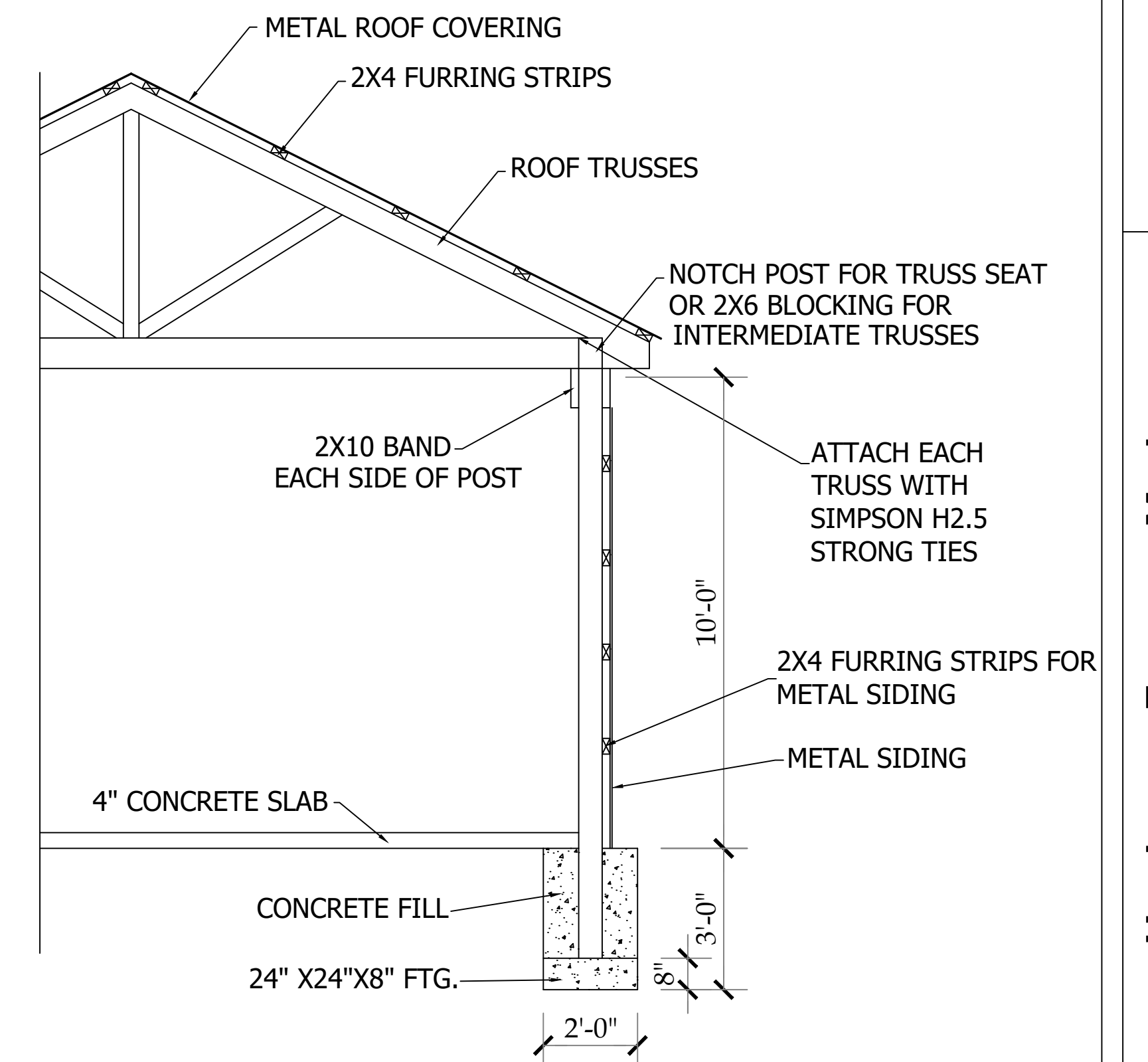
LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"

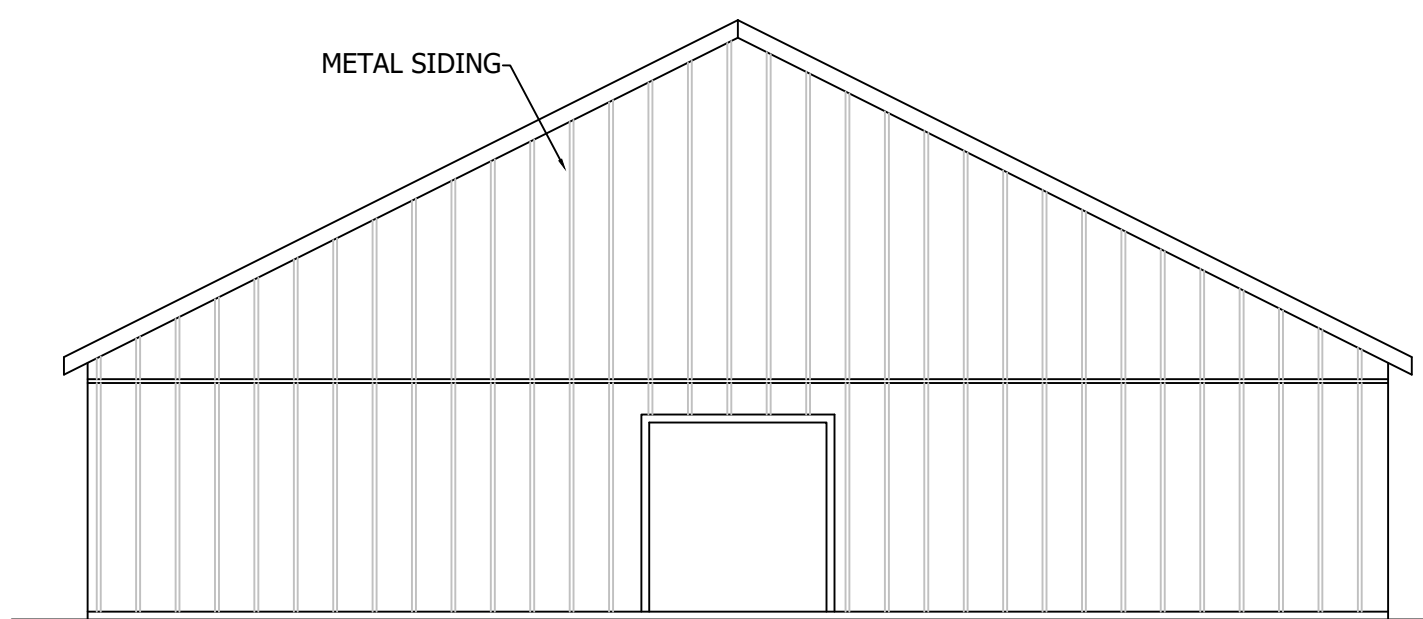


FRONT ELEVATION

SCALE: 1/8"=1'-0"

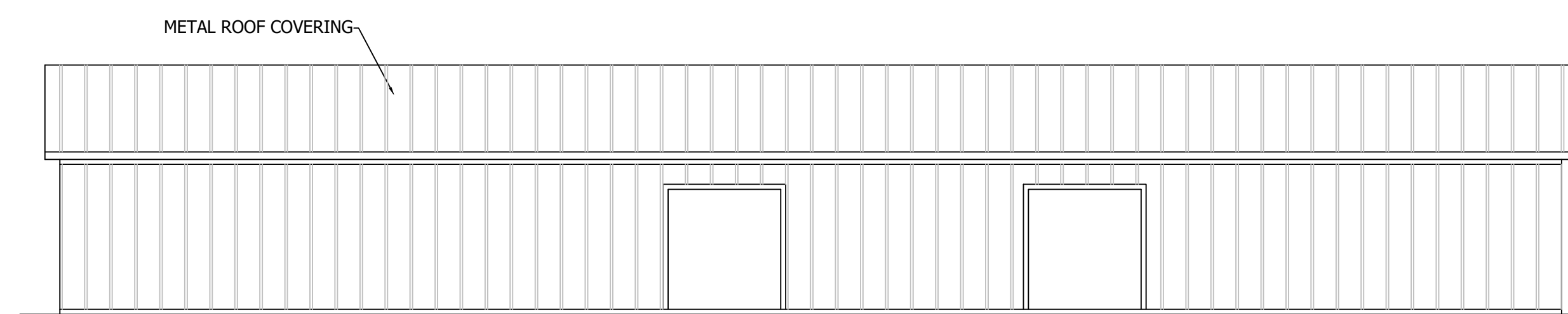


CROSS SECTION



REAR ELEVATION

SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION

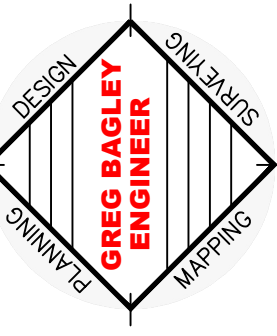
SCALE: 1/8"=1'-0"

55 X 100 ENCLOSED BUILDING-BLDG A

SCALE: 1/8"=1'-0"

REVISIONS	BY

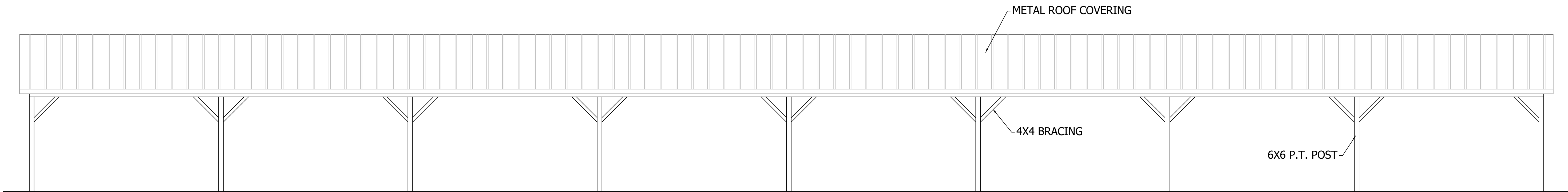
805 COKEBURY ROAD
NORTH CAROLINA, NC 27526
PHONE: (919) 552-1600
FAX: (919) 552-6325



ELEVATIONS

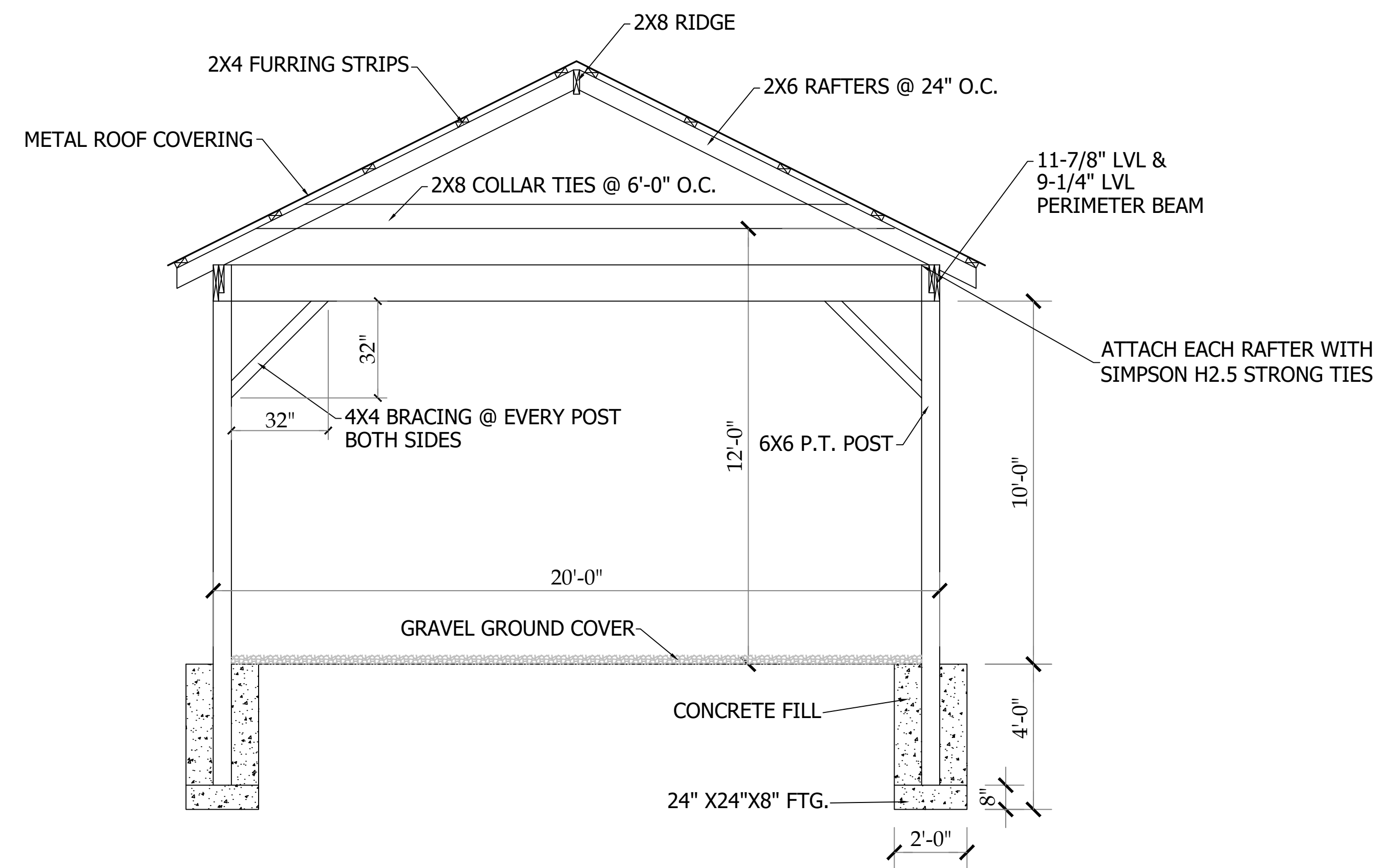
Harrington Farmers Market
LOCATED
US HWY 421
NORTH CAROLINA
HARNETT COUNTY

DATE	4/18/22
SCALE	3/16"=1'
DESIGNED BY	CGB
DRAWN BY	
SHEET	EL1-OF-1
ELEVATION	



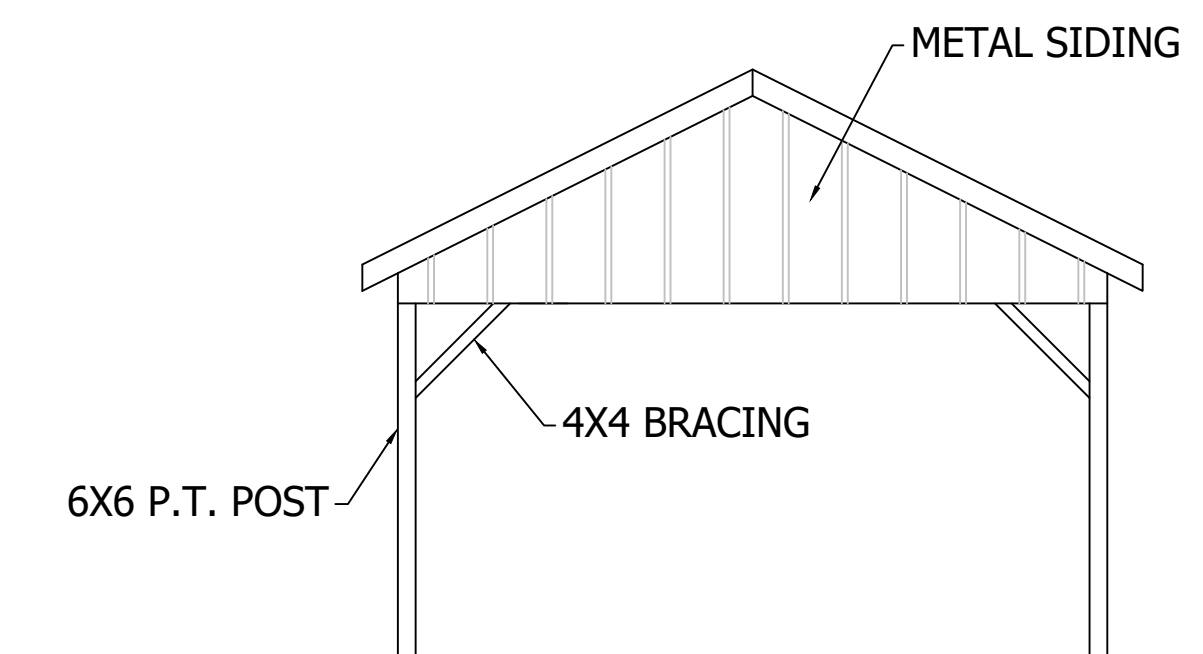
SIDE ELEVATION

SCALE: 3/16"=1'-0"



CROSS SECTION

SCALE: 3/16"=1'-0"



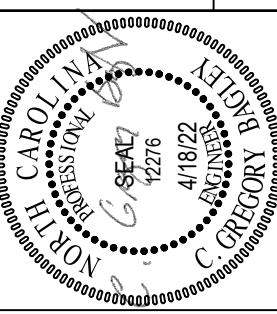
END ELEVATION

SCALE: 3/16"=1'-0"

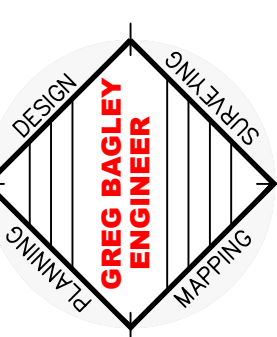
GENERAL CONSTRUCTION NOTES

1. PROVIDE AND INSTALL FIRE EXTINGUISHERS AS REQUIRED PER CODE.
2. THREE (3) DUPLICATE SHELTERS
3. 1 ENCLOSED BUILDING AND 1 WITH OPEN SIDES

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NORTH CAROLINA, NC 27526
PHONE: (919) 552-1600
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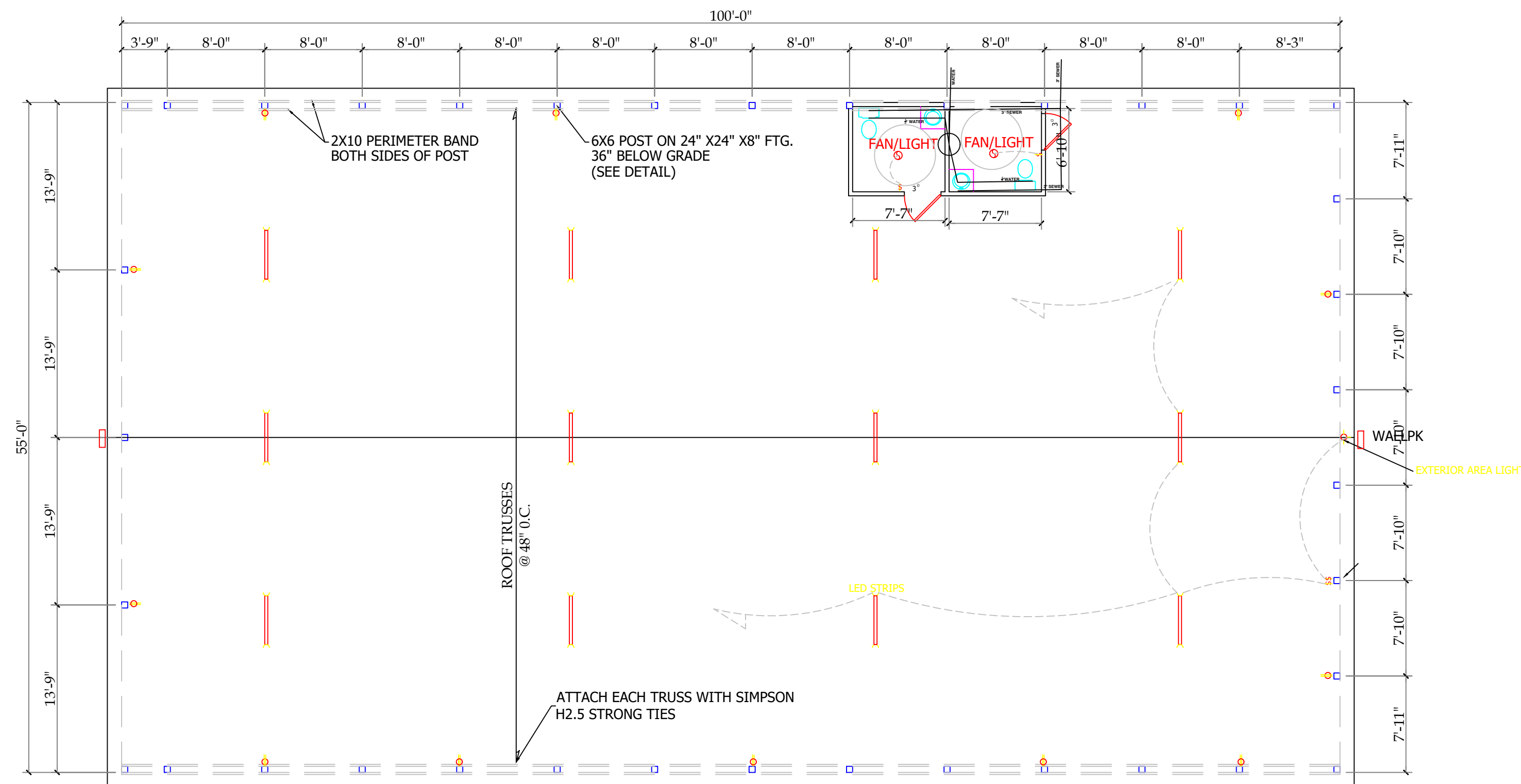


ELEVATIONS

Harrington Farmers Market
LOCATED
US HWY 421
NORTH CAROLINA
HARNETT COUNTY

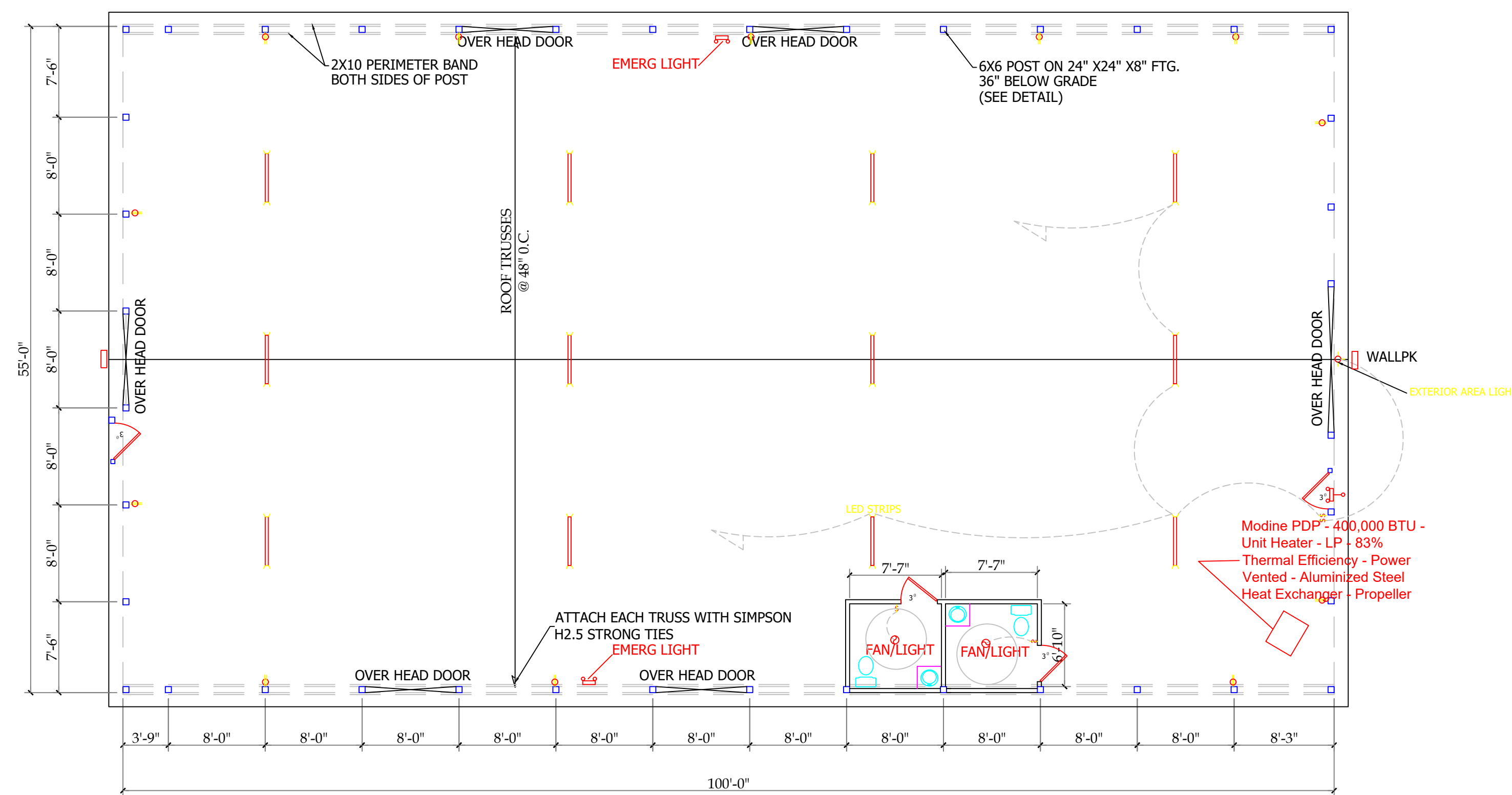
DATE 4/18/22
SCALE 3/16":1
DESIGNED BY CGB
DRAWN BY

SHEET
EL1-OF-1
ELEVATION



55 X 100 OPEN BUILDING -BLDG B

SCALE: 1/8"=1'-0"



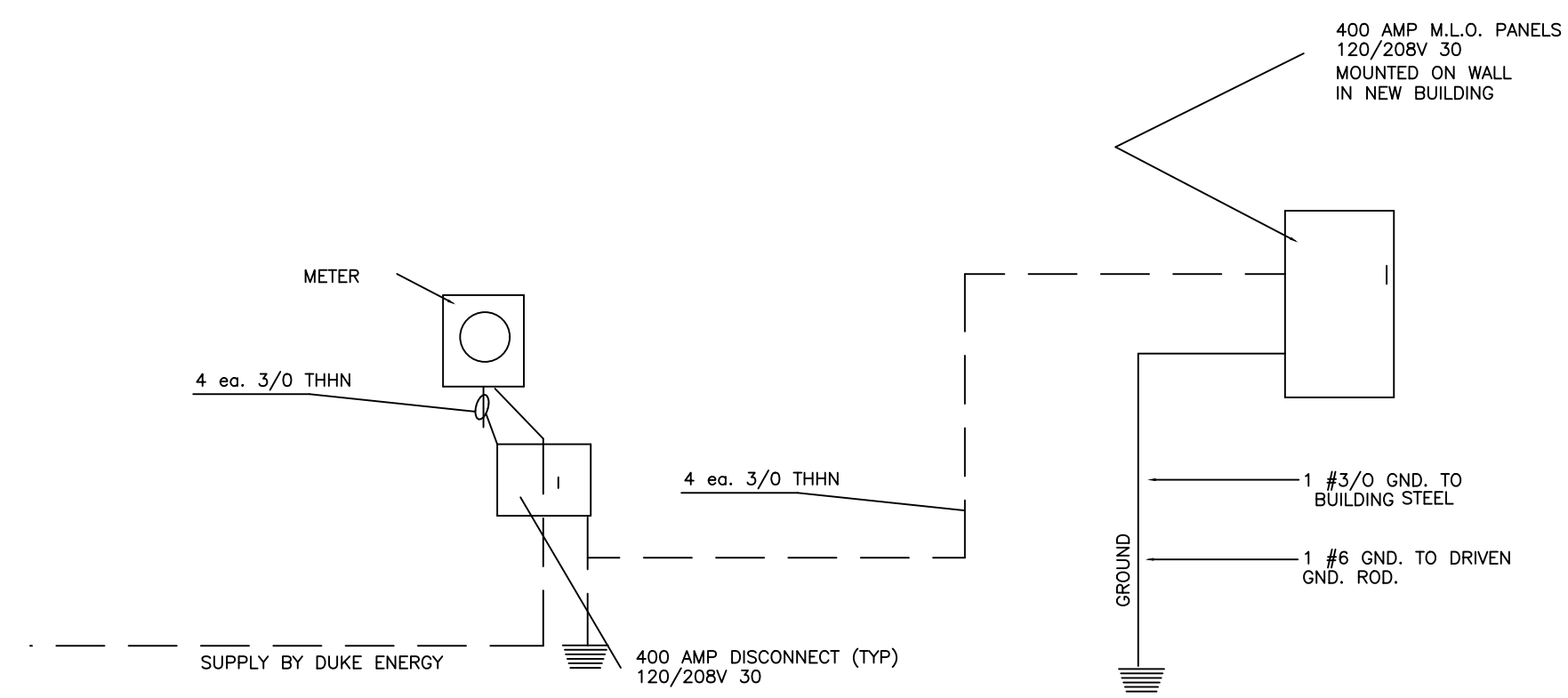
55 X 100 ENCLOSED BUILDING-BLDG A

SCALE: 1/8"=1'-0"

ELECTRICAL

WAREHOUSE 200 AMP SERVICE
VOLTAGE 220/110V 1 PHASE : 4 WIRE

DEVICE	BRANCH CIRCUIT	PHASE			BRANCH CIRCUIT	DEVICE				
AMPS TRIP	POLES	DESCRIPTION	CKT	A	B	C	CKT	DESCRIPTION	POLES	AMPS TRIP
20	2	LIGHTING	1				2	RECPT.	1	20
20	2	LIGHTING	3				4	RECPT.	1	20
20	1	LIGHTING	5				6	RECPT.	1	20
20	1	LIGHTING	7				8	RECPT.	1	20
25	2	EMERGENCY LIGHTS	9				10			
40	2	WALLPACKS	11				12			
			13				14			
			15				16			
			17				18			
			19				20			
			21				22			
			23				24			



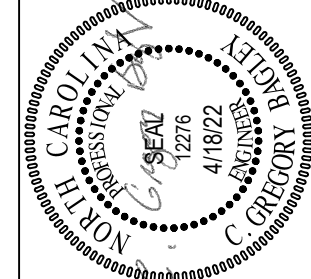
ELECTRICAL DIAGRAM

NOT TO SCALE

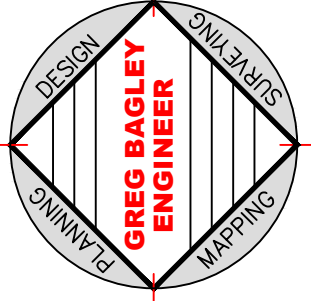
ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

REVISIONS	BY



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NORTH CAROLINA, NC 27526
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FAX: (919) 552-6325



ELECTRICAL PLAN

Harrington Farmers Market
LOCATED
4792 Rawlins Church Rd
NORTH CAROLINA
HARNETT COUNTY

DATE	6-5-17
SCALE	1/4" = 1'-0"
DESIGNED BY	CGB
DRAWN BY	
SHEET	E1-OF-1

ELECTRICAL