

PROJECT: SERENITY AMENITY  
 LOCATION: PINEY GROVE RAWLS ROAD  
 OWNER: GREENFIELD COMMUNITIES LLC  
 8601 SIX FORKS ROAD, SUITE 270  
 RALEIGH, NC 27615  
 PHONE: 919-815-6469  
 MATT BRUBAKER  
 MBRUBAKER@GREENFIELDCOMMUNITES.COM

LANDSCAPE ARCHITECT: TMTLA ASSOCIATES  
 5011 SOUTH PARK DRIVE, STE 200  
 DURHAM, NC 27713  
 PHONE: 919-484-8880  
 GARRETT BAKER, PLA  
 GARRETT@TMTLA.COM

BUILDING ARCHITECT: D. CLUGSTON, INC.  
 2506 RELIANCE AVE  
 APEX, NC 27539  
 PHONE: 919-629-7290  
 BRIAN JACOBS  
 BRIAN.JACOBS@DCLUGSTON.COM

ENGINEER: TIMMONS GROUP  
 5410 TRINITY ROAD, SUITE 102  
 RALEIGH, NC 27607  
 PHONE: 919- 866-4951  
 JIM CHANDLER, PE  
 JIM.CHANDLER@TIMMONS.COM

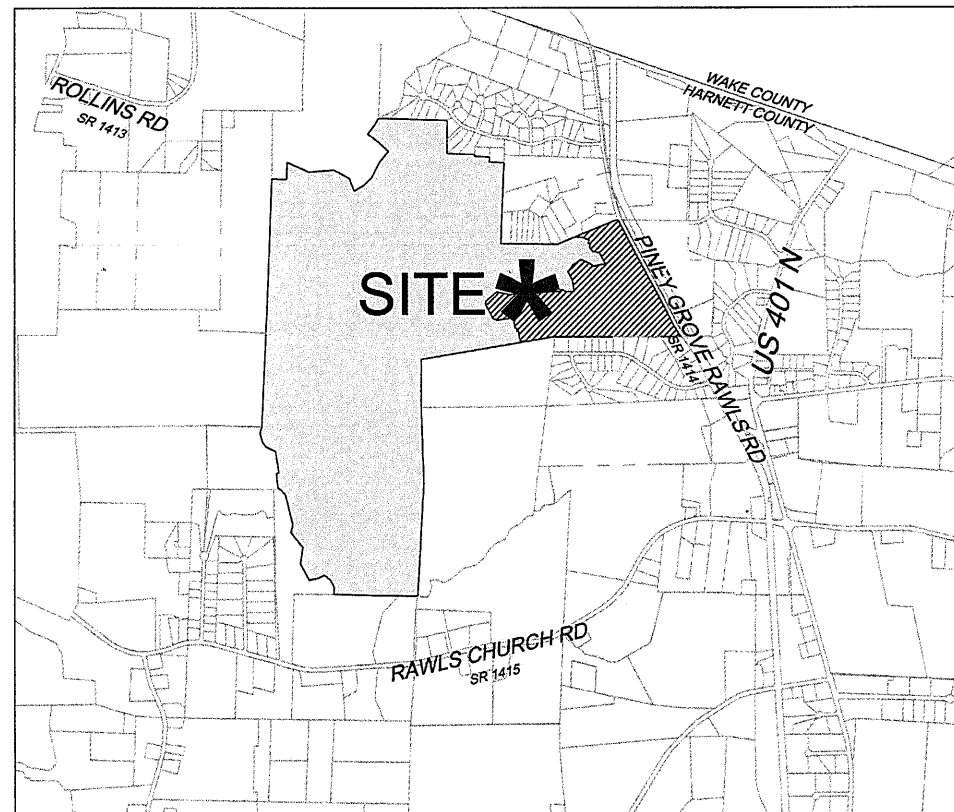
SITE DATA

PIN: TO BE DETERMINED  
 DEVELOPMENT TYPE: PUD  
 TOWNSHIP: HECTORS CREEK  
 PROPOSED USE: RESIDENTIAL AMENITY (COMMERCIAL)  
 LAND USE CLASSIFICATION: MEDIUM DENSITY RESIDENTIAL  
 TOTAL SITE AREA: 4.03 AC  
 ZONING: RA-40  
 BUILDING SETBACK: 50'  
 PARKING SETBACK: 10'  
 PARKING: 1 PER 200 SF  
 STREET TREE: PER DEVELOPMENT PLAN  
 PROPOSED IMPERVIOUS:  
 CLUBHOUSE AND POST OFFICE 6018 SF  
 POOL DECK 8759 SF  
 SIDEWALKS AND MISC 5736 SF  
 VEHICULAR SURFACE AREA 31915 SF  
 TOTAL 52,488 SF (1.2 AC)

# SITE PLAN

## SERENITY AMENITY

Piney Grove Rawls Road, Harnett County, North Carolina  
 0-00-00-00  
 MARCH 3rd, 2020  
 FEBRUARY 25, 2022



VICINITY MAP

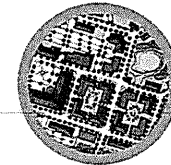
SHEET INDEX:

C-0.0	COVER
C-1.0	EXISTING CONDITION, DEMOLITION AND EROSION CONTROL PLAN
C-2.0	SITE PLAN
C-2.1	PARKS ENLARGEMENT
C-3.0	GRADING, DIMENSIONS AND UTILITY PLAN
L-1.0	LANDSCAPE PLAN
D-1.0	DETAILS
D-1.1	DETAILS
LO-1.0	LIGHTING PLAN - PRELIMINARY

AS THE OWNER OF RECORD, I HEREBY FORMALLY CONSENT TO THE PROPOSED DEVELOPMENT SHOWN ON THIS SITE PLAN AND ALL REGULATIONS AND REQUIREMENTS OF THE HARNETT COUNTY ORDINANCES.

*Matthew O.* 3/3/22  
 OWNER SIGNATURE DATE

*Matt Brubaker, Manager*  
 PRINTED NAME, TITLE



D. CLUGSTON  
 BUILDING AND DEVELOPMENT CO.

Timmons Group

REVISIONS:

10-14-20 comments revision


COVER  
 SERENITY AMENITY  
 Piney Grove Rawls Rd, Harnett County, NC  
 GREENFIELD COMMUNITIES

SCALE:

DRAWN BY:  
 JGB  
 PROJECT #  
 18081  
 DATE:  
 03/03/20  
 SHEET

OF COVER

TMTLA ASSOCIATES  
 5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713  
 p: (919) 484-8880 e: info@tmtla.com

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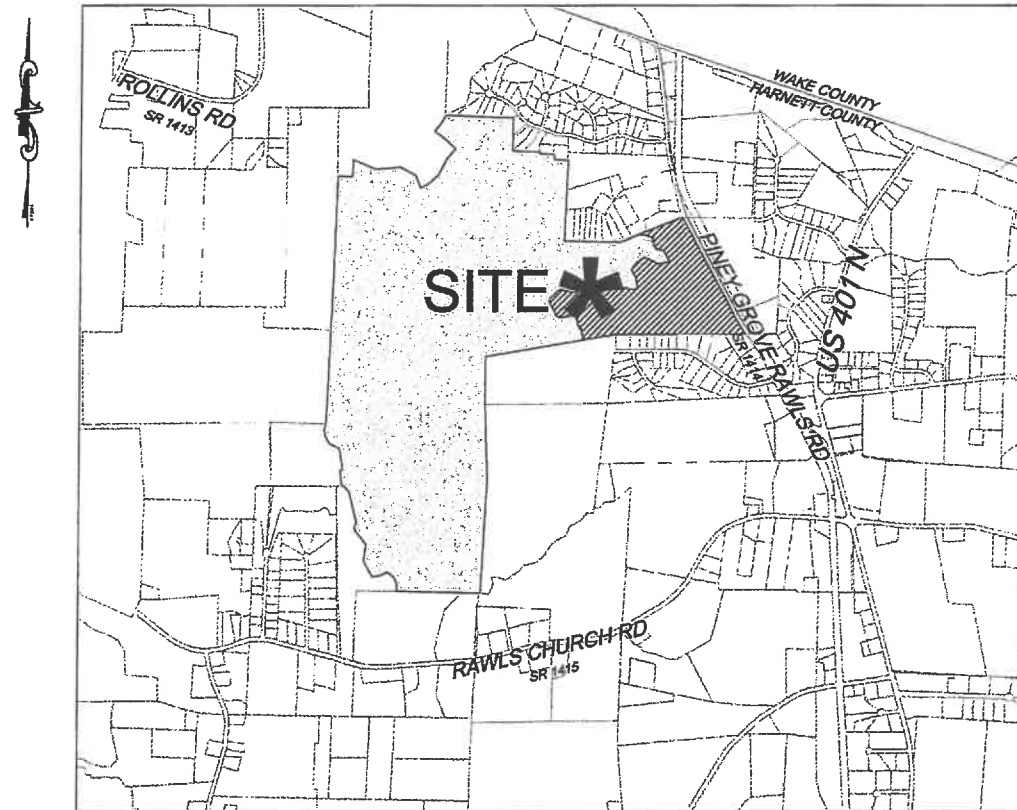
**SITE DATA**

PIN: TO BE DETERMINED  
 DEVELOPMENT TYPE: PUD, APPROVED JULY 9, 2018  
 TOWNSHIP: HECTORS CREEK  
 PROPOSED USE: RESIDENTIAL AMENITY (COMMERCIAL)  
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# SITE PLAN

## SERENITY AMENITY

Piney Grove Rawls Road, Harnett County, North Carolina  
 0-00-00-00  
 MARCH 3rd, 2020



VICINITY MAP

**SHEET INDEX:**

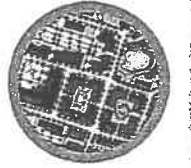
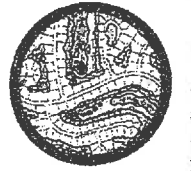
- C-0.0 COVER
- C-1.0 EXISTING CONDITION, DEMOLITION AND EROSION CONTROL PLAN
- C-2.0 SITE PLAN
- C-2.1 PARKS ENLARGEMENT
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AS THE OWNER OF RECORD, I HEREBY FORMALLY CONSENT TO THE PROPOSED DEVELOPMENT SHOWN ON THIS SITE PLAN AND ALL REGULATIONS AND REQUIREMENTS OF THE HARNETT COUNTY ORDINANCES.

*Matthew Brubaker* 2/25/20  
 OWNER SIGNATURE DATE  
 Matthew Brubaker, Manager  
 PRINTED NAME, TITLE

I hereby certify that the Harnett County Development Review Board approves or approves with conditions this Site Plan and authorizes the design and construction of utilities and structures in accordance with all federal, state, and local government regulations and expiration periods that apply.

*[Signature]* 3/3/20  
 Development Review Board, Chairman Date  
 SITE 2003 - 0001



TMTLA ASSOCIATES  
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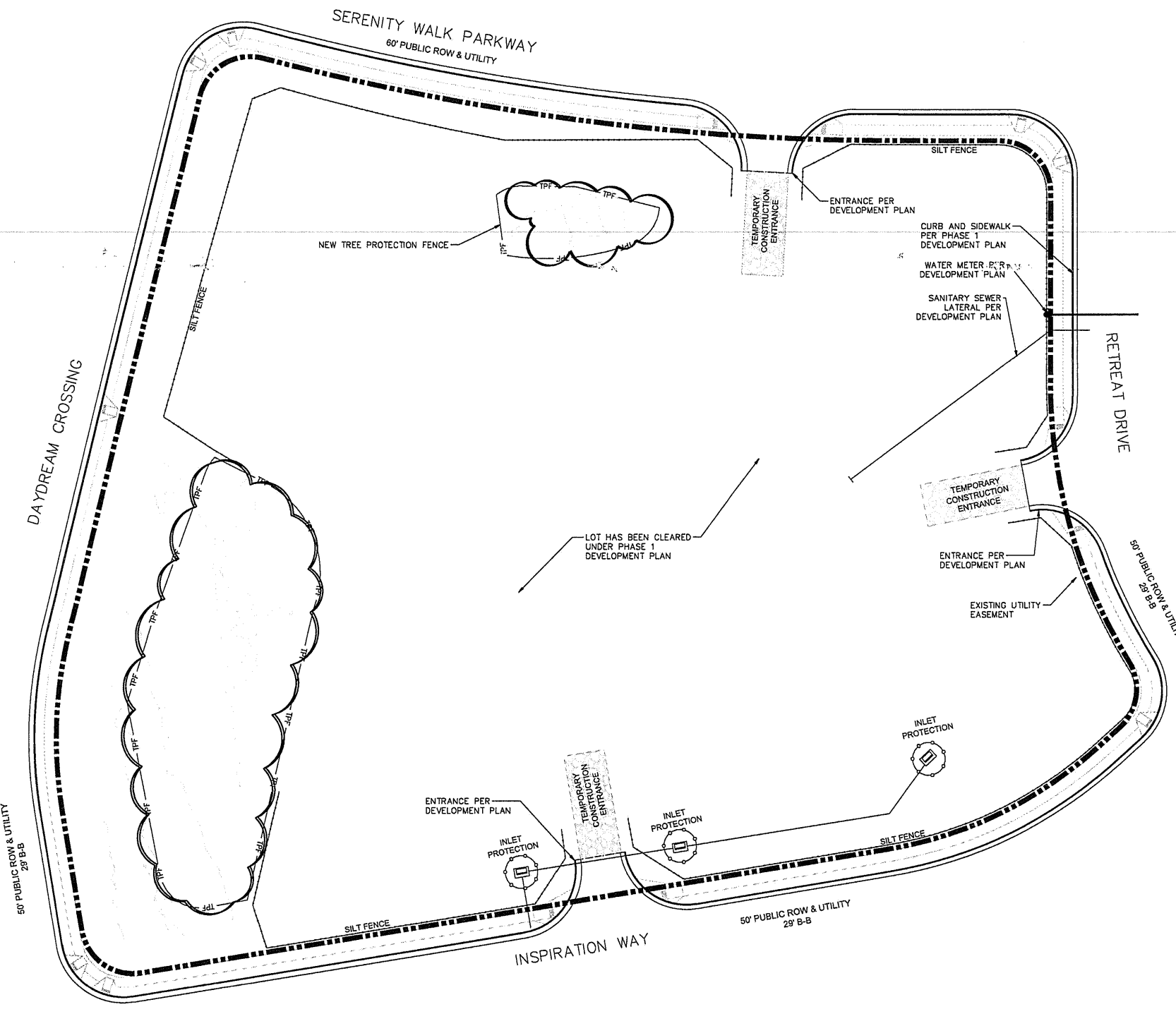
Timmons Group

REVISIONS:  
 10-14-20 comments revision

COVER  
 SERENITY AMENITY  
 Piney Grove Rawls Rd, Harnett County, NC  
 GREENFIELD COMMUNITIES

SCALE:  
 DRAWN BY:  
 JGB  
 PROJECT #  
 18081  
 DATE:  
 03/03/20  
 SHEET

OF COVER

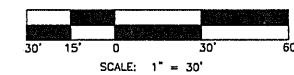
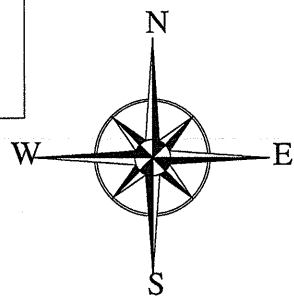


- GENERAL NOTES:
- EXISTING CONDITIONS ARE ASSUMED PER PHASE 1 SERENITY DEVELOPMENT PLAN AND SHOULD BE FIELD VERIFIED UPON THE COMMENCEMENT OF WORK.
  - BOUNDARY, TOPOGRAPHY, STORM WATER SEWER, SANITARY SEWER, STREETS AND SIDEWALK INFORMATION AS SHOWN ON THIS PLAN WERE OBTAINED FROM THE SERENITY DEVELOPMENT PLAN AS PREPARED BY PROJECT ENGINEER, TIMMONS GROUP.
  - THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN (IF ANY) ARE APPROXIMATE ONLY. UTILITIES MAY EXIST WHICH ARE NOT SHOWN. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC OR PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE WITHIN THE LIMITS OF ANY GRADING OR EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN EXPENSE FOR REPAIR OF NEW OR EXISTING UTILITIES DAMAGED DURING CONSTRUCTION. CONTRACTOR TO CONTACT N.C. ONE CALL PRIOR TO PERFORMING ANY DIGGING AT 1-800-632-4949.
  - FACILITIES AND STRUCTURES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE AND SUBJECT TO FIELD CONFIRMATION BY THE CONTRACTOR.

- EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE:
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES AND MAINTAINED DURING THE COURSE OF THE PROJECT.
  - WORK ON THIS PROJECT SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AS APPROVED FOR CONSTRUCTION IN THE THE PHASE 1 SERENITY DEVELOPMENT PLAN.
  - SEE PHASE 1 SERENITY DEVELOPMENT PLAN FOR SEEDING PRESCRIPTIONS AND EROSION CONTROL DETAILS.
  - WORK ON THIS PROJECT SHALL CONFORM TO THE THE LATEST EDITIONS OF THE HARNETT COUNTY STANDARDS AND SPECIFICATIONS, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK AND THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS.
  - THE TEMPORARY EROSION CONTROL MEASURES SHALL BE INSPECTED AND EVALUATED DURING CONSTRUCTION OPERATION FOR THEIR EFFECTIVENESS IN PREVENTING EROSION MATERIAL AND SEDIMENT FROM DISCHARGING FROM THE WORK AREA. AS DIRECTED BY THE TOWN/COUNTY INSPECTOR, ADDITIONAL TEMPORARY EROSION CONTROL MEASURES MAY BE INSTITUTED.
  - INSTALL GRAVEL CONSTRUCTION ENTRANCE PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
  - MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE. PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS. SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
  - STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES AND SCHEDULE PER SERENITY DEVELOPMENT PLAN.
  - WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL 919-571-4718 FOR AN INSPECTION BY THE NCDEQ INSPECTOR.
  - IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS.
  - ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE NCDEQ INSPECTOR, ALAN ALCOCK. OBTAIN A CERTIFICATE OF COMPLETION.
  - ANY DISCREPANCIES FOUND BETWEEN THESE DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS, OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE AND ENGINEER, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE AFTER DISCOVERY, WITHOUT ATTEMPTING TO CONTACT THE OWNER'S REPRESENTATIVE AND DESIGN ENGINEER, WILL BE DONE AT THE CONTRACTOR'S RISK.
  - MAINTENANCE OF TRAFFIC AND TRAFFIC CONTROL IS THE SOLE RESPONSIBILITY OF THE SITE CONTRACTOR. THESE PLANS ARE TO SERVE ONLY AS A GENERAL GUIDE AND IN NO WAY LIMITS THE SITE CONTRACTOR FROM MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH NC DOT STANDARDS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, OR AS DIRECTED BY HARNETT COUNTY PERMITTING AUTHORITY.
  - BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY NCDOT STREET OR HIGHWAY RIGHT-OF-WAY, OBTAIN ALL PERMITS AND ENCROACHMENTS.
  - SITE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL AND TO INITIATE CLEAN-UP OF LITTER AND REFUSE GENERATE. THE CLEAN-UP OF LITTER AND REFUSE SHALL BE DONE ON A REGULAR BASIS, AND SHALL INCLUDE INITIATING ACTION AND ASSUMING ANY COST TO REMEDY THE SITUATION. THE SITE CONTRACTOR, AT NO COST TO THE OWNER, SHALL SUPPLY, PLACE AND MAINTAIN SUITABLE REFUSE CONTAINERS THROUGHOUT THE PROJECT AREA DURING THE ENTIRE CONSTRUCTION PERIOD.

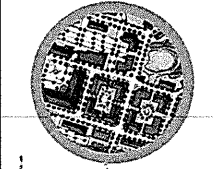
**LEGEND**

--- (dashed line)	contour interval per development plan
--- (long dashed line)	proposed contour interval
--- (solid line)	sanitary sewer
--- (solid line)	water line
--- (solid line)	decorative board fence
--- (solid line)	decorative split rail fence
--- (thick solid line)	Right of way
--- (dotted line)	utility easement
--- (dashed line)	silt fence
○ (circle with cross)	inlet protection
--- (wavy line)	tree protection fencing



SEE PHASE 1 DEVELOPMENT PLAN FOR EROSION CONTROL STANDARDS AND SPECIFICATIONS

**1 EXISTING CONDITIONS, DEMOLITION AND EROSION CONTROL**  
SCALE: 1" = 30'



D. CLUGSTON  
BUILDING AND DEVELOPMENT CO.

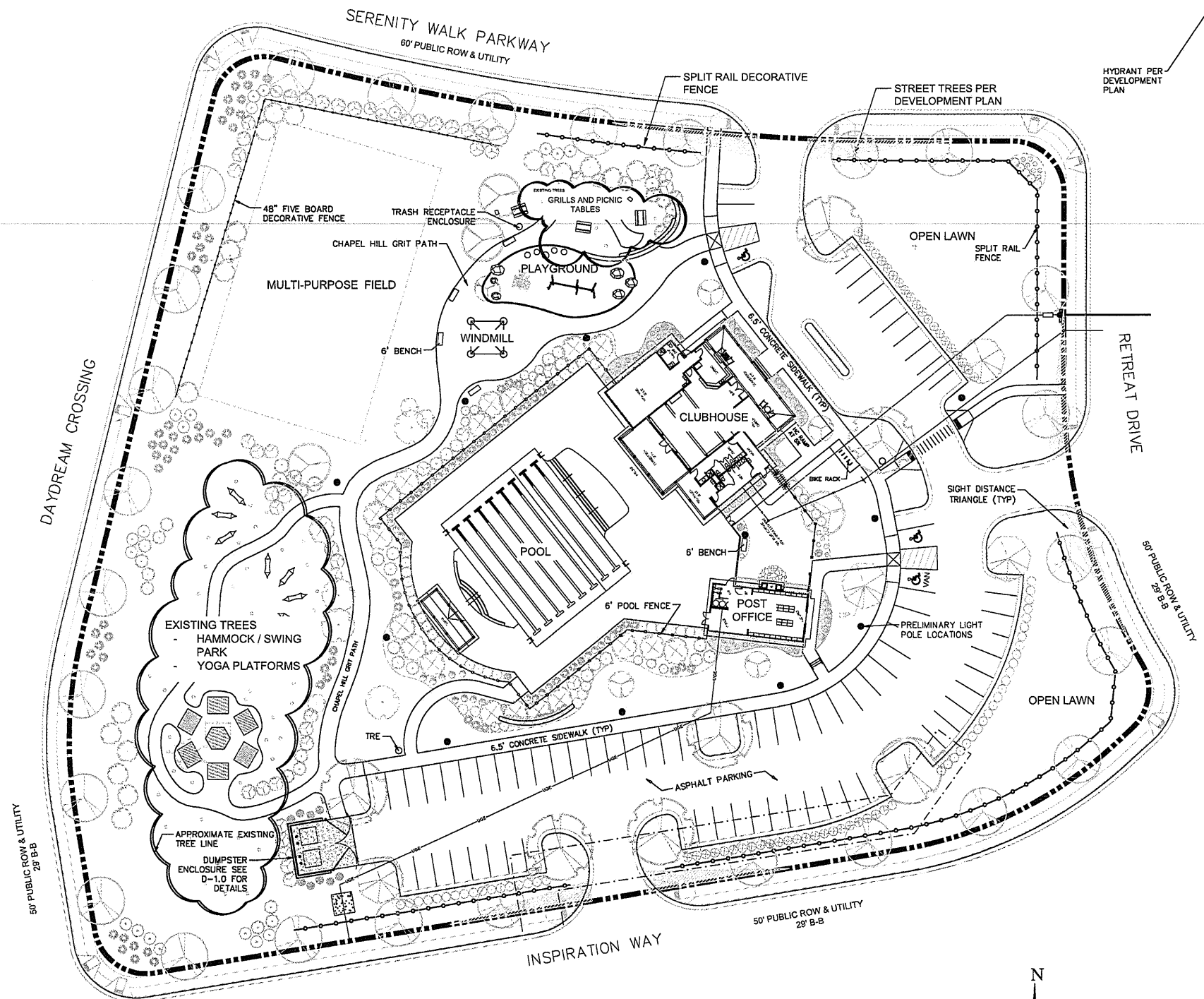
Timmons Group

REVISIONS:

10-14-20	comments revision

EXISTING CONDITIONS, DEMO AND EROSION CONTROL.  
**SERENITY AMENITY**  
Piney Grove Rawlis Rd., Harnett County, NC  
GREENFIELD COMMUNITIES

SCALE: \_\_\_\_\_  
DRAWN BY: JGB  
PROJECT # 18081  
DATE: 03/03/20  
SHEET



**SITE DATA**

TOTAL SITE AREA:	4.03 AC
PIN:	TO BE DETERMINED
PROPOSED USE:	RESIDENTIAL AMENITY (COMMERCIAL)
LAND USE CLASSIFICATION:	MEDIUM DENSITY RESIDENTIAL
CLUBHOUSE:	4775 SF
POST OFFICE:	1107 SF
BUILDING SETBACK:	50'
PARKING SETBACK:	10'
PARKING:	1 PER 200 SF 5882/200= 29.4 SPACES REQUIRED 75 SPACES PROVIDED
STREET TREE:	PROVIDED PER DEVELOPMENT PLAN
PERIMETER BUFFER:	PARKING LOT SCREENING PROVIDED
DISTURBANCE AREA:	140,000 SF (3.21 AC)
PROPOSED IMPERVIOUS:	CLUBHOUSE AND POST OFFICE 6018 SF POOL DECK 8759 SF SIDEWALKS AND MISC 5736 SF VEHICULAR SURFACE AREA 31915 SF TOTAL 52,488 SF (1.2 AC)

- SITE PLAN NOTES:**
- CALL BEFORE YOU DIG. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW.
  - EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL) 1-800-632-4949 OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
  - CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
  - CONTRACTOR SHALL PUT INTO PLACE SUCH TEMPORARY EROSION CONTROL MEASURES AS INDICATED ON THE PLANS AND AS PER THE SERENITY DEVELOPMENT PLAN. THESE MEASURES SHALL BE INSPECTED AND EVALUATED DURING CONSTRUCTION OPERATION FOR THEIR EFFECTIVENESS IN PREVENTING EROSION MATERIAL AND SEDIMENT FROM DISCHARGING FROM THE WORK AREA. AS DIRECTED BY THE TOWN/COUNTY INSPECTOR, ADDITIONAL TEMPORARY EROSION CONTROL MEASURES MAY BE REQUIRED.
  - UNLESS EXPLICITLY SPECIFIED IN THESE PLANS, ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF HARNETT COUNTY UNIFIED DEVELOPMENT ORDINANCE, STANDARD DETAILS AND SPECIFICATION, AND ALL OTHER APPLICABLE REGULATIONS AND GUIDELINES. IN THE EVENT OF A DISCREPANCY BETWEEN THIS APPROVED PLAN AND THE APPLICABLE REGULATIONS OR GUIDELINES, THE MORE STRINGENT SHALL APPLY.
  - CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY, AND THE ADJOINING PROPERTY PROTECTED FROM DAMAGE.
  - CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AT LEAST ONCE A WEEK DURING CONSTRUCTION. DEBRIS SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER. CONTRACTOR IS RESPONSIBLE FOR ANY FEES.
  - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
  - IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE OWNER/DESIGN ENGINEER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE OWNER.
  - CONTRACTOR SHALL MAINTAIN AN "AS-BUILT REDLINE" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING AND PIPE INVERT ELEVATIONS PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER/DESIGN ENGINEER PRIOR TO COMPLETION OF THE PROJECT.
  - ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY. NO SIGHT OBSTRUCTING, OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, SIGN, PARKED VEHICLE, OR OTHER OBJECT BETWEEN THE HEIGHTS OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION (OR THE EDGE OF PAVEMENT IF NO CURB EXISTS) SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
  - THIS SITE IS NOT IN A SPECIAL FLOOD HAZARD AREA.
  - REFER TO THE PHASE ONE SERENITY DEVELOPMENT PLAN FOR STREET PROFILES, CURB AND GUTTER, CURB RAMP, ASPHALT PAVING, AND CONCRETE SIDEWALK DETAILS.
  - REFER TO THE PHASE ONE SERENITY DEVELOPMENT PLANS FOR STANDARD DETAILS AND SPECIFICATIONS.
  - THE SITE SHALL BE MAINTAINED BY THE SERENITY HOA.
  - HOA SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER SYSTEM THAT IS OUTSIDE THE STREET RIGHT OF WAY.
  - LAND USE CLASSIFICATION = COMPACT MIXED USE
  - PINEY GROVE RAWLS RD. IS ON THE HARNETT COUNTY COMPREHENSIVE TRANSPORTATION PLAN.
  - THIS DEVELOPMENT IS WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT.
  - HOA SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PARKING AREAS, DRIVE AISLES, AND ALL LANDSCAPE BUFFERING.
  - PERMANENT SIGN SHOULD BE SETBACK AT LEAST 10' FROM NCDOT RIGHT-OF-WAY, AND WILL REQUIRE AN ADDITIONAL PERMIT & REVIEW.

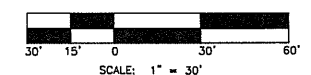
**SITE PLAN NARRATIVE:**

THE AMENITY SITE WILL CONSIST OF A CLUBHOUSE AND POOL, POST OFFICE FUNCTIONING AS THE CENTRAL MAIL KIOSK, AND MULTI-USE GREEN SPACE TO INCLUDE A PLAYGROUND, WINDMILL FEATURE, PICNIC AREA, MULTI-PURPOSE FIELD, YOGA AND HAMMOCK PARK. THE ARCHITECTURAL FACADE AND SITE ELEMENTS SHOW CASE THE HOMESTEAD FEEL WITH USE OF NATURAL WOOD FINISHES, DECORATIVE LIGHTING, SPLIT RAIL FENCING, AND STONE MATERIALS.

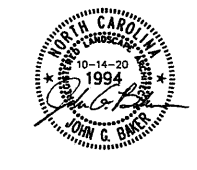
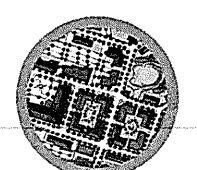
SEE SERENITY DEVELOPMENT PLAN STORMWATER REPORT FOR COMPLIANCE OF SITE STORMWATER MITIGATION MEASURES.

**LEGEND**

--- (dashed line)	contour interval per development plan
--- (long dashed line)	proposed contour interval
--- (dotted line)	sanitary sewer
--- (solid line)	water line
--- (dashed line with circles)	decorative board fence
--- (dashed line with squares)	decorative split rail fence
--- (thick solid line)	Right of way
--- (thin solid line)	utility easement



**1 SITE PLAN**  
SCALE: 1" = 30'



D. CLUGSTON  
BUILDING AND DEVELOPMENT CO.

Timmons Group

**REVISIONS:**

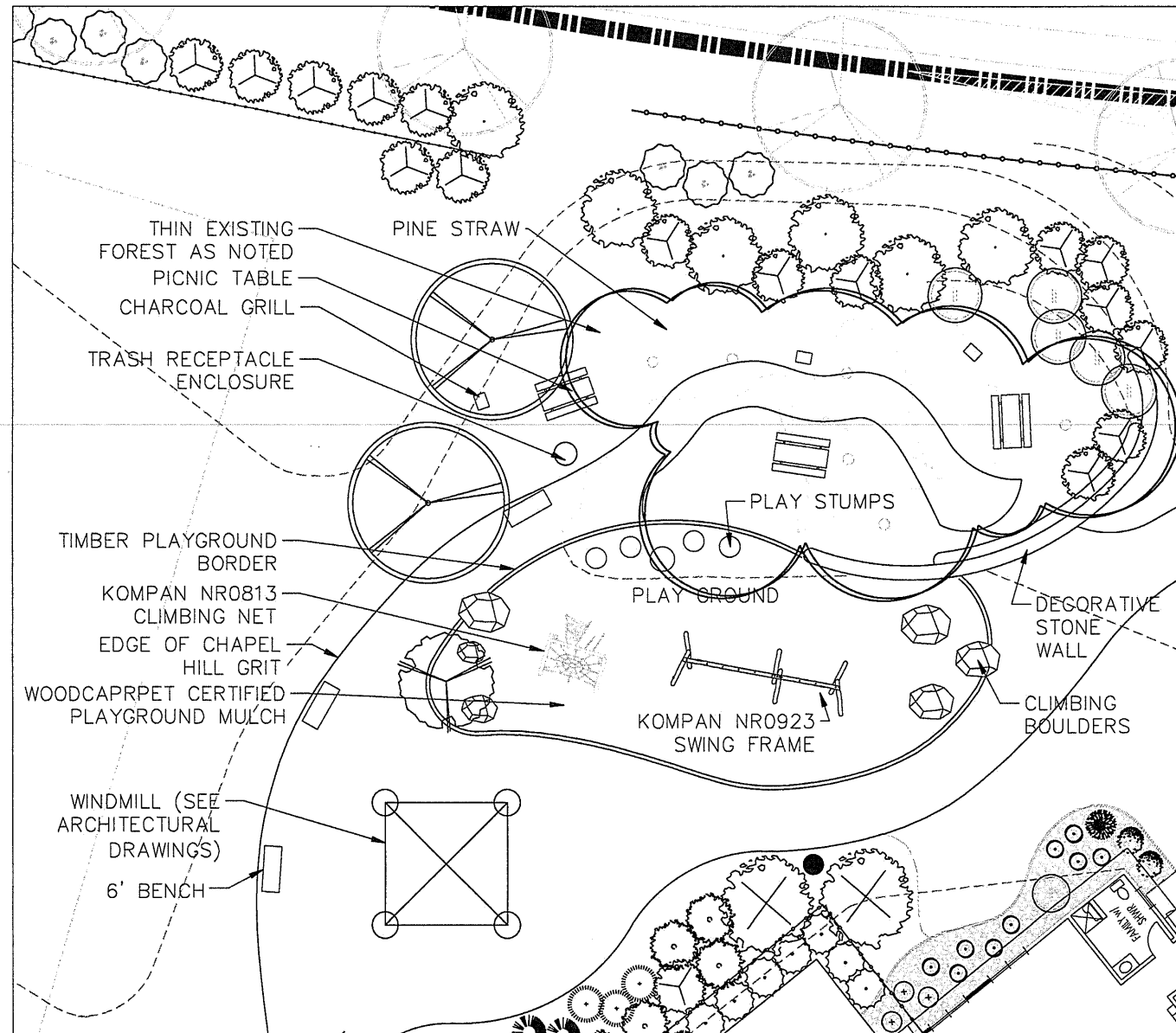
10-14-20	comments revision

**SITE PLAN**  
**SERENITY AMENITY**  
Piney Grove Rawls Rd. Harnett County, NC  
GREENFIELD COMMUNITIES

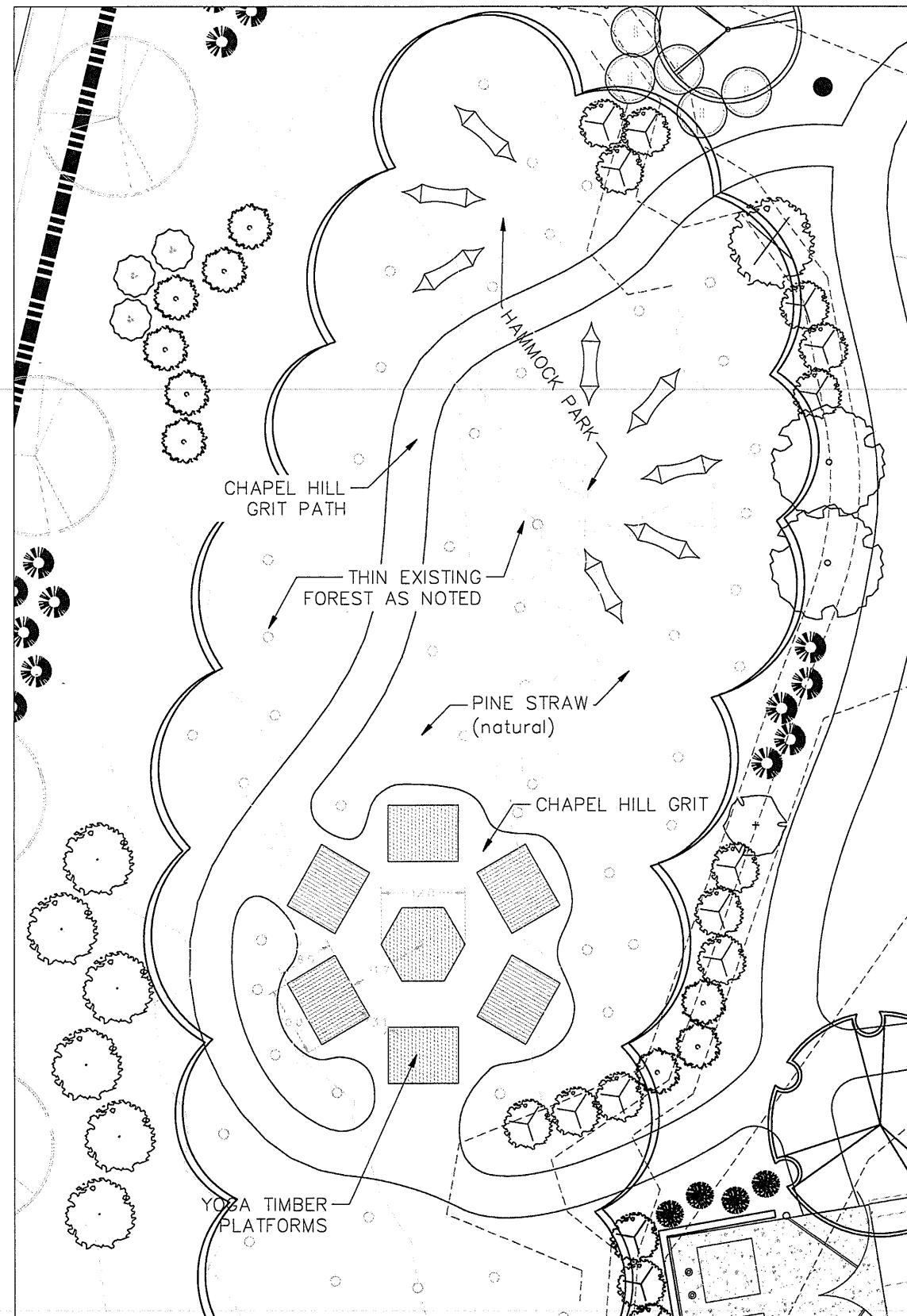
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OF **C-2.0**

**TMTLA ASSOCIATES**  
5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713  
P: (919) 484-8880 E: info@tmtla.com



**1 ENLARGEMENT**  
SCALE: 1" = 10'

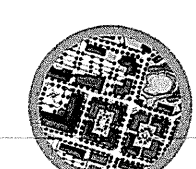
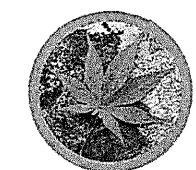
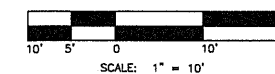
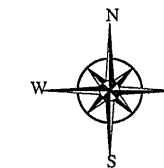


**2 ENLARGEMENT**  
SCALE: 1" = 10'

- GENERAL NOTES:
1. PLAY EQUIPMENT TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
  2. PLAYGROUND AREA TO BE COVERED WITH WOODCAPRET CERTIFIED PLAY GROUND MULCH.
  3. SEE DETAILS SEE FOR FURNISHINGS AND SPECIFICATIONS.
  4. SEE LANDSCAPE SHEET FOR FOREST THINNING REQUIREMENTS.
  5. PLAYGROUND EQUIPMENT SUBJECT TO CHANGE.



Know what's below.  
Call before you dig.



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P: (919) 484-8880 E: info@tmtla.com

D. CLUGSTON  
BUILDING AND DEVELOPMENT CO.

**Timmons Group**

REVISIONS:

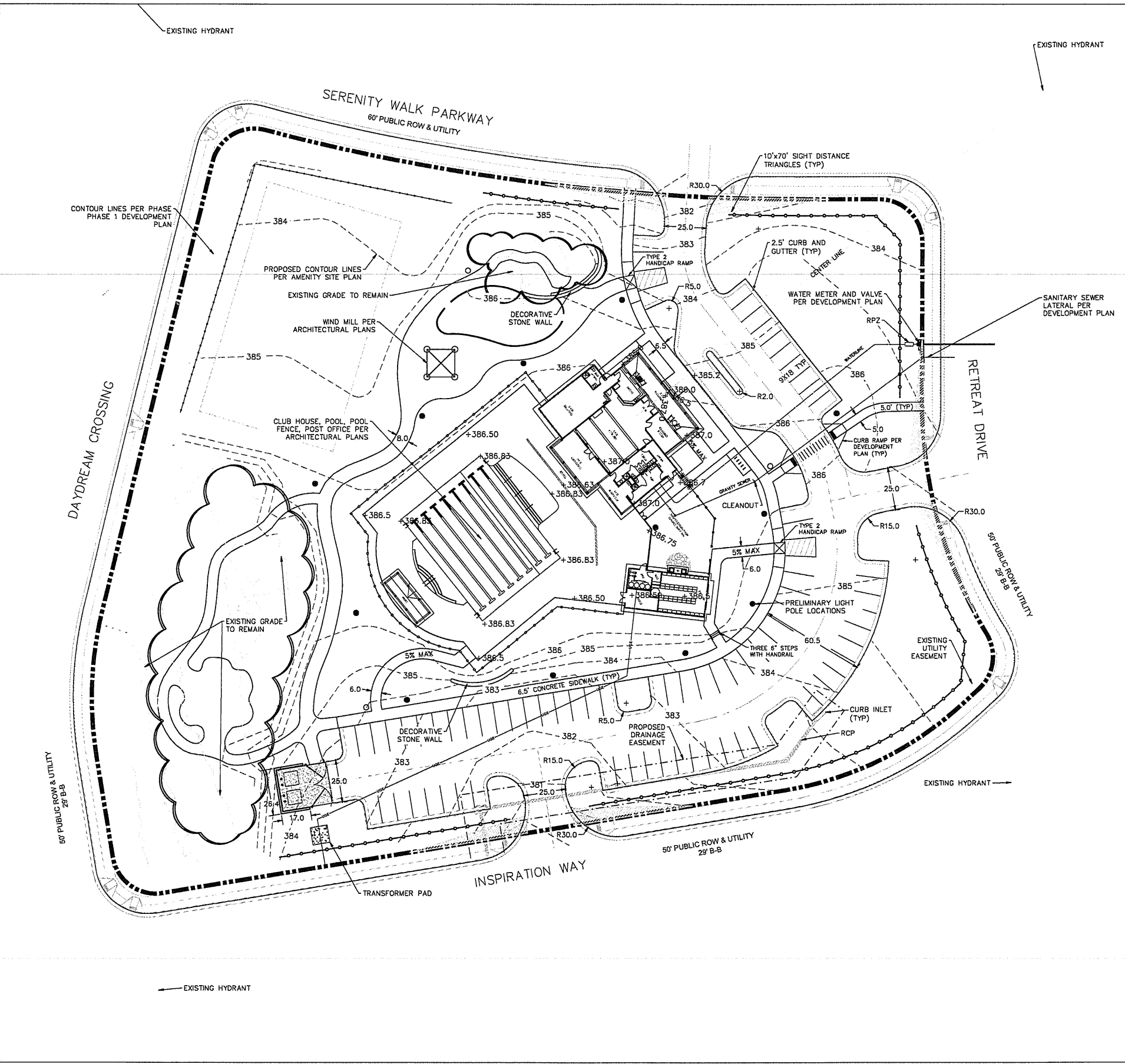
10-14-20	comments revision

**PARKS ENLARGEMENT**  
**SERENITY CLUBHOUSE**  
Piney Grove Rawls Rd. Harnett County, NC  
GREENFIELD COMMUNITIES

SCALE: \_\_\_\_\_  
DRAWN BY: JGB  
PROJECT # 18081  
DATE: 03/03/20  
SHEET

OF **C-2.1**

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**1 GRADING, DIMENSIONS AND UTILITY PLAN**  
SCALE: 1" = 30'

- GRADING NOTES:**
1. REFER TO THE PHASE ONE SERENITY DEVELOPMENT PLAN FOR STREET PROFILES, CURB AND GUTTER, CURB RAMP, ASPHALT PAVING, AND STANDARD CONCRETE SIDEWALK DETAILS.
  2. VERIFY BOUNDARY TOPOGRAPHY AND STREET ELEVATIONS MATCH AS SHOWN. IF A DISCREPANCY EXISTS CONTACT THE OWNER AND PROJECT ENGINEER.
  3. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING GRADING AND/OR DRAINAGE IMPROVEMENTS.
  4. CONTRACTOR SHALL BE RESPONSIBLE FOR ATTAINING ENGINEERING CERTIFICATIONS FOR CONSTRUCTION ITEMS THAT REQUIRE SPECIAL INSPECTION OR TESTING NECESSARY TO ASSURE COMPLIANCE.
  5. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO ESTABLISHED GRADES.
  6. ALL FILL TO BE COMPACTED TO 95% DRY DENSITY (STANDARD PROCTOR) UNDER PAVEMENT AND BUILDING PAD.
  7. THE PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS. REFER TO DETAILS TO ESTABLISH CORRECT SUB-BASE OR AGGREGATE BASE COURSE ELEVATIONS.
  8. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL FLOW BY GRAVITY AWAY FROM BUILDING(S) AND ACROSS NEW PAVEMENT AND/OR LANDSCAPE AREAS.
  9. FINISHED LAWN SHALL BE FLUSH WITH THE SIDEWALK AND BACK OF CURB.
  10. THIS SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.
  11. ALL ROOF DRAINS SHALL BE DIRECTED TO STORM DRAIN SYSTEM.
  12. SEE LANDSCAPE SHEET FOR TOP SOIL REQUIREMENTS.
  13. DECORATIVE STONE WALLS SHALL NOT EXCEED 2' IN HEIGHT.

- UTILITY NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH HARNETT COUNTY STANDARDS AND SPECIFICATIONS.
  2. AS PER THE PHASE ONE DEVELOPMENT PLAN, MINIMUM UTILITY HORIZONTAL SEPARATION DISTANCES:  
WATER AND SANITARY SEWER MAINS - 10 FT.  
WATER AND STORM SEWER MAINS - 5 FT.  
SANITARY SEWER AND STORM SEWER MAINS - 5 FT.  
GRAVITY SANITARY SEWER AND FORCE MAINS - 5 FT.
  3. AS PER THE DEVELOPMENT PLAN, MINIMUM UTILITY VERTICAL SEPARATION DISTANCES:  
WATER AND SANITARY SEWER MAINS - 24 IN.  
WATER AND STORM SEWER MAINS - 24 IN.  
SANITARY SEWER AND STORM SEWER MAINS - 24 IN.
  4. HARNETT REGIONAL WATER (HRW) WILL NOT BE RESPONSIBLE FOR REPAIRS TO LANDSCAPING OR SIDEWALK IMPROVEMENTS AS A RESULT OF MAINTENANCE TO THE WATER OR WASTEWATER FACILITIES. THE REPAIR OF THE SIDEWALKS AND LANDSCAPING IN THE EVENT OF MAINTENANCE OF THE WATER OR SEWER UTILITIES WILL BE THE RESPONSIBILITY OF THE DEVELOPER/HOA.

- DIMENSION NOTES:**
1. VEHICULAR AREA DIMENSIONS ARE MEASURED FROM THE BACK OF CURB.
  2. DIMENSIONAL STANDARDS FOR SITE FEATURES SHALL MATCH THOSE AS APPROVED FOR THE PHASE ONE SERENITY DEVELOPMENT PLAN.

- SANITARY SEWER NOTES:**
1. INVERT ELEVATIONS, PROFILES, AND PIPE SIZE TO BE PROVIDED WITH CONSTRUCTION DOCUMENTS.

- STORM SEWER NOTES:**
1. INVERT ELEVATIONS, PROFILES, AND PIPE SIZE TO BE PROVIDED WITH CONSTRUCTION DOCUMENTS.

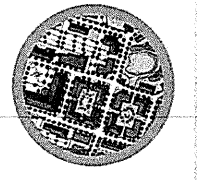
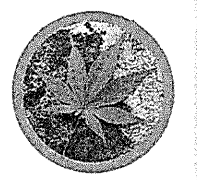
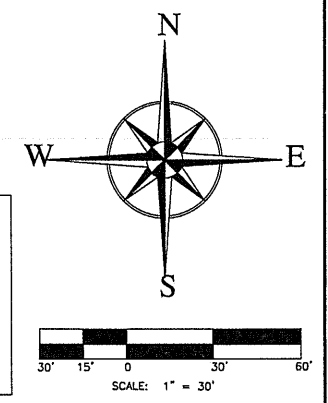
- POTABLE WATER**
1. RP2 TYPE AND WATERLINE SIZE TO BE PROVIDED WITH CONSTRUCTION DOCUMENTS.

- NATURAL GAS LINE:**
1. NATURAL GAS SUPPLY LINE TO BE PROVIDED WITH CONSTRUCTION DOCUMENTS.



**LEGEND**

--- (dashed line)	contour interval per development plan
- - - - (long dashed line)	proposed contour interval
— (solid line)	sanitary sewer
— (solid line)	water line
— (solid line)	decorative board fence
— (solid line)	decorative split rail fence
— (thick solid line)	Right of way
— (dotted line)	utility easement



D. CLUGSTON  
BUILDING AND DEVELOPMENT CO.

**Timmons Group**

**REVISIONS:**

10-14-20	comments revision

UTILITY, GRADING AND DIMENSIONS  
**SERENITY CLUBHOUSE**  
Piney Grove Rawls Rd. Harnett County, NC  
GREENFIELD COMMUNITIES

SCALE: \_\_\_\_\_  
DRAWN BY:  
JGB  
PROJECT #  
18081  
DATE:  
02/03/20  
SHEET

OF **C-3.0**

**TMTIA ASSOCIATES**  
5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713  
P: (919) 484-8880 e: info@tmtia.com

LANDSCAPE REQUIREMENTS:

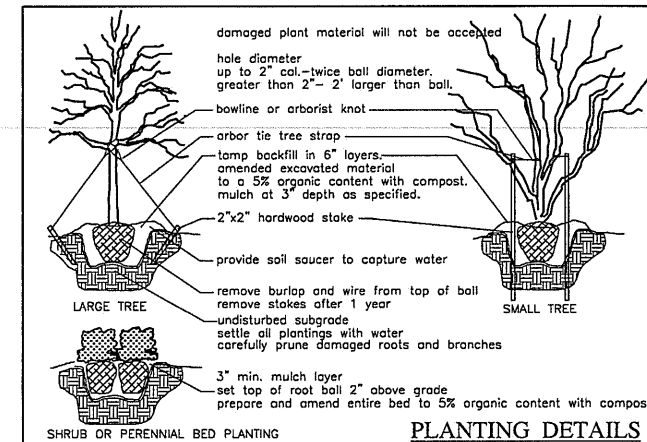
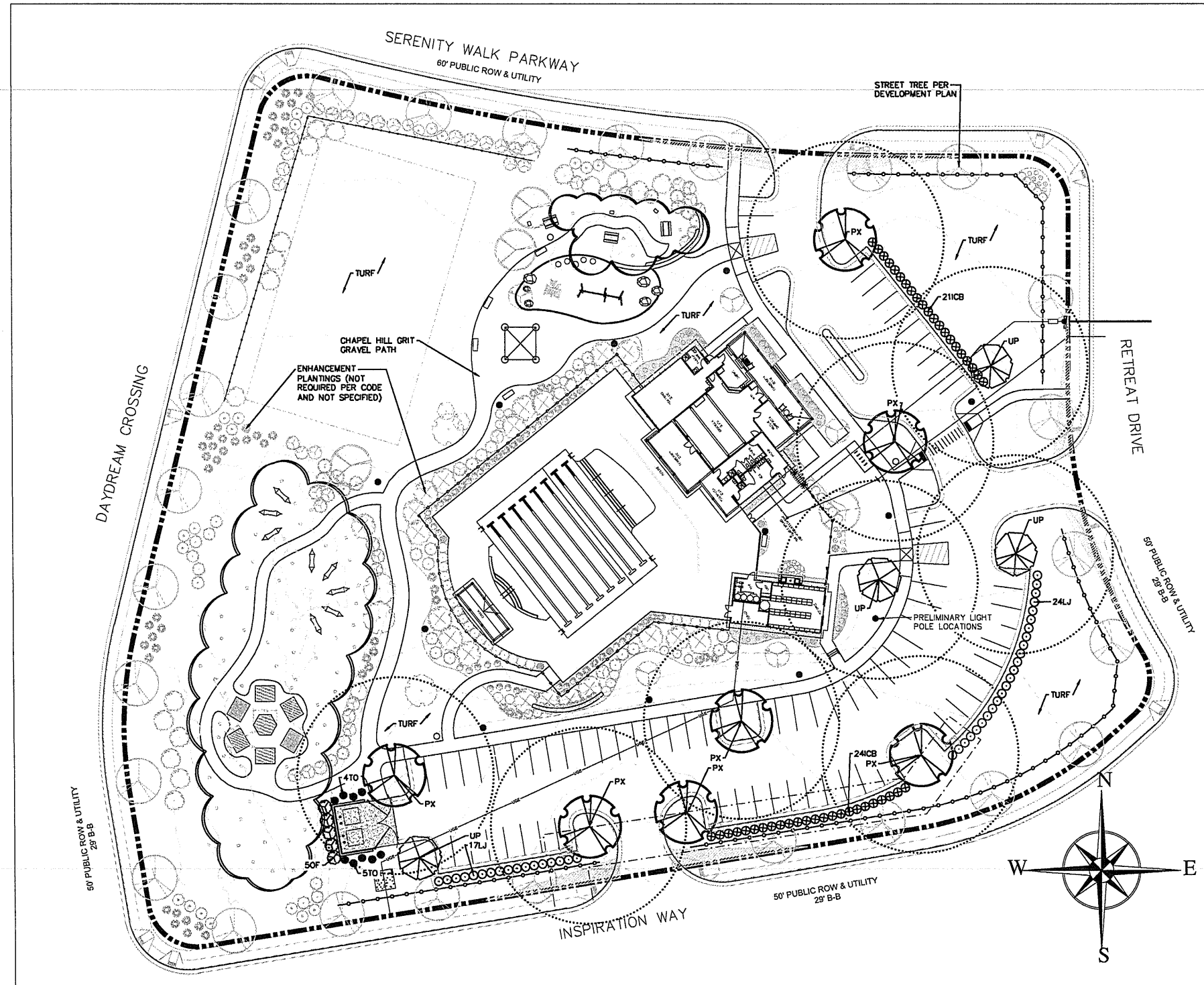
1. PROVIDED - CANOPY TREE WITHIN 50' OF PARKING SPACES.
2. PROVIDED - PERIMETER SHRUB SCREENING FOR PARKING SPACES VIEWED FROM RIGHT OF WAY.
3. PROVIDED - EVERGREEN SCREENING FOR TRASH CONTAINMENT.
4. PROVIDED - STREET TREES AS PROVIDED PER DEVELOPMENT PLAN.

PLANT LIST - FOR CODE COMPLIANT PLANTINGS					
PX	Platanus x acerifolia 'Exclamation'	Exclamation London Plane Tree	2.5" cal	B&B	7
UP	Ulmus parvifolia 'Aile'	Aile Elm	2.5" cal	B&B	4
ICB	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	18" HT.	Cont.	45
LJ	Ligustrum japonicum 'Rotundifolium'	Curly Leaf Ligustrum	18" HT.	Cont.	41
TO	Thuja occidentalis 'Emerald Green'	Arborvitae	48" HT.	B&B	9
OF	Osmanthus fragrans	Tea olive	36" HT.	Cont.	5

NOTE: ONLY REQUIRED LANDSCAPING IS SPECIFIED



Know what's below.  
Call before you dig.



GENERAL PLANTING NOTES

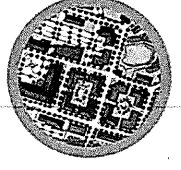
1. VERIFICATION OF TOTAL QUANTITIES AS SHOWN SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR.
2. ALL TREES, SHRUBS, AND BEDDING PLANTS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
4. SET TOP OF TREE ROOT BALL 3" ABOVE GRADE, SHRUBS 2" ABOVE GRADE.
5. PLANT MATERIAL SHALL CARRY A ONE YEAR WARRANTY AND REPLACEMENT GUARANTEE.
6. AMEND PLANTING SOIL WITH FERTILIZE AND/OR LIME PER SOIL TEST REPORT AT THE RECOMMENDED MANUFACTURERS APPLICATION RATE.
7. THOROUGHLY MIX AGED COMPOST WITH PLANTING SOIL TO ACHIEVE A 5%-10% ORGANIC CONTENT BY VOLUME.
8. GUYING AND STAKING, IF NECESSARY, SHALL BE REMOVED AFTER ONE GROWING SEASON.
9. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
10. ALL TURF AREAS NOT OTHERWISE SPECIFIED SHALL BE PERMANENTLY SEEDED WITH REBEL IV OR APPROVED EQUAL TALL TURF FESCUE AND ESTABLISHED PER SEDIMENT AND EROSION CONTROL REQUIREMENTS.
11. ALL PLANT BEDS AND PLANT MATERIAL SHALL BE MAINTAINED IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH LOCALLY ADAPTED VEGETATION WHICH CONFORMS TO THE INITIAL PLANTING STANDARDS OF THE LANDSCAPE ORDINANCE.
12. REPORT ANY DISCREPANCIES TO THE PROJECT OWNER OR AGENT.
13. SUBSTITUTIONS OR ALTERATIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN NOTIFICATION BY THE OWNER OR AGENT.
14. APPLY MULCH TO ALL PLANTING AREAS AS SPECIFIED.
15. ADD COMPOST TO PLANTING SOIL TO ACHIEVE 5% ORGANIC CONTENT.
16. ALL BEDS ARE TO HAVE A SPADE CUT MULCH EDGE WHEN ADJACENT TO TURF.

LANDSCAPE NOTES

1. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE HARNETT COUNTY DEVELOPMENT CODE AND THE LATEST EDITION OF NURSERY STANDARDS BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA).
2. CALL UTILITY LOCATOR SERVICE PRIOR TO ANY DISTURBANCE ON THIS SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMATION OF PUBLIC AND PRIVATE UTILITIES WITHIN THE AREA OF WORK.
3. DO NOT CHANGE THE DESIGN WITHOUT APPROVAL FROM THE OWNER AND/OR CODE COMPLIANCE AUTHORITY.
4. ALL TURF AREAS OR AREAS NOT OTHERWISE SPECIFIED SHALL BE PERMANENTLY SEEDED WITH REBEL IV OR APPROVED EQUAL TALL TURF FESCUE AND ESTABLISHED PER SEDIMENT AND EROSION CONTROL REQUIREMENTS.
5. HARD FESCUE/WILDFLOWER MIX SHALL BE SEEDED IN DISTURBED AREA NOT INTENDED TO BE MAINTAINED AS MOWED TURF OR MULCHED LANDSCAPE BEDS.
6. PLANTING SOILS SHALL BE FINE GRADED CONSISTING OF NATIVE TOPSOIL TO A DEPTH OF EIGHT INCHES AND FERTILIZED/LIMED PER CERTIFIED TEST SOIL REPORT.
7. SEEDED OR TURF AREAS SHALL BE FINE GRADED CONSISTING OF NATIVE TOPSOIL TO A MINIMUM DEPTH OF 4" AND FERTILIZED/LIMED PER CERTIFIED TEST SOIL REPORT.
8. PLANTING AND TURF SOILS SHALL NOT EXHIBIT DEBRIS GREATER THAN ONE INCH.
9. LANDSCAPE CONTRACTOR SHALL VERIFY PLANT QUANTITIES. IF DISCREPANCY EXISTS, USE HIGHER QUANTITY SHOWN.
10. ALL NEWLY INSTALLED TREES AND SHRUBS SHALL BE GUARANTEED FOR ONE YEAR AND REPLACED AT THE OWNERS REQUEST IF THE PLANT IS STRESSED, DAMAGED, DISEASED OR DEAD.
11. SEE DETAIL FOR STONE MULCH.
12. BARK MULCH TO BE TRIPLE SHREDDED FINELY TEXTURED HARDWOOD MULCH.
13. SEE PLAN ENLARGEMENT FOR PLAYGROUND MULCH, YOGA AND HAMMOCK PARK.
14. TURF JOINT FLAGSTONE PATIO TO BE SET IN SAND BED WITH 1"-4" JOINTS BACKFILLED WITH PREMIUM TOPSOIL, SEED/SOD AS REQUIRED WITH FINISHED GRADE MATCHING ADJACENT TURF.
15. SERENITY HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND UP KEEP OF THE LANDSCAPE.

FOREST THINNING REQUIREMENTS:

1. EXISTING TREES ARE TO BE THIN TO A TREE SPACING OF APPROXIMATELY 10 TO 20 FEET.
2. SELECT TREES TO REMAIN THAT ARE HEALTHY AND EXHIBIT NO DAMAGE.
3. TREE TO BE REMOVED SHALL BE MECHANICALLY CUT FLUSH WITH THE EXISTING GRADE.
4. TREE STUMPS LOCATED WITHIN CHAPEL HILL PATH AREAS SHALL BE GROUND TO 3 INCHES BELOW GRADE.
5. REMOVE ALL UNWANTED SHRUB AND UNDERSTORY VEGETATION.
6. PRESERVE THE NATIVE LEAF LITTER WHERE POSSIBLE.
7. ALL AREAS OF EXPOSED SOIL NOT OTHERWISE COVERED WITH LEAF LITTER OR CHAPEL HILL GRIT SHALL BE COVER WITH PINE STRAW.
8. TREES SELECTED TO REMAINED SHALL BE LIMBED UP (PRUNED AT THE TRUNK) TO HEIGHT OF 8' WHERE APPLICABLE.



D. CLUGSTON  
BUILDING AND DEVELOPMENT CO.

Timmons Group

REVISIONS:  
10-14-20 comments revision

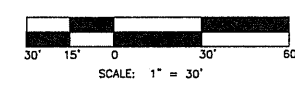
LANDSCAPE PLAN  
SERENITY CLUBHOUSE  
Piney Grove Rowls Rd, Harnett County, NC  
GREENFIELD COMMUNITIES

SCALE:  
DRAWN BY:  
JGB  
PROJECT #  
18081  
DATE:  
03/03/20  
SHEET

OF L-1.0

TMLIA ASSOCIATES  
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p: (919) 484-8880 e: info@tmlia.com

1 LANDSCAPE PLAN  
SCALE: 1" = 30'

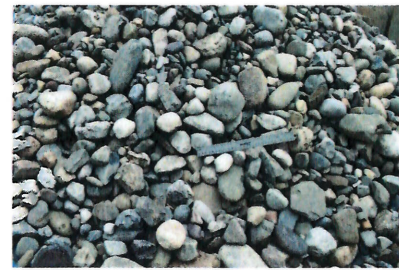


- DETAIL NOTES:
- REFER TO THE PHASE ONE SERENITY DEVELOPMENT PLAN FOR STREET PROFILES, CURB AND GUTTER, CURB RAMP, ASPHALT PAVING, AND STANDARD CONCRETE SIDEWALK DETAILS.
  - STANDARD DETAILS SHALL BE CONSISTENT THROUGHOUT THE COMMUNITY AND WHERE APPLICABLE, SITE DETAILS ARE TO MATCH THE PHASE ONE SERENITY DEVELOPMENT PLAN DETAILS.



- NOTES
- TYPE: COUNTRY CASUALS, WINDERMERE 6FT, #4503
  - PERMANENTLY ANCHOR PER MANUFACTURER

**BENCH**



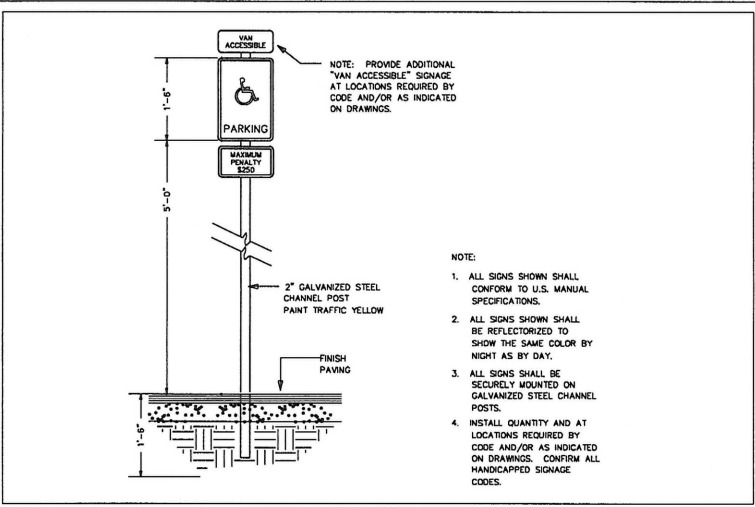
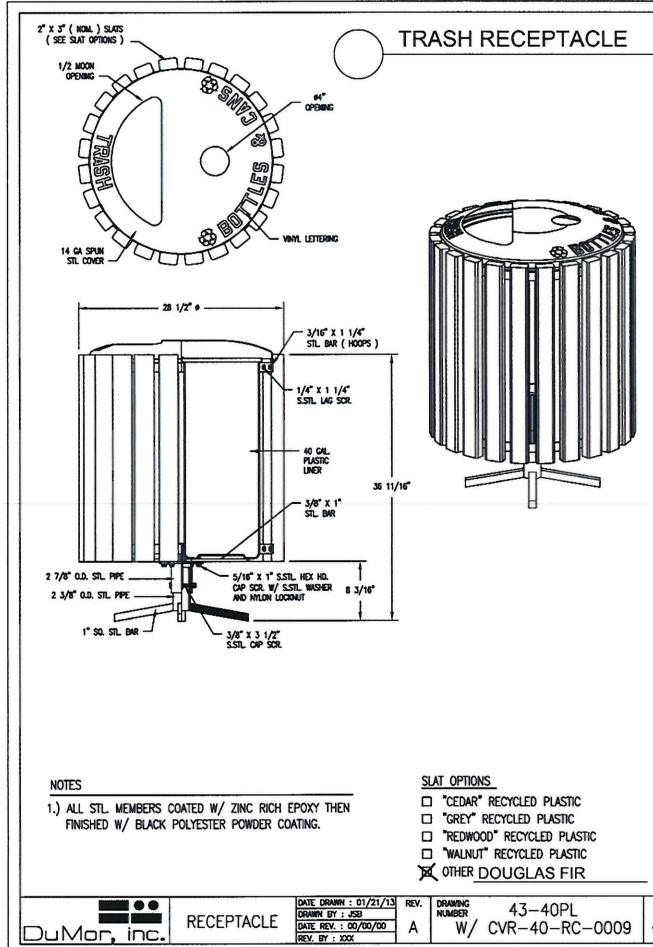
- NOTES
- STONE MULCH TO BE BORDERED WITH PERMALOC 5" CLEAN LINE XL DURAFLEX BR PER MANUFACTURER SPECIFICATIONS.
  - TYPE/SIZE: DELAWARE RIVER STONE 1-3" TO BE PLACED AT A MINIMUM 3" DEPTH.
  - SEE METAL EDGING DETAIL.
  - REMOVE ANY FOREIGN DEBRIS.
  - TOP OF MULCH SHALL BE FINISHED 1" BELOW ADJACENT CONCRETE WALKWAY.
  - STONE TO BE PLACED OVER A HEAVY DUTY WOVEN WEED BARRIER LANDSCAPE FABRIC.

**STONE MULCH**



- NOTES
- STONE PATH TO BE BORDERED WITH PERMALOC 5" CLEAN LINE XL DURAFLEX BR PER MANUFACTURER SPECIFICATIONS.
  - TYPE: CHAPEL HILL GRIT DECOMPOSED STONE.
  - STONE PATH TO BE FINE GRADED TO A MIN 4 INCH FINISHED DEPTH.
  - PATH TO BE HAND RAKED AND ANY STONES OVER 1" ARE TO BE REMOVED.
  - PATH TO BE COMPACTED WITH VIBRATORY PLAT COMPACTOR.
  - FINAL LIFT OF STONE TO BE PLACED A TIME OF PERMANENT SEEDING/SOD IN ORDER TO MAINTAIN ACCURATE PLACEMENT OF EDGE.
  - SEE METAL EDGE DETAIL.

**CHAPEL HILL GRIT PATH**

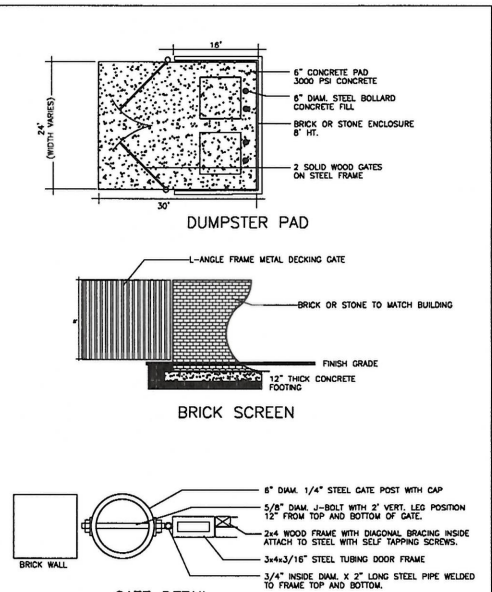


**Tony M. Tate Landscape Architecture, PA**

**HANDICAP SIGN**

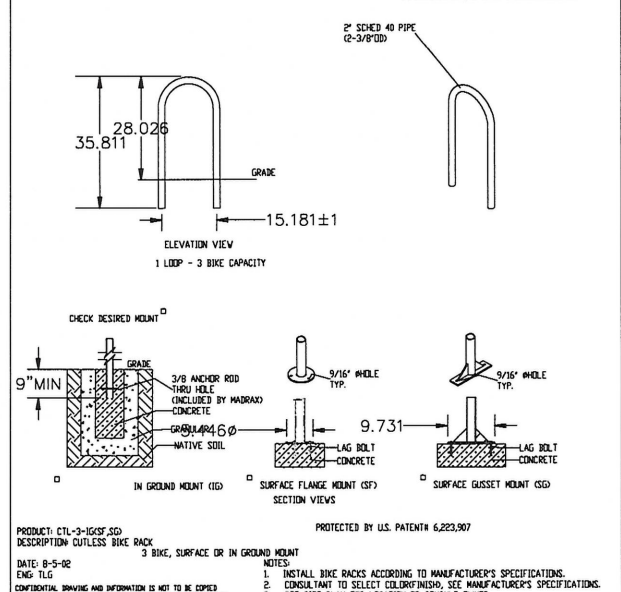
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REVISIONS	DATE	REVISION



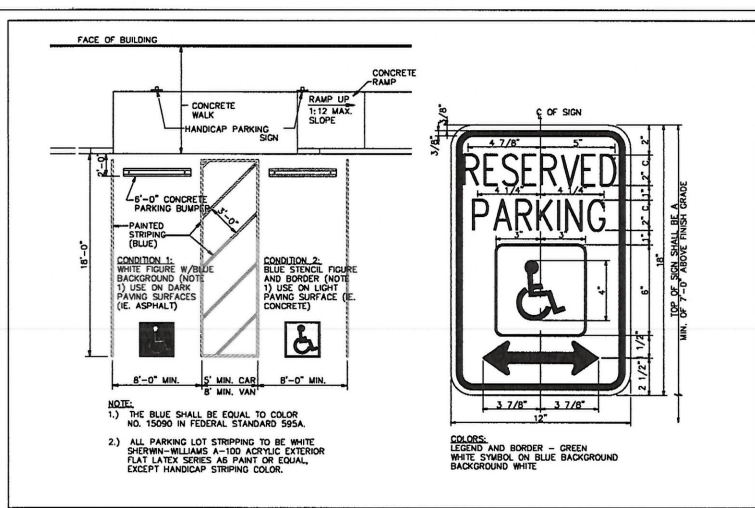
**Tony M. Tate Landscape Architecture, PA**

**DUMPSTER PAD & SCREEN DETAILS - NTS**



**Tony M. Tate Landscape Architecture, PA**

**BIKE RACK**

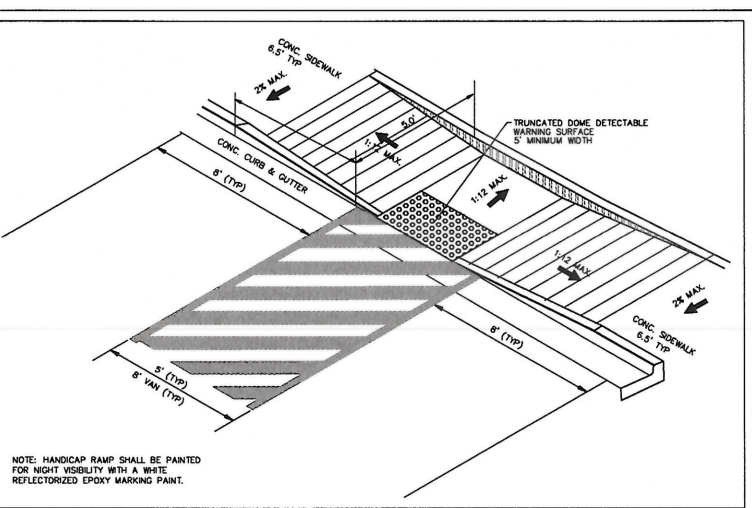


**Tony M. Tate Landscape Architecture, PA**

**HANDICAP PARKING SIGN (R 7-8) AND PARKING DETAIL**

SCALE: NOT TO SCALE

REVISIONS	DATE	REVISION

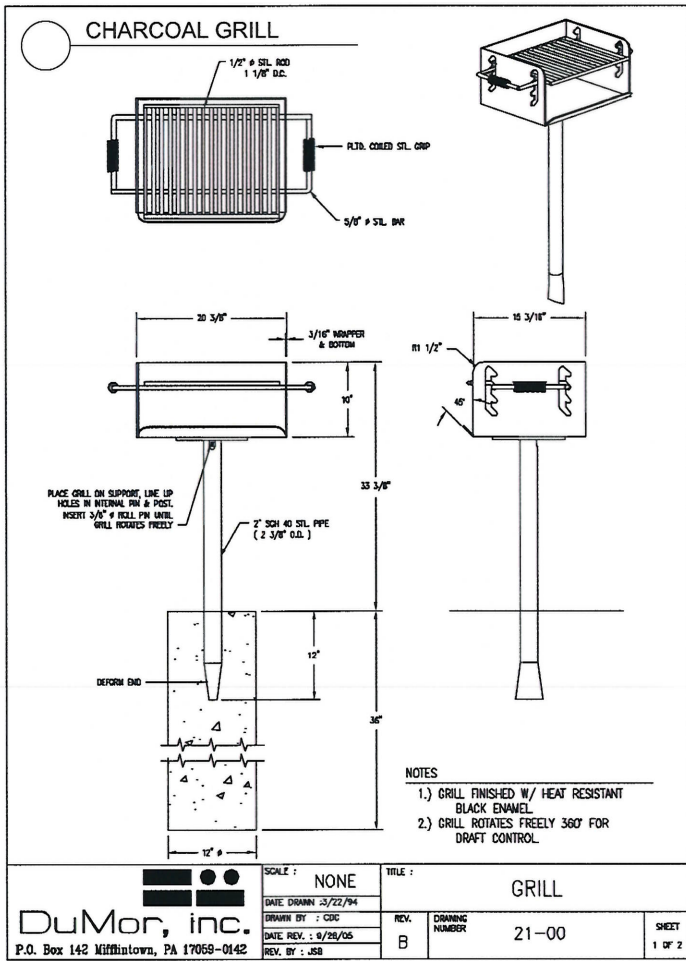


**Tony M. Tate Landscape Architecture, PA**

**TYPE 2 HANDICAP RAMP DETAIL**

SCALE: NOT TO SCALE

REVISIONS	DATE	REVISION



**Tony M. Tate Landscape Architecture, PA**

**GRILL**

SCALE: NONE

DATE DRAWN: 3/22/04

DRAWN BY: JGB

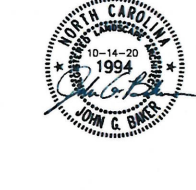
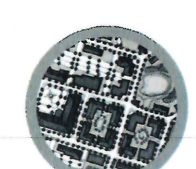
DATE REV: 8/28/05

REV. BY: JGB

REV. B

DRAWING NUMBER: 21-00

SHEET 1 OF 2



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3011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713  
P: (919) 484-8880 E: info@tmtla.com

Timmons Group

REVISIONS:

10-14-20 comments revision

AMENITY DETAILS  
SERENITY SUBDIVISION  
Piney Grove Rawls Rd, Harnett County, NC  
GREENFIELD COMMUNITIES

SCALE:

DRAWN BY: JGB  
PROJECT # 18081  
DATE: 02/03/20

SHEET OF D-1.0



**NRO813**  
**Climbing net**



Elevated Activities:	Accessible Elevated Activities:	Accessible Ground Level Activities:	Accessible Ground Level Play Types:
Present	0	1	1
Required	0	1	1

**Product Line** Organic Robinia  
**Category** Traditional play, Sand and water play  
**Age from** 5 - 12  
**Max. fall height (CM)** 234  
**Total height (CM)** 260  
**Safety Zone** 29.4 m2



NOTE:  
1. TO BE LOCATED AND CONSTRUCTED PER MANUFACTURER SPECIFICATIONS.

KOMPAN INC. 605 W Howard Lane, Suite 101  
Austin, TX 78753 Phone: 1 (800) 426-9788  
USSales@koman.com | www.koman.us

KOMPAN FSC License No. FSC-C004450  
/ www.fsc.org  
The mark of responsible forestry

**NRO923**  
**Swing Frame for 3 Seats H2,5**



Swing Frame for 3 Seats H2,5

**Product Line** Organic Robinia  
**Category** Traditional play, Sand and water play  
**Age from** 2 - 12  
**Total height (CM)** 290



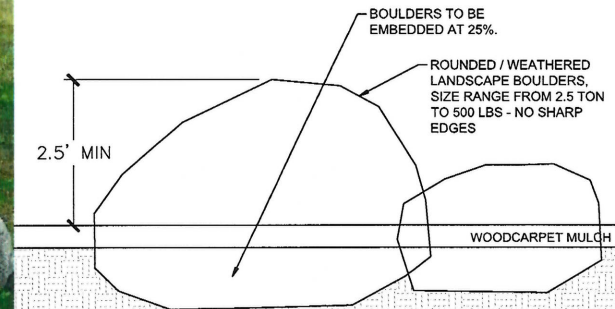
NOTE:  
1. TO BE LOCATED AND CONSTRUCTED PER MANUFACTURER SPECIFICATIONS.  
2. ADD TWO KOMPAN SW9901 SWING SEATS AND ONE KOMPAN SW9903 TODDLER SEAT.

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Austin, TX 78753 Phone: 1 (800) 426-9788  
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**CLIMBING BOULDERS**



- NOTES:
- BOULDER TO BE NATURALLY WEATHERED WITH NO SHARP EDGES OR POINTS.
  - BOULDERS TO HAVE A ROUNDED PROFILE.
  - BOULDER ARE TO BE EMBEDDED AT 25% OF HEIGHT.
  - MIN SIZE OF 2.5 TONS FOR LARGE BOULDER, USE LARGER BOULDERS IF AVAILABLE.
  - ACCENT BOULDERS RANGE FROM 2 TONS TO 500 LBS.

MITER JOINTS TO MATCH AT CURVES.

SIMPSON STRONG-TIE - LSTA 1-1/4 IN. X 12 IN. 20-GAUGE GALVANIZED STRAP TIE, FASTEN WITH 3" #9 EXTERIOR GRADE WOOD SCREW. PLATE TO BE MOUNTED BELOW FINISHED GRADE

PT 6X6, EMBED 50% INTO FINISHED GRADE, TOP EDGE TO HAVE 3/4" CHAMFERED.

0.220" x 8" Strong-Tie SDWS Timber Screw - Double Barrier Coating, MIN 2.0' ON CENTER.



**PLAN VIEW**

PT 6X6, EMBED INTO FINISHED GRADE, TOP EDGE TO HAVE 3/4" CHAMFER. TOP OF TIMBER TO FINISH 2" ABOVE CHAPEL HILL GRIT PATH

SIMPSON STRONG-TIE - LSTA 1-1/4 IN. X 12 IN. 20-GAUGE GALVANIZED STRAP TIE, FASTEN WITH 3" #9 EXTERIOR GRADE WOOD SCREW. PLATE TO BE MOUNTED ON OUTER BOTTOM EDGE OF TIMBERS

0.220" x 8" Strong-Tie SDWS Timber Screw - Double Barrier Coating, MIN 2.0' ON CENTER.

2" COURSE SAND

HEAVY DUTY WOVEN LANDSCAPE FABRIC

4" MIN CHAPEL HILL GRIT

8" DEPTH OF WOODCARPET CERTIFIED PLAYGROUND MULCH

**SECTION VIEW**

NOTE:

- TIMBERS TO BE 6"X6" PRESSURED TREATED CERTIFIED GROUND CONTACT.
- TIMBER LENGTH TO RANGE FROM 24" TO 120" BASED ON REQUIREMENTS TO MAINTAIN A UNIFORM BORDER CURVE.
- TOP OF BORDER TO BE FLUSH, PLUM AND MATCH TO ADJACENT TIMBERS.
- TOP EDGE OF TIMBERS TO BE ROUNDED WITH A 3/4" CHAMFER.
- ALL SPLINTERS OR SHARP EDGES TO BE SANDED AND REMOVED.

**TIMBER PLAYGROUND BORDER**



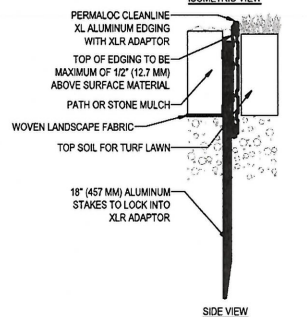
PERMALOC CORPORATION  
13505 BARRY ST  
HOLLAND, MI 49424  
TOLL FREE: 1-800-356-9660  
PHONE: (616) 399-9600  
FAX: (616) 399-9770  
www.permaloc.com

SELECT DESIRED SIZE:

- 3/16" X 5' (3.2 MM X 127 MM), 0.116" (2.95 MM) THICK WITH 0.25" (6.35 MM) EXPOSED TOP LIP
- 3/16" X 6' (3.2 MM X 152.4 MM), 0.116" (2.95 MM) THICK WITH 0.25" (6.35 MM) EXPOSED TOP LIP
- 3/16" X 8' (3.2 MM X 203 MM), 0.116" (2.95 MM) THICK WITH 0.25" (6.35 MM) EXPOSED TOP LIP
- 3/16" X 12' (3.2 MM X 305 MM), 0.116" (2.95 MM) THICK WITH 0.25" (6.35 MM) EXPOSED TOP LIP

SELECT DESIRED FINISH:

- MF - MILL FINISH-NATURAL ALUMINUM
- BL - BLACK DURAFLEX-MEETS AAMA 2603
- GR - GREEN DURAFLEX-MEETS AAMA 2603
- BR - BRONZE DURAFLEX-MEETS AAMA 2603



NOTES:

- INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES"
- 8'-0" (2.44 M) SECTIONS TO INCLUDE (3) 18" (457 MM) ALUMINUM STAKES AND (3) XLR ADAPTORS.
- 16'-0" (4.88 M) SECTIONS TO INCLUDE (5) 18" (457 MM) ALUMINUM STAKES AND (3) XLR ADAPTORS.
- CORNERS - CUT BASE EDGING UP HALFWAY AND FORM A CONTINUOUS CORNER.
- PERMALOC CLEANLINE XL AS MANUFACTURED BY PERMALOC CORPORATION.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 006-034.

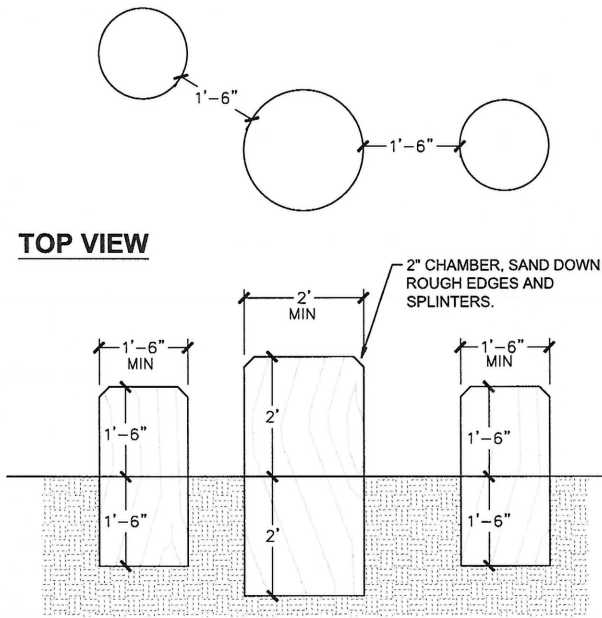
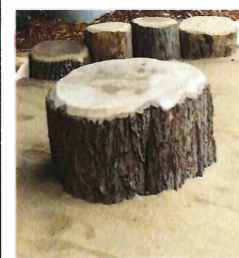
**CLEAN LINE XL COMMERCIAL GRADE LANDSCAPE EDGING**  
PLANTING BED EDGING - BED MATERIAL AND TURF

006-034

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REVISION DATE 11/25/2014

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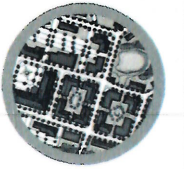


**SECTION VIEW**

NOTE:

- STUMPS ARE TO BE EMBEDDED AT 50% OF THE LOG DIAMETER.
- TOP OF STUMPS ARE TO BE LEVEL.
- ALL STUMP EDGES ARE TO BE ROUNDED WITH NO SHARP CORNERS AND SANDED ACCORDINGLY.
- WOOD TYPE: SEASONED WHITE OAK WITH BARK REMOVED. IF WOOD IS SEASONED, THE BARK SHOULD FALL OFF AND NOT REQUIRE MECHANICAL ASSISTANCE.
- MINIMUM LOG DIAMETERS SHALL BE HONORED.

**PLAY STUMPS**



**Timmons Group**

REVISIONS:

10-14-20 comments revision


AMENITY DETAILS  
**SERENITY SUBDIVISION**  
Piney Grove Rawls Rd. Hammett County, NC  
GREENFIELD COMMUNITIES

SCALE:

DRAWN BY:  
JGB

PROJECT #  
18081

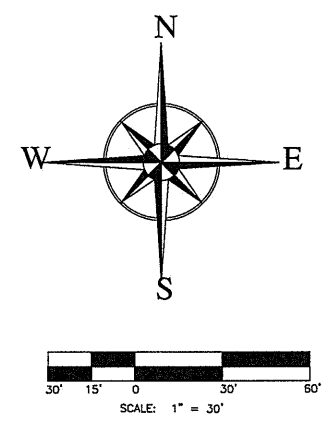
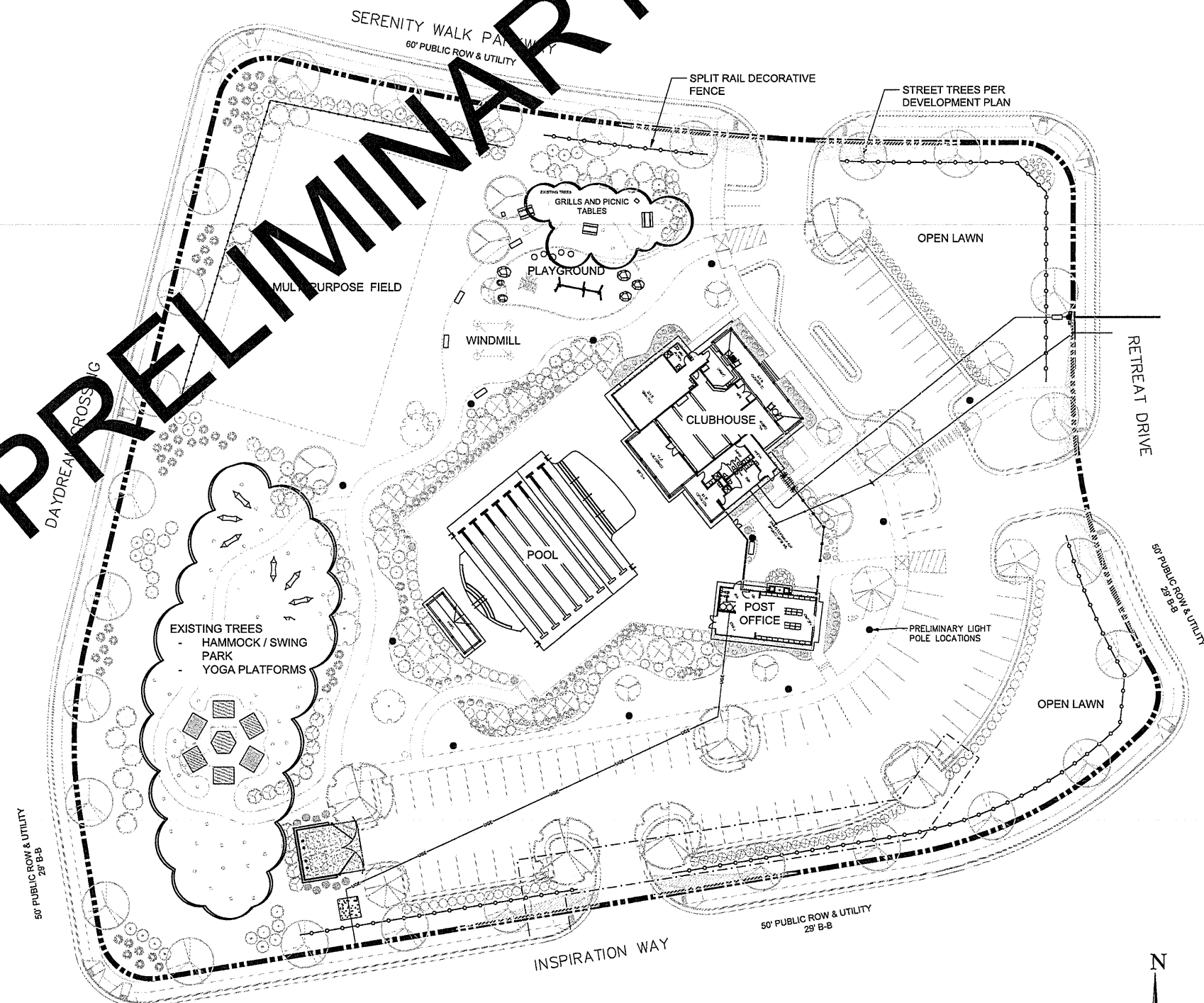
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02/03/20

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OF **D-2.1**

# PRELIMINARY

LIGHTING NOTES  
 1. PHOTOMETRICS AND LIGHTING PLAN TO BE PROVIDED BY DUKE ENERGY.  
 2. SITE LIGHTING TO BE DESIGN IN COORDINATION WITH STREET LIGHTING.



1 SITE PLAN  
 SCALE: 1" = 30"



TMILA ASSOCIATES  
 5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713  
 p: (919) 484-8880 e: info@tmila.com

D. CLUGSTON  
 BUILDING AND DEVELOPMENT CO.  
 Timmons Group

REVISIONS:

10-14-20	comments revision

LIGHTING PLAN  
 SERENITY AMENITY  
 Piney Grove Rawls Rd, Harnett County, NC  
 GREENFIELD COMMUNITIES

SCALE: \_\_\_\_\_  
 DRAWN BY: JGB  
 PROJECT # 18081  
 DATE: 03/03/20  
 SHEET

OF LO-1.0

2020/03/03 10:00 AM C:\Users\jgibson\OneDrive\Documents\18081\_Serenity\_Amenity\18081\_Serenity\_Amenity\_Lighting\_Plan.dwg 10/14/2020 10:00 AM JGB