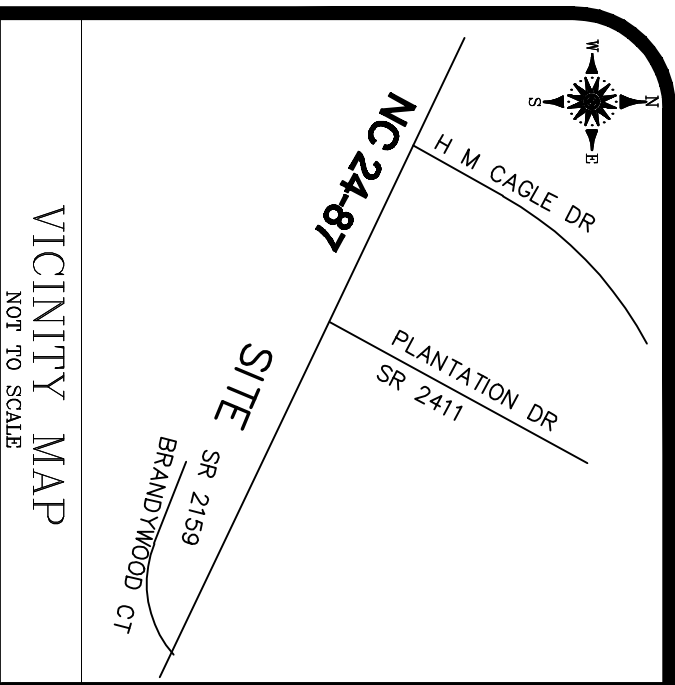
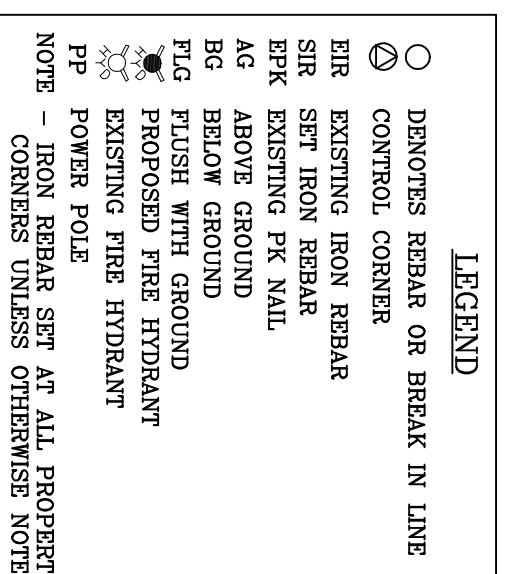
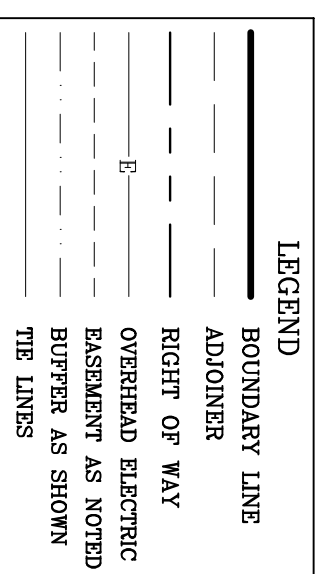


NC 24-87 PUBLIC R/W VARIES



- SITE NOTES:**
- 1) ZONING - COMMERCIAL (HWY 87 CORRIDOR OVERLAY DISTRICT)
 - 2) SETBACKS - FRONT 50' SIDE - 0'(IF ADJ. PROPERTY IS COMMERCIAL) 25'(IF ADJ. PROPERTY IS RESIDENTIAL) REAR - 25'
 - 3) PROPOSED WATER AND SEWER BY HARNETT COUNTY
 - 4) ALL DISTANCES ARE HORIZONTAL.
 - 5) SITE ADDRESS: NC 87/24 HWY (1400 BLOCK) CAMERON, NC 28528
 - 6) DEVELOPER(S): **BMA, LLC**
2919 BreezeWood Avenue, Suite 100
Fayetteville, NC 28303
910.237.7888, Ralph Hurt
r.hurt@bma.com, 910.237.7888
 - 7) DEED REFERENCE: 2028 SPACES (INC. 2 H/C)
 - 8) PARKING PROVIDED: 208 SPACES (INC. 2 H/C)
 - 9) SOILS - BAB-BLAVERY LOAMY SAND, 2 TO 8 PERCENT SLOPE, 61.28% (GIS)
CAB - CANNOB SAND, 0 TO 8 PERCENT SLOPE, 38.75% (GIS)

1. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ALL WATER AND SEWER MAINS, DRAINAGE AND APPURTENANCES SHALL BE TESTED IN ACCORDANCE WITH HARNETT COUNTY TECHNICAL.
2. SEE UTILITY NOTES SHEET.
3. OCCUPANTS SHALL INSTALL PRVS AND RPZ'S BEFORE ANY METERS WILL BE SET AS APPROVED BY HODPU.
4. HODPU WILL NOT BE RESPONSIBLE FOR ANY ASPHALT REPAIRS TO THE ENTRANCES OR PARKING AREAS WHERE FUTURE WATER AND OR SEWER REPAIRS ARE NEEDED.
5. CONTRACTOR SHALL NOTIFY TENANTS AT LEAST 24 HOURS PRIOR TO CUTTING OFF WATER TO
6. CONTRACTOR SHALL MAINTAIN A CUSTOMER ACCESS POINT TO ALL BUSINESSES IMPACTED BY CONSTRUCTION OF NEW WATER MAIN.
7. UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH LOCAL BUSINESS DURING CONSTRUCTION OF NEW WATER MAIN.

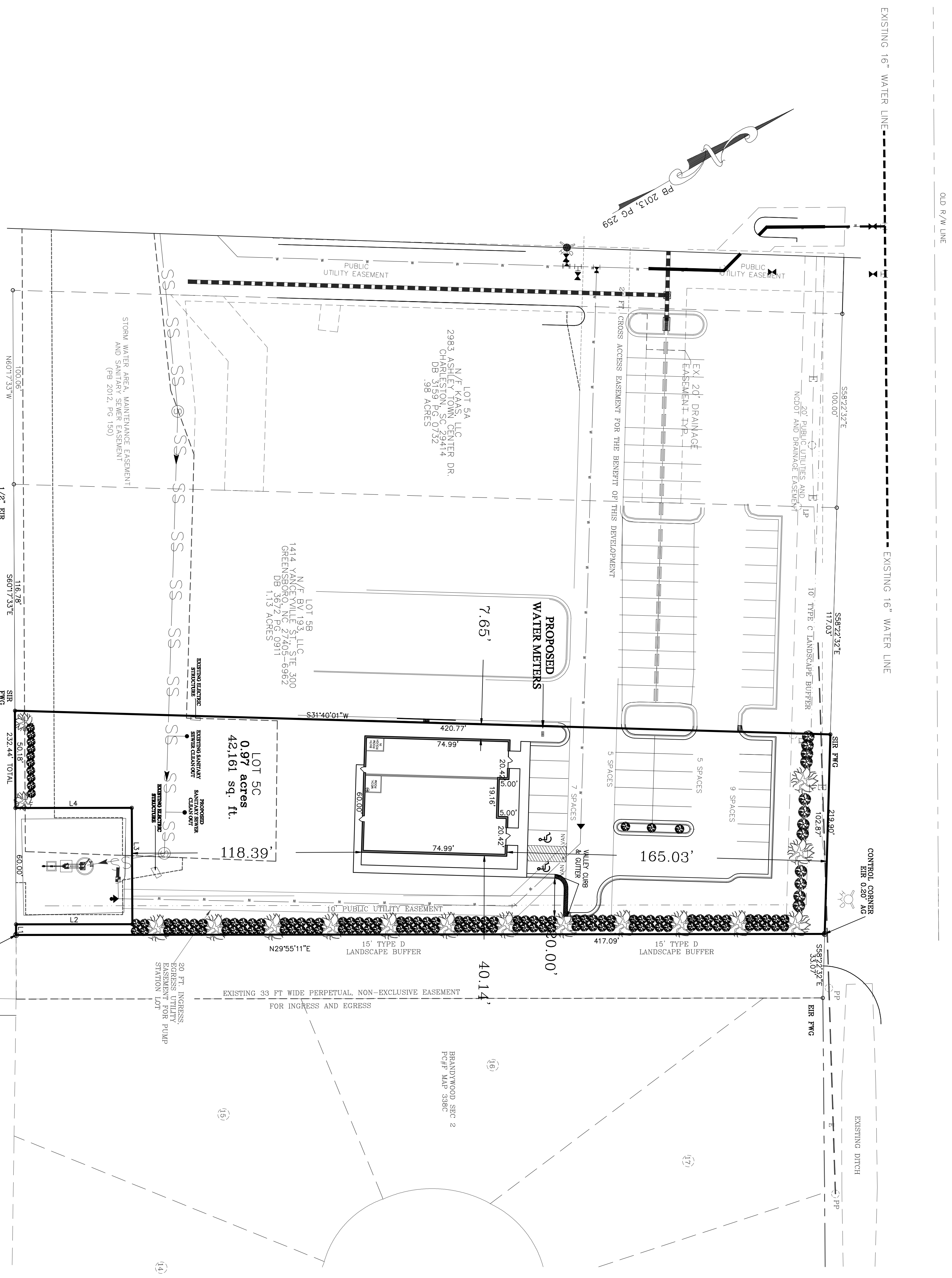


CONCEPTUAL PLAN ONLY

THIS DRAWING IS NOT A CERTIFIED SURVEY AND NO RELIANCE MAY BE PLACED IN ITS ACCURACY. THIS DRAWING HAS NOT BEEN REVIEWED BY ANY GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE STATE, FEDERAL OR OTHER REGULATORY ENDING REQUIREMENTS OR OTHER RESOLUTIONS OF CHAMBERLAIN COUNTY G.A.S. DATA.

PRELIMINARY

DO NOT USE FOR CONSTRUCTION



PLANTING SCHEDULE

SHADE TREE

SMALL SHRUB

EVERGREEN TREE

LANDSCAPING MUST CONFORM TO ARTICLE VII, SECTION 9.0 OF THE HARNETT COUNTY UDO.

TYPE C BUFFER

1. Minimum width of 10 feet (applies to front property line).
2. One (1) large maturing tree (shade tree) every 30 feet.
3. Shrubs, ground cover or mulch.

UNIFIED DEVELOPMENT ORDINANCE (UDO) OF HARNETT COUNTY, NC

- 1) SIGN(S)
 - a) APPROXIMATE LOCATION AS SHOWN.
 - b) OWNER(S) OR AGENT(S) SHALL APPLY FOR SIGN PERMIT.
 - c) SIGN PERMIT APPLICATION MUST BE APPROVED BY THE HARNETT COUNTY PLANNING DEPARTMENT PRIOR TO INSTALLATION.
- 2) PARKING AND PERIMETER BUFFER TYPES C AND D, AND LANDSCAPING MUST CONFORM TO ARTICLE VII, SECTION 9.0 OF THE HARNETT COUNTY UDO.

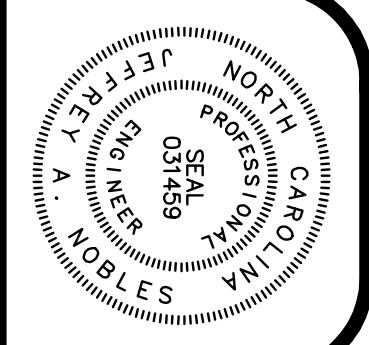
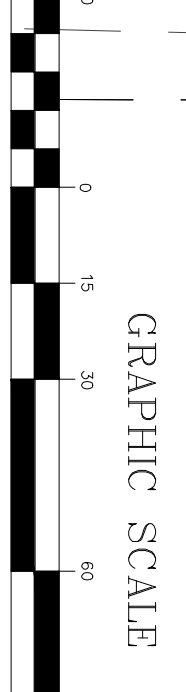
TYPE D BUFFER

1. Minimum width of 15 feet (applies to side and partial rear property lines).
2. One (1) large maturing tree (shade tree) every 30 feet.
3. Shrubs, ground cover or mulch.
4. Ten (10) low growing shrubs for every required large maturing tree planted four (4) feet apart.

OR

1. 2, 3 and a six (6) feet high opaque fence.

N/H
JAMES AND JOYCE P. LUCAS
P/N: 9584-47-2861
DB 811, PG 134
ZONED RA-30



ENGINEERING - SURVEYING - DESIGNING - DRAFTING

Larry King & Associates, R.L.S., P.A.

P.O. Box 53787
1333 Morganton Road, Suite 201
Fayetteville, North Carolina 28305
P. (910) 483-4300 F. (910) 483-4052
NC Firm License C-0887
www.LKandA.com

THIS DRAWING IS PRELIMINARY, AND SET PERMIT REVIEW, AND RECORDING PURPOSES OR IMPLEMENTATION.

No.	Date	Revision

Owner: BMA, LLC

Project: NORTHGATE LOT 5C

CONTRACT:
2019 DEVELOPMENT PLAN, 28.500
2/16/2019, 12.14.19, 28.500

tax. id #: 9584770865.000
Township: Aberdeen Creek
county: Harnett
state: NC

SITE PLAN DOCUMENTS

job no.: P11-030
date: 02-02-21
drawn by: JN
survey by: LKA
checked by: JN
sheet no.: C-02