

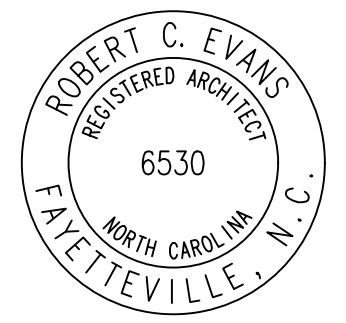
01 VICINITY MAP  
NO SCALE

A NEW BUILDING FOR:

# Northgate Therapy

NORTHGATE - LOT 5C  
CAMERON, NORTH CAROLINA

**ROBERT CHARLES EVANS**  
ARCHITECT  
ARCHITECTURE  
545 Pearl Street Fayetteville, North Carolina 28303



10.22.21

A0.1

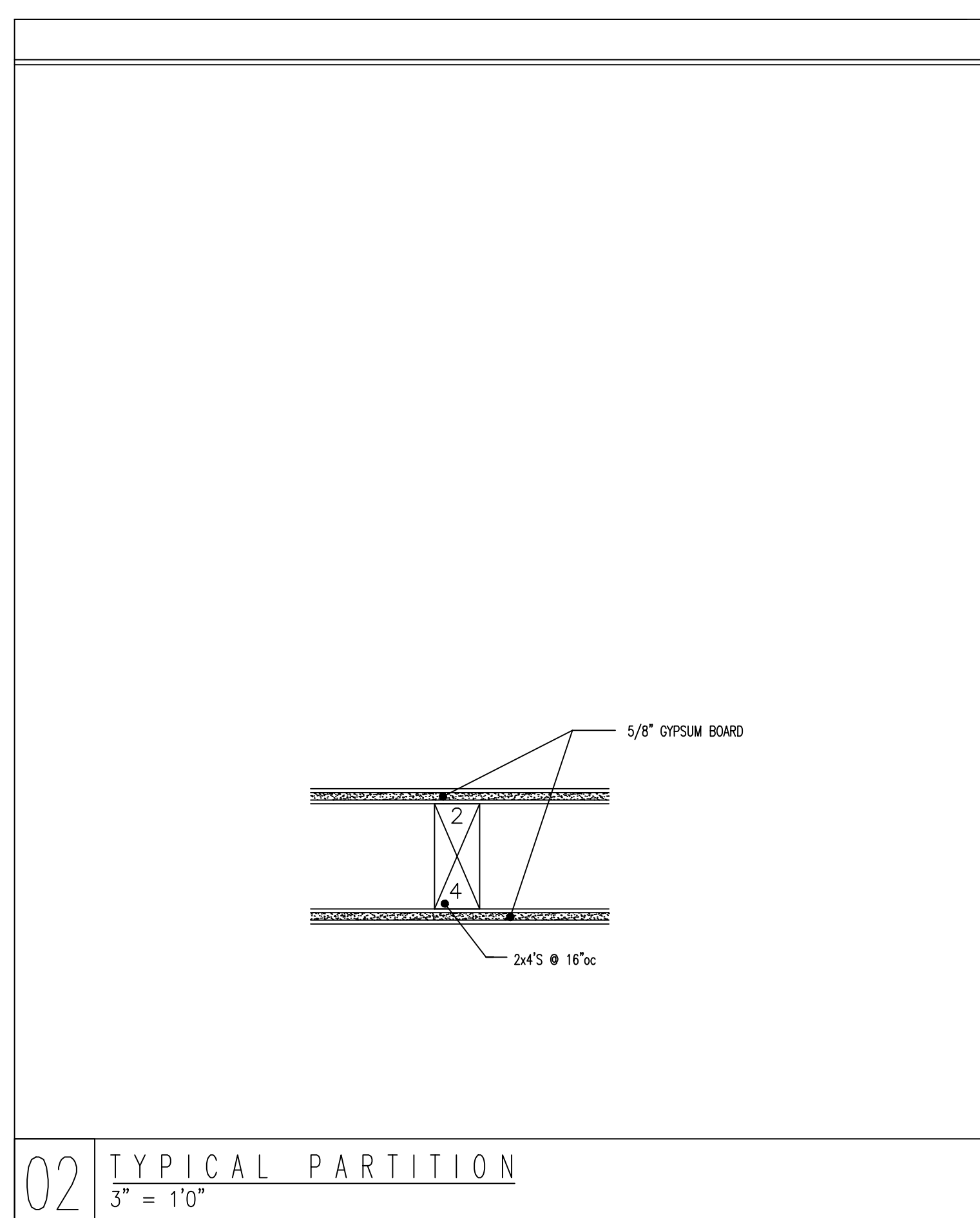
MATERIAL LEGEND			
CONCRETE		BATT INSULATION	
EARTH		STEEL	
WOOD FRAMING		CONCRETE BLOCK	
WOOD TRIM		BRICK	
PLYWOOD		GYPSUM BOARD	
CARPET		CAULKING	

CONSULTANTS	

DRAWING SYMBOLS	
	clubroom
	ROOM NAME & FINISH SCHEDULE
	WINDOW SCHEDULE
	DOOR SCHEDULE
	INTERIOR ELEVATION
	DETAIL SECTION OR BUILDING SECTION

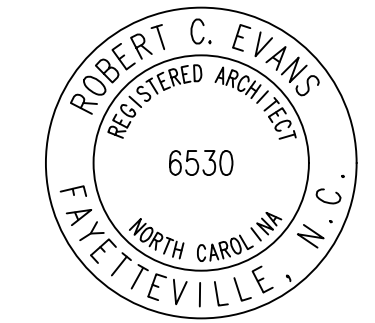
DRAWING LIST	
<b>ARCHITECTURAL</b>	
A0.1	PROJECT INFORMATION
A0.2	APPENDIX B
A1.1	FLOOR PLAN
A1.2	LIFE SAFETY PLAN
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.1	SECTIONS / DETAILS
A4.1	FOUNDATION PLAN

GENERAL NOTES	ABBREVIATIONS																																														
<ol style="list-style-type: none"> <li>ALL WORK ON THIS APPLICATION SHALL BE IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL CODES, LATEST AMENDMENTS.</li> <li>THE CONTRACTOR SHALL REFER TO DIMENSIONS AND SHALL NOT SCALE THESE DRAWINGS.</li> <li>ALL DIMENSIONS ARE SHOWN TO THE FACE OF ROUGH EXCEPT WHERE NOTED OTHERWISE.</li> <li>NO LOADS SHALL BE APPLIED TO SUSPENDED CEILINGS.</li> <li>THE CONTRACTOR SHALL PROVIDE BLOOMING, GROUNDS, ETC. FOR FIXTURES, SHELVING, TRIM, GYPSUM BOARD, CEILING, PLUMBING FIXTURES, ETC. WHERE THEY ARE REQUIRED.</li> <li>THE CONTRACTOR IS RESPONSIBLE FOR AND SHALL VERIFY AND COORDINATE ALL DIMENSIONS AND DETAILS PRIOR TO PROCEEDING WITH ANY WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IN WRITING IMMEDIATELY.</li> </ol>	<table> <tr> <td>ALUM. - Aluminum</td> <td>INSUL. - Insulation</td> </tr> <tr> <td>ARCH. - Architectural</td> <td>L. - Line</td> </tr> <tr> <td>BD. - Board</td> <td>MFR. - Manufacturer</td> </tr> <tr> <td>BM. - Beam</td> <td>MR. - Microwave</td> </tr> <tr> <td>CL. - Centerline</td> <td>O.C. - On Center</td> </tr> <tr> <td>C.C. - Ceiling</td> <td>OPP. - Opposite</td> </tr> <tr> <td>COL. - Column</td> <td>PLMB. - Plywood</td> </tr> <tr> <td>CONC. - Concrete</td> <td>Q. - Query</td> </tr> <tr> <td>CONT. - Continuous</td> <td>R. - Rod</td> </tr> <tr> <td>DM. - Dimension</td> <td>REQD. - Required</td> </tr> <tr> <td>DISP. - Disposal</td> <td>REGG. - Refrigerator</td> </tr> <tr> <td>DN. - Down</td> <td>R/O - Rough Opening</td> </tr> <tr> <td>D.S. - Downspout</td> <td>R/O - Range Oven</td> </tr> <tr> <td>DN. - Downspout</td> <td>S. - Shelf</td> </tr> <tr> <td>EA. - Each</td> <td>S.F. - Square Feet</td> </tr> <tr> <td>EQ. - Equal</td> <td>SM. - Similar</td> </tr> <tr> <td>FF. - Finish Floor</td> <td>T.O. - Top Of</td> </tr> <tr> <td>FIN. - Finish</td> <td>TOP. - Typical</td> </tr> <tr> <td>G.C. - General Contractor</td> <td>V. - Volt</td> </tr> <tr> <td>GYP. - Gypsum Board</td> <td>W. - With</td> </tr> <tr> <td>HD. - Hand</td> <td>WD. - Wood</td> </tr> <tr> <td>HDR. - Header</td> <td>W.H. - Water Heater</td> </tr> <tr> <td>HR. - Hour</td> <td></td> </tr> </table>	ALUM. - Aluminum	INSUL. - Insulation	ARCH. - Architectural	L. - Line	BD. - Board	MFR. - Manufacturer	BM. - Beam	MR. - Microwave	CL. - Centerline	O.C. - On Center	C.C. - Ceiling	OPP. - Opposite	COL. - Column	PLMB. - Plywood	CONC. - Concrete	Q. - Query	CONT. - Continuous	R. - Rod	DM. - Dimension	REQD. - Required	DISP. - Disposal	REGG. - Refrigerator	DN. - Down	R/O - Rough Opening	D.S. - Downspout	R/O - Range Oven	DN. - Downspout	S. - Shelf	EA. - Each	S.F. - Square Feet	EQ. - Equal	SM. - Similar	FF. - Finish Floor	T.O. - Top Of	FIN. - Finish	TOP. - Typical	G.C. - General Contractor	V. - Volt	GYP. - Gypsum Board	W. - With	HD. - Hand	WD. - Wood	HDR. - Header	W.H. - Water Heater	HR. - Hour	
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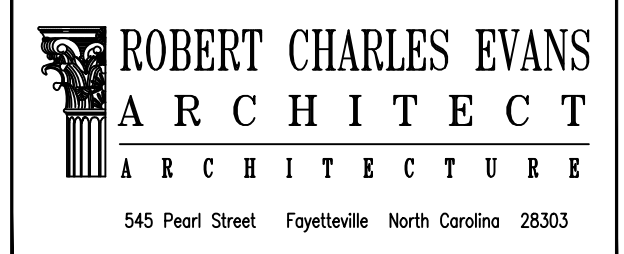


02 TYPICAL PARTITION  
3" = 1'0"

NORTH CAROLINA BUILDING CODE SUMMARY - NC 2018 BUILDING CODE



10.22.21



Northgate Therapy  
New Building

Drawing Name:  
Appendix B

Project Name:  
A New Building for  
Northgate Therapy

Project Location:  
Northgate - Lot 5C  
Cameron  
North Carolina

AD AND LEGAL DISCLAIMER  
THIS DOCUMENT IS INTENDED TO COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), ARCHITECTS AND ENGINEERS ARE NOT LICENSED TO INTERPRET LAWS OR GIVE ADVICE CONCERNING LAWS OR LEGAL MATTERS. THE OWNER SHOULD HAVE THIS DOCUMENT REVIEWED BY HIS ATTORNEY TO DETERMINE IF IT COMPLES TO ADA AND OTHER LAWS.

PROJECT NO: 21-099  
DRAWN BY: RCE  
DATE: 03.24.21  
REVISIONS:  
SHEET NO:  
A0.2

NAME OF PROJECT: A NEW BUILDING FOR: NORTHGATE THERAPY  
 PROJECT ADDRESS: NORTHGATE LOT 5C, CAMERON, NORTH CAROLINA  
 OWNER / CONTACT: NED JOHNSON  
 PHONE #: TELEPHONE: 910.323.1944  
 EMAIL: nedjohnson@northgatehomesnc.com  
 OWNED BY:  PRIVATE  CITY/COUNTY  STATE  
 CODE ENFORCEMENT:  CITY  COUNTY  STATE

DESIGN PROFESSIONALS

CONTACT:	FIRM	NAME	LICENSE #	TELEPHONE #	EMAIL
DESIGNER	ROBERT C. EVANS, ARCHITECT	ROBERT C. EVANS	6530	910.624.9259	rcrch@rce.com
ARCHITECTURAL	ROBERT C. EVANS, ARCHITECT	ROBERT C. EVANS	6530	910.624.9259	rcrch@rce.com
CIVIL	NO WORK				
ELECTRICAL	NO WORK				
FIRE ALARM	NO WORK				
PLUMBING	NO WORK				
MECHANICAL	NO WORK				
SPRINKLER	NO WORK				
STRUCTURAL	NO WORK				
RETAINING WALL	NO WORK				
OTHER	NO WORK				

BUILDING CODE DATA

2018 NC BUILDING CODE:  NEW BUILDING  ADDITION  RENOVATION  
 FIRST TIME INTERIOR COMPLETION  
 SHELL/CORE - CONTACT THE LOCAL INSPECTION JURISDICTION FOR POSSIBLE ADDITIONAL PROCEDURES AND REQUIREMENTS  
 PHASED CONSTRUCTION - SHELL/CORE - CONTACT THE LOCAL INSPECTION JURISDICTION FOR POSSIBLE ADDITIONAL PROCEDURES AND REQUIREMENTS

2018 NC EXISTING BUILDING CODE: EXISTING:  PRESCRIPTIVE  REPAIR  CHAPTER 14  
 ALTERATION:  LEVEL I  LEVEL II  LEVEL III  
 HISTORIC PROPERTY  CHANGE OF USE

CONSTRUCTED: (date) N/A CURRENT OCCUPANCY: N/A  
 RENOVATED: (date) N/A PROPOSED OCCUPANCY: BUSINESS

RISK CATEGORY: (table 1604.5) CURRENT:  I  II  III  IV  
 PROPOSED:  I  II  III  IV

BASIC BUILDING DATA

CONSTRUCTION TYPE:  I-A  II-A  III-A  IV-A  V-A  
 I-B  II-B  III-B  V-B

SPRINKLERS:  NO  PARTIAL  YES  NFPA 13  NFPA 13R  NFPA 130  
 STANDPIPES:  NO  YES CLASS  I  II  III  WET  DRY  
 FIRE DISTRICT:  NO  YES FLOOD HAZARD AREA:  NO  YES

BUILDING HEIGHT: 21'-10" FEET NUMBER OF STORES: 1 UNLIMITED PER \_\_\_\_\_

MEZZANINE:  NO  YES  
 HIGH RISE:  NO  YES CENTRAL REFERENCE SHEET # (IF PROVIDED) \_\_\_\_\_

FLOOD HAZARD:  NO  YES  
 SPECIAL INSPECTION REQUIRED:  NO  YES CONTACT THE LOCAL INSPECTION JURISDICTION FOR POSSIBLE ADDITIONAL PROCEDURES AND REQUIREMENTS

GROSS BUILDING AREA TABLE:

FLOOR	THERAPY NET AREA	VACANT NET AREA	TOTAL BLDG GROSS AREA
FIRST FLOOR	2,723	1,360	4,084
			TOTAL 4,404

ALLOWABLE AREA

PRIMARY OCCUPANCY CLASSIFICATION(S):  
 ASSEMBLY  A-1  A-2  A-3  A-4  A-5  
 BUSINESS  
 EDUCATIONAL  
 FACTORY  F-1 MODERATE  F-2 LOW  
 HAZARDOUS  H-1 DETONATE  H-2 DEFLAGRATE  H-3 COMBUST  H-4 HEALTH  H-5 HPM  
 INSTITUTIONAL  I-1  I-2  I-3  I-4  I-5  
 MERCHANTILE  R-1  R-2  R-3  R-4  
 RESIDENTIAL  S-1 MODERATE  S-2 LOW  HIGH-PILED  
 STORAGE  PARKING GARAGE  OPEN  ENCLOSED  REPAIR GARAGE  
 UTILITY AND MISCELLANEOUS

ACCESSORY OCCUPANCY CLASSIFICATION: N/A  
 INCIDENTAL USES (Table 509): N/A  
 SPECIAL USES (CHAPTER 4-LIST CODE SECTIONS): N/A  
 SPECIAL PROVISIONS (CHAPTER 5-LIST CODE SECTIONS): N/A  
 MIXED OCCUPANCY:  NO  YES SEPARATION: \_\_\_\_\_ HR. EXCEPTION: \_\_\_\_\_  
 NON-SEPARATED MIXED OCCUPANCY (508.3)  
 The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.  
 SEPARATED MIXED OCCUPANCY (508.4) - See below for area calculations  
 For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2* AREA	(C) AREA FOR OPEN SPACE INCREASE <sup>1,2</sup>	(E) ALLOWABLE AREA OR UNLIMITED <sup>1,3</sup>
ONE	BUSINESS	2,723	9,000	-	9,000

ALLOWABLE HEIGHT

BUILDING HEIGHT IN FEET (TABLE 504.3)	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
50'-0"	50'-0"	21'-10"	N/A
BUILDING HEIGHT IN STORIES (TABLE 504.4)	2	1	N/A

1 - PROVIDE CODE REFERENCE IF THE "SHOWN ON PLANS" QUANTITY IS NOT BASED ON TABLE 504.3 OR 504.4.

FIRE RESISTANCE RATINGS N/A - EXISTING BUILDING

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (W/ REDUCTION)	DETAIL AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
STRUCTURAL FRAME, INCLUDING COLUMNS, BEAMS, TRUSSES							
BEARING WALLS							
EXTERIOR							
NORTH	30'±	0	0	-	-	-	-
EAST	0	0	0	-	-	-	-
WEST	0	0	0	-	-	-	-
SOUTH	30'±	0	0	-	-	-	-
INTERIOR	N/A	0	0	-	-	-	-
NONBEARING WALLS AND PARTITIONS							
EXTERIOR							
NORTH	-	0	0	-	-	-	-
EAST	-	0	0	-	-	-	-
WEST	-	0	0	-	-	-	-
SOUTH	-	0	0	-	-	-	-
INTERIOR	-	0	0	-	-	-	-
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0	0	0	-	-	-	-
FLOOR CEILING ASSEMBLY	0	0	0	-	-	-	-
COLUMNS SUPPORTING FLOORS	0	0	0	-	-	-	-
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0	0	0	-	-	-	-
ROOF CEILING ASSEMBLY	0	0	0	-	-	-	-
COLUMNS SUPPORTING ROOF	0	0	0	-	-	-	-
SHAFTS ENCLOSURES - EXIT	0	0	0	-	-	-	-
SHAFTS ENCLOSURES - OTHER	0	0	0	-	-	-	-
CORRIDOR SEPARATION	0	0	0	-	-	-	-
OCCUPANCY / FIRE BARRIER SEPARATION	0	0	0	-	-	-	-
PARTY / FIRE WALL SEPARATION	0	0	0	-	-	-	-
SMOKE BARRIER SEPARATION	0	0	0	-	-	-	-
SMOKE PARTITION	0	0	0	-	-	-	-
TENANT SEPARATION	0	0	0	-	-	-	-
INCIDENTAL USE SEPARATION	0	0	0	-	-	-	-

\* INDICATE SECTION NUMBER PERMITTING REDUCTION

PERCENTAGE OF WALL OPENINGS CALCULATIONS

WALL	FIRE SEPARATION DISTANCE FROM PROPERTY LINE(S) (TABLE 705.8)	DEGREE OF OPENINGS PROTECTION TABLE 705.8	PERCENTAGE OF ALLOWABLE AREA	ACTUAL PERCENTAGE OF OPENING ON PLANS
NORTH	N/A	-	UL	UL
SOUTH	N/A	-	UL	UL
EAST	N/A	-	UL	UL
WEST	N/A	-	UL	UL

LIFE SAFETY SYSTEMS

EMERGENCY LIGHTING:  NO  YES SMOKE DETECTION SYSTEM:  NO  YES  
 EXIT SIGNS:  NO  YES CARBON MONO. DETECTION:  NO  YES  
 FIRE ALARM:  NO  YES PANIC HARDWARE:  NO  YES  
 (SPRINKLER MONITORING)

LIFE SAFETY PLAN: A1.2

Check items that are applicable to this project:  
 Fire and/or smoke retard wall locations (Chapter 7)  
 Assumed and real property line locations  
 Exterior wall opening area with respect to distance to assumed property lines (705.8)  
 Occupancy types for each area as it relates to occupant load calculations (Table 1004.1.1)  
 Occupant loads for each area  
 Exit access travel distance (1017)  
 Common path of travel distance (1006.2.1 & 1006.3.2(1))  
 Dead end lengths (1024)  
 Clear exit width for each exit door  
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)  
 Actual occupant load for each exit door  
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation  
 Location of doors with panic hardware (1010.1.10)  
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)  
 Location of doors with electromagnetic egress locks (1010.1.9.9)  
 Location of doors equipped with hold-open devices  
 Location of emergency escape windows (1030)  
 The square footage of each fire area (202)  
 The square footage of each smoke compartment (407.5)  
 Note any code exceptions or table notes that may have been utilized regarding the items above

EXIT REQUIREMENTS

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM NUMBER OF EXITS REQUIRED	TRAVEL DISTANCE ALLOWABLE TRAVEL DISTANCE (TABLE 1004.2.4)	ARRANGEMENT MEANS OF EGRESS <sup>1</sup> (SECTION 1004.1)	
			REQUIRED DISTANCE SHOWN ON PLANS	ACTUAL DISTANCE SHOWN ON PLANS
FIRST	2	200'	91'-0"	41'-5" 74'-4"

1 Corridor dead ends (Section 1004.3.2.3)  
 2 Single exits (Table 1005.2.2)  
 3 Common path of travel (Section 1004.2.4.5)

EXIT WIDTH

USE GROUP OR SPACE DESCRIPTION	(a) AREA SQ. FT.	(b) AREA PER OCCUPANT (1005.1)	EGRESS WIDTH PER OCCUPANT (1005.1)		EXIT WIDTH (N) 13X58	
			STAIR	LEVEL	STAIR	LEVEL
BUSINESS	2,723	1/100	28	N/A	0.2	N/A 56

ACCESSIBLE DWELLING UNITS (SECTION 1107) N/A

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
-	-	-	-	-	-	-	-

ACCESSIBLE PARKING (SECTION 1106) N/A - see civil plans

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS AISLE	132' ACCESS AISLE	8' ACCESS AISLE	
NEW	-	-	-	-	-	-
TOTAL REQUIRED	-	-	-	-	-	-
TOTAL PROVIDED	-	-	-	-	-	-

PLUMBING FIXTURE REQUIREMENTS 28 persons

SPACE	EXIST'G	WATERCLOSETS		URINALS		LAVATORIES		SHOWERS /TUBS	DRINKING FOUNTAINS REGULAR	SERVICE SINK ACCESSIBLE	NOTES & EXCEPTIONS
		MALE	FEMALE	MALE	FEMALE	MALE	FEMALE				
NEW	1	1				1	1		1	1	1
REQ'D	1	1				1	1		1	1	1

EXISTING TOILET FACILITIES ARE LOCATED WITHIN 500 FEET OF THE WORK AREA.

SPECIAL APPROVALS N/A

(Describe special approvals from local jurisdictions, County of State Department of Health, NC Department of Insurance, International Code Council, etc.)

ENERGY SUMMARY N/A - EXISTING BUILDING

EXISTING BUILDING ENVELOPE COMPLIES WITH CODE:  NO  YES  UNKNOWN  
 EXEMPT BUILDING:  NO  YES (CODE OR STATUTORY REF.)  
 CLIMATE ZONE:  3A  4A  5A  
 METHOD OF COMPLIANCE: ENERGY CODE:  PERFORMANCE  PRESCRIPTIVE  
 ASHRAE 90.1:  PERFORMANCE  PRESCRIPTIVE

THERMAL ENVELOPE (PRESCRIPTIVE METHOD ONLY)

ROOF/CEILING ASSEMBLY: WOOD TRUSSES & R-38 BATT  
 DESCRIPTION OF ASSEMBLY: 2023  
 U-VALUE OF TOTAL ASSEMBLY: R-38  
 R-VALUE OF INSULATOR: -  
 SKYLIGHTS IN EACH ASSEMBLY: -  
 U-VALUE OF SKYLIGHT: -  
 TOTAL SQ. FT. OF SKYLIGHTS IN EACH ASSEMBLY: -

WALLS BELOW GRADE: DESCRIPTION OF ASSEMBLY: -  
 U-VALUE OF TOTAL ASSEMBLY: -  
 R-VALUE OF INSULATOR: -

FLOORS OVER UNCONDITIONED SPACE: DESCRIPTION OF ASSEMBLY: -  
 U-VALUE OF TOTAL ASSEMBLY: -  
 R-VALUE OF INSULATOR: -

FLOORS SLAB ON GRADE: DESCRIPTION OF ASSEMBLY: -  
 U-VALUE OF TOTAL ASSEMBLY: -  
 R-VALUE OF INSULATOR: -

OPENINGS: U-VALUE OF ASSEMBLY: -  
 SOLAR HEAT GAIN COEFFICIENT: -  
 PROJECTION FACTOR: -  
 DOOR R-VALUE: -

EXTERIOR WALLS: 4" WOOD STUDS w/ R-19 BATT  
 DESCRIPTION OF ASSEMBLY: -  
 U-VALUE OF TOTAL ASSEMBLY: R-19  
 R-VALUE OF INSULATOR: -

HORIZONTAL/VERTICAL REQUIREMENT: -  
 SLAB HEATED: -

STRUCTURAL DESIGN

DESIGN LOADS:  
 IMPORTANCE FACTORS: SNOW 1.0 SEISMIC \_\_\_\_\_  
 LIVE LOADS: ROOF 10psf MEZZANINE \_\_\_\_\_ FLOOR 50psf  
 GROUND SNOW LOADS: 10psf psf  
 WIND LOADS: BASIC WIND SPEED 116 mph (ASCE-7) EXPOSURE CATEGORY B

SEISMIC DESIGN CATEGORY:  A  B  C  D

PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS:  
 RISK CATEGORY (Table 1604.5):  1  2  3  4  
 SPECTRAL RESPONSE ACCELERATION: S<sub>m</sub>: 0.236 %g S<sub>m1</sub>: 0.179 %g  
 SITE CLASSIFICATION:  A  B  C  D  E  F  
 DATA SOURCE:  FIELD TEST  PRESUMPTIVE  HISTORICAL DATA  
 BASIC STRUCTURAL SYSTEM:  BEARING WALL  DUAL w/ SPECIAL MOMENT FRAME  
 BUILDING FRAME  DUAL w/ INTERMEDIATE R/C OR SPECIAL STEEL  
 MOMENT FRAME  INVERTED PENDULUM  
 ANALYSIS PROCEDURE:  SIMPLIFIED  EQUIVALENT LATERAL FORCE  DYNAMIC  
 ARCHITECTURAL, MECHANICAL, COMPONENTS ANCHORED:  YES  NO

LATERAL DESIGN CONTROL:  EARTHQUAKE  WIND

SOIL BEARING CAPACITY:  
 FIELD TEST: \_\_\_\_\_ psf  
 PRESUMPTIVE BEARING CAPACITY: 2000 psf  
 PILE SIZE, TYPE AND CAPACITY: \_\_\_\_\_

SPECIAL INSPECTIONS CHAPTER 17 N/A

SPECIAL INSPECTIONS SHALL BE CONDUCTED ON ALL PROJECTS THAT FALL WITHIN BUILDING CATEGORIES AND/OR CONTAIN ELEMENTS SUBJECT TO SPECIAL INSPECTIONS AS PRESCRIBED BY REVISED SECTION 1704.  
 To schedule the required preconstruction meeting with the City of Raleigh please call 807-5111  
 List whom will inspect the required special inspections  
 Fabricator of load bearing components -  
 Soil tests -  
 Concrete, caissons, piles, piers, precast -  
 Post tension concrete -  
 Modular construction -  
 Steel and connections, welds, bolts, anchors -  
 Fire spray tests -  
 Smoke control -  
 Seismic, wind designs, Quality Assurance -  
 Retaining wall -  
 Masonry -  
 Wood -  
 Alternate Methods -  
 EFIS -  
 Other (describe) -  
 Other (describe) -  
 Owner or agent -

ELECTRICAL SUMMARY N/A

ELECTRICAL SYSTEM AND EQUIPMENT  
 Method of Compliance:  Prescriptive  Performance  Energy Cost Budget  
 \* Provide a standard riser diagram which indicates designated points for check metering.  
 \* Provide a standard panel schedule description which identifies different end use loads.

Lighting schedule  
 Lamp type required in fixture \_\_\_\_\_  
 Number of lamps in fixture \_\_\_\_\_  
 Ballast type used in the fixture \_\_\_\_\_  
 Number of ballasts in fixture \_\_\_\_\_  
 Total wattage per fixture \_\_\_\_\_  
 Total interior wattage specified vs. allowed \_\_\_\_\_  
 Total exterior wattage specified vs. allowed \_\_\_\_\_

Equipment schedules with motors (not used for mechanical systems)  
 Motor horsepower \_\_\_\_\_  
 Number of phases \_\_\_\_\_  
 Minimum efficiency \_\_\_\_\_  
 Motor type \_\_\_\_\_  
 # of poles \_\_\_\_\_

MECHANICAL SUMMARY N/A

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT  
 Method of Compliance:  Prescriptive  Performance  Energy Cost Budget

THERMAL ZONE  
 Exterior design conditions  
 Winter dry bulb \_\_\_\_\_  
 Summer dry bulb \_\_\_\_\_  
 Interior design conditions  
 Winter dry bulb \_\_\_\_\_  
 Summer dry bulb \_\_\_\_\_  
 Relative humidity \_\_\_\_\_  
 BUILDING HEATING LOAD \_\_\_\_\_  
 BUILDING COOLING LOAD \_\_\_\_\_  
 MECHANICAL SPACING CONDITIONING SYSTEM  
 Unitary  
 Description of unit \_\_\_\_\_  
 Heating efficiency \_\_\_\_\_  
 Cooling efficiency \_\_\_\_\_  
 Heat output of unit \_\_\_\_\_  
 Cooling output of unit \_\_\_\_\_  
 Boiler  
 Total boiler output. If oversized, state reason \_\_\_\_\_  
 Chiller  
 Total chiller capacity. If oversized, state reason \_\_\_\_\_

LIST EQUIPMENT EFFICIENCIES  
 EQUIPMENT SCHEDULES WITH MOTORS (mechanical systems)  
 Motor horsepower \_\_\_\_\_  
 Number of phases \_\_\_\_\_  
 Minimum efficiency \_\_\_\_\_  
 Motor type \_\_\_\_\_  
 # of poles \_\_\_\_\_

SHELL VARIABLE FORM N/A

Check each applicable line to match scope of work. Edit as necessary to provide clear detail of installation.

MECHANICAL:  
 No work  Equipment set with \_\_\_\_\_ without power  Gas line  
 Trunk line installed with \_\_\_\_\_ without outlets  Install complete operational system  
 Other \_\_\_\_\_

PLUMBING:  
 No work  Install water service and sewer  Install complete plumbing system  
 Install building drain and \_\_\_\_\_ or water distribution main with \_\_\_\_\_ without branches  
 Other \_\_\_\_\_

SPRINKLER:  
 Install complete plumbing system

BUILDING:  
 Install slab \_\_\_\_\_ partial \_\_\_\_\_ complete  Install demising walls  
 Install interior partitioning \_\_\_\_\_ partial \_\_\_\_\_ complete  Install ceilings  
 White box (additional interior completion permits are required for Certificate of Occupancy and power)  
 Other \_\_\_\_\_

ELECTRICAL:  
 House panel (CONNECTING TO)  Service laterals to meter centers/panels located on buildings  
 Demise wall and ceilings only  Conduit, duct, raceway, in slab  
 Power and lighting circuits to "J" Box  Install light fixtures  
 Install Heat/AC, Elevator, Generator, Parking lot lighting  
 Install complete system  
 Other \_\_\_\_\_

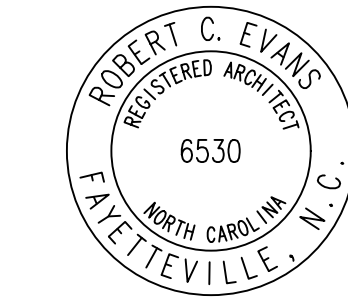
Please Provide full information on any Alternative Methods and Means incorporated into the design of this project. Provide specific details and incorporate into plan submittal any supporting documents or agreement letters.

WALL LEGENDS

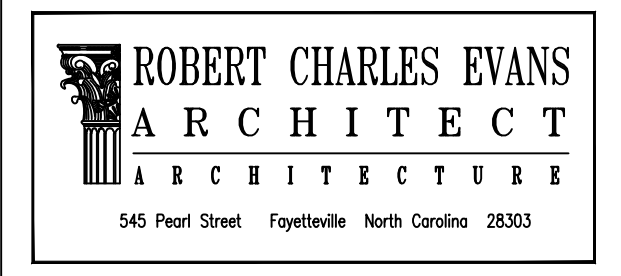
<input type="checkbox"/> FIRE PARTITIONS 709	<input type="checkbox"/> FIRE WALLS 706	<input type="checkbox"/> FIRE BARRIERS 707
<input type="checkbox"/> SMOKE PARTITIONS 711	<input type="checkbox"/> SMOKE BARRIERS 710	<input type="checkbox"/> SHAFT ENCLOSURE 708

OCCUPANT CONTENT

THERAPY	2,703 sf / 100 = 28 PERSONS
OCCUPANT CONTENT	28 PERSONS



10.21.22



# Northgate Therapy New Building

Drawing Name:  
Floor Plan

Project Name:  
A New Building for  
Northgate Therapy

Project Location:  
Northgate - Lot 5C  
Cameron  
North Carolina

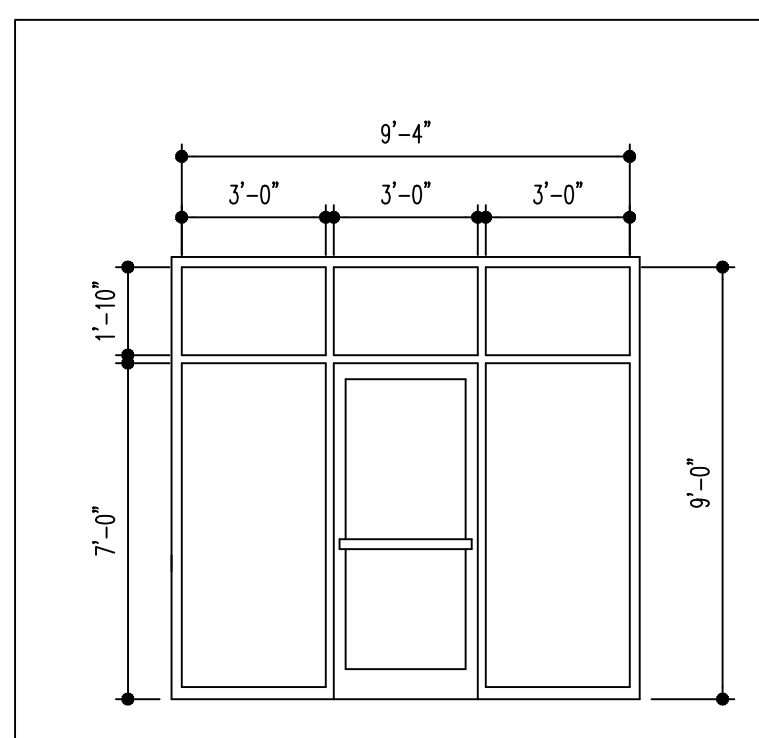
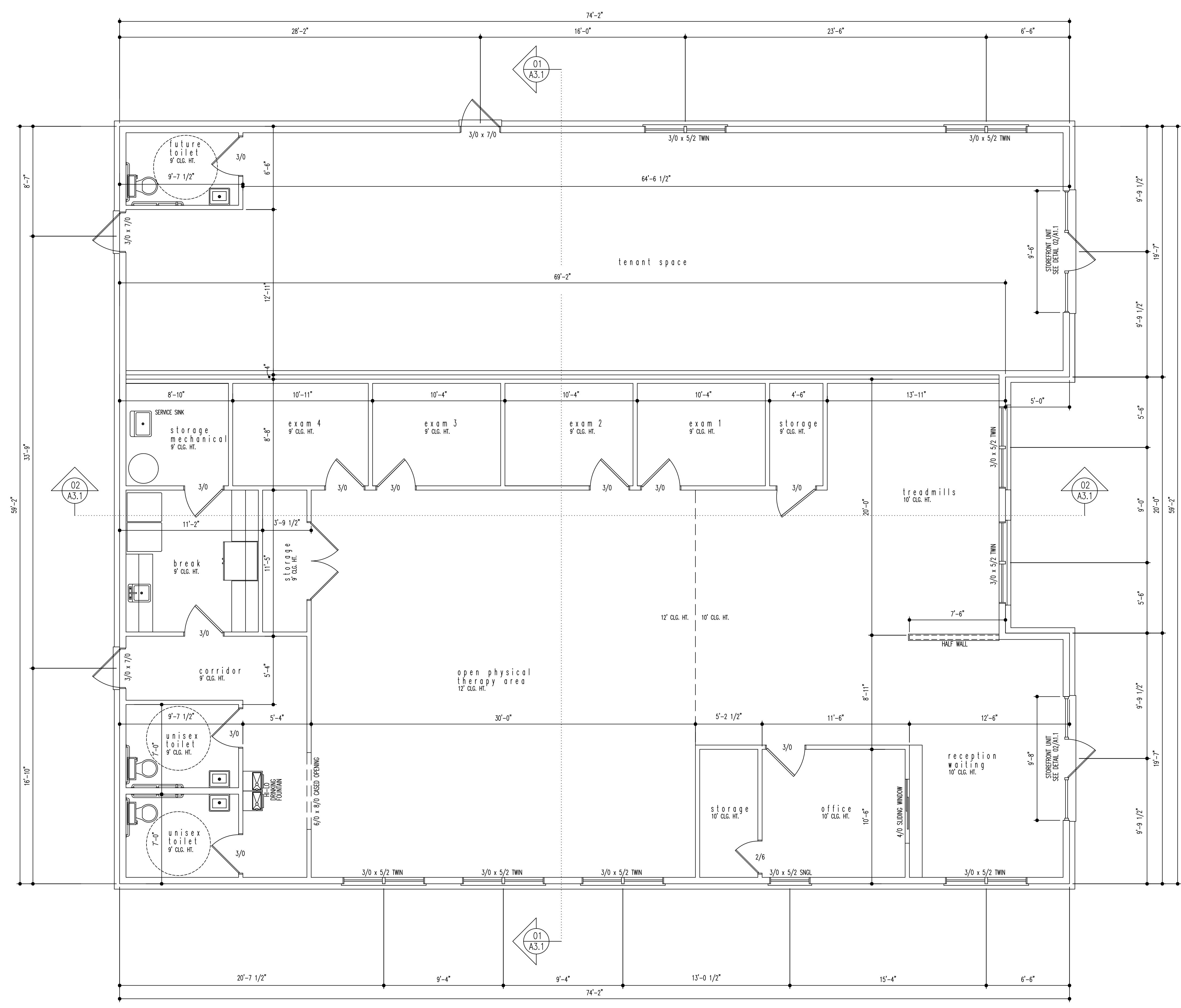
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PROJECT NO: 21-099  
DRAWN BY: RCE,jec  
DATE: 06.15.21  
REVISIONS:

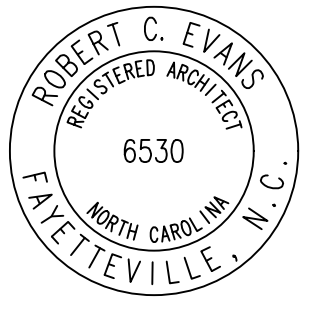
SHEET NO:

A1.1



01 FLOOR PLAN  
1/4" = 1'-0"

02 DOOR DETAIL  
1/4" = 1'-0"



10.22.21

**ROBERT CHARLES EVANS**  
ARCHITECT  
ARCHITECTURE  
545 Pearl Street Fayetteville North Carolina 28303

# Northgate Therapy New Building

Drawing Name:  
Floor Plan

Project Name:  
A New Building for  
Northgate Therapy

Project Location:  
Northgate - Lot 5C  
Cameron  
North Carolina

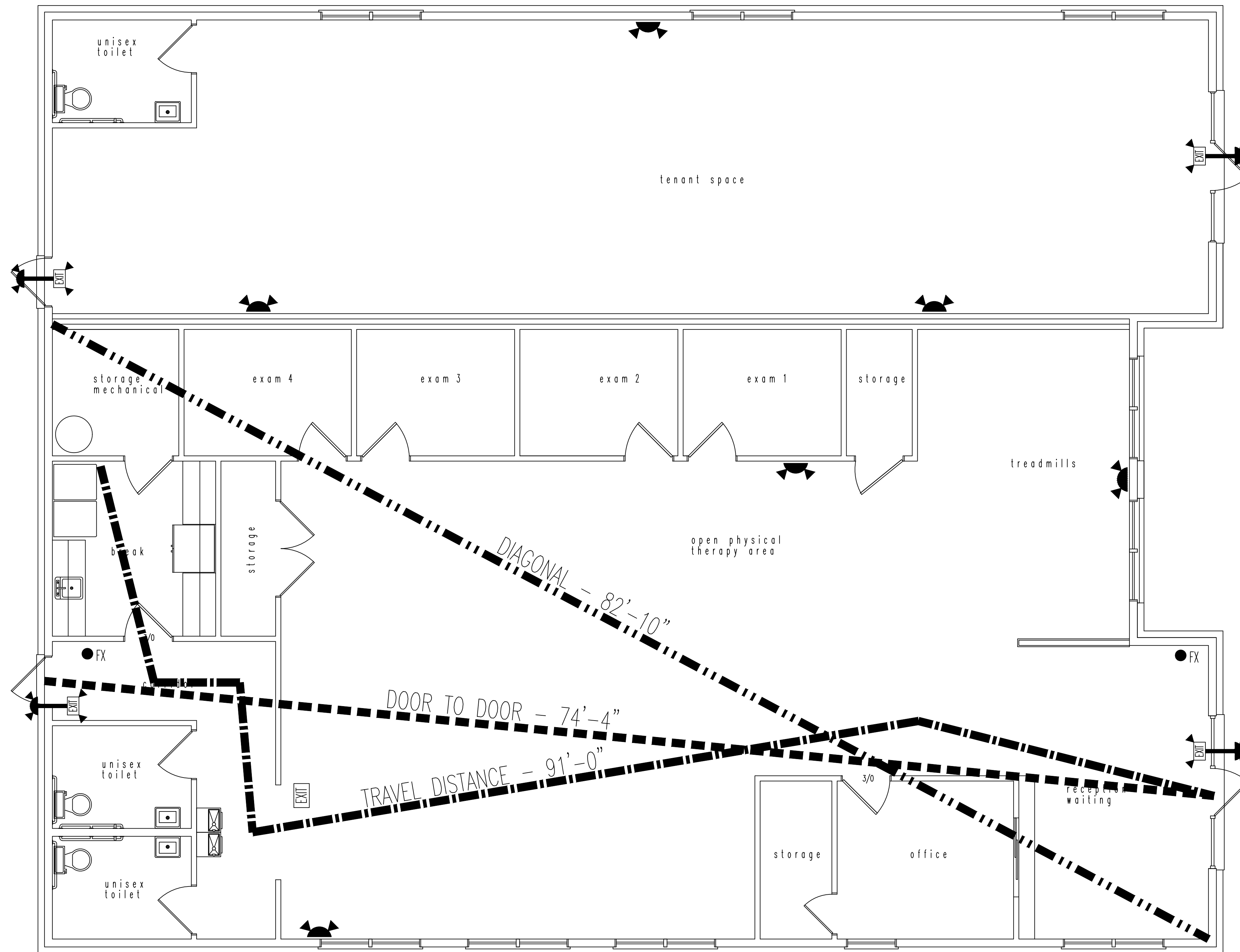
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DRAWN BY: RCE,jec  
DATE: 06.15.21  
REVISIONS:

SHEET NO:

A1.2



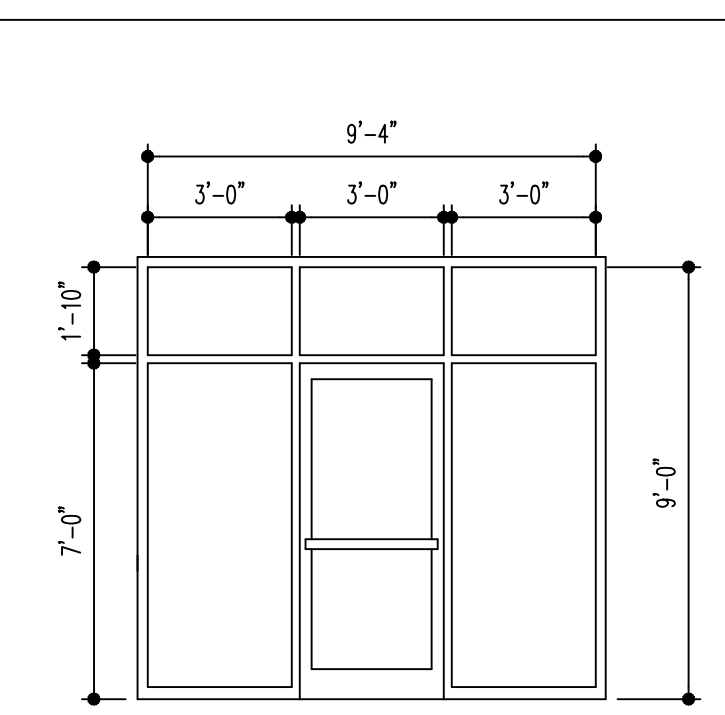
36" / .2" = 180 PERSONS  
ACTUAL PERSONS = 14

36" / .2" = 180 PERSONS  
ACTUAL PERSONS = 14

DIAGONAL - 82'-10"  
DOOR TO DOOR - 74'-4"  
TRAVEL DISTANCE - 91'-0"

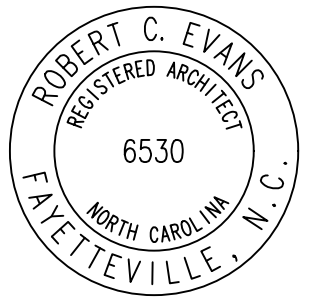
- EXIT SIGN w/ DIRECTIONAL ARROW
- EXIT SIGN
- EXIT SIGN w/ EMERGENCY EGRESS LIGHT
- EMERGENCY EGRESS LIGHT
- FIRE EXTINGUISHER

OCCUPANT CONTENT	
THERAPY	2,703 sf / 100 = 28 PERSONS
OCCUPANT CONTENT	28 PERSONS



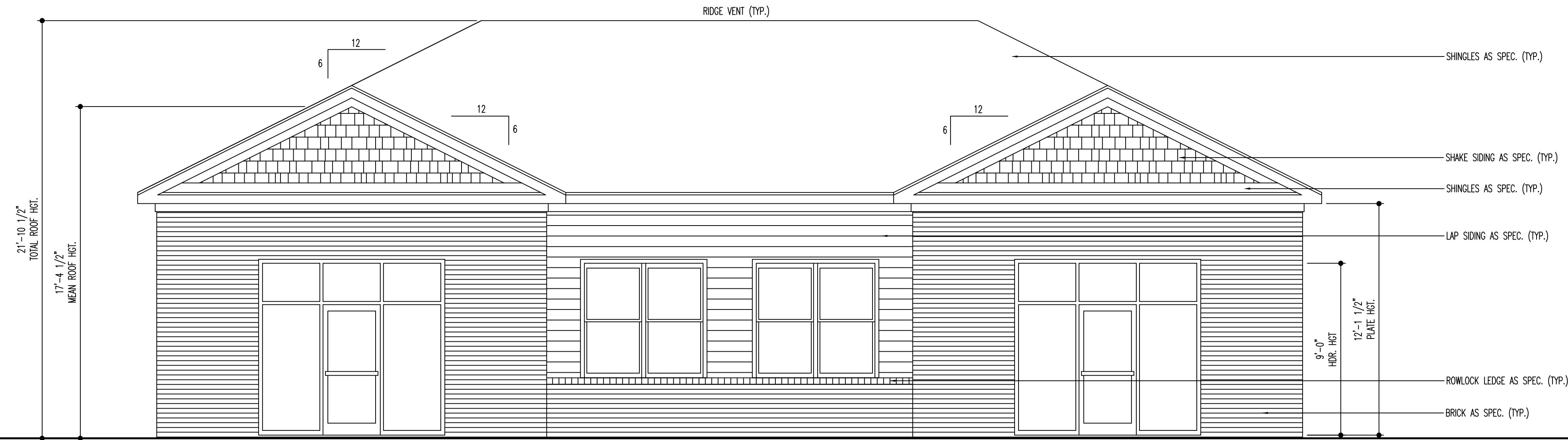
01 FLOOR PLAN  
1/4" = 1'-0"

02 DOOR DETAIL  
1/4" = 1'-0"



10.22.21

**ROBERT CHARLES EVANS**  
**ARCHITECT**  
 ARCHITECTURE  
 545 Pearl Street Fayetteville North Carolina 28303



**01 FRONT ELEVATION**  
 1/4" = 1'-0"



**02 LEFT ELEVATION**  
 1/4" = 1'-0"

# Northgate Therapy

## New Building

**Drawing Name:**  
 Exterior Elevations

**Project Name:**  
 A New Building for  
 Northgate Therapy

**Project Location:**  
 Northgate - Lot 5C  
 Cameron  
 North Carolina

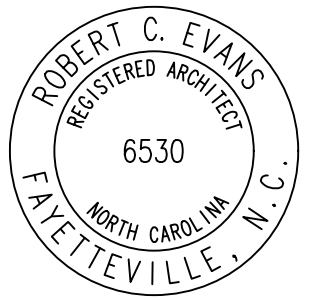
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PROJECT NO: 21-099  
 DRAWN BY: RCE,jec  
 DATE: 06.15.21  
 REVISIONS:

SHEET NO:

A2.1



10.22.21

**ROBERT CHARLES EVANS**  
ARCHITECT  
ARCHITECTURE  
545 Pearl Street Fayetteville North Carolina 28303

# Northgate Therapy New Building

**Drawing Name:**  
Exterior Elevations

**Project Name:**  
A New Building for  
Northgate Therapy

**Project Location:**  
Northgate - Lot 5C  
Cameron  
North Carolina

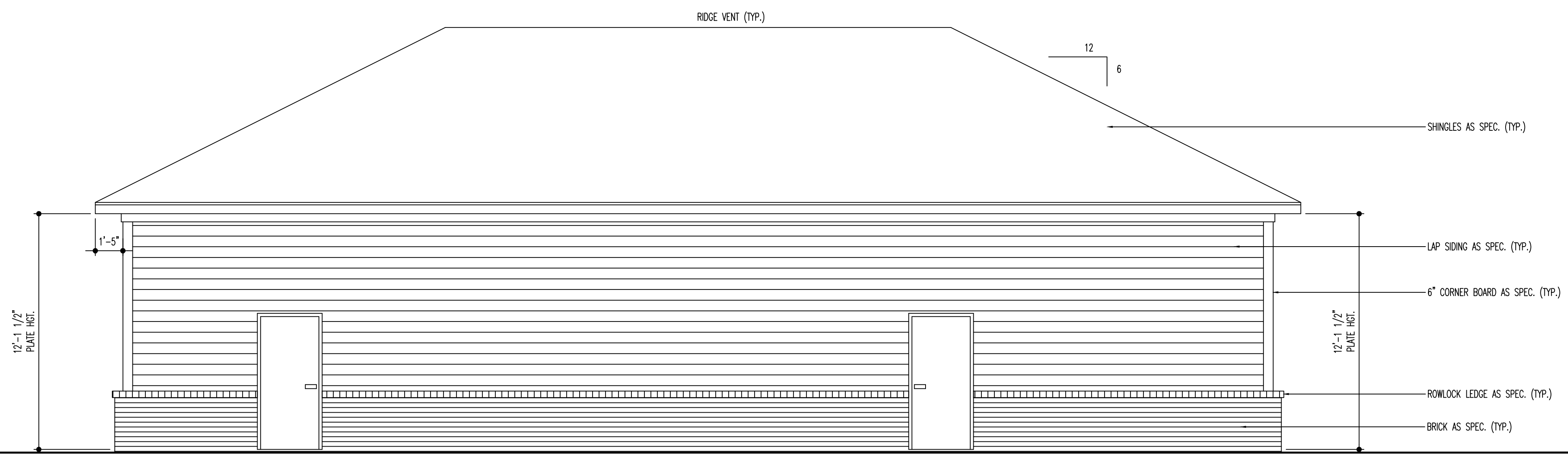
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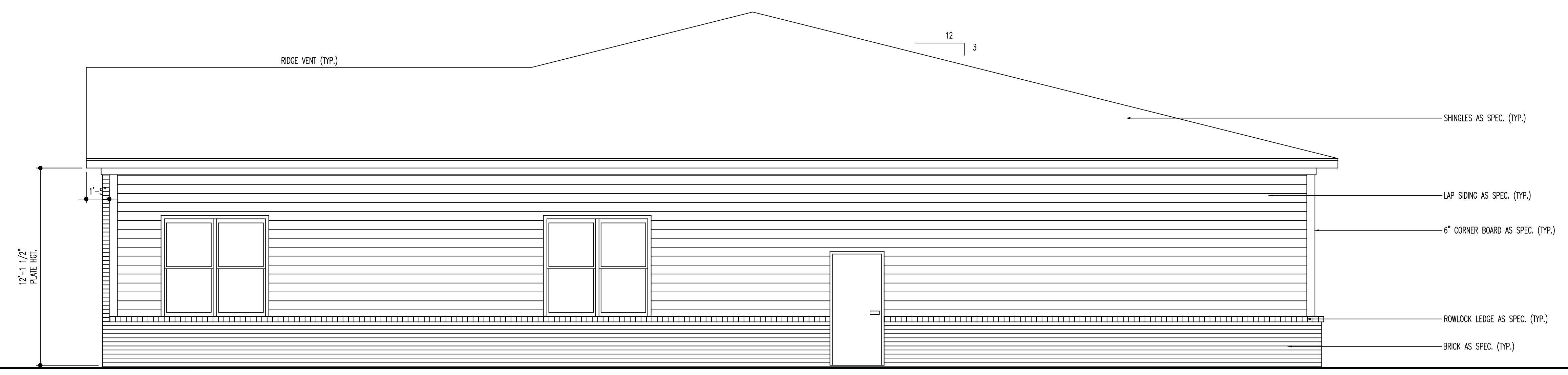
PROJECT NO: 21-099  
DRAWN BY: RCE,jec  
DATE: 06.15.21  
REVISIONS:

SHEET NO:

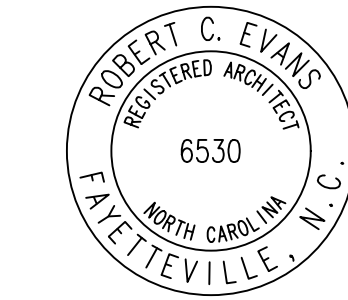
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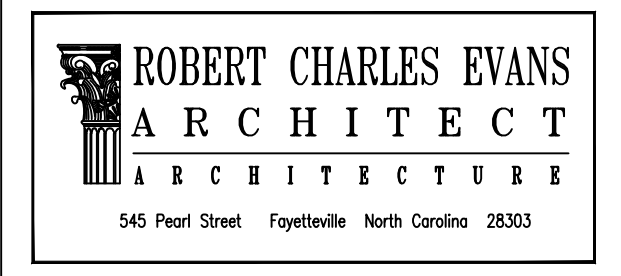
01 REAR ELEVATION  
1/4" = 1'-0"



02 RIGHT ELEVATION  
1/4" = 1'-0"



10.22.21



# Northgate Therapy New Building

**Drawing Name:**  
Exterior Elevations

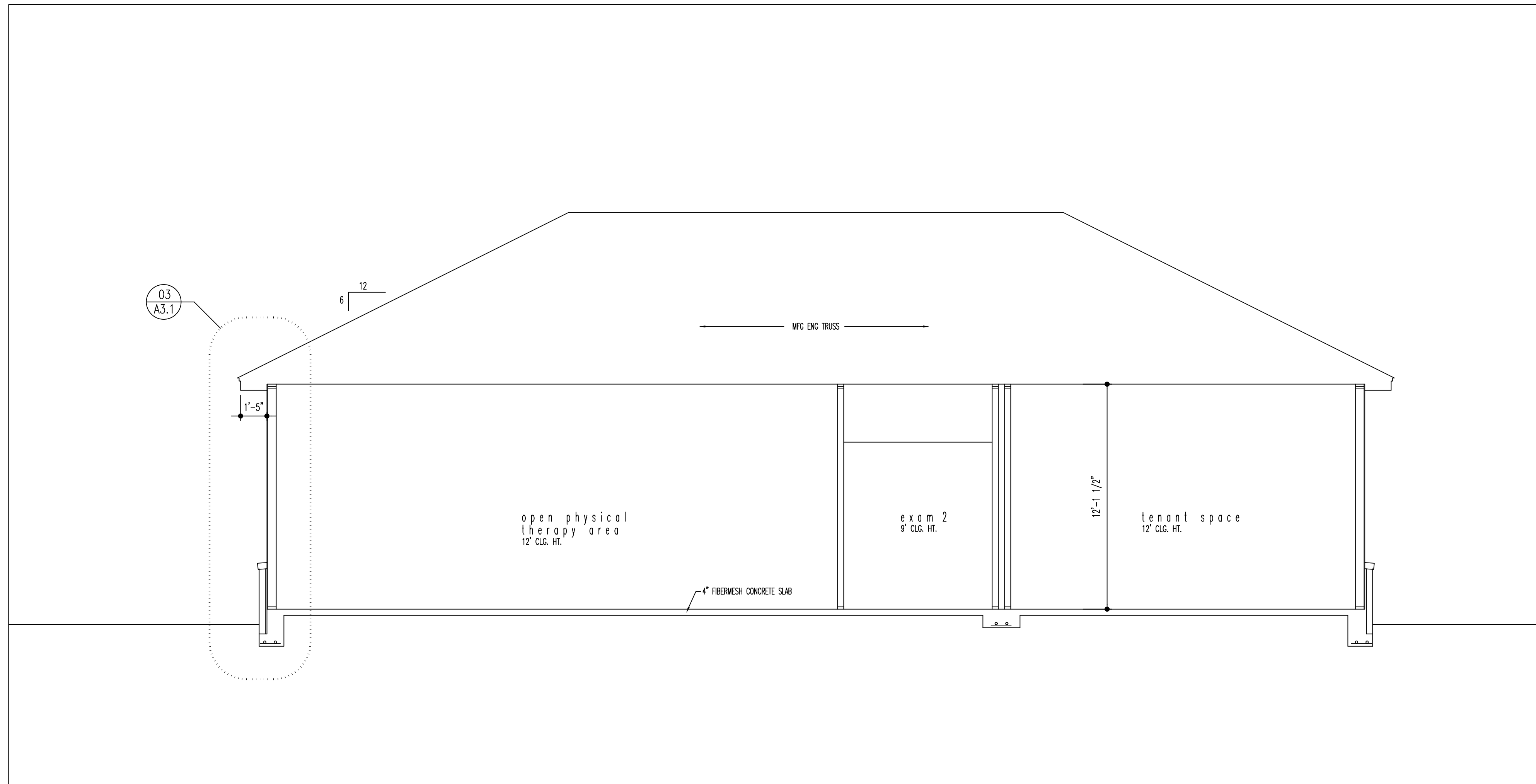
**Project Name:**  
A New Building for  
Northgate Therapy

**Project Location:**  
Northgate - Lot 5C  
Cameron  
North Carolina

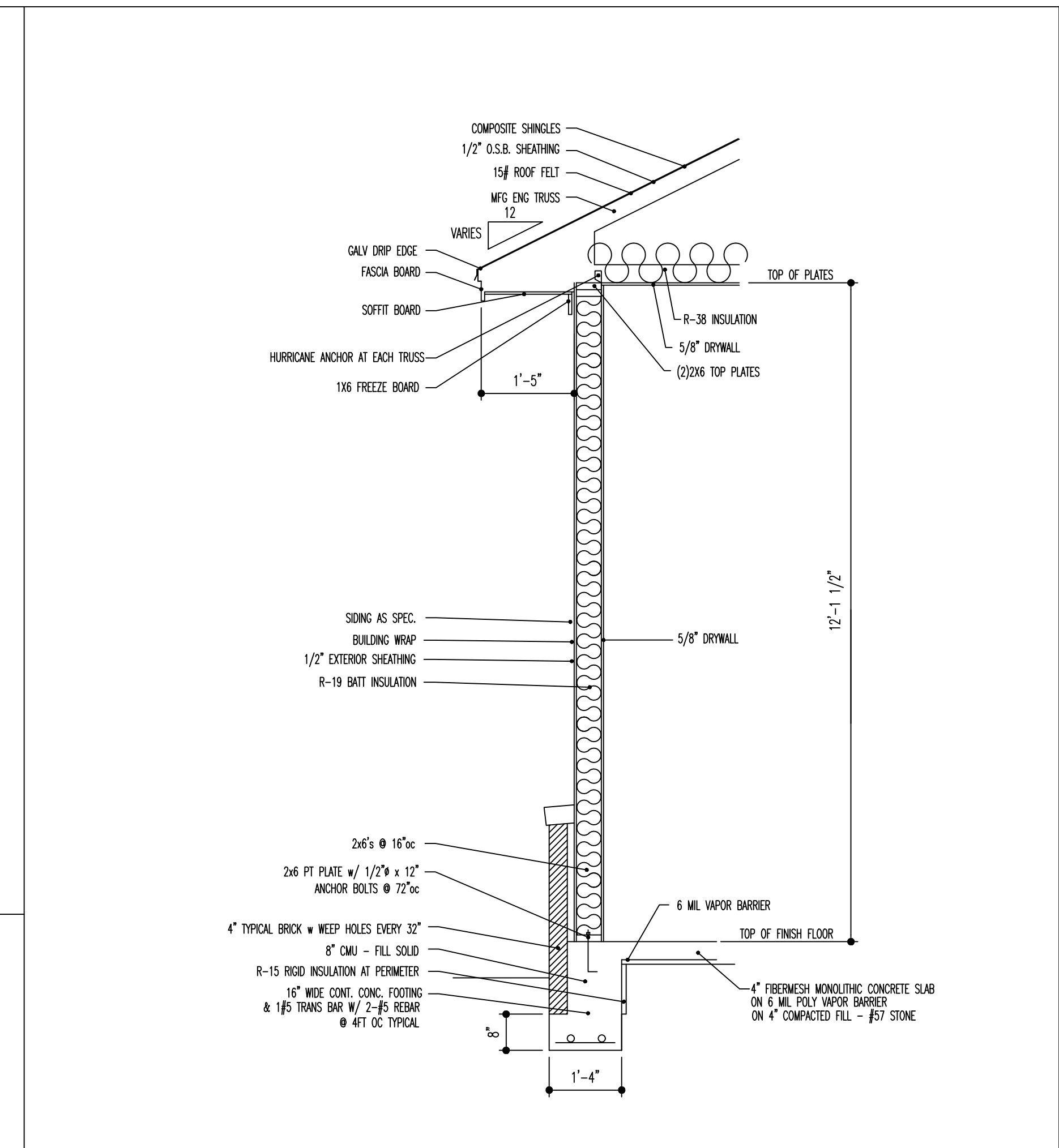
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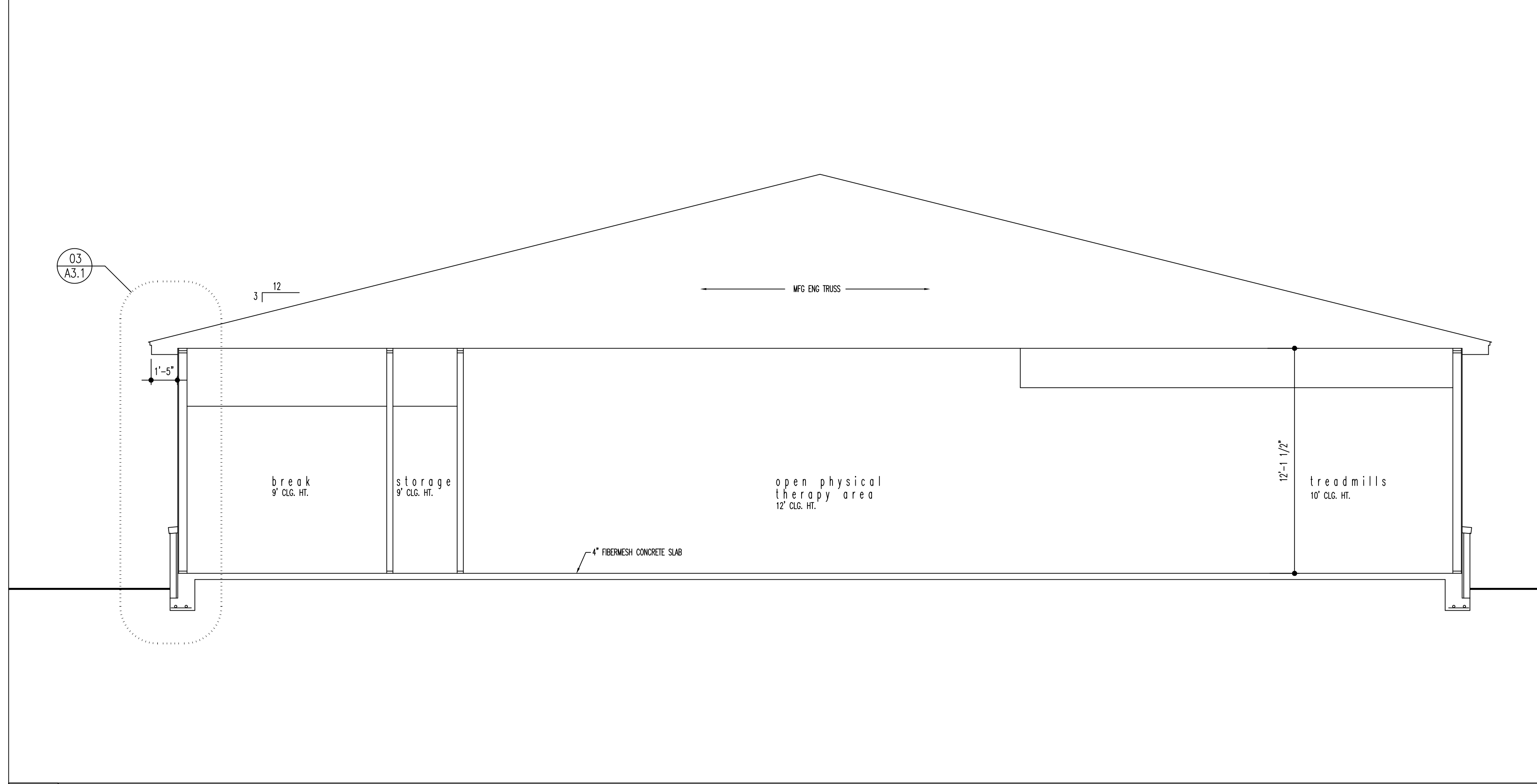
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DRAWN BY: RCE,jec	
DATE: 06.15.21	
REVISIONS:	
	A3.1



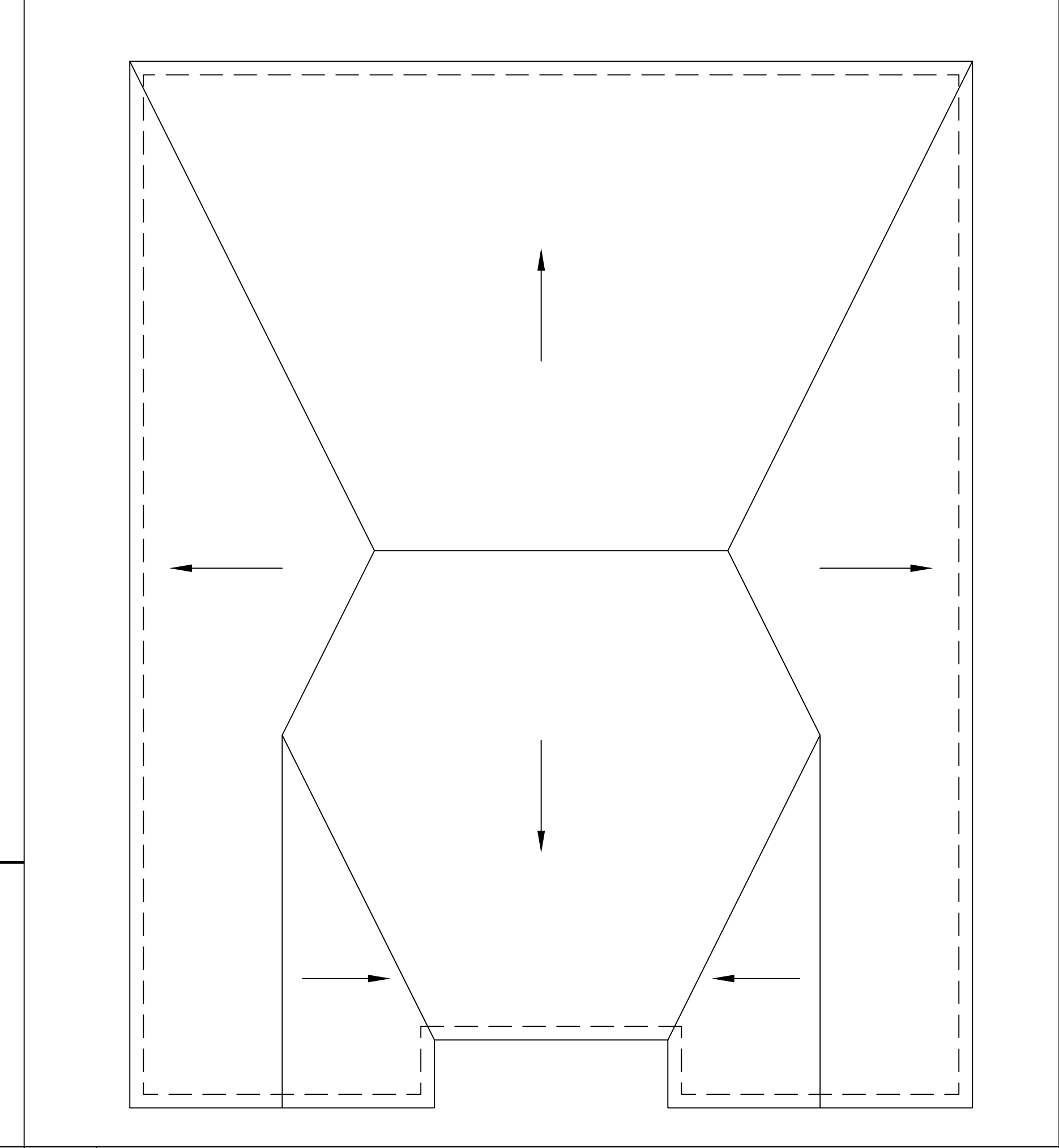
**01 BUILDING SECTION**  
1/4" = 1'-0"



**03 WALL SECTION**  
1/2" = 1'-0"



**02 BUILDING SECTION**  
1/4" = 1'-0"



**04 ROOF PLAN**  
1/8" = 1'-0"

