

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: **NEW BUILDING FOR SEAVIEW CRAB COMPANY**
Address: **H.M. CAGLE DRIVE, CAMERON, NC** Zip Code **28526**
Proposed Use: **MERCANTILE - RETAIL SALES OF SEAFOOD**
Owner or Authorized Agent: **NATHAN KINGS** Phone (910) 292-8191 E-Mail **seaviewcrabcompany@gmail.com**
Owned By: City/County Private State
Code Enforcement Jurisdiction: City **CAMERON** County **HARNETT** State **NORTH CAROLINA**

CONTACT: **GEORGE M. ROSE, P.E.**

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #
Architectural	GEORGE M. ROSE, P.E.	GEORGE M. ROSE, P.E.	11915	910-471-5622
Civil	COASTAL PLAINS ENGINEERING	CHRISTOPHER S. LOCKLEAR	20143	910-521-1213
Electrical	N/A	N/A		
Fire Alarm	GEORGE M. ROSE, P.E.	GEORGE M. ROSE, P.E.	11915	910-471-5622
Plumbing	COASTAL PLAINS ENGINEERING	CHRISTOPHER S. LOCKLEAR	20143	910-521-1213
Mechanical	N/A	N/A		
Sprinkler-Standpipe	N/A	N/A		
Structural	N/A	N/A		
Precast	N/A	N/A		
Retaining Walls >5' High	N/A	N/A		
Building	GEORGE M. ROSE, P.E.	GEORGE M. ROSE, P.E.	11915	910-471-5622

2018 NC CODE FOR: New Construction (ADDITION)
 1st Time Interior Completion
 Shell/Core
 Phased Construction - Shell/Core
 Renovation

2018 NC EXISTING BUILDING CODE: Prescriptive Repair Chapter 14
Alteration: Level I Level II Level III
 Historic Property Change of Use

CONSTRUCTED: ORIGINAL OCCUPANCY(S) (Ch. 3):
RENOVATED: CURRENT OCCUPANCY(S) (Ch. 3):
RISK CATEGORY (table 1604.5) Current: I II III IV
Proposed: I II III IV

BASIC BUILDING DATA

Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class: I II III Dry Wet
Fire District: No Yes (Primary) Flood Hazard Area: No Yes
Special Inspections Required: No Yes

Gross Building Area:

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	RENOVATED (SQ FT)	SUB-TOTAL
6th Floor				
5th Floor				
4th Floor				
3rd Floor				
2nd Floor				
Mezzanine				
1st Floor		1536		
Basement				
TOTAL		1536		

Primary Occupancy Classification: **SELECT ONE**

Assemble A-1 A-2 A-3 A-4 A-5
Business
Educational
Factory F-1 Moderate F-2 Low
Hazardous H-1 Detonate H-2 Defflagrate H-3 Combust H-4 Health H-5 HPM
Institutional I-1 CONDITION I-2 I-3 CONDITION I-4
Mercantile M-1 M-2 M-3 M-4 M-5
Residential R-1 R-2 R-3 R-4
Storage S-1 Moderate S-2 Low High-piled
Utility and Miscellaneous Parking Garage Open Enclosed Repair Garage

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions (Chapter 5 - List Code Sections):
Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____
 Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Use (508.4)
See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE 1.5	(D) ALLOWABLE AREA PER STORY OR UNLIMITED 2.3
1	BUSINESS	1536	9000		
TOTAL					

1 Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
b. Total Building Perimeter = _____ (P)
c. Ratio (F/P) = _____ (F/P)
d. W = Minimum width of public way = _____ (W)
e. Percent of frontage increase $I = 100 [(F/P) - 0.25] \times W/30$ (%)
2 Unlimited area applicable under conditions of Section 507.
3 Maximum Building Area = total number of stories in the building x D (minimum 3 stories) (506.2).
4 The maximum area of open parking garages must comply with Table 406.5.4.
5 Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT (SECTION 1106)

	ALLOWABLE (TABLE 503)	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	55'	16'-5"	
Building Height in Stories (Table 504.4)	3	1	

1 Provide code reference if the "Show on Plans" quantity is not based on Table 504.3 or 504.4.
2 The maximum height of air traffic control towers must comply with Table 412.3.1
3 The maximum height of open parking garages must comply with Table 406.5.4

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (or REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses							
Bearing walls Exterior							
North			N/A				
East			N/A				
West			N/A				
South			N/A				
Interior							
Nonbearing walls and Partitions							
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions							
Floor construction including supporting beams and joists							
Roof construction including supporting beams and joists							
Roof construction including supporting beams and joists							
Roof ceiling Assembly							
Column supporting roof							
Shafts Enclosures - Exit							
Shafts Enclosures - Other							
Corridor Separation							
Occupancy/Fire Barrier Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Tenant/Dwelling Unit/Sleeping Unit Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENINGS CALCULATIONS

FIRE SEPARATION DISTANCE (FEET FROM PROPERTY LINES)	DEGREES OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS

Life Safety Plan Sheet #: **61**

Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distance (1017)
 Common path of travel distances (1006.2.1 & 2006.3.2(1))
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation and supporting construction for a fire barrier/fire partition/smoke barrier.
 Location of doors with panic hardware (1010.1.10)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of emergency escape windows (1030)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

Section/Table/Note	Title

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	
SEE SITE PLAN						
TOTAL						

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	SPACE	EXISTING	WATER CLOSETS			URINALS	LAVATORIES			SHOWERS/TUBS	DRINKING FOUNTAINS	
			MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX		REGULAR	ACCESSIBLE
		NEW										
		REQUIRED										

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, SCO, DPI, DHHS, ICC, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs. annual energy cost for the proposed design.
Existing building envelope complies with code: No Yes (the remainder of this section is not applicable)
Existing building: No Yes (Provide Code or Statute reference)

Climate Zone: 3A 4A 5A
Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive
(If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
Description of assembly: **ATTIC WITH WOOD TRUSSES**
U-Value of total assembly: **0.021**
R-Value of insulation: **38**
Skylights in each assembly: -
U-Value of skylight: -
Total square footage of skylights in each assembly: **0**

Exterior Walls (each assembly)
Description of assembly: **WOOD FRAME, 6-INCH STUDS 16" O.C.**
U-Value of total assembly: **0.081**
R-Value of insulation: **12**
Openings (windows or doors with glazing)
U-Value of assembly: **0.094**
Solar heat gain coefficient: **0.30**
U-Value of assembly: **0.094**
Projection factor: **0.20**
Door R-Values: **1.25**

Walls below grade (each assembly)
Description of assembly: **N/A**
U-Value of total assembly: **N/A**
R-Value of insulation: **N/A**

Floors over unconditioned space (each assembly)
Description of assembly: **N/A**
U-Value of total assembly: **N/A**
R-Value of insulation: **N/A**

Floor slab on grade
Description of assembly: **MONOLITHIC SLAB**
U-Value of total assembly: **0.11**
R-Value of insulation: -
Horizontal/Vertical requirement: -
R-Value of insulation: -
Slab Heated: -

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

Importance Factors: Snow (I_s) **1.0**
Snow (I_e) **1.0**

Live Loads: Roof **20** psf
Mezzanine **psf**
Floor **100** psf

Ground Snow Load: **1.0** psf

Wind Load: Ultimate Wind Speed **120** mph (ASCE-7)
Exposure Category _____

SEISMIC DESIGN CATEGORY: A B C D
Provide the following Seismic Design Parameters:
Occupancy Category (Table 1604.5) I II III IV
Spectral Response Acceleration S_e %g %g
Site Classification (ASCE 7) A B C D
Date Source: Field Test Presumptive Historical Data
Basic structural system Bearing Wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum
 Simplified Equivalent Lateral Force Dynamic
Analysis Procedure: Architectural, Mechanical, Components anchored? Yes No

LATERAL DESIGN CONTROL: Earthquake Wind

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) _____ psf
Presumptive Bearing Capacity **2000** psf
Pile size, type, and capacity _____ psf

SHELL VARIABLE FORM (for all spaces - see plan)
(THIS SECTION REQUIRED FOR ALL SHELL ALTERATIONS TO SHELL AND INTERIOR COMPLETION PROJECTS)
Check each applicable line to match scope of work. Edit as necessary to provide clear detail of installation.

Mechanical
 No work
 Equipment set with without power
 Trunk line installed with without outlets
 Gas Line
 Install complete operational system
Other _____

Plumbing
 No work
 Install water service and sewer
 Install building drain to yard or water distribution main with without branches
 Install complete plumbing system
Other ROUGH-INS ARE INCOMPLETE, ADD IN-SLAB WORK IS REQUIRED. WATER SERVICE IS EXISTING (PRESENTLY INSTALLED).
Sprinkler
 Install complete sprinkler system
Building
 Install slab partial complete
 Install demising walls
 Install interior partitioning partial complete
 Install Ceilings
 White box (additional interior completion permits are required for Certificate of Occupancy and power)
Other _____

Electrical
 House panel
 Service laterals to meter centers/panels located on buildings
 Demise wall and ceilings only
 Conduit, duct, raceway in slab
 Power and lighting circuits to "J" Box
 Install light fixtures
 Install Heat/AC/Elevator/Generator
 Parking lot lighting
 Install complete system
Other SUITE PANEL AND SERVICE ARE EXISTING (PRESENTLY INSTALLED). Please provide full information on any alternate methods and means incorporated into the design of this project. Provide specific details and incorporate into plan submittal any supporting documents or agreement

SPECIAL INSTRUCTIONS (CHAPTER 17)
SPECIAL INSPECTIONS SHALL BE CONDUCTED ON ALL PROJECTS THAT FALL WITHIN BUILDING CATEGORIES AND/OR CONTAIN ELEMENTS SUBJECT TO SPECIAL INSPECTIONS AS PRESCRIBED BY REVISED SECTION 1704.

To schedule a required pre-construction meeting with the City of Fayetteville, please call Doug Maples at (910) 433-1703. The main line number for the Development Services Center is (910) 433-1701.

List whom will inspect the required special inspections:
Fabricator of load bearing components
Soil tests
Concrete, caissons, piles, piers, pre-cast
Post tension concrete
Modular construction
Steel and connections, welds, bolts, anchors

Fire spray tests
Smoke control
Seismic, wind designs, Quality Assurance
Retaining walls
Masonry
Wood
Alternate Methods
EIFS
Other (describe)
Other (describe)
Owner or agent _____

SPECIAL APPROVALS:
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)
NONE

COUNTY OF HARNETT
2018 APPENDIX B
BUILDING CODE SUMMARY
for:
NEW BUILDING FOR SEAVIEW CRAB COMPANY

H.M. CAGLE DRIVE
CAMERON, NORTH CAROLINA
28326



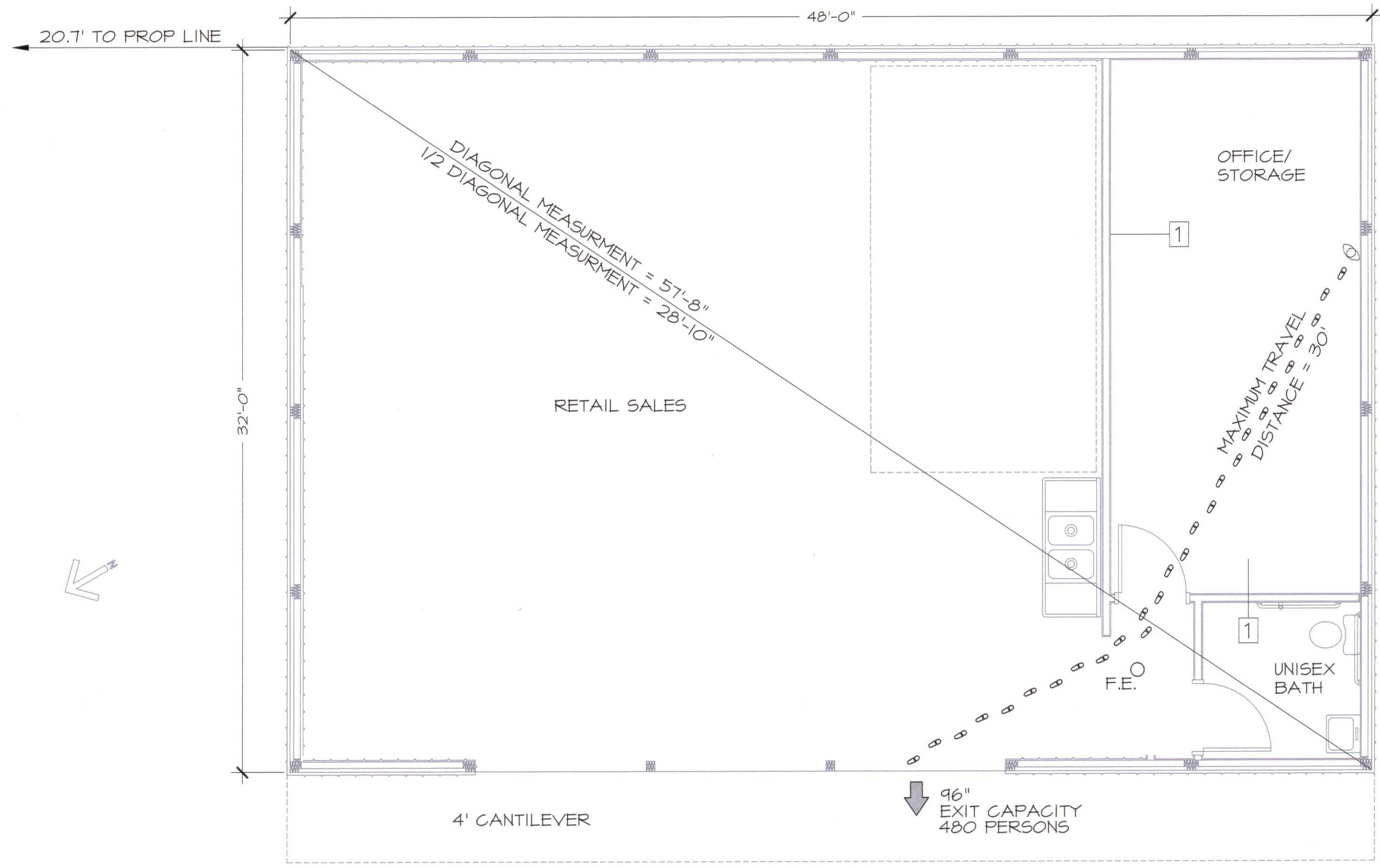
BC

REVISIONS
5-22-21 INTERIOR LAYOUT

GEORGE M. ROSE, P.E.
P.O. BOX 53441
FAYETTEVILLE, NC 28305
910-977-5822 FAX 910-485-5823 EMAIL grose9295@gmail.com

NEW BUILDING FOR
SEAVIEW CRAB COMPANY
HARNETT COUNTY, NC
H.M. CAGLE DRIVE
LIFE SAFETY PLAN

DATE: APR 2021
DRAWN BY: GMR
CHECKED: GMR
SCALE: NOTED
SHEET NO.
LS



LIFE SAFETY PLAN
1/4" = 1' - 0"

OCCUPANCY INFORMATION SUMMARY

GROSS SQUARE FOOTAGE = 1,536
TYPE OF CONSTRUCTION: V-B
SPACE OCCUPANCY (INSIDE THE BUILDING) BY NET SF USING TABLE 1004.1.1
MERCANTILE: 1536 SF/60 SF PER PERSON = 1536/60 = 26 PERSONS
= 13 MALES, 13 FEMALES
MAXIMUM TRAVEL DISTANCE SHOWN: 30 FEET (PER 1016)
MAXIMUM ALLOWABLE TRAVEL DISTANCE: 250 FEET (PER 1017.2)
THE COMMON PATH OF TRAVEL IS LESS THAN 75 FEET. (PER 1029.8)
THERE ARE NO DEAD END CORRIDORS OVER 20 FEET. (PER 1020.4)
MIN. NO. OF EXITS REQ'D: ONE (PER TABLE 1006.2.1)
NUMBER OF EXITS PROVIDED: ONE (OPEN AREA ACROSS FRONT OF BUILDING)
MAXIMUM DIAGONAL LENGTH = 57'-8"

EGRESS DOORS DO NOT REQUIRE PANIC HARDWARE. (PER 1008.1.10)
DOORS DO NOT HAVE DELAYED EGRESS LOCKS (PER 1008.1.9.7)
DOORS DO NOT HAVE ELECTROMAGNETIC EGRESS LOCKS (PER 1008.1.9.8)
DOORS DO NOT HAVE HOLD OPEN DEVICES.
THERE ARE NO EMERGENCY ESCAPE WINDOWS (PER 1029)
THERE ARE NO SLEEPING AREAS (SMOKE COMPARTMENTS) (PER 407.2)
EGRESS ILLUMINATION PROVIDED AT EACH EXIT (PER 1006)

THIS SPACE IS NOT PROTECTED BY FIRE SPRINKLERS.

NO. OF FIRE EXTINGUISHERS PROVIDED: ONE
PROVIDE FIRE EXTINGUISHERS UNDER THE FOLLOWING CONDITIONS:
1. WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT
2. IN AREAS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED, USED OR DISPENSED.
3. WHERE REQUIRED BY SECTIONS IN TABLE 906.1, N.C. BUILDING CODE
4. SPECIAL-HAZARD AREAS WHERE REQUIRED BY FIRE CODE OFFICIAL.

THERE ARE NO EXTERIOR BEARING WALLS.

LEGEND	
F.E. O	ABC FIRE EXTINGUISHER SUGGESTED LOCATION
⊕ ⊖ ⊕	EXIT ROUTE
➔ 36"	EXIT WIDTH
EXIT	EXIT SIGN

WALL TYPES
1 2X4 WOOD STUDS WITH 5/8" SHEETROCK TO UNDERSIDE OF ROOF TRUSSES





VICINITY MAP
NO SCALE

LEGEND

- CP COMPUTED POINT (PROPERTY CORNER)
- LP EXISTING LIGHT POLE
- PP EXISTING POWER POLE
- OHE--- EXISTING OVERHEAD ELECTRICAL
- 373--- EXISTING CONTOUR

NOTES

1. SITE IS LOCATED ON A 11.57 AC TRACT PER PB 2000 PG 747 ADJACENT TO THE HARNETT YMCA FACILITY.
2. PROPERTY OWNER:
HM'S KIDS INC
3035 NC HIGHWAY 87 S
CAMERON, NC 28326
3. REFERENCE: DB 3064 PG 648, PB 2000 PG 747
4. PIN NO: 4585-70-2010.000
5. NC 87 IS ON THE HARNETT COUNTY COMPREHENSIVE TRANSPORTATION PLAN.
6. THIS DEVELOPMENT IS WITHIN THE FIVE MILE MILITARY CORRIDOR OVERLAY ZONE, AND MAY BE SUBJECT TO MILITARY TRAINING ACTIVITIES.
7. PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE BUILDING AND PROJECT LANDSCAPING.
8. TRASH GENERATED BY THIS OPERATION IS HAULED OFF PREMISES BY THE OWNER ON THURSDAYS AND SATURDAYS. NO DUMPSTER AREA IS PROPOSED.
9. SEWER SERVICE INSTALLATION BY OPEN CUT. SEE ASPHALT REPAIR DETAIL THIS SHEET FOR ASPHALT PLACEMENT.
10. A LICENSED UTILITY CONTRACTOR WILL INSTALL THE PROPOSED WATER AND SEWER SERVICES.
11. THE SEWER SERVICE FROM THE HRW EASEMENT LINE IS PRIVATE.
12. WATER USE CALCULATIONS:
3 EMPLOYEES X 25 GAL/EMPLOYEE/SHIFT = 75 GALLONS PER DAY.
ESTIMATE ADDITIONAL 25 GAL/DAY FOR HOSE BIBS, MISCELLANEOUS.
TOTAL WATER USAGE = 75 + 25 = 100 GALLONS PER DAY.
13. HOURS OF OPERATION:
THURSDAY 11:00 - 6:00
FRIDAY 11:00 - 6:00
SATURDAY 10:00 - 6:00
SUNDAY 10:00 - 4:00
14. PERMISSION TO CROSS CENTRAL ELECTRIC 100' POWER LINE EASEMENT WITH NEW WATER AND SEWER SERVICES GIVEN BY LETTER FROM DIRECTOR OF ENGINEERING SERVICES MICHAEL DOWDY. NO ADDITIONAL EASEMENTS REQUIRED.
15. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL HARNETT COUNTY STANDARDS AND SPECIFICATIONS.
16. THE CONTRACTOR MUST CONTACT THE NORTH CAROLINA CALL CENTER AT 800-632-4949 12 HOURS PRIOR TO DIGGING IN ORDER TO LOCATE ALL EXISTING UTILITIES.

AS THE OWNER OF RECORD, I HEREBY FORMALLY CONSENT TO THE PROPOSED DEVELOPMENT SHOWN ON THIS SITE PLAN AND ALL REGULATIONS AND REQUIREMENTS OF THE HARNETT COUNTY ORDINANCES.

DATE _____ NATHAN KING

LANDSCAPING REQUIREMENTS

TYPE C BUFFER REQUIRED FOR THIS DEVELOPMENT
H.M. CAGLE DRIVE FRONTAGE = 178'

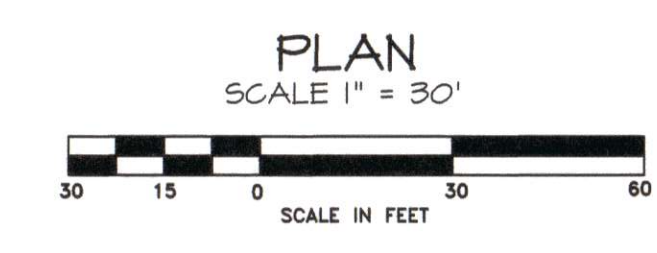
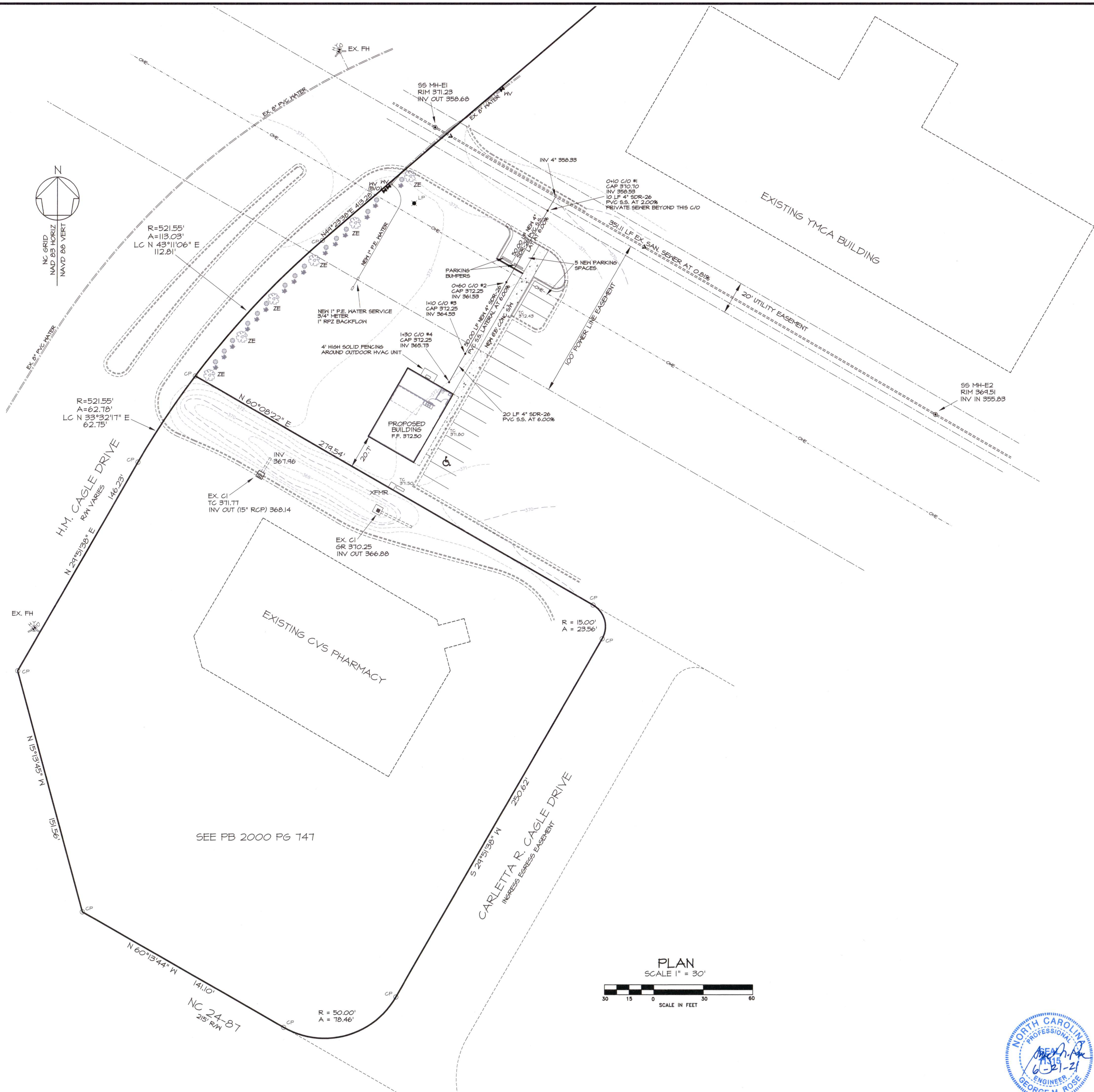
1. LARGE MATURING TREE REQUIRED FOR EVERY 30' OF FRONTAGE
178/30 = 6 TREES
2. 5 LOW-GROWING SHRUBS REQUIRED FOR EVERY TREE
6(5) = 30 TOTAL SHRUBS REQUIRED

LANDSCAPING NOTES

1. SHRUBBERY IS TO BE PLANTED MIN. 30" FROM CURBING AND PARKING SPACES TO PREVENT DAMAGE FROM CAR OVERHANGS.
2. SHRUBS INSTALLED AS VEHICULAR USE SCREENING ARE TO BE MAINTAINED AT MIN. HEIGHT 36". MIN. INSTALLATION HEIGHT 24".
3. LIGHT POLES TO BE MIN. 15' FROM TREES. ANY FIELD ADJUSTMENTS MUST COMPLY WITH THIS STANDARD AND BE APPROVED BY CITY STAFF PRIOR TO INSTALLATION.
4. EACH TREE SHALL BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE ROOT FLARE WITH MULCH.
5. DO NOT PLACE MULCH IN CONTACT WITH THE TREE TRUNK. KEEP MULCH A MINIMUM OF 4 INCHES AWAY FROM THE TRUNK BASE.

PLANTING LEGEND

CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
ZE	6	ZELKOVA SERRATA	ZELKOVA GREEN VASE	2'	MIN. 8' HEIGHT
SHRUBS					
CJ	15	CLEYERA JAPONICA	JAPANESE CLEYERA	MIN 18"	
CH	15	ILEX CORNUTA	CARISSA HOLLY	MIN 18"	



REVISIONS

5-26-21	NOTES, S/M WIDTH
6-11-21	PER DRB COMMENTS
6-21-21	NOTES

GEORGE M. ROSE, P.E.
P.O. BOX 53441
FAYETTEVILLE, NC 28305
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NEW BUILDING FOR
SEAVIEW CRAB COMPANY
HARNETT COUNTY, NC
H.M. CAGLE DRIVE
SITE PLAN

DATE: APR 2021
DRAWN BY: GMR
CHECKED: GMR
SCALE: NOTED

SHEET NO.
SP1

2023 NEW REQUIRED UTILITY NOTES

- 1. The Plan Manufacturer shall provide all relevant notes and location to new construction. However, Harvest Regional Water (HRW) provides the contractor to install one of the following items.
2. The Utility Contractor shall provide HRW with a least one (1) copy of each design report to be submitted to HRW.
3. The Utility Contractor shall provide HRW with a least one (1) copy of each design report to be submitted to HRW.

- 4. The Utility Contractor shall provide HRW with a least one (1) copy of each design report to be submitted to HRW.
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- 10. The Utility Contractor shall provide HRW with a least one (1) copy of each design report to be submitted to HRW.
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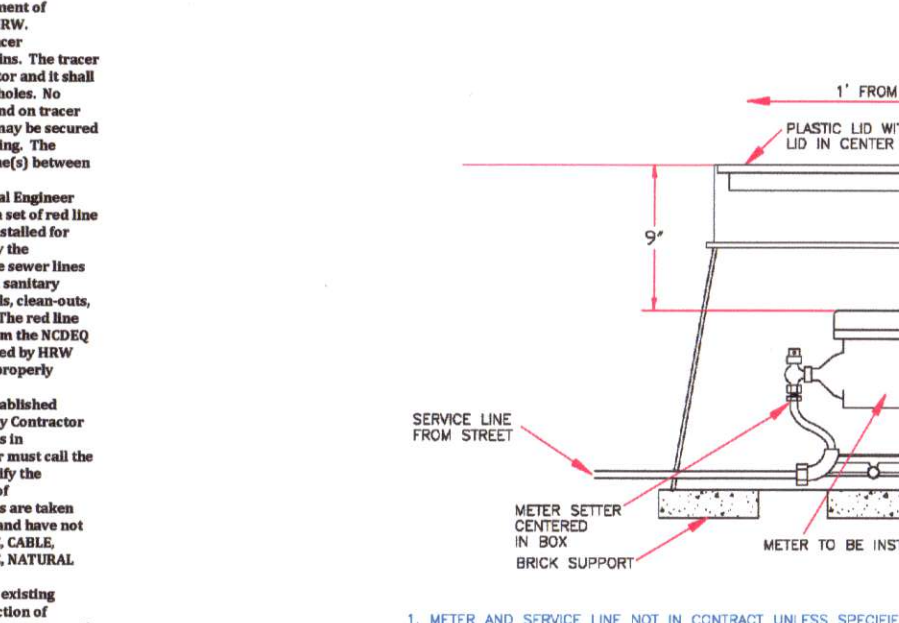
- 28. The Utility Contractor shall provide HRW with a least one (1) copy of each design report to be submitted to HRW.
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- 31. The Utility Contractor shall provide HRW with a least one (1) copy of each design report to be submitted to HRW.
32. The Utility Contractor shall provide HRW with a least one (1) copy of each design report to be submitted to HRW.
33. The Utility Contractor shall provide HRW with a least one (1) copy of each design report to be submitted to HRW.

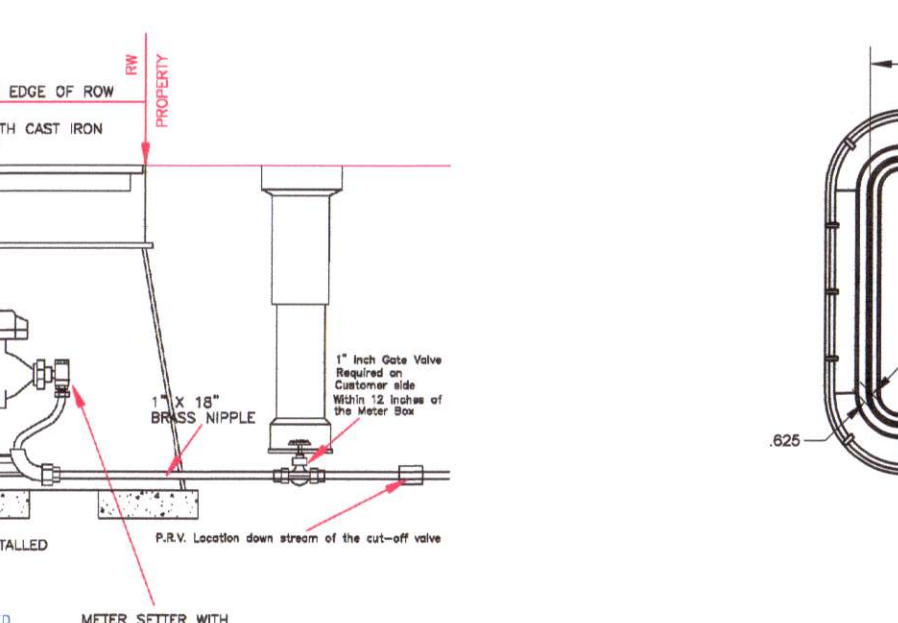
- 34. The Utility Contractor shall provide HRW with a least one (1) copy of each design report to be submitted to HRW.
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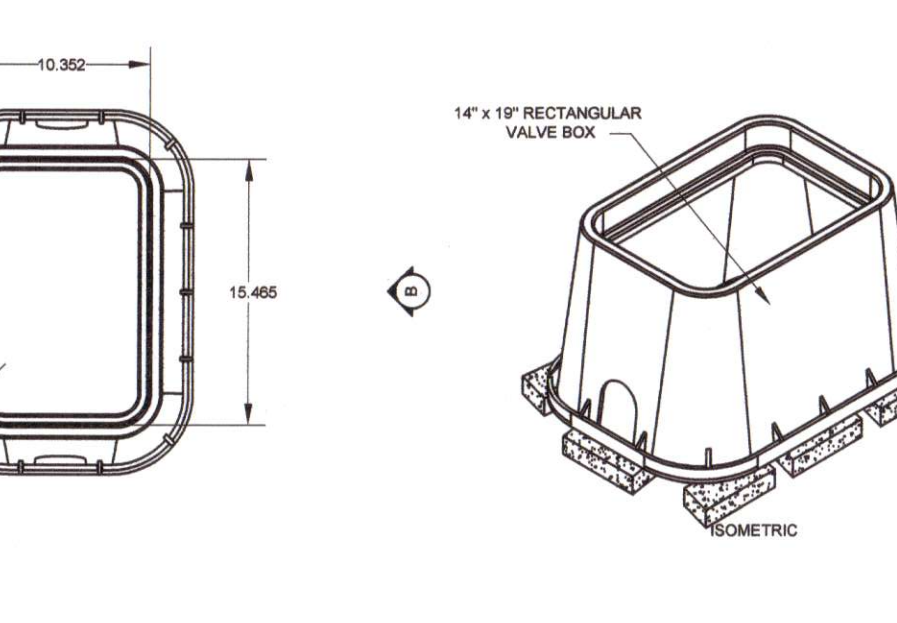
- 40. The Utility Contractor shall provide HRW with a least one (1) copy of each design report to be submitted to HRW.
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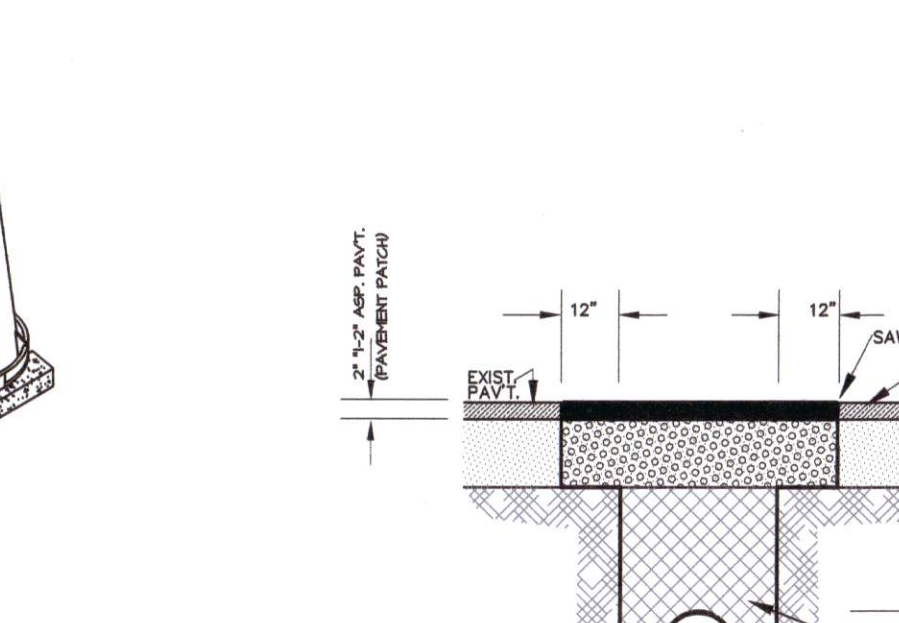
TYPICAL 1\"/>



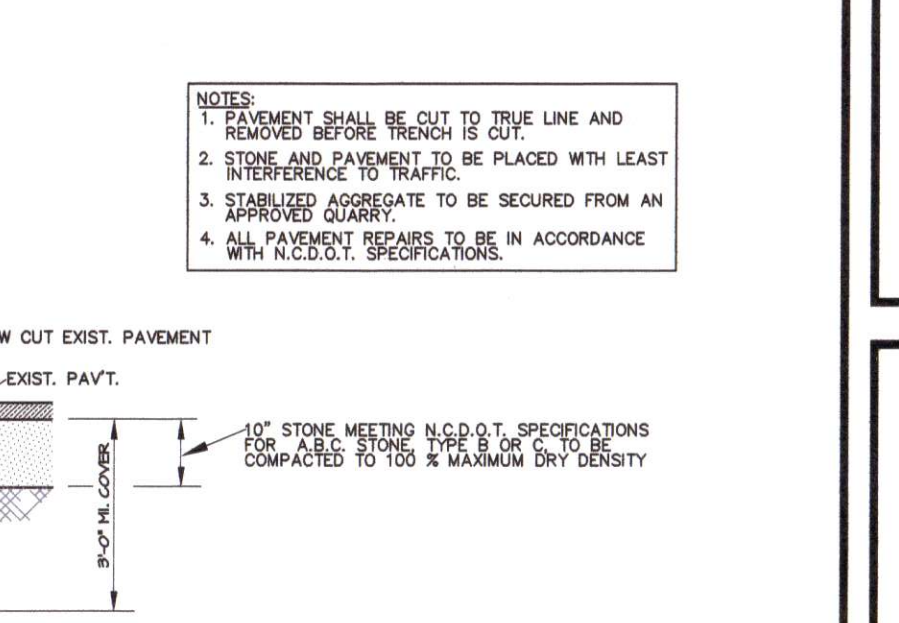
TYPICAL METER BOX DETAIL (8)



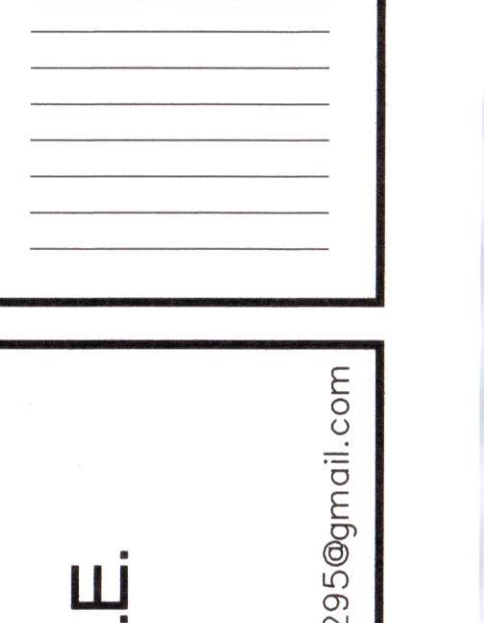
TRENCH IN BITUMINOUS SURFACE AREAS DETAIL (13)



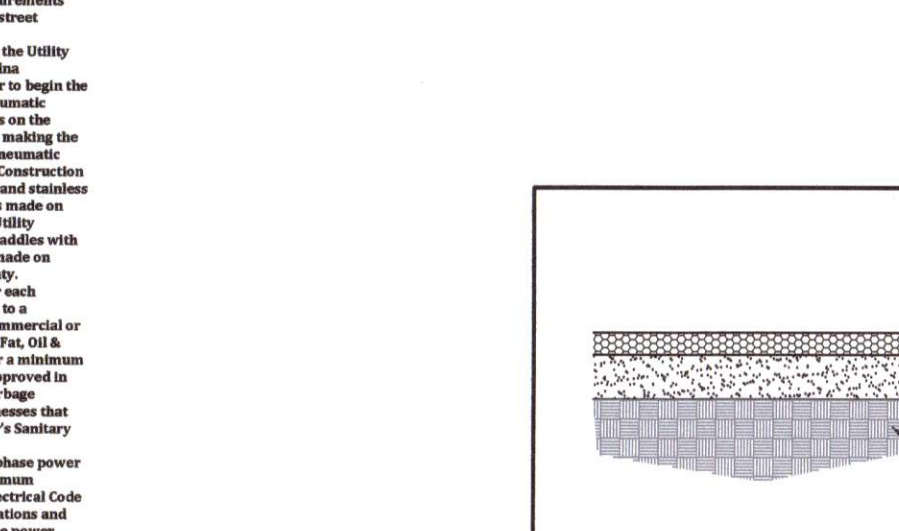
TYPICAL WATER SERVICE CONNECTION USING TAPPING SADDLE DETAIL (7)



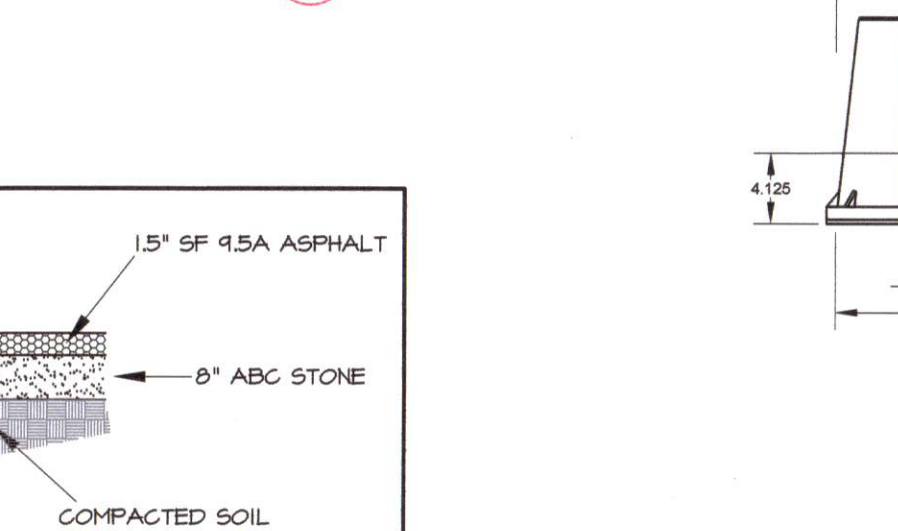
TYPICAL METER BOX AMR LID DETAIL (9)



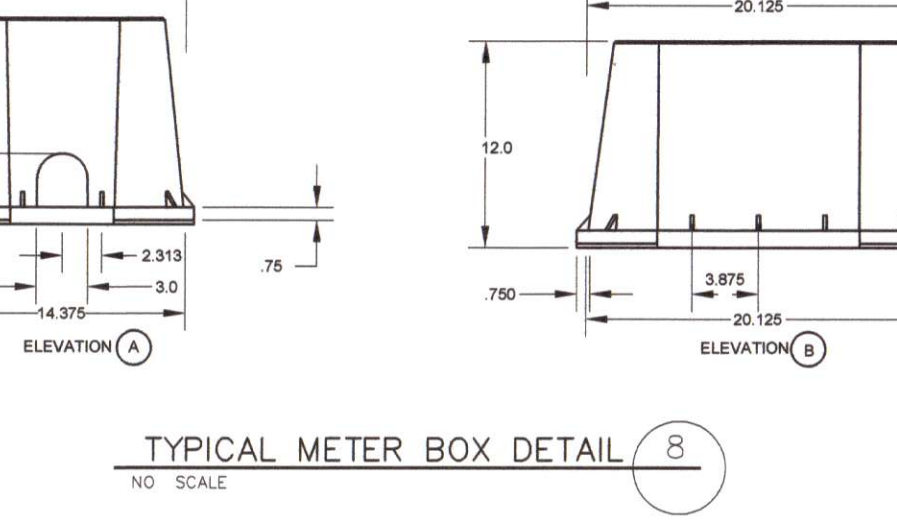
TYPICAL SEWER SERVICE CONNECTION DETAIL (S)



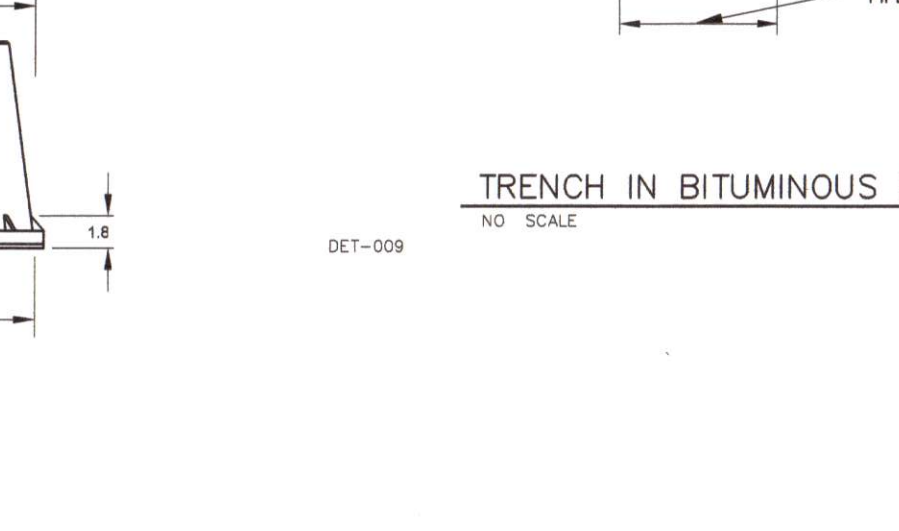
TYPICAL LAYING CONDITIONS (14)



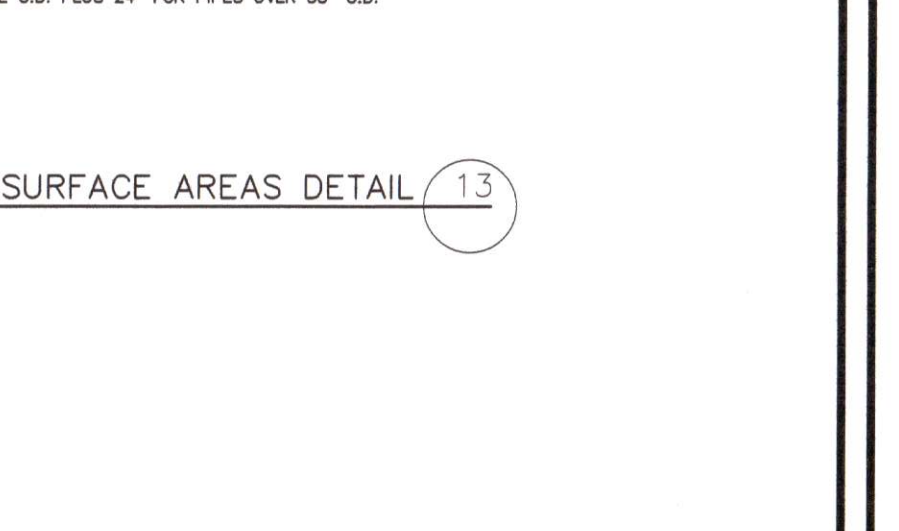
TYPICAL METER SETTER INSTALLATION DETAIL (10)



TYPICAL WATER SERVICE CONNECTION USING TAPPING SADDLE DETAIL (7)



TYPICAL METER BOX AMR LID DETAIL (9)



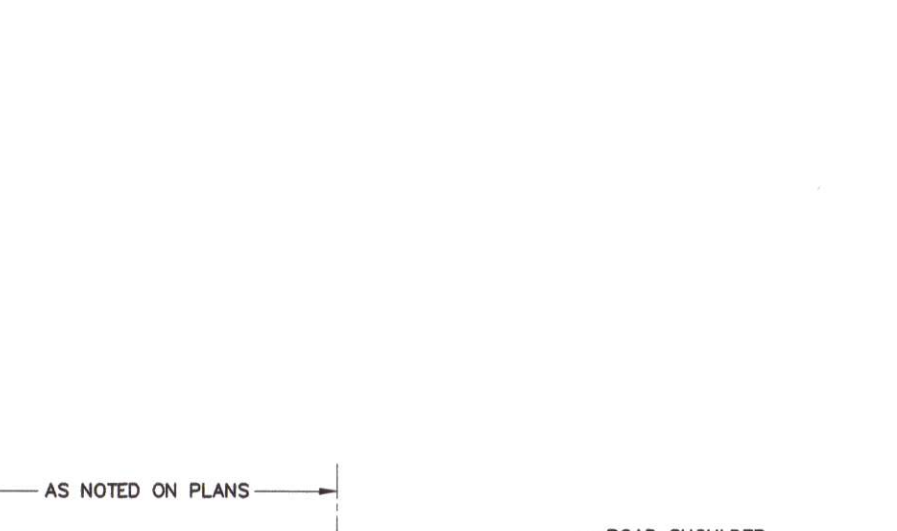
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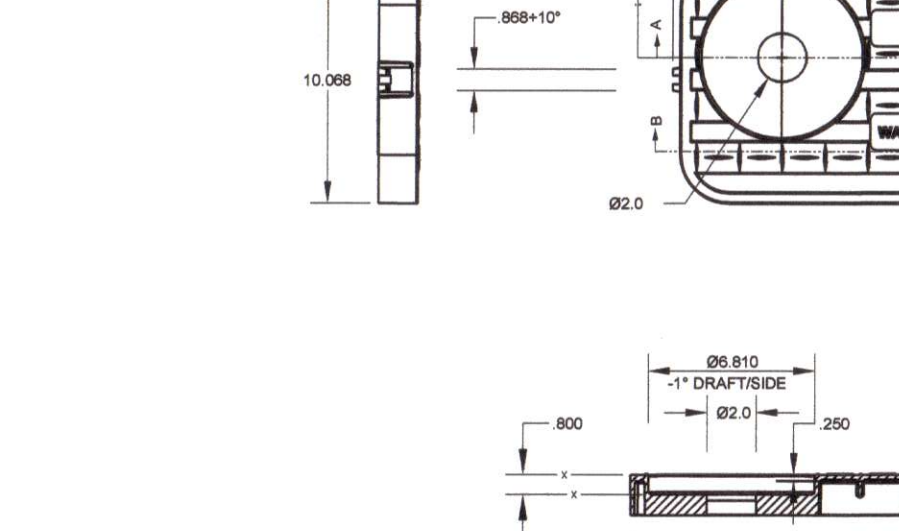
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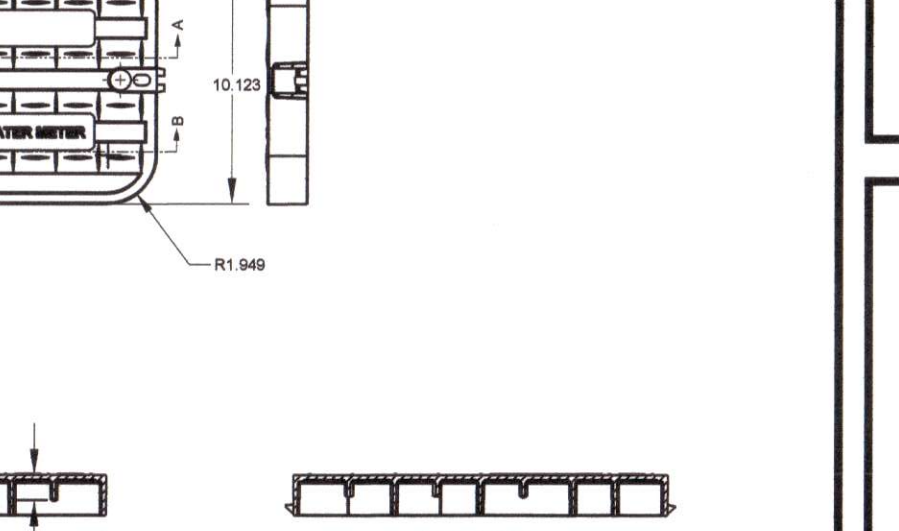
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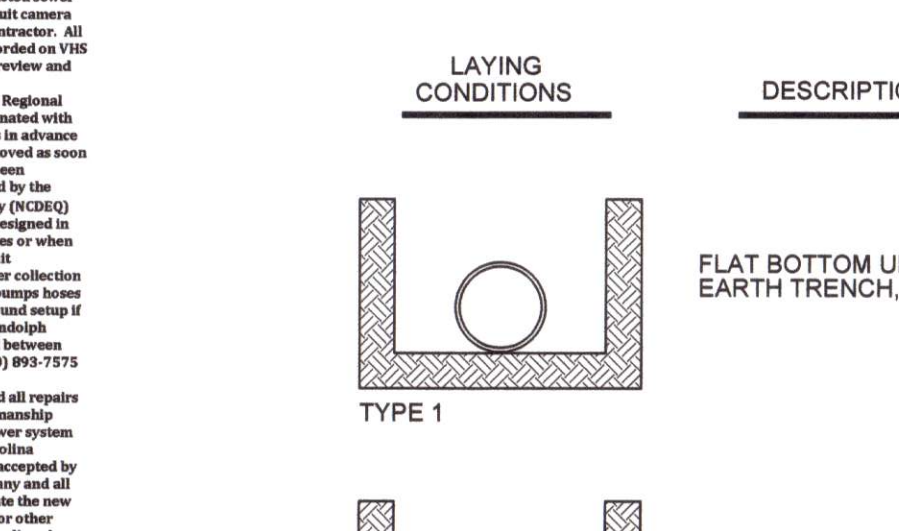
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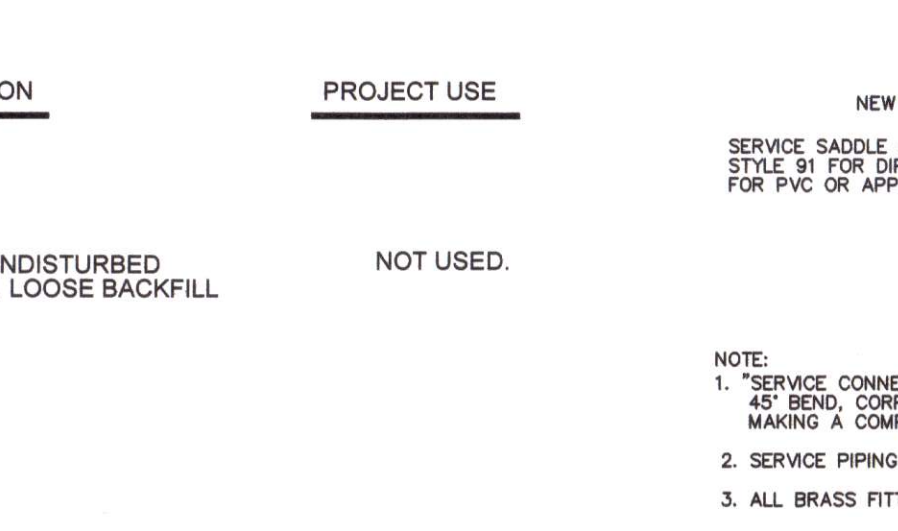
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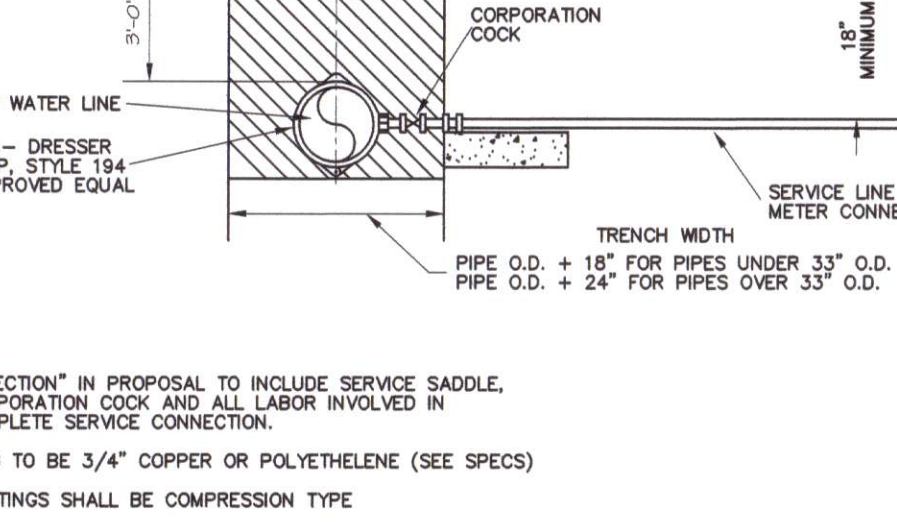
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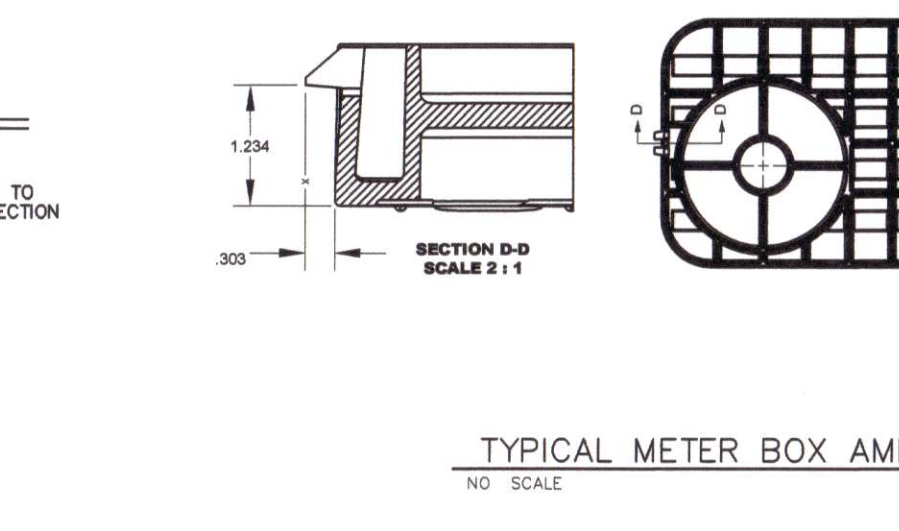
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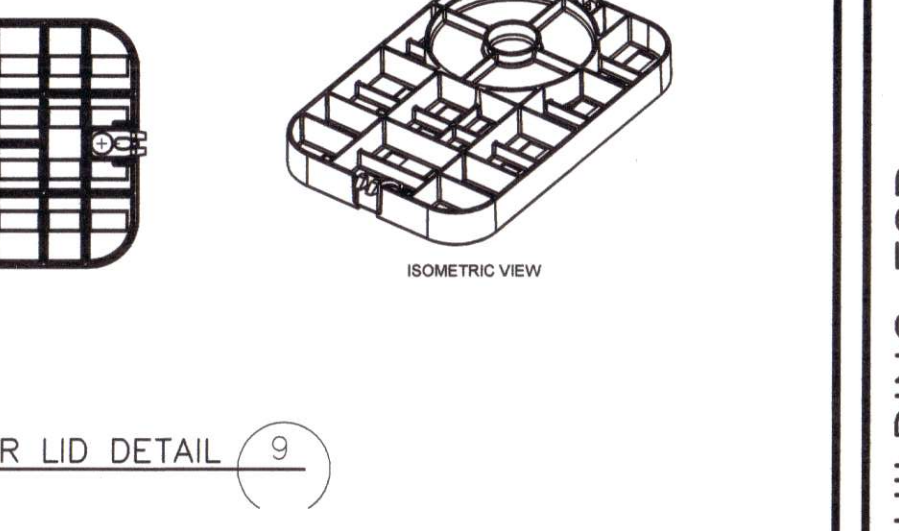
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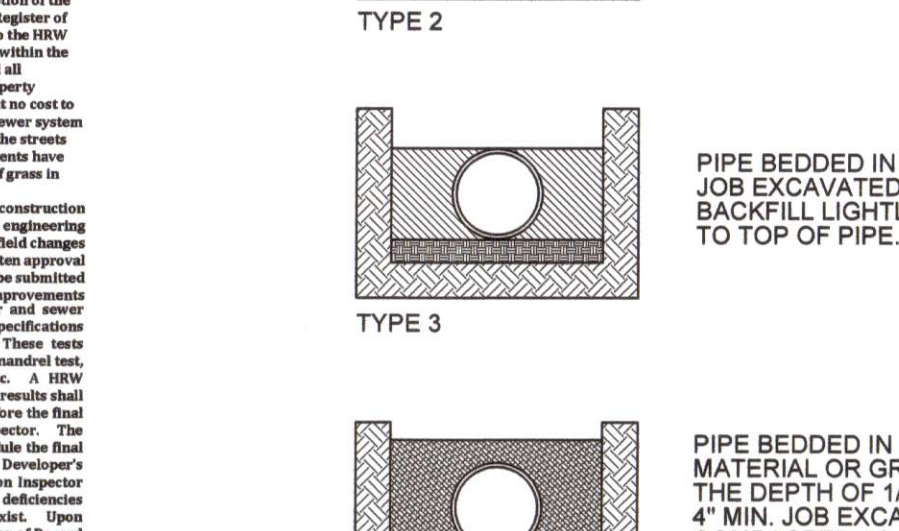
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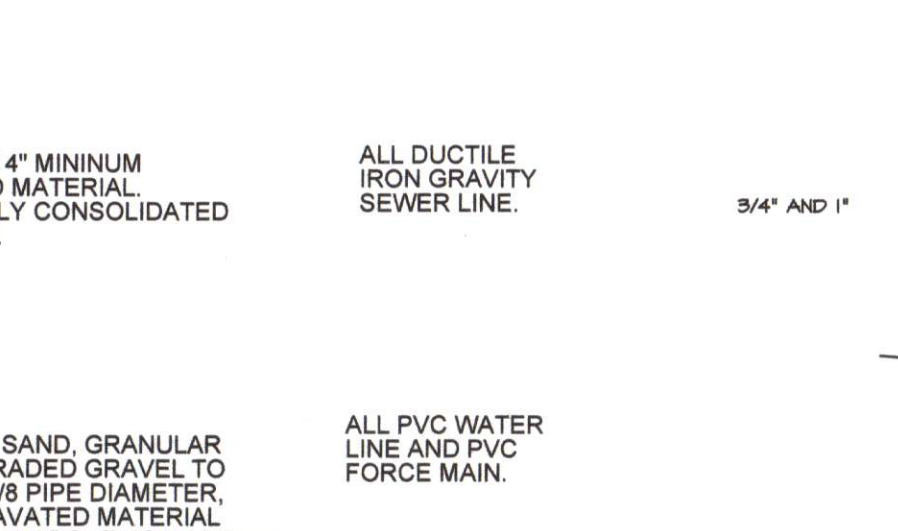
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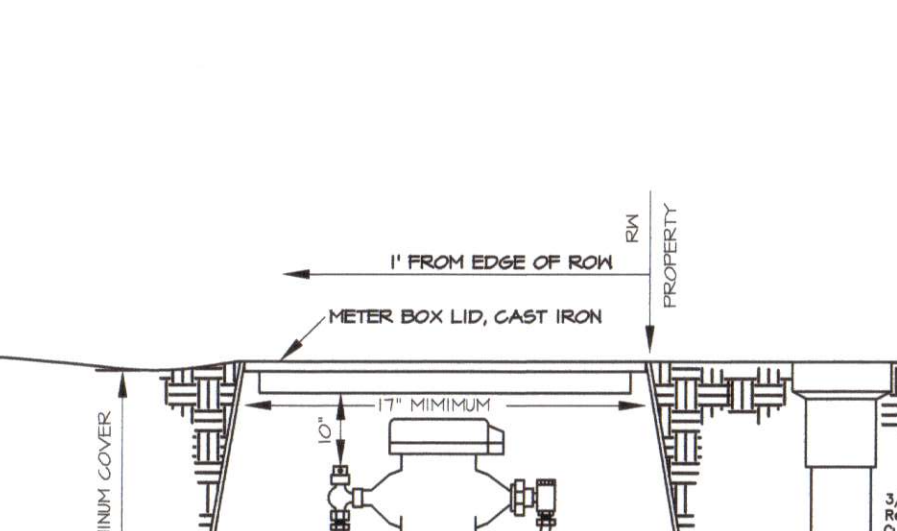
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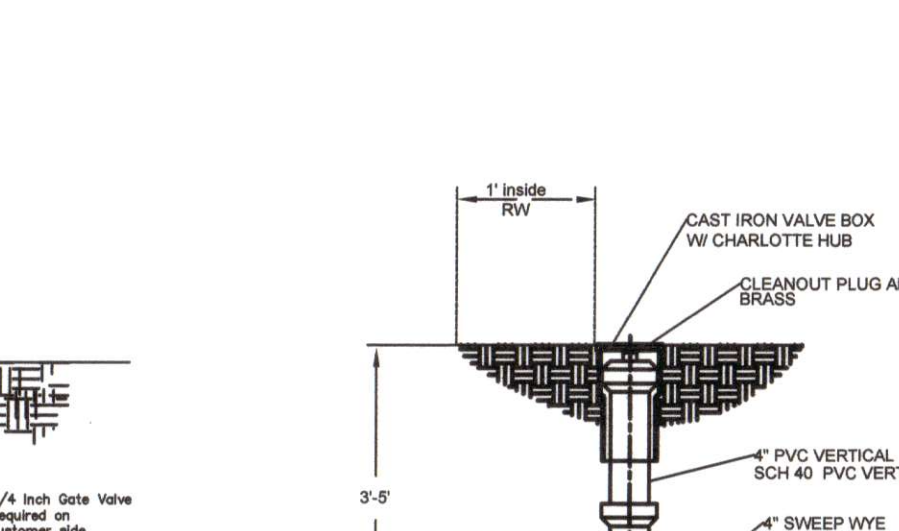
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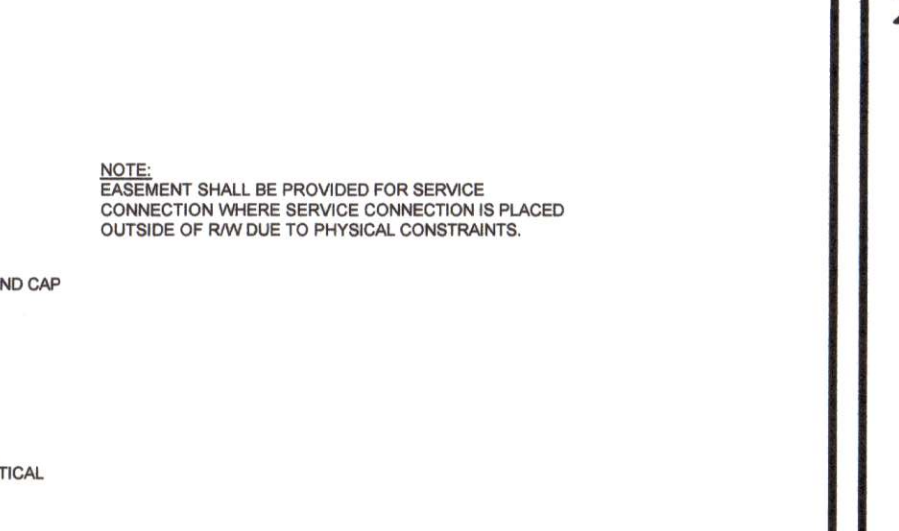
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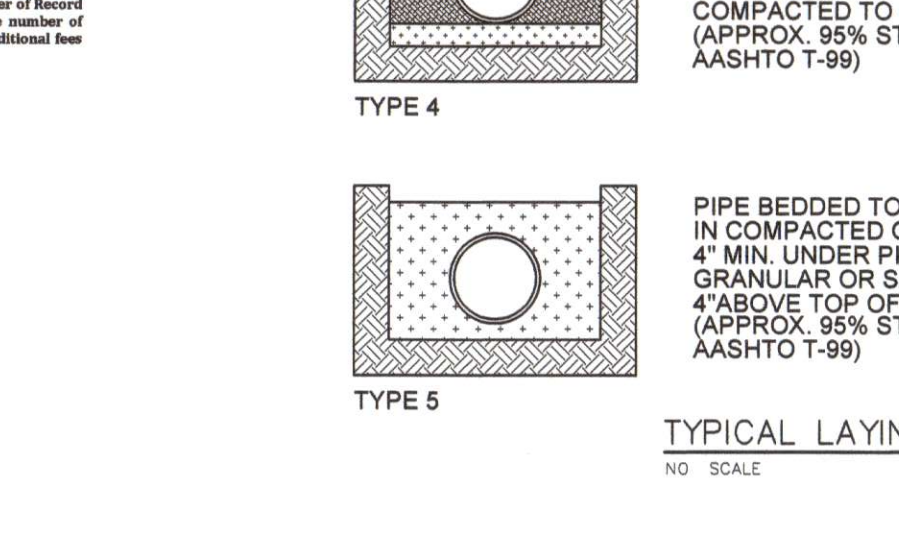
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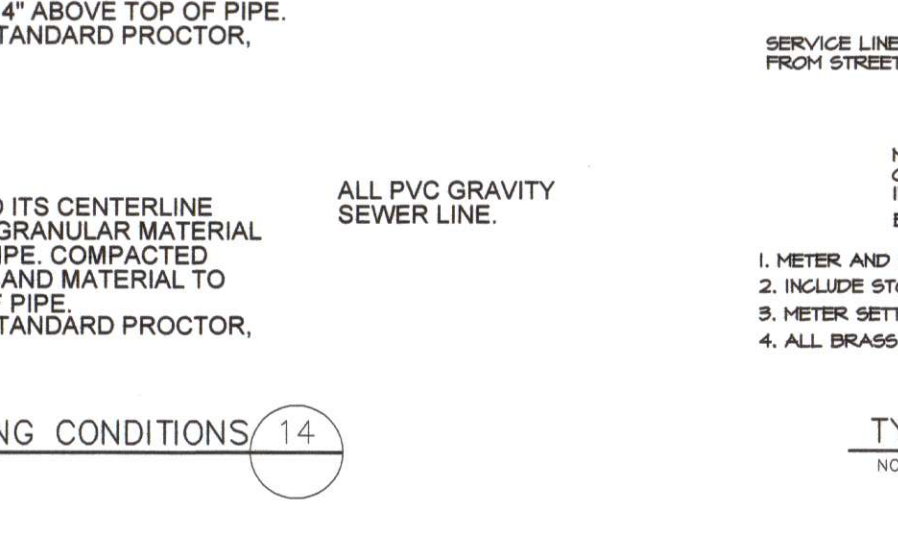
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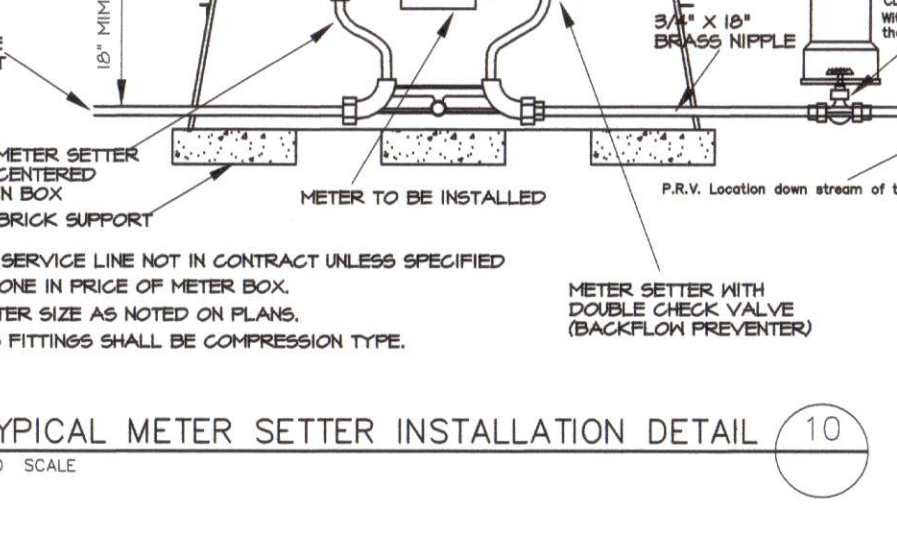
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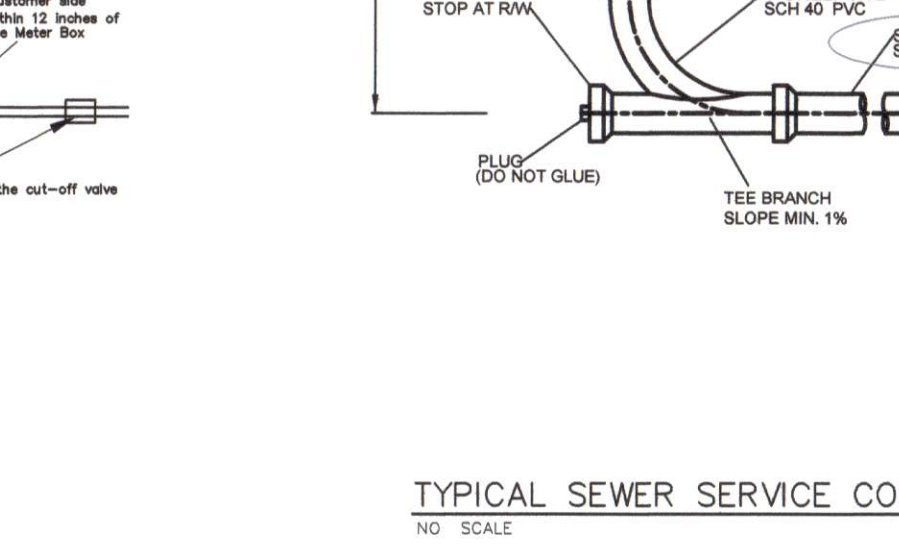
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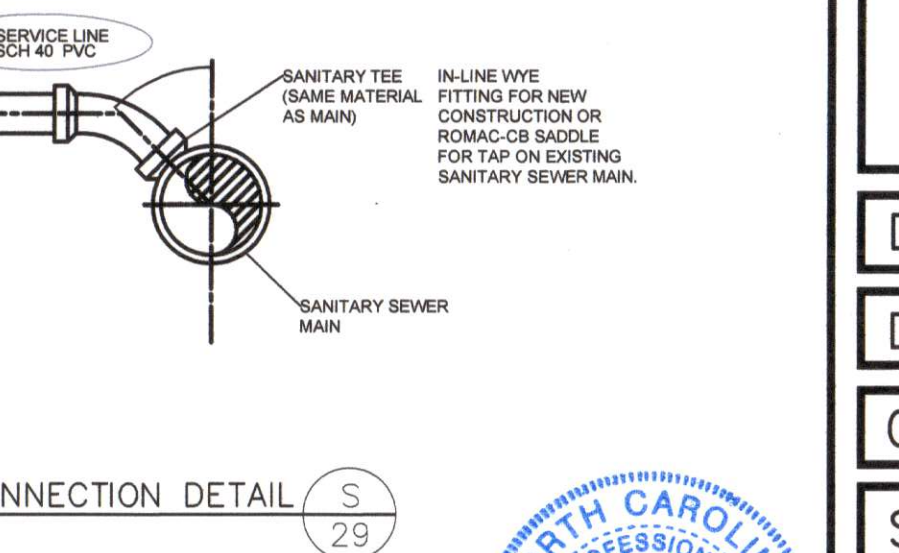
TYPICAL METER SETTER INSTALLATION DETAIL (10)



TYPICAL WATER SERVICE CONNECTION USING TAPPING SADDLE DETAIL (7)



TYPICAL METER BOX AMR LID DETAIL (9)



TYPICAL SEWER SERVICE CONNECTION DETAIL (S)

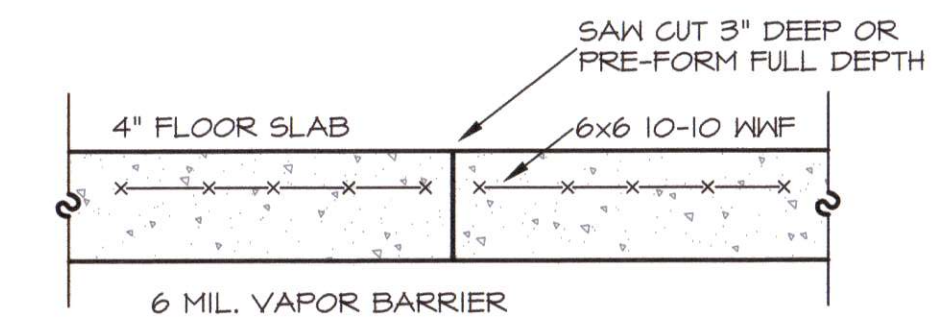
REVISIONS
6-11-21 PER DRB COMMENTS

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FAYETTEVILLE, NC 28305
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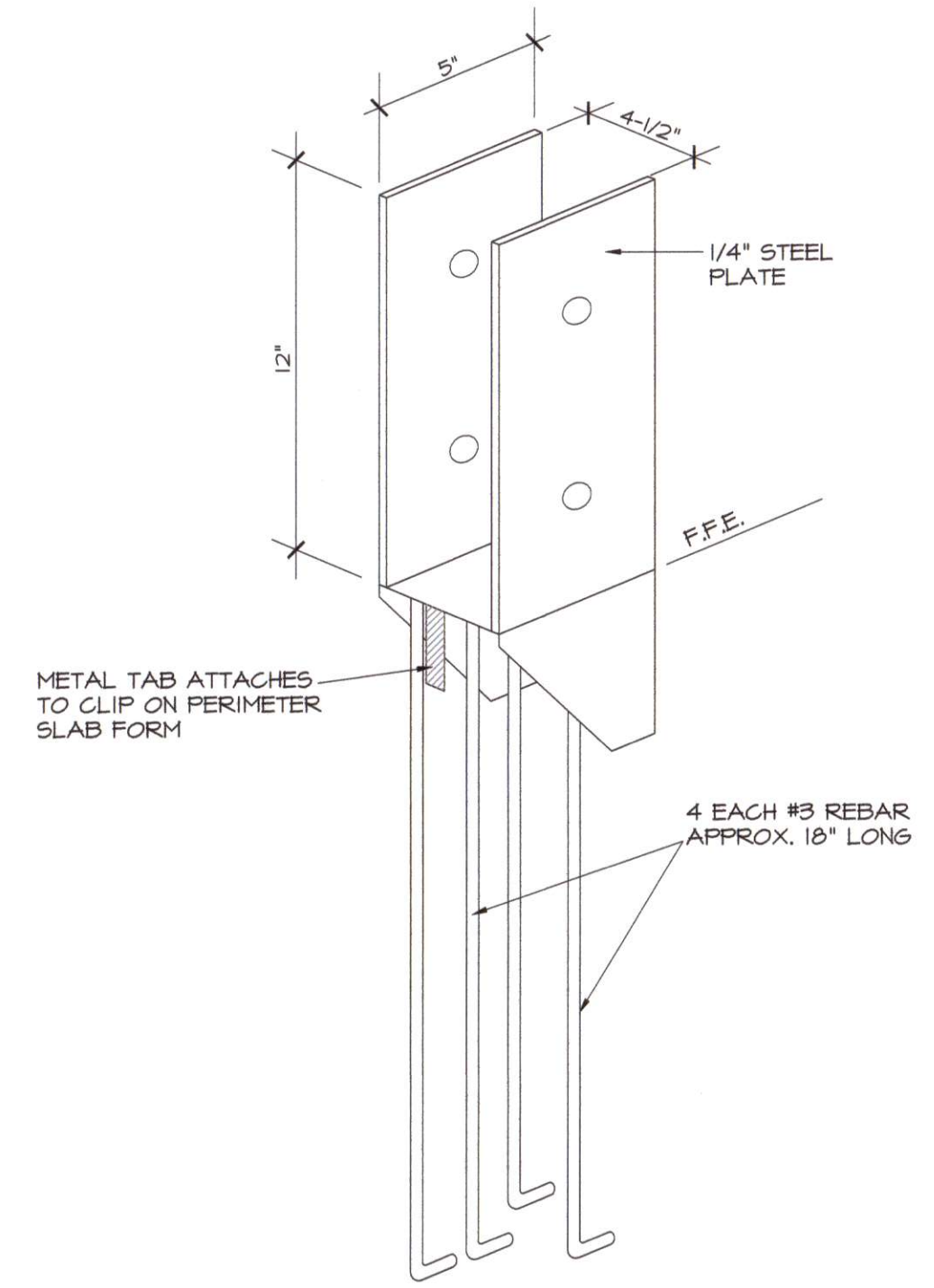
NEW BUILDING FOR SEAVIEW CRAB COMPANY
HARNETT COUNTY, NC
H.M. CAGLE DRIVE
CONSTRUCTION DETAILS

DATE: APR 2021
DRAWN BY: GMR
CHECKED: GMR
SCALE: NOTED
SHEET NO. SP2

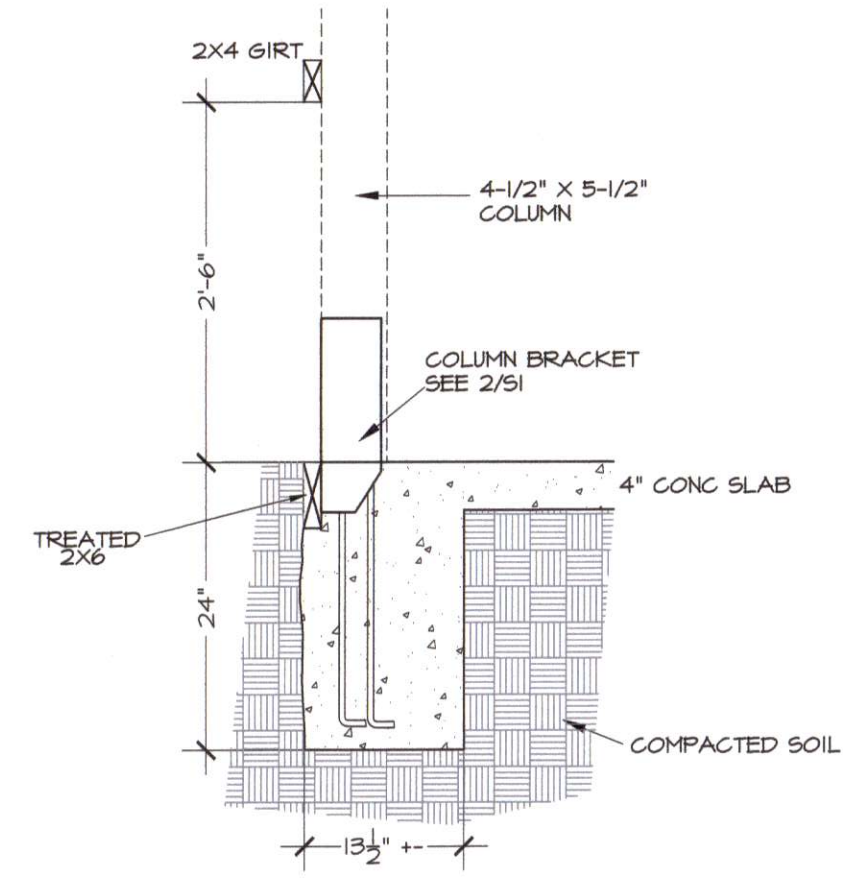




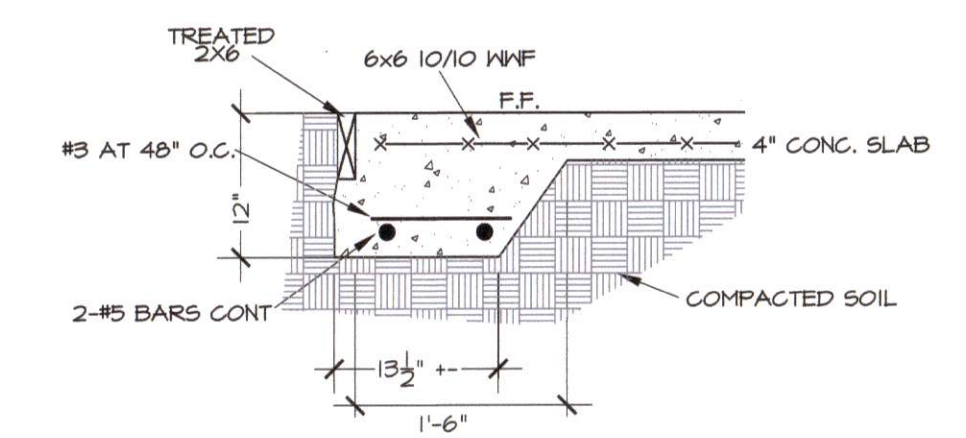
5 CONSTRUCTION JOINT
NO SCALE



4 COLUMN BRACKET
NO SCALE



3 FOOTING A
3/4" = 1'-0"



2 PERIMETER FOOTING
3/4" = 1'-0"

GENERAL CONDITIONS

THE GENERAL CONTRACTOR SHALL MAKE ADEQUATE SANITARY PROVISIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY AND COMPLIANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT AS IT MAY REGARD ANY PHASE OF THE WORK ON THIS PROJECT.

SOIL COMPACTION AND TESTING

THE GENERAL CONTRACTOR SHALL OBTAIN THE SERVICES OF A TESTING LABORATORY, SUCH AS S&ME OR LAW ENGINEERING FOR THE PURPOSE OF DETERMINING THE SUITABILITY OF THE SUBSURFACE CONDITIONS AND THE BEARING CAPACITIES OF ALL AREAS BELOW CONCRETE. THE SOIL AND BEARING REPORT SHALL BE SUBMITTED PRIOR TO EXCAVATING, WHERE POSSIBLE, BUT PRIOR TO PLACEMENT OF ANY REINFORCING AND CONCRETE. SOIL BEARING TO BE MIN. 2,000 PSF.

CONCRETE WORK

- ALL CONCRETE FOR THE PROJECT SHALL BE "READY MIX" AND SHALL COMPLY WITH ASTM C-94. ALL SECTIONS OF THE CONCRETE WORK SHALL COMPLY WITH ALL ASTM AND ACI REQUIREMENTS.
- FORM WORK - ALL FORMS TO BE CAREFULLY BUILT AND SECURED IN PLACE IN SUCH A MANNER AS TO HAVE SUFFICIENT STRENGTH TO CARRY THE DEAD WEIGHT OF THE CONSTRUCTION AS A LIQUID, WITHOUT DEFLECTION OR VIBRATION. FORMS TO BE BUILT TIGHT, TRUE TO POSITION AND DIRECTION, THOROUGHLY BRACED, WIRED AND SPIKED OR OTHERWISE FASTENED TOGETHER.
- CONCRETE - MINIMUM OF 3,000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS, MINIMUM OF FIVE SACKS OF CEMENT PER CUBIC YARD OF CONCRETE, MAXIMUM OF 4" SLUMP.
- FINISHING - IN ACCORDANCE WITH THE LATEST A.C.I. CODE, PLUMB, LEVEL, TRUE IN LINE, FREE OF HONEYCOMB. BUILDING SLAB SHALL HAVE A HARD STEEL TROWEL FINISH. WALKS SHALL HAVE BROOMED FINISH, AND EXPANSION JOINTS AT APPROXIMATELY 50' O.C. AND DUMMY JOINTS AS SHOWN ON THE SITE PLAN.
- REMOVAL OF FORMS - FORMS SHALL BE CAREFULLY REMOVED SO AS NOT TO IMPAIR THE FACE OF THE CONCRETE. IMMEDIATELY AFTER THE FORMS ARE REMOVED ALL DAMAGE OF IMPERFECT WORK SHALL BE PATCHED IN A NEAT AND WORKMANLIKE MANNER, OR IF BADLY DAMAGED, IN THE OPINION OF THE OWNER, THE WORK SHALL BE REBUILT. THE MINIMUM TIME BEFORE ANY FORMS CAN BE REMOVED IS SEVEN (7) DAYS FOR SUCH MEMBERS AS ARE SUBJECT TO BENDING STRESSES, SUCH AS SLABS.
- CURING - USE MEMBRANE CURING METHOD. USE MFG. RATE, SPRAY IMMEDIATELY FOLLOWING FINISHING. PROTECT FROM FREEZING WEATHER. CURE A TOTAL OF 28 DAYS USING A.C.I. METHODS.

REINFORCING STEEL

ALL REINFORCING STEEL SHALL BE DEFORMED STEEL BARS CONFORMING TO A.S.T.M. A615, GRADE 60. ALL REINFORCING STEEL SHALL BE MANUFACTURED, DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH A.C.I. 318R, 318R AND A.C.I. SP 66. WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A185, IN AS LONG A LENGTH AS IS PRACTICAL. WELDED WIRE FABRIC SHALL BE LAPPED AT LEAST ONE GRID WIDTH PLUS 2". REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.

SPLICES:

REINFORCEMENT IN CONCRETE AND MASONRY SHALL HAVE LAP LENGTHS AS FOLLOWS, UNLESS OTHERWISE SPECIFIED ON DRAWINGS:

BAR SIZE:	IN CONCRETE:	IN MASONRY:
#3	1'-6"	2'-0"
#4	2'-0"	2'-6"
#5	2'-6"	3'-0"

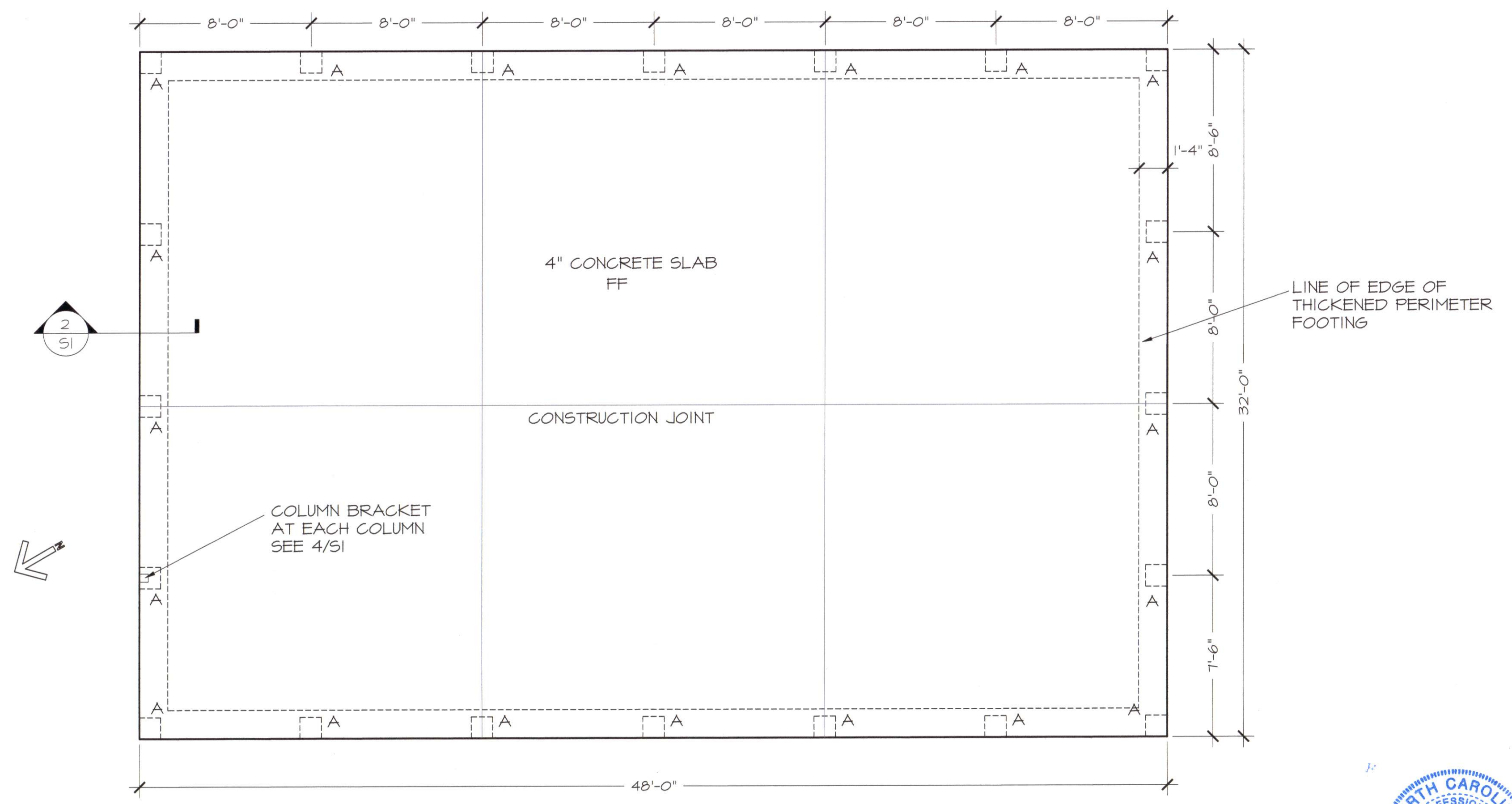
PLACEMENT: REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL, OR OTHER APPROVED CHAIRS, SPACERS OR TIES, AND SECURED AGAINST DISPLACEMENT DURING CONCRETE OR GROUT PLACEMENT.

EXCEPT WHERE OTHERWISE NOTED, REINFORCEMENT SHALL HAVE CONCRETE COVER AS FOLLOWS:

CONCRETE DEPOSITED AGAINST EARTH	3"
FORMED CONCRETE AGAINST EARTH	2"
EXTERIOR FACES OF WALLS	1"
TO TOP OF SLABS-ON-GRADE	3/4"

ALL SCALES, LOOSE RUST, GREASE OR DIRT SHALL BE REMOVED FROM THE REINFORCING BEFORE IT IS PLACED. PROVIDE #4 "HAIRPIN" AS SHOWN ON THE SLAB PLAN VIEW. ANCHOR BOLTS SHALL BE (A-307T) HIGH STRENGTH.

SOIL TREATMENT ADMINISTRATION AS ACCEPTABLE.



1 SLAB PLAN
1/4" = 1'-0"



REVISIONS

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NEW BUILDING FOR
SEAVIEW CRAB COMPANY
HARNETT COUNTY, NC
H.M. CAGLE DRIVE
SLAB PLAN

DATE: APR 2021

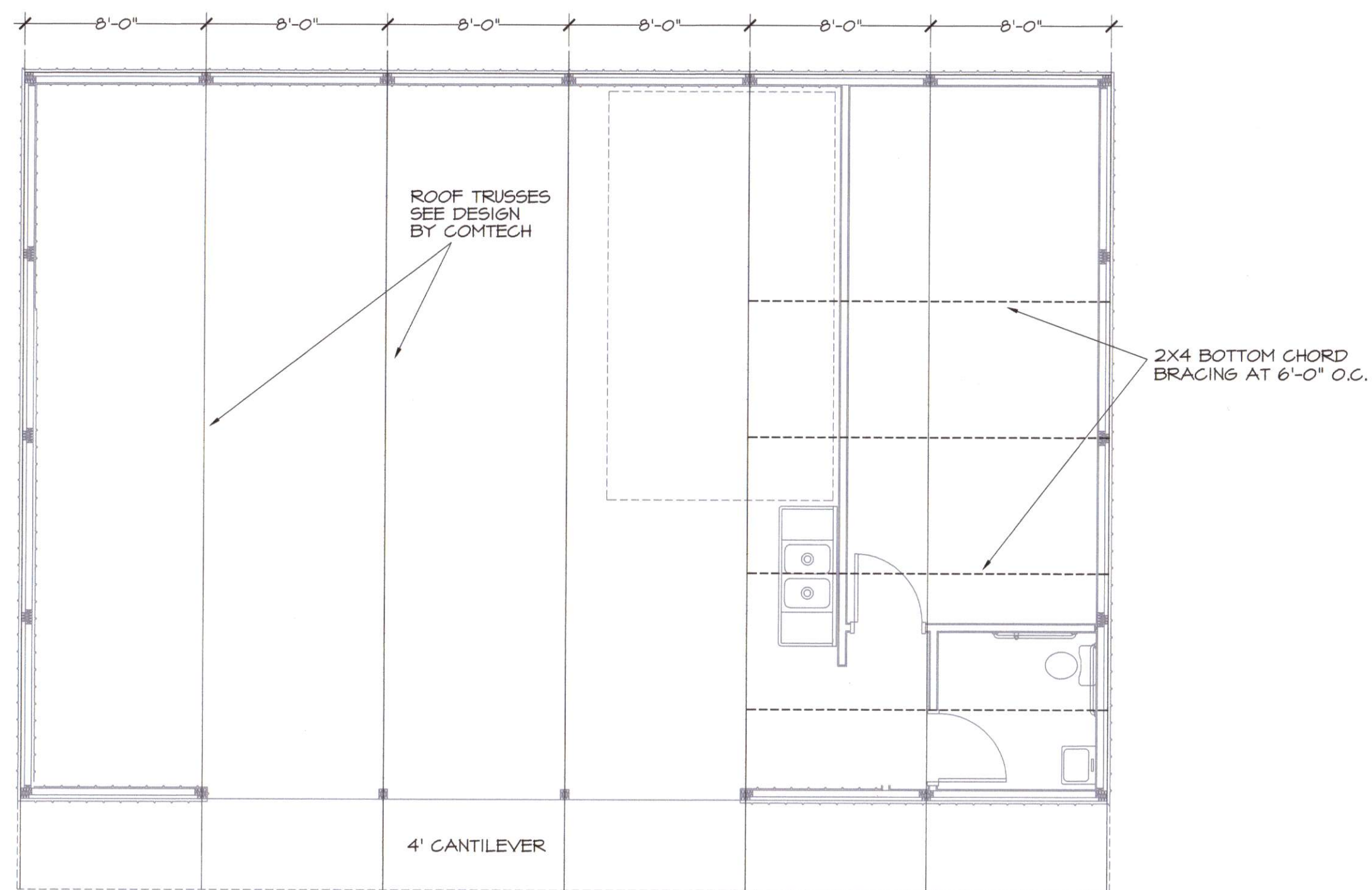
DRAWN BY: GMR

CHECKED: GMR

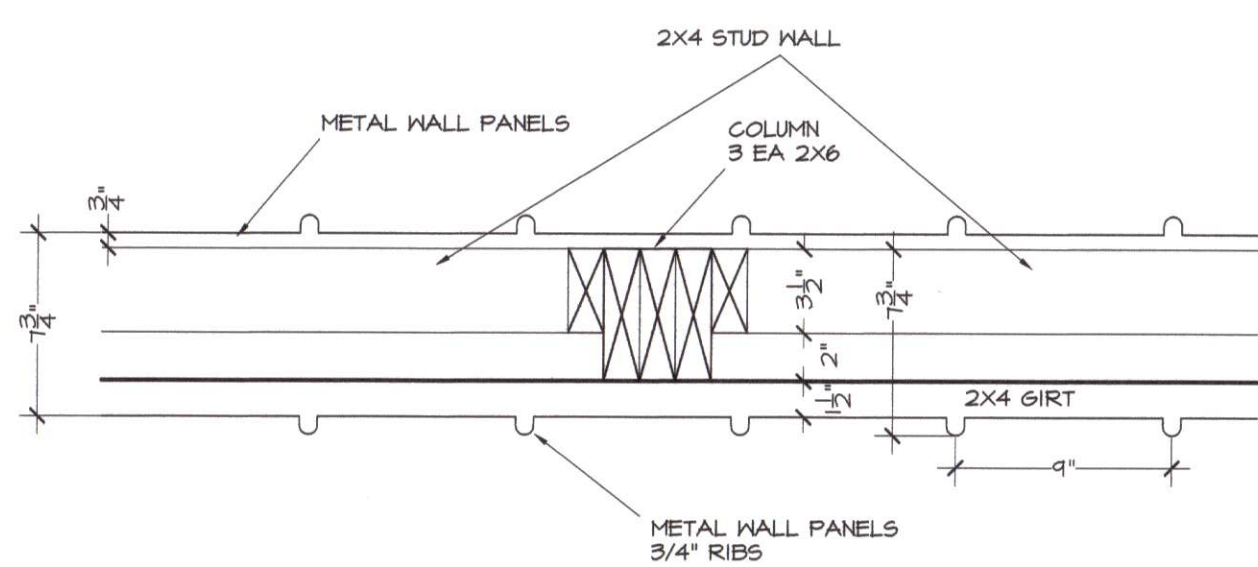
SCALE: NOTED

SHEET NO.

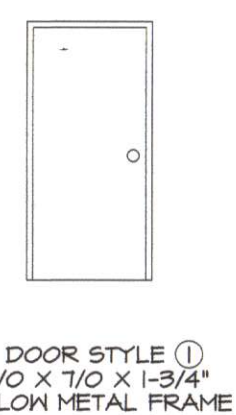
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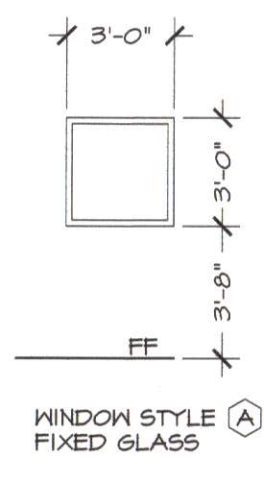
2
61 **ROOF FRAMING PLAN**
3/16" = 1' - 0"



3
61 **WALL PLAN**
1-1/2" = 1' - 0"



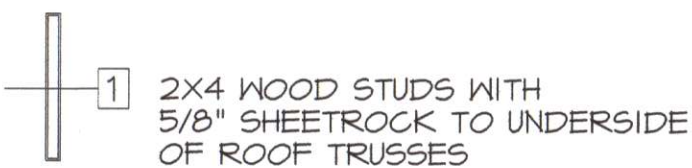
1
DOOR STYLE 1
3/2" X 7/8" X 1-3/4"
HOLLOW METAL FRAME



A
WINDOW STYLE A
FIXED GLASS

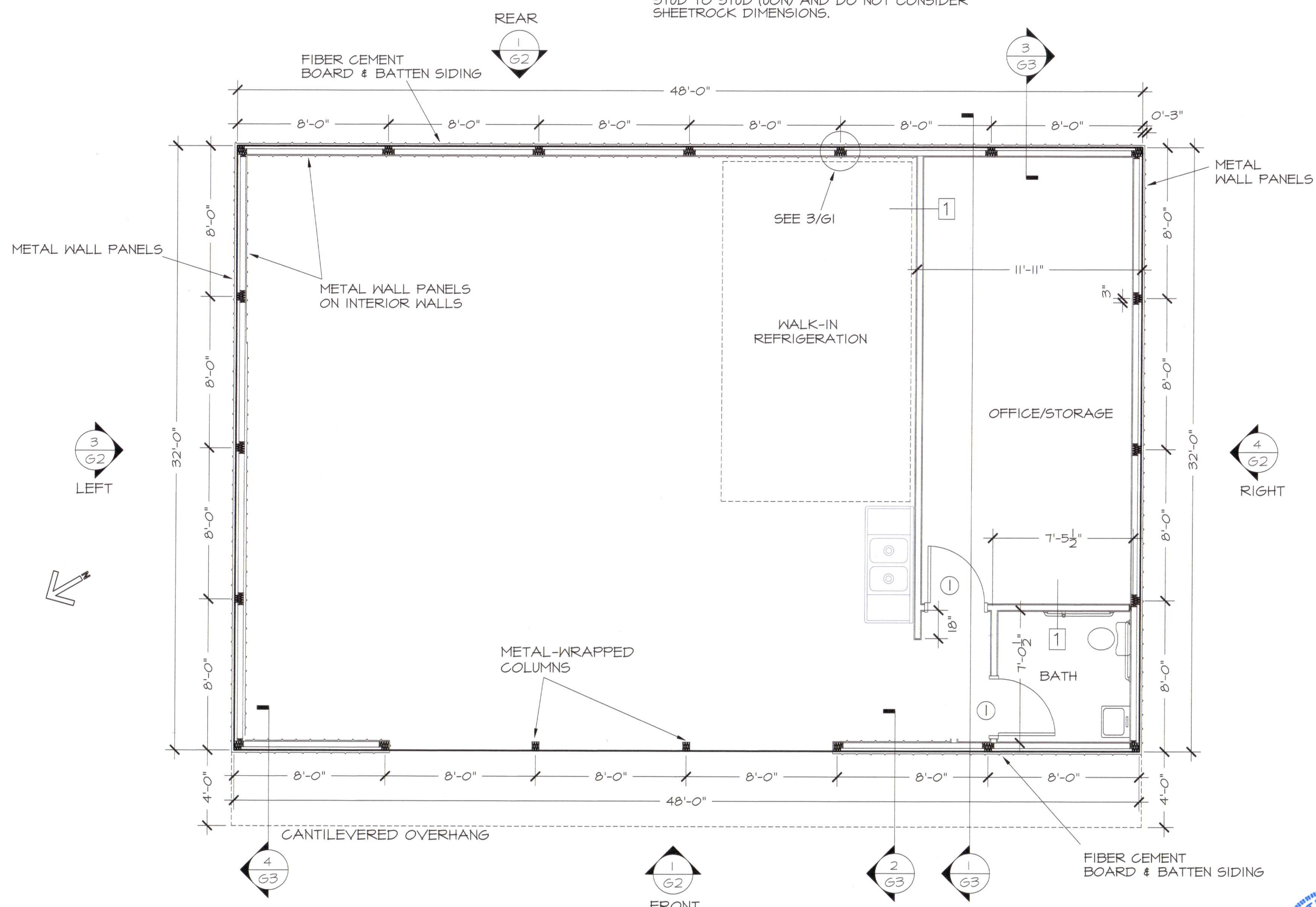
4
61 **DOOR AND WINDOW STYLES**
3/16" = 1' - 0"

WALL TYPES



1
2X4 WOOD STUDS WITH
5/8" SHEETROCK TO UNDERSIDE
OF ROOF TRUSSES

NOTE
INTERIOR DIMENSIONS SHOWN ARE FRAMING
STUD TO STUD (UON) AND DO NOT CONSIDER
SHEETROCK DIMENSIONS.



1
61 **FLOOR PLAN**
1/4" = 1' - 0"



REVISIONS:

5-22-21	INTERIOR LAYOUT

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NEW BUILDING FOR
SEAVIEW CRAB COMPANY
HARNETT COUNTY, NC
H.M. CAGLE DRIVE

DATE: APR 2021
DRAWN BY: GMR
CHECKED: GMR
SCALE: NOTED

SHEET NO.
G1

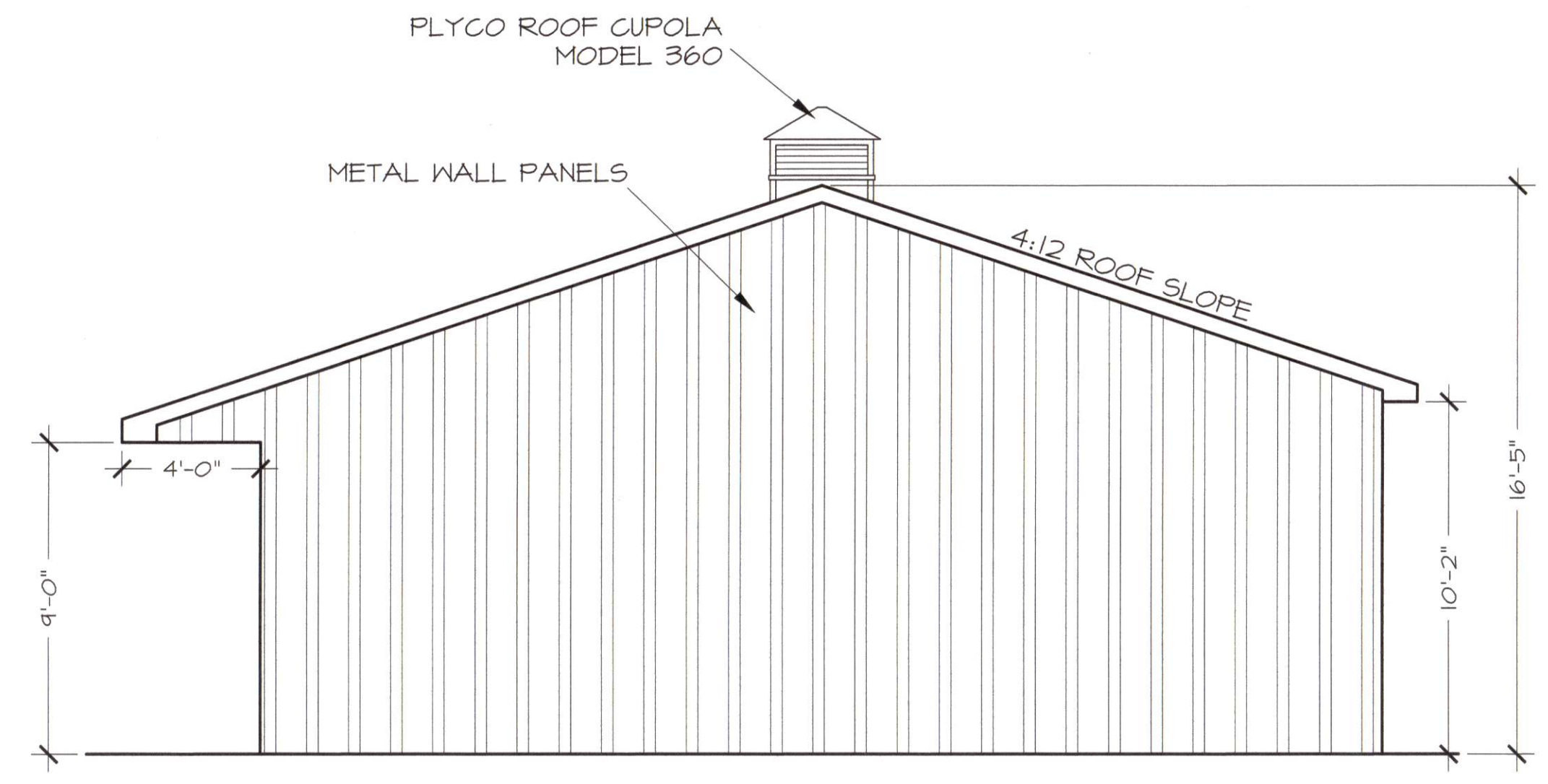
REVISIONS
5-22-21 BOARD & BATTEN

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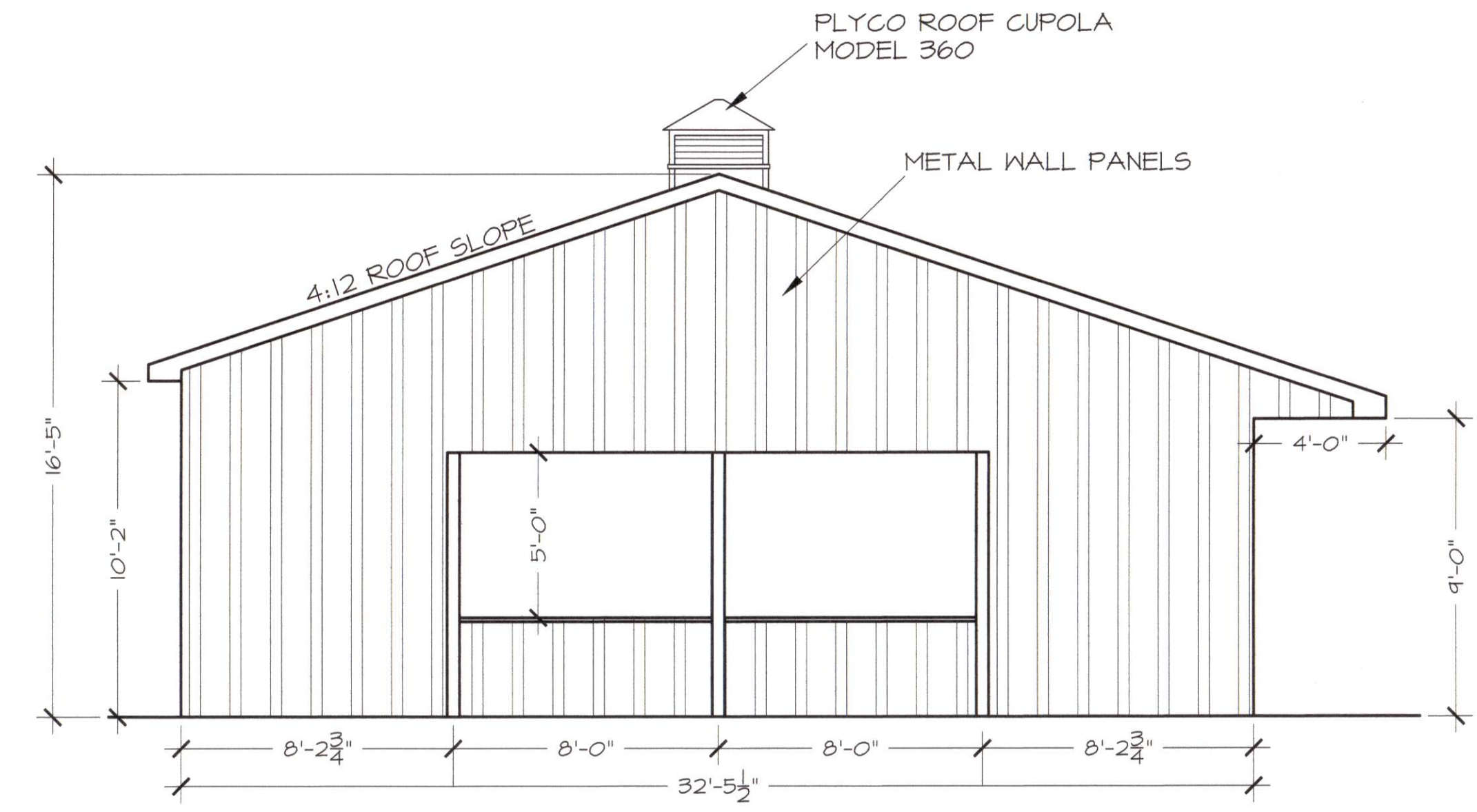
NEW BUILDING FOR
SEAVIEW CRAB COMPANY
 HARNETT COUNTY, NC
 H.M. CAGLE DRIVE
 ELEVATIONS

DATE: APR 2021
 DRAWN BY: GMR
 CHECKED: GMR
 SCALE: NOTED

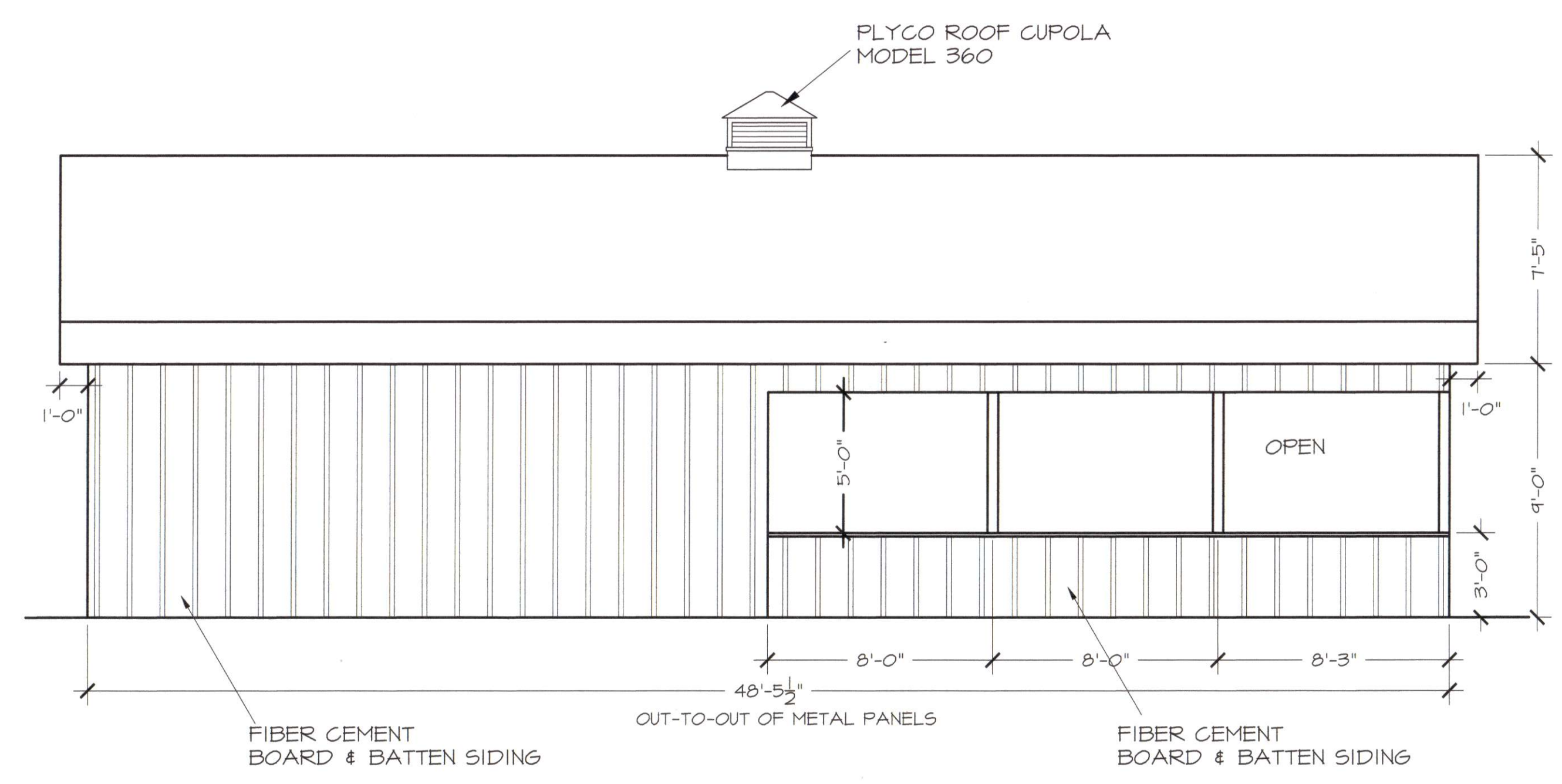
SHEET NO.
G2



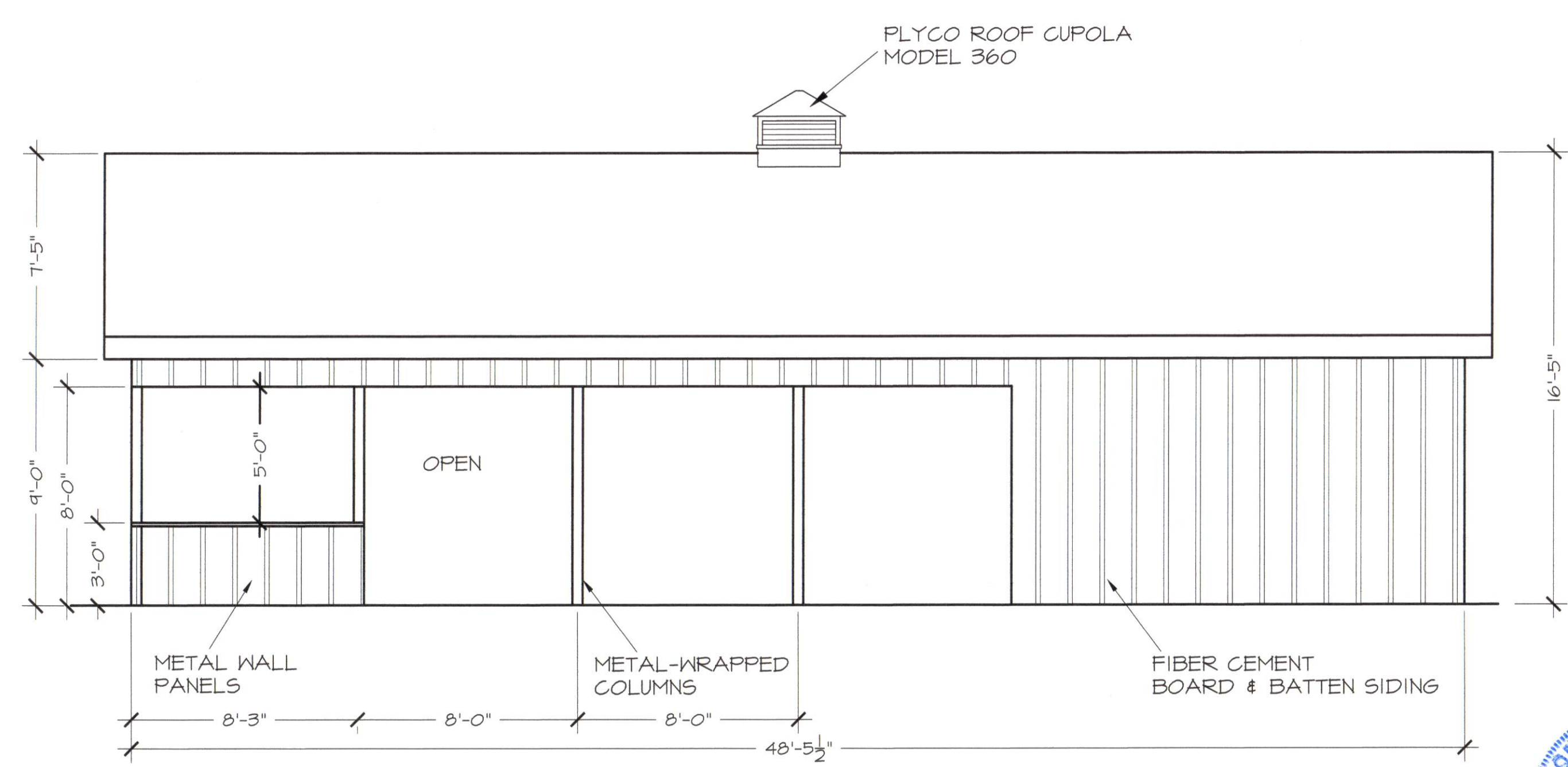
4
RIGHT ELEVATION
 3/16" = 1' - 0"



3
LEFT ELEVATION
 3/16" = 1' - 0"

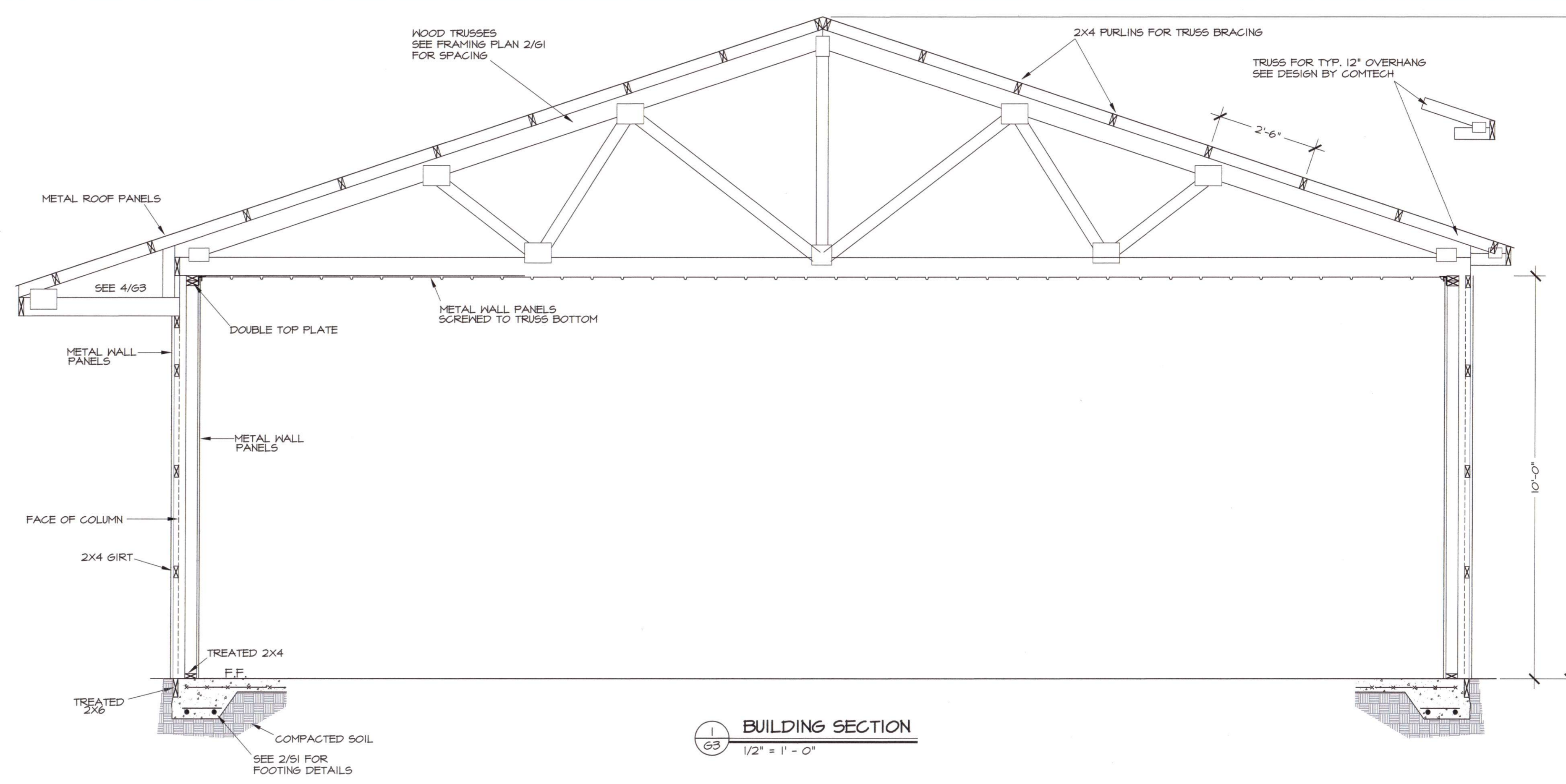


2
REAR ELEVATION
 3/16" = 1' - 0"

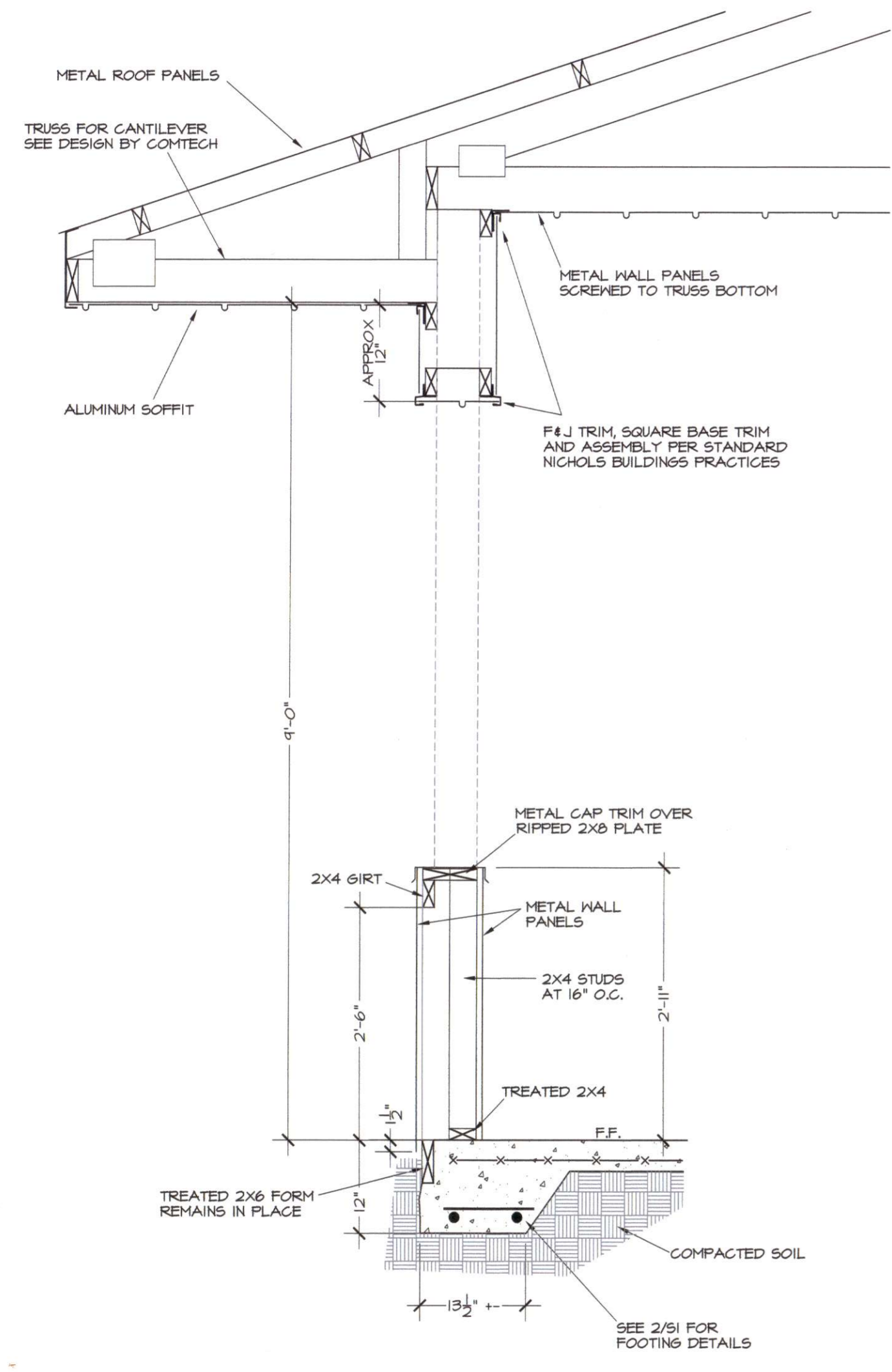


1
FRONT ELEVATION
 3/16" = 1' - 0"

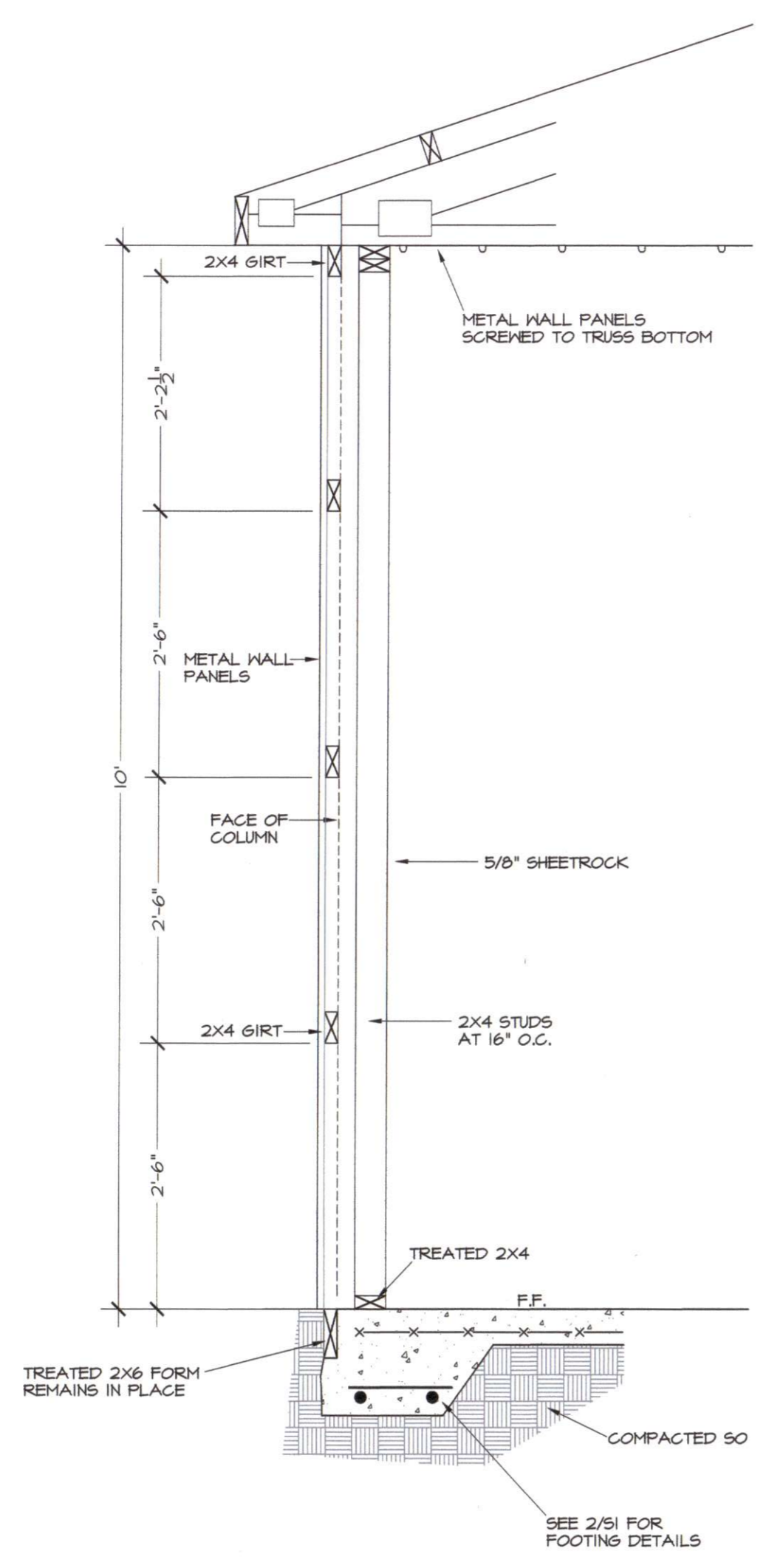




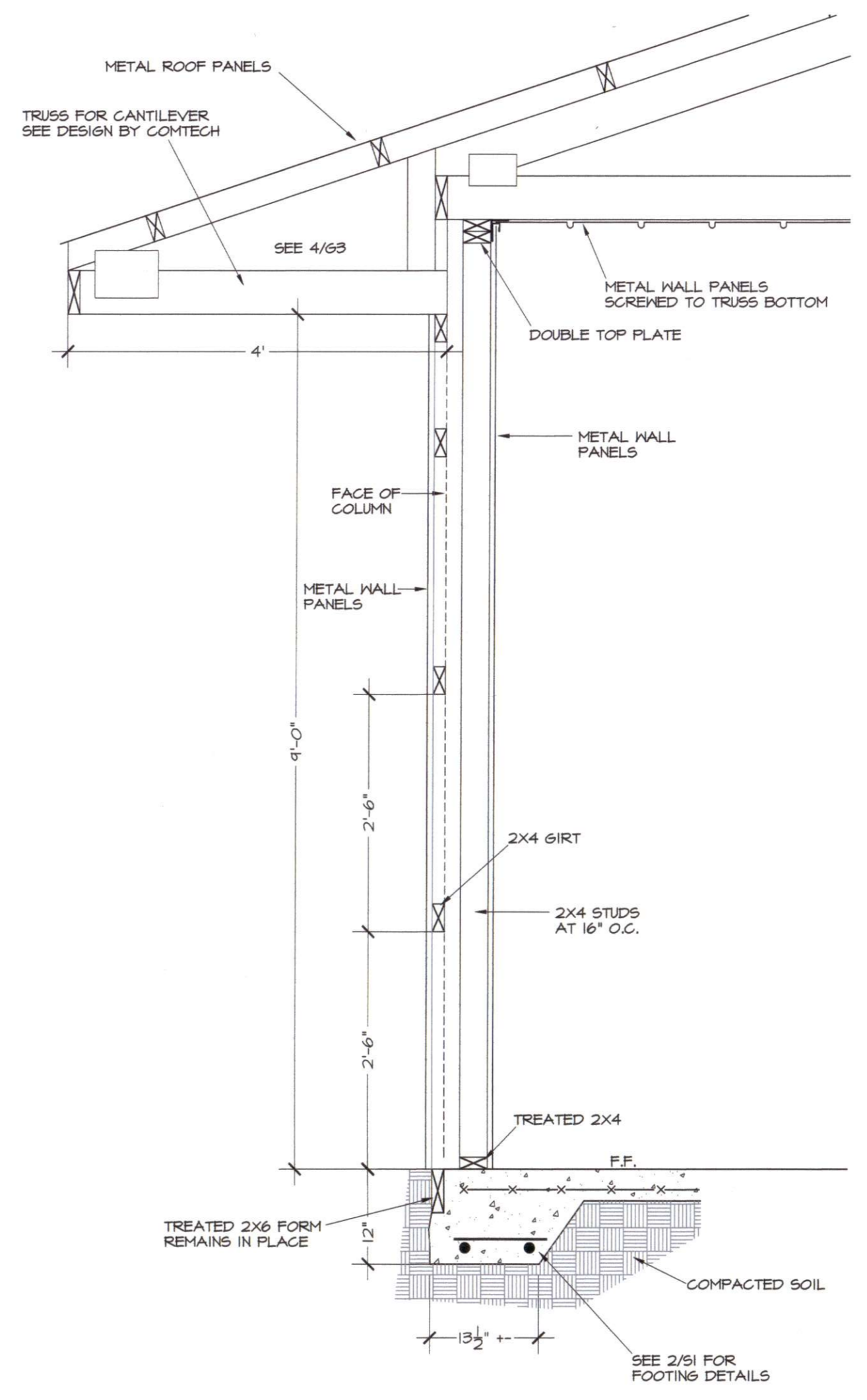
1
G3 BUILDING SECTION
1/2" = 1' - 0"



4
G3 WALL SECTION
3/4" = 1' - 0"



3
G3 WALL SECTION
3/4" = 1' - 0"



2
G3 WALL SECTION
3/4" = 1' - 0"

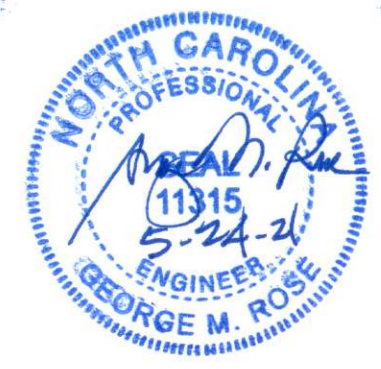
REVISIONS

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NEW BUILDING FOR
SEAVIEW CRAB COMPANY
HARNETT COUNTY, NC
H.M. CAGLE DRIVE
BUILDING SECTIONS

DATE: APR 2021
DRAWN BY: GMR
CHECKED: GMR
SCALE: NOTED

SHEET NO.
G3

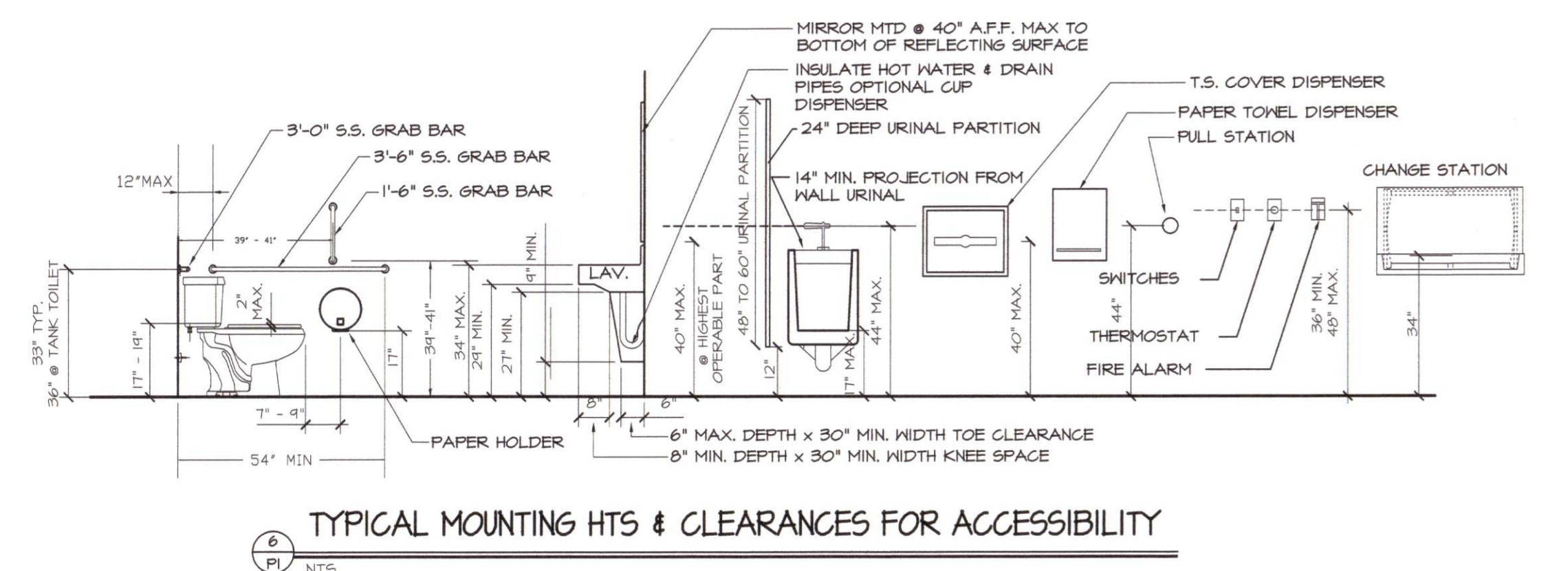


REVISIONS

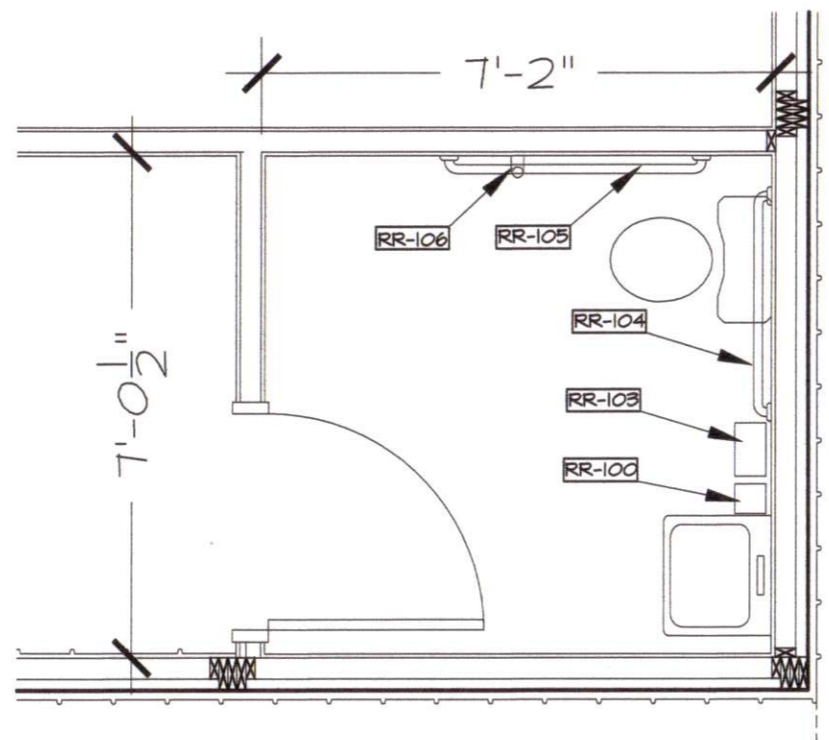
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NEW BUILDING FOR
SEA VIEW CRAB COMPANY
HARNETT COUNTY, NC
H.M. CAGLE DRIVE
PLUMBING PLAN

DATE: APR 2021
DRAWN BY: GMR
CHECKED: GMR
SCALE: NOTED
SHEET NO.
P1

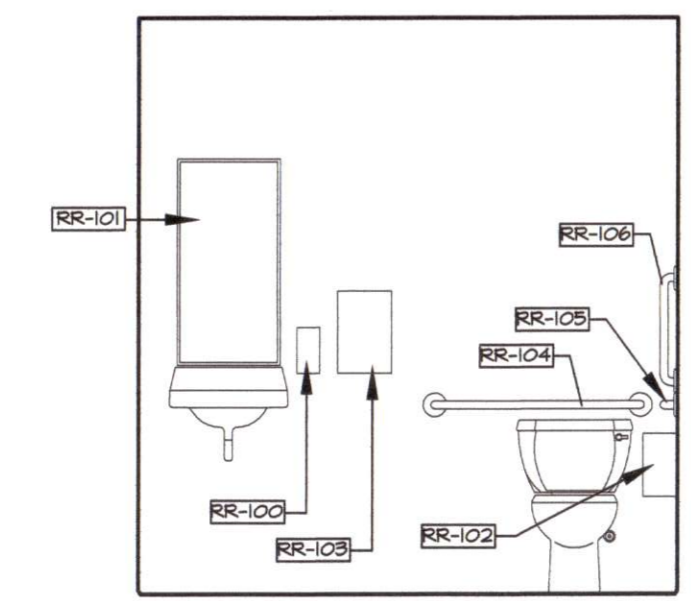


6 TYPICAL MOUNTING HTS & CLEARANCES FOR ACCESSIBILITY
NTS

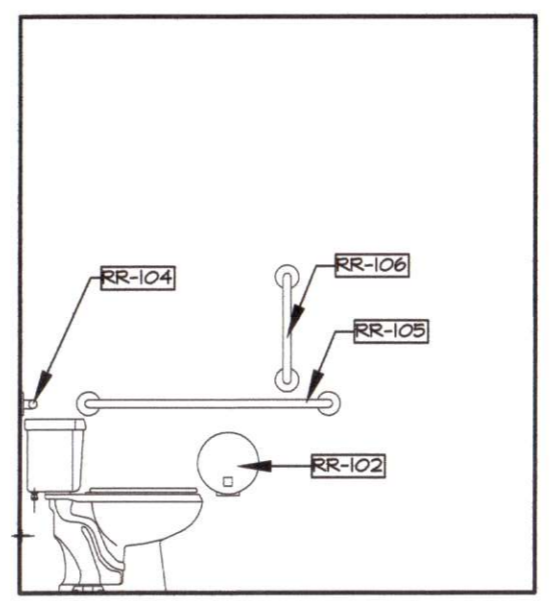


15 ENLARGED PLAN
3/8" = 1'-0"

PLUMBING NOTES:
PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2012 EDITION AND LOCAL CODES.
ALL WORK SHALL BE COORDINATED AND PERFORMED WITH PRIOR APPROVAL FROM THE GENERAL CONTRACTOR AND OWNER TO SUIT THE OWNER'S OPERATING CONDITIONS.
PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE GENERAL CONTRACTOR OF ANY DEVIANCES FROM THE CONTRACT DRAWINGS PRIOR TO STARTING ANY WORK.
THE PLUMBING CONTRACTOR SHALL COORDINATE WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE. THINK OF OTHER CONTRACTORS AND THEIR REQUIREMENTS IN VERTICAL CHASES AND WALL MOUNT SPACE. ALL CONTRACTORS TO FOLLOW THIS ORDER OF PRIORITY:
1. STORM AND SANITARY SEWER LINES
2. DUCTWORK AND HVAC SYSTEMS
3. HOT AND COLD WATER LINES
4. RIGID CONDUIT
5. CABLE
THE PLUMBING CONTRACTOR TO ORGANIZE HIS PIPING IN ATTIC SPACES, CRAWL SPACES, AND ABOVE CEILINGS, MAKE RUNS PARALLEL, PERPENDICULAR, AND GROUPED TOGETHER WHERE POSSIBLE. LOCATE MAJOR GROUPINGS OVER HALLWAYS AND AREAS OF PUBLIC ACCESS IF POSSIBLE. FREE RUNS OF PIPING IS NOT ACCEPTABLE.
THE PLUMBING CONTRACTOR SHALL LAY OUT AND INSTALL HIS WORK IN ADVANCE OF POURING CONCRETE FLOORS OR WALLS. HE SHALL FURNISH ALL SLEEVES TO THE GENERAL CONTRACTOR FOR OPENINGS THROUGH POURED MASONRY FLOORS, OR WALLS, ABOVE GRADE REQUIRED FOR PASSAGE OF ALL PIPES TO SUPPORT HIS EQUIPMENT.



3 INTERIOR ELEVATION
3/8" = 1'-0"



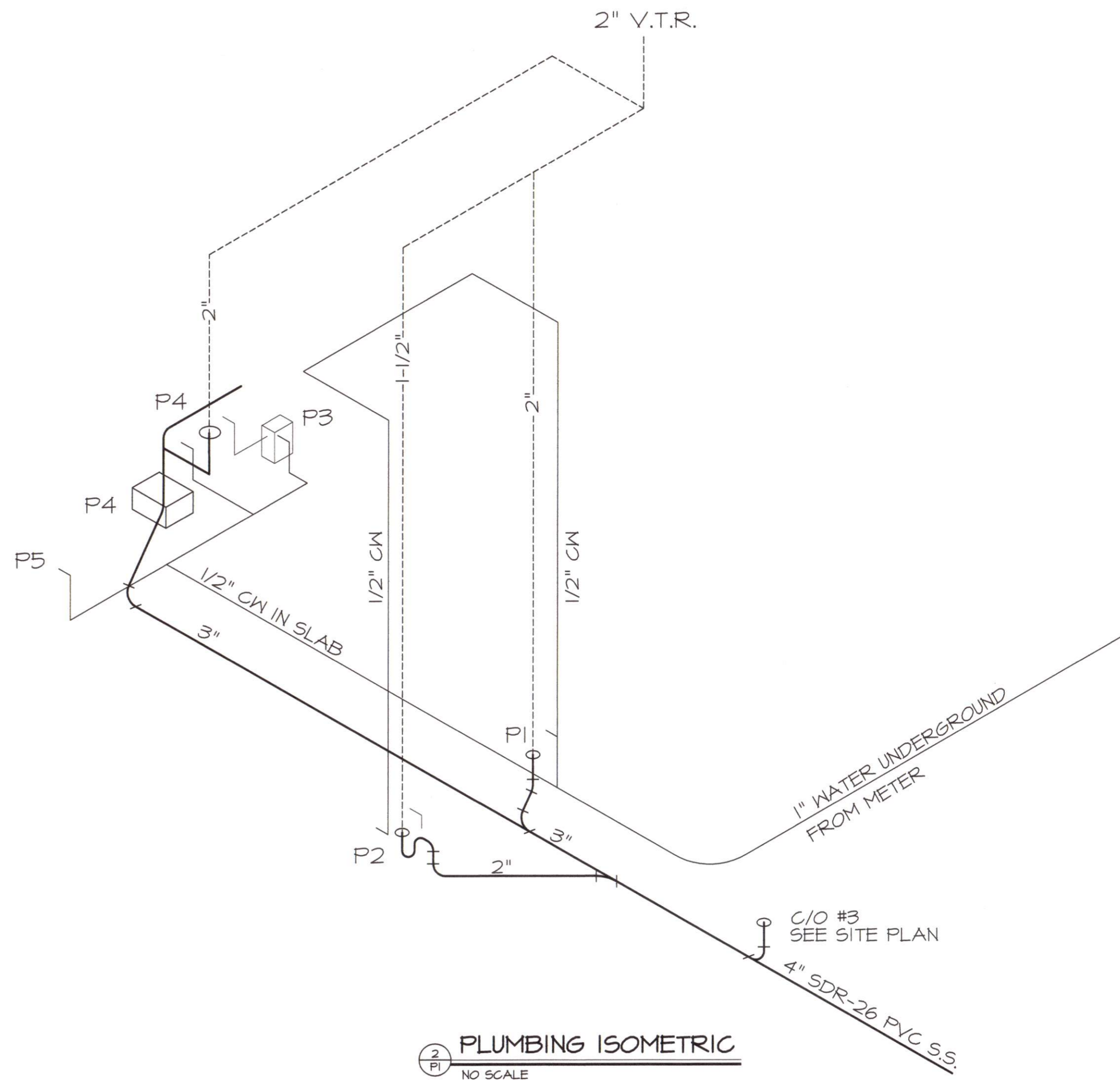
4 INTERIOR ELEVATION
3/8" = 1'-0"

HORIZONTAL DRAINAGE AND WASTE PIPE SHALL HAVE A MINIMUM SLOPE OR FALL OF 1/8 INCH PER FOOT. ALL CHANGE OF HORIZONTAL DIRECTIONS IN SOIL WASTE PIPE SHALL BE MADE WITH LONG RADIUS FITTINGS WITH "Y" BRANCHES AND 1/8 OR 1/16 BENDS. CHROME PLATED ESCUTCHEONS SHALL BE PROVIDED AT EACH WALL PENETRATION.
ESCUTCHEONS SHALL BE CHROME PLATED, SPRING TYPE, ON ALL PIPES PASSING THROUGH WALLS AND CEILINGS IN FINISHED AREAS. FLOOR ESCUTCHEONS SHALL BE CAST BRASS, CHROME PLATED, WITH SET SCREW.
ESCUTCHEONS SHALL BE OF SUFFICIENT SIZE TO COVER OUTSIDE DIAMETER OF THE PIPE OR THE INSULATION OF THE PIPE.
FLASHING FOR VENTS THROUGH THE ROOF SHALL BE TWO-PIECE TYPE, 16 OUNCE COPPER COUNTER FLASHING AND BASE FLASHING, OR A TWO-PIECE TYPE, 4 POUND LEAD COUNTER FLASHING AND BASE FLASHING. THE BASE FLASHING SHALL BE INSTALLED BY THE GENERAL CONTRACTOR WITH THE ROOF SYSTEM.
VENT FLASHING SHALL EXTEND DOWN AT LEAST 4 INCHES FROM THE TOP OF THE PIPE. FLASHING SHALL EXTEND AT LEAST 12 INCHES IN ALL DIRECTIONS FROM THE PIPE AND SHALL BE PARALLEL TO THE ROOF LINE.
ALL EQUIPMENT AND INSTALLED MATERIALS SHALL BE THOROUGHLY CLEAN AND FREE OF ALL DIRT, OIL, GRIT, GREASE, AND ETC.
ALL PLUMBING SYSTEMS AND EQUIPMENT SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE BUILDING FROM THE OWNER.
3/4 DOWN HALL TO TOILET PROVIDE ISOLATION VALVE TYPICAL FOR ALL TOILETS.
COLD AND HOT WATER PIPING ABOVE GRADE SHALL BE TYPE "L" HARD DRAWN COPPER TUBING CONFORMING TO ASTM B-88 WITH SWEAT JOINTS AND THROUGHT OR CAST VALVES AND FITTINGS (UNIONS, STRAINERS, ETC.). JOINT SHALL BE MADE WITH LEAD FREE SOLDER.
ALL HOT WATER PIPING SHALL BE INSULATED WITH 1 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.
ALL COLD WATER PIPING SHALL BE INSULATED WITH 1/2 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.
SANITARY HORIZONTAL WASTE, VENT PIPING, AND FITTINGS ABOVE GRADE SHALL BE SCHEDULE 40 PVC-DWV PIPE-CELLULAR CORE FROM CHARLOTTE PIPE AND FOUNDRY COMPANY OR APPROVED EQUAL, AND MUST MEET OR EXCEED THE REQUIREMENTS OF ASTM F-691, NSF STANDARD NO. 14, AND IAPMO UPC.
ALL WASTE STACK PIPING SHALL BE CAST IRON AND INSULATED FOR SOUND IN WALLS.
ALL WASTE AND STORM PIPING ABOVE CEILING, VERTICAL CHASES, WALLS SHALL BE INSULATED WITH 1/2 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE. NO INSULATION REQUIRED IN CRAWL SPACE OR BELOW FLOOR SLAB OF ANY WASTE AND STORM PIPING.
IN LIEU OF FIBERGLASS INSULATION, THE PLUMBING CONTRACTOR IS ALLOWED TO USE CLOSED CELL INSULATION, 1/2 INCH THICK ARISTON/ARMAFLEX II ON ALL COLD WATER PIPES, RIGID URETHANE FOAM INSULATION, 1 INCH THICK ARISTON/ARMAFLEX II ON ALL HOT WATER PIPING.
ALL PLUMBING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
ALL FIXTURES, DRAINS, TRAPS, ETC. SHALL BE SET PLUMB AND LEVEL.
ALL HANDICAPPED FIXTURES AND TRIM SHALL BE INSTALLED IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2012 EDITION.

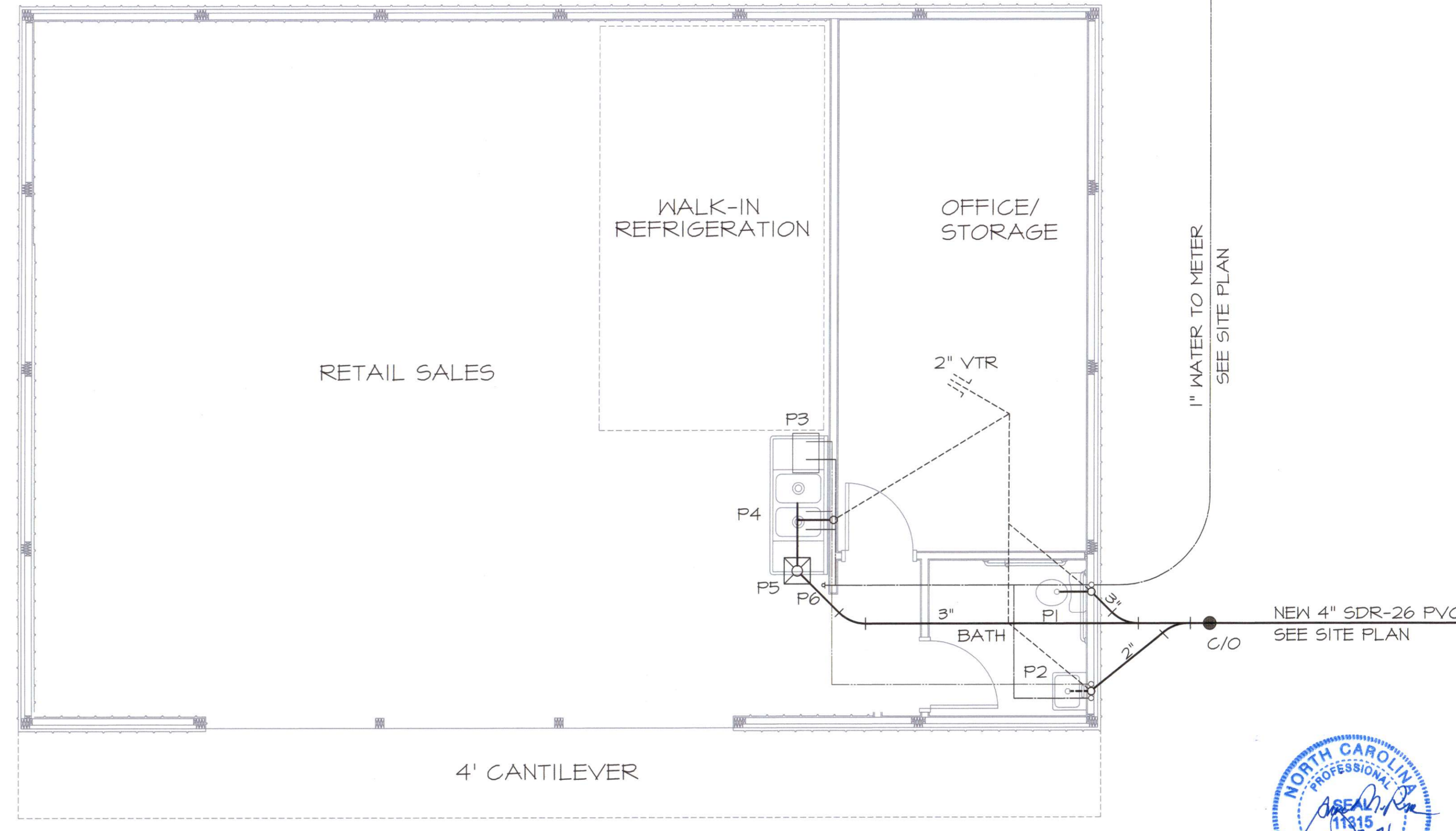
ACCESSORY LEGEND			
NO.	QTY	G.C.INST.	ITEM DESCRIPTION
RR-100	1	YES	SOAP DISPENSER (WALL MOUNT)
RR-101	1	YES	MIRROR, 18" X 36"
RR-102	1	YES	TOILET PAPER DISPENSER
RR-103	1	YES	PAPER TOWEL DISPENSER
RR-104	1	YES	GRAB BAR, 1-1/2" DIA X 36" STAINLESS STEEL FIN.
RR-105	1	YES	GRAB BAR, 1-1/2" DIA X 42" STAINLESS STEEL FIN.
RR-106	1	YES	GRAB BAR, 1-1/2" DIA X 18" STAINLESS STEEL FIN.

NOTES
1. PROVIDE BLOCKING AT ALL WALL MOUNTED ACCESSORIES.
2. GRAB BARS, FASTENERS AND MOUNTING DEVICES SHALL BE INSTALLED PER ADA REQUIREMENTS.

SYMBOL	DESCRIPTION	MANUFACTUR	MODEL #	ACCESSORIES	SUPPLY	WASTE	VENT	REMARKS
1/2"	GATE VALVE							
---	NEW COLD WATER PIPE							
---	NEW HOT WATER PIPE							
	VENT THROUGH ROOF							
---	NEW VENT PIPE							
---	SANITARY SEWER PIPE							
P1	TOILET WITH TANK (ADA)	HANSFIELD	1871-80	DBH45 HSS TOILET SEAT	1/2" C.J.K.	3"	2"	SEE PLAN FOR LOCATION
P2	HCP HALL HNS LAVATORY	HANSFIELD	2018 HB-16	DELTA 520-TRH-DST FAUCET	1/2" HXL C.J.K.	2"	1-1/2"	SEE PLAN FOR LOCATION
P3	6-GALLON HOT WATER HEATER	ECOSMART	ECO MINI 6	-	1/2" C.J.K.	-	-	SEE PLAN FOR LOCATION
P4	THO COMPARTMENT SINK	JOHN BOOS	E256-24-14R24-X	T45 135X FAUCET	-	3"	2"	SEE PLAN FOR LOCATION
P5	FLOOR SINK	JONES STEPHENS	544-014	-	-	3"	2"	SEE PLAN FOR LOCATION
P6	HOSE BIB	HOODFORD	27	-	1/2" C.J.K.	-	-	SEE PLAN FOR LOCATION



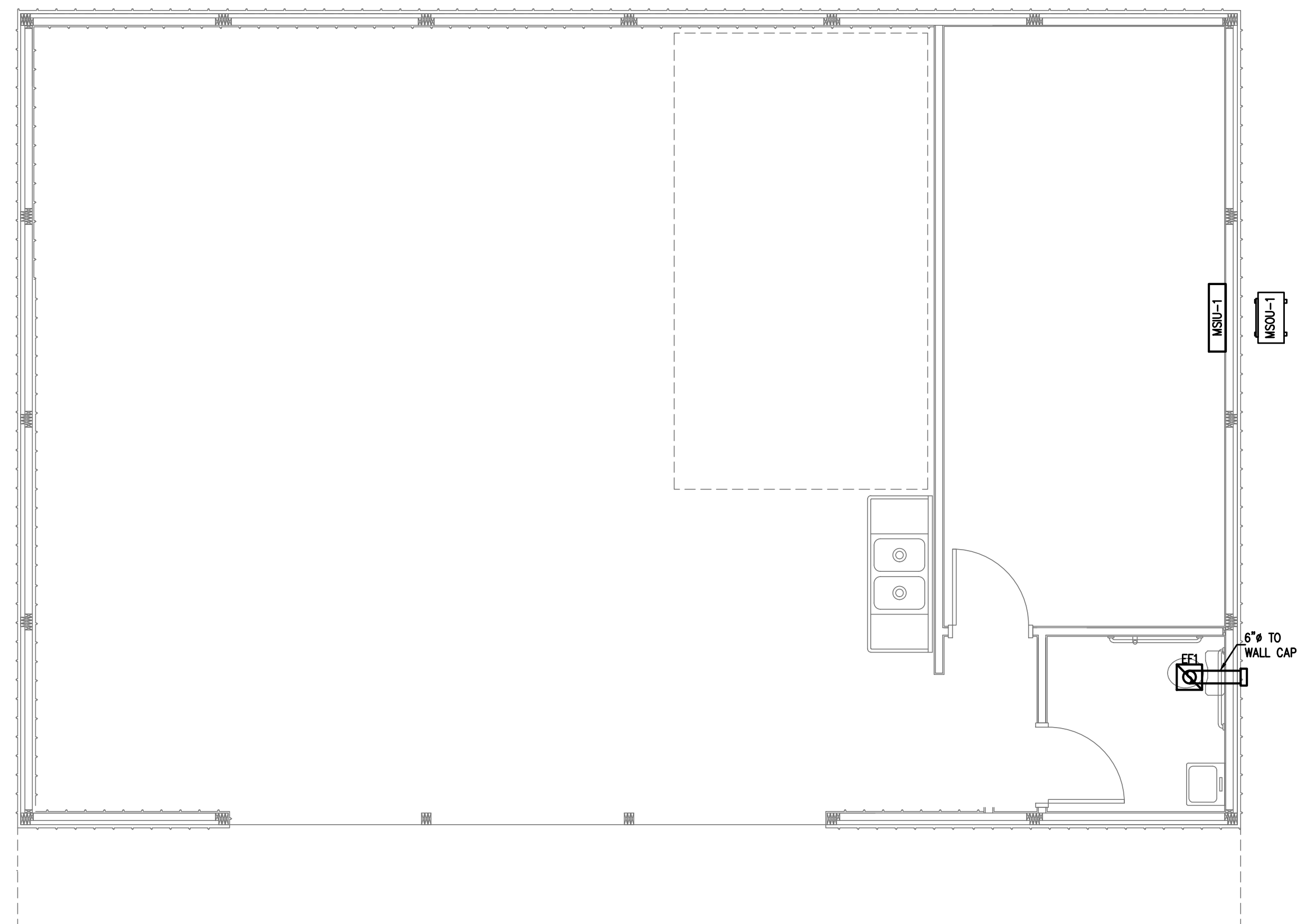
2 PLUMBING ISOMETRIC
NO SCALE



1 PLUMBING PLAN
1/4" = 1' - 0"



May 26, 2021



1
M1
MECHANICAL PLAN
1/4" = 1'

MINI SPLIT SYSTEM SCHEDULE															
UNIT NO.	COOLING			HEATING			HSPF	SEER	UNIT VOLT	UNIT PHASE	MOPC	AMPS	REF.	MFG & MODEL	NET WEIGHT
	NOMINAL COOLING	MIN.-MAX. COOLING	NOMINAL HEATING	MIN.-MAX. HEATING											
MSOU-1 (MINI SPLIT OUTDOOR UNIT)	9,000	1,700-10,700	10,000	1,700-12,000	9.0	16.0	120	1	15	13.5	R410A	FUJITSU MODEL AOU9RL2	64 LBS.		
MSIU-1 (MINI SPLIT INDOOR UNIT)	9,000	1,700-10,700	10,000	1,700-12,000			120	1			R410A	FUJITSU MODEL ASU9RL2	16 LBS.		

FAN SCHEDULE										
MARK	LOCATION	SERVICE	CFM	S.P.	WATTS	RPM	VOLT	PHASE	DRIVE	REMARKS
EF1	CEILING	TOILETS	70	0.1"	20.2	790	120	1	DIRECT	CEILING MOUNTED FAN, PROVIDE W/B.D.D. AND WALL CAP GREENHECK SPA70 OR EQ. 6" TO ROOF/WALL CAP

OUTSIDE AIR CALCULATION - NC 2018 MECHANICAL CODE (TABLE 403.3.1.1) Vbz = RpPz + RaAz							
OCCUPANCY TYPE:	SF	# OF OCCUPANTS	# OF	O.A. CFM PER	O.A. CFM PER SqFt (Ra)	O.A. CFM REQUIRED (Vbz)	EXHAUST CFM REQUIRED
	(A _z)	PER 1000 SF	OCCUPANTS	PERSON (Rp)			
MSIU-1 OFFICE	262	5	1.31	5	0.06	22	
RESTROOM	48	0	0	0	0	0	70
TOTAL CFM REQUIRED						22	70
TOTAL CFM FURNISHED						25	70

ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 NC MECHANICAL CODE.

ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEET METAL IN ACCORDANCE WITH ASHRAE & SMACNA. DUCT SIZES SHOWN ARE NET FREE AREA REQUIRED. ALL SUPPLY AND RETURN DUCTS AND FLEX SHALL BE INSULATED WITH MIN. R-8.0 INSULATION UNLESS OTHERWISE NOTED IN THE DRAWING.

ALL DUCTS SHALL BE AIR TIGHT, RIGID AND FREE FROM VIBRATION AND NOISE. ALL LAP JOINTS SHALL BE IN THE DIRECTION OF FLOW. VOLUME OR SPLITTER DAMPERS SHALL BE INSTALLED WHERE NECESSARY TO GUIDE AND CONTROL THE AIR FLOW. PROVIDE SHEET METAL SLEEVES AND COLLARS WHERE DUCTS PASS THROUGH WALLS.

STRUCTURAL MEMBERS OF THE BUILDING SHALL NOT BE CUT IN ANY MANNER FOR THE INSTALLATION OF ANY EQUIPMENT UNLESS PRIOR APPROVAL IS OBTAINED FROM THE ARCHITECT.

MECHANICAL CONTRACTOR TO CONFIRM BREAKER/DISCONNECT SIZES OF HIS EQUIPMENT WITH THE ELECTRICAL CONTRACTOR.

FURNISH AND INSTALL A DUCT MOUNTED SMOKE DETECTOR IN THE RETURN DUCT OF THE A/C UNIT IN ACCORDANCE WITH 2018 NC MECHANICAL CODE. THE DETECTOR SHALL BE WIRED TO SHUT DOWN THE FAN IN THE EVENT THE DETECTOR IS ACTIVATED. THE MECHANICAL CONTRACTOR SHALL FURNISH AND INSTALL THE DUCT DETECTOR AND RUN THE NECESSARY CONTROL WIRING FROM THE DETECTOR TO HIS EQUIPMENT. SMOKE DETECTORS ARE ONLY REQUIRED FOR UNITS SUPPLYING 2000 CFM OR MORE.

MECHANICAL CONTRACTOR SHALL PROVIDE A TEST AND BALANCE REPORT. SYSTEM COMPLIANCE STATEMENT REQUIRES A WRITTEN TAB REPORT. FINAL PROJECT SIGNOFF WILL BE DENIED WITHOUT THIS REPORT.

MECHANICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS AND ROUTING OF ALL DUCTWORK WITH OTHER TRADES TO AVOID CONFLICTS.

ALL EQUIPMENT MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE WORK OR IN ACCORDANCE WITH THE PARTICULAR MANUFACTURER'S STANDARD GUARANTEE IF LONGER. ANY FAULTY MATERIAL OR WORKMANSHIP OR FAILURE OF ANY PART OF THE SYSTEM DURING NORMAL OPERATIONS UNDER THIS GUARANTEE SHALL BE CORRECTED WITHOUT COST TO THE OWNER.

ALL THERMOSTATS SHALL BE OF A PROGRAMMABLE TYPE.

BUILDING CONTRACTOR SHALL PROVIDE PERMANENT ACCESS TO ROOF STRUCTURE FOR ACCESS TO MECHANICAL EQUIPMENT WHEN ROOF STRUCTURE IS GREATER THAN 16'-0" HIGH.

2
M1
HVAC NOTES
N.T.S.

APPENDIX B 2018 BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

MECHANICAL DESIGN

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone	winter dry bulb:	18'
	summer dry bulb:	94'

Interior design conditions	winter dry bulb:	75'
	summer dry bulb:	75'
	relative humidity:	50%

Building heating load: 7,484

Building cooling load: 9,000

Mechanical Spacing Conditioning System

Unitary	description of unit:	MINI SPLIT-SYSTEM
	heating efficiency:	9.0 HSPF
	cooling efficiency:	16.0 SEER
	size category of unit:	<65,000 BTU

Boiler
Size category. If oversized, state reason: _____

Chiller
Size category. If oversized, state reason: _____

List equipment efficiencies: 9.0 HSPF, 16.0 SEER

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License No. C-5050

250 LOCKLEAR RD
FARMVILLE, NC 28572
Voice: 910-821-7213
www.coastalplainseng.com

SEAVIEW CRAB COMPANY BUILDING

2290 SUNNYSIDE SCHOOL RD., HARNETT COUNTY, NC

DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ENGINEER. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT, THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.

ADA AND LEGAL DISCLAIMER
THIS DOCUMENT IS INTENDED TO COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). ARCHITECTS AND ENGINEERS ARE NOT LICENSED TO INTERPRET LAWS OR GIVE ADVICE CONCERNING LAWS OR LEGAL MATTERS. THE OWNER SHOULD HAVE THIS DOCUMENT REVIEWED BY HIS ATTORNEY TO DETERMINE IF IT COMPLES ADA AND OTHER LAWS.

PROJECT NO: 2020-106
DRAWN BY: SL
REVISIONS:

SHEET NO:

M1

May 26, 2021



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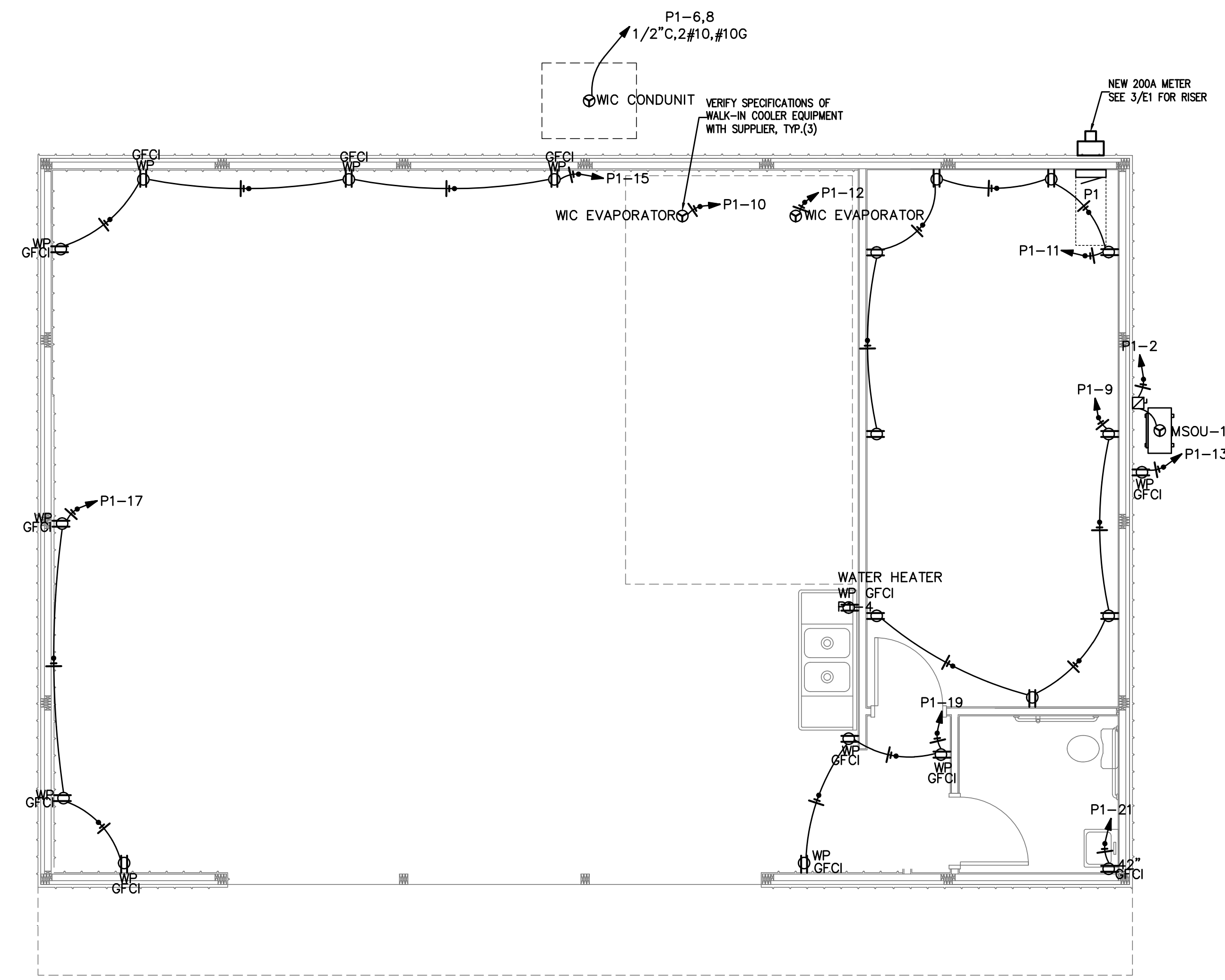
SEAVIEW CRAB COMPANY BUILDING
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PROJECT NO: 2020-106
 DRAWN BY: SL
 REVISIONS:

SHEET NO:
 E1



CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY FOR SERVICE. A COMPLETE AND WORKING SYSTEM IS REQUIRED FOR COMPLIANCE WITH THESE DOCUMENTS. DETERMINE THE POINT OF CONNECTION TO THE UTILITY WITH THE UTILITY REPRESENTATIVE AND PROVIDE ACCORDINGLY FOR A COMPLETE WORKING SYSTEM.

WIRE AND CABLE SHALL BE INSULATED, TYPE THHN OR THHN, 600 VOLTS, WITH COPPER CONDUCTORS. CONDUCTOR SIZES NO. 8 AWG AND LARGER MAY BE STRANDED. CONDUCTORS SIZES NO. 10 AWG AND SMALLER MAY BE SOLID OR STRANDED. NO ROMEX PERMITTED.

EMT SHALL BE GALVANIZED STEEL TUBING, 1/2-INCH MINIMUM SIZE, EQUAL TO ELECTRUTITE BRAND OR APPROVED AND USED ONLY WITH HEXAGONAL ALL STEEL COMPRESSION FITTINGS.

PLASTIC CONDUIT SHALL BE RIGID, 3/4-INCH MINIMUM NON-METALLIC, HEAVY DUTY, HIGH IMPACT, POLYVINYLCHLORIDE (PVC), TYPE 1 WILL BE USED FOR CONCRETE ENCASUREMENT. FITTINGS SHALL BE THE SAME MATERIALS AND MANUFACTURER AS THE PLASTIC CONDUIT.

FLEXIBLE METAL CONDUIT SHALL BE 1/2-INCH MINIMUM SINGLE STRIP, STEEL, HOT DIPPED GALVANIZED INSIDE AND OUTSIDE, MAXIMUM LENGTH 72 INCHES FOR LIGHTING AND 36" FOR MOTORS. FLEXIBLE METAL CONDUIT SHALL BE LIQUIDTIGHT OR WATER TIGHT WITH PVC JACKET WHERE USED IN DAMP, WET OR OUTSIDE AREAS, AND LIQUIDTIGHT OR WATER TIGHT CONNECTORS SHALL BE USED.

NO RECEPTACLES OR TEL. OUTLETS TO BE MOUNTED BACK TO BACK, KEEP AT LEAST 2 INCHES BETWEEN RECEPTACLES AND TEL. OUTLETS.

ALL CONDUCTOR SHALL BE COPPER WITH A MINIMUM SIZE OF #12 AWG EXCEPT FOR FIRE ALARM. THESE CONDUCTORS SHOULD COMPLY WITH NFPA.

CONTRACTOR SHALL ALIGN FIXTURES, SMOKE DETECTORS, CEILING DIFFUSERS ETC. AS REQUIRED TO PROVIDE A UNIFORM PRESENTATION. AT NO TIME WILL AN IONIZATION DETECTOR BE LOCATED WITHIN 3'-0" OF A SUPPLY OR RETURN AIR GRILLE.

CIRCUIT BREAKERS AND WIRE ARE SIZED FOR SPECIFIC EQUIPMENT. BEFORE ORDERING WIRE, BREAKERS AND CONDUIT FOR THIS PROJECT THE CONTRACTOR SHALL COORDINATE WITH THE OTHER CONTRACTORS ON THE JOB AND VERIFY THE ELECTRICAL DATA FOR THE EQUIPMENT WHICH WILL ACTUALLY BE INSTALLED, RECOMPUTING WIRE AND BREAKER SIZES IF REQUIRED BY THE NEC.

ALL CONDUIT TERMINATING IN THE CEILING CAVITIES IS TO BE LABELED.

ALL CONDUIT SHALL BE COLOR CODED WITH 1/2" WIDE TAPE, 10'-0" ON CENTER IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE.

THE MOUNTING HEIGHTS AND LOCATIONS OF ALL WALL MOUNTED OUTLETS AND JUNCTION BOXES SHALL BE REVIEWED AND COORDINATED WITH THE ARCHITECT AND OWNER, PRIOR TO INSTALLATION, FOR USE WITH ACTUAL EQUIPMENT.

EACH CONTRACTOR WILL PROVIDE HIS OWN SUPPORT OF ALL DEVICES AND EQUIPMENT PROVIDED BY HIM AND SHALL SUPPORT SUCH EQUIPMENT PER APPROVED GOVERNING CODES OR PER APPROVAL OF THE ENGINEER/ARCHITECT. UNACCEPTABLE WORKMANSHIP OR MATERIALS SHALL BE REPLACED AT THE REQUEST OF THE ENGINEER/ARCHITECT AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR FLOOR PLAN DIMENSIONS.

THE CONTRACTOR SHALL COORDINATE ANY AND ALL WORK WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO THE INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE.

ALL FUSES DISCONNECT SWITCHES AND BREAKER SIZES SHOWN FOR MECHANICAL EQUIPMENT SHALL BE VERIFIED BEFORE PURCHASE AND INSTALLATION OF SAID EQUIPMENT WITH THE EQUIPMENT SUPPLIER AND MECHANICAL CONTRACTOR.

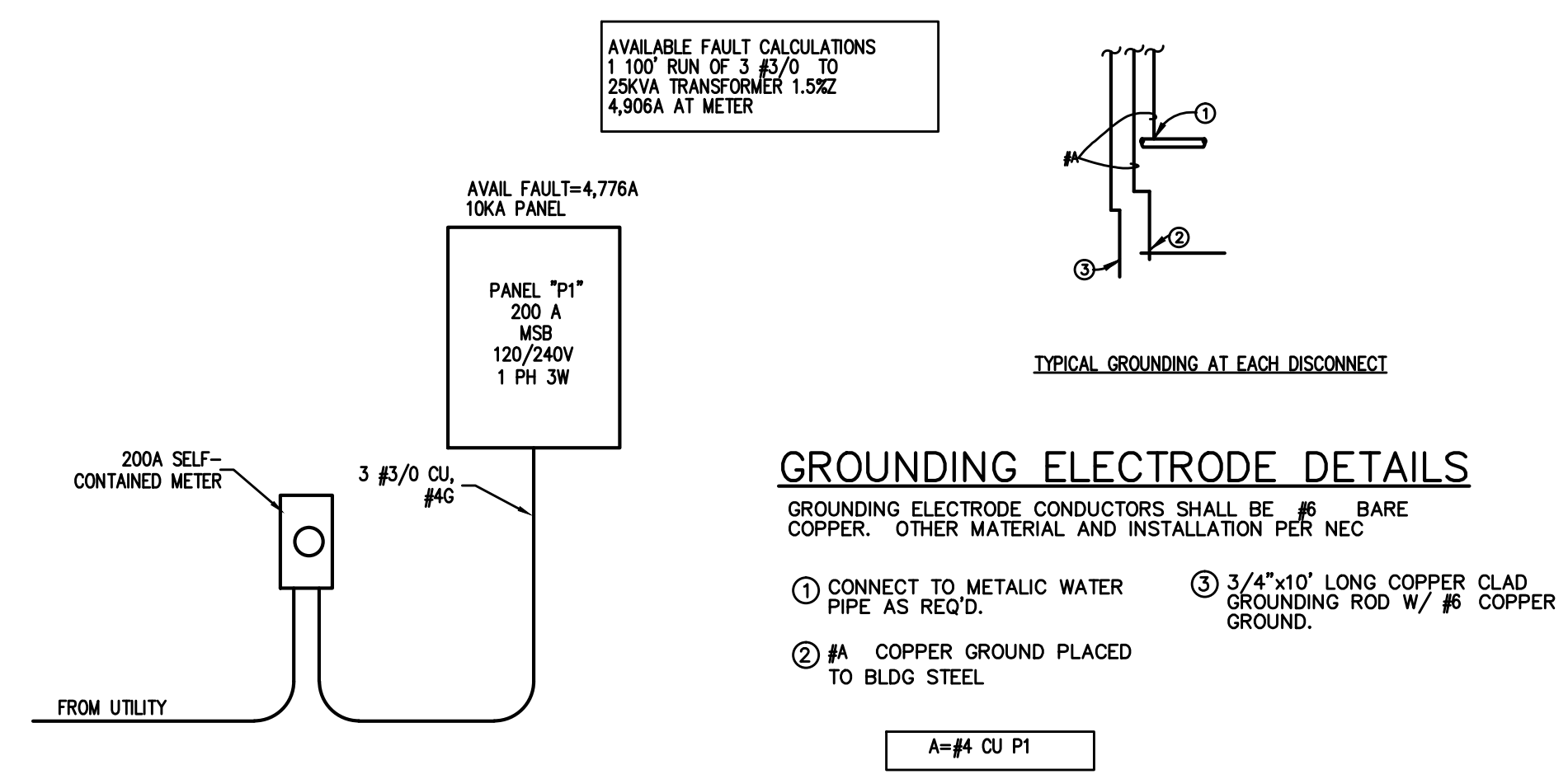
WHERE EQUIPMENT PENETRATES EXTERIOR WALL OR ROOF THEY SHALL BE PROPERLY SEALED WITH METHODS APPROVED BY THE ARCHITECT/ENGINEER.

ALL WORK IS TO BE DONE IN STRICT COMPLIANCE WITH THE LATEST VERSION OF THE NEC AND APPLICABLE STATE CODES

RECESSED FIXTURES INSTALLED IN RATED ASSEMBLIES SHALL BE INSTALLED WITH AN ENCLOSURE SO AS TO MAINTAIN THE RATING OF ASSEMBLY.

1
 E1
ELECTRICAL PLAN
 1/4" = 1'

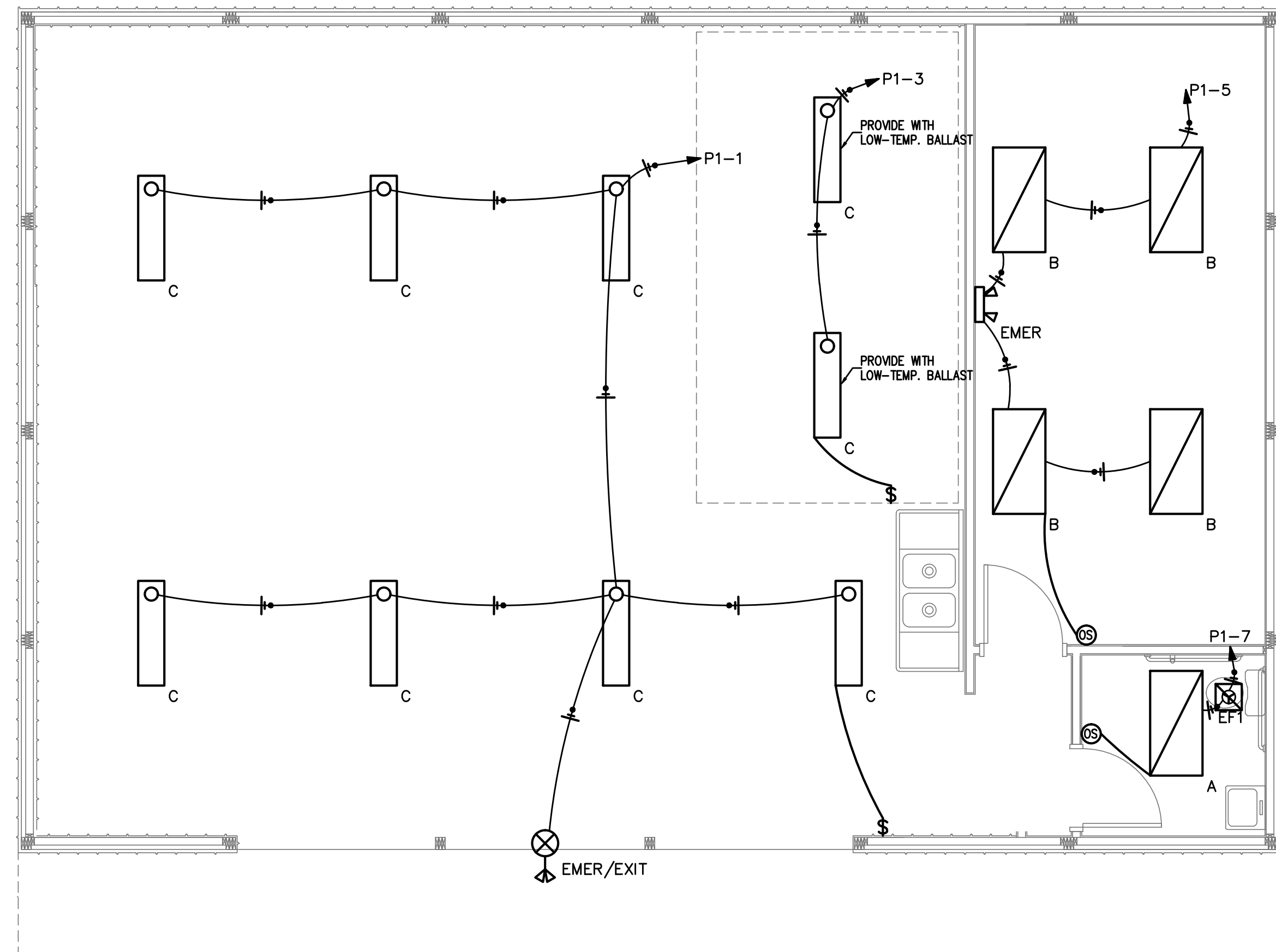
2
 E1
ELECTRICAL NOTES
 N.T.S.



3
 E1
ELECTRIC RISER
 N.T.S.

P1		ROOM MOUNTING FLUSH BUS AMPS 200		VOLTS 240/120V 2P 3W		AIC 10,000			
FED FROM UTILITY		NEUTRAL 100%		MAIN BKR 200		LUGS STANDARD			
CKT #	CKT BKR	CIRCUIT DESCRIPTION	LOAD KVA		CKT #	CKT BKR	CIRCUIT DESCRIPTION	LOAD KVA	
			A	B				A	B
1	20/1	LIGHTING	0.284		2	15/1	MSOU-1	1.61	
3	20/1	LIGHTING		0.08	4	20/1	WATER HEATER		1.44
5	20/1	LIGHTING	0.129		6	30/2	WIC CONDUNIT	2.4	
7	20/1	EF1, LIGHTING		0.048	8				2.4
9	20/1	RECEPTACLE	0.72		10	20/1	WIC EVAPORATOR	1.2	
11	20/1	RECEPTACLE		0.9	12	20/1	WIC EVAPORATOR		1.2
13	20/1	RECEPTACLE	0.18		14	20/1	SPACE	0	
15	20/1	RECEPTACLE		0.72	16	20/1	SPACE	0	0
17	20/1	RECEPTACLE	0.54		18	20/1	SPACE	0	
19	20/1	RECEPTACLE		0.54	20	20/1	SPACE	0	0
21	20/1	RECEPTACLE	0.18		22	20/1	SPACE	0	
23	20/1	SPACE		0	24	20/1	SPACE	0	0
25	20/1	SPACE	0		26	20/1	SPACE	0	
27	20/1	SPACE		0	28	20/1	SPACE	0	0
29	20/1	SPACE	0		30	20/1	SPACE	0	
31	20/1	SPACE		0	32	20/1	SPACE	0	0
33	20/1	SPACE	0		34	20/1	SPACE	0	
35	20/1	SPACE		0	36	20/1	SPACE	0	0
37	20/1	SPACE	0		38	20/1	SPACE	0	
39	20/1	SPACE		0	40	20/1	SPACE	0	0
41	20/1	SPACE	0		42	20/1	SPACE	0	
TOTAL CONNECTED KVA BY PHASE								7.24	7.33
		CONN KVA	CALC KVA				CONN KVA	CALC KVA	
LIGHTING		0.521	0.651	(125%)	RECEPTACLES		3.78	3.78	(50%>10)
LARGEST MOTOR		4.8	1.2	(25%)	NONCONTINUOUS		1.44	1.44	(100%)
MOTORS		2.42	2.42	(100%)	HEATING		1.61	0	(0%)
					COOLING		6.41	6.41	(100%)
					TOTAL LOAD			15.9	
					BALANCED LOAD			66.2 A	

May 26, 2021



APPENDIX B 2018 BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

ELECTRICAL DESIGN

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance:
 Energy Code: Prescriptive Performance
 ASHRAE 90.1: Prescriptive Performance

Lighting schedule (each fixture type)
 lamp type required in fixture
 number of lamps in fixture
 ballast type used in the fixture
 number of ballasts in fixture
 total wattage per fixture SEE LUMINAIRE SCHEDULE
 506.1648 total interior wattage specified vs. allowed (whole building or space by space)
 total exterior wattage specified vs. allowed

- Additional Prescriptive Compliance
- 506.2.1 More Efficient HVAC Equipment
 - 506.2.2 Reduced Lighting Power Density
 - 506.2.3 Energy Recovery Ventilation Systems
 - 506.2.4 Higher Efficiency Service Water Heating
 - 506.2.5 On-Site Supply of Renewable Energy
 - 506.2.6 Automatic Daylighting Control Systems

1
E2 LIGHTING PLAN
 1/4" = 1'

Ⓢ BRYANT (HUBBELL) MSD1000W1 OR EQUAL WALL SWITCH OCCUPANCY SENSOR DUAL (ULTRASONIC AND PASSIVE INFRARED) TECHNOLOGY 1,000 SQUARE FOOT COVERAGE 800W INCANDESCENT, 1000W FLUORESCENT AT 120V AC

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	INPUT WATTS	VOLTS	NOTE 1
A		(112) 17W (112) 4000K CCT, 85 CRI LEDs	2' X 4' LED RECESSED TROFFER	ELECTRONIC	RECESSED	COOPER LIGHTING SOLUTIONS - METALUX (FORMERLY EATON), 24GR-LD5-30-F1-UNV-LB40-CD1-U	23.434	120V 1P 2W	
B		(112) (112) 4000K CCT, 85 CRI LEDs	2' X 4' LED RECESSED TROFFER	ELECTRONIC	RECESSED	COOPER LIGHTING SOLUTIONS - METALUX (FORMERLY EATON), 24GR-LD5-38-F1-UNV-LB40-CD1-U	30.624	120V 1P 2W	
C		(1) (1) 4000 CCT, 80 CRI LEDs	1 X 4 LED STRIP LIGHT	ELECTRONIC	PENDANT/SURFACE	COOPER LIGHTING SOLUTIONS - METALUX (FORMERLY EATON), 4SNLED-LD5-55HL-LC-UNV-LB40-CD1-U	40	120V 1P 2W	DAMP LOCATION LISTED
EMER		(2) 1.5W LED	EMER. LIGHT W/1.5 HR NI-CAD BATTERY	ELECTRONIC	WALL/CEILING	LITHONIA ELM2-LED	3	120V 1P 2W	
EMER/EXIT		(2) 1.5W LED	COMBINATION EXIT/EMERGENCY UNIT WITH 90 MINUTE BATTERY AND MATCHING LED OUTDOOR REMOTE HEADS	ELECTRONIC	WALL/CEILING	HUBBELL CCRRC CORD	4	120V 1P 2W	

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