

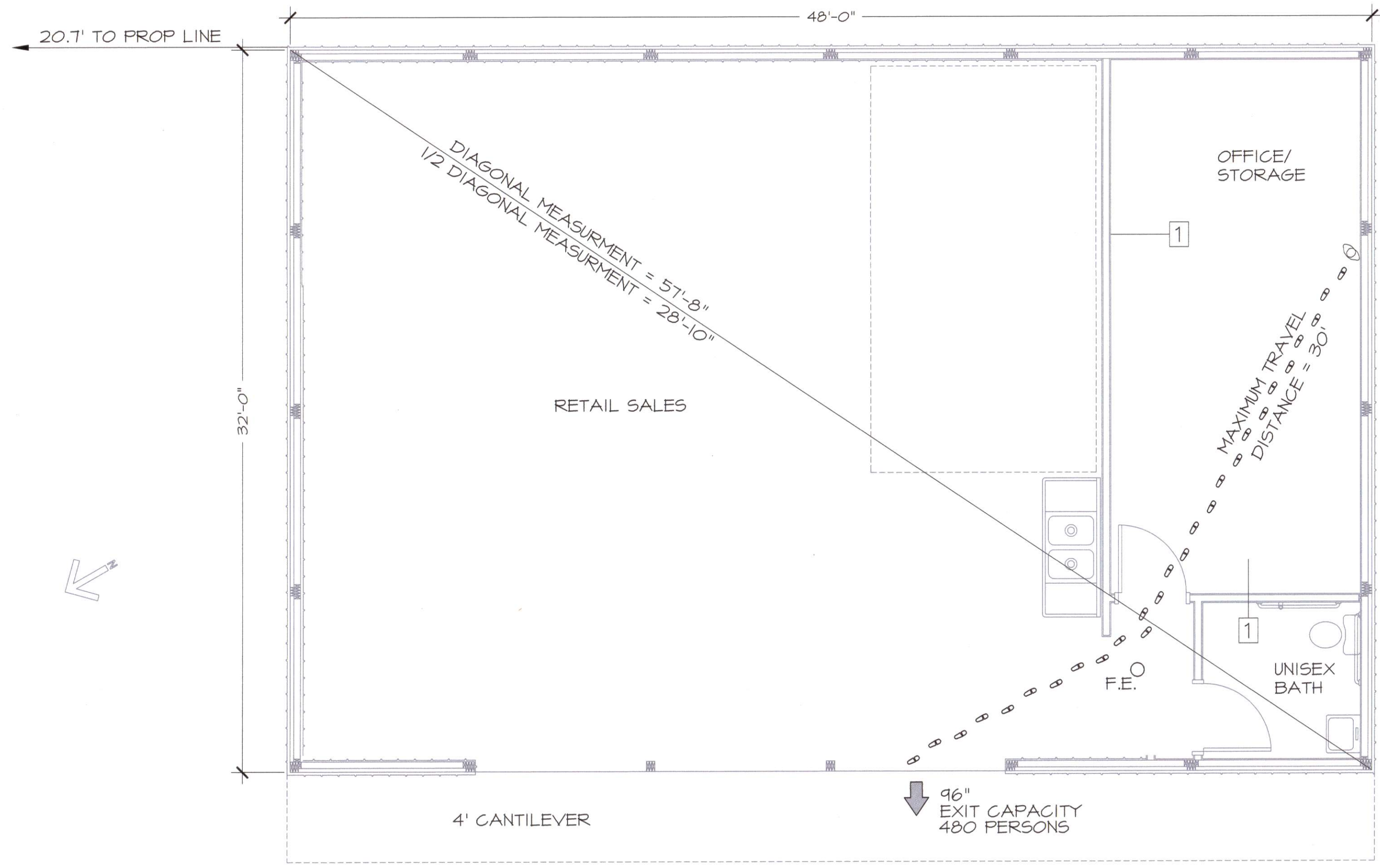
REVISIONS
5-22-21 INTERIOR LAYOUT

GEORGE M. ROSE, P.E.
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910-977-5822 FAX 910-485-5823 EMAIL grose9295@gmail.com

NEW BUILDING FOR
SEAVIEW CRAB COMPANY
HARNETT COUNTY, NC
H.M. CAGLE DRIVE
LIFE SAFETY PLAN

DATE: APR 2021
DRAWN BY: GMR
CHECKED: GMR
SCALE: NOTED

SHEET NO.
LS



LIFE SAFETY PLAN
1/4" = 1' - 0"

OCCUPANCY INFORMATION SUMMARY

GROSS SQUARE FOOTAGE = 1,536
TYPE OF CONSTRUCTION: V-B
SPACE OCCUPANCY (INSIDE THE BUILDING) BY NET SF USING TABLE 1004.1.1
MERCANTILE: 1536 SF/60 SF PER PERSON = 1536/60 = 26 PERSONS
= 13 MALES, 13 FEMALES
MAXIMUM TRAVEL DISTANCE SHOWN: 30 FEET (PER 1016)
MAXIMUM ALLOWABLE TRAVEL DISTANCE: 250 FEET (PER 1017.2)
THE COMMON PATH OF TRAVEL IS LESS THAN 75 FEET. (PER 1029.8)
THERE ARE NO DEAD END CORRIDORS OVER 20 FEET. (PER 1020.4)
MIN. NO. OF EXITS REQ'D: ONE (PER TABLE 1006.2.1)
NUMBER OF EXITS PROVIDED: ONE (OPEN AREA ACROSS FRONT OF BUILDING)
MAXIMUM DIAGONAL LENGTH = 57'-8"

EGRESS DOORS DO NOT REQUIRE PANIC HARDWARE. (PER 1008.1.10)
DOORS DO NOT HAVE DELAYED EGRESS LOCKS (PER 1008.1.9.7)
DOORS DO NOT HAVE ELECTROMAGNETIC EGRESS LOCKS (PER 1008.1.9.8)
DOORS DO NOT HAVE HOLD OPEN DEVICES.
THERE ARE NO EMERGENCY ESCAPE WINDOWS (PER 1029)
THERE ARE NO SLEEPING AREAS (SMOKE COMPARTMENTS) (PER 407.2)
EGRESS ILLUMINATION PROVIDED AT EACH EXIT (PER 1006)

THIS SPACE IS NOT PROTECTED BY FIRE SPRINKLERS.

NO. OF FIRE EXTINGUISHERS PROVIDED: ONE
PROVIDE FIRE EXTINGUISHERS UNDER THE FOLLOWING CONDITIONS:
1. WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT
2. IN AREAS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED, USED OR DISPENSED.
3. WHERE REQUIRED BY SECTIONS IN TABLE 906.1, N.C. BUILDING CODE
4. SPECIAL-HAZARD AREAS WHERE REQUIRED BY FIRE CODE OFFICIAL.

THERE ARE NO EXTERIOR BEARING WALLS.

LEGEND	
F.E. O	ABC FIRE EXTINGUISHER SUGGESTED LOCATION
⊕ ⊖ ⊕	EXIT ROUTE
➔ 36"	EXIT WIDTH
EXIT	EXIT SIGN

WALL TYPES
1 2X4 WOOD STUDS WITH 5/8" SHEETROCK TO UNDERSIDE OF ROOF TRUSSES





VICINITY MAP
NO SCALE

LEGEND

- CP COMPUTED POINT (PROPERTY CORNER)
- LP EXISTING LIGHT POLE
- PP EXISTING POWER POLE
- OHE--- EXISTING OVERHEAD ELECTRICAL
- 373--- EXISTING CONTOUR

NOTES

1. SITE IS LOCATED ON A 11.57 AC TRACT PER PB 2000 PG 747 ADJACENT TO THE HARNETT YMCA FACILITY.
2. PROPERTY OWNER:
HM'S KIDS INC
3035 NC HIGHWAY 87 S
CAMERON, NC 28326
3. REFERENCE: DB 3064 PG 648, PB 2000 PG 747
4. PIN NO: 4585-70-2010.000
5. NC 87 IS ON THE HARNETT COUNTY COMPREHENSIVE TRANSPORTATION PLAN.
6. THIS DEVELOPMENT IS WITHIN THE FIVE MILE MILITARY CORRIDOR OVERLAY ZONE, AND MAY BE SUBJECT TO MILITARY TRAINING ACTIVITIES.
7. PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE BUILDING AND PROJECT LANDSCAPING.
8. TRASH GENERATED BY THIS OPERATION IS HAULED OFF PREMISES BY THE OWNER ON THURSDAYS AND SATURDAYS. NO DUMPSTER AREA IS PROPOSED.
9. SEWER SERVICE INSTALLATION BY OPEN CUT. SEE ASPHALT REPAIR DETAIL THIS SHEET FOR ASPHALT PLACEMENT.
10. A LICENSED UTILITY CONTRACTOR WILL INSTALL THE PROPOSED WATER AND SEWER SERVICES.
11. THE SEWER SERVICE FROM THE HRW EASEMENT LINE IS PRIVATE.
12. WATER USE CALCULATIONS:
3 EMPLOYEES X 25 GAL/EMPLOYEE/SHIFT = 75 GALLONS PER DAY.
ESTIMATE ADDITIONAL 25 GAL/DAY FOR HOSE BIBS, MISCELLANEOUS.
TOTAL WATER USAGE = 75 + 25 = 100 GALLONS PER DAY.
13. HOURS OF OPERATION:
THURSDAY 11:00 - 6:00
FRIDAY 11:00 - 6:00
SATURDAY 10:00 - 6:00
SUNDAY 10:00 - 4:00
14. PERMISSION TO CROSS CENTRAL ELECTRIC 100' POWER LINE EASEMENT WITH NEW WATER AND SEWER SERVICES GIVEN BY LETTER FROM DIRECTOR OF ENGINEERING SERVICES MICHAEL DOWDY. NO ADDITIONAL EASEMENTS REQUIRED.
15. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL HARNETT COUNTY STANDARDS AND SPECIFICATIONS.
16. THE CONTRACTOR MUST CONTACT THE NORTH CAROLINA CALL CENTER AT 800-632-4949 12 HOURS PRIOR TO DIGGING IN ORDER TO LOCATE ALL EXISTING UTILITIES.

AS THE OWNER OF RECORD, I HEREBY FORMALLY CONSENT TO THE PROPOSED DEVELOPMENT SHOWN ON THIS SITE PLAN AND ALL REGULATIONS AND REQUIREMENTS OF THE HARNETT COUNTY ORDINANCES.

DATE _____ NATHAN KING

LANDSCAPING REQUIREMENTS

TYPE C BUFFER REQUIRED FOR THIS DEVELOPMENT
H.M. CAGLE DRIVE FRONTAGE = 178'

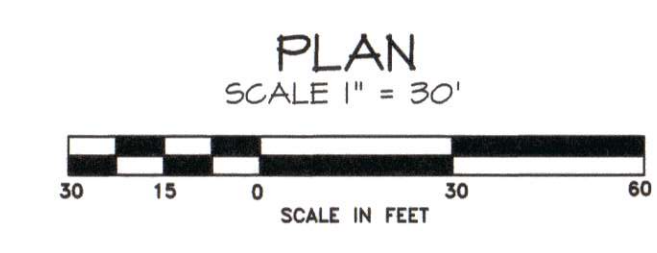
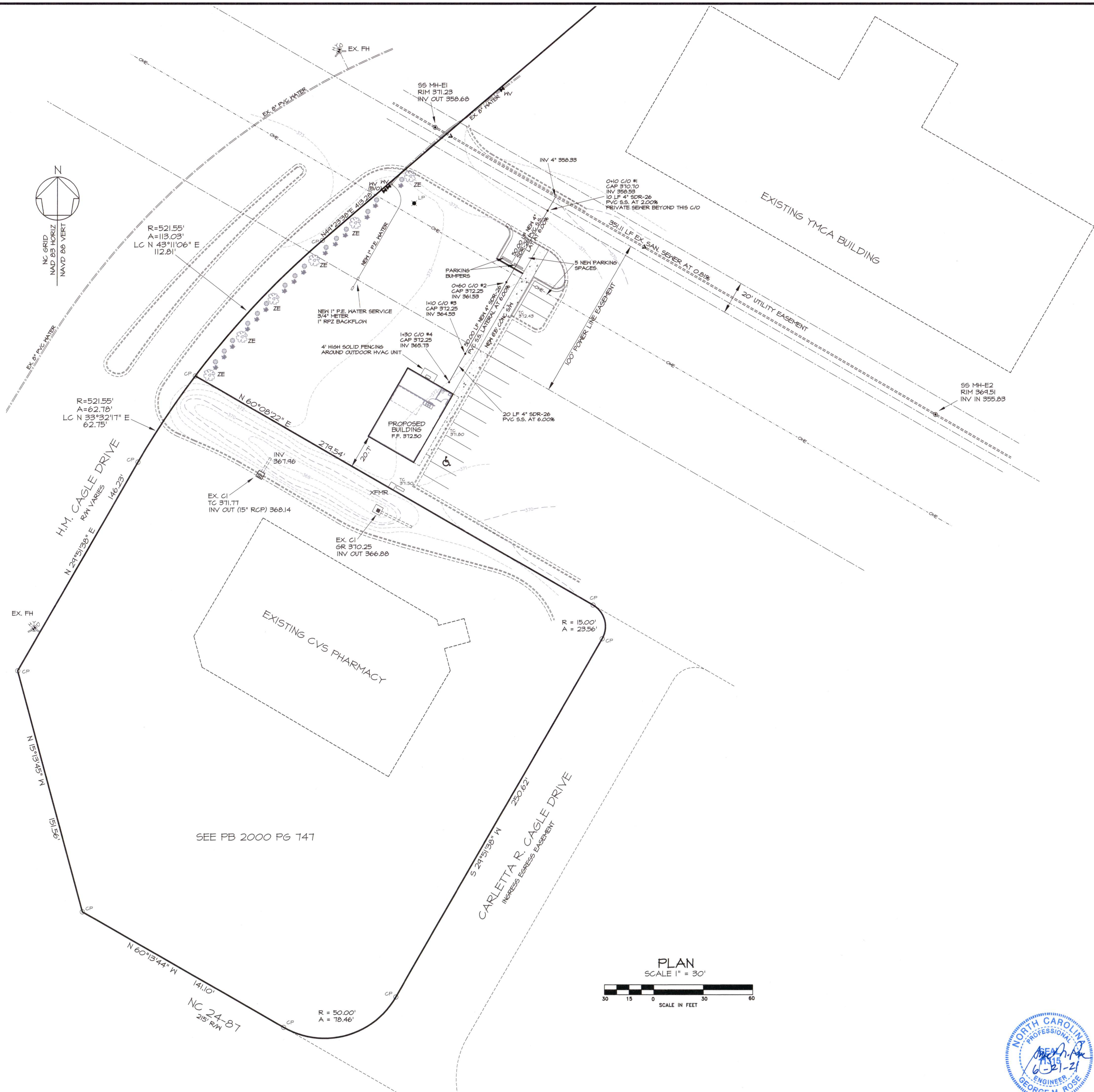
1. LARGE MATURING TREE REQUIRED FOR EVERY 30' OF FRONTAGE
178/30 = 6 TREES
2. 5 LOW-GROWING SHRUBS REQUIRED FOR EVERY TREE
6(5) = 30 TOTAL SHRUBS REQUIRED

LANDSCAPING NOTES

1. SHRUBBERY IS TO BE PLANTED MIN. 30" FROM CURBING AND PARKING SPACES TO PREVENT DAMAGE FROM CAR OVERHANGS.
2. SHRUBS INSTALLED AS VEHICULAR USE SCREENING ARE TO BE MAINTAINED AT MIN. HEIGHT 36". MIN. INSTALLATION HEIGHT 24".
3. LIGHT POLES TO BE MIN. 15' FROM TREES. ANY FIELD ADJUSTMENTS MUST COMPLY WITH THIS STANDARD AND BE APPROVED BY CITY STAFF PRIOR TO INSTALLATION.
4. EACH TREE SHALL BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE ROOT FLARE WITH MULCH.
5. DO NOT PLACE MULCH IN CONTACT WITH THE TREE TRUNK. KEEP MULCH A MINIMUM OF 4 INCHES AWAY FROM THE TRUNK BASE.

PLANTING LEGEND

CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
ZE	6	ZELKOVA SERRATA	ZELKOVA GREEN VASE	2'	MIN. 8' HEIGHT
SHRUBS					
CJ	15	CLEYERA JAPONICA	JAPANESE CLEYERA	MIN 18"	
CH	15	ILEX CORNUTA	CARISSA HOLLY	MIN 18"	



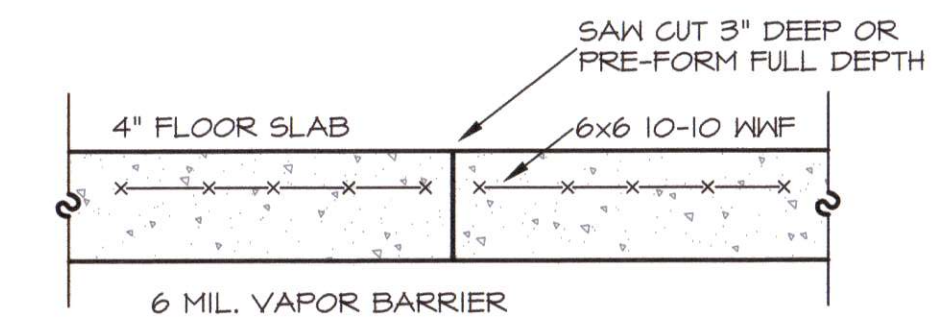
REVISIONS

5-26-21	NOTES, S/M WIDTH
6-11-21	PER DRB COMMENTS
6-21-21	NOTES

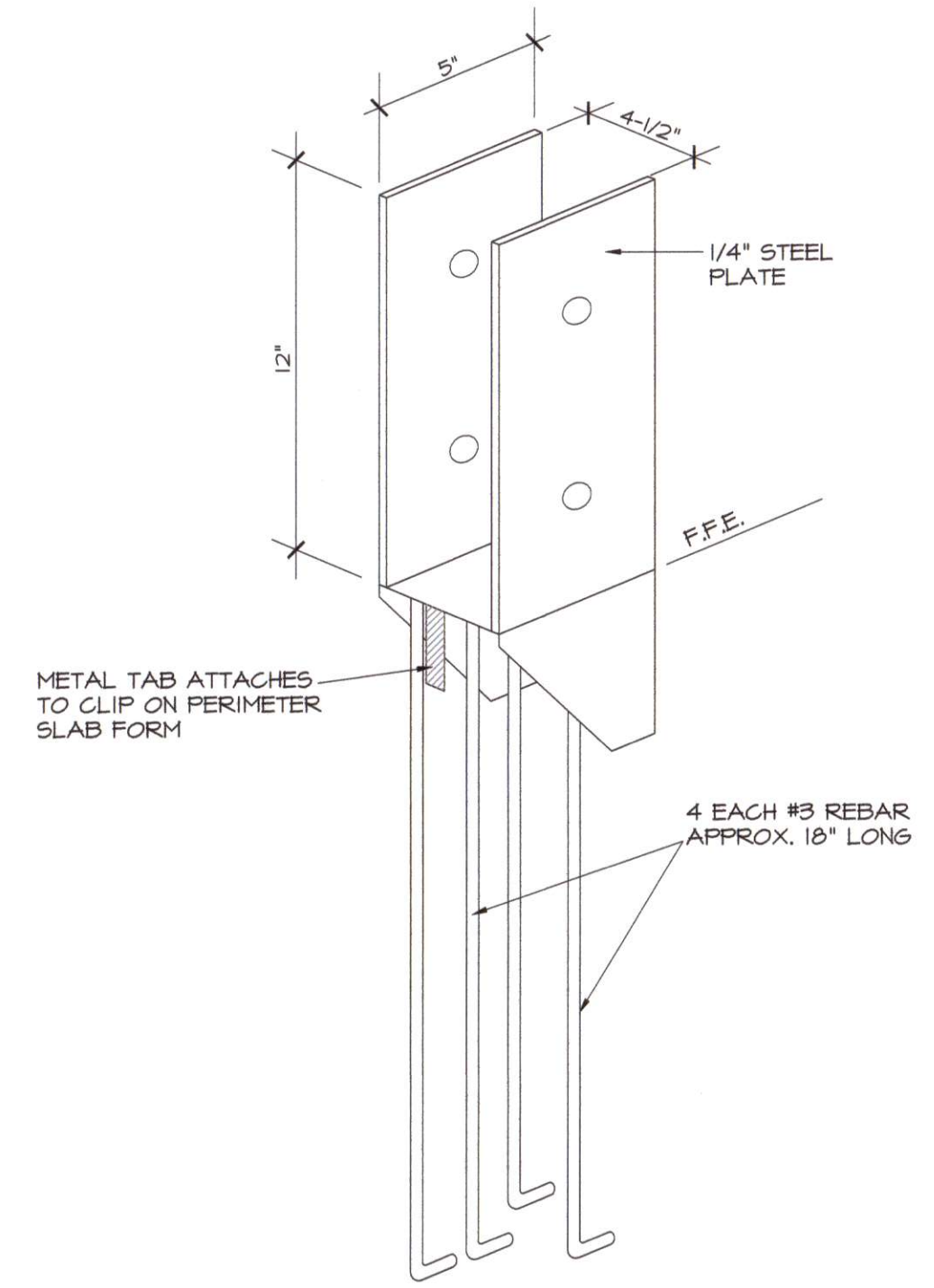
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H.M. CAGLE DRIVE
SITE PLAN

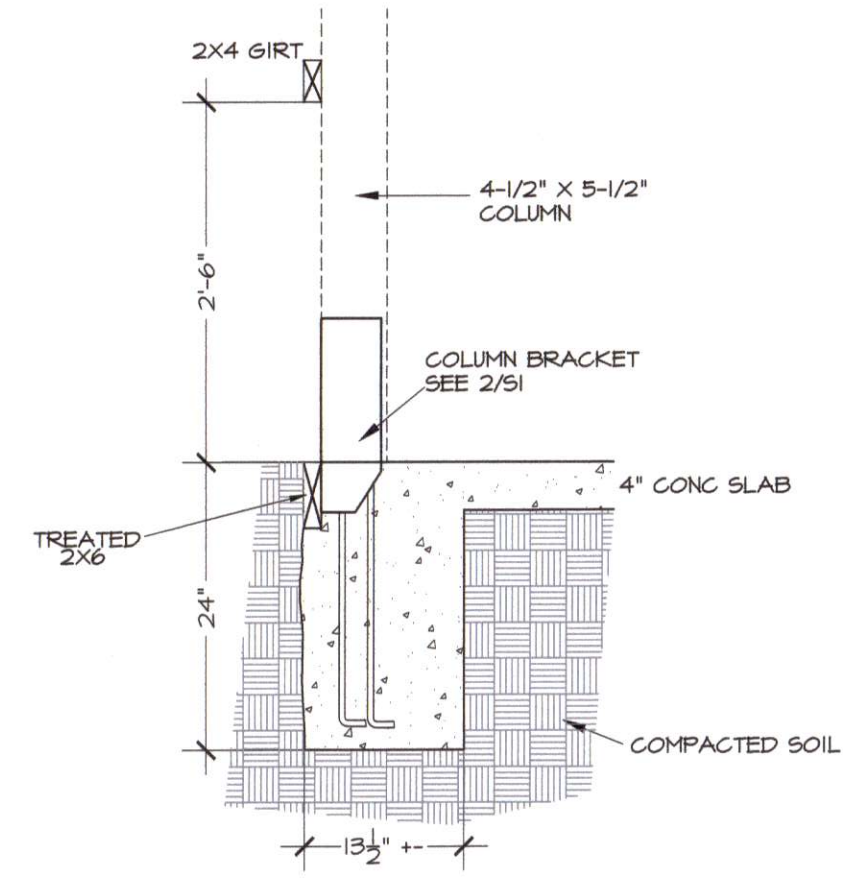
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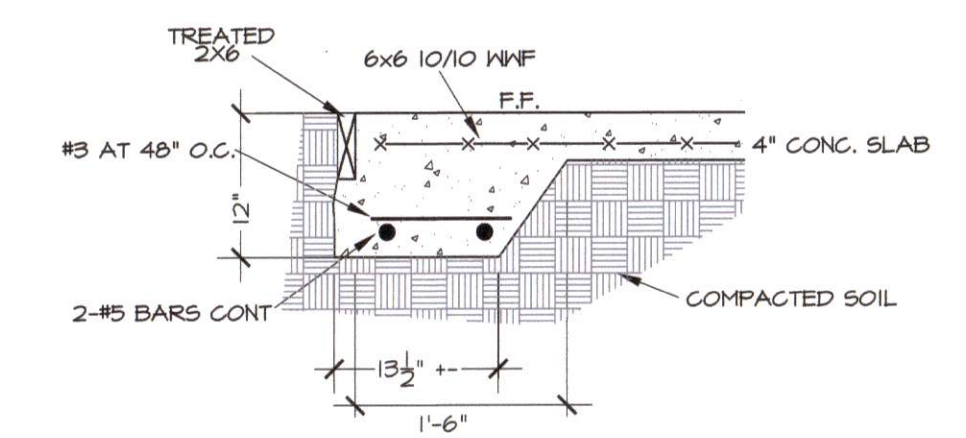
5 CONSTRUCTION JOINT
NO SCALE



4 COLUMN BRACKET
NO SCALE



3 FOOTING A
3/4" = 1' - 0"



2 PERIMETER FOOTING
3/4" = 1' - 0"

GENERAL CONDITIONS

THE GENERAL CONTRACTOR SHALL MAKE ADEQUATE SANITARY PROVISIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY AND COMPLIANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT AS IT MAY REGARD ANY PHASE OF THE WORK ON THIS PROJECT.

SOIL COMPACTION AND TESTING

THE GENERAL CONTRACTOR SHALL OBTAIN THE SERVICES OF A TESTING LABORATORY, SUCH AS S&ME OR LAW ENGINEERING FOR THE PURPOSE OF DETERMINING THE SUITABILITY OF THE SUBSURFACE CONDITIONS AND THE BEARING CAPACITIES OF ALL AREAS BELOW CONCRETE. THE SOIL AND BEARING REPORT SHALL BE SUBMITTED PRIOR TO EXCAVATING, WHERE POSSIBLE, BUT PRIOR TO PLACEMENT OF ANY REINFORCING AND CONCRETE. SOIL BEARING TO BE MIN. 2,000 PSF.

CONCRETE WORK

- ALL CONCRETE FOR THE PROJECT SHALL BE "READY MIX" AND SHALL COMPLY WITH ASTM C-94. ALL SECTIONS OF THE CONCRETE WORK SHALL COMPLY WITH ALL ASTM AND ACI REQUIREMENTS.
- FORM WORK - ALL FORMS TO BE CAREFULLY BUILT AND SECURED IN PLACE IN SUCH A MANNER AS TO HAVE SUFFICIENT STRENGTH TO CARRY THE DEAD WEIGHT OF THE CONSTRUCTION AS A LIQUID, WITHOUT DEFLECTION OR VIBRATION. FORMS TO BE BUILT TIGHT, TRUE TO POSITION AND DIRECTION, THOROUGHLY BRACED, WIRED AND SPIKED OR OTHERWISE FASTENED TOGETHER.
- CONCRETE - MINIMUM OF 3,000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS, MINIMUM OF FIVE SACKS OF CEMENT PER CUBIC YARD OF CONCRETE, MAXIMUM OF 4" SLUMP.
- FINISHING - IN ACCORDANCE WITH THE LATEST A.C.I. CODE, PLUMB, LEVEL, TRUE IN LINE, FREE OF HONEYCOMB. BUILDING SLAB SHALL HAVE A HARD STEEL TROWEL FINISH. WALKS SHALL HAVE BROOMED FINISH, AND EXPANSION JOINTS AT APPROXIMATELY 50' O.C. AND DUMMY JOINTS AS SHOWN ON THE SITE PLAN.
- REMOVAL OF FORMS - FORMS SHALL BE CAREFULLY REMOVED SO AS NOT TO IMPAIR THE FACE OF THE CONCRETE. IMMEDIATELY AFTER THE FORMS ARE REMOVED ALL DAMAGE OF IMPERFECT WORK SHALL BE PATCHED IN A NEAT AND WORKMANLIKE MANNER, OR IF BADLY DAMAGED, IN THE OPINION OF THE OWNER, THE WORK SHALL BE REBUILT. THE MINIMUM TIME BEFORE ANY FORMS CAN BE REMOVED IS SEVEN (7) DAYS FOR SUCH MEMBERS AS ARE SUBJECT TO BENDING STRESSES, SUCH AS SLABS.
- CURING - USE MEMBRANE CURING METHOD. USE MFG. RATE, SPRAY IMMEDIATELY FOLLOWING FINISHING. PROTECT FROM FREEZING WEATHER. CURE A TOTAL OF 28 DAYS USING A.C.I. METHODS.

REINFORCING STEEL

ALL REINFORCING STEEL SHALL BE DEFORMED STEEL BARS CONFORMING TO A.S.T.M. A615, GRADE 60. ALL REINFORCING STEEL SHALL BE MANUFACTURED, DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH A.C.I. 318R, 318R AND A.C.I. SP 66. WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A185, IN AS LONG A LENGTH AS IS PRACTICAL. WELDED WIRE FABRIC SHALL BE LAPPED AT LEAST ONE GRID WIDTH PLUS 2". REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.

SPLICES:

REINFORCEMENT IN CONCRETE AND MASONRY SHALL HAVE LAP LENGTHS AS FOLLOWS, UNLESS OTHERWISE SPECIFIED ON DRAWINGS:

BAR SIZE:	IN CONCRETE:	IN MASONRY:
#3	1'-6"	2'-0"
#4	2'-0"	2'-6"
#5	2'-6"	3'-0"

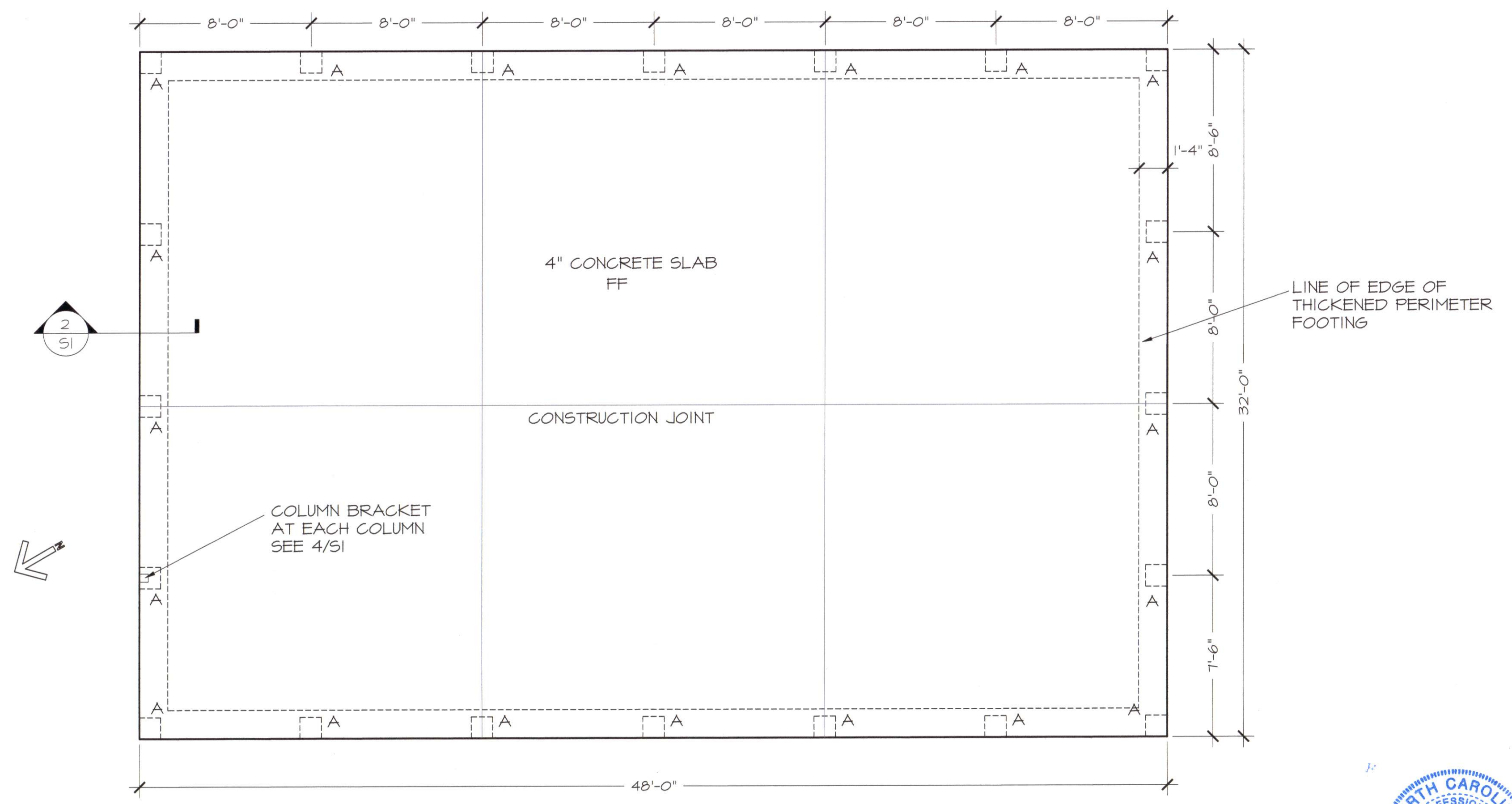
PLACEMENT: REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE, METAL, OR OTHER APPROVED CHAIRS, SPACERS OR TIES, AND SECURED AGAINST DISPLACEMENT DURING CONCRETE OR GROUT PLACEMENT.

EXCEPT WHERE OTHERWISE NOTED, REINFORCEMENT SHALL HAVE CONCRETE COVER AS FOLLOWS:

CONCRETE DEPOSITED AGAINST EARTH	3"
FORMED CONCRETE AGAINST EARTH	2"
EXTERIOR FACES OF WALLS	1"
TO TOP OF SLABS-ON-GRADE	3/4"

ALL SCALES, LOOSE RUST, GREASE OR DIRT SHALL BE REMOVED FROM THE REINFORCING BEFORE IT IS PLACED. PROVIDE #4 "HAIRPIN" AS SHOWN ON THE SLAB PLAN VIEW. ANCHOR BOLTS SHALL BE (A-3077) HIGH STRENGTH.

SOIL TREATMENT ADMINISTRATION AS ACCEPTABLE.



1 SLAB PLAN
1/4" = 1' - 0"



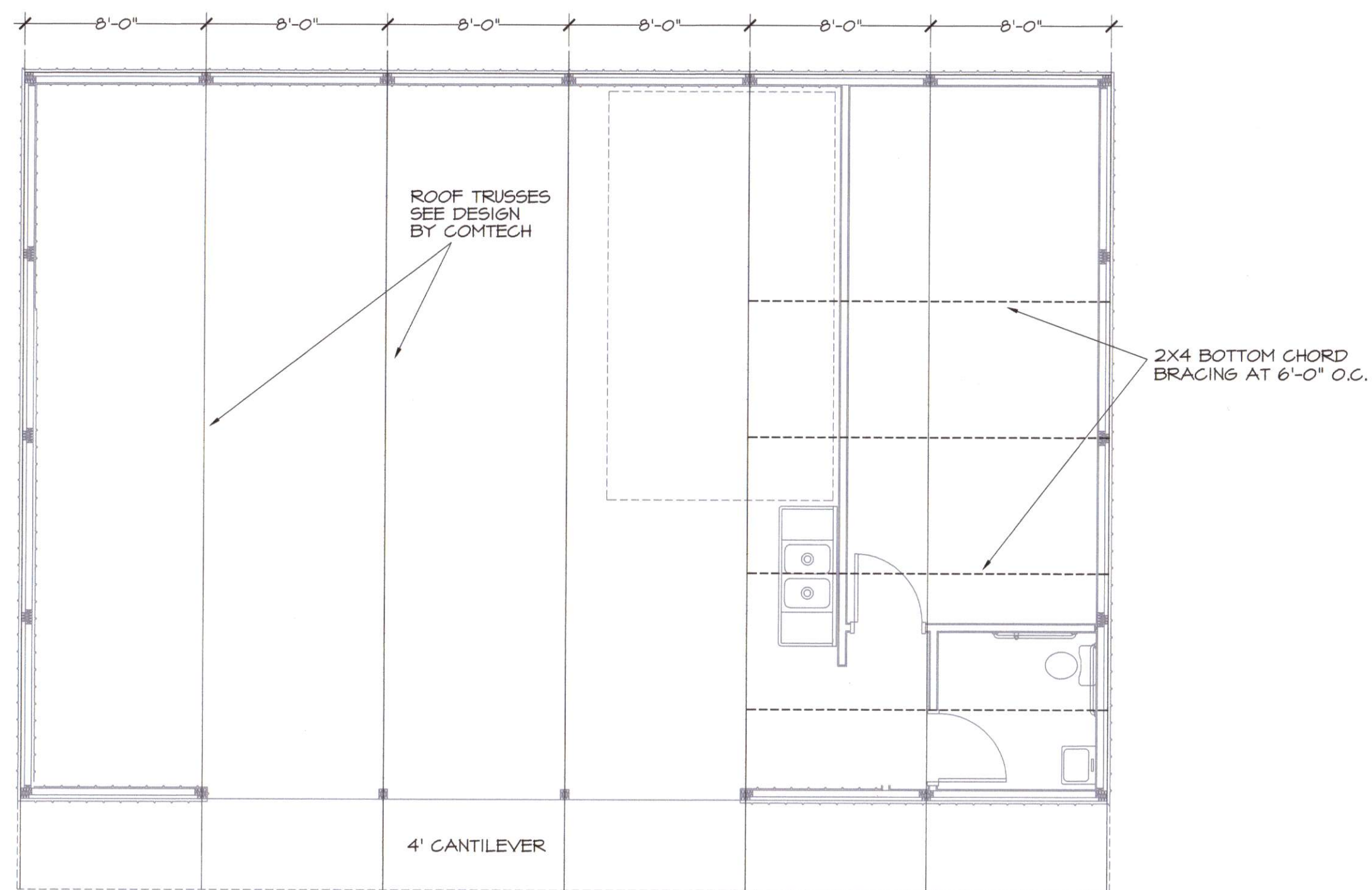
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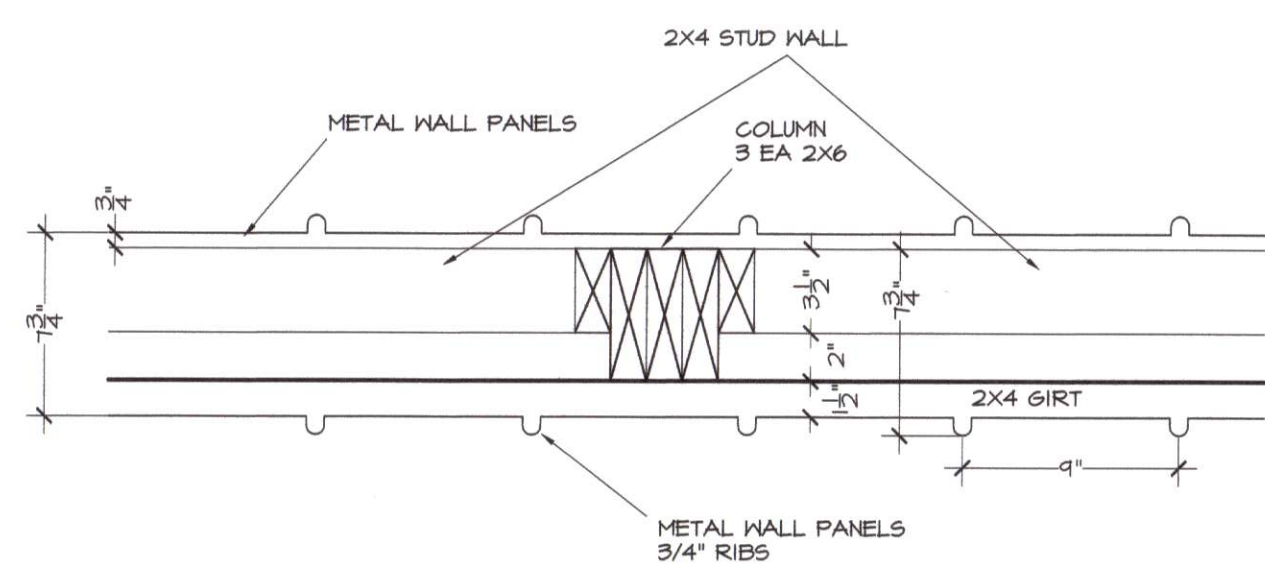
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HARNETT COUNTY, NC
H.M. CAGLE DRIVE
SLAB PLAN

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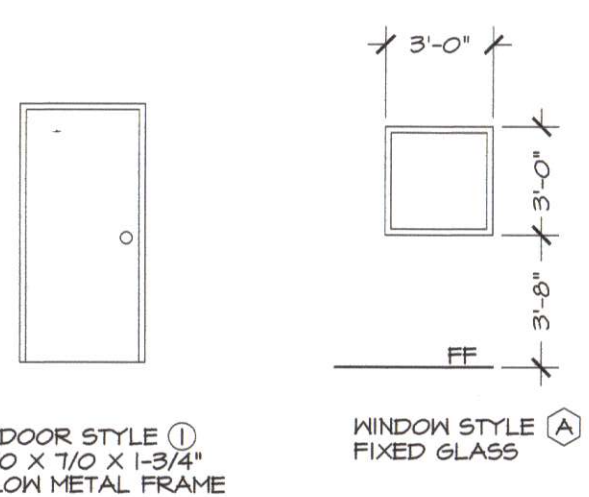
SHEET NO.
S1



2
61 **ROOF FRAMING PLAN**
3/16" = 1' - 0"

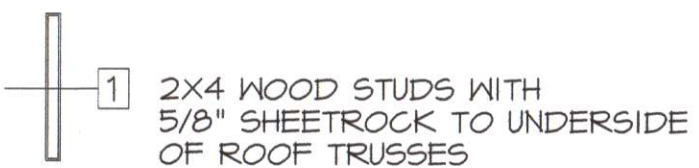


3
61 **WALL PLAN**
1-1/2" = 1' - 0"

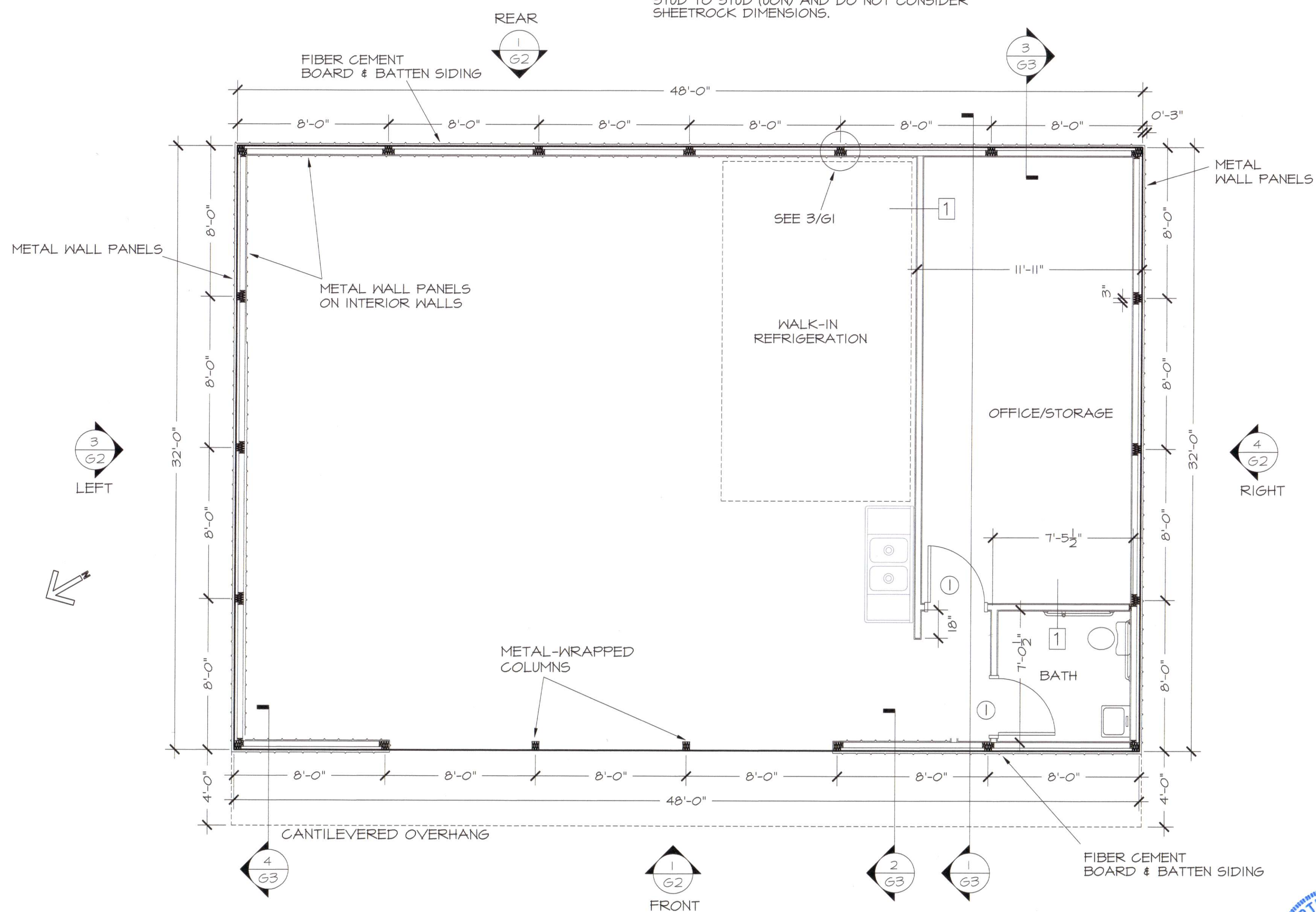


4
61 **DOOR AND WINDOW STYLES**
3/16" = 1' - 0"

WALL TYPES



NOTE
INTERIOR DIMENSIONS SHOWN ARE FRAMING STUD TO STUD (UON) AND DO NOT CONSIDER SHEETROCK DIMENSIONS.



1
61 **FLOOR PLAN**
1/4" = 1' - 0"



REVISIONS:
5-22-21 INTERIOR LAYOUT

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H.M. CAGLE DRIVE
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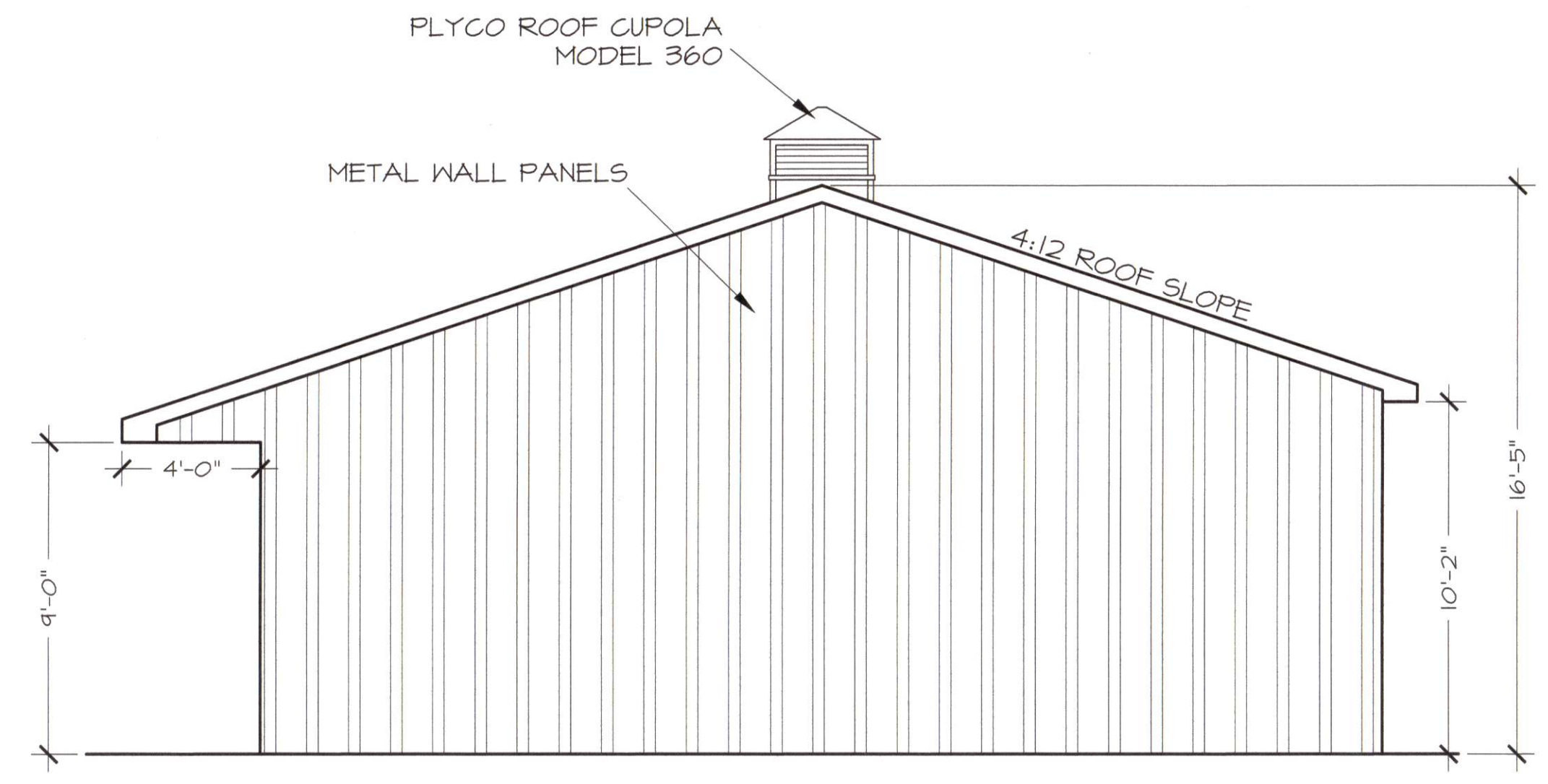
REVISIONS
5-22-21 BOARD & BATTEN

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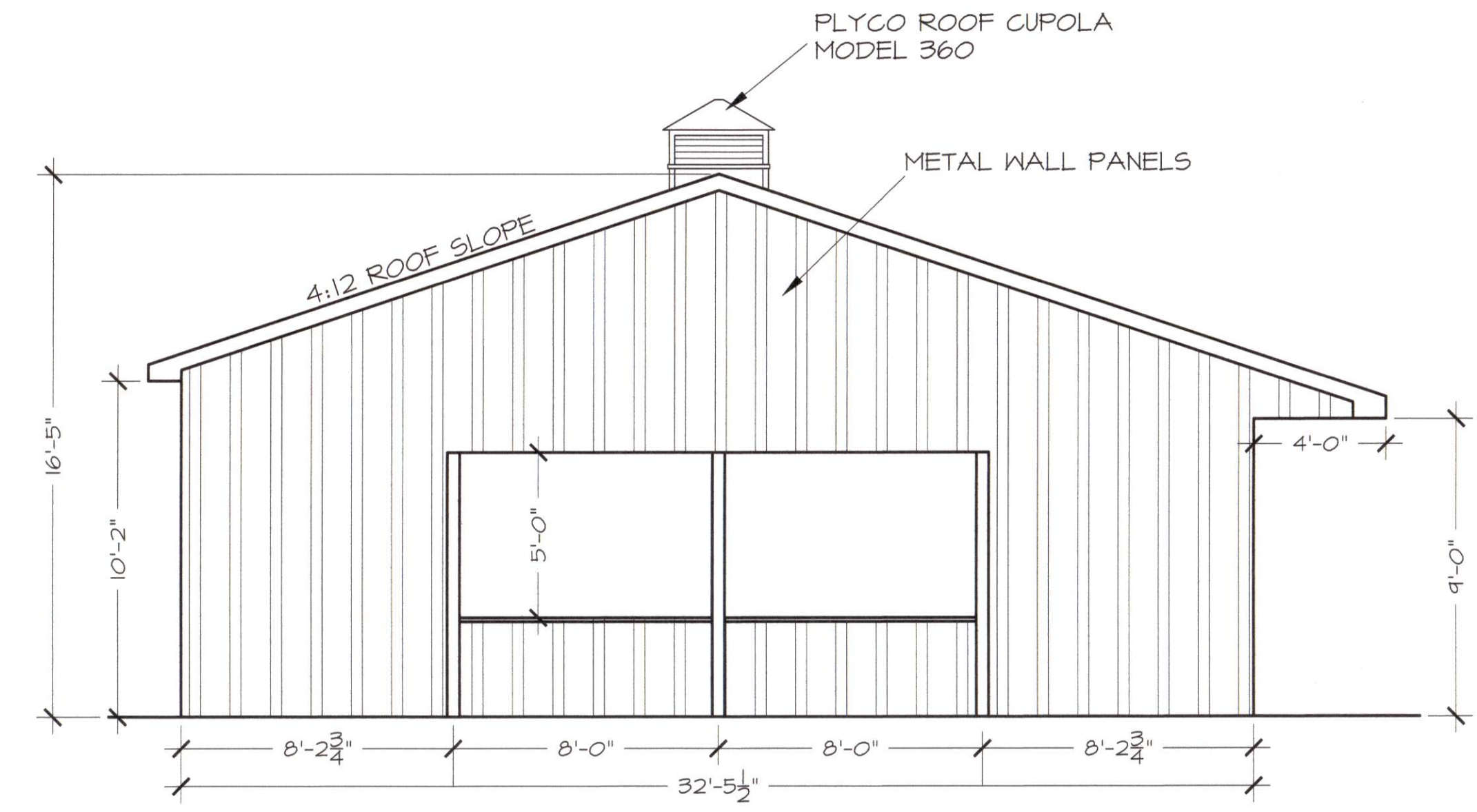
NEW BUILDING FOR
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 HARNETT COUNTY, NC
 H.M. CAGLE DRIVE
 ELEVATIONS

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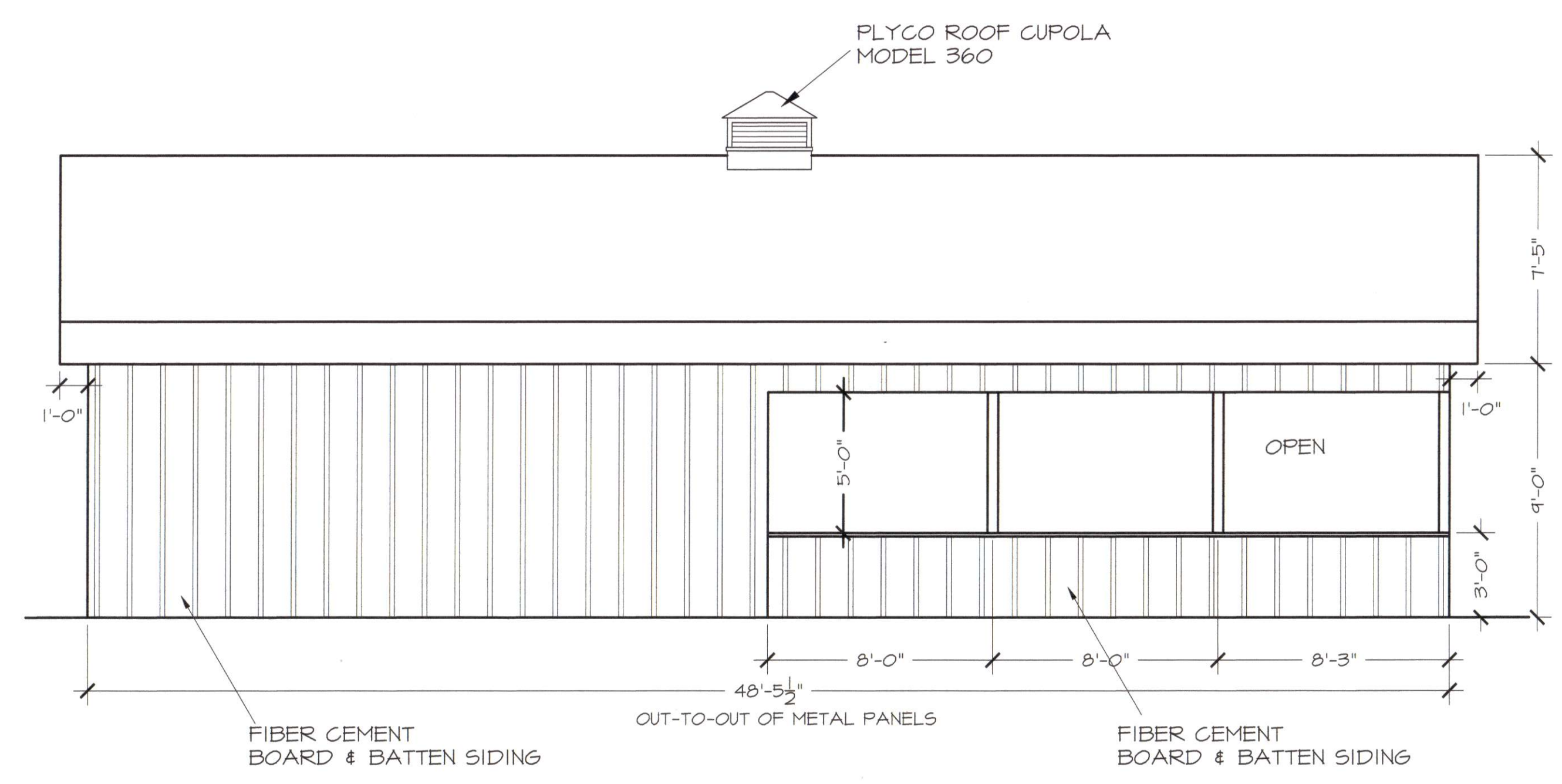
SHEET NO.
G2



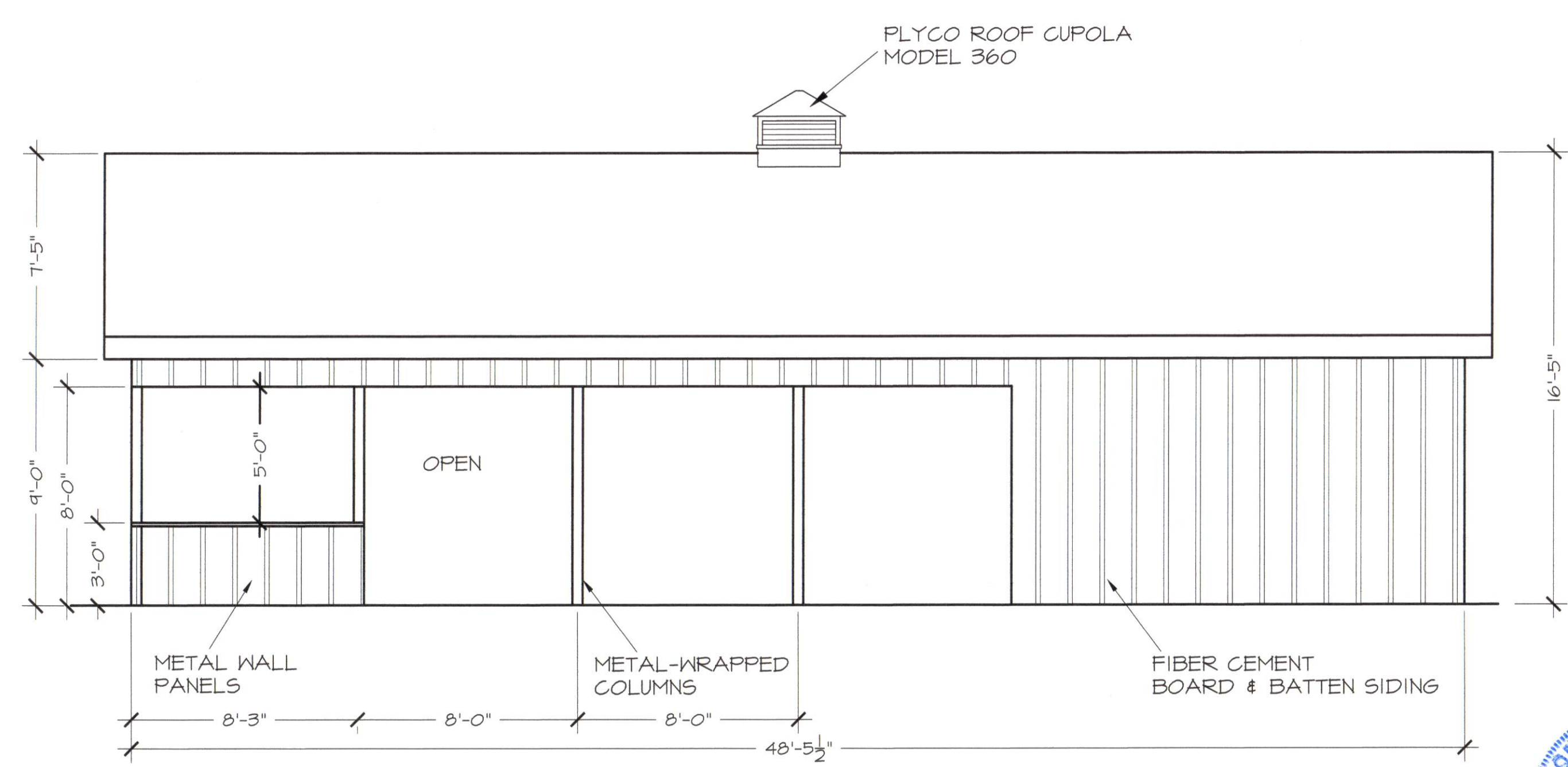
RIGHT ELEVATION
 3/16" = 1' - 0"



LEFT ELEVATION
 3/16" = 1' - 0"

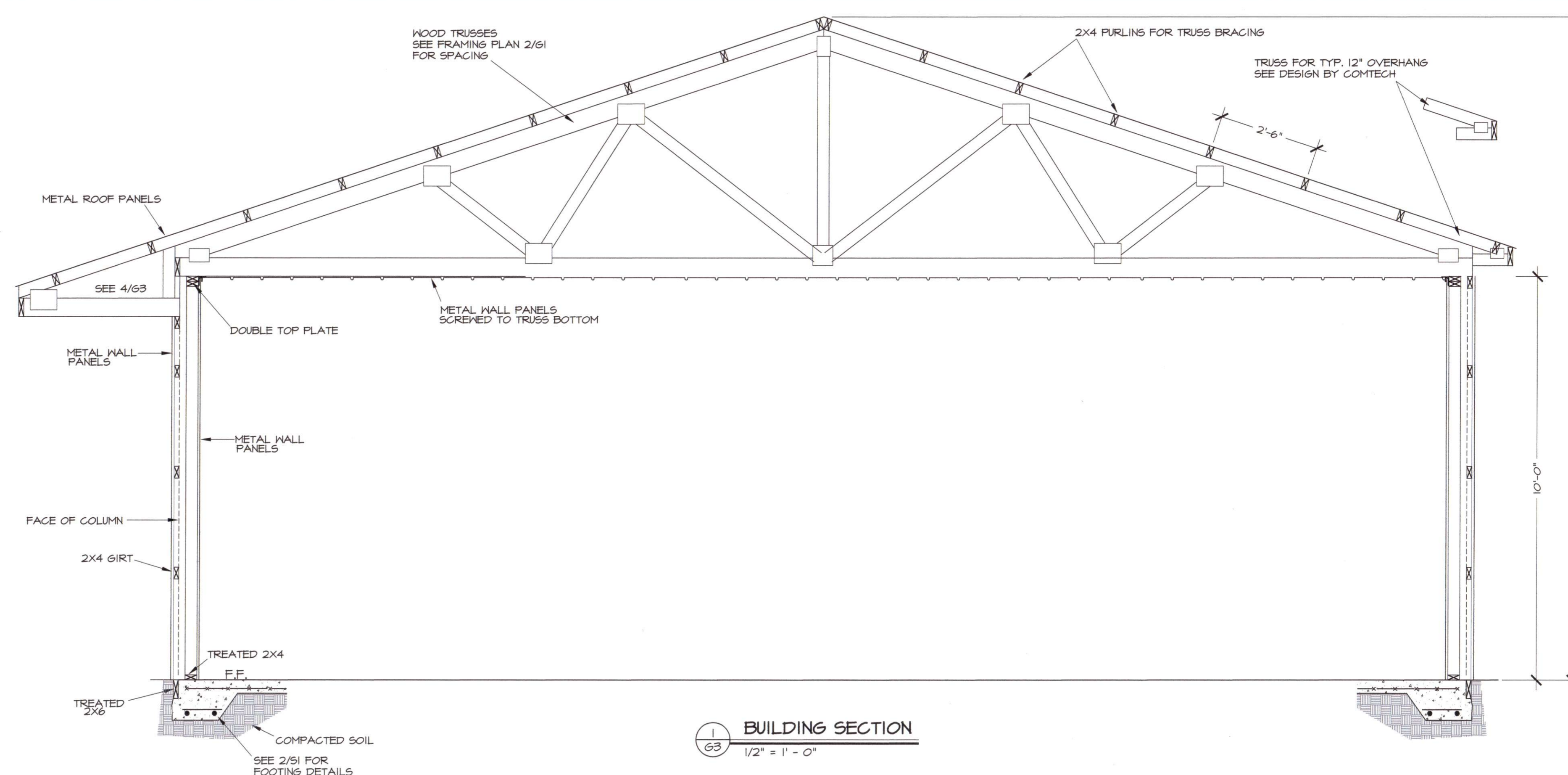


REAR ELEVATION
 3/16" = 1' - 0"

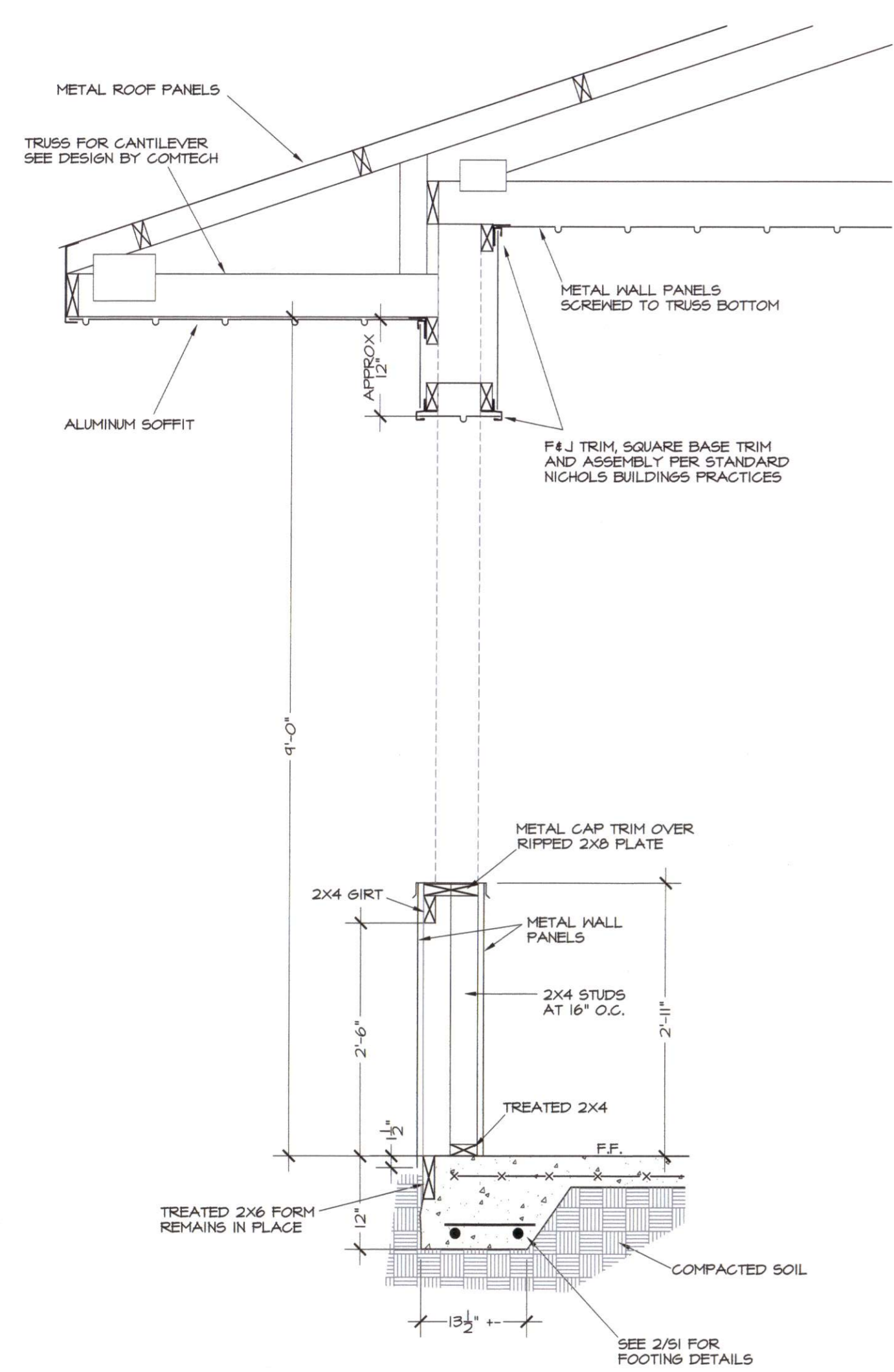


FRONT ELEVATION
 3/16" = 1' - 0"

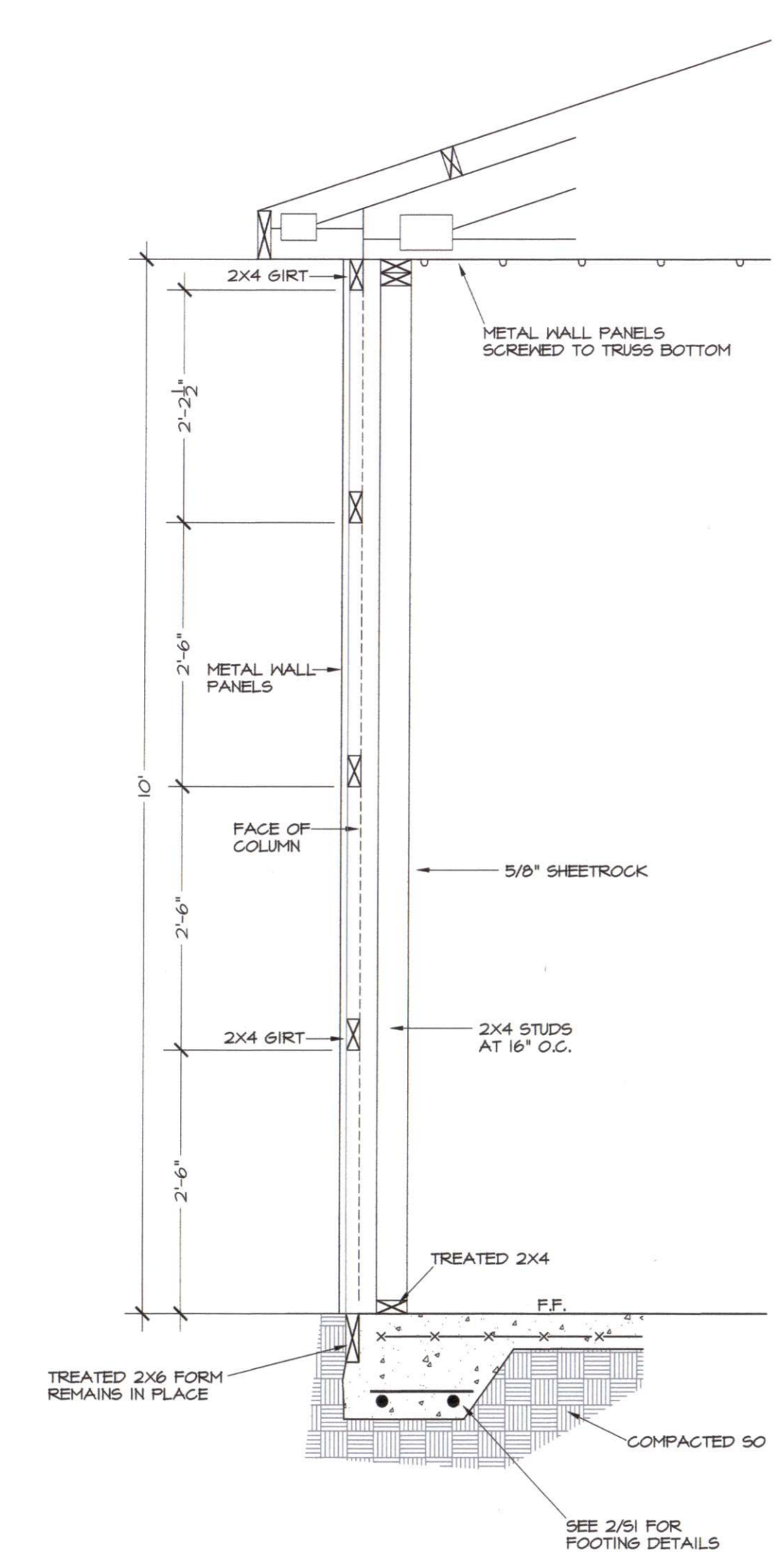




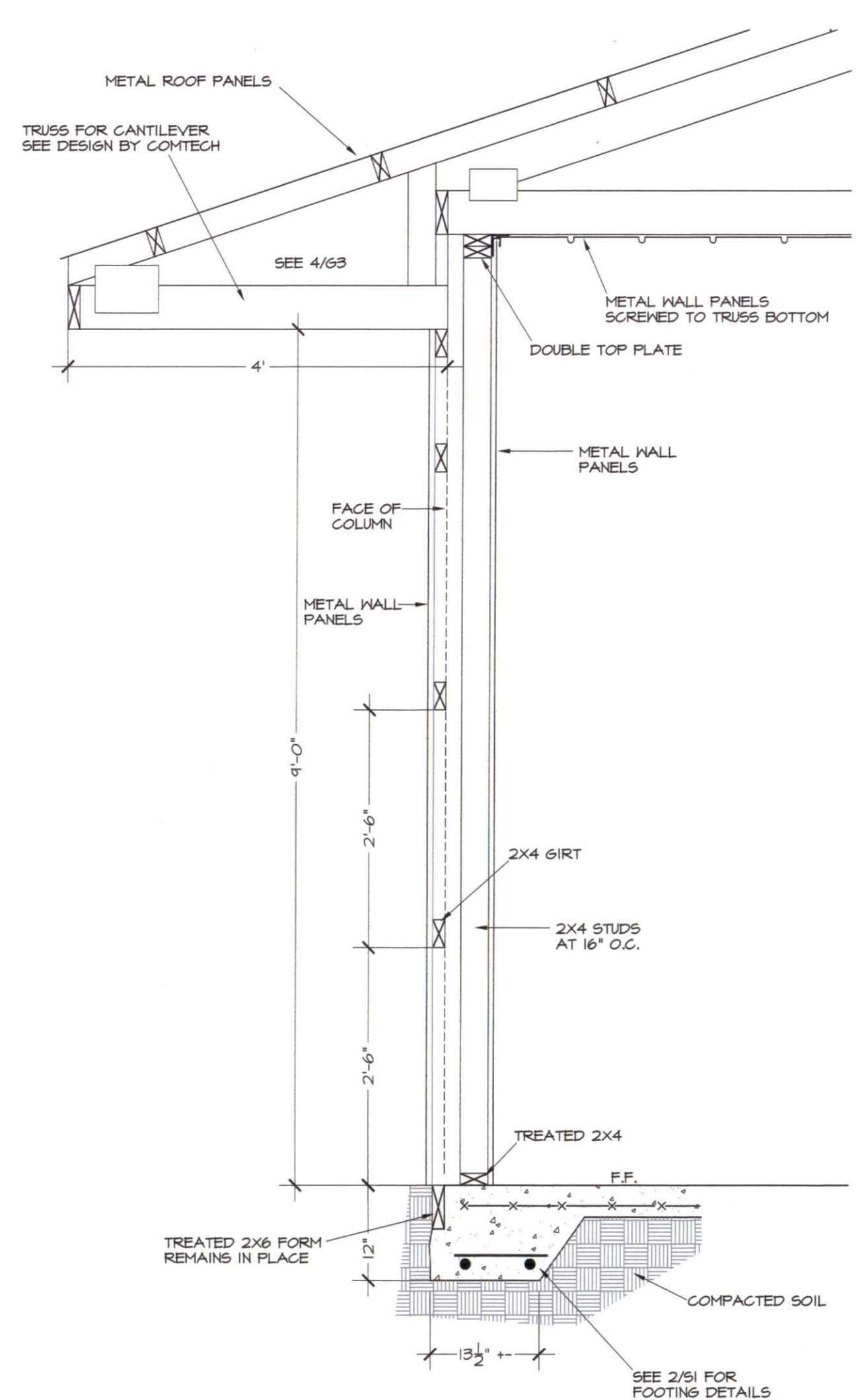
1
G3 BUILDING SECTION
1/2" = 1' - 0"



4
G3 WALL SECTION
3/4" = 1' - 0"



3
G3 WALL SECTION
3/4" = 1' - 0"



2
G3 WALL SECTION
3/4" = 1' - 0"

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BUILDING SECTIONS

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G3

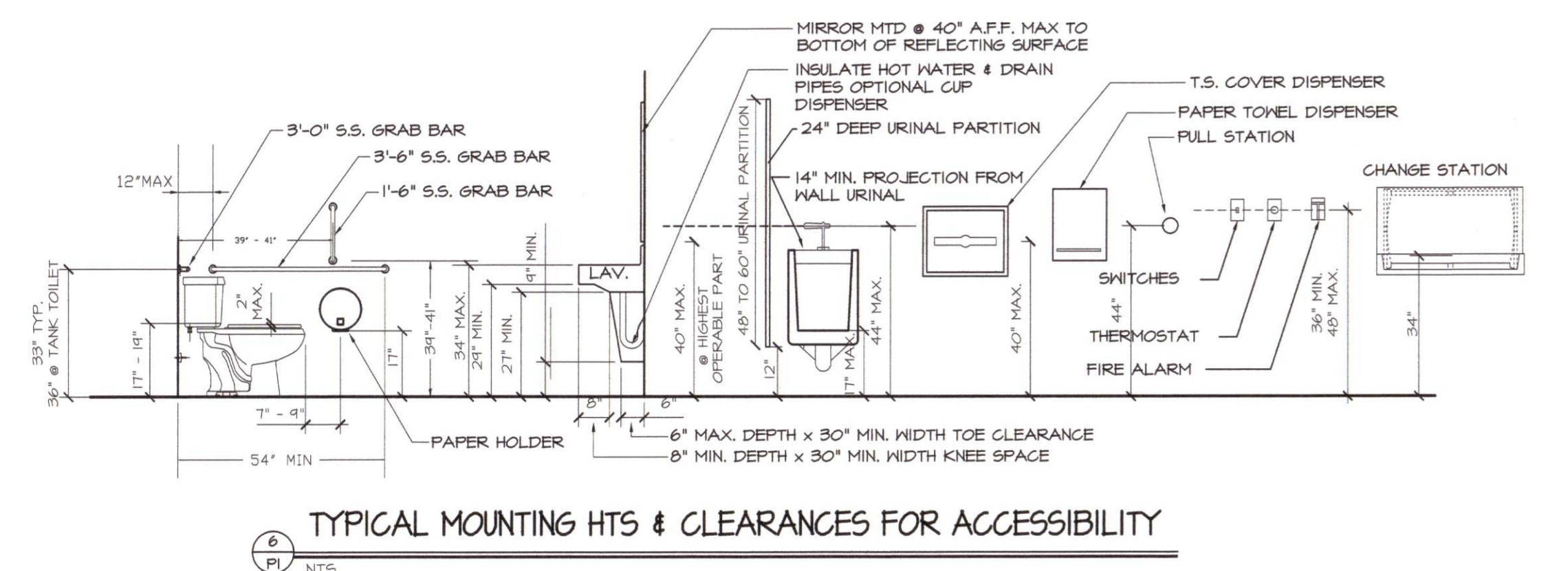


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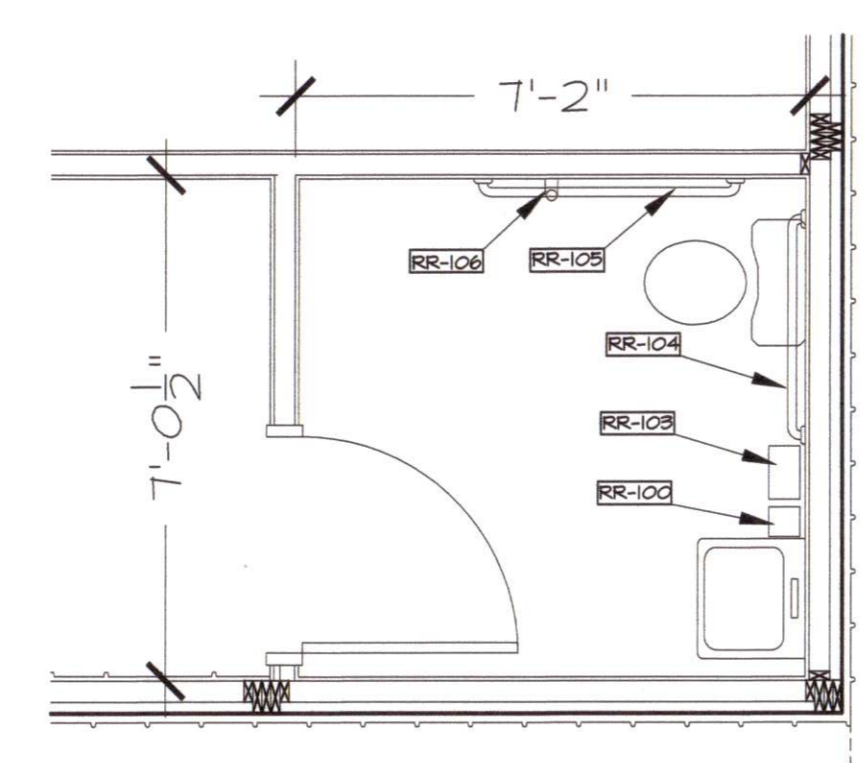
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NEW BUILDING FOR
SEA VIEW CRAB COMPANY
HARNETT COUNTY, NC
H.M. CAGLE DRIVE
PLUMBING PLAN

DATE: APR 2021
DRAWN BY: GMR
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SCALE: NOTED
SHEET NO.
P1



6 TYPICAL MOUNTING HTS & CLEARANCES FOR ACCESSIBILITY
NTS



15 ENLARGED PLAN
3/8" = 1'-0"

PLUMBING NOTES:
PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2012 EDITION AND LOCAL CODES.

ALL WORK SHALL BE COORDINATED AND PERFORMED WITH PRIOR APPROVAL FROM THE GENERAL CONTRACTOR AND OWNER TO SUIT THE OWNER'S OPERATING CONDITIONS.

PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE GENERAL CONTRACTOR OF ANY DEVIANCES FROM THE CONTRACT DRAWINGS PRIOR TO STARTING ANY WORK.

THE PLUMBING CONTRACTOR SHALL COORDINATE WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE. THINK OF OTHER CONTRACTORS AND THEIR REQUIREMENTS IN VERTICAL CHASES AND WALL MOUNT SPACE. ALL CONTRACTORS TO FOLLOW THIS ORDER OF PRIORITY:

1. STORM AND SANITARY SEWER LINES
2. DUCTWORK AND HVAC SYSTEMS
3. HOT AND COLD WATER LINES
4. RIGID CONDUIT
5. CABLE

THE PLUMBING CONTRACTOR TO ORGANIZE HIS PIPING IN ATTIC SPACES, CRAWL SPACES, AND ABOVE CEILINGS, MAKE RUNS PARALLEL, PERPENDICULAR, AND GROUPED TOGETHER WHERE POSSIBLE. LOCATE MAJOR GROUPINGS OVER HALLWAYS AND AREAS OF PUBLIC ACCESS IF POSSIBLE. FREE RUNS OF PIPING IS NOT ACCEPTABLE.

THE PLUMBING CONTRACTOR SHALL LAY OUT AND INSTALL HIS WORK IN ADVANCE OF POURING CONCRETE FLOORS OR WALLS. HE SHALL FURNISH ALL SLEEVES TO THE GENERAL CONTRACTOR FOR OPENINGS THROUGH POURED MASONRY FLOORS, OR WALLS, ABOVE GRADE REQUIRED FOR PASSAGE OF ALL PIPES TO SUPPORT HIS EQUIPMENT.

HORIZONTAL DRAINAGE AND WASTE PIPE SHALL HAVE A MINIMUM SLOPE OR FALL OF 1/8 INCH PER FOOT. ALL CHANGE OF HORIZONTAL DIRECTIONS IN SOIL WASTE PIPE SHALL BE MADE WITH LONG RADIUS FITTINGS WITH "Y" BRANCHES AND 1/8 OR 1/16 BENDS. CHROME PLATED ESCUTCHEONS SHALL BE PROVIDED AT EACH WALL PENETRATION.

ESCUTCHEONS SHALL BE CHROME PLATED, SPRING TYPE, ON ALL PIPES PASSING THROUGH WALLS AND CEILINGS IN FINISHED AREAS. FLOOR ESCUTCHEONS SHALL BE CAST BRASS, CHROME PLATED, WITH SET SCREW.

ESCUTCHEONS SHALL BE OF SUFFICIENT SIZE TO COVER OUTSIDE DIAMETER OF THE PIPE OR THE INSULATION OF THE PIPE.

FLASHING FOR VENTS THROUGH THE ROOF SHALL BE TWO-PIECE TYPE, 16 OUNCE COPPER COUNTER FLASHING AND BASE FLASHING, OR A TWO-PIECE TYPE, 4 POUND LEAD COUNTER FLASHING AND BASE FLASHING. THE BASE FLASHING SHALL BE INSTALLED BY THE GENERAL CONTRACTOR WITH THE ROOF SYSTEM.

VENT FLASHING SHALL EXTEND DOWN AT LEAST 4 INCHES FROM THE TOP OF THE PIPE. FLASHING SHALL EXTEND AT LEAST 12 INCHES IN ALL DIRECTIONS FROM THE PIPE AND SHALL BE PARALLEL TO THE ROOF LINE.

ALL EQUIPMENT AND INSTALLED MATERIALS SHALL BE THOROUGHLY CLEAN AND FREE OF ALL DIRT, OIL, GRIT, GREASE, AND ETC.

ALL PLUMBING SYSTEMS AND EQUIPMENT SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE BUILDING FROM THE OWNER.

3/4 DOWN HALL TO TOILET PROVIDE ISOLATION VALVE TYPICAL FOR ALL TOILETS.

COLD AND HOT WATER PIPING ABOVE GRADE SHALL BE TYPE "L" HARD DRAWN COPPER TUBING CONFORMING TO ASTM B-88 WITH SWEAT JOINTS AND THROUGHT OR CAST VALVES AND FITTINGS (UNIONS, STRAINERS, ETC.). JOINT SHALL BE MADE WITH LEAD FREE SOLDER.

ALL HOT WATER PIPING SHALL BE INSULATED WITH 1 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.

ALL COLD WATER PIPING SHALL BE INSULATED WITH 1/2 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.

SANITARY HORIZONTAL WASTE, VENT PIPING, AND FITTINGS ABOVE GRADE SHALL BE SCHEDULE 40 PVC-DWV PIPE-CELLULAR CORE FROM CHARLOTTE PIPE AND FOUNDRY COMPANY OR APPROVED EQUAL, AND MUST MEET OR EXCEED THE REQUIREMENTS OF ASTM F-691, NSF STANDARD NO. 14, AND IAPMO UPC.

ALL WASTE STACK PIPING SHALL BE CAST IRON AND INSULATED FOR SOUND IN WALLS.

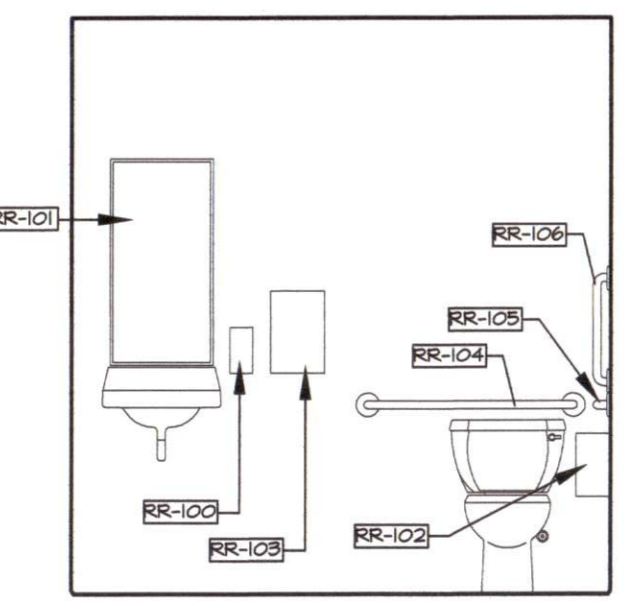
ALL WASTE AND STORM PIPING ABOVE CEILING, VERTICAL CHASES, WALLS SHALL BE INSULATED WITH 1/2 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE. NO INSULATION REQUIRED IN CRAWL SPACE OR BELOW FLOOR SLAB OF ANY WASTE AND STORM PIPING.

IN LIEU OF FIBERGLASS INSULATION, THE PLUMBING CONTRACTOR IS ALLOWED TO USE CLOSED CELL INSULATION, 1/2 INCH THICK ARISTON/ARMAFLEX II ON ALL COLD WATER PIPES, RIGID URETHANE FOAM INSULATION, 1 INCH THICK ARISTON/ARMAFLEX II ON ALL HOT WATER PIPING.

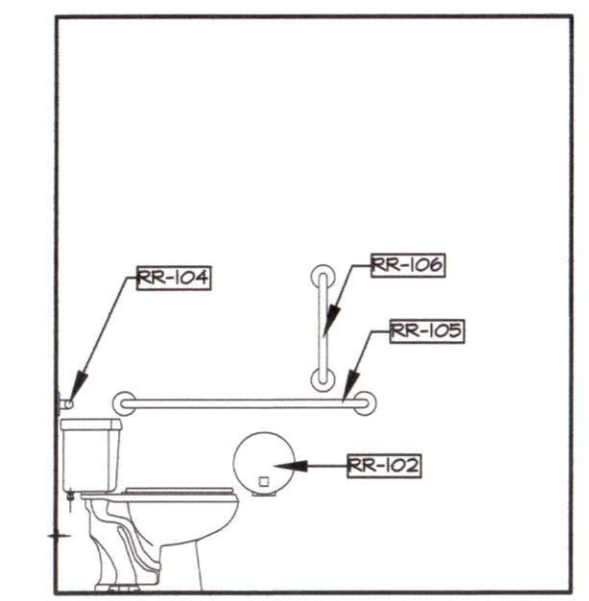
ALL PLUMBING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

ALL FIXTURES, DRAINS, TRAPS, ETC. SHALL BE SET PLUMB AND LEVEL.

ALL HANDICAPPED FIXTURES AND TRIM SHALL BE INSTALLED IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2012 EDITION.



3 INTERIOR ELEVATION
3/8" = 1'-0"

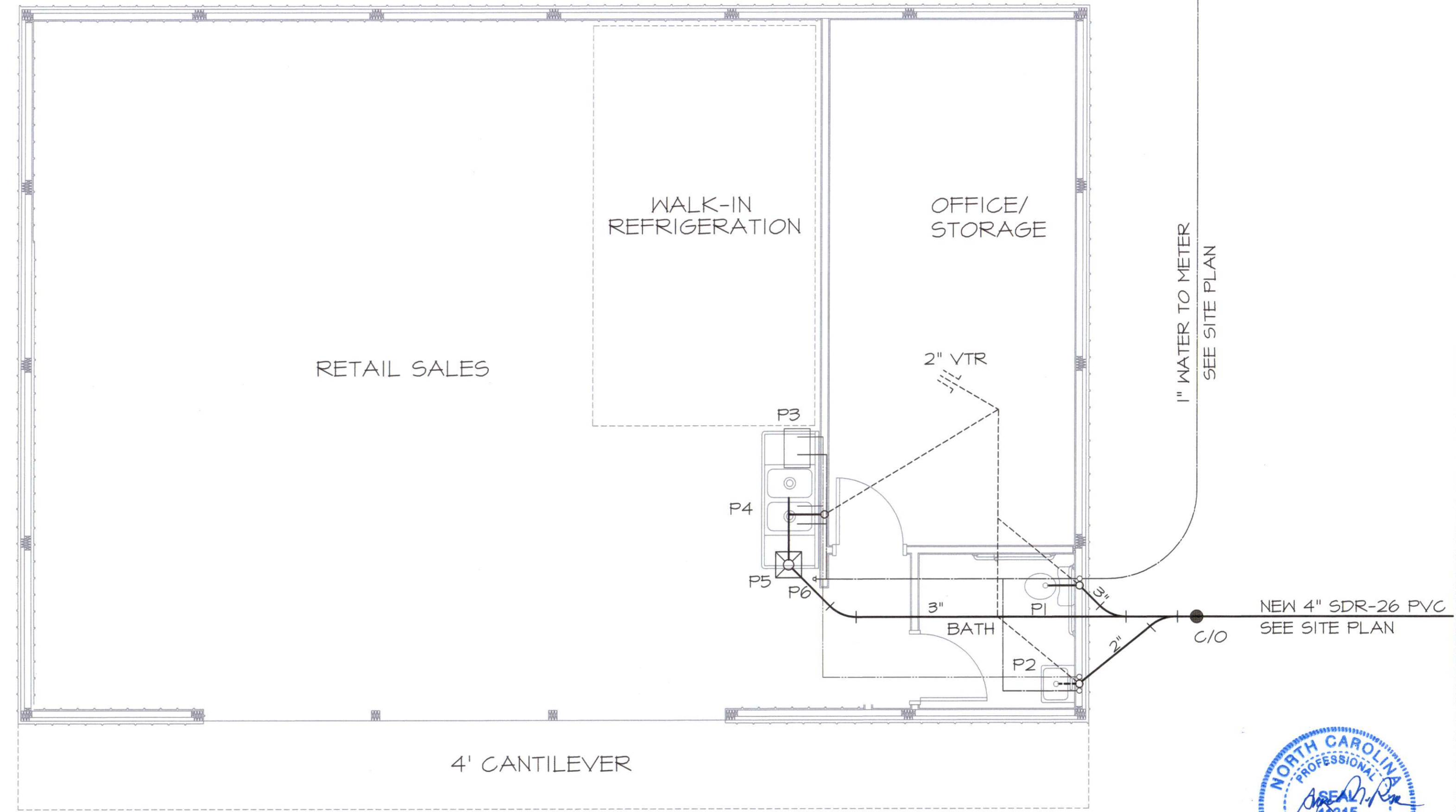


4 INTERIOR ELEVATION
3/8" = 1'-0"

ACCESSORY LEGEND			
NO.	QTY	G.C.INST.	ITEM DESCRIPTION
RR-100	1	YES	SOAP DISPENSER (WALL MOUNT)
RR-101	1	YES	MIRROR, 18" X 36"
RR-102	1	YES	TOILET PAPER DISPENSER
RR-103	1	YES	PAPER TOWEL DISPENSER
RR-104	1	YES	GRAB BAR, 1-1/2" DIA X 36" STAINLESS STEEL FIN.
RR-105	1	YES	GRAB BAR, 1-1/2" DIA X 42" STAINLESS STEEL FIN.
RR-105	1	YES	GRAB BAR, 1-1/2" DIA X 18" STAINLESS STEEL FIN.

NOTES
1. PROVIDE BLOCKING AT ALL WALL MOUNTED ACCESSORIES.
2. GRAB BARS, FASTENERS AND MOUNTING DEVICES SHALL BE INSTALLED PER ADA REQUIREMENTS.

SYMBOL	DESCRIPTION	MANUFACTUR	MODEL #	ACCESSORIES	SUPPLY	WASTE	VENT	REMARKS
1/2"	GATE VALVE							
---	NEN COLD WATER PIPE							
---	NEN HOT WATER PIPE							
	VENT THROUGH ROOF							
---	NEN VENT PIPE							
---	SANITARY SEWER PIPE							
P1	TOILET WITH TANK (ADA)	HANSFIELD	1871-80	DBH45 HSS TOILET SEAT	1/2" C.J.K.	3"	2"	SEE PLAN FOR LOCATION
P2	HCP HALL HNS LAVATORY	HANSFIELD	2018 HB-16	DELTA 520-TRH-DST FAUCET	1/2" HXL C.J.K.	2"	1-1/2"	SEE PLAN FOR LOCATION
P3	6-GALLON HOT WATER HEATER	ECOSMART	ECO MINI 6	-	1/2" C.J.K.	-	-	SEE PLAN FOR LOCATION
P4	THO COMPARTMENT SINK	JOHN BOOS	E256-24-14R24-X	T45 135X FAUCET	-	3"	2"	SEE PLAN FOR LOCATION
P5	FLOOR SINK	JONES STEPHENS	544-014	-	-	3"	2"	SEE PLAN FOR LOCATION
P6	HOSE BIB	HOODFORD	27	-	1/2" C.J.K.	-	-	SEE PLAN FOR LOCATION

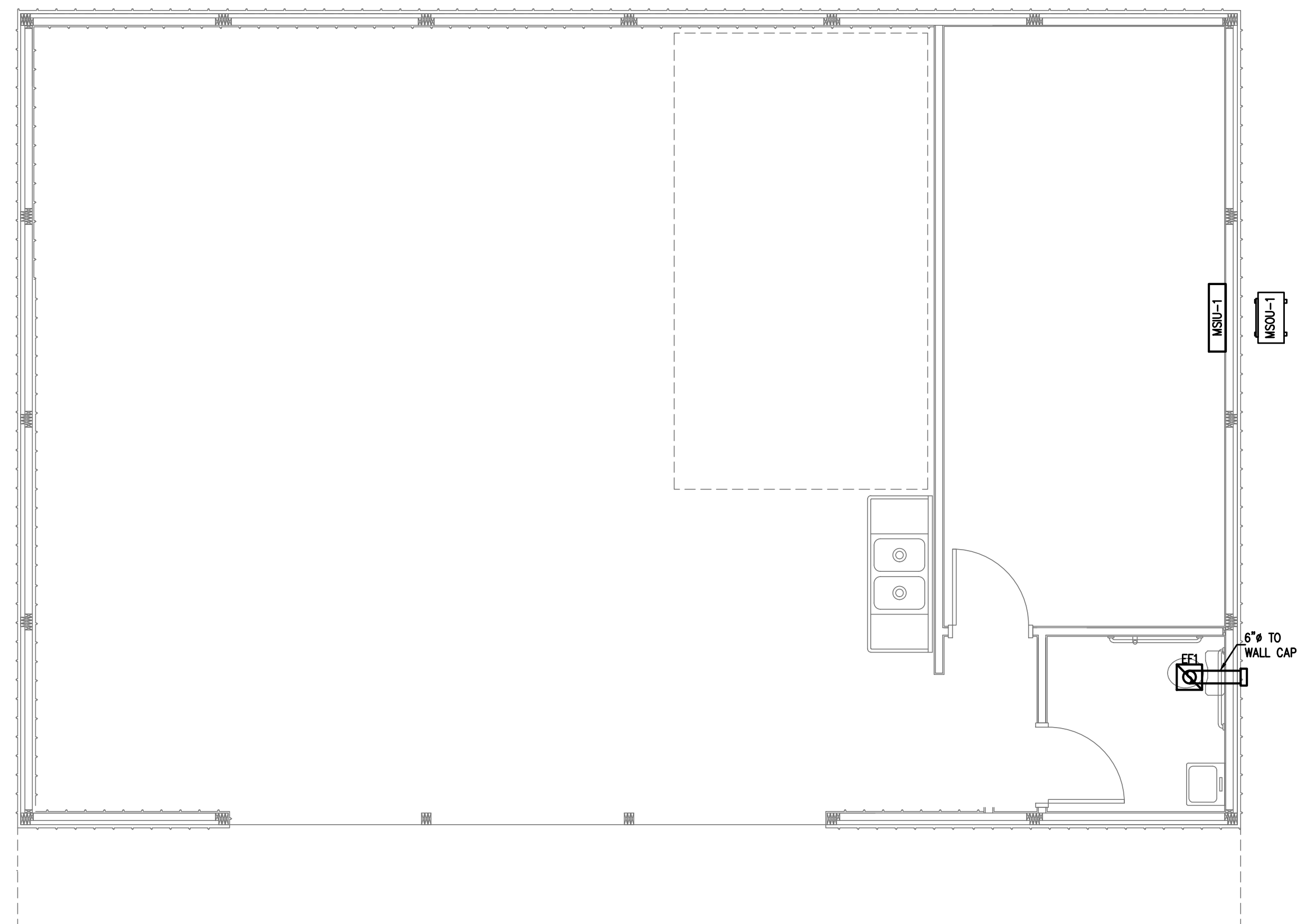


2 PLUMBING ISOMETRIC
NO SCALE

1 PLUMBING PLAN
1/4" = 1' - 0"



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1
M1
MECHANICAL PLAN
1/4" = 1'

MINI SPLIT SYSTEM SCHEDULE															
UNIT NO.	COOLING			HEATING			HSPF	SEER	UNIT VOLT	UNIT PHASE	MOPC	AMPS	REF.	MFG & MODEL	NET WEIGHT
	NOMINAL COOLING	MIN.-MAX. COOLING	NOMINAL HEATING	MIN.-MAX. HEATING											
MSOU-1 (MINI SPLIT OUTDOOR UNIT)	9,000	1,700-10,700	10,000	1,700-12,000	9.0	16.0	120	1	15	13.5	R410A	FUJITSU MODEL AOU9RL2	64 LBS.		
MSIU-1 (MINI SPLIT INDOOR UNIT)	9,000	1,700-10,700	10,000	1,700-12,000			120	1			R410A	FUJITSU MODEL ASU9RL2	16 LBS.		

FAN SCHEDULE										
MARK	LOCATION	SERVICE	CFM	S.P.	WATTS	RPM	VOLT	PHASE	DRIVE	REMARKS
EF1	CEILING	TOILETS	70	0.1"	20.2	790	120	1	DIRECT	CEILING MOUNTED FAN, PROVIDE W/B.D.D. AND WALL CAP GREENHECK SPA70 OR EQ. 6" TO ROOF/WALL CAP

OUTSIDE AIR CALCULATION - NC 2018 MECHANICAL CODE (TABLE 403.3.1.1) Vbz = RpPz + RaAz							
OCCUPANCY TYPE:	SF	# OF OCCUPANTS	# OF	O.A. CFM PER	O.A. CFM PER SqFt (Ra)	O.A. CFM REQUIRED (Vbz)	EXHAUST CFM REQUIRED
	(A _z)	PER 1000 SF	OCCUPANTS	PERSON (Rp)			
MSIU-1 OFFICE	262	5	1.31	5	0.06	22	
RESTROOM	48	0	0	0	0	0	70
TOTAL CFM REQUIRED						22	70
TOTAL CFM FURNISHED						25	70

ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 NC MECHANICAL CODE.

ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEET METAL IN ACCORDANCE WITH ASHRAE & SMACNA. DUCT SIZES SHOWN ARE NET FREE AREA REQUIRED. ALL SUPPLY AND RETURN DUCTS AND FLEX SHALL BE INSULATED WITH MIN. R-8.0 INSULATION UNLESS OTHERWISE NOTED IN THE DRAWING.

ALL DUCTS SHALL BE AIR TIGHT, RIGID AND FREE FROM VIBRATION AND NOISE. ALL LAP JOINTS SHALL BE IN THE DIRECTION OF FLOW. VOLUME OR SPLITTER DAMPERS SHALL BE INSTALLED WHERE NECESSARY TO GUIDE AND CONTROL THE AIR FLOW. PROVIDE SHEET METAL SLEEVES AND COLLARS WHERE DUCTS PASS THROUGH WALLS.

STRUCTURAL MEMBERS OF THE BUILDING SHALL NOT BE CUT IN ANY MANNER FOR THE INSTALLATION OF ANY EQUIPMENT UNLESS PRIOR APPROVAL IS OBTAINED FROM THE ARCHITECT.

MECHANICAL CONTRACTOR TO CONFIRM BREAKER/DISCONNECT SIZES OF HIS EQUIPMENT WITH THE ELECTRICAL CONTRACTOR.

FURNISH AND INSTALL A DUCT MOUNTED SMOKE DETECTOR IN THE RETURN DUCT OF THE A/C UNIT IN ACCORDANCE WITH 2018 NC MECHANICAL CODE. THE DETECTOR SHALL BE WIRED TO SHUT DOWN THE FAN IN THE EVENT THE DETECTOR IS ACTIVATED. THE MECHANICAL CONTRACTOR SHALL FURNISH AND INSTALL THE DUCT DETECTOR AND RUN THE NECESSARY CONTROL WIRING FROM THE DETECTOR TO HIS EQUIPMENT. SMOKE DETECTORS ARE ONLY REQUIRED FOR UNITS SUPPLYING 2000 CFM OR MORE.

MECHANICAL CONTRACTOR SHALL PROVIDE A TEST AND BALANCE REPORT. SYSTEM COMPLIANCE STATEMENT REQUIRES A WRITTEN TAB REPORT. FINAL PROJECT SIGNOFF WILL BE DENIED WITHOUT THIS REPORT.

MECHANICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS AND ROUTING OF ALL DUCTWORK WITH OTHER TRADES TO AVOID CONFLICTS.

ALL EQUIPMENT MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE WORK OR IN ACCORDANCE WITH THE PARTICULAR MANUFACTURER'S STANDARD GUARANTEE IF LONGER. ANY FAULTY MATERIAL OR WORKMANSHIP OR FAILURE OF ANY PART OF THE SYSTEM DURING NORMAL OPERATIONS UNDER THIS GUARANTEE SHALL BE CORRECTED WITHOUT COST TO THE OWNER.

ALL THERMOSTATS SHALL BE OF A PROGRAMMABLE TYPE.

BUILDING CONTRACTOR SHALL PROVIDE PERMANENT ACCESS TO ROOF STRUCTURE FOR ACCESS TO MECHANICAL EQUIPMENT WHEN ROOF STRUCTURE IS GREATER THAN 16'-0" HIGH.

2
M1
HVAC NOTES
N.T.S.

APPENDIX B 2018 BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

MECHANICAL DESIGN

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone	winter dry bulb:	18'
	summer dry bulb:	94'

Interior design conditions	winter dry bulb:	75'
	summer dry bulb:	75'
	relative humidity:	50%

Building heating load: 7,484

Building cooling load: 9,000

Mechanical Spacing Conditioning System

Unitary	description of unit:	MINI SPLIT-SYSTEM
	heating efficiency:	9.0 HSPF
	cooling efficiency:	16.0 SEER
	size category of unit:	<65,000 BTU

Boiler
Size category. If oversized, state reason: _____

Chiller
Size category. If oversized, state reason: _____

List equipment efficiencies: 9.0 HSPF, 16.0 SEER

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SEAVIEW CRAB COMPANY BUILDING

2290 SUNNYSIDE SCHOOL RD., HARNETT COUNTY, NC

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PROJECT NO: 2020-106
DRAWN BY: SL
REVISIONS:

SHEET NO:

M1

May 26, 2021



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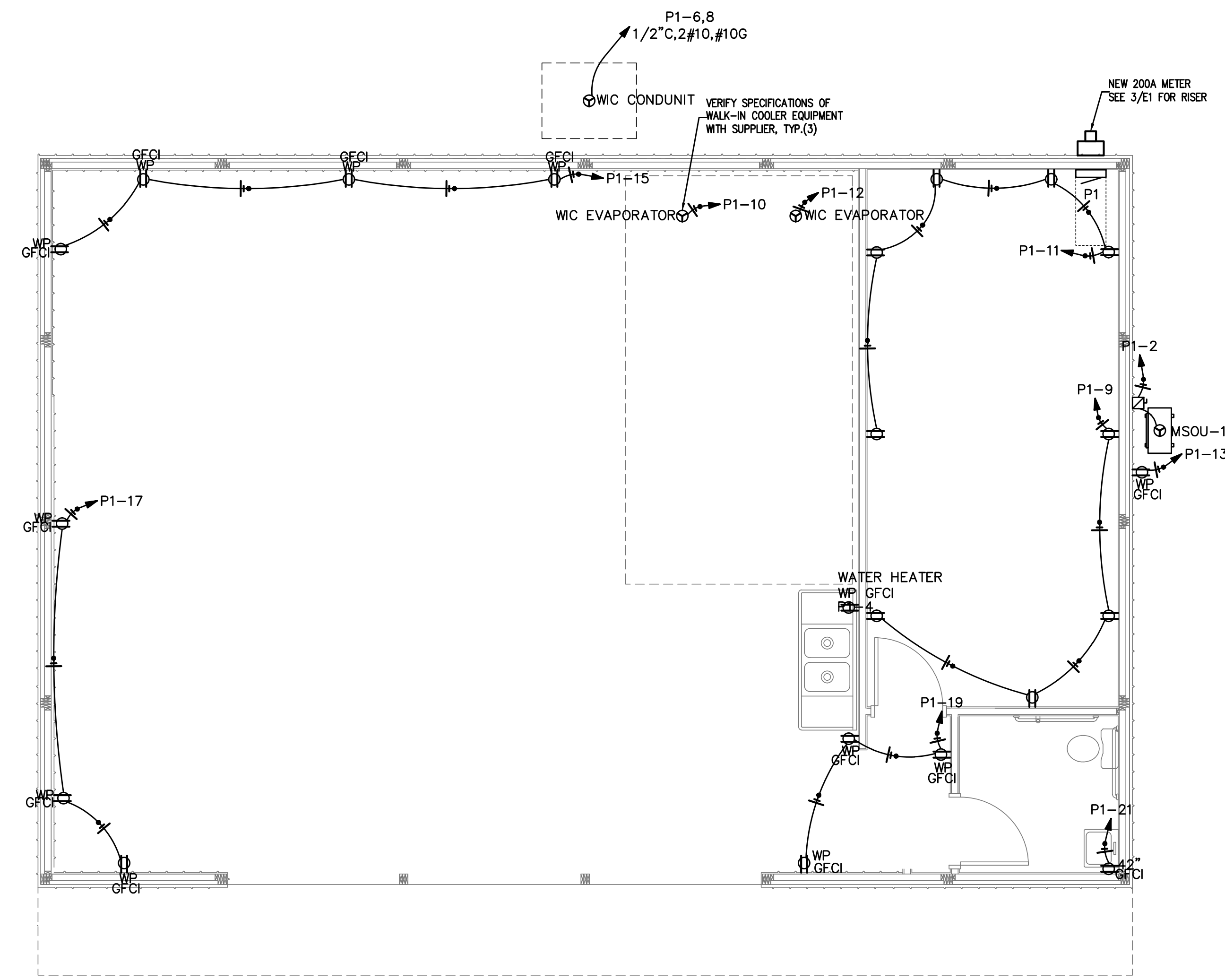
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DRAWN BY: SL
REVISIONS:

SHEET NO:
E1



CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY FOR SERVICE. A COMPLETE AND WORKING SYSTEM IS REQUIRED FOR COMPLIANCE WITH THESE DOCUMENTS. DETERMINE THE POINT OF CONNECTION TO THE UTILITY WITH THE UTILITY REPRESENTATIVE AND PROVIDE ACCORDINGLY FOR A COMPLETE WORKING SYSTEM.

WIRE AND CABLE SHALL BE INSULATED, TYPE THHN OR THHN, 600 VOLTS, WITH COPPER CONDUCTORS. CONDUCTOR SIZES NO. 8 AWG AND LARGER MAY BE STRANDED. CONDUCTORS SIZES NO. 10 AWG AND SMALLER MAY BE SOLID OR STRANDED. NO ROMEX PERMITTED.

EMT SHALL BE GALVANIZED STEEL TUBING, 1/2-INCH MINIMUM SIZE, EQUAL TO ELECTRUTE BRAND OR APPROVED AND USED ONLY WITH HEXAGONAL ALL STEEL COMPRESSION FITTINGS.

PLASTIC CONDUIT SHALL BE RIGID, 3/4-INCH MINIMUM NON-METALLIC, HEAVY DUTY, HIGH IMPACT, POLYVINYLCHLORIDE (PVC), TYPE 1 WILL BE USED FOR CONCRETE ENCASUREMENT. FITTINGS SHALL BE THE SAME MATERIALS AND MANUFACTURER AS THE PLASTIC CONDUIT.

FLEXIBLE METAL CONDUIT SHALL BE 1/2-INCH MINIMUM SINGLE STRIP, STEEL, HOT DIPPED GALVANIZED INSIDE AND OUTSIDE, MAXIMUM LENGTH 72 INCHES FOR LIGHTING AND 36" FOR MOTORS. FLEXIBLE METAL CONDUIT SHALL BE LIQUIDTIGHT OR WATER TIGHT WITH PVC JACKET WHERE USED IN DAMP, WET OR OUTSIDE AREAS, AND LIQUIDTIGHT OR WATER TIGHT CONNECTORS SHALL BE USED.

NO RECEPTACLES OR TEL. OUTLETS TO BE MOUNTED BACK TO BACK, KEEP AT LEAST 2 INCHES BETWEEN RECEPTACLES AND TEL. OUTLETS.

ALL CONDUCTOR SHALL BE COPPER WITH A MINIMUM SIZE OF #12 AWG EXCEPT FOR FIRE ALARM. THESE CONDUCTORS SHOULD COMPLY WITH NFPA.

CONTRACTOR SHALL ALIGN FIXTURES, SMOKE DETECTORS, CEILING DIFFUSERS ETC. AS REQUIRED TO PROVIDE A UNIFORM PRESENTATION. AT NO TIME WILL AN IONIZATION DETECTOR BE LOCATED WITHIN 3'-0" OF A SUPPLY OR RETURN AIR GRILLE.

CIRCUIT BREAKERS AND WIRE ARE SIZED FOR SPECIFIC EQUIPMENT. BEFORE ORDERING WIRE, BREAKERS AND CONDUIT FOR THIS PROJECT THE CONTRACTOR SHALL COORDINATE WITH THE OTHER CONTRACTORS ON THE JOB AND VERIFY THE ELECTRICAL DATA FOR THE EQUIPMENT WHICH WILL ACTUALLY BE INSTALLED, RECOMPUTING WIRE AND BREAKER SIZES IF REQUIRED BY THE NEC.

ALL CONDUIT TERMINATING IN THE CEILING CAVITIES IS TO BE LABELED.

ALL CONDUIT SHALL BE COLOR CODED WITH 1/2" WIDE TAPE, 10'-0" ON CENTER IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE.

THE MOUNTING HEIGHTS AND LOCATIONS OF ALL WALL MOUNTED OUTLETS AND JUNCTION BOXES SHALL BE REVIEWED AND COORDINATED WITH THE ARCHITECT AND OWNER, PRIOR TO INSTALLATION, FOR USE WITH ACTUAL EQUIPMENT.

EACH CONTRACTOR WILL PROVIDE HIS OWN SUPPORT OF ALL DEVICES AND EQUIPMENT PROVIDED BY HIM AND SHALL SUPPORT SUCH EQUIPMENT PER APPROVED GOVERNING CODES OR PER APPROVAL OF THE ENGINEER/ARCHITECT. UNACCEPTABLE WORKMANSHIP OR MATERIALS SHALL BE REPLACED AT THE REQUEST OF THE ENGINEER/ARCHITECT AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR FLOOR PLAN DIMENSIONS.

THE CONTRACTOR SHALL COORDINATE ANY AND ALL WORK WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO THE INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE.

ALL FUSES DISCONNECT SWITCHES AND BREAKER SIZES SHOWN FOR MECHANICAL EQUIPMENT SHALL BE VERIFIED BEFORE PURCHASE AND INSTALLATION OF SAID EQUIPMENT WITH THE EQUIPMENT SUPPLIER AND MECHANICAL CONTRACTOR.

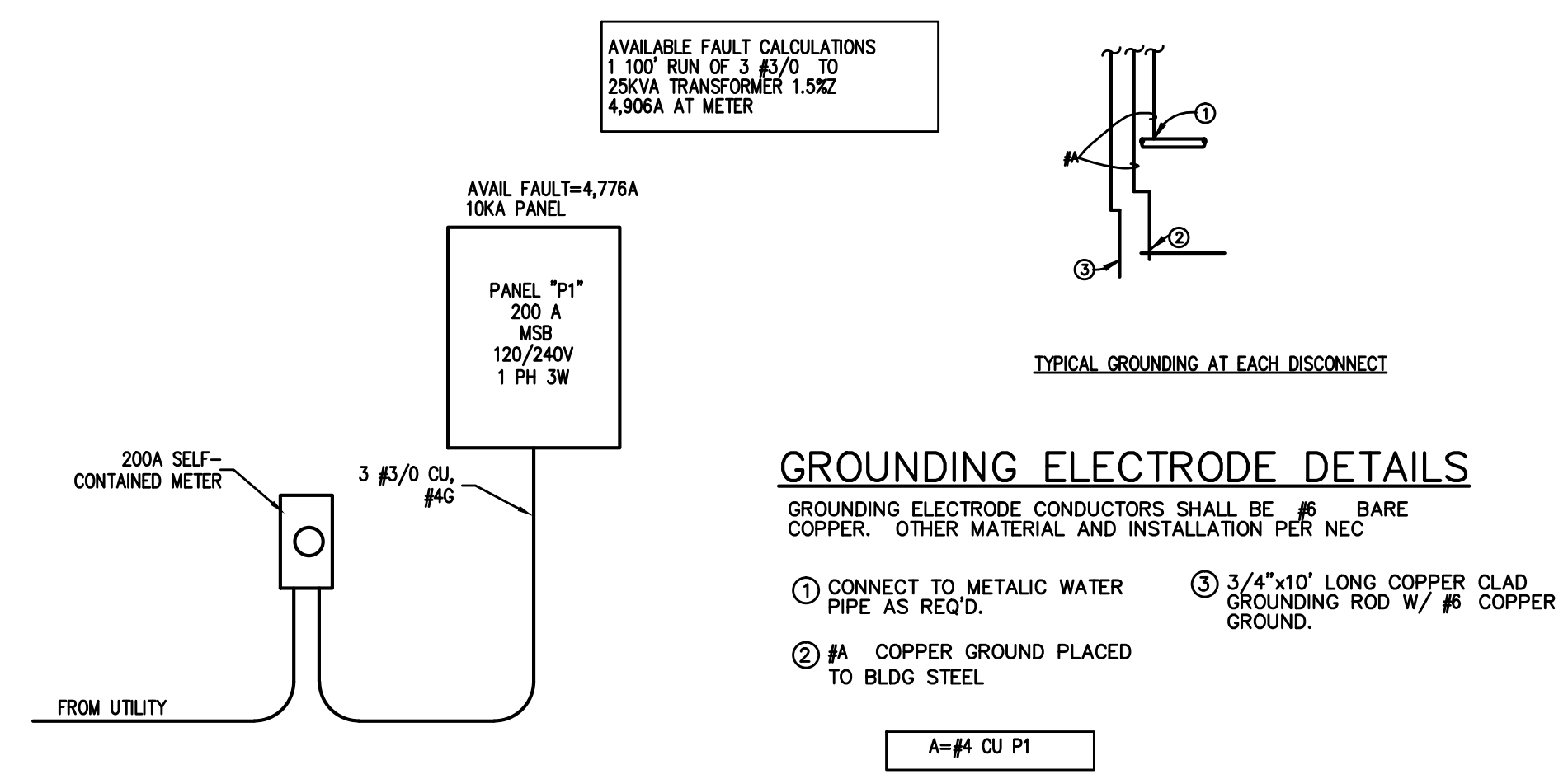
WHERE EQUIPMENT PENETRATES EXTERIOR WALL OR ROOF THEY SHALL BE PROPERLY SEALED WITH METHODS APPROVED BY THE ARCHITECT/ENGINEER.

ALL WORK IS TO BE DONE IN STRICT COMPLIANCE WITH THE LATEST VERSION OF THE NEC AND APPLICABLE STATE CODES

RECESSED FIXTURES INSTALLED IN RATED ASSEMBLIES SHALL BE INSTALLED WITH AN ENCLOSURE SO AS TO MAINTAIN THE RATING OF ASSEMBLY.

1
E1
ELECTRICAL PLAN
1/4" = 1'

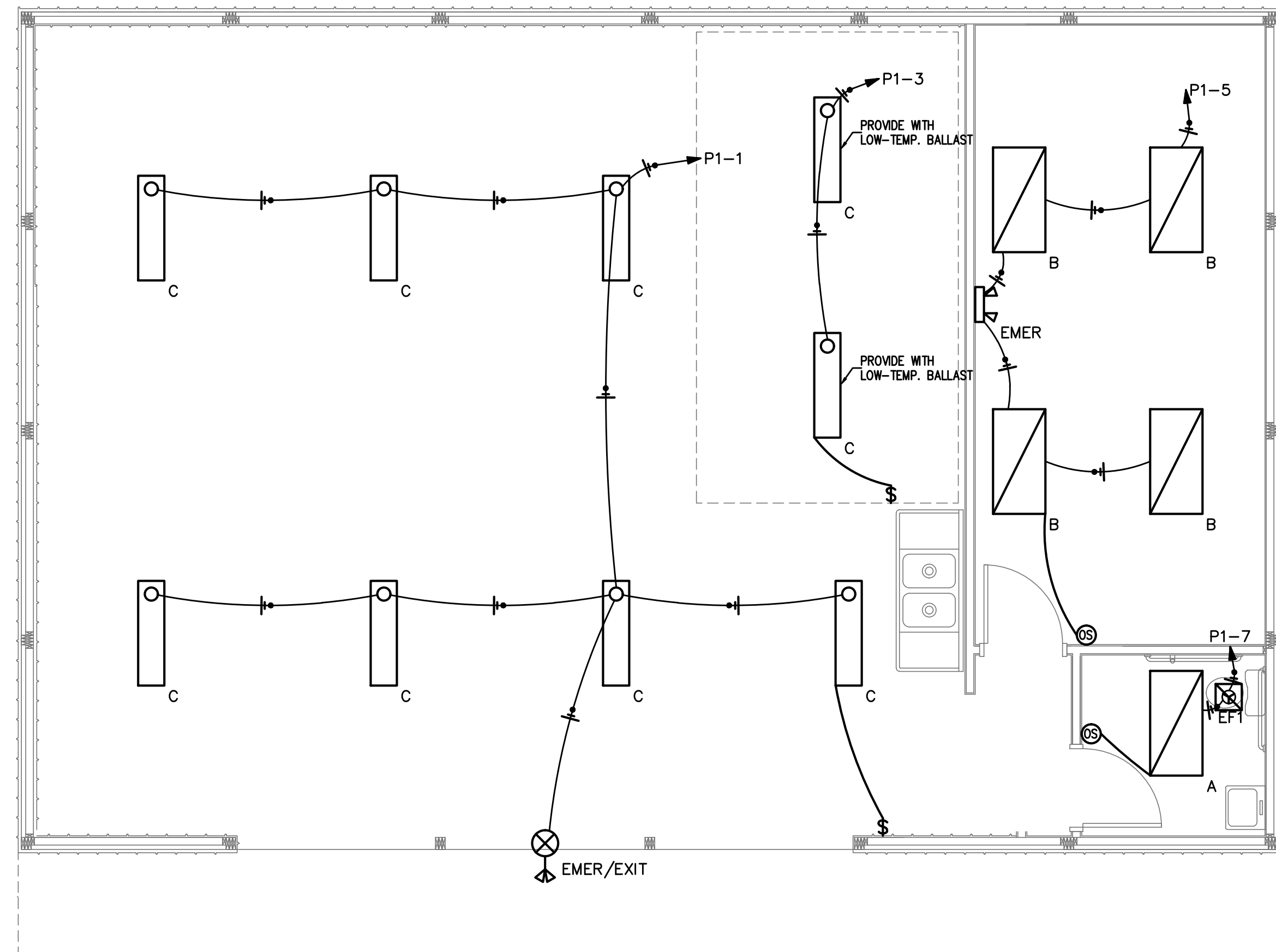
2
E1
ELECTRICAL NOTES
N.T.S.



3
E1
ELECTRIC RISER
N.T.S.

P1		ROOM MOUNTING FLUSH FED FROM UTILITY		VOLTS 240/120V 2P 3W		AIC 10,000			
NOTE		NEUTRAL 100%		BUS AMPS 200		MAIN BKR 200			
		LUGS STANDARD							
CKT #	CKT BKR	CIRCUIT DESCRIPTION	LOAD KVA		CKT #	CKT BKR	CIRCUIT DESCRIPTION	LOAD KVA	
			A	B				A	B
1	20/1	LIGHTING	0.284		2	15/1	MSOU-1	1.61	
3	20/1	LIGHTING		0.08	4	20/1	WATER HEATER		1.44
5	20/1	LIGHTING	0.129		6	30/2	WIC CONDUNIT	2.4	
7	20/1	EF1, LIGHTING		0.048	8				2.4
9	20/1	RECEPTACLE	0.72		10	20/1	WIC EVAPORATOR	1.2	
11	20/1	RECEPTACLE		0.9	12	20/1	WIC EVAPORATOR		1.2
13	20/1	RECEPTACLE	0.18		14	20/1	SPACE	0	
15	20/1	RECEPTACLE		0.72	16	20/1	SPACE	0	0
17	20/1	RECEPTACLE	0.54		18	20/1	SPACE	0	
19	20/1	RECEPTACLE		0.54	20	20/1	SPACE	0	0
21	20/1	RECEPTACLE	0.18		22	20/1	SPACE	0	
23	20/1	SPACE	0	0	24	20/1	SPACE	0	0
25	20/1	SPACE	0	0	26	20/1	SPACE	0	0
27	20/1	SPACE	0	0	28	20/1	SPACE	0	0
29	20/1	SPACE	0	0	30	20/1	SPACE	0	0
31	20/1	SPACE	0	0	32	20/1	SPACE	0	0
33	20/1	SPACE	0	0	34	20/1	SPACE	0	0
35	20/1	SPACE	0	0	36	20/1	SPACE	0	0
37	20/1	SPACE	0	0	38	20/1	SPACE	0	0
39	20/1	SPACE	0	0	40	20/1	SPACE	0	0
41	20/1	SPACE	0	0	42	20/1	SPACE	0	0
TOTAL CONNECTED KVA BY PHASE								7.24	7.33
		CONN KVA	CALC KVA	(%)	CONN KVA	CALC KVA	(%)		
LIGHTING		0.521	0.651	(125%)	RECEPTACLES	3.78	3.78	(50%)	>10
LARGEST MOTOR		4.8	1.2	(25%)	NONCONTINUOUS	1.44	1.44	(100%)	
MOTORS		2.42	2.42	(100%)	HEATING	1.61	0	(0%)	
					COOLING	6.41	6.41	(100%)	
					TOTAL LOAD			15.9	
					BALANCED LOAD			66.2 A	

May 26, 2021



APPENDIX B 2018 BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

ELECTRICAL DESIGN

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance:
 Energy Code: Prescriptive Performance
 ASHRAE 90.1: Prescriptive Performance

Lighting schedule (each fixture type)
 lamp type required in fixture
 number of lamps in fixture
 ballast type used in the fixture
 number of ballasts in fixture
 total wattage per fixture SEE LUMINAIRE SCHEDULE
 506.1648 total interior wattage specified vs. allowed (whole building or space by space)
 total exterior wattage specified vs. allowed

- Additional Prescriptive Compliance
- 506.2.1 More Efficient HVAC Equipment
 - 506.2.2 Reduced Lighting Power Density
 - 506.2.3 Energy Recovery Ventilation Systems
 - 506.2.4 Higher Efficiency Service Water Heating
 - 506.2.5 On-Site Supply of Renewable Energy
 - 506.2.6 Automatic Daylighting Control Systems

1
E2 LIGHTING PLAN
 1/4" = 1'

Ⓢ BRYANT (HUBBELL) MSD1000W1 OR EQUAL WALL SWITCH OCCUPANCY SENSOR DUAL (ULTRASONIC AND PASSIVE INFRARED) TECHNOLOGY 1,000 SQUARE FOOT COVERAGE 800W INCANDESCENT, 1000W FLUORESCENT AT 120V AC

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	INPUT WATTS	VOLTS	NOTE 1
A		(112) 17W (112) 4000K CCT, 85 CRI LEDs	2' X 4' LED RECESSED TROFFER	ELECTRONIC	RECESSED	COOPER LIGHTING SOLUTIONS - METALUX (FORMERLY EATON), 24GR-LD5-30-F1-UNV-LB40-CD1-U	23.434	120V 1P 2W	
B		(112) (112) 4000K CCT, 85 CRI LEDs	2' X 4' LED RECESSED TROFFER	ELECTRONIC	RECESSED	COOPER LIGHTING SOLUTIONS - METALUX (FORMERLY EATON), 24GR-LD5-38-F1-UNV-LB40-CD1-U	30.624	120V 1P 2W	
C		(1) (1) 4000 CCT, 80 CRI LEDs	1 X 4 LED STRIP LIGHT	ELECTRONIC	PENDANT/SURFACE	COOPER LIGHTING SOLUTIONS - METALUX (FORMERLY EATON), 4SNLED-LD5-55HL-LC-UNV-LB40-CD1-U	40	120V 1P 2W	DAMP LOCATION LISTED
EMER		(2) 1.5W LED	EMER. LIGHT W/1.5 HR NI-CAD BATTERY	ELECTRONIC	WALL/CEILING	LITHONIA ELM2-LED	3	120V 1P 2W	
EMER/EXIT		(2) 1.5W LED	COMBINATION EXIT/EMERGENCY UNIT WITH 90 MINUTE BATTERY AND MATCHING LED OUTDOOR REMOTE HEADS	ELECTRONIC	WALL/CEILING	HUBBELL CCRRC CORD	4	120V 1P 2W	

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PROJECT NO:	2020-106
DRAWN BY:	SL
REVISIONS:	

SHEET NO:
E2