

2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)	
(Reproduce the following data on the building plans sheet 1 or 2)	

Name of Project: Jordan Temple Church	n, 75 Jordan Temple Lane, Li	llington, NC, 27546
Owner/Authorized Agent: Jim Graves	Phone # (910) 237- 5267	E-Mail ndainc@aol.com
O 1D D' (

Owned By: <u>Private</u> Code Enforcement Jurisdiction: <u>City</u>

CONTACT: Jim Graves

DESIGNER	FIRM	NAME	LICENSE# TELEPHONE#	E-MAIL
Architectural	Blackwell Architect	E.J. Blackwell	9084 (910) 485-8579	
bb.Bla	ckwellArchitect@yahoo.c	om	,	
Civil	na		()	
Electrical	na			
Fire Alarm	na		()	
Plumbing	na			
Mechanical	na			
Sprinkler-Stand	lpipe na		()	
Structural	na			
Retaining Wall	s>5' High na			
Other	na			
("Other" should	d include firms and individ	uals such as truss, p	precast, pre-engineered, interior d	esigners, etc.)

2018 NC BUILDING CODE: Phased Construction - Shell/Core- Contact the local inspection jurisdiction for

possible additional precedures and requirements.

2018 NC EXISTING BUILDING CODE: Alteration Level II Repair N/A CONSTRUCTED: (date) 1964 CURRENT OCCUPANCY(S) (Ch. 3): A3 PROPOSED OCCUPANCY(S) (Ch. 3): A3 **RENOVATED:** (date) _

OCCUPANCY CATEGORY (Table 1604.5): Current: II Proposed: <u>II</u>

BASIC BUILDING DATA Construction Type: <u>V-B</u> Sprinklers: No Select one

Standpipes: No

Primary Fire District: No

Flood Hazard Area: No

Special Inspections Required: No

Gross Building Area Table						
Floor	Existing (sq ft)	New (sq ft)	${f S}$ ub- ${f T}$ otal			
1 st Floor	6716	0	6716			
TOTAL	6716	0	6716			

ALLOWABLE AREA

Primary Occupancy Classificat	ion(s): Assembly - A-3	N/A	N/A	N/A	N/A Select
<u>one</u>					
Accessory Occupancy Classification	ation(s):				
Incidental Uses (Table 509):					
Special Uses (Chapter 4 – List C	Code Sections):				
Special Provisions: (Chapter 5	– List Code Sections):				
Mixed Occupancy: Select one	Separation: Select one	Exception:			-

Select one <u>Actual Area of Occupancy A</u> Allowable Area of Occupancy A	+	Actual Area of Occupancy B Allowable Area of Occupancy B	<u>≤</u> 1		
	+	+		=	≤ 1.00

ſ	STORY	DESCRIPTION AND	(A)	(B)	(C)	(D)
ı	NO.	USE	BLDG AREA PER	TABLE 506.2 ⁴	AREA FOR FRONTAGE	allowable area Per
			STORY (ACTUAL)	AREA	INCREASE ^{1,5}	STORY OR UNLIMITED ^{2,3}
	1	A3	6716	6000	4500	10500
ı						

¹ Frontage area increases from Section 506.2 are computed thus:

- a. Perimeter which fronts a public way or open space having 20 feet minimum width = 339 (F)
 b. Total Building Perimeter = 339 (P)
- b. Total Building Perimeter
- c. Ratio (F/P) = 1/1 (F/P)
- d. W = Minimum width of public way = 30 (W) e. Percent of frontage increase $I_f = 100 [F/P 0.25] \times W/30 = 75$ (%)

² Unlimited area applicable under conditions of Section 507.

- ³ Maximum Building Area = total number of stories in the building x D (maximum3 stories) (506.2).
- ⁴ The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic
- control towers must comply with Table 412.3.1. ⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE			
Building Height in Feet (Table 504.3)	40'-0"	20'				
Building Height in Stories (Table 504.4)	1	1				
¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.						

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE		RATING	DETAIL#	DESIGN#	SHEET # FOR	SHEET#
	SEPARATION	REQ'D	PROVIDED	AND	FOR	RATED	FOR
	DISTANCE		(W/*	SHEET #	RATED	PENETRATION	RATED
	(FEET)		REDUCTION)		ASSEMBLY		JOINTS
Structural Frame,	30°+	0					
including columns, girders,							
trusses							
Bearing Walls	30'	0					
Exterior	30'	0					
North	30'	0					
East	30'	0					
West	30'	0					

South	30'	0			
Interior					
Nonbearing Walls and Partitions	NA				
Exterior walls					
North					
East					
West					
South					
Interior walls and partitions					
Floor Construction		0			
Including supporting beams and joists					
· · · · · · · · · · · · · · · · · · ·		0			
Floor Ceiling Assembly		0			
Columns Supporting Floors		0			
Roof Construction, including supporting beams and joists					
Roof Ceiling Assembly		0			
Columns Supporting Roof		0			
Shaft Enclosures - Exit		0			
Shaft Enclosures - Other		0			
Corridor Separation		0			
Occupancy/Fire Barrier Separa	tion	0			
Party/Fire Wall Separation		0			
Smoke Barrier Separation		0			
Smoke Partition		0			
Tenant/Dwelling Unit/ Sleeping Unit Separation		0			
Incidental Use Separation		0			

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE	Degree of openings	A LLOWABLE AREA	ACTUAL SHOWN ON PLANS
(Feet) from Property lines	Protection	(%)	(%)
	(Table 705.8)		
30'	NO LIMIT		

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting:	$\underline{\mathbf{Y}}$
Exit Signs:	$\underline{\mathbf{Y}}$
Fire Alarm:	N
Smoke Detection Systems:	$\underline{\mathbf{Y}}$
Carbon Monoxide Detection:	N

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: T1

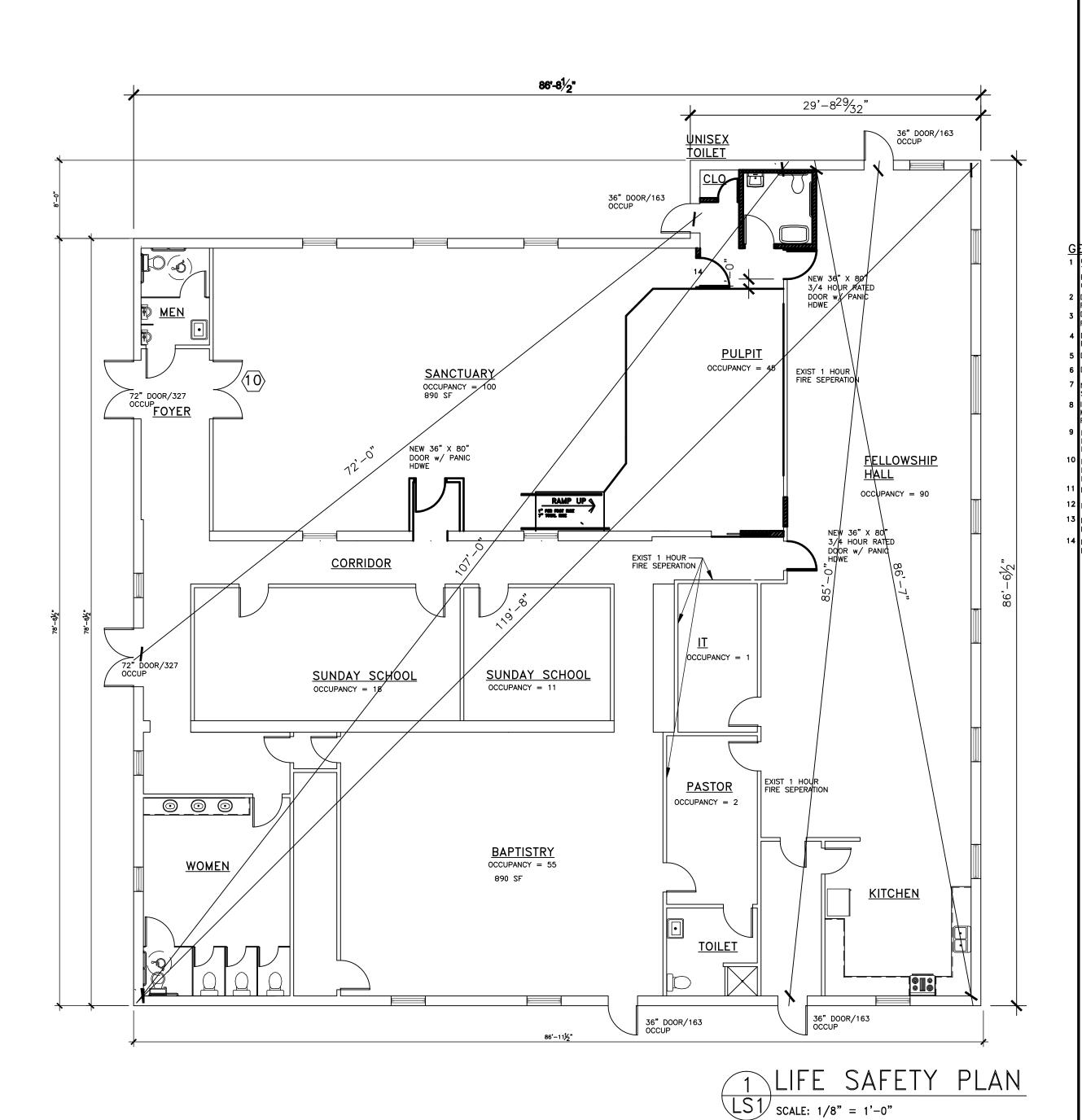
- Fire and/or smoke rated wall locations (Chapter 7)
- Assumed and real property line locations (if not on the site plan)
- Exterior wall opening area with respect to distance to assumed property lines (705.8)
- Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2) Occupant loads for each area
- Exit access travel distances (1017)
- Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
- Dead end lengths (1020.4)
- ☐ Clear exit widths for each exit door
- Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
- Actual occupant load for each exit door
- A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for
- purposes of occupancy separation ☐ Location of doors with panic hardware (1010.1.10)
- Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
- Location of doors with electromagnetic egress locks (1010.1.9.9)
- Location of doors equipped with hold-open devices Location of emergency escape windows (1030)
- The square footage of each fire area (202)
- The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
- Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE PARKING (SECTION 1106)

			·	·			
LOT OR PARKING	TOTAL # OF PA	RKING SPACES	# OF AC	TOTAL #			
AREA	REQUIRED	PROVIDED	REGULAR WITH	VAN SPACI	SPACES WITH ACCESSIB		
			5' ACCESS AISLE	132" ACCESS	8' ACCESS	PROVIDED	
				AISLE	AISLE		
EXISTING							
ΓΟΤΑL							

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE		WATERCLOSETS		URINALS LAVATORIES			SHOWERS	DRINKING FOUNTAINS			
		MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX	/TUBS	REGULAR	ACCESSIBLE
SPACE	EXIST										



DOOR CHANGE 5/4/21

