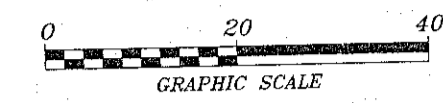


Proposed Site Plan
Lot 2
Tri-South Industrial Park
 148 Jarco Drive Fuquay-Varina, NC 27526
 Hector's Creek Township Harnett County
 Zoned: Industrial Scale: 1" = 20' Date: 11-7-16
 PIN: 0654-67-4752.000 REID: 0070550



STANCIL & ASSOCIATES
 PROFESSIONAL LAND SURVEYOR, P.A. C-0831
 98 Depot Street, P.O. Box 730, Angier, N.C. 27501
 (919) 639-2133 (919) 639-2602 (FAX)
 stancilsurvey@gmail.com

Owner and Developer
Natural Stone Design
 C/O Leuman Perez
 776 Aversboro Drive Clayton, NC 27520 919-201-5908

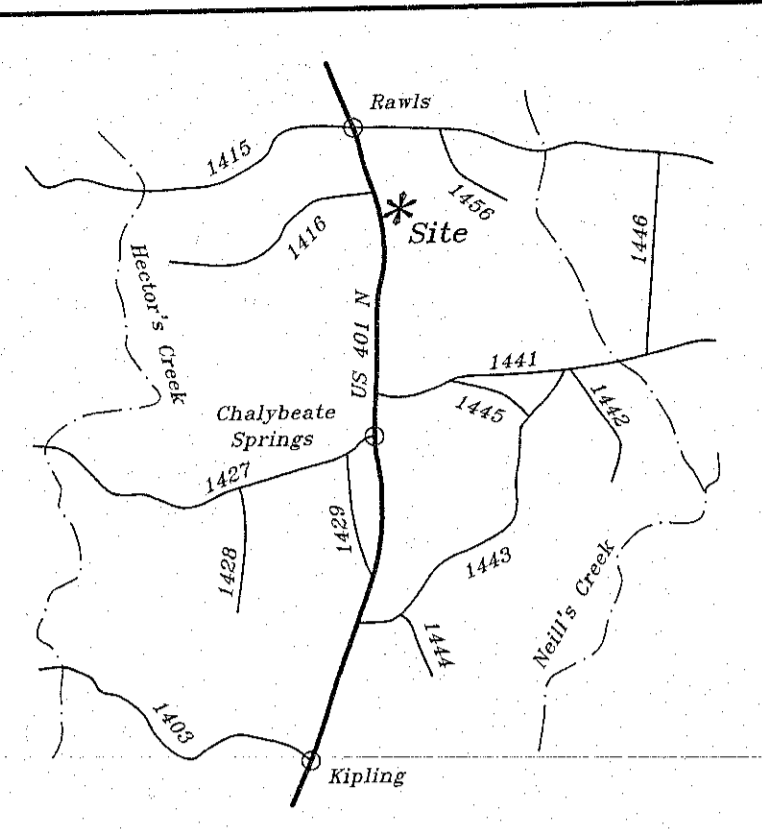
Minimum Building Setbacks
 Front = 50 feet
 Side = 25 feet
 Rear = 50 feet

FEMA FLOOD HAZARD STATEMENT
 Lots shown on this plat are not located within the FEMA 100 year Flood Hazard Area as shown on FEMA map No. 3720065400J Effective Date: October 3, 2006.

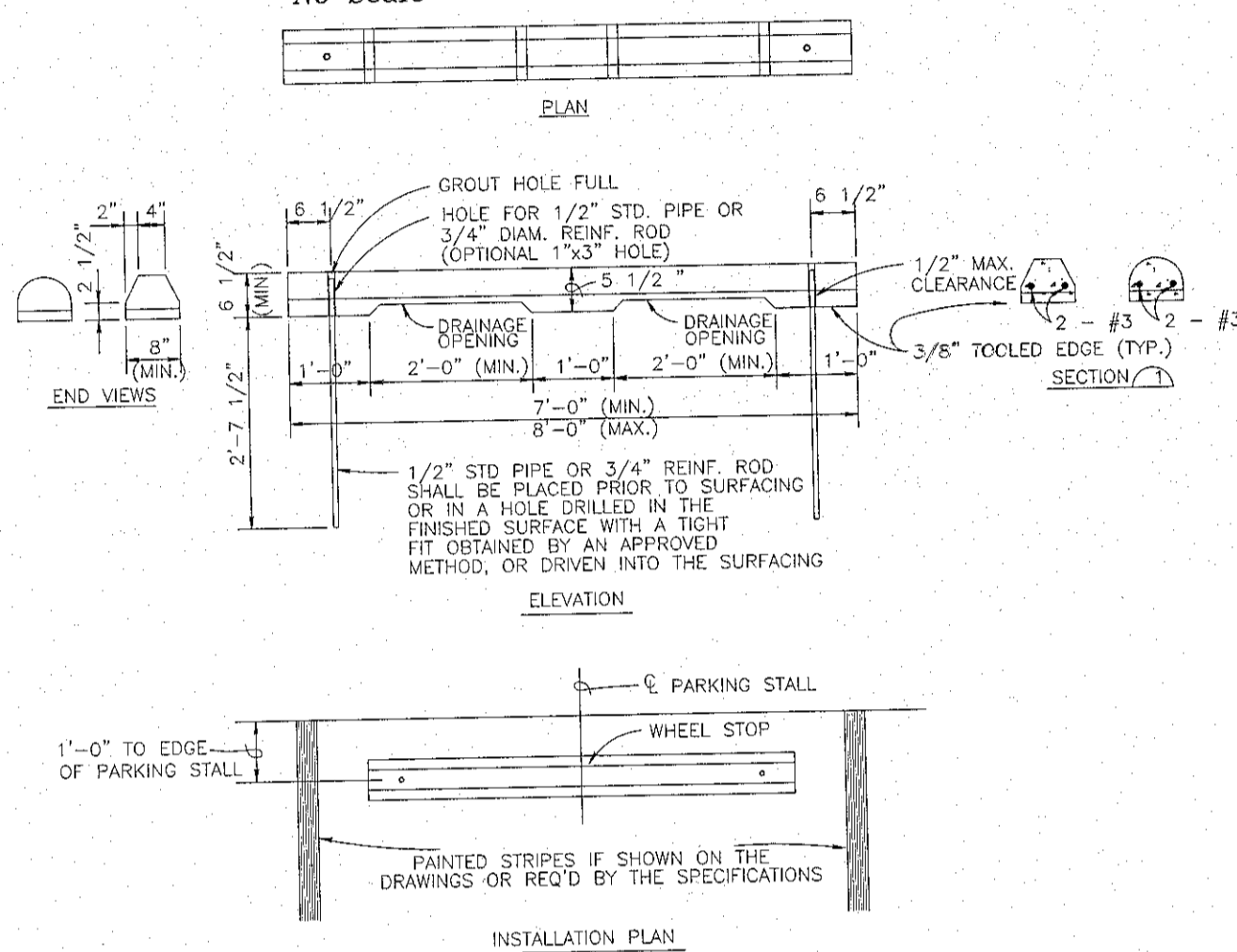
THIS DOCUMENT IS FOR REVIEW PURPOSES ONLY AND SHOULD NOT BE CONSIDERED A CERTIFIED PLAN. THIS PLAN SHOULD NOT BE USED FOR CONVEYANCE OF TITLE OR ANY OTHER TRANSACTIONS.

JWR Ventures, LLC
 Deed Book 3405, Page 228
 Map Number 2008, Pages 217-218

Site Data and Notes
 Map Numbers 2008-217 and 2008-218 and Deed Book 3421, Page 335
 Total area of development = 2,000 Acres OR 87,120 sq. ft.
 Lot to be served by individual septic tank and Harnett County Municipal Water.
 The individual lot owner and successors in title shall be responsible for maintaining all buffers on the respective lot.
 US 401 North is on the NC DOT thoroughfare plan.
 Property shown hereon is currently located in Watershed District IV, PA.
 Lot shown hereon shall be limited to a maximum impervious surface of 36% built upon area.
 29,060 sq. ft. Total Impervious Surface = 33.3%
 Number of Employees: 20
 Parking Required: 1 per 200 sq. ft. of Office Space = 13 spaces
 Parking Required: 1 per 500 sq. ft. of Warehouse = 11 spaces
 Parking Provided: 26 standard and 1 handicap
 Hours of Operation: Monday Through Friday 9:00 am through 5:00 pm
 Saturdays by appointment only, closed on Sunday
 No Hazardous materials to be stored on site
 The asphalt and concrete drives and travelways shall be constructed to support the imposed loads of emergency vehicles
 This development is within one mile of a Voluntary Agricultural District.
 Current Land use Classification is Employment Mixed Use.
 All proposed signs shall be a minimum of 10 feet from the road right-of-way and shall require a separate permit and fee.
 All mechanical areas located on, beside, or adjacent any building or development shall be screened from the views of streets and adjacent property.

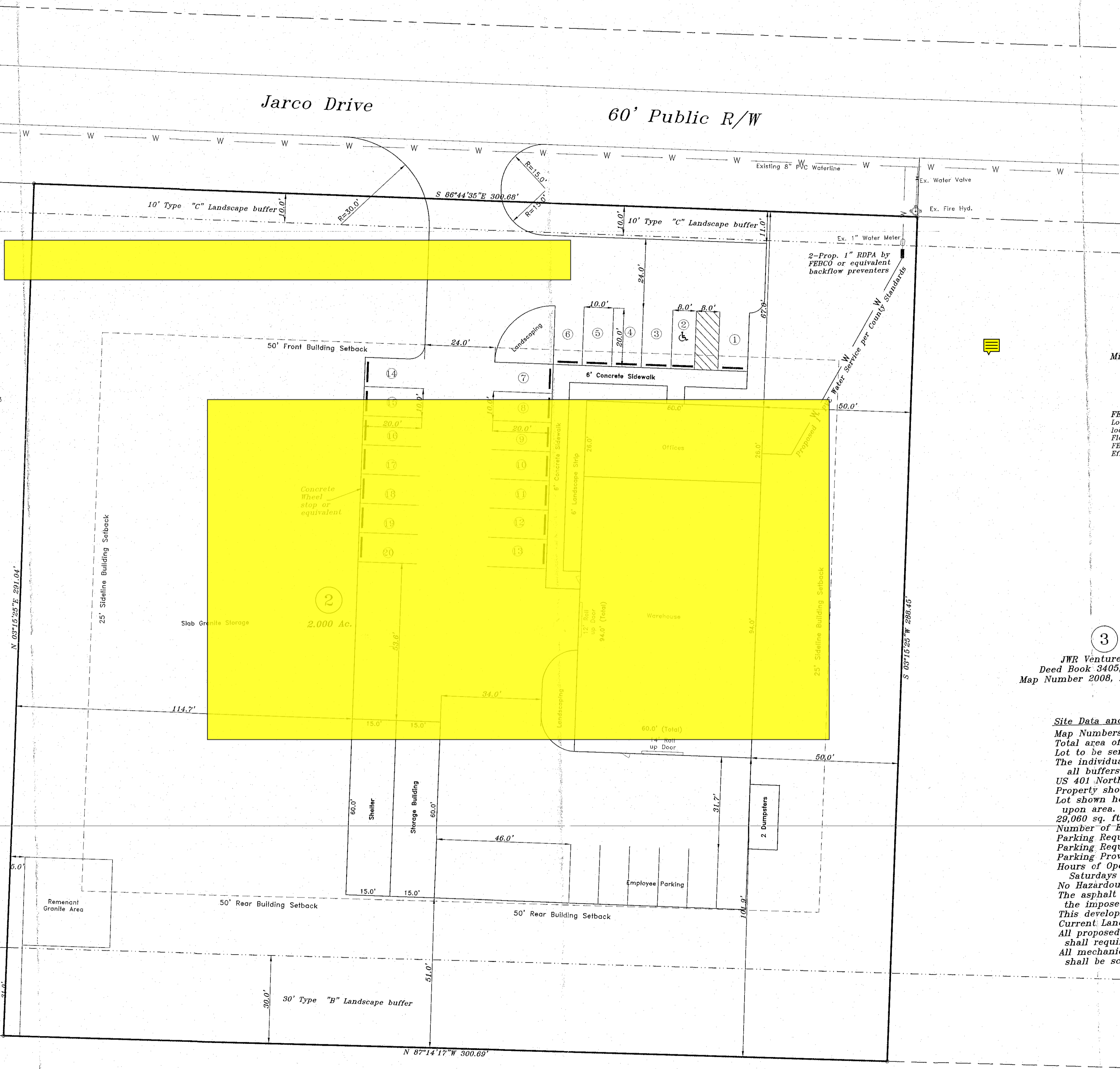


VICINITY MAP
 No Scale

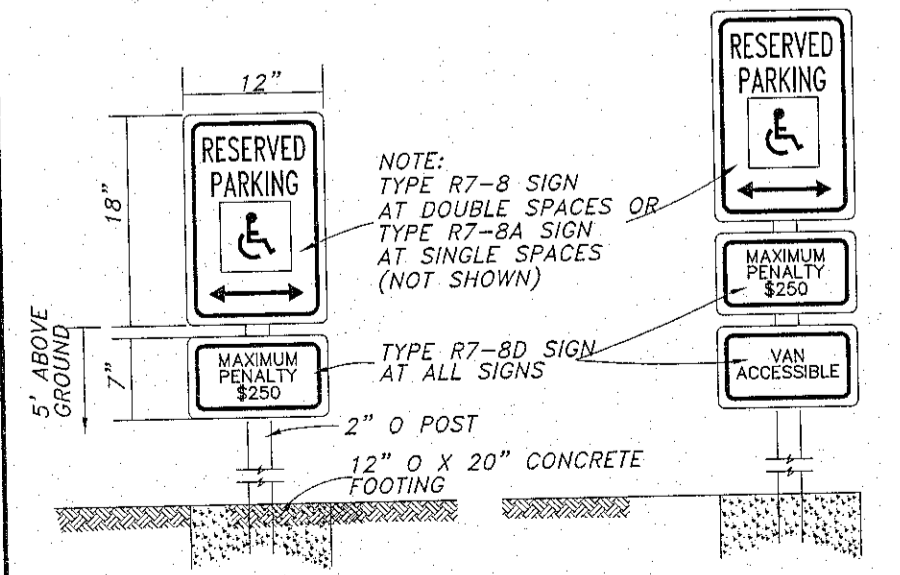


PRECAST CONCRETE WHEEL STOP DETAILS
 N.T.S.

1
 Jarco Properties LLC
 Deed Book 3028, Page 896
 Map Number 2008, Pages 217-218



Hector Creek Farms
 D. B. 1507, Pg. 390
 M. B. 8, Pg. 103
 M. B. 22, Pg. 78



ACCESSIBILITY PARKING SIGNS
 Note:
 ALL HANDICAPPED ACCESS FACILITIES SHALL CONFORM TO STATE AND FEDERAL A.D.A. GUIDELINES, WHICH SHALL TAKE PRECEDENCE OVER LOCAL ORDINANCE.

State of North Carolina
 County of Harnett
 I hereby certify that the site plan depicted hereon has been granted final approval by the Harnett County Development Review Board pursuant to the regulations set forth by E-911 Addressing, Environmental Health, Planning, Fire Marshall, and Public Utilities of Harnett County, N.C.

Certificate of Owners Consent
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon, which is located in the zoning and planning jurisdiction of Harnett County, North Carolina and that I (we) hereby adopt this proposed site plan with my (our) free consent. I (we) will comply with all requirements and standards contained therein.

Development Review Board, Chairman Date
 Date Owner

ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT.
 BEFORE YOU DIG!
 CONTACT ONE-CALL CENTER
 1-800-632-4949