NATURAL STONE DESIGN PROPOSED SITE PLAN



148 JARCO DRIVE (P.I.N. 0654-67-4752.000) FUQUAY-VARINA, NORTH CAROLINA 27526

OWNER/DEVELOPER

NATURAL STONE DESIGN
C/O LEUMAN ALFONSO PEREZ ROA &
ROGELIO ESTABAN RAMIREZ
776 AVERASBORO DRIVE
CLAYTON, NORTH CAROLINA 27520

CIVIL ENGINEER



RED LINE ENGINEERING, P.C. (C-3075) 123 RALEIGH STREET FUQUAY-VARINA, NORTH CAROLINA 27526 PHONE - (919) 779-6851

SURVEYOR

STANCIL & ASSOCIATES PROFESSIONAL LAND SURVEYOR, P.A. (C-0831) 98 DEPOT STREET, P.O. BOX 730 ANGIER, NORTH CAROLINA 27501 PHONE: (919) 639-2133 FAX: (919) 639-2602

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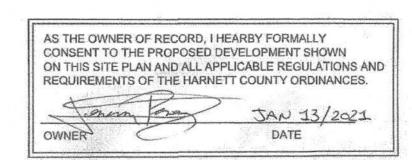


VICINITY MAP SCALE: 1"=500'

	LEGEND	
EXISTING		PROPOSED
	PROPERTY LINE/EASEMENT	
	SEDIMENT FENCE/ TREE PROTECTION FENCE	SF
	PROPERTY EASEMENT/SETBACK	
SS	SANITARY SEWER	ss
S	SANITARY SEWER MANHOLE	S
CO	CLEAN OUT	ssco
wtr	WATER LINE	w
	CENTERLINE OF ROAD	
ΧLР	LIGHT POLES	
O EIP	PROPERTY CORNER	ONIP
	RIGHT OF WAY	
CONTRACT SANGERS	STORM PIPE/CULVERT	
	DROP INLET	
— — 98 — — — — — — — — — — — — — — — — — — —	CONTOURS	98 95
	FIRE HYDRANT	*
	WATER VALVE	H
	RIP RAP APRON	
	TEMP. CONSTRUCTION ENTRANCE	

HARNETT COUNTY SITE PLAN NOTES:

- ALL SIGNS SHALL BE LOCATED AT LEAST 10 FT FROM PUBLIC RIGHT OF WAY AND REQUIRE A SEPARATE PERMIT AND REVIEW. ANY SIGNAGE SHOWN ON THESE PLANS IS FOR REFERENCE ONLY.
- SITE AND BUILDING MOUNTED LIGHTING SHALL BE LOCATED IN SUCH A
 MANNER AS TO PREVENT DIRECT GLARE AND LIGHTING ONTO
 ADJACENT PROPERTY OR INTO PUBLIC RIGHTS OF WAY. ALL FLOOD
 LIGHTS SHALL BE INSTALLED SUCH THAT THE FIXTURE SHALL BE
 AIMED DOWNWARD AT LEAST 45 DEGREES FROM VERTICAL.
- ALL MECHANICAL UNITS LOCATED ON, BESIDE OR ADJACENT TO AN'
 BUILDING OR DEVELOPMENTS SHALL BE SCREENED FROM VIEWS
 FROM PUBLIC STREETS AND ADJACENT PROPERTIES IN ACCORDANY
 WITH THE HARNETT COUNTY UDO.
- THIS DEVELOPMENT IS LOCATED WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT.
- 5. WATER SUPPLY WATERSHED SPECIAL INTENSITY ALLOCATION PERMIT (SNIA2006-0001) APPROVED AUGUST 10, 2018, FOR 60% MAX.
- 6. AN APPROVED SEDIMENTATION AND EROSION CONTROL PERMIT SHALL BE OBTAINED FROM NCDEQ-DEMLR PRIOR TO COMMENCING CONSTRUCTION. A COPY OF THIS PERMIT TO SHALL BE PROVIDED TO HARNETT COUNTY PRIOR TO CONSTRUCTION.
- PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PARKING, GRAVEL AREAS, AND LANDSCAPE AREAS OUTSIDE OF THE PUBLIC RIGHT OF WAY.







PRELIMINARY DRAWING
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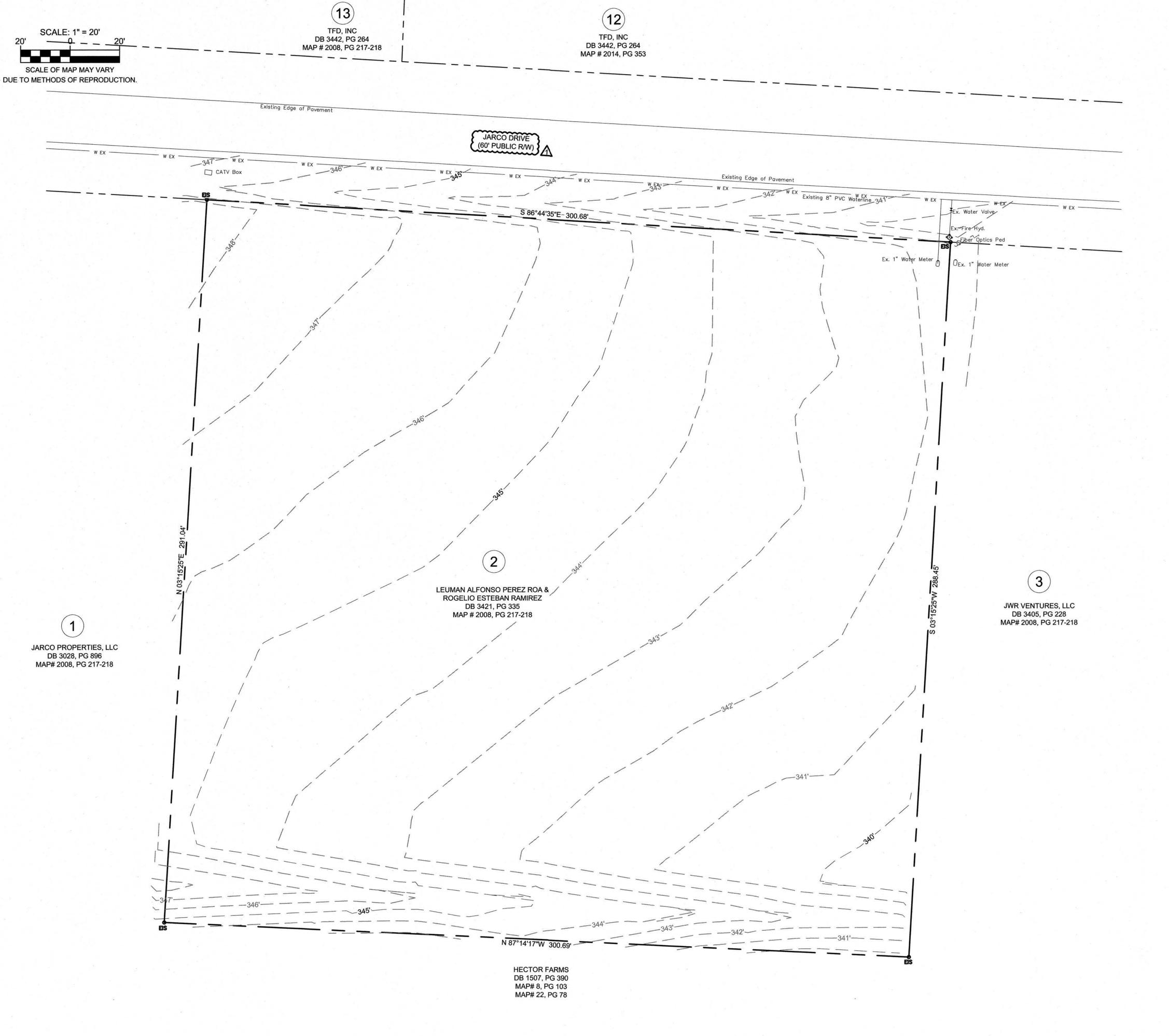
NOTE: ALL WORK MUST COMPLY WITH APPLICABLE NORTH CAROLINA BUILDING CODES, HANDICAPPED ACCESSIBILITY CODE VOL. 1C., AND WITH THE HARNETT COUNTY, NCDEQ AND NCDOT STANDARDS, DETAILS AND SPECIFICATIONS.

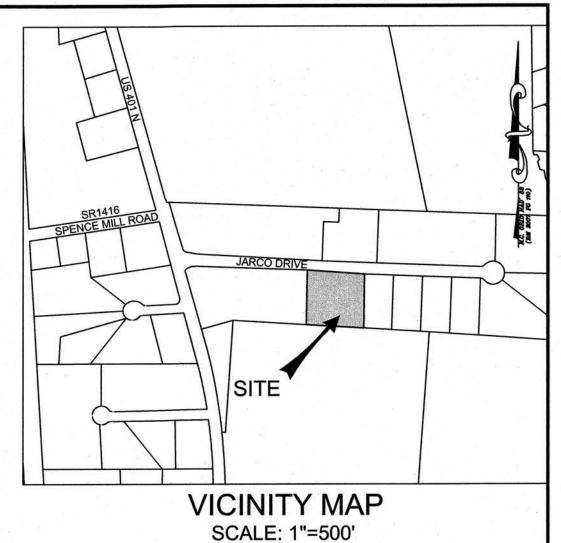
REVISION A: JANUARY 14, 2021

DATE: DECEMBER 15, 2020 PROJ. NO.: 20-019



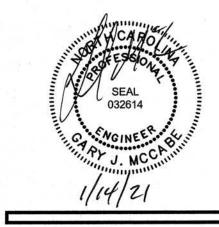
SHEET C1

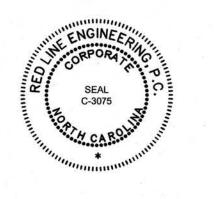




GENERAL NOTES

- (1) BOUNDARY & TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY STANCIL & ASSOCIATES PROFESSIONAL LAND SURVEYOR, P.A. (C-0831), PERFORMED BY THOMAS L. STANCIL, P.L.S. (L-1512), DATED JUNE 26, 2017. INFORMATION PROVIDED FOR ENGINEERING DESIGN PURPOSES ONLY. NOT FOR SALE OR RECORDATION.
- (2) CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, MATERIAL AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. ELEVATIONS INDICATED ON PLANS SHOWN AS APPROXIMATE, CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS PRIOR TO COMMENCING CONSTRUCTION.
- (3) CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH ALL CONSTRUCTION RELATED ACTIVITIES.
- (4) ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED, AND MULCHED IN ACCORDANCE W/NPDES STABILIZATION TABLE.
- (5) WATER & SEWER PIPES TO BE INSTALLED IN TRENCHES ACCORDING TO THE HARNETT COUNTY PUBLIC UTILITIES DEPARTMENT STANDARD SPECIFICATIONS AND DETAILS.
- (6) ACCORDING TO THE SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NORTH CAROLINA GENERAL STATUTE 113A 51-66) THIS PROJECT IS SUBJECT TO AN APPROVED SEDIMENTATION AND EROSION CONTROL PLAN. TOTAL DISTURBED AREA IS APPROXIMATELY 71,733 SF > 1 ACRE, THEREFORE A LAND DISTURBING IS REQUIRED.
- (7) ALL WORK MUST COMPLY WITH APPLICABLE NCDOT STANDARDS, NORTH CAROLINA BUILDING CODES, NCDEQ AND HARNETT COUNTY STANDARDS, DETAILS AND SPECIFICATIONS.
- (8) ANY CONFLICT(S) BETWEEN ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND CIVIL SHEETS SHALL BE SUBMITTED BY CONTRACTOR, IN WRITING, TO BOTH ARCHITECT AND ENGINEER. WRITTEN CLARIFICATION/RESOLUTION MUST BE RECEIVED BY CONTRACTOR FROM ARCHITECT AND ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- (9) LATERAL SEPARATION OF SEWERS OR WATER MAINS. WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET LATERALLY FROM EXISTING OR FUTURE SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A TEN (10) FOOT LATERAL SEPARATION -- IN WHICH CASE:
 - (A) THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION ON THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER; OR
 - (B) THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER.
- (11) CROSSING A WATER MAIN OVER A SEWER. WHENEVER NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN EIGHTEEN (18) INCH SEPARATION -- IN WHICH CASE, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE CROSSING.
- (12) CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE POINT(S) OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

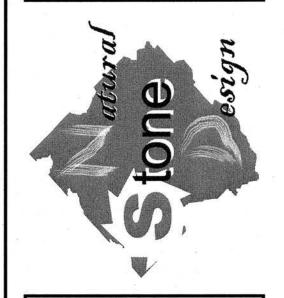




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148 JARCO DRIVE QUAY-VARINA, NORTH CAROLINA 27526

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PER DRB 01/14/21

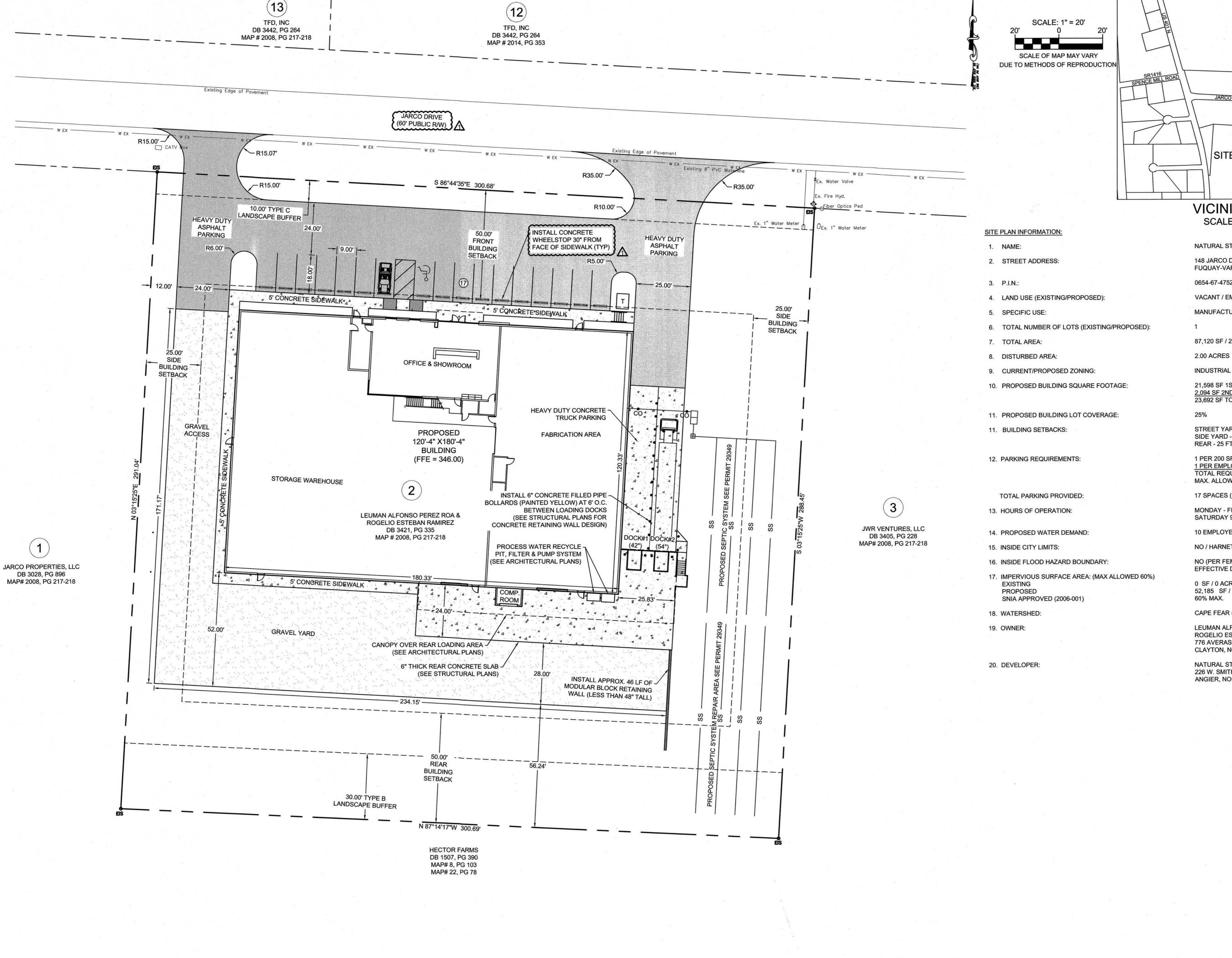
ISSUED FOR: DATE:
REVIEW/APPROVAL 12/15/20

PROJECT NO.: 20-019
DRAWN BY: GJM/TAL
REVIEWED BY: GJM

Know what's below.
Call before you dig.

SHEET NUMBER:

C2





VICINITY MAP SCALE: 1"=500'

NATURAL STONE DESIGN

148 JARCO DRIVE FUQUAY-VARINA, NORTH CAROLINA 27526

VACANT / EMPLOYMENT MIXED USE

0654-67-4752.000

MANUFACTURING GENERAL

87,120 SF / 2.00 ACRES

INDUSTRIAL

21,598 SF 1ST FLOOR (WAREHOUSE) 2,094 SF 2ND FLOOR (OFFICE) 23,692 SF TOTAL

STREET YARD - 50 FT. SIDE YARD - 15 FT. REAR - 25 FT.

1 PER 200 SF OF OFFICE X 2,094 SF = 10 SPACES 1 PER EMPLOYEE X 10 EMP. = 5 SPACES **TOTAL REQUIRED PARKING = 15 SPACES** MAX. ALLOWED = 15 X 110% = 17 SPACES

17 SPACES (INCLUDES 1 ACCESSIBLE SPACE)

MONDAY - FRIDAY 9AM - 4:30 PM SATURDAY 9AM - 1PM

10 EMPLOYEES x 25 GPD = 250 GPD

NO / HARNETT COUNTY

NO (PER FEMA MAP #3720065400J)

EFFECTIVE DATE: OCTOBER, 6 2006

0 SF / 0 ACRES (0%) 52,185 SF / 1.20 ACRES (60%)

CAPE FEAR (WS-IV)

LEUMAN ALFONSO PEREZ ROA & ROGELIO ESTABAN RAMIREZ 776 AVERASBORO DRIVE CLAYTON, NORTH CAROLINA 27520

NATURAL STONE DESIGN CORPORATION 226 W. SMITHFIELD STREET ANGIER, NORTH CAROLINA 27501

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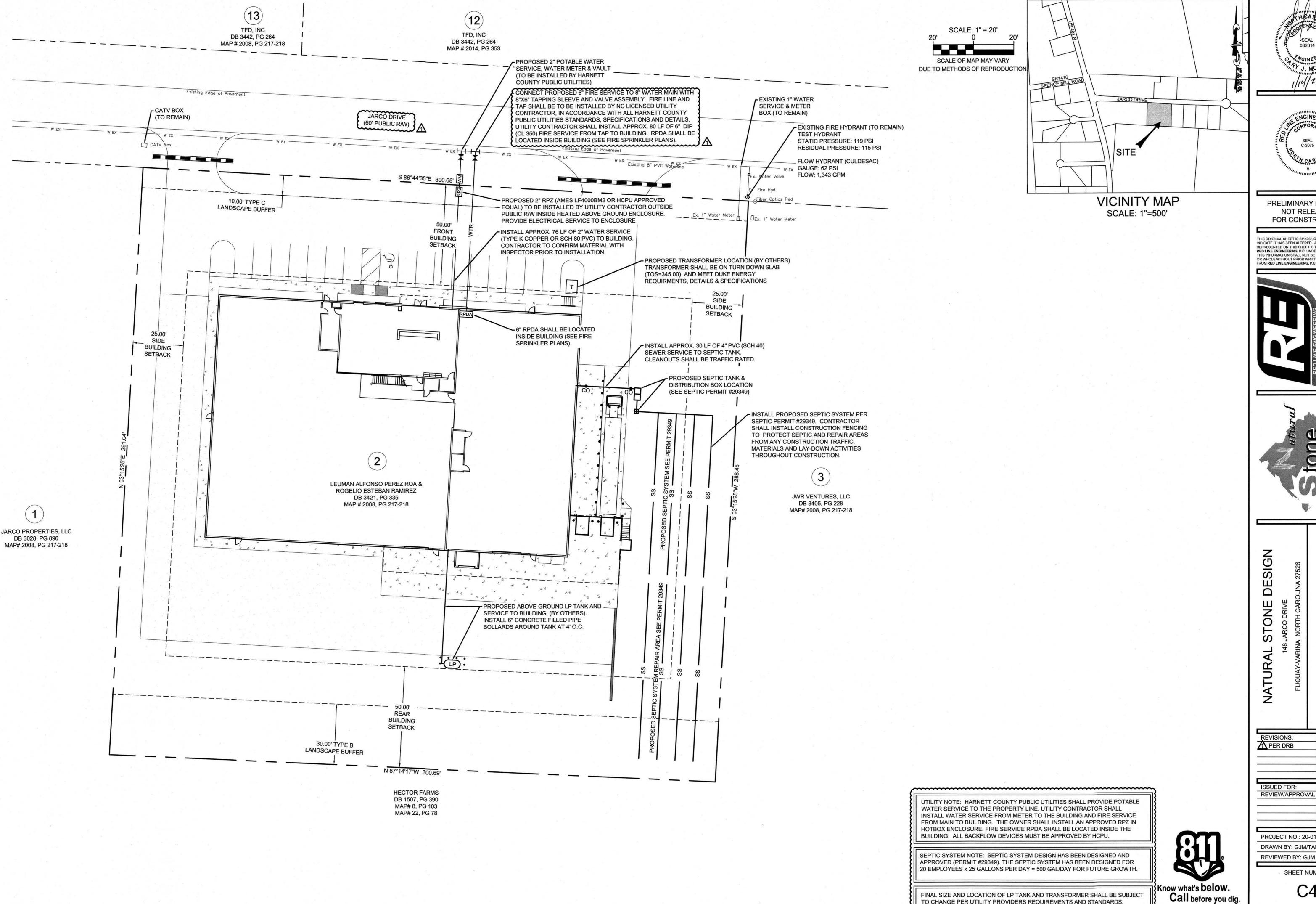
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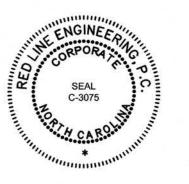
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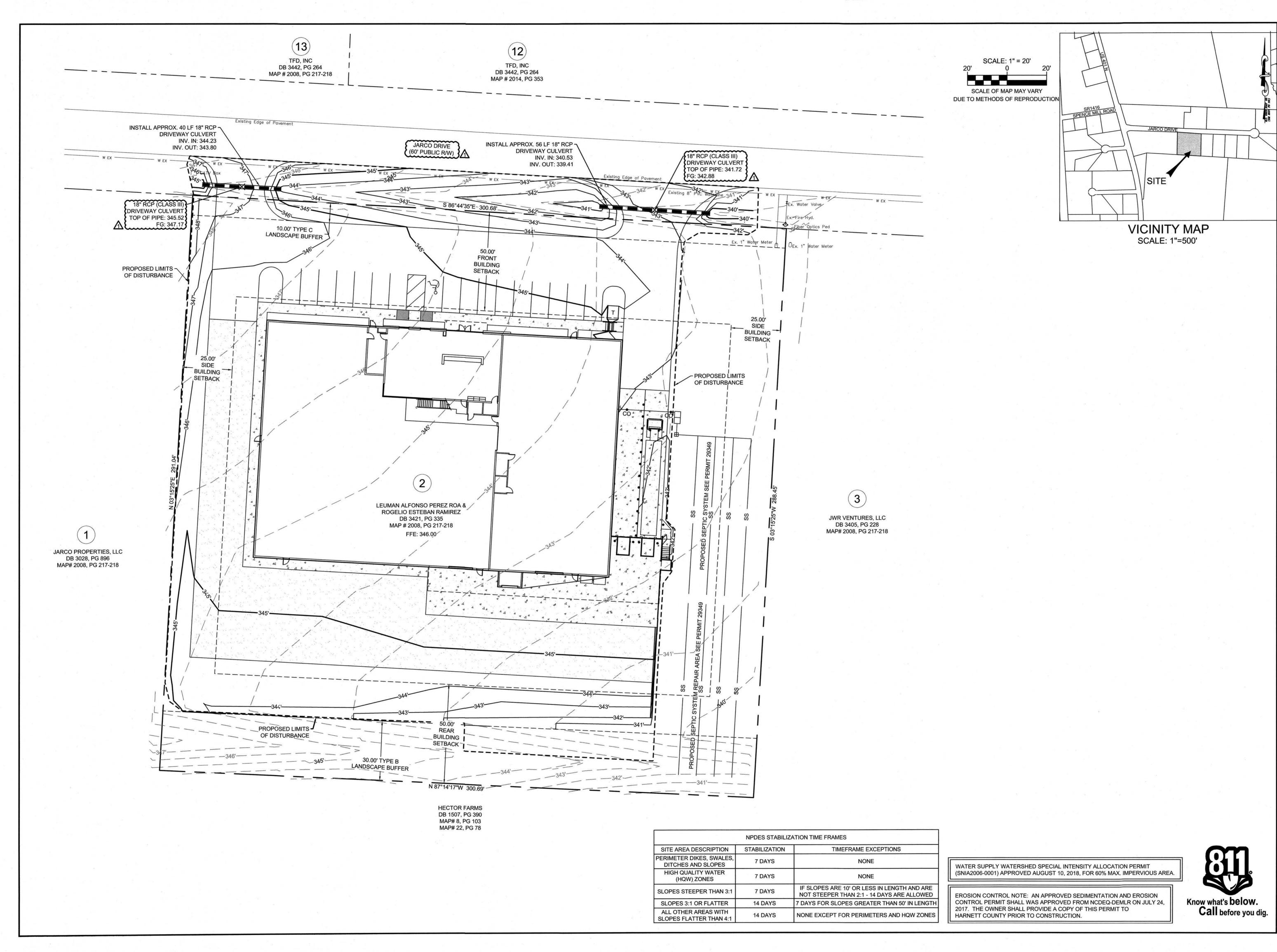


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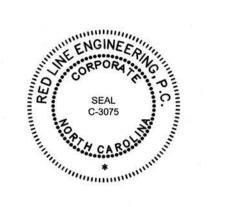
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TO CHANGE PER UTILITY PROVIDERS REQUIREMENTS AND STANDARDS.



SEAL 032614

SEAL 032614



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Stone

STONE DESIGN
48 JARCO DRIVE

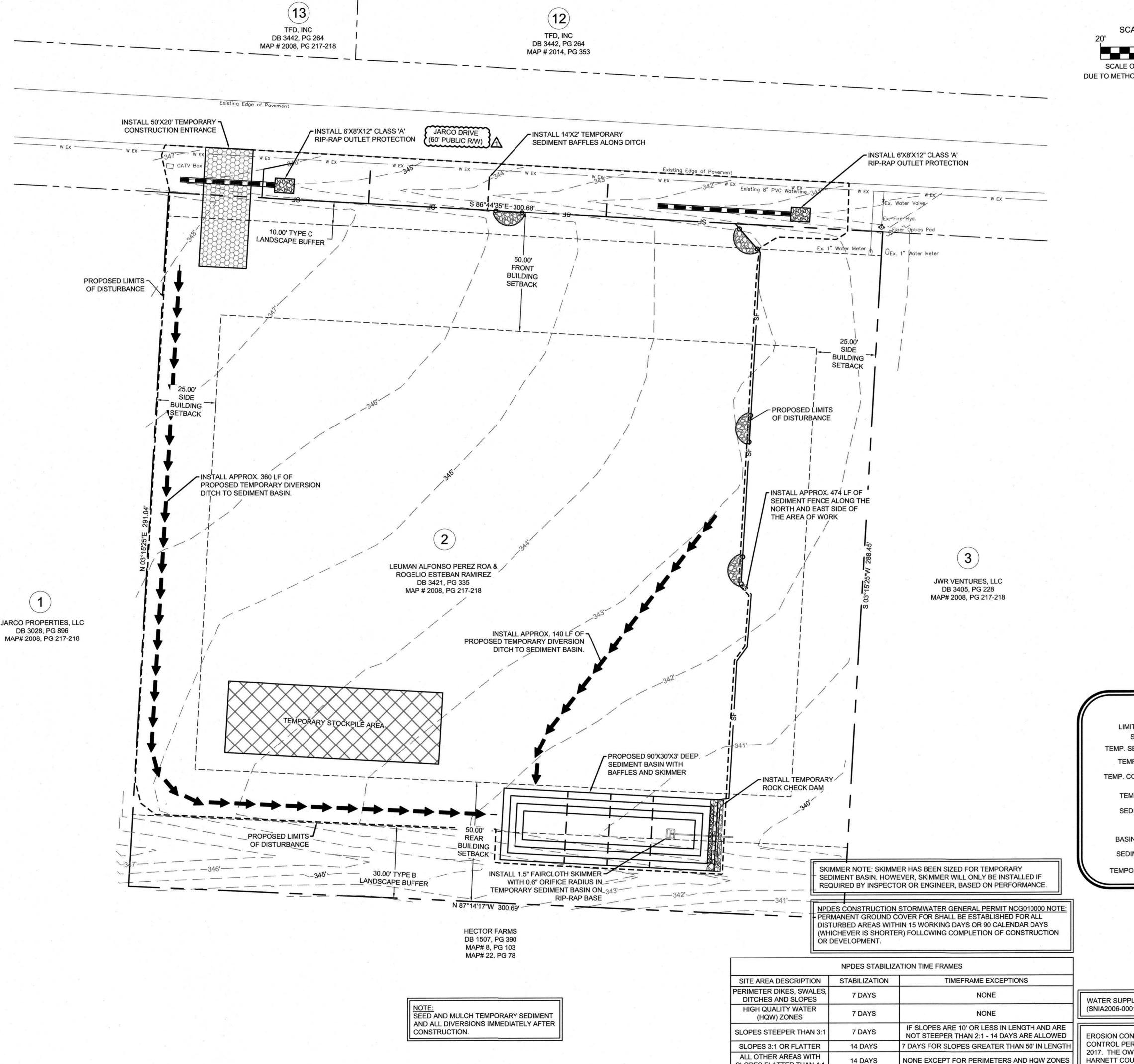
148 JARCO DRIVE FUQUAY-VARINA, NORTH CARC

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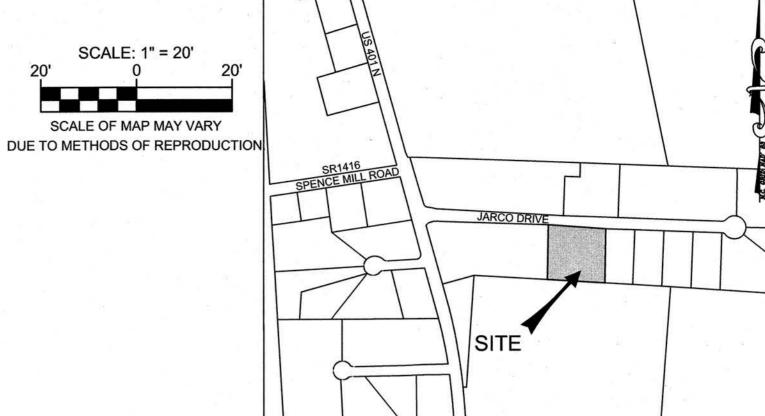
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SHEET NUMBER:

C5



SLOPES FLATTER THAN 4:1



CONSTRUCTION SEQUENCE

 SCHEDULE PRE-CONSTRUCTION MEETING WITH NCDEQ-DEMLR, FAYETTEVILLE REGIONAL OFFICE AT (910) 433-3300, ENGINEER AND OWNER / DEVELOPER.

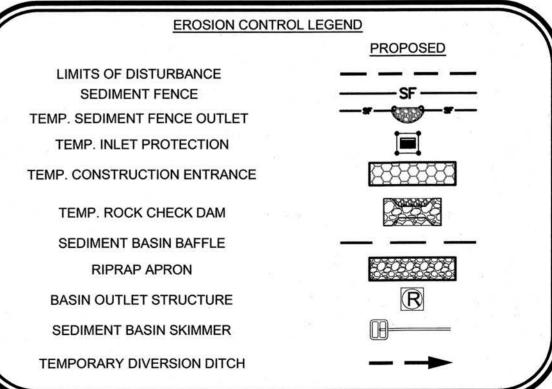
VICINITY MAP

SCALE: 1"=500'

- PERFORM CONSTRUCTION STAKEOUT.
- INSTALL CONSTRUCTION ENTRANCE, SEDIMENT FENCE WITH OUTLETS, TEMPORARY SEDIMENT BASIN, DRIVEWAY CULVERTS AND OUTLET CONTROL APRONS. SEED AND MULCH IMMEDIATELY AFTER CONSTRUCTION.
- 4. UPON APPROVAL BY INSPECTOR, COMMENCE CLEARING, GRUBBING AND ROUGH GRADING OF THE SITE NECESSARY TO BALANCE SITE CUT/FILL.
- 5. BEGIN ROUGH GRADING, BUILDING PAD AND UTILITY INSTALLATION.
- OWNER SHALL PROVIDE A PERMIT BOX WITH APPROVED SET OF PLANS ON-SITE AND MAINTAIN SELF-INSPECTION REPORTS IN ACCORDANCE WITH NPDES. INSPECTION REPORTS MUST BE DONE WEEKLY AND/OR AFTER A RAINFALL OF HALF AN INCH OR MORE.

SITE GRADING & EROSION CONTROL NOTES

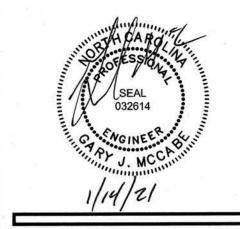
- (1) SEE GENERAL NOTES, SHEET C2.
- (2) DISTURBED/DENUDED AREA: 71,694 SF (1.65 ACRES)
- (3) EXISTING IMPERVIOUS AREA: 0 SF (0.0 ACRES)
- (4) PROPOSED IMPERVIOUS AREA: 52,185 SF / 1.20 ACRES (60%)
- (5) MAXIMUM IMPERVIOUS (%): 60% (SNIA 2006-001)
- (6) TOTAL TRACT AREA: 87,120 SF (2.00 ACRES)
- (7) ALL DISTURBED AREAS SHALL BE SEEDED, MULCHED OR OTHERWISE STABILIZED WITHIN IN ACCORDANCE WITH THE NPDES TIME FRAMES LOCATED ON THIS SHEET AND WITH THE TEMPORARY SEEDING SCHEDULE. SEE DETAIL 4/C9.
- (8) ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- (9) CONTRACTOR TO SWEEP AND KEEP CLEAN OF SEDIMENT THE ROADWAY ADJACENT TO THE PROJECT SITE AT ALL TIMES OR WASH STATION WILL BE REQUIRED.
- (10) ALL DISTURBED AREAS SHALL BE SEEDED WITH NATIVE GRASSES (i.e. BERMUDA, FESCUE, CENTIPEDE, ETC.) TO MATCH EXISTING VEGETATION ON SITE.

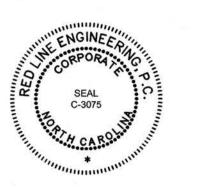


WATER SUPPLY WATERSHED SPECIAL INTENSITY ALLOCATION PERMIT (SNIA2006-0001) APPROVED AUGUST 10, 2018, FOR 60% MAX. IMPERVIOUS AREA.

EROSION CONTROL NOTE: AN APPROVED SEDIMENTATION AND EROSION CONTROL PERMIT SHALL WAS APPROVED FROM NCDEQ-DEMLR ON JULY 24, 2017. THE OWNER SHALL PROVIDE A COPY OF THIS PERMIT TO HARNETT COUNTY PRIOR TO CONSTRUCTION.







PRELIMINARY DRAWING
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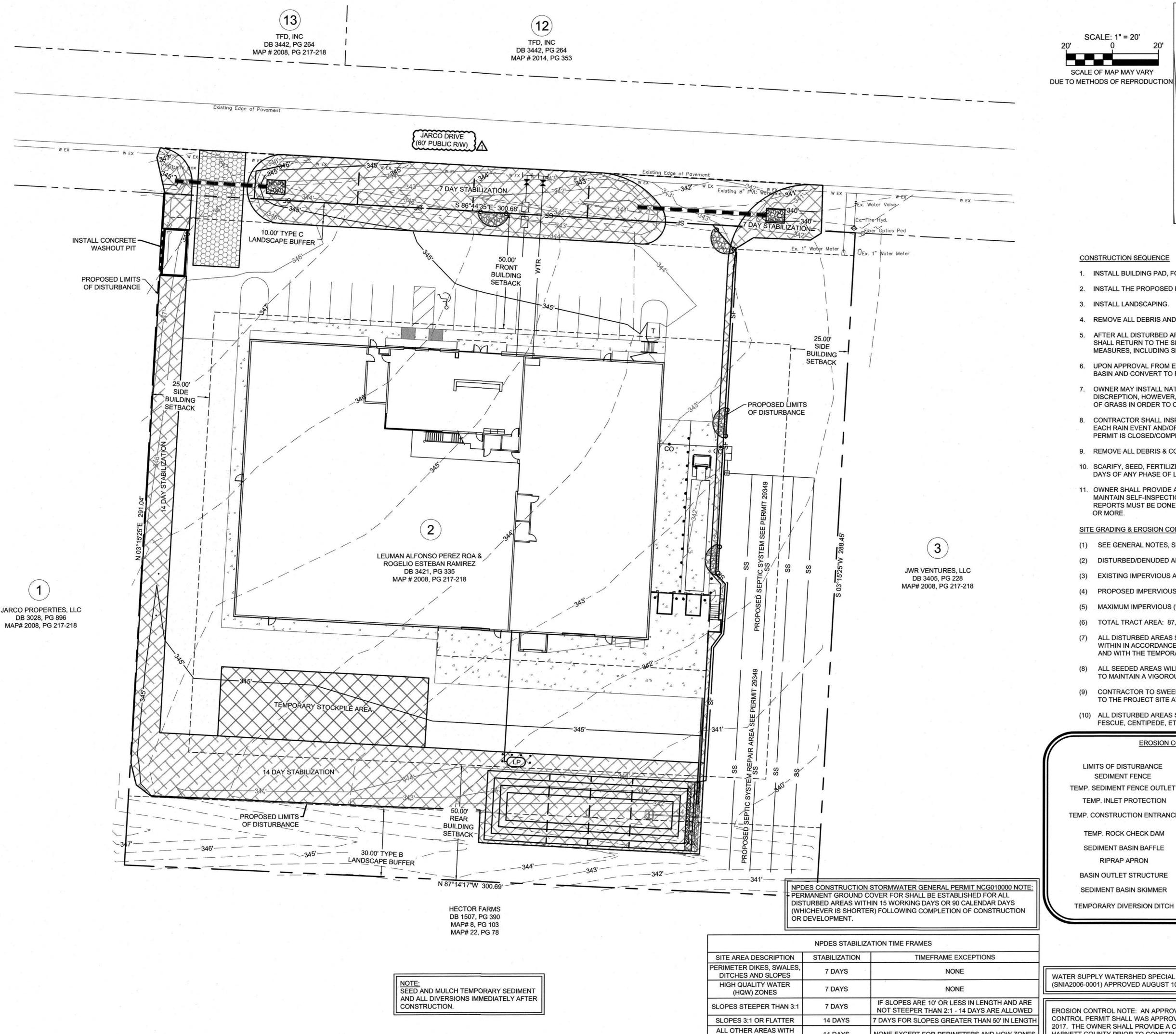
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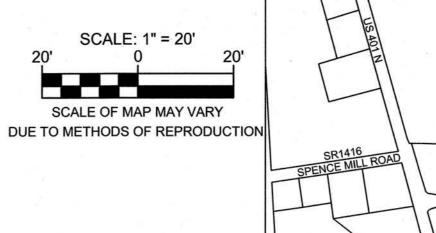
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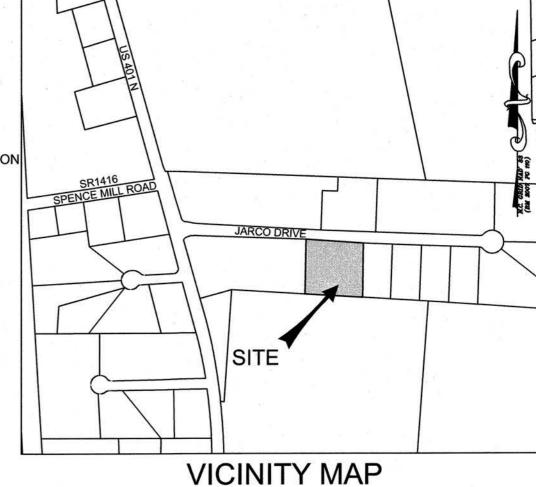
PROJECT NO.: 20-019 20-019 DRAWN BY: GJM/TAL

REVIEWED BY: GJM
SHEET NUMBER:

C6







SCALE: 1"=500'

- INSTALL BUILDING PAD, FOUNDATION WALLS AND UTILITIES.
- INSTALL THE PROPOSED PARKING AREAS, DRIVEWAYS & SIDEWALKS.
- INSTALL LANDSCAPING.
- 4. REMOVE ALL DEBRIS AND CONSTRUCTION MATERIALS FROM SITE.
- 5. AFTER ALL DISTURBED AREAS ARE STABILIZED WITH VEGETATION, THE CONTRACTOR SHALL RETURN TO THE SITE AND REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, INCLUDING SEDIMENT BASIN AND SEDIMENT FENCE.
- 6. UPON APPROVAL FROM ENGINEER, REMOVE DEBRIS AND SEDIMENT FROM SEDIMENT BASIN AND CONVERT TO PROPOSED DRY-DETENTION POND.
- 7. OWNER MAY INSTALL NATIVE GRASS SEED OR SOD TO STABILIZE SITE AT HIS/HER DISCREPTION, HOWEVER, THE SITE MUST BE FULLY STABILIZED WITH AN 85% STAND OF GRASS IN ORDER TO CLOSE EROSION CONTROL PERMIT.
- 8. CONTRACTOR SHALL INSPECT & MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAIN EVENT AND/OR A MIN. OF ONCE PER WEEK UNTIL EROSION CONTROL PERMIT IS CLOSED/COMPLETED.
- 9. REMOVE ALL DEBRIS & CONSTRUCTION MATERIALS FROM SITE.
- 10. SCARIFY, SEED, FERTILIZE, & MULCH ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS OF ANY PHASE OF LAND DISTURBING ACTIVITIES OR SITE INACTIVITY.
- 11. OWNER SHALL PROVIDE A PERMIT BOX WITH APPROVED SET OF PLANS ON-SITE AND MAINTAIN SELF-INSPECTION REPORTS IN ACCORDANCE WITH NPDES. INSPECTION REPORTS MUST BE DONE WEEKLY AND/OR AFTER A RAINFALL OF HALF AN INCH OR MORE.

SITE GRADING & EROSION CONTROL NOTES

- (1) SEE GENERAL NOTES, SHEET C2.
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PROPOSED LIMITS OF DISTURBANCE SEDIMENT FENCE -------TEMP. SEDIMENT FENCE OUTLET TEMP. INLET PROTECTION TEMP. CONSTRUCTION ENTRANCE

EROSION CONTROL LEGEND

TEMP. ROCK CHECK DAM SEDIMENT BASIN BAFFLE

RIPRAP APRON

BASIN OUTLET STRUCTURE SEDIMENT BASIN SKIMMER

NONE EXCEPT FOR PERIMETERS AND HQW ZONES

14 DAYS

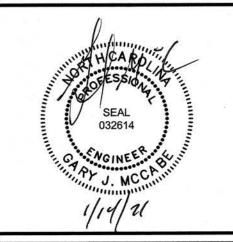
SLOPES FLATTER THAN 4:1

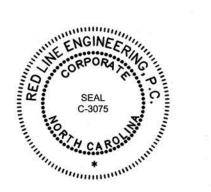
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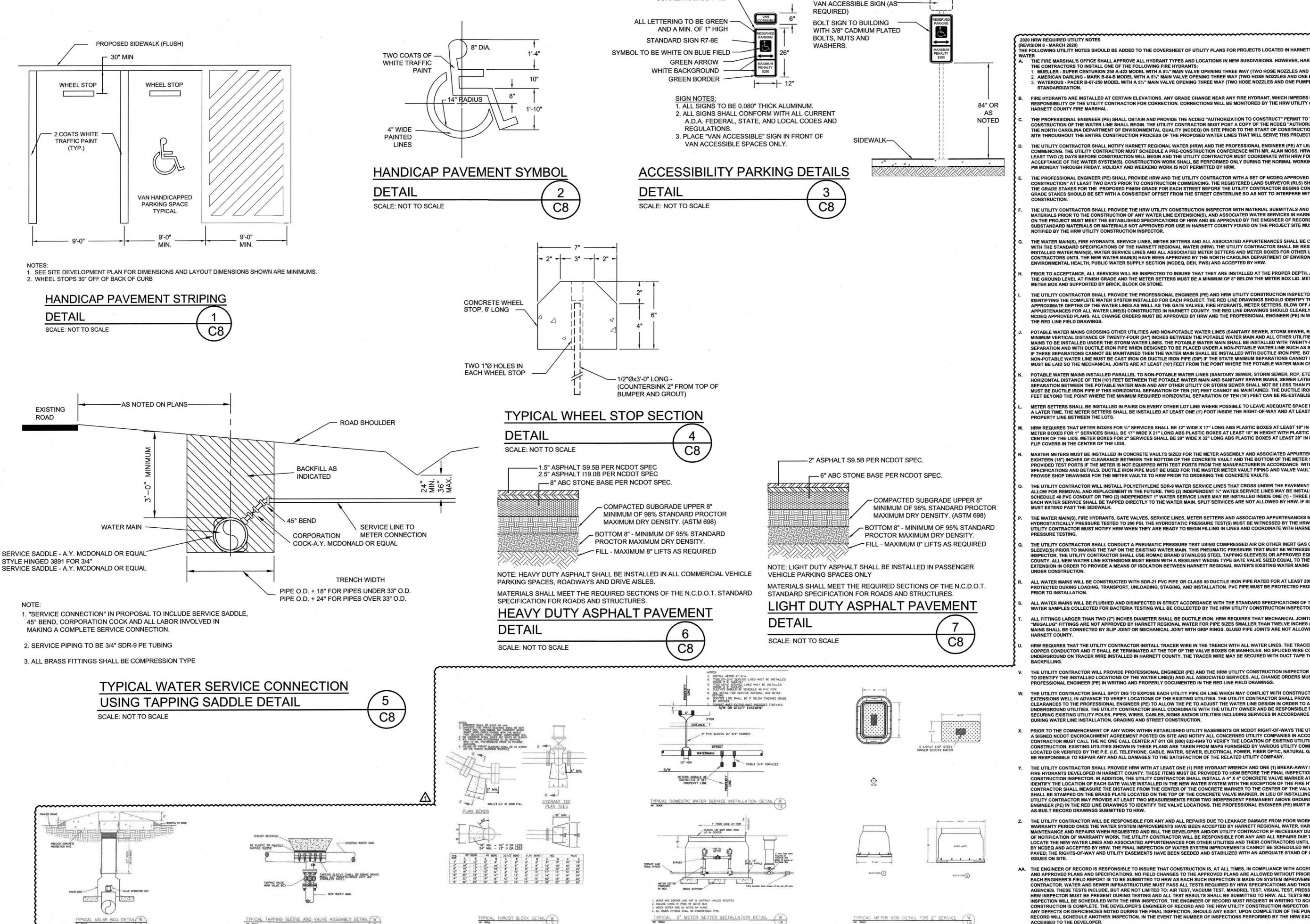


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PROJECT NO.: 20-019 20-019 DRAWN BY: GJM/TAL

REVIEWED BY: GJM SHEET NUMBER:



CORNER RADIUS 1-1/2" —

Call before you dig

REVISION 8 - MARCH 2020) HE FOLLOWING UTILITY NOTES SHOULD BE ADDED TO THE COVERSHEET OF UTILITY PLANS FOR PROJECTS LOCATED IN HARNETT COUNTY:

THE FIRE MARSHAL'S OFFICE SHALL APPROVE ALL HYDRANT TYPES AND LOCATIONS IN NEW SUBDIVISIONS. HOWEVER, HARNETT REGIONAL WATER (HRW) PREFER THE CONTRACTORS TO INSTALL ONE OF THE FOLLOWING FIRE HYDRANTS: 1. MUELLER - SUPER CENTURION 250 A-423 MODEL WITH A 51/4" MAIN VALVE OPENING THREE WAY (TWO HOSE NOZZLES AND ONE PUMPER NOZZLE);

AMERICAN DARLING - MARK B-84-B MODEL WITH A 5%" MAIN VALVE OPENING THREE WAY (TWO HOSE NOZZLES AND ONE PUMPER NOZZLE); 3. WATEROUS - PACER B-67-250 MODEL WITH A 51/4" MAIN VALVE OPENING THREE WAY (TWO HOSE NOZZLES AND ONE PUMPER NOZZLE) OR APPROVED EQUAL FOR

FIRE HYDRANTS ARE INSTALLED AT CERTAIN FLEVATIONS, ANY GRADE CHANGE NEAR ANY FIRE HYDRANT, WHICH IMPEDES ITS OPERATION, SHALL BECOME THE RESPONSIBILITY OF THE UTILITY CONTRACTOR FOR CORRECTION. CORRECTIONS WILL BE MONITORED BY THE HRW UTILITY CONSTRUCTION INSPECTOR AND THE

THE PROFESSIONAL ENGINEER (PE) SHALL OBTAIN AND PROVIDE THE NCDEQ "AUTHORIZATION TO CONSTRUCT" PERMIT TO THE UTILITY CONTRACTOR BEFORE THE CONSTRUCTION OF THE WATER LINE SHALL BEGIN. THE UTILITY CONTRACTOR MUST POST A COPY OF THE NCDEQ "AUTHORIZATION TO CONSTRUCT" PERMIT ISSUED B THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY (NCDEO) ON SITE PRIOR TO THE START OF CONSTRUCTION. THE PERMIT MUST BE MAINTAINED ON

THE UTILITY CONTRACTOR SHALL NOTIFY HARNETT REGIONAL WATER (HRW) AND THE PROFESSIONAL ENGINEER (PE) AT LEAST TWO DAYS PRIOR TO CONSTRUCTION COMMENCING. THE UTILITY CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH MR. ALAN MOSS, HRW UTILITY CONSTRUCTION INSPECTOR AT LEAST TWO (2) DAYS BEFORE CONSTRUCTION WILL BEGIN AND THE UTILITY CONTRACTOR MUST COORDINATE WITH HRW FOR REGULAR INSPECTION VISITATIONS AND ACCEPTANCE OF THE WATER SYSTEM(S). CONSTRUCTION WORK SHALL BE PERFORMED ONLY DURING THE NORMAL WORKING HOURS OF HRW WHICH IS 8:00 AM - 5:00 PM MONDAY THROUGH FRIDAY. HOLIDAY AND WEEKEND WORK IS NOT PERMITTED BY HRW

THE PROFESSIONAL ENGINEER (PE) SHALL PROVIDE HRW AND THE UTILITY CONTRACTOR WITH A SET OF NCDEQ APPROVED PLANS MARKED "RELEASED FOR CONSTRUCTION" AT LEAST TWO DAYS PRIOR TO CONSTRUCTION COMMENCING. THE REGISTERED LAND SURVEYOR (RLS) SHOULD STAKE OUT ALL LOT CORNERS AND THE GRADE STAKES FOR THE PROPOSED FINISH GRADE FOR EACH STREET BEFORE THE UTILITY CONTRACTOR BEGINS CONSTRUCTION OF THE WATER LINE(S). THE GRADE STAKES SHOULD BE SET WITH A CONSISTENT OFFSET FROM THE STREET CENTERLINE SO AS NOT TO INTERFERE WITH THE STREET GRADING AND UTILITY

THE UTILITY CONTRACTOR SHALL PROVIDE THE HRW UTILITY CONSTRUCTION INSPECTOR WITH MATERIAL SUBMITTALS AND SHOP DRAWINGS FOR ALL PROJECT MATERIALS PRIOR TO THE CONSTRUCTION OF ANY WATER LINE EXTENSION(S), AND ASSOCIATED WATER SERVICES IN HARNETT COUNTY, THE MATERIALS TO BE USED ON THE PROJECT MUST MEET THE ESTABLISHED SPECIFICATIONS OF HRW AND BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION. ALL SUBSTANDARD MATERIALS OR MATERIALS NOT APPROVED FOR USE IN HARNETT COUNTY FOUND ON THE PROJECT SITE MUST BE REMOVED IMMEDIATELY WHEN

THE WATER MAIN(S), FIRE HYDRANTS, SERVICE LINES, METER SETTERS AND ALL ASSOCIATED APPURTENANCES SHALL BE CONSTRUCTED IN STRICT IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE HARNETT REGIONAL WATER (HRW). THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE THE NEWLY INSTALLED WATER MAIN(S), WATER SERVICE LINES AND ALL ASSOCIATED METER SETTERS AND METER BOXES FOR OTHER UTILITY COMPANIES AND THEIR CONTRACTORS UNTIL THE NEW WATER MAIN(S) HAVE BEEN APPROVED BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF ENVIRONMENTAL HEALTH, PUBLIC WATER SUPPLY SECTION (NCDEQ, DEH, PWS) AND ACCEPTED BY HRW.

PRIOR TO ACCEPTANCE, ALL SERVICES WILL BE INSPECTED TO INSURE THAT THEY ARE INSTALLED AT THE PROPER DEPTH. ALL METER BOXES MUST BE FLUSH WITH THE GROUND LEVEL AT FINISH GRADE AND THE METER SETTERS MUST BE A MINIMUM OF 8" BELOW THE METER BOX LID. METER SETTERS SHALL BE CENTERED IN THE

THE UTILITY CONTRACTOR SHALL PROVIDE THE PROFESSIONAL ENGINEER (PE) AND HRW UTILITY CONSTRUCTION INSPECTOR WITH A SET OF RED LINE DRAWINGS IDENTIFYING THE COMPLETE WATER SYSTEM INSTALLED FOR EACH PROJECT. THE RED LINE DRAWINGS SHOULD IDENTIFY THE MATERIALS. PIPE SIZES AND APPROXIMATE DEPTHS OF THE WATER LINES AS WELL AS THE GATE VALVES. FIRE HYDRANTS, METER SETTERS, BLOW OFF ASSEMBLIES AND ALL ASSOCIATED APPURTENANCES FOR ALL WATER LINE(S) CONSTRUCTED IN HARNETT COUNTY. THE RED LINE DRAWINGS SHOULD CLEARLY IDENTIFY ANY DEVIATIONS FROM THE NCDEQ APPROVED PLANS. ALL CHANGE ORDERS MUST BE APPROVED BY HRW AND THE PROFESSIONAL ENGINEER (PE) IN WRITING AND PROPERLY DOCUMENTED II

POTABLE WATER MAINS CROSSING OTHER UTILITIES AND NON-POTABLE WATER LINES (SANITARY SEWER, STORM SEWER, RCP, ETC.) SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWENTY-FOUR (24") INCHES BETWEEN THE POTABLE WATER MAIN AND ALL OTHER UTILITIES. NCDOT REQUIRES THE NEW WATER MAINS TO BE INSTALLED UNDER THE STORM WATER LINES. THE POTABLE WATER MAIN SHALL BE INSTALLED WITH TWENTY-FOUR (24") INCHES OF VERTICAL SEPARATION AND WITH DUCTILE IRON PIPE WHEN DESIGNED TO BE PLACED UNDER A NON-POTABLE WATER LINE SUCH AS SANITARY SEWER OR STORM SEWER LINE IF THESE SEPARATIONS CANNOT BE MAINTAINED THEN THE WATER MAIN SHALL BE INSTALLED WITH DUCTILE IRON PIPE. BOTH THE POTABLE WATER MAIN AND THE NON-POTABLE WATER LINE MUST BE CAST IRON OR DUCTILE IRON PIPE (DIP) IF THE STATE MINIMUM SEPARATIONS CANNOT BE MAINTAINED. THE DUCTILE IRON PIPE MUST BE LAID SO THE MECHANICAL JOINTS ARE AT LEAST (10') FEET FROM THE POINT WHERE THE POTABLE WATER MAIN CROSSES THE NON-POTABLE WATER LINI

HORIZONTAL DISTANCE OF TEN (10') FEET BETWEEN THE POTABLE WATER MAIN AND SANITARY SEWER MAINS, SEWER LATERALS AND SERVICES. THE HORIZONTAL EPARATION BETWEEN THE POTABLE WATER MAIN AND ANY OTHER UTILITY OR STORM SEWER SHALL NOT BE LESS THAN FIVE (5') FEET. THE POTABLE WATER MAIN MUST BE DUCTILE IRON PIPE IF THIS HORIZONTAL SEPARATION OF TEN (10') FEET CANNOT BE MAINTAINED. THE DUCTILE IRON PIPE SHALL EXTEND AT LEAST TEN (10' FEET BEYOND THE POINT WHERE THE MINIMUM REQUIRED HORIZONTAL SEPARATION OF TEN (10") FEET CAN BE RE-ESTABLISHED.

METER SETTERS SHALL BE INSTALLED IN PAIRS ON EVERY OTHER LOT LINE WHERE POSSIBLE TO LEAVE ADEQUATE SPACE FOR OTHER UTILITIES TO BE INSTALLED AT A LATER TIME. THE METER SETTERS SHALL BE INSTALLED AT LEAST ONE (1') FOOT INSIDE THE RIGHT-OF-WAY AND AT LEAST THREE (3') TO FIVE (5') FEET FROM THE

HRW REQUIRES THAT METER BOXES FOR 3/" SERVICES SHALL BE 12" WIDE X 17" LONG ABS PLASTIC BOXES AT LEAST 18" IN HEIGHT WITH CAST IRON LIDS/COVERS. METER BOXES FOR 1" SERVICES SHALL BE 17" WIDE X 21" LONG ABS PLASTIC BOXES AT LEAST 18" IN HEIGHT WITH PLASTIC LIDS AND CAST IRON FLIP COVERS IN THE ENTER OF THE LIDS. METER BOXES FOR 2" SERVICES SHALL BE 20" WIDE X 32" LONG ABS PLASTIC BOXES AT LEAST 20" IN HEIGHT WITH PLASTIC LIDS AND CAST IRON

MASTER METERS MUST BE INSTALLED IN CONCRETE VAULTS SIZED FOR THE METER ASSEMBLY AND ASSOCIATED APPURTENANCES SO AS TO PROVIDE AT LEAST EIGHTEEN (18") INCHES OF CLEARANCE BETWEEN THE BOTTOM OF THE CONCRETE VAULT AND THE BOTTOM OF THE METER SETTER. THE MASTER METER MUST BE PROVIDED TEST PORTS IF THE METER IS NOT EQUIPPED WITH TEST PORTS FROM THE MANUFACTURER IN ACCORDANCE WITH THE HRW ESTABLISHED STANDARD SPECIFICATIONS AND DETAILS. DUCTILE IRON PIPE MUST BE USED FOR THE MASTER METER VAULT PIPING AND VALVE VAULT PIPING. THE UTILITY CONTRACTOR MUS ROVIDE SHOP DRAWINGS FOR THE METER VAULTS TO HRW PRIOR TO ORDERING THE CONCRETE VAULTS.

THE UTILITY CONTRACTOR WILL INSTALL POLYETHYLENE SDR-9 WATER SERVICE LINES THAT CROSS UNDER THE PAVEMENT INSIDE A SCHEDULE 40 PVC CONDUIT TO ALLOW FOR REMOVAL AND REPLACEMENT IN THE FUTURE. TWO (2) INDEPENDENT 3/4" WATER SERVICE LINES MAY BE INSTALLED INSIDE ONE (1) - TWO (2") INCH SCHEDULE 40 PVC CONDUIT OR TWO (2) INDEPENDENT 1" WATER SERVICE LINES MAY BE INSTALLED INSIDE ONE (1) - THREE (3") INCH SCHEDULE 40 PVC CONDUIT, BUT ACH WATER SERVICE SHALL BE TAPPED DIRECTLY TO THE WATER MAIN. SPLIT SERVICES ARE NOT ALLOWED BY HRW. IF SIDEWALKS ARE PROPOSED, THE CONDUIT

THE WATER MAIN(S), FIRE HYDRANTS, GATE VALVES, SERVICE LINES, METER SETTERS AND ASSOCIATED APPURTENANCES MUST BE RATED FOR 200 PSI AND HYDROSTATICALLY PRESSURE TESTED TO 200 PSI. THE HYDROSTATIC PRESSURE TEST(S) MUST BE WITNESSED BY THE HRW UTILITY CONSTRUCTION INSPECTOR. THE UTILITY CONTRACTOR MUST NOTIFY HRW WHEN THEY ARE READY TO BEGIN FILLING IN LINES AND COORDINATE WITH HARNETT REGIONAL WATER TO WITNESS ALL

THE UTILITY CONTRACTOR SHALL CONDUCT A PNEUMATIC PRESSURE TEST USING COMPRESSED AIR OR OTHER INERT GAS ON THE STAINLESS STEEL TAPPING SLEEVE(S) PRIOR TO MAKING THE TAP ON THE EXISTING WATER MAIN. THIS PNEUMATIC PRESSURE TEST MUST BE WITNESSED BY THE HRW UTILITY CONSTRUCTION INSPECTOR. THE UTILITY CONTRACTOR SHALL USE ROMAC BRAND STAINLESS STEEL TAPPING SLEEVE(S) OR APPROVED EQUAL FOR ALL TAPS MADE IN HARNETT COUNTY. ALL NEW WATER LINE EXTENSIONS MUST BEGIN WITH A RESILIENT WEDGE TYPE GATE VALVE SIZED EQUAL TO THE DIAMETER OF THE NEW WATER LINE EXTENSION IN ORDER TO PROVIDE A MEANS OF ISOLATION BETWEEN HARNETT REGIONAL WATER'S EXISTING WATER MAINS AND THE NEW WATER LINE EXTENSIONS

ALL WATER MAINS WILL BE CONSTRUCTED WITH SDR-21 PVC PIPE OR CLASS 50 DUCTILE IRON PIPE RATED FOR AT LEAST 200 PSI OR GREATER. ALL PIPES MUST BE PROTECTED DURING LOADING, TRANSPORT, UNLOADING, STAGING, AND INSTALLATION. PVC PIPE MUST BE PROTECTED FROM EXTENDED EXPOSURE TO SUNLIGHT

ALL WATER MAINS WILL BE FLUSHED AND DISINFECTED IN STRICT ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE HARNETT REGIONAL WATER. ALL WATER SAMPLES COLLECTED FOR BACTERIA TESTING WILL BE COLLECTED BY THE HRW UTILITY CONSTRUCTION INSPECTOR AND TESTED IN THE HRW LABORATORY.

ALL FITTINGS LARGER THAN TWO (2") INCHES DIAMETER SHALL BE DUCTILE IRON. HRW REQUIRES THAT MECHANICAL JOINTS BE ASSEMBLED WITH GRIP RINGS AS "MEGALUG" FITTINGS ARE NOT APPROVED BY HARNETT REGIONAL WATER FOR PIPE SIZES SMALLER THAN TWELVE INCHES (12") DIAMETER. PVC PIPE USED FOR WATER MAINS SHALL BE CONNECTED BY SLIP JOINT OR MECHANICAL JOINT WITH GRIP RINGS. GLUED PIPE JOINTS ARE NOT ALLOWED ON PVC PIPE USED FOR WATER MAINS IN

HRW REQUIRES THAT THE UTILITY CONTRACTOR INSTALL TRACER WIRE IN THE TRENCH WITH ALL WATER LINES. THE TRACER WIRE SHALL BE 12 GA. INSULATED, SOLID COPPER CONDUCTOR AND IT SHALL BE TERMINATED AT THE TOP OF THE VALVE BOXES OR MANHOLES. NO SPLICED WIRE CONNECTIONS SHALL BE MADE UNDERGROUND ON TRACER WIRE INSTALLED IN HARNETT COUNTY. THE TRACER WIRE MAY BE SECURED WITH DUCT TAPE TO THE TOP OF THE PIPE BEFORE

THE UTILITY CONTRACTOR WILL PROVIDE PROFESSIONAL ENGINEER (PE) AND THE HRW UTILITY CONSTRUCTION INSPECTOR WITH A SET OF RED LINE FIELD DRAWINGS TO IDENTIFY THE INSTALLED LOCATIONS OF THE WATER LINE(S) AND ALL ASSOCIATED SERVICES. ALL CHANGE ORDERS MUST BE PRE-APPROVED BY HRW AND THE ROFESSIONAL ENGINEER (PE) IN WRITING AND PROPERLY DOCUMENTED IN THE RED LINE FIELD DRAWINGS

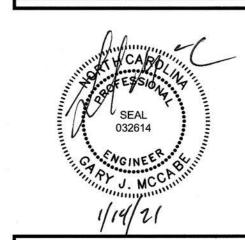
W. THE UTILITY CONTRACTOR SHALL SPOT DIG TO EXPOSE EACH UTILITY PIPE OR LINE WHICH MAY CONFLICT WITH CONSTRUCTION OF PROPOSED WATER LINE EXTENSIONS WELL IN ADVANCE TO VERIFY LOCATIONS OF THE EXISTING UTILITIES. THE UTILITY CONTRACTOR SHALL PROVIDE BOTH HORIZONTAL AND VERTICAL LEARANCES TO THE PROFESSIONAL ENGINEER (PE) TO ALLOW THE PE TO ADJUST THE WATER LINE DESIGN IN ORDER TO AVOID CONFLICTS WITH EXISTING NDERGROUND UTILITIES. THE UTILITY CONTRACTOR SHALL COORDINATE WITH THE UTILITY OWNER AND BE RESPONSIBLE FOR TEMPORARY RELOCATION AND/OR SECURING EXISTING UTILITY POLES, PIPES, WIRES, CABLES, SIGNS AND/OR UTILITIES INCLUDING SERVICES IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS DURING WATER LINE INSTALLATION. GRADING AND STREET CONSTRUCTION.

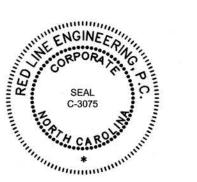
PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN ESTABLISHED UTILITY EASEMENTS OR NCDOT RIGHT-OF-WAYS THE UTILITY CONTRACTOR IS REQUIRED TO HAVE A SIGNED NCDOT ENCROACHMENT AGREEMENT POSTED ON SITE AND NOTIFY ALL CONCERNED UTILITY COMPANIES IN ACCORDANCE WITH G.S. 87-102. THE UTILITY CONTRACTOR MUST CALL THE NC ONE CALL CENTER AT 811 OR (800) 632-4949 TO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION. EXISTING UTILITIES SHOWN IN THESE PLANS ARE TAKEN FROM MAPS FURNISHED BY VARIOUS UTILITY COMPANIES AND HAVE NOT BEEN PHYSICALLY LOCATED OR VERIFIED BY THE P.E. (I.E. TELEPHONE, CABLE, WATER, SEWER, ELECTRICAL POWER, FIBER OPTIC, NATURAL GAS, ETC.). THE UTILITY CONTRACTOR WILL BE RESPONSIBLE TO REPAIR ANY AND ALL DAMAGES TO THE SATISFACTION OF THE RELATED UTILITY COMPANY.

THE UTILITY CONTRACTOR SHALL PROVIDE HRW WITH AT LEAST ONE (1) FIRE HYDRANT WRENCH AND ONE (1) BREAK-AWAY FLANGE KIT FOR EVERY SUBDIVISION WITH FIRE HYDRANTS DEVELOPED IN HARNETT COUNTY. THESE ITEMS MUST BE PROVIDED TO HRW BEFORE THE FINAL INSPECTION WILL BE SCHEDULED BY THE HRW UTILITY CONSTRUCTION INSPECTOR. IN ADDITION, THE UTILITY CONTRACTOR SHALL INSTALL A 4" X 4" CONCRETE VALVE MARKER AT THE EDGE OF THE RIGHT-OF-WAY TO IDENTIFY THE LOCATION OF EACH GATE VALVE INSTALLED IN THE NEW WATER SYSTEM WITH THE EXCEPTION OF THE FIRE HYDRANT ISOLATION VALVES. THE CONTRACTOR SHALL MEASURE THE DISTANCE FROM THE CENTER OF THE CONCRETE MARKER TO THE CENTER OF THE VALVE BOX. THIS DISTANCE (IN LINEAR FEET) HALL BE STAMPED ON THE BRASS PLATE LOCATED ON THE TOP OF THE CONCRETE VALVE MARKER. IN LIEU OF INSTALLING THE CONCRETE VALVE MARKERS, THE UTILITY CONTRACTOR MAY PROVIDE AT LEAST TWO MEASUREMENTS FROM TWO INDEPENDENT PERMANENT ABOVE GROUND STRUCTURES TO THE PROFESSIONAL ENGINEER (PE) IN THE RED LINE DRAWINGS TO IDENTIFY THE VALVE LOCATIONS. THE PROFESSIONAL ENGINEER (PE) MUST INCLUDE THESE MEASUREMENTS IN THE

THE UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL REPAIRS DUE TO LEAKAGE DAMAGE FROM POOR WORKMANSHIP DURING THE ONE (1) YEAR WARRANTY PERIOD ONCE THE WATER SYSTEM IMPROVEMENTS HAVE BEEN ACCEPTED BY HARNETT REGIONAL WATER. HARNETT REGIONAL WATER WILL PROVIDE MAINTENANCE AND REPAIRS WHEN REQUESTED AND BILL THE DEVELOPER AND/OR UTILITY CONTRACTOR IF NECESSARY DUE TO LACK OF RESPONSE WITHIN 48 HOUR: OF NOTIFICATION OF WARRANTY WORK. THE UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL REPAIRS DUE TO DAMAGES RESULTING FROM FAILURE TO LOCATE THE NEW WATER LINES AND ASSOCIATED APPURTENANCES FOR OTHER UTILITIES AND THEIR CONTRACTORS UNTIL THE WATER LINES HAVE BEEN APPROVE BY NCDEQ AND ACCEPTED BY HRW. THE FINAL INSPECTION OF WATER SYSTEM IMPROVEMENTS CANNOT BE SCHEDULED WITH HRW UNTIL THE STREETS HAVE BEEN PAVED; THE RIGHTS-OF-WAY AND UTILITY EASEMENTS HAVE BEEN SEEDED AND STABILIZED WITH AN ADEQUATE STAND OF GRASS IN PLACE TO PREVENT EROSION

AA. THE ENGINEER OF RECORD IS RESPONSIBLE TO INSURE THAT CONSTRUCTION IS, AT ALL TIMES, IN COMPLIANCE WITH ACCEPTED SANITARY ENGINEERING PRACTICES AND APPROVED PLANS AND SPECIFICATIONS. NO FIELD CHANGES TO THE APPROVED PLANS ARE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY HRW. A COPY OF EACH ENGINEER'S FIELD REPORT IS TO BE SUBMITTED TO HRW AS EACH SUCH INSPECTION IS MADE ON SYSTEM IMPROVEMENTS OR TESTING IS PERFORMED BY THE CONTRACTOR. WATER AND SEWER INFRASTRUCTURE MUST PASS ALL TESTS REQUIRED BY HRW SPECIFICATIONS AND THOSE OF ALL APPLICABLE REGULATOR'S AGENCIES. THESE TESTS INCLUDE, BUT ARE NOT LIMITED TO: AIR TEST, VACUUM TEST, MANDREL TEST, VISUAL TEST, PRESSURE TEST, BACTERIOLOGICAL TEST, ETC. HRW INSPECTOR MUST BE PRESENT DURING TESTING AND ALL TEST RESULTS SHALL BE SUBMITTED TO HRW. ALL TESTS MUST BE SATISFIED BEFORE THE FINAL INSPECTION WILL BE SCHEDULED WITH THE HRW INSPECTOR. THE ENGINEER OF RECORD MUST REQUEST IN WRITING TO SCHEDULE THE FINAL INSPECTION ONCE ALL CONSTRUCTION IS COMPLETE. THE DEVELOPER'S ENGINEER OF RECORD AND THE HRW UTILITY CONSTRUCTION INSPECTOR SHALL PREPARE A WRITTEN PUNCH LIST (ANY DEFECTS OR DEFICIENCIES NOTED DURING THE FINAL INSPECTION, SHOULD ANY EXIST. UPON COMPLETION OF THE PUNCH LIST, THE DEVELOPER'S ENGINEER OF RECORD WILL SCHEDULE ANOTHER INSPECTION. IN THE EVENT THE NUMBER OF INSPECTIONS PERFORMED BY THE HRW EXCEEDS TWO, ADDITIONAL FEES MAY BE





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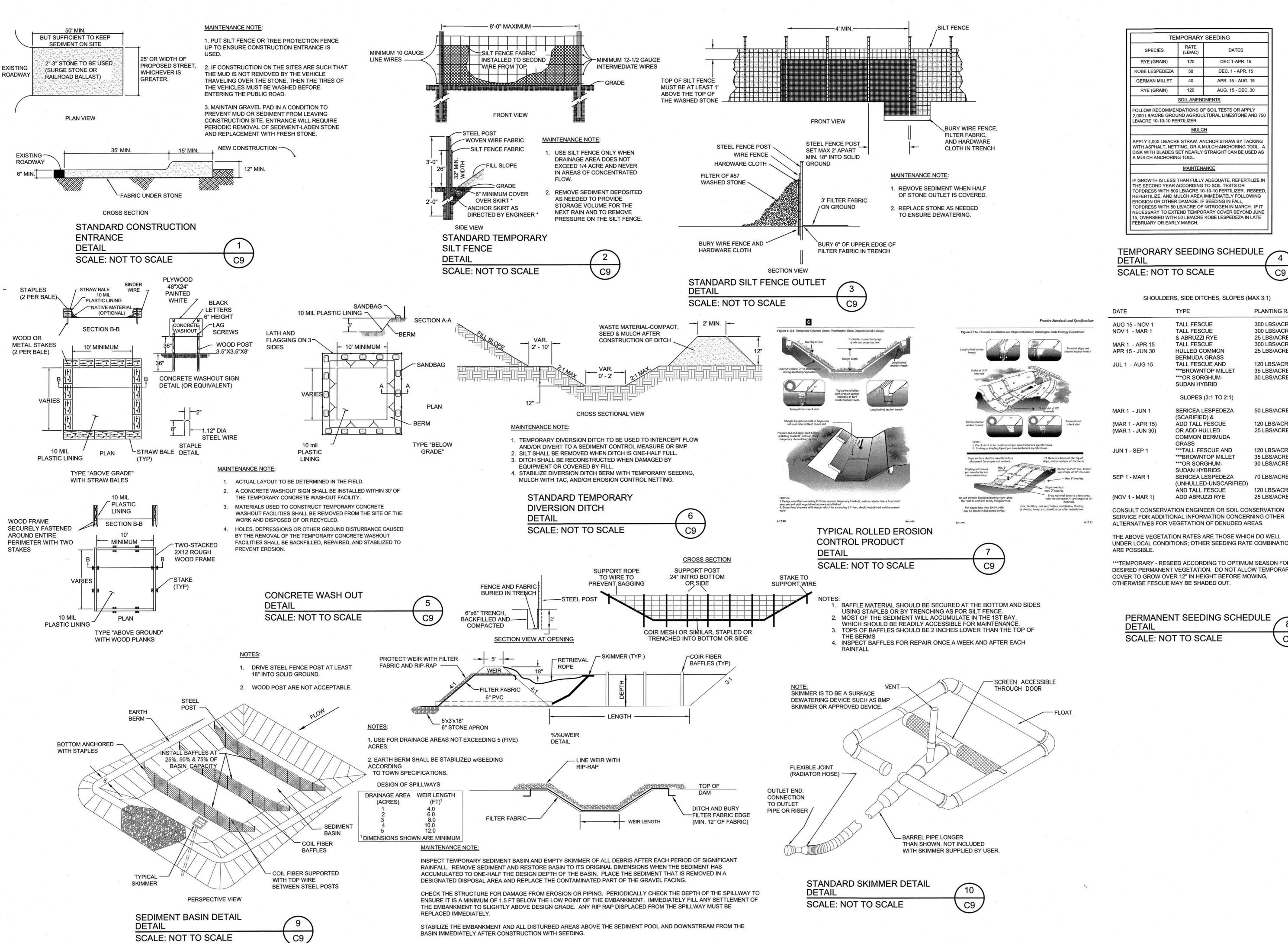


PER DRB 01/14/21 ISSUED FOR: REVIEW/APPROVA

PROJECT NO.: 20-019 20-019 DRAWN BY: GJM/TAL

SHEET NUMBER:

REVIEWED BY: GJM



TEMPORARY SEEDING DEC 1-APR. 15 RYE (GRAIN) KOBE LESPEDEZA DEC. 1 - APR. 15 **GERMAN MILLET** APR. 15 - AUG. 15 AUG. 15 - DEC. 30 RYE (GRAIN) 120 SOIL AMENDMENTS FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRIGULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL. MAINTENANCE IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERTILIZE IN THE SECOND YEAR ACCORDING TO SOIL TESTS OR TOPDRESS WITH 500 LB/ACRE 10-10-10 FERTILIZER. RESEED REFERTILIZE, AND MULCH AREA IMMEDIATELY FOLLOWING

TEMPORARY SEEDING SCHEDULE

SCALE: NOT TO SCALE

SHOULDERS, SIDE DITCHES, SLOPES (MAX 3:1)

C9

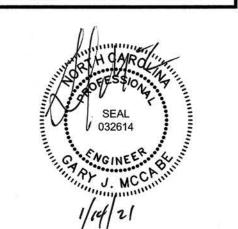
DATE	TYPE	PLANTING RATE
AUG 15 - NOV 1	TALL FESCUE	300 LBS/ACRE
NOV 1 - MAR 1	TALL FESCUE	300 LBS/ACRE
	& ABRUZZI RYE	25 LBS/ACRE
MAR 1 - APR 15	TALL FESCUE	300 LBS/ACRE
APR 15 - JUN 30	HULLED COMMON BERMUDA GRASS	25 LBS/ACRE
JUL 1 - AUG 15	TALL FESCUE AND	120 LBS/ACRE
	***BROWNTOP MILLET	35 LBS/ACRE
	***OR SORGHUM-	30 LBS/ACRE
321	SUDAN HYBRID	
	SLOPES (3:1 TO 2:1)	
MAR 1 - JUN 1	SERICEA LESPEDEZA	50 LBS/ACRE
	(SCARIFIED) &	
(MAR 1 - APR 15)	ADD TALL FESCUE	120 LBS/ACRE
(MAR 1 - JUN 30)	OR ADD HULLED	25 LBS/ACRE
	COMMON BERMUDA	
	GRASS	
JUN 1 - SEP 1	***TALL FESCUE AND	120 LBS/ACRE
	***BROWNTOP MILLET	35 LBS/ACRE
	***OR SORGHUM-	30 LBS/ACRE
	SUDAN HYBRIDS	
SEP 1 - MAR 1	SERICEA LESPEDEZA	70 LBS/ACRE
	(UNHULLED-UNSCARIFIED)	
	AND TALL FESCUE	120 LBS/ACRE
(NOV 1 - MAR 1)	ADD ABRUZZI RYE	25 LBS/ACRE

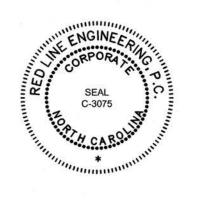
THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS

***TEMPORARY - RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING, OTHERWISE FESCUE MAY BE SHADED OUT.

PERMANENT SEEDING SCHEDULE DETAIL

SCALE: NOT TO SCALE





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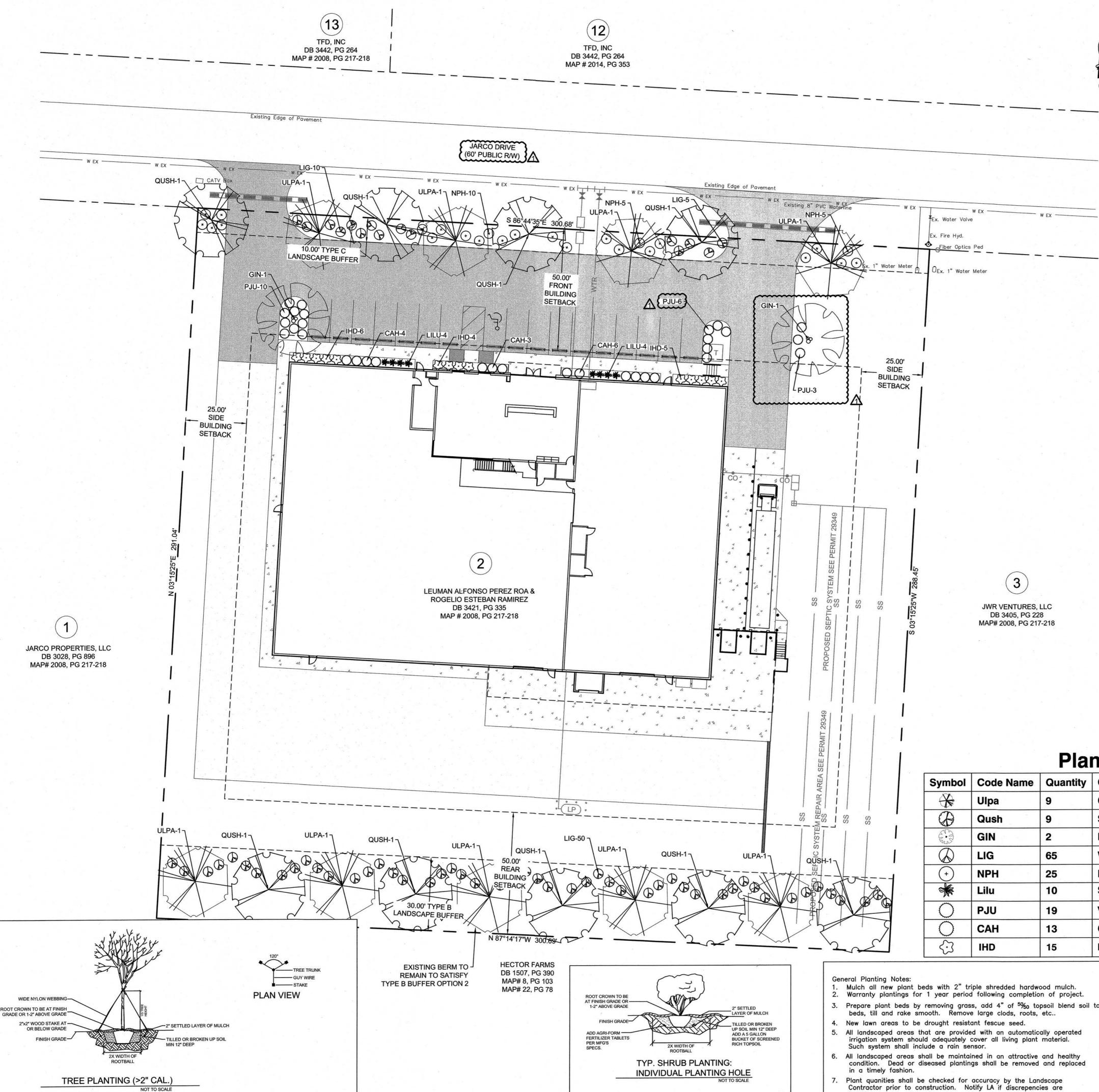


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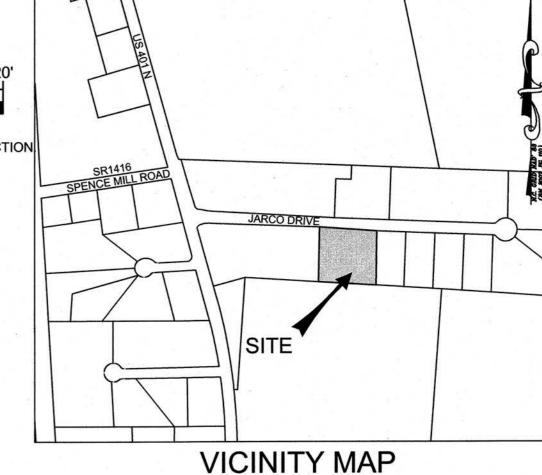
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PER DRB	01/14/21
2011	
SUED FOR:	DATE:
EVIEW/APPROVAL	12/15/20
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PROJECT NO.: 20-019 20-019 DRAWN BY: GJM/TAL REVIEWED BY: GJM

SHEET NUMBER:



SCALE OF MAP MAY VARY DUE TO METHODS OF REPRODUCTION



SCALE: 1"=500'

INDUSTRIAL

LANDSCAPE SUMMARY

SITE DATA PROPOSED USE: TOTAL LOT ACREAGE: ZONING DISTRICT:

MANUFACTURING GENERAL 2 Ac.

REQUIRED BUFFERS

TYPE B BUFFER, 30 FT. WIDTH ALONG REAR (NORTHERN) PROPERTY LINE: 300 Linear Feet

Rear (Southern) PL Type B 30' Buffer OPTION 2 10 canopy trees provided 1 canopy tree req./30 linear feet = 10 trees

50 evergreen shrubs provided Existing berm to be preserved to satisfy Option 2 of the Type B Buffer along Rear PL.

TYPE C BUFFER, 10 FT. WIDTH ALONG FRONT (Northern) PROPERTY LINE:

Front (Northern) PL Type C 10' Buffer

240 Linear Feet

5 evergreen shrubs/1 canopy tree = 40 shrubs

1 canopy tree req./30 linear feet = 8 trees

40 evergreen shrubs provided

8 canopy trees provided

LAWN PREPARATION AND SEEDING NOTES:

the ground shall be visible through

A. Before fertilizing and seeding, the topsoil surfaces shall be trimmed and worked to true line from unsightly variation, bumps, ridges and depressions and all detrimental material, roots and stones larger than 3—inches in any diameter shall be removed from the soil.

B. Not earlier than 24 hours before seed is to be sown, the soil surface to be seeded shall be thoroughly cultivated to a depth of not less than 4-inches with a weighted disc, tiller, pulvimixer or other equipment, until the surface is smooth and in an acceptabe condition.

C. If the prepared surface becomes eroded as a result of rain or for any other reason, or becomes crusted before the seed is sown, the surface shall again be

placed in a condition suitable for seeding. D. Ground preparation operations shall be performed only when the ground is in

tillable and workable condition.

E. All seeded areas shall be uniformly mulched in a continuous blanket immediately after seeding. The mulch shall be applied evenly so as to permit sunlight to penetrate and the air to circulate and at the same time shade the ground, reduce erosion and conserve soil moisture. Approximately 45 percent of

the mulch blanket. F. The Contractor shall be responsible for maintaining the proper moisture content of the soil to insure adequate plant growth until a satisfactory stand is obtained. If necessary, watering shall be performed to maintain adequate water

content in the soil. G. Seeding rate: Elite Fescue seed, 5 lbs/1000sf, 10 lbs. (5-10-15) plus 3% iron fertilizer/1000sf, 45 lbs. limestone/1000sf.

Planting Schodula

(3)

	Planting Schedule					
Symbol	Code Name	Quantity	Common Name	Scientific Name	Planting Size	
*	Ulpa	9	Chinese elm	Ulmus parvifolia	2"-Cal / 6 ft. min. ht.	
A	Qush	9	Shumard oak	Quercus shumardii	2"-Cal / 6 ft. min. ht.	
ST. ST.	GIN	2	Maidenhair Tree	Ginkgo biloba (Male)	2"-Cal / 6 ft. min. ht.	
\bigcirc	LIG	65	Wax Leaf Ligustrum	Ligustrum japonicum 'Wax Leaf'	24" min. ht.	
+	NPH	25	Needle point Holly	Ilex cornuta 'Needle Point'	24" min. ht.	
*	Lilu	10	Sunshine Ligustrum	Ligustrum sinense 'Sunshine'	3-Gal	
0	PJU	19	Variegated Parson Juniper	Juniperis d. 'Parsoni variegata'	3-Gal	
0	САН	13	Carissa Holly	Ilex cornuta 'Carissa'	3-Gal	
€3	IHD	15	Dwf Indian Hawthorne Snow White	Rhaphiolepis indica 'Snow White'	3-Gal	

LANDSCAPE NOTE: THE OWNER RESERVES THE RIGHT TO SUBSTITUTE LANDSCAPE MATERIALS BASED ON PREFERENCE AND AVAILABILITY DURING CONSTRUCTION. PLANTINGS IN EXCESS OF UDO REQUIREMENTS MAY BE ELIMINATED OR SUBSTITUTED AT THE OWNER'S DISCRETION.

BUFFER NOTE: BUFFER SHALL INCLUDE: 1. A STAGGERED ROW OF LARGE MATURING TREES, SPACED NOT MORE THAN 30' APART; AND TYPE C BUFFER: 5 LOW GROWING SHRUBS FOR EVERY REQUIRED LARGE MATURING TREE.

WATER SUPPLY WATERSHED SPECIAL INTENSITY ALLOCATION PERMIT (SNIA2006-0001) APPROVED AUGUST 10, 2018, FOR 60% MAX. IMPERVIOUS AREA.

MAINTENANCE NOTE: PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PARKING, GRAVEL AREAS, AND LANDSCAPE AREAS OUTSIDE OF THE PUBLIC RIGHT OF WAY.

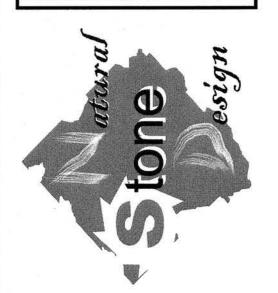




PRELIMINARY DRAWING **NOT RELEASED** FOR CONSTRUCTION

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REVISIONS: 1 PER DRB 01/14/21 REVIEW/APPROVA 12/15/20

PROJECT NO.: 20-019 DRAWN BY: GJM/TAL REVIEWED BY: GJM

SHEET NUMBER: