

# NATURAL STONE DESIGN PROPOSED SITE PLAN



148 JARCO DRIVE (P.I.N. 0654-67-4752.000)  
FUQUAY-VARINA, NORTH CAROLINA 27526

## OWNER/DEVELOPER

NATURAL STONE DESIGN  
C/O LEUMAN ALFONSO PEREZ ROA &  
ROGELIO ESTABAN RAMIREZ  
776 AVERASBORO DRIVE  
CLAYTON, NORTH CAROLINA 27520

## CIVIL ENGINEER



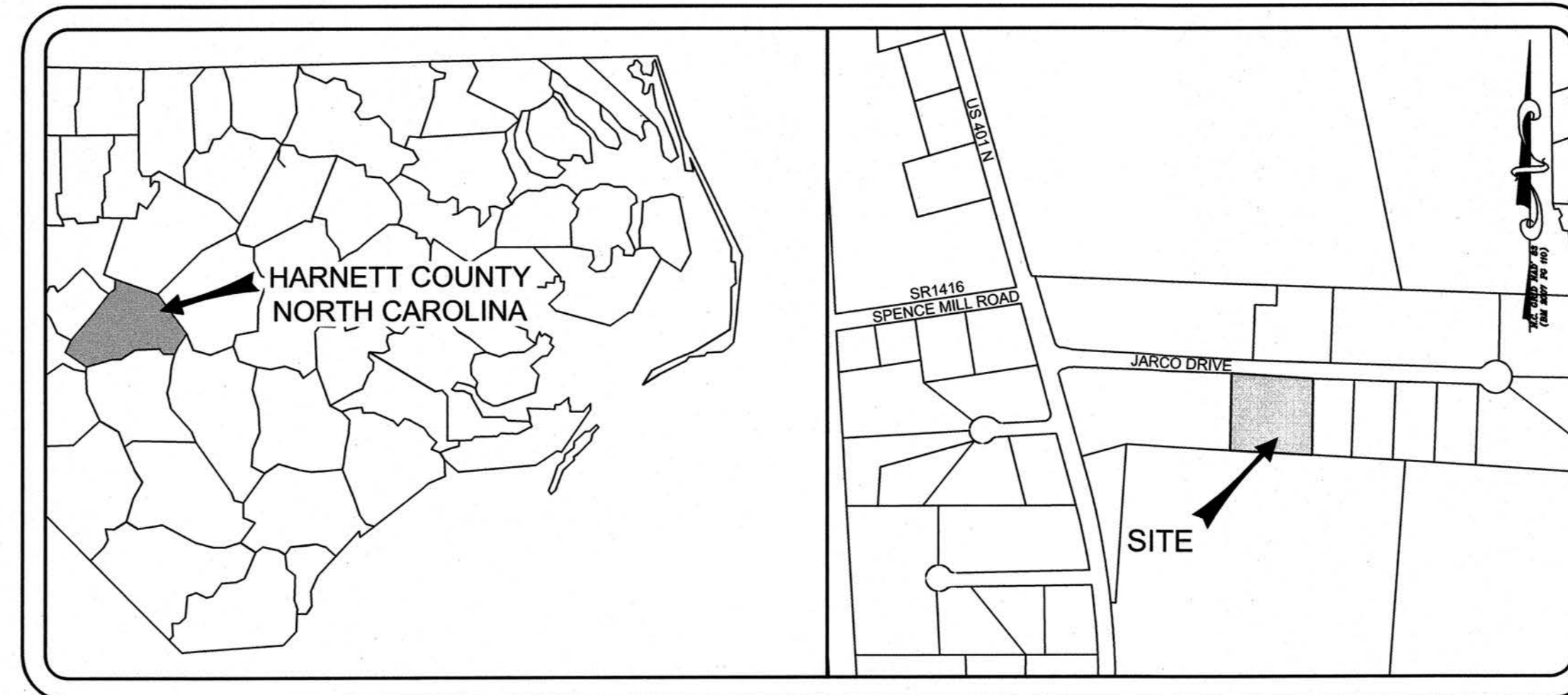
RED LINE ENGINEERING, P.C. (C-3075)  
123 RALEIGH STREET  
FUQUAY-VARINA, NORTH CAROLINA 27526  
PHONE - (919) 779-6851

## SURVEYOR

STANCIL & ASSOCIATES PROFESSIONAL LAND SURVEYOR, P.A. (C-0831)  
98 DEPOT STREET, P.O. BOX 730  
ANGIER, NORTH CAROLINA 27501  
PHONE: (919) 639-2133  
FAX: (919) 639-2602

## SHEET INDEX

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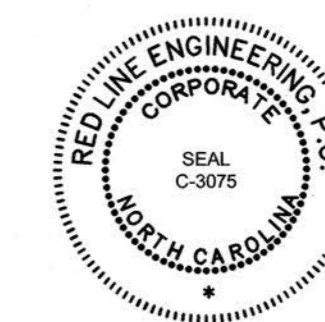
VICINITY MAP  
SCALE: 1"=500'

EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE/EASEMENT	---
□	SEDIMENT FENCE/ TREE PROTECTION FENCE	SF
---	PROPERTY EASEMENT/SETBACK	---
SS	SANITARY SEWER	SS
⊙	SANITARY SEWER MANHOLE	⊙
CO	CLEAN OUT	SSCO
W	WATER LINE	W
---	CENTERLINE OF ROAD	---
✕LP	LIGHT POLES	
●EIP	PROPERTY CORNER	●NIP
---	RIGHT OF WAY	---
---	STORM PIPE/CULVERT	---
---	DROP INLET	---
98 95	CONTOURS	98 95
⊕	FIRE HYDRANT	⊕
⊕	WATER VALVE	⊕
---	RIP RAP APRON	---
---	TEMP. CONSTRUCTION ENTRANCE	---

### HARNETT COUNTY SITE PLAN NOTES:

- ALL SIGNS SHALL BE LOCATED AT LEAST 10 FT FROM PUBLIC RIGHT OF WAY AND REQUIRE A SEPARATE PERMIT AND REVIEW. ANY SIGNAGE SHOWN ON THESE PLANS IS FOR REFERENCE ONLY.
- SITE AND BUILDING MOUNTED LIGHTING SHALL BE LOCATED IN SUCH A MANNER AS TO PREVENT DIRECT GLARE AND LIGHTING ONTO ADJACENT PROPERTY OR INTO PUBLIC RIGHTS OF WAY. ALL FLOOD LIGHTS SHALL BE INSTALLED SUCH THAT THE FIXTURE SHALL BE AIMED DOWNWARD AT LEAST 45 DEGREES FROM VERTICAL.
- ALL MECHANICAL UNITS LOCATED ON, BESIDE OR ADJACENT TO ANY BUILDING OR DEVELOPMENTS SHALL BE SCREENED FROM VIEWS FROM PUBLIC STREETS AND ADJACENT PROPERTIES IN ACCORDANCE WITH THE HARNETT COUNTY UDO.
- THIS DEVELOPMENT IS LOCATED WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT.
- WATER SUPPLY WATERSHED SPECIAL INTENSITY ALLOCATION PERMIT (SNA2008-0001) APPROVED AUGUST 10, 2018, FOR 60% MAX. IMPERVIOUS AREA.
- AN APPROVED SEDIMENTATION AND EROSION CONTROL PERMIT SHALL BE OBTAINED FROM NCDEQ-DEMUR PRIOR TO COMMENCING CONSTRUCTION. A COPY OF THIS PERMIT TO SHALL BE PROVIDED TO HARNETT COUNTY PRIOR TO CONSTRUCTION.
- PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PARKING, GRAVEL AREAS, AND LANDSCAPE AREAS OUTSIDE OF THE PUBLIC RIGHT OF WAY.

AS THE OWNER OF RECORD, I HEREBY FORMALLY  
CONSENT TO THE PROPOSED DEVELOPMENT SHOWN  
ON THIS SITE PLAN AND ALL APPLICABLE REGULATIONS AND  
REQUIREMENTS OF THE HARNETT COUNTY ORDINANCES.  
OWNER: *[Signature]* DATE: JAN 13/2021



1/13/21

PRELIMINARY DRAWING  
NOT RELEASED  
FOR CONSTRUCTION

NOTE: ALL WORK MUST COMPLY WITH APPLICABLE NORTH CAROLINA BUILDING CODES, HANDICAPPED ACCESSIBILITY CODE VOL. 1C, AND WITH THE HARNETT COUNTY, NCDEQ AND NCDOT STANDARDS, DETAILS AND SPECIFICATIONS.

REVISION  $\Delta$  : JANUARY 14, 2021

DATE: DECEMBER 15, 2020 PROJ. NO.: 20-019 SHEET C1

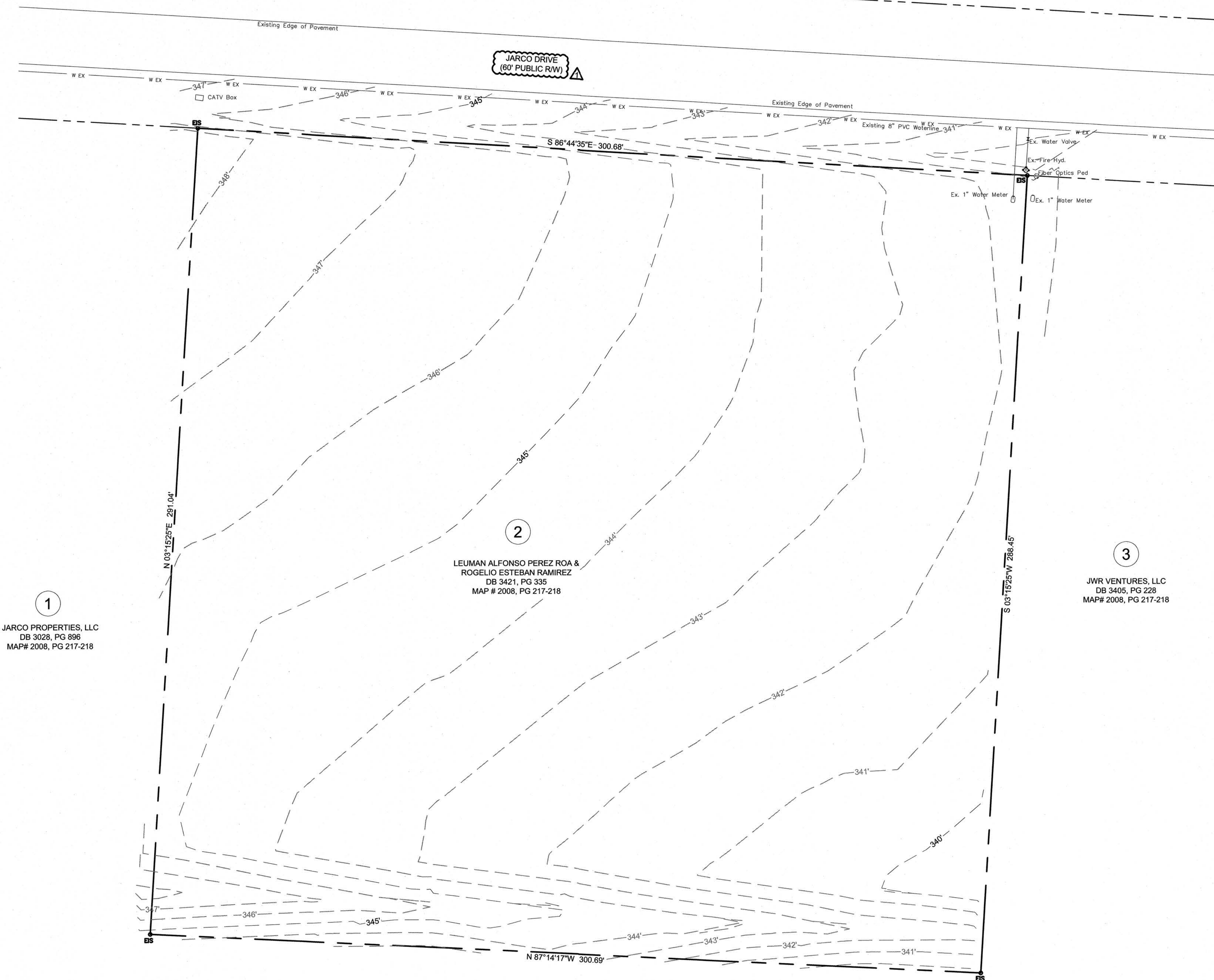


Know what's below.  
Call before you dig.

SCALE: 1" = 20'  
 20' 0 20'  
 SCALE OF MAP MAY VARY  
 DUE TO METHODS OF REPRODUCTION.

13  
 TFD, INC  
 DB 3442, PG 264  
 MAP # 2008, PG 217-218

12  
 TFD, INC  
 DB 3442, PG 264  
 MAP # 2014, PG 353

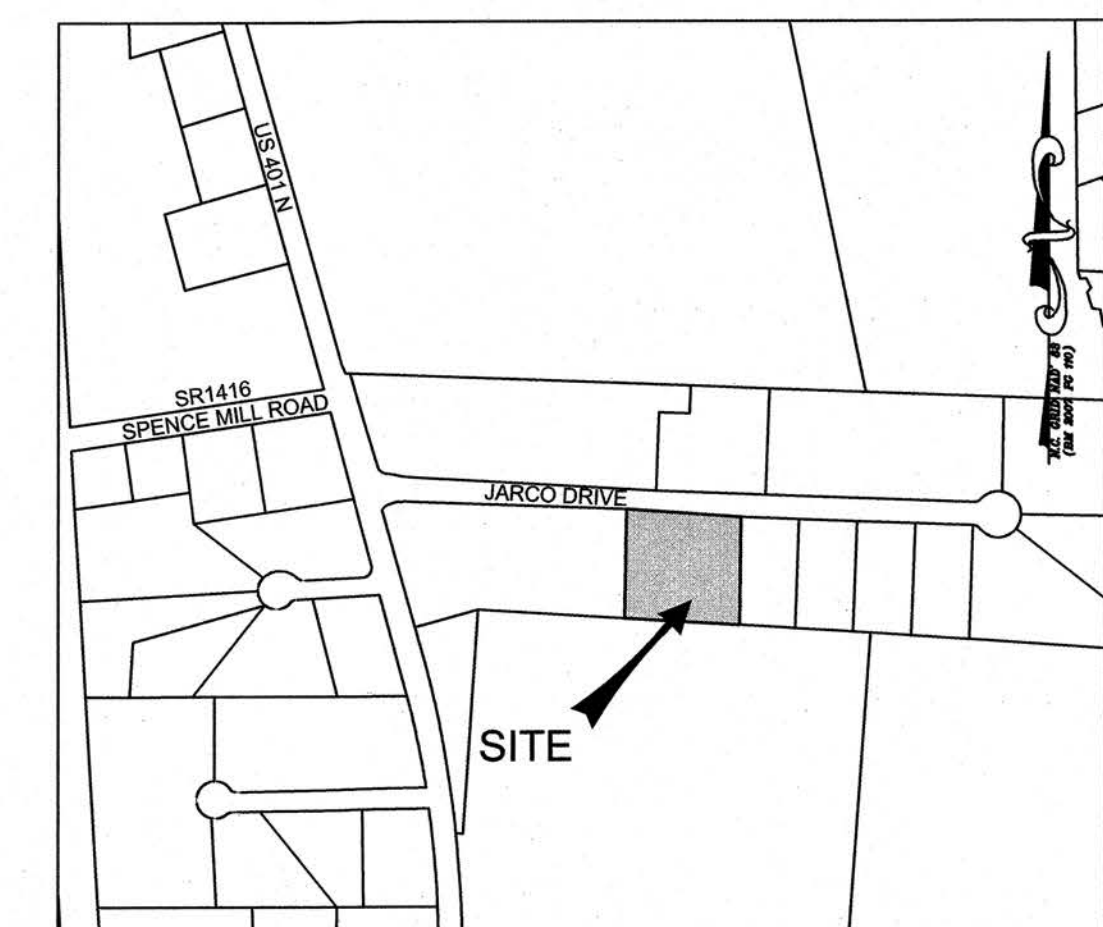


1  
 JARCO PROPERTIES, LLC  
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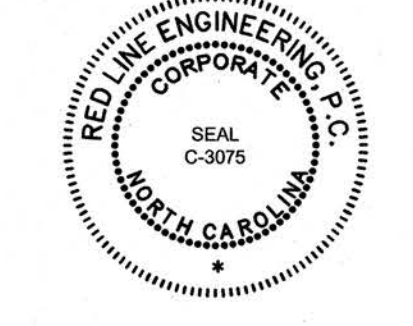
HECTOR FARMS  
 DB 1507, PG 390  
 MAP# 8, PG 103  
 MAP# 22, PG 78



VICINITY MAP  
 SCALE: 1"=500'

**GENERAL NOTES**

- (1) BOUNDARY & TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY STANCIL & ASSOCIATES PROFESSIONAL LAND SURVEYOR, P.A. (C-0831), PERFORMED BY THOMAS L. STANCIL, P.L.S. (L-1512), DATED JUNE 26, 2017. INFORMATION PROVIDED FOR ENGINEERING DESIGN PURPOSES ONLY. NOT FOR SALE OR RECORDATION.
- (2) CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, MATERIAL AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. ELEVATIONS INDICATED ON PLANS SHOWN AS APPROXIMATE, CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS PRIOR TO COMMENCING CONSTRUCTION.
- (3) CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH ALL CONSTRUCTION RELATED ACTIVITIES.
- (4) ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED, AND MULCHED IN ACCORDANCE W/ NCPDES STABILIZATION TABLE.
- (5) WATER & SEWER PIPES TO BE INSTALLED IN TRENCHES ACCORDING TO THE HARNETT COUNTY PUBLIC UTILITIES DEPARTMENT STANDARD SPECIFICATIONS AND DETAILS.
- (6) ACCORDING TO THE SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NORTH CAROLINA GENERAL STATUTE 113A 51-66) THIS PROJECT IS SUBJECT TO AN APPROVED SEDIMENTATION AND EROSION CONTROL PLAN. TOTAL DISTURBED AREA IS APPROXIMATELY 71,733 SF > 1 ACRE, THEREFORE A LAND DISTURBING IS REQUIRED.
- (7) ALL WORK MUST COMPLY WITH APPLICABLE NCDOT STANDARDS, NORTH CAROLINA BUILDING CODES, NCDEQ AND HARNETT COUNTY STANDARDS, DETAILS AND SPECIFICATIONS.
- (8) ANY CONFLICT(S) BETWEEN ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND CIVIL SHEETS SHALL BE SUBMITTED BY CONTRACTOR, IN WRITING, TO BOTH ARCHITECT AND ENGINEER. WRITTEN CLARIFICATION/RESOLUTION MUST BE RECEIVED BY CONTRACTOR FROM ARCHITECT AND ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- (9) LATERAL SEPARATION OF SEWERS OR WATER MAINS. WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET LATERALLY FROM EXISTING OR FUTURE SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A TEN (10) FOOT LATERAL SEPARATION - IN WHICH CASE:
  - (A) THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION ON THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER; OR
  - (B) THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER.
- (11) CROSSING A WATER MAIN OVER A SEWER. WHENEVER NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN EIGHTEEN (18) INCH SEPARATION - IN WHICH CASE, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE CROSSING.
- (12) CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE POINT(S) OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.



PRELIMINARY DRAWING  
 NOT RELEASED  
 FOR CONSTRUCTION

THIS ORIGINAL SHEET IS 34X36". OTHER DIMENSIONS INDICATE IT HAS BEEN ALTERED. ALL INFORMATION REPRESENTED ON THIS SHEET IS THE PROPERTY OF RED LINE ENGINEERING, P.C. UNDER PENALTY OF LAW, THIS INFORMATION SHALL NOT BE DUPLICATED IN PART OR WHOLE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM RED LINE ENGINEERING, P.C. 2020 ©



NATURAL STONE DESIGN  
 148 JARCO DRIVE  
 FUQUAY-VARINA, NORTH CAROLINA 27526

EXISTING CONDITIONS

REVISIONS:	DATE:
PER DRB	01/14/21

ISSUED FOR:	DATE:
REVIEW/APPROVAL	12/15/20

PROJECT NO.: 20-019  
 DRAWN BY: GJM/TAL  
 REVIEWED BY: GJM

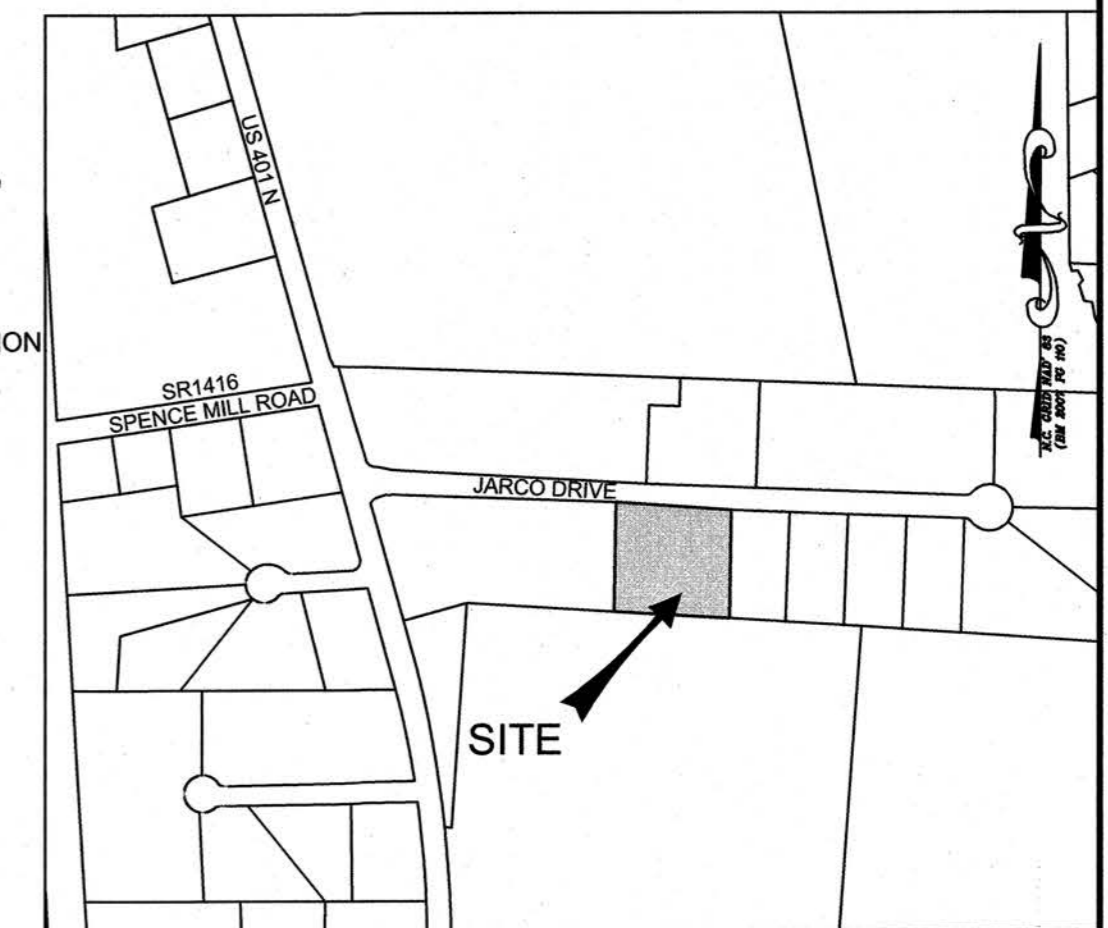
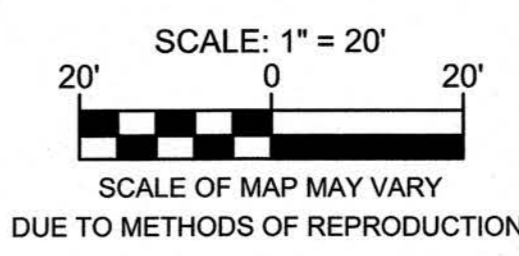
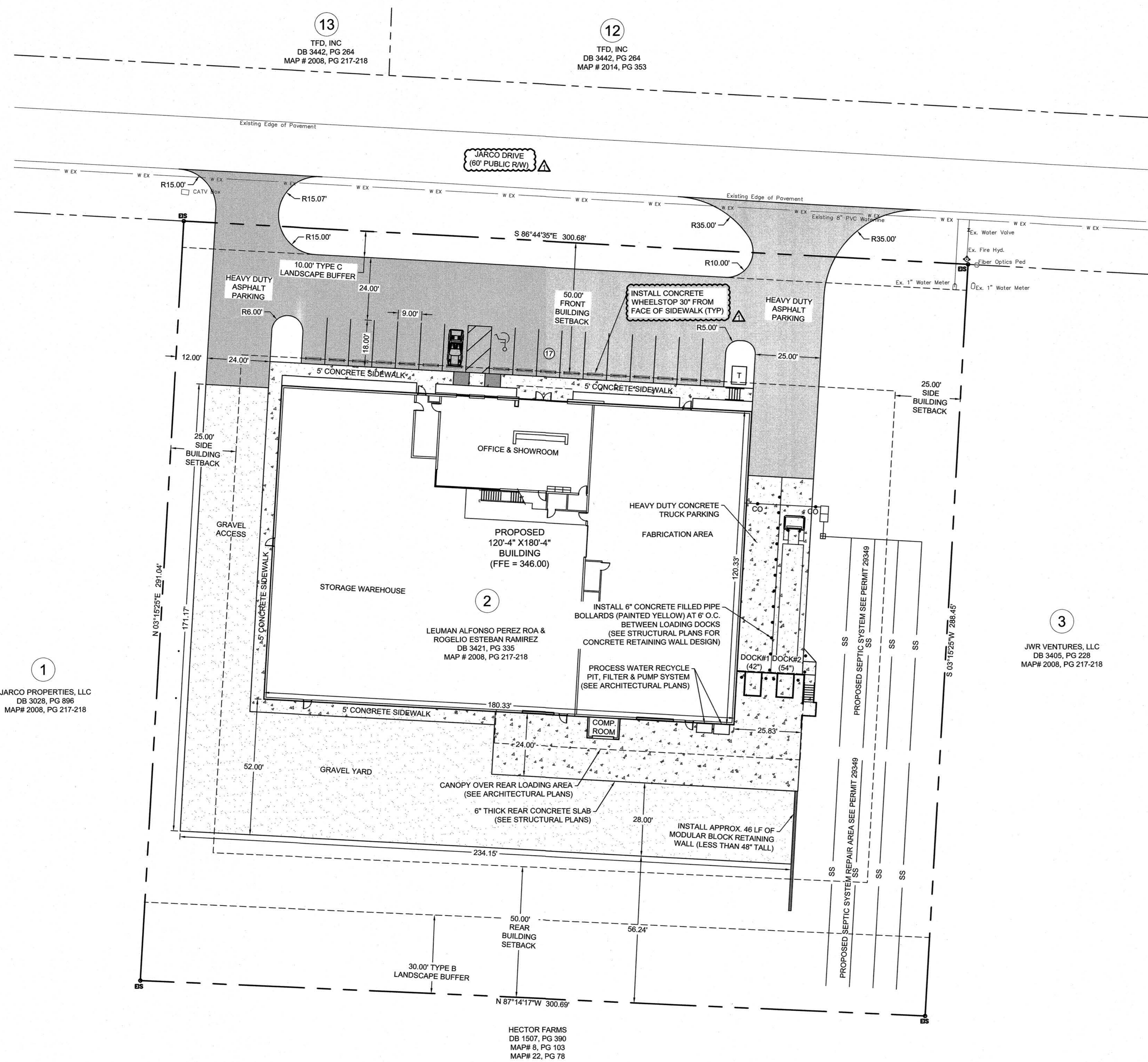
SHEET NUMBER:

C2

OF 10 SHEETS



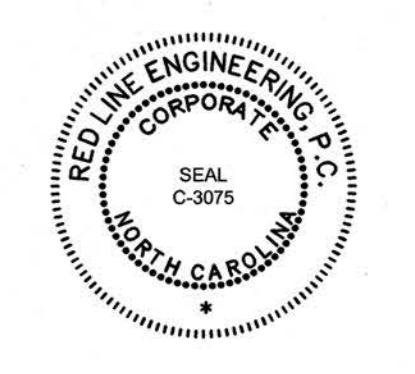
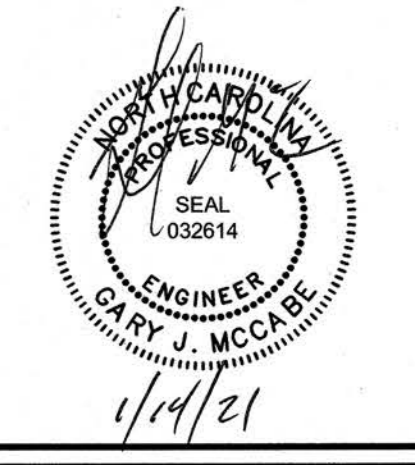
Know what's below.  
 Call before you dig.



VICINITY MAP  
SCALE: 1"=500'

SITE PLAN INFORMATION:

1. NAME: NATURAL STONE DESIGN
2. STREET ADDRESS: 148 JARCO DRIVE  
FUQUAY-VARINA, NORTH CAROLINA 27526
3. P.I.N.: 0654-67-4752.000
4. LAND USE (EXISTING/PROPOSED): VACANT / EMPLOYMENT MIXED USE
5. SPECIFIC USE: MANUFACTURING GENERAL
6. TOTAL NUMBER OF LOTS (EXISTING/PROPOSED): 1
7. TOTAL AREA: 87,120 SF / 2.00 ACRES
8. DISTURBED AREA: 2.00 ACRES
9. CURRENT/PROPOSED ZONING: INDUSTRIAL
10. PROPOSED BUILDING SQUARE FOOTAGE: 21,598 SF 1ST FLOOR (WAREHOUSE)  
2,094 SF 2ND FLOOR (OFFICE)  
23,692 SF TOTAL
11. PROPOSED BUILDING LOT COVERAGE: 25%
11. BUILDING SETBACKS: STREET YARD - 50 FT.  
SIDE YARD - 15 FT.  
REAR - 25 FT.
12. PARKING REQUIREMENTS: 1 PER 200 SF OF OFFICE X 2,094 SF = 10 SPACES  
1 PER EMPLOYEE X 10 EMP. = 5 SPACES  
TOTAL REQUIRED PARKING = 15 SPACES  
MAX. ALLOWED = 15 X 110% = 17 SPACES
- TOTAL PARKING PROVIDED: 17 SPACES (INCLUDES 1 ACCESSIBLE SPACE)
13. HOURS OF OPERATION: MONDAY - FRIDAY 9AM - 4:30 PM  
SATURDAY 9AM - 1PM
14. PROPOSED WATER DEMAND: 10 EMPLOYEES X 25 GPD = 250 GPD
15. INSIDE CITY LIMITS: NO / HARNETT COUNTY
16. INSIDE FLOOD HAZARD BOUNDARY: NO (PER FEMA MAP #3720065400J)  
EFFECTIVE DATE: OCTOBER, 6 2006
17. IMPERVIOUS SURFACE AREA: (MAX ALLOWED 60%)  
EXISTING: 0 SF / 0 ACRES (0%)  
PROPOSED: 52,185 SF / 1.20 ACRES (60%)  
60% MAX.
18. WATERSHED: CAPE FEAR (WS-IV)
19. OWNER: LEUMAN ALFONSO PEREZ ROA &  
ROGELIO ESTABAN RAMIREZ  
776 AVERASBORO DRIVE  
CLAYTON, NORTH CAROLINA 27520
20. DEVELOPER: NATURAL STONE DESIGN CORPORATION  
226 W. SMITHFIELD STREET  
ANGIER, NORTH CAROLINA 27501



PRELIMINARY DRAWING  
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NATURAL STONE DESIGN  
148 JARCO DRIVE  
FUQUAY-VARINA, NORTH CAROLINA 27526

PROPOSED SITE PLAN

REVISIONS:	DATE:
PER DRB	01/14/21

ISSUED FOR:	DATE:
REVIEW/APPROVAL	12/15/20

PROJECT NO.: 20-019  
DRAWN BY: GJM/TAL  
REVIEWED BY: GJM

SHEET NUMBER:

C3

OF 10 SHEETS



Know what's below.  
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1  
JARCO PROPERTIES, LLC  
DB 3028, PG 896  
MAP# 2008, PG 217-218

13  
TFD, INC  
DB 3442, PG 264  
MAP # 2008, PG 217-218

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TFD, INC  
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MAP # 2014, PG 353

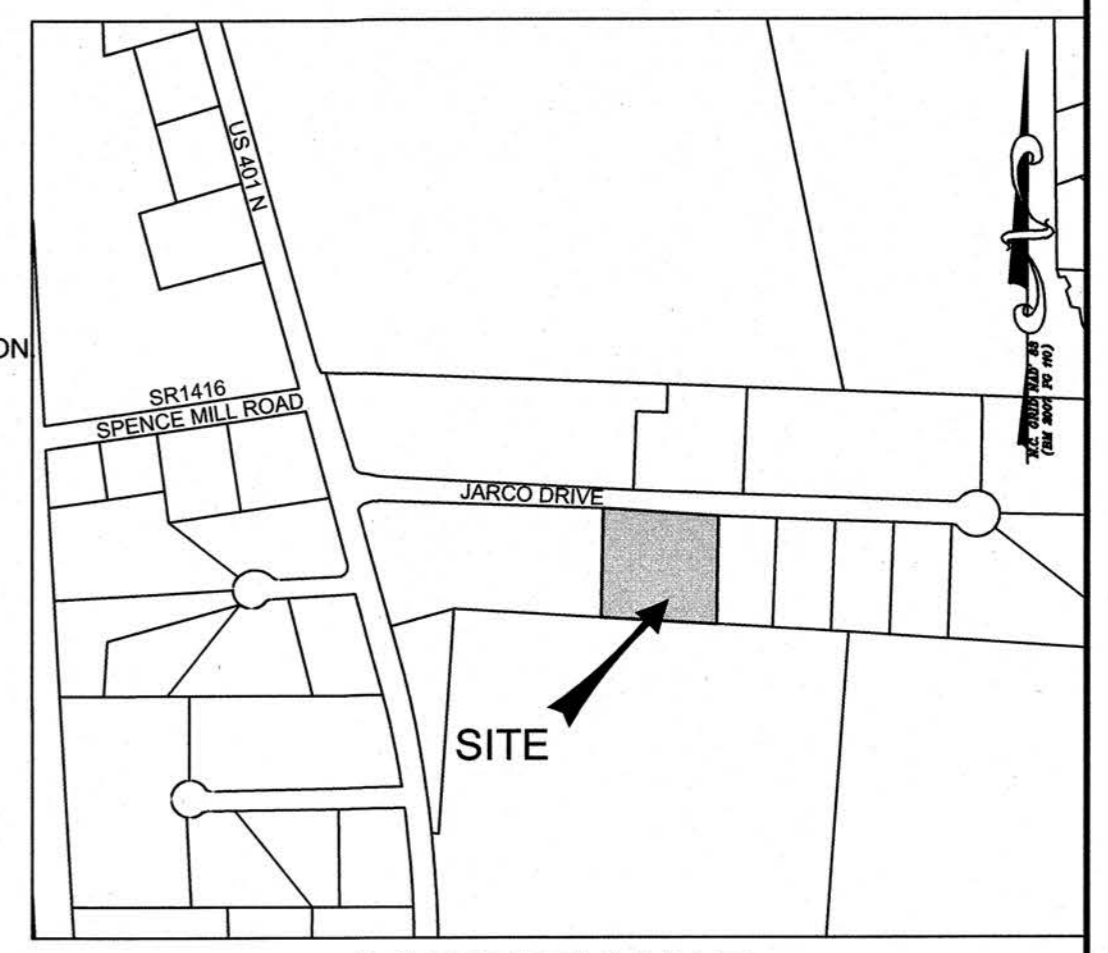
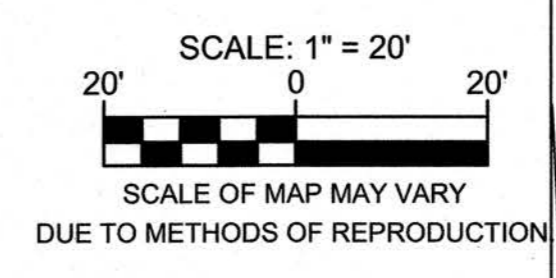
3  
JWR VENTURES, LLC  
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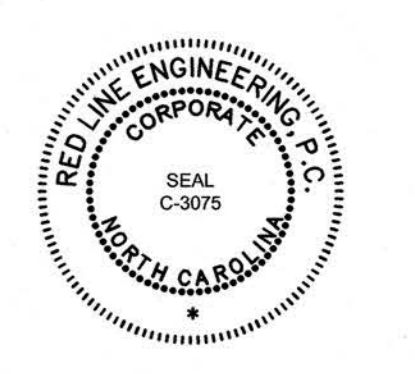
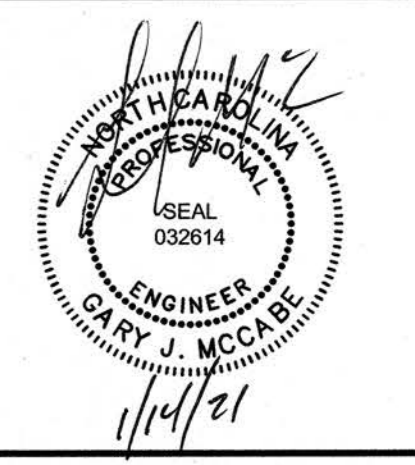
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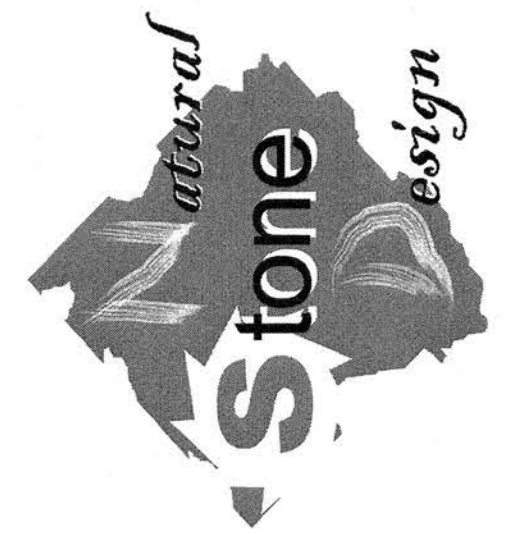


VICINITY MAP  
SCALE: 1"=500'



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NATURAL STONE DESIGN  
148 JARCO DRIVE  
FUGUAY-VARINA, NORTH CAROLINA 27526  
PROPOSED UTILITY PLAN

REVISIONS:	DATE:
PER DRB	01/14/21

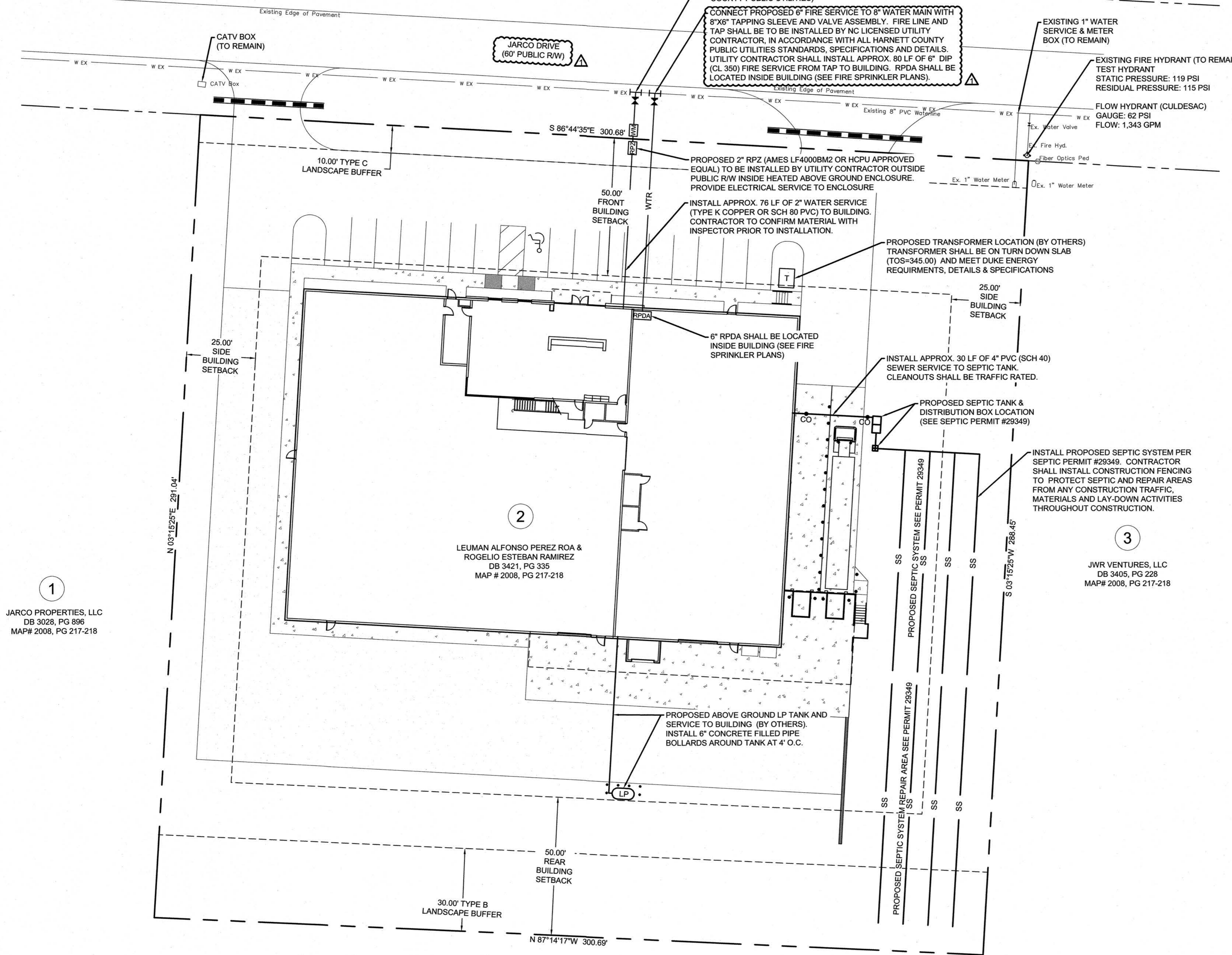
ISSUED FOR:	DATE:
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PROJECT NO.: 20-019  
DRAWN BY: GJM/TAL  
REVIEWED BY: GJM

SHEET NUMBER:

C4

OF 10 SHEETS



1  
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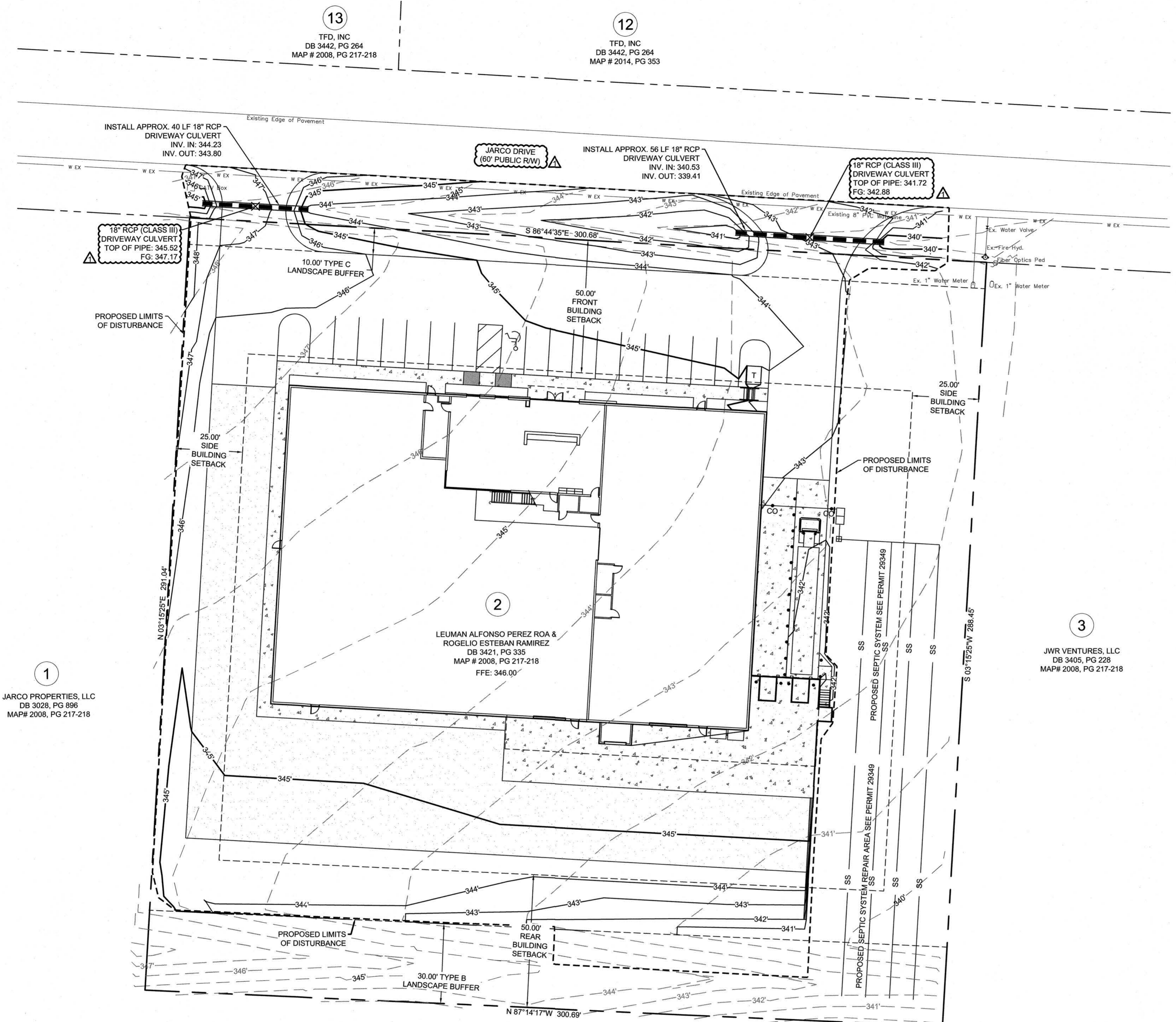
HECTOR FARMS  
DB 1507, PG 390  
MAP# 8, PG 103  
MAP# 22, PG 78

UTILITY NOTE: HARNETT COUNTY PUBLIC UTILITIES SHALL PROVIDE POTABLE WATER SERVICE TO THE PROPERTY LINE. UTILITY CONTRACTOR SHALL INSTALL WATER SERVICE FROM METER TO THE BUILDING AND FIRE SERVICE FROM MAIN TO BUILDING. THE OWNER SHALL INSTALL AN APPROVED RPZ IN HOTBOX ENCLOSURE. FIRE SERVICE RPDA SHALL BE LOCATED INSIDE THE BUILDING. ALL BACKFLOW DEVICES MUST BE APPROVED BY HCPU.

SEPTIC SYSTEM NOTE: SEPTIC SYSTEM DESIGN HAS BEEN DESIGNED AND APPROVED (PERMIT #29349). THE SEPTIC SYSTEM HAS BEEN DESIGNED FOR 20 EMPLOYEES x 25 GALLONS PER DAY = 500 GAL/DAY FOR FUTURE GROWTH.

FINAL SIZE AND LOCATION OF LP TANK AND TRANSFORMER SHALL BE SUBJECT TO CHANGE PER UTILITY PROVIDERS REQUIREMENTS AND STANDARDS.





1  
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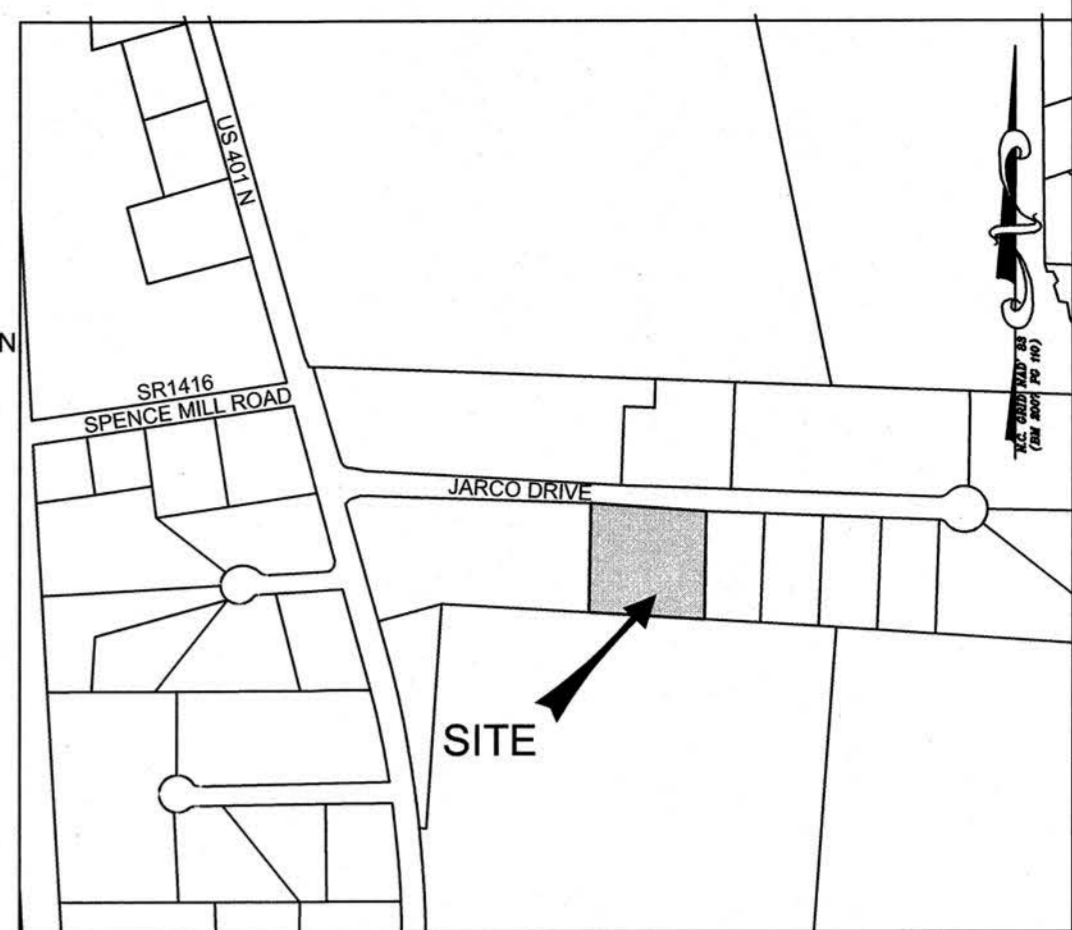
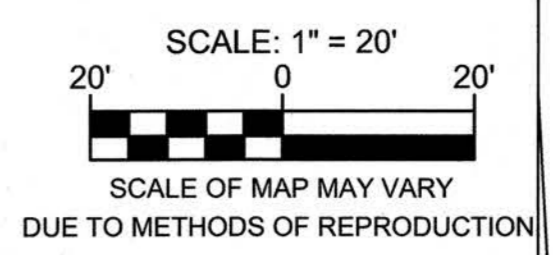
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 FFE: 346.00

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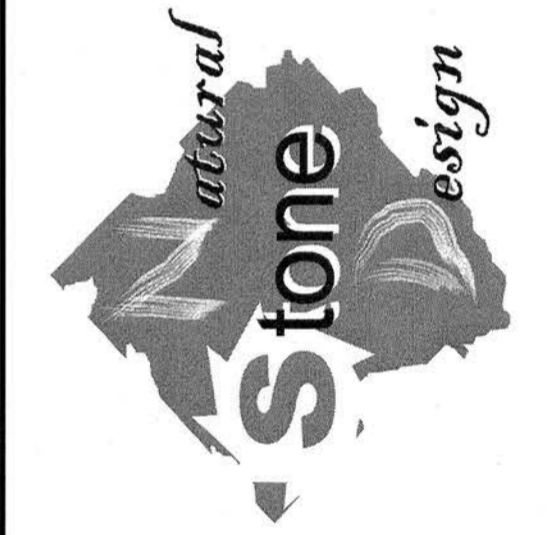


VICINITY MAP  
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NATURAL STONE DESIGN  
 148 JARCO DRIVE  
 FLOQUAY-VARINA, NORTH CAROLINA 27526

PROPOSED GRADING PLAN

NPDES STABILIZATION TIME FRAMES		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1 - 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE EXCEPT FOR PERIMETERS AND HQW ZONES

WATER SUPPLY WATERSHED SPECIAL INTENSITY ALLOCATION PERMIT (SNIA2006-0001) APPROVED AUGUST 10, 2018, FOR 60% MAX. IMPERVIOUS AREA.

EROSION CONTROL NOTE: AN APPROVED SEDIMENTATION AND EROSION CONTROL PERMIT SHALL WAS APPROVED FROM NCDEQ-DEMRLR ON JULY 24, 2017. THE OWNER SHALL PROVIDE A COPY OF THIS PERMIT TO HARNETT COUNTY PRIOR TO CONSTRUCTION.



REVISIONS:	DATE:
1 PER DRB	01/14/21

ISSUED FOR:	DATE:
REVIEW/APPROVAL	12/15/20

PROJECT NO.: 20-019 20-019  
 DRAWN BY: GJM/TAL  
 REVIEWED BY: GJM

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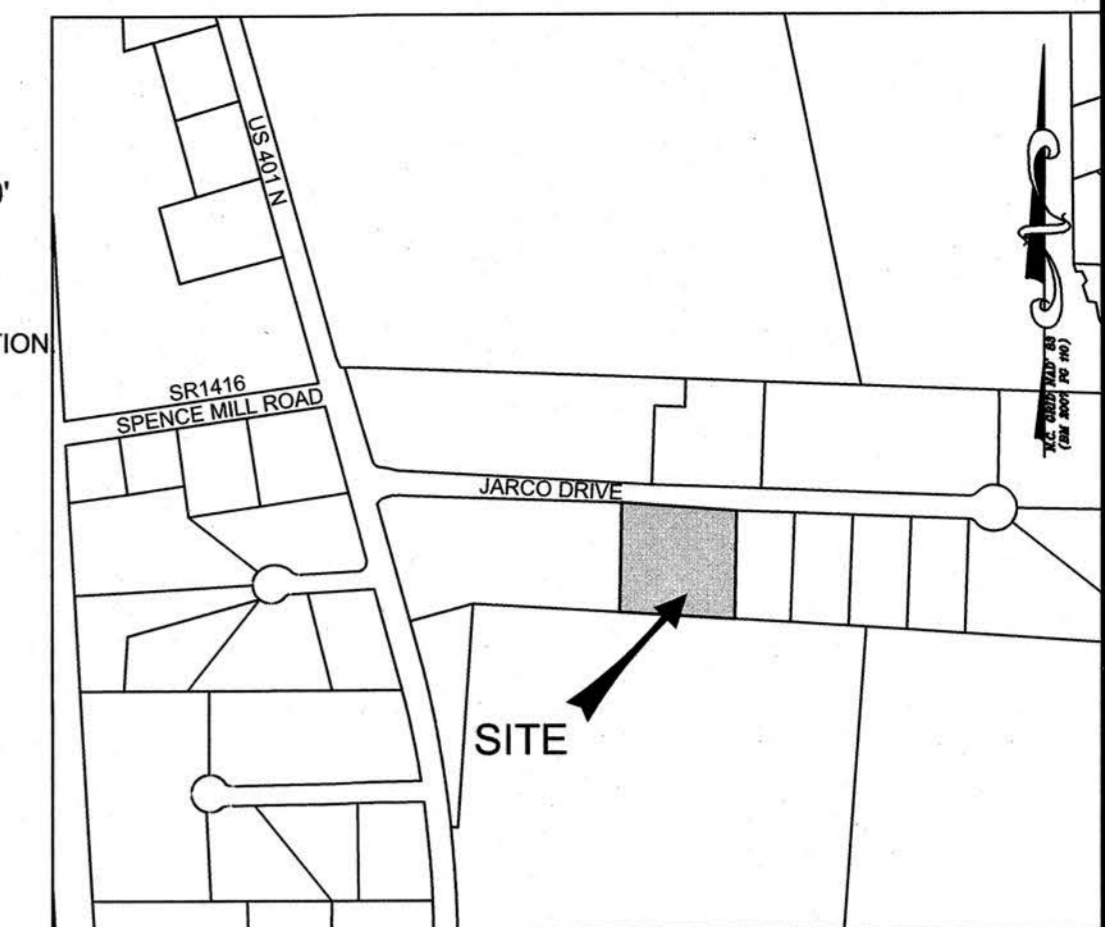
C5

OF 10 SHEETS

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NATURAL STONE DESIGN  
148 JARCO DRIVE  
FLOUQUAY-VARINA, NORTH CAROLINA 27526

PHASE I EROSION CONTROL PLAN

REVISIONS:	DATE:
PER DRB	01/14/21

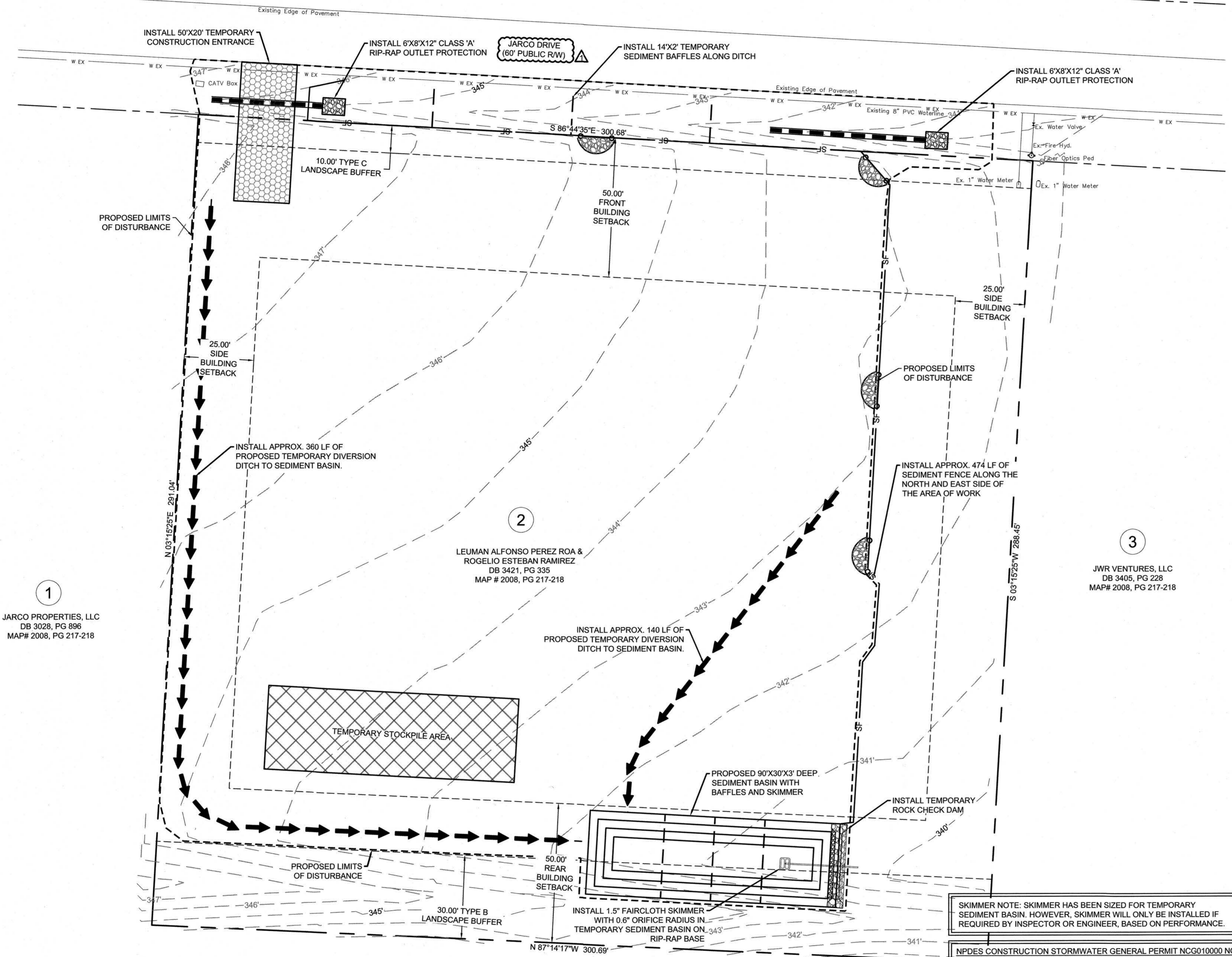
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PROJECT NO.: 20-019 20-019  
DRAWN BY: GJM/TAL  
REVIEWED BY: GJM

SHEET NUMBER:

C6

OF 10 SHEETS



1  
JARCO PROPERTIES, LLC  
DB 3028, PG 896  
MAP# 2008, PG 217-218

2  
LEUMAN ALFONSO PEREZ ROA &  
ROGELIO ESTEBAN RAMIREZ  
DB 3421, PG 335  
MAP # 2008, PG 217-218

3  
JWR VENTURES, LLC  
DB 3405, PG 228  
MAP# 2008, PG 217-218

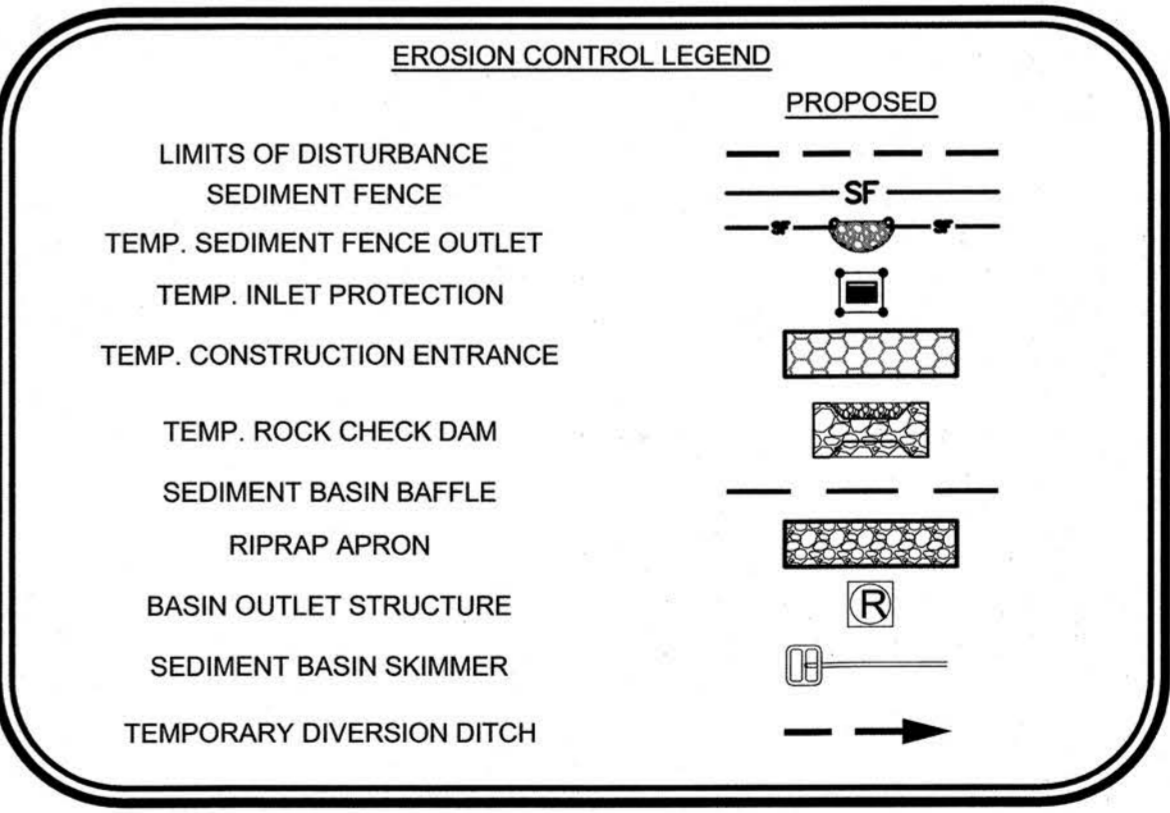
HECTOR FARMS  
DB 1507, PG 390  
MAP# 8, PG 103  
MAP# 22, PG 78

NOTE:  
SEED AND MULCH TEMPORARY SEDIMENT  
AND ALL DIVERSIONS IMMEDIATELY AFTER  
CONSTRUCTION.

SKIMMER NOTE: SKIMMER HAS BEEN SIZED FOR TEMPORARY  
SEDIMENT BASIN. HOWEVER, SKIMMER WILL ONLY BE INSTALLED IF  
REQUIRED BY INSPECTOR OR ENGINEER, BASED ON PERFORMANCE.

NPDES CONSTRUCTION STORMWATER GENERAL PERMIT NCG010000 NOTE:  
PERMANENT GROUND COVER FOR SHALL BE ESTABLISHED FOR ALL  
DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS  
(WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION  
OR DEVELOPMENT.

SITE AREA DESCRIPTION	NPDES STABILIZATION TIME FRAMES	
	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1 - 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE EXCEPT FOR PERIMETERS AND HQW ZONES



WATER SUPPLY WATERSHED SPECIAL INTENSITY ALLOCATION PERMIT  
(SNIA2006-0001) APPROVED AUGUST 10, 2018, FOR 60% MAX. IMPERVIOUS AREA.

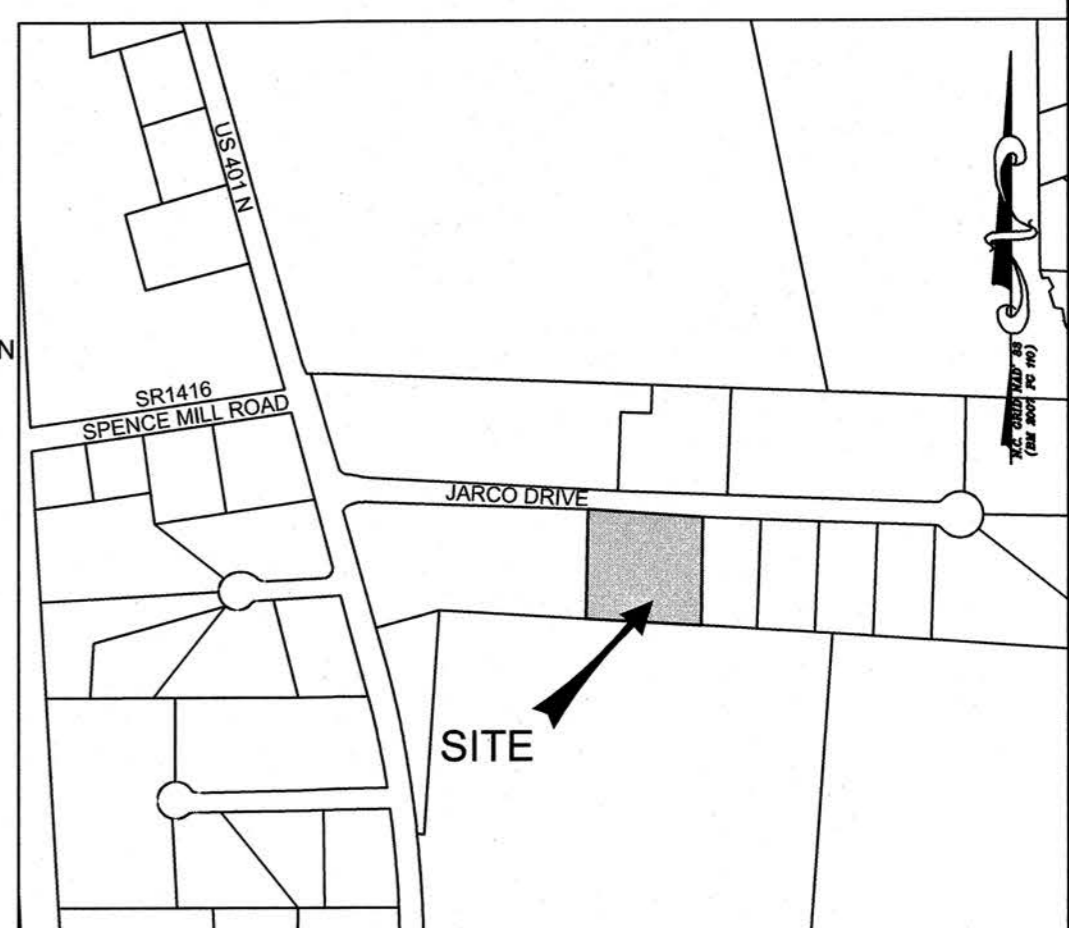
EROSION CONTROL NOTE: AN APPROVED SEDIMENTATION AND EROSION  
CONTROL PERMIT SHALL WAS APPROVED FROM NCDEQ-DEMLR ON JULY 24,  
2017. THE OWNER SHALL PROVIDE A COPY OF THIS PERMIT TO  
HARNETT COUNTY PRIOR TO CONSTRUCTION.



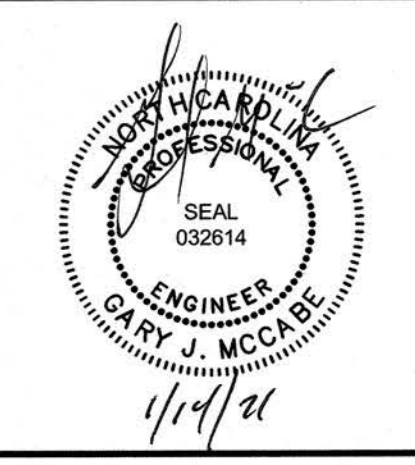
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TFD, INC  
DB 3442, PG 264  
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SCALE: 1" = 20'  
20' 0 20'  
SCALE OF MAP MAY VARY  
DUE TO METHODS OF REPRODUCTION



VICINITY MAP  
SCALE: 1"=500'



PRELIMINARY DRAWING  
NOT RELEASED  
FOR CONSTRUCTION

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NATURAL STONE DESIGN  
148 JARCO DRIVE  
FUQUAY-VARINA, NORTH CAROLINA 27526

PHASE II EROSION CONTROL PLAN

REVISIONS:	DATE:
PER DRB	01/14/21

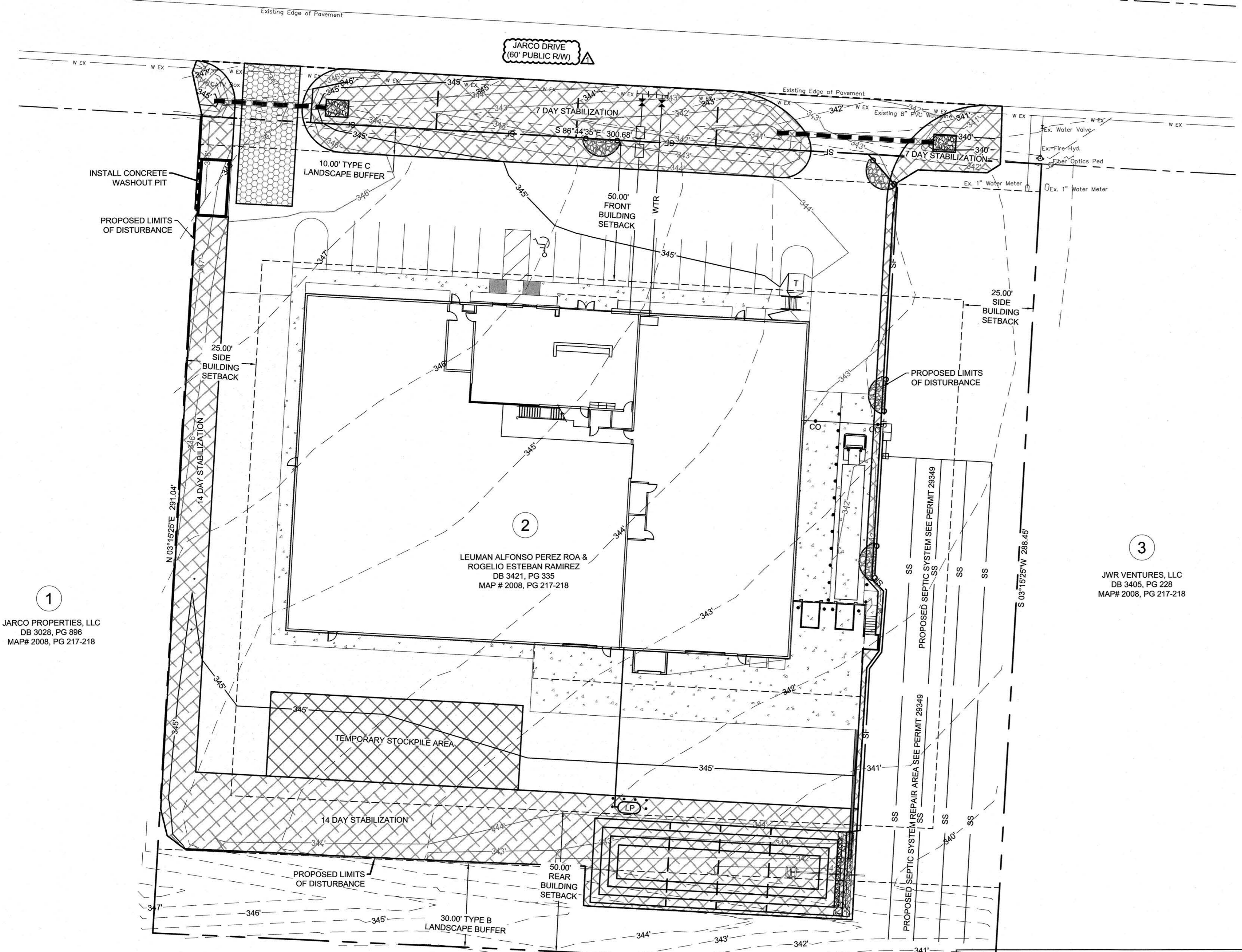
ISSUED FOR:	DATE:
REVIEW/APPROVAL	12/15/20

PROJECT NO.: 20-019 20-019  
DRAWN BY: GJM/TAL  
REVIEWED BY: GJM

SHEET NUMBER:

C7

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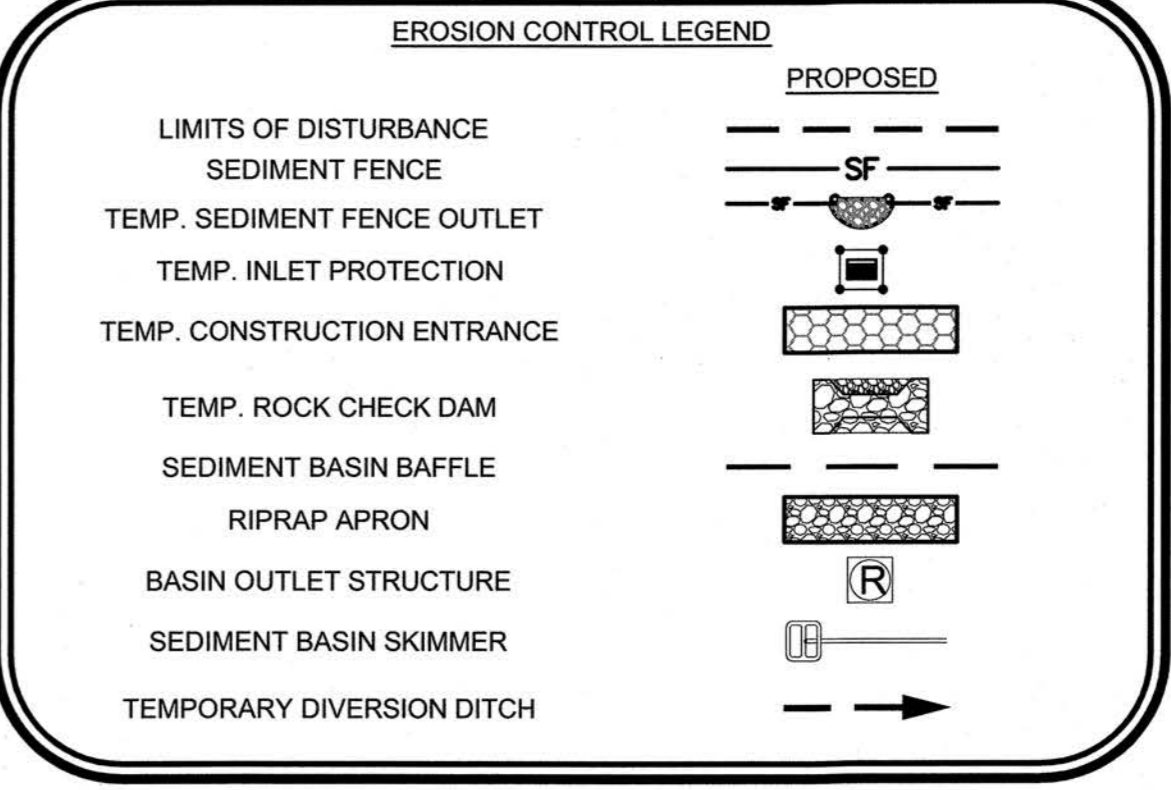
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CONSTRUCTION SEQUENCE

- INSTALL BUILDING PAD, FOUNDATION WALLS AND UTILITIES.
- INSTALL THE PROPOSED PARKING AREAS, DRIVEWAYS & SIDEWALKS.
- INSTALL LANDSCAPING.
- REMOVE ALL DEBRIS AND CONSTRUCTION MATERIALS FROM SITE.
- AFTER ALL DISTURBED AREAS ARE STABILIZED WITH VEGETATION, THE CONTRACTOR SHALL RETURN TO THE SITE AND REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, INCLUDING SEDIMENT BASIN AND SEDIMENT FENCE.
- UPON APPROVAL FROM ENGINEER, REMOVE DEBRIS AND SEDIMENT FROM SEDIMENT BASIN AND CONVERT TO PROPOSED DRY-DETENTION POND.
- OWNER MAY INSTALL NATIVE GRASS SEED OR SOD TO STABILIZE SITE AT HIS/HER DISCRETION. HOWEVER, THE SITE MUST BE FULLY STABILIZED WITH AN 85% STAND OF GRASS IN ORDER TO CLOSE EROSION CONTROL PERMIT.
- CONTRACTOR SHALL INSPECT & MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAIN EVENT AND/OR A MIN. OF ONCE PER WEEK UNTIL EROSION CONTROL PERMIT IS CLOSED/COMPLETED.
- REMOVE ALL DEBRIS & CONSTRUCTION MATERIALS FROM SITE.
- SCARIFY, SEED, FERTILIZE, & MULCH ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS OF ANY PHASE OF LAND DISTURBING ACTIVITIES OR SITE INACTIVITY.
- OWNER SHALL PROVIDE A PERMIT BOX WITH APPROVED SET OF PLANS ON-SITE AND MAINTAIN SELF-INSPECTION REPORTS IN ACCORDANCE WITH NPDES. INSPECTION REPORTS MUST BE DONE WEEKLY AND/OR AFTER A RAINFALL OF HALF AN INCH OR MORE.

SITE GRADING & EROSION CONTROL NOTES:

- SEE GENERAL NOTES, SHEET C2.
- DISTURBED/DENUDED AREA: 71,694 SF (1.65 ACRES)
- EXISTING IMPERVIOUS AREA: 0 SF (0.0 ACRES)
- PROPOSED IMPERVIOUS AREA: 52,185 SF / 1.20 ACRES (60%)
- MAXIMUM IMPERVIOUS (%): 60% (SNIA 2006-001)
- TOTAL TRACT AREA: 87,120 SF (2.00 ACRES)
- ALL DISTURBED AREAS SHALL BE SEEDED, MULCHED OR OTHERWISE STABILIZED WITHIN IN ACCORDANCE WITH THE NPDES TIME FRAMES LOCATED ON THIS SHEET AND WITH THE TEMPORARY SEEDING SCHEDULE. SEE DETAIL 4/C9.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDDED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- CONTRACTOR TO SWEEP AND KEEP CLEAN OF SEDIMENT THE ROADWAY ADJACENT TO THE PROJECT SITE AT ALL TIMES OR WASH STATION WILL BE REQUIRED.
- ALL DISTURBED AREAS SHALL BE SEEDED WITH NATIVE GRASSES (i.e. BERMUDA, FESCUE, CENTIPEDE, ETC.) TO MATCH EXISTING VEGETATION ON SITE.



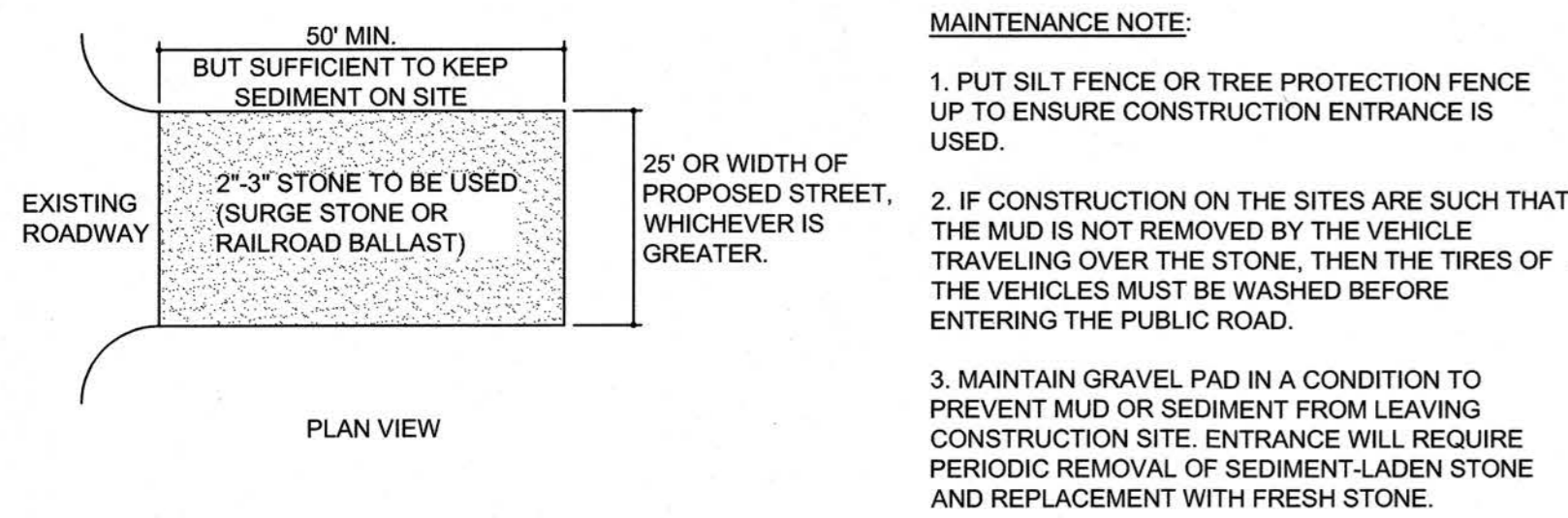
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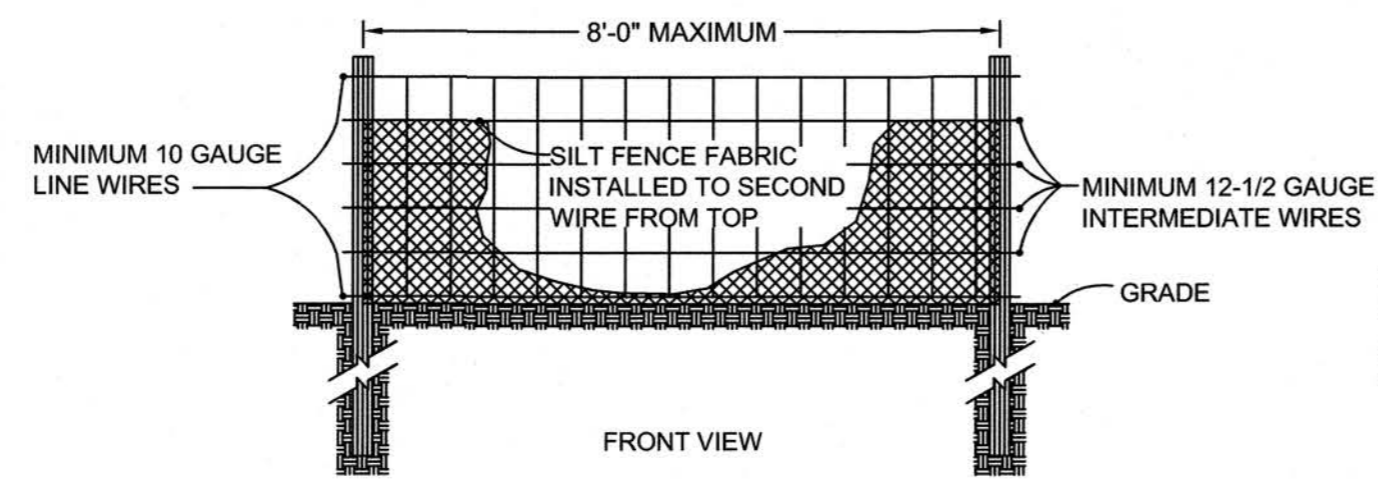




**MAINTENANCE NOTE:**

1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
3. MAINTAIN GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING CONSTRUCTION SITE. ENTRANCE WILL REQUIRE PERIODIC REMOVAL OF SEDIMENT-LADEN STONE AND REPLACEMENT WITH FRESH STONE.

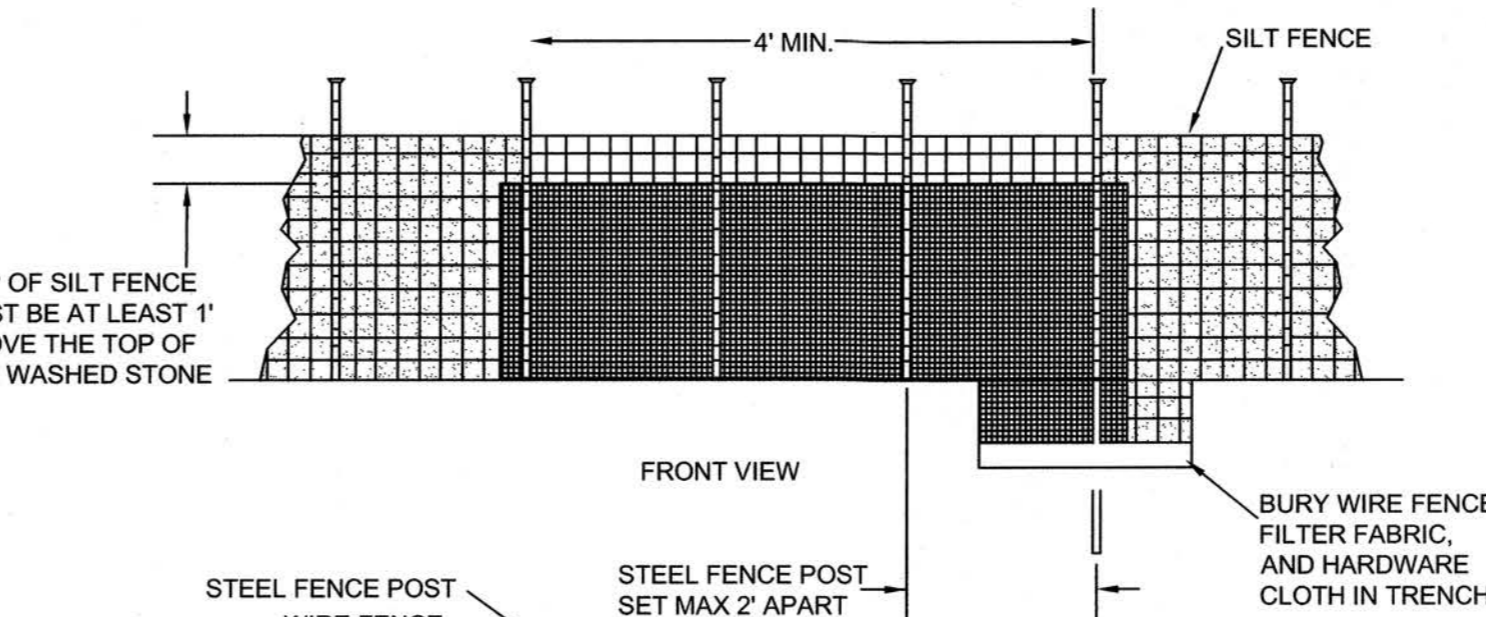
**STANDARD CONSTRUCTION ENTRANCE DETAIL**  
SCALE: NOT TO SCALE



**MAINTENANCE NOTE:**

1. USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW.
2. REMOVE SEDIMENT DEPOSITED AS NEEDED TO PROVIDE STORAGE VOLUME FOR THE NEXT RAIN AND TO REMOVE PRESSURE ON THE SILT FENCE.

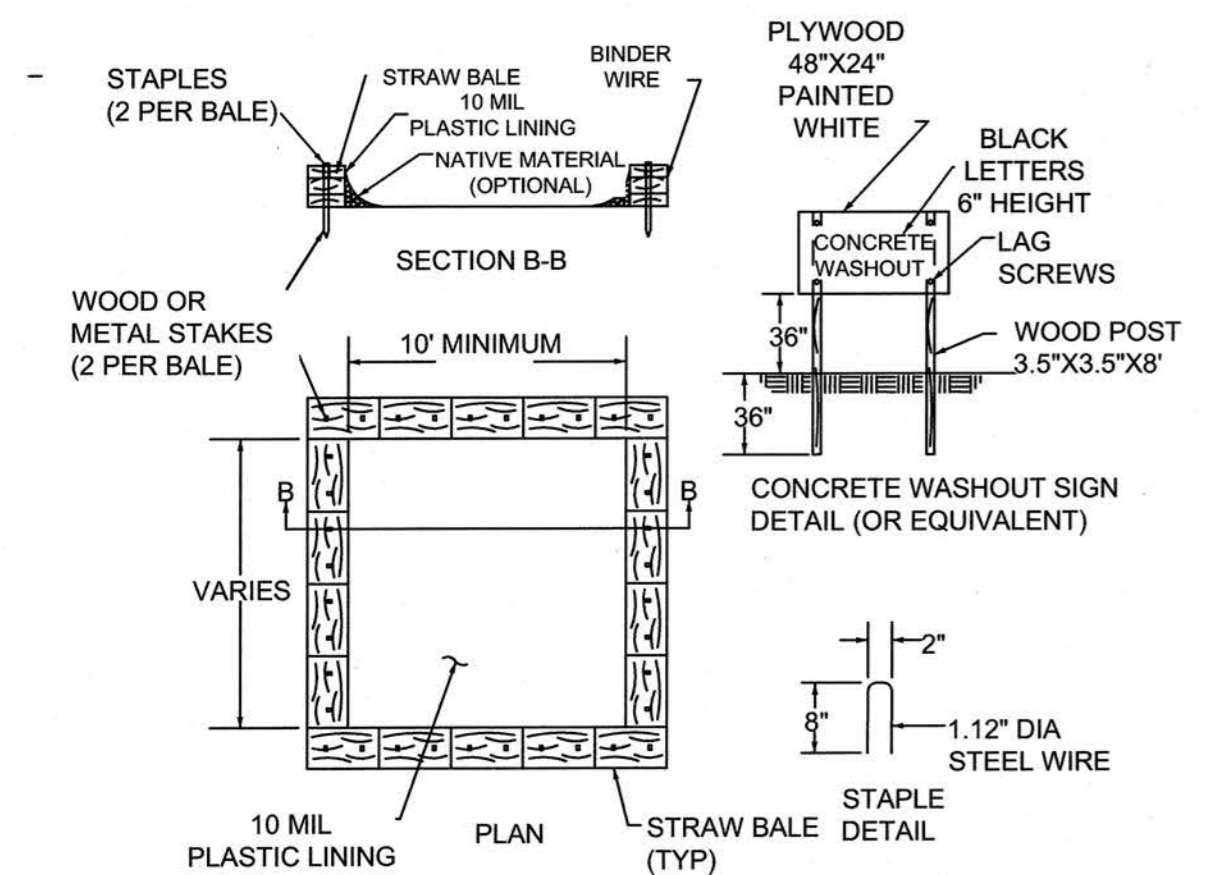
**STANDARD TEMPORARY SILT FENCE DETAIL**  
SCALE: NOT TO SCALE



**MAINTENANCE NOTE:**

1. REMOVE SEDIMENT WHEN HALF OF STONE OUTLET IS COVERED.
2. REPLACE STONE AS NEEDED TO ENSURE DEWATERING.

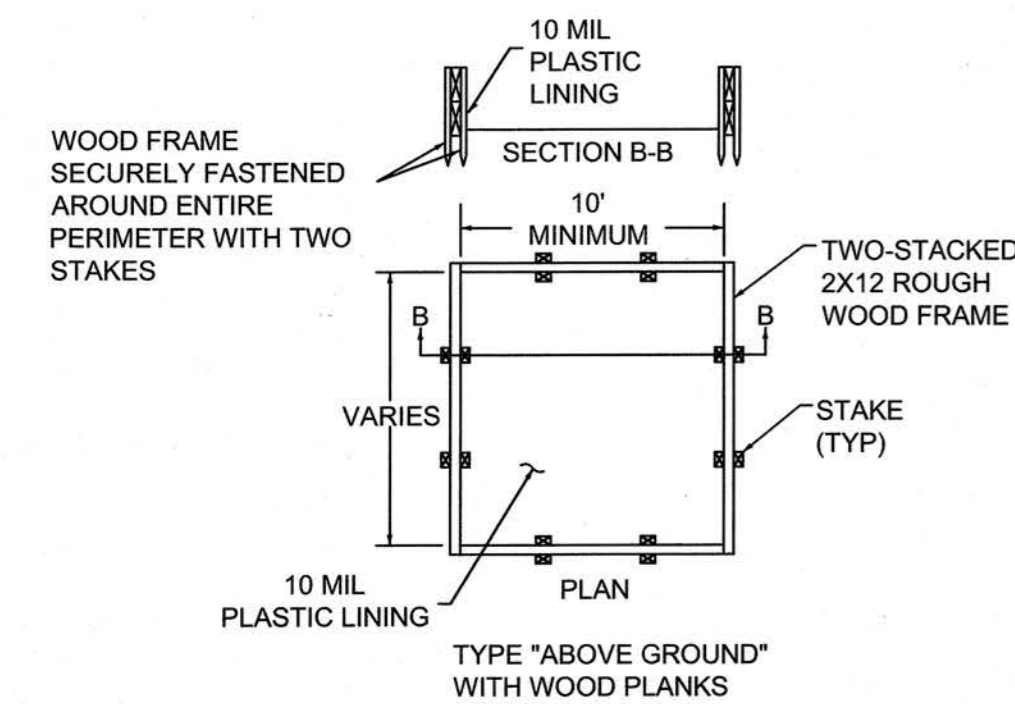
**STANDARD SILT FENCE OUTLET DETAIL**  
SCALE: NOT TO SCALE



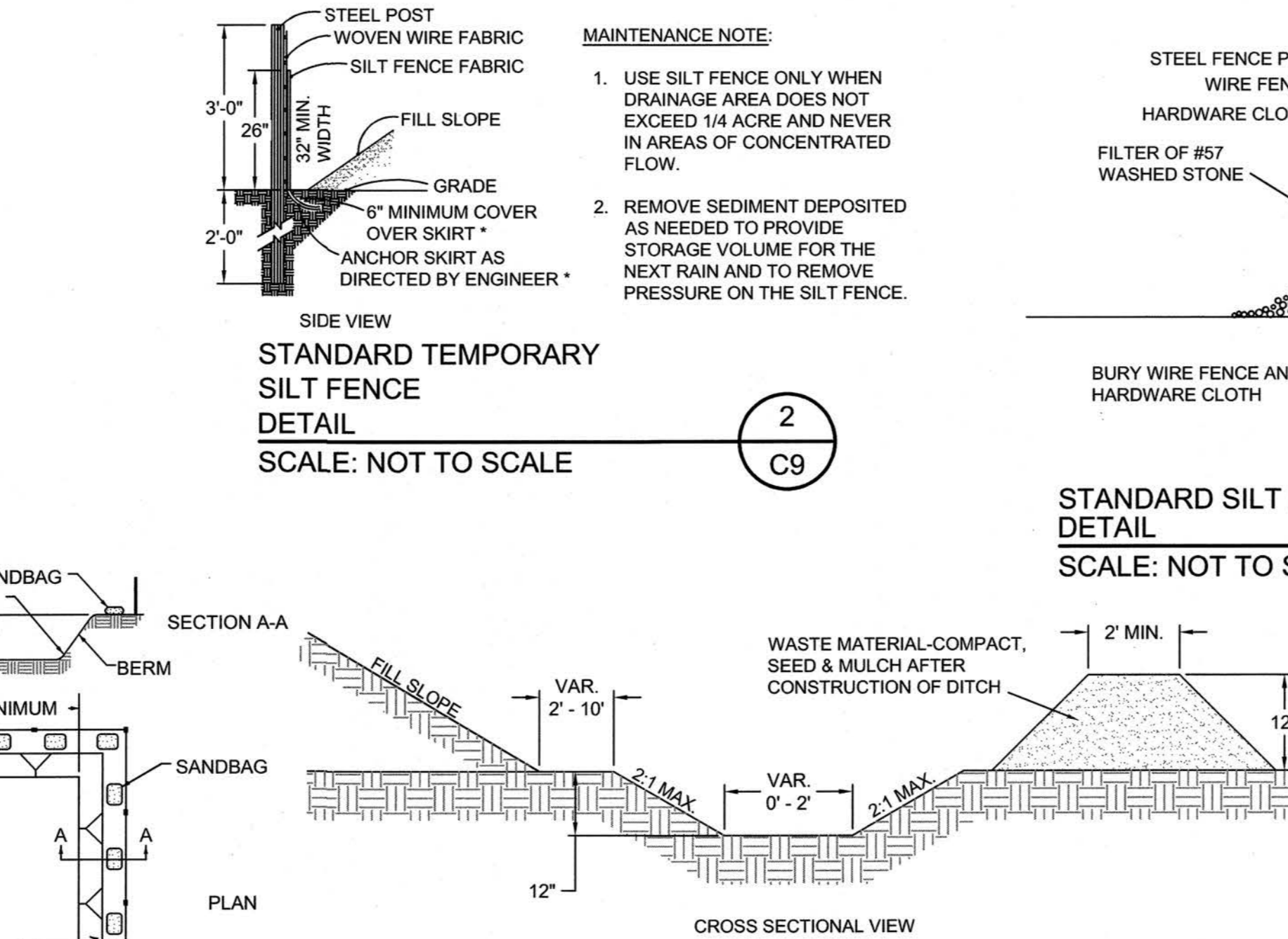
**MAINTENANCE NOTE:**

1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
2. A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
4. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

**CONCRETE WASH OUT DETAIL**  
SCALE: NOT TO SCALE



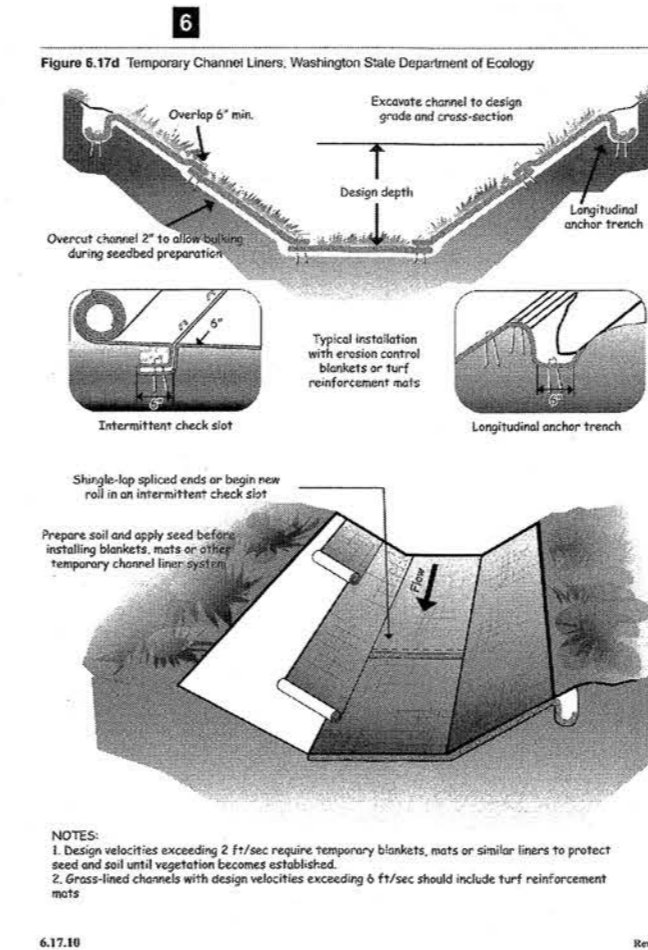
**SEDIMENT BASIN DETAIL**  
SCALE: NOT TO SCALE



**MAINTENANCE NOTE:**

1. TEMPORARY DIVERSION DITCH TO BE USED TO INTERCEPT FLOW AND/OR DIVERT TO A SEDIMENT CONTROL MEASURE OR BMP.
2. SILT SHALL BE REMOVED WHEN DITCH IS ONE-HALF FULL.
3. DITCH SHALL BE RECONSTRUCTED WHEN DAMAGED BY EQUIPMENT OR COVERED BY FILL.
4. STABILIZE DIVERSION DITCH BERM WITH TEMPORARY SEEDING, MULCH WITH TAC, AND/OR EROSION CONTROL NETTING.

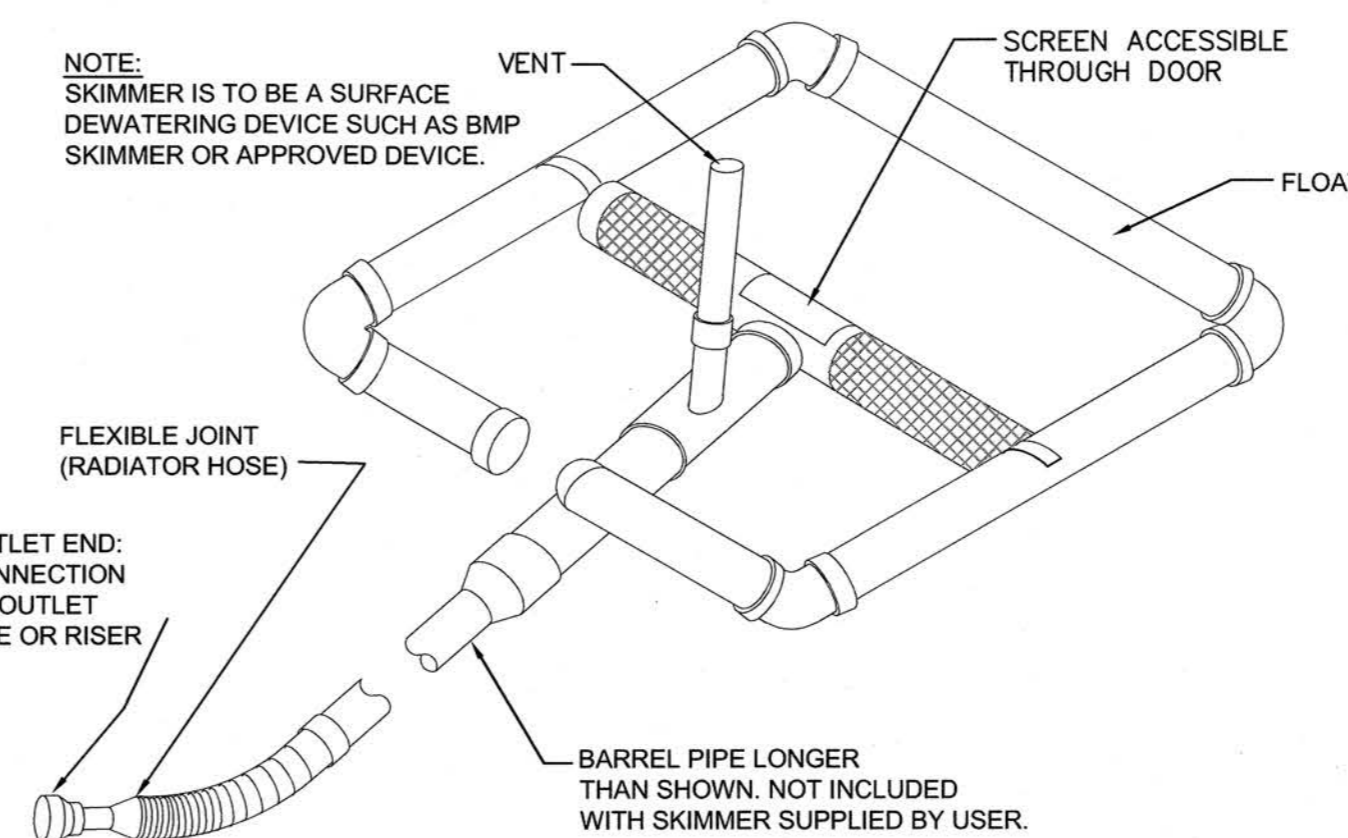
**STANDARD TEMPORARY DIVERSION DITCH DETAIL**  
SCALE: NOT TO SCALE



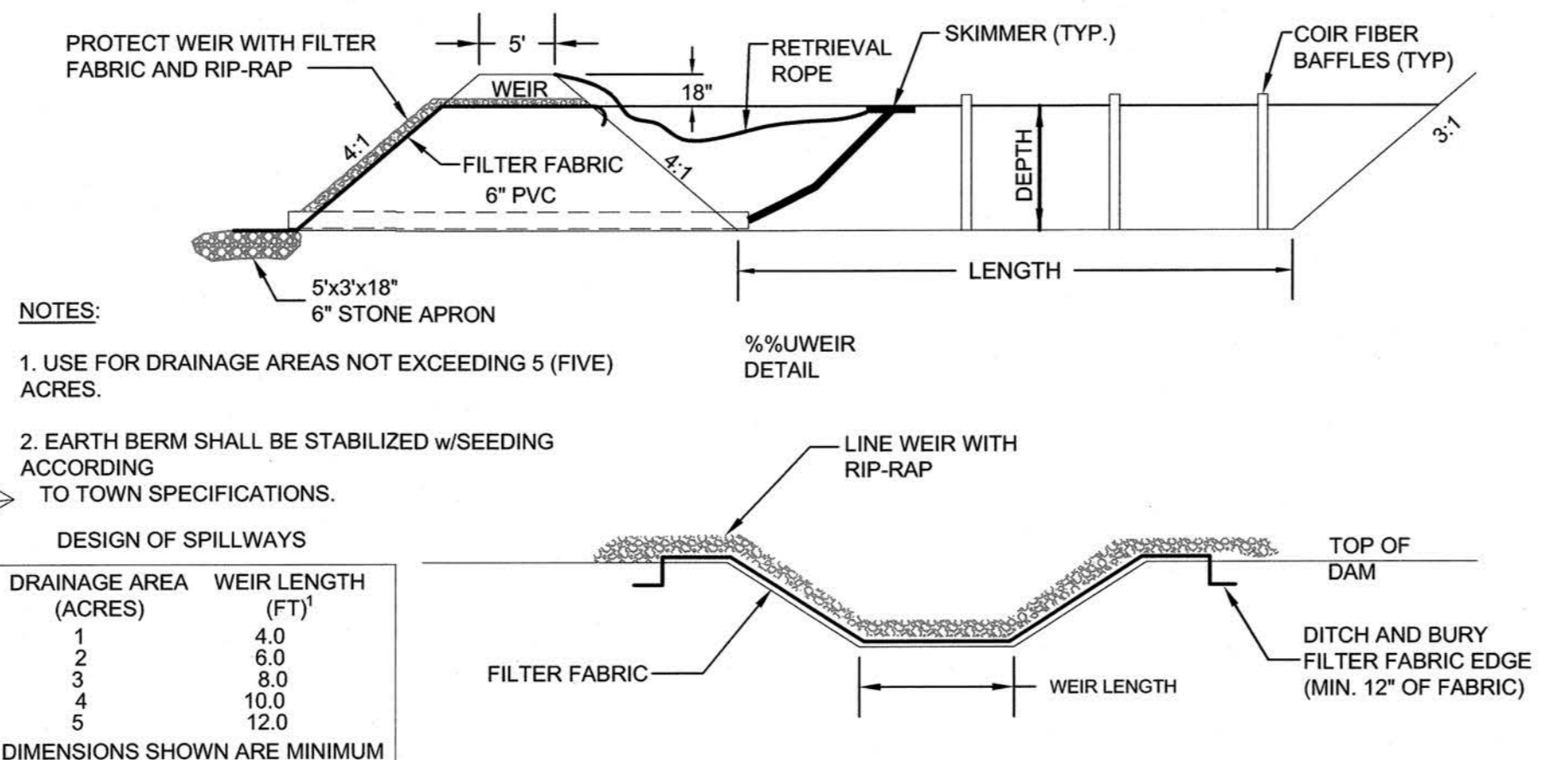
**TYPICAL ROLLED EROSION CONTROL PRODUCT DETAIL**  
SCALE: NOT TO SCALE

**NOTES:**

1. BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM AND SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE.
2. MOST OF THE SEDIMENT WILL ACCUMULATE IN THE 1ST BAY, WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE.
3. TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE BERMS.
4. INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH RAINFALL.



**STANDARD SKIMMER DETAIL**  
SCALE: NOT TO SCALE



**MAINTENANCE NOTE:**

INSPECT TEMPORARY SEDIMENT BASIN AND EMPTY SKIMMER OF ALL DEBRIS AFTER EACH PERIOD OF SIGNIFICANT RAINFALL. REMOVE SEDIMENT AND RESTORE BASIN TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE BASIN. PLACE THE SEDIMENT THAT IS REMOVED IN A DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING.

CHECK THE STRUCTURE FOR DAMAGE FROM EROSION OR PIPING. PERIODICALLY CHECK THE DEPTH OF THE SPILLWAY TO ENSURE IT IS A MINIMUM OF 1.5 FT BELOW THE LOW POINT OF THE EMBANKMENT. IMMEDIATELY FILL ANY SETTLEMENT OF THE EMBANKMENT TO SLIGHTLY ABOVE DESIGN GRADE. ANY RIP RAP DISPLACED FROM THE SPILLWAY MUST BE REPLACED IMMEDIATELY.

STABILIZE THE EMBANKMENT AND ALL DISTURBED AREAS ABOVE THE SEDIMENT POOL AND DOWNSTREAM FROM THE BASIN IMMEDIATELY AFTER CONSTRUCTION WITH SEEDING.

TEMPORARY SEEDING		
SPECIES	RATE (LBS/AC)	DATES
RYE (GRAIN)	120	DEC 1-APR 15
KOBE LESPEDEZA	50	DEC 1- APR 15
GERMAN MILLET	40	APR 15- AUG 15
RYE (GRAIN)	120	AUG 15- DEC 30

**SOIL AMENDMENTS**

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LBS/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LBS/ACRE 10-10-10 FERTILIZER.

**MULCH**

APPLY 4,000 LBS/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**

IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERTILIZE IN THE SECOND YEAR ACCORDING TO SOIL TESTS OR TOPRESS WITH 500 LBS/ACRE 10-10-10 FERTILIZER. RESEED, REFERTILIZE, AND MULCH AREA IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE. IF SEEDING IN FALL, TOPRESS WITH 50 LBS/ACRE OF NITROGEN IN MARCH. IF IT NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LBS/ACRE KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

**TEMPORARY SEEDING SCHEDULE DETAIL**  
SCALE: NOT TO SCALE

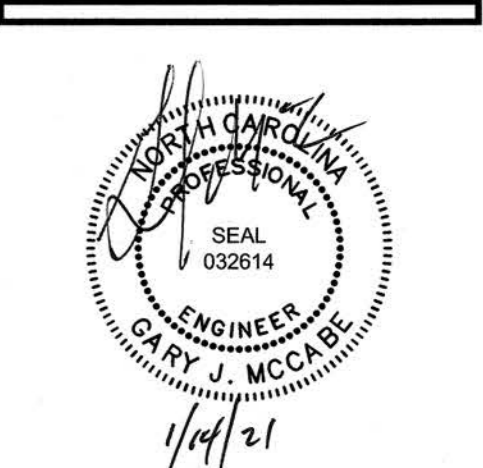
DATE	TYPE	PLANTING RATE
AUG 15 - NOV 1	TALL FESCUE	300 LBS/ACRE
NOV 1 - MAR 1	TALL FESCUE & ABRUZZI RYE	300 LBS/ACRE
MAR 1 - APR 15	TALL FESCUE	25 LBS/ACRE
APR 15 - JUN 30	HULLED COMMON BERMUDA GRASS	300 LBS/ACRE
JUL 1 - AUG 15	TALL FESCUE AND ***BROWNTOP MILLET ***OR SORGHUM-SUDAN HYBRID	120 LBS/ACRE 35 LBS/ACRE 30 LBS/ACRE
SLOPES (3:1 TO 2:1)		
MAR 1 - JUN 1	SERICICE LESPEDEZA (SCARIFIED) & ADD TALL FESCUE	50 LBS/ACRE
(MAR 1 - APR 15) (MAR 1 - JUN 30)	OR ADD HULLED COMMON BERMUDA GRASS	120 LBS/ACRE 25 LBS/ACRE
JUN 1 - SEP 1	***TALL FESCUE AND ***BROWNTOP MILLET ***OR SORGHUM-SUDAN HYBRIDS	120 LBS/ACRE 35 LBS/ACRE 30 LBS/ACRE
SEP 1 - MAR 1	SERICICE LESPEDEZA (UNHULLED-UNSCARIFIED) AND TALL FESCUE	70 LBS/ACRE
(NOV 1 - MAR 1)	AND ABRUZZI RYE	120 LBS/ACRE 25 LBS/ACRE

CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDED AREAS.

THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

\*\*\*TEMPORARY - RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING, OTHERWISE FESCUE MAY BE SHADED OUT.

**PERMANENT SEEDING SCHEDULE DETAIL**  
SCALE: NOT TO SCALE



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148 JARCO DRIVE  
FUQUAY-VARINA, NORTH CAROLINA 27526  
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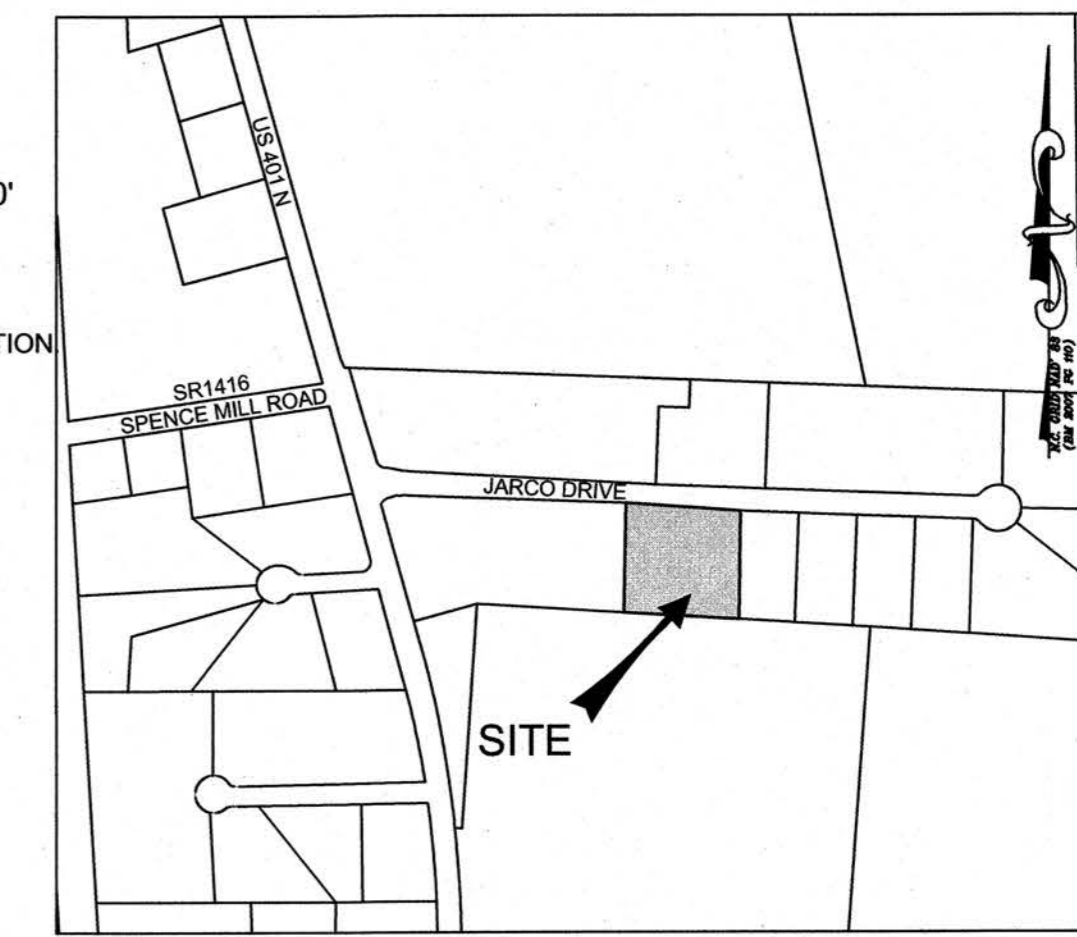
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148 JARCO DRIVE  
FUQUAY-VARINA, NORTH CAROLINA 27526  
PRELIMINARY LANDSCAPED PLAN

REVISIONS: DATE:  
PER DRB 01/14/21

ISSUED FOR: DATE:  
REVIEW/APPROVAL 12/15/20

PROJECT NO.: 20-019  
DRAWN BY: GJM/TAL  
REVIEWED BY: GJM

SHEET NUMBER:  
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OF 10 SHEETS

LANDSCAPE SUMMARY

<b>SITE DATA</b>		MANUFACTURING GENERAL	
PROPOSED USE:	2 Ac.		
TOTAL LOT ACREAGE:	INDUSTRIAL		
ZONING DISTRICT:			
<b>REQUIRED BUFFERS</b>			
TYPE B BUFFER, 30 FT. WIDTH ALONG REAR (NORTHERN) PROPERTY LINE:			
Rear (Southern) PL Type B 30' Buffer OPTION 2	300 Linear Feet		
1 canopy tree req./30 linear feet = 10 trees	10 canopy trees provided		
Existing berm to be preserved to satisfy Option 2 of the Type B Buffer along Rear PL.			
TYPE C BUFFER, 10 FT. WIDTH ALONG FRONT (NORTHERN) PROPERTY LINE:			
Front (Northern) PL Type C 10' Buffer	240 Linear Feet		
1 canopy tree req./30 linear feet = 8 trees	8 canopy trees provided		
5 evergreen shrubs/1 canopy tree = 40 shrubs	40 evergreen shrubs provided		

**LAWN PREPARATION AND SEEDING NOTES:**  
 A. Before fertilizing and seeding, the topsoil surfaces shall be trimmed and worked to true line from unsightly variation, bumps, ridges and depressions and all detrimental material, roots and stones larger than 3-inches in any diameter shall be removed from the soil.  
 B. Not earlier than 24 hours before seed is to be sown, the soil surface to be seeded shall be thoroughly cultivated to a depth of not less than 4-inches with a weighted disc, tiller, pulvimeter or other equipment, until the surface is smooth and in an acceptable condition.  
 C. If the prepared surface becomes eroded as a result of rain or for any other reason, or becomes crusted before the seed is sown, the surface shall again be placed in a condition suitable for seeding.  
 D. Ground preparation operations shall be performed only when the ground is in a tillable and workable condition.  
 E. All seeded areas shall be uniformly mulched in a continuous blanket immediately after seeding. The mulch shall be applied evenly so as to permit sunlight to penetrate and the air to circulate and at the same time shade the ground, reduce erosion and conserve soil moisture. Approximately 45 percent of the ground shall be visible through.  
 F. The Contractor shall be responsible for maintaining the proper moisture content of the soil to insure adequate plant growth until a satisfactory stand is obtained. If necessary, watering shall be performed to maintain adequate water content in the soil.  
 G. Seeding rate: Elite Fescue seed, 5 lbs/1000sf, 10 lbs. (5-10-15) plus 3% iron fertilizer/1000sf, 45 lbs. limestone/1000sf.

Planting Schedule

Symbol	Code Name	Quantity	Common Name	Scientific Name	Planting Size
✳	Ulp	9	Chinese elm	Ulmus parvifolia	2"-Cal / 6 ft. min. ht.
⊕	Qush	9	Shumard oak	Quercus shumardii	2"-Cal / 6 ft. min. ht.
⊕	GIN	2	Maidenhair Tree	Ginkgo biloba (Male)	2"-Cal / 6 ft. min. ht.
⊕	LIG	65	Wax Leaf Ligustrum	Ligustrum japonicum 'Wax Leaf'	24" min. ht.
⊕	NPH	25	Needle point Holly	Ilex cornuta 'Needle Point'	24" min. ht.
⊕	Lilu	10	Sunshine Ligustrum	Ligustrum sinense 'Sunshine'	3-Gal
⊕	PJU	19	Variiegated Parson Juniper	Juniperus d. 'Parsoni variegata'	3-Gal
⊕	CAH	13	Carissa Holly	Ilex cornuta 'Carissa'	3-Gal
⊕	IHD	15	Dwf Indian Hawthorne Snow White	Rhaphiolepis indica 'Snow White'	3-Gal

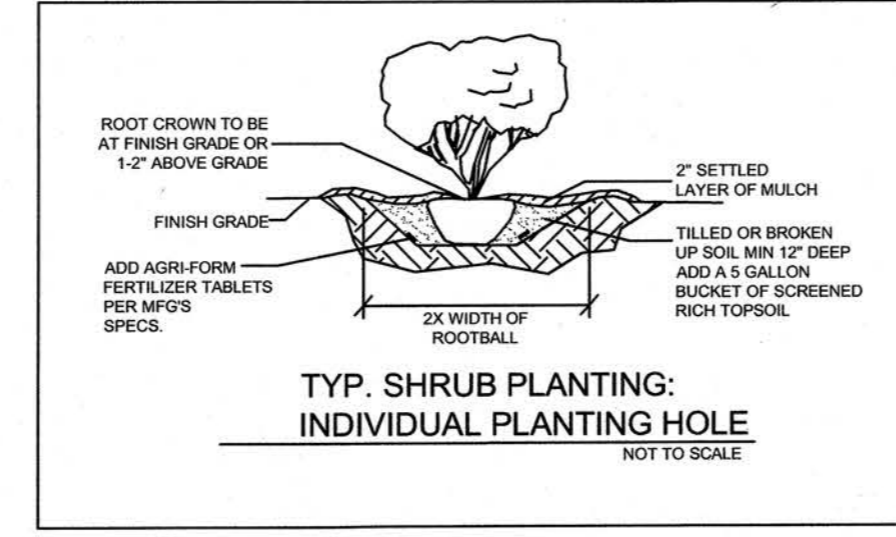
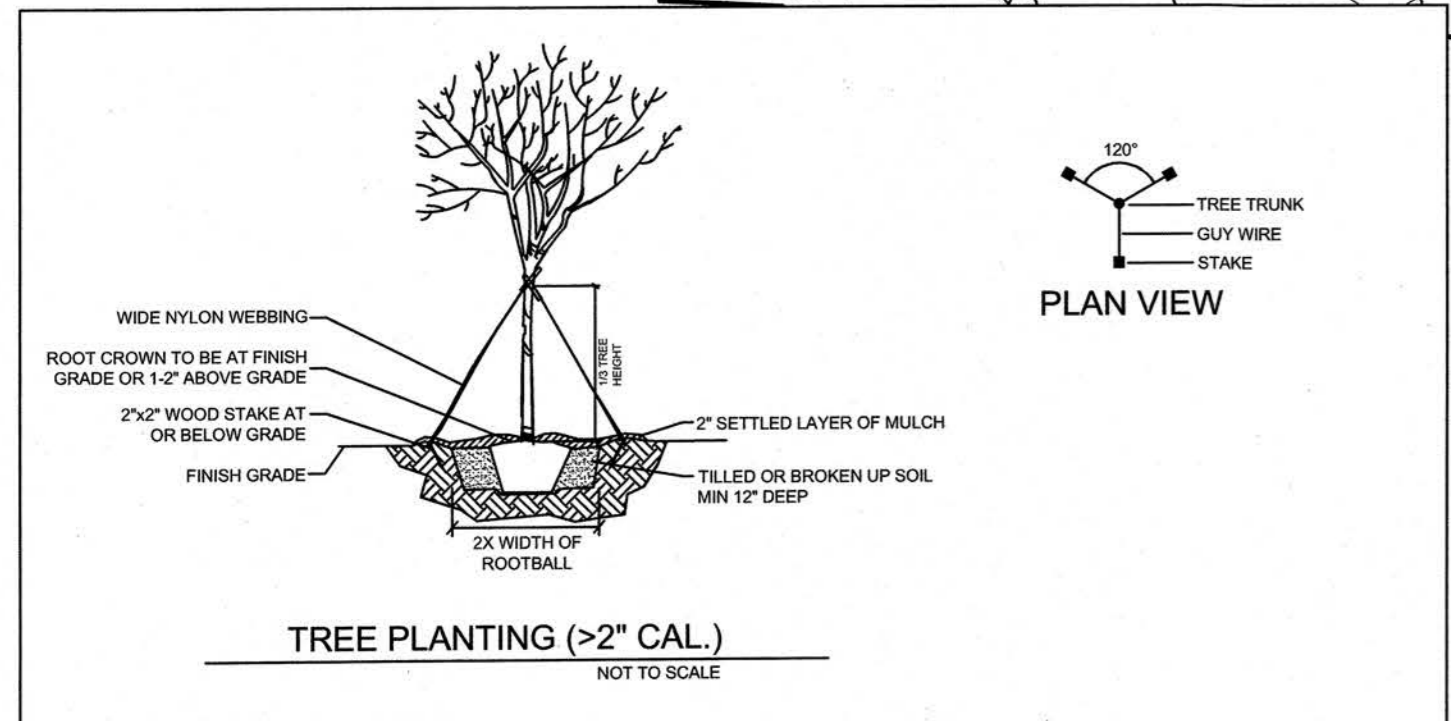
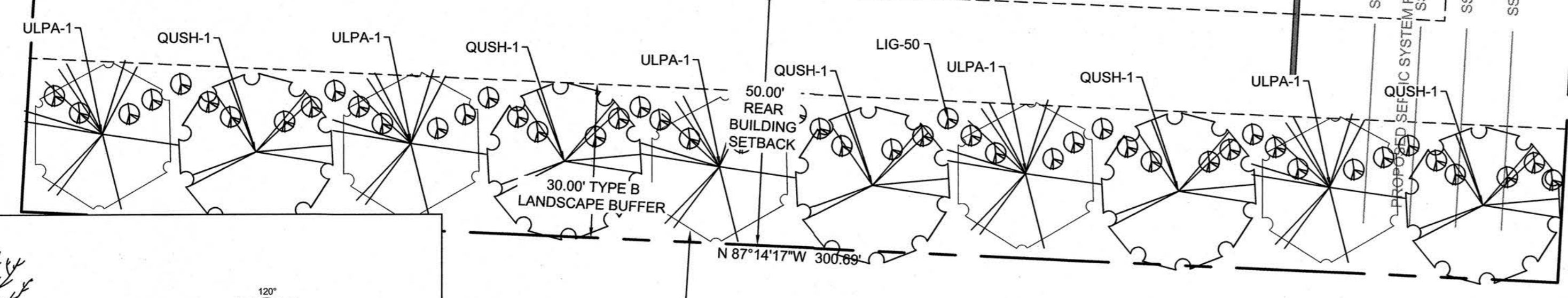
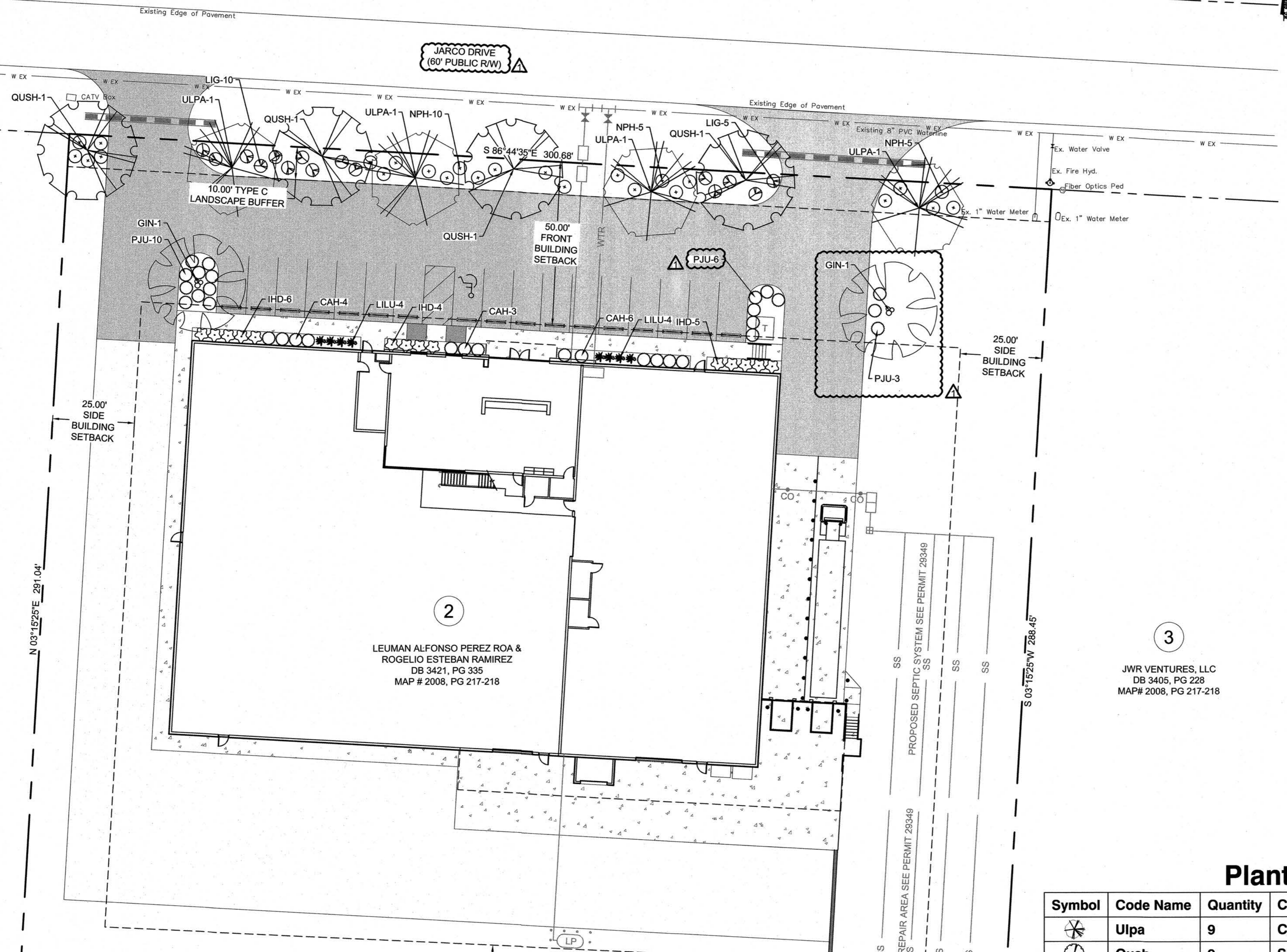
**General Planting Notes:**  
 1. Mulch all new plant beds with 2" triple shredded hardwood mulch.  
 2. Warranty plantings for 1 year period following completion of project.  
 3. Prepare plant beds by removing grass, add 4" of 50% topsoil blend soil to beds, till and rake smooth. Remove large clods, roots, etc..  
 4. New lawn areas to be drought resistant fescue seed.  
 5. All landscaped areas that are provided with an automatically operated irrigation system should adequately cover all living plant material. Such system shall include a rain sensor.  
 6. All landscaped areas shall be maintained in an attractive and healthy condition. Dead or diseased plantings shall be removed and replaced in a timely fashion.  
 7. Plant quantities shall be checked for accuracy by the Landscape Contractor prior to construction. Notify LA if discrepancies are found.

**LANDSCAPE NOTE:** THE OWNER RESERVES THE RIGHT TO SUBSTITUTE LANDSCAPE MATERIALS BASED ON PREFERENCE AND AVAILABILITY DURING CONSTRUCTION. PLANTINGS IN EXCESS OF UDO REQUIREMENTS MAY BE ELIMINATED OR SUBSTITUTED AT THE OWNER'S DISCRETION.

**BUFFER NOTE:** BUFFER SHALL INCLUDE: 1. A STAGGERED ROW OF LARGE MATURING TREES, SPACED NOT MORE THAN 30' APART; AND TYPE C BUFFER; 5 LOW GROWING SHRUBS FOR EVERY REQUIRED LARGE MATURING TREE.

**WATER SUPPLY WATERSHED SPECIAL INTENSITY ALLOCATION PERMIT (SNAI2006-0001) APPROVED AUGUST 10, 2018, FOR 60% MAX. IMPERVIOUS AREA.**

**MAINTENANCE NOTE:** PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PARKING, GRAVEL AREAS, AND LANDSCAPE AREAS OUTSIDE OF THE PUBLIC RIGHT OF WAY.



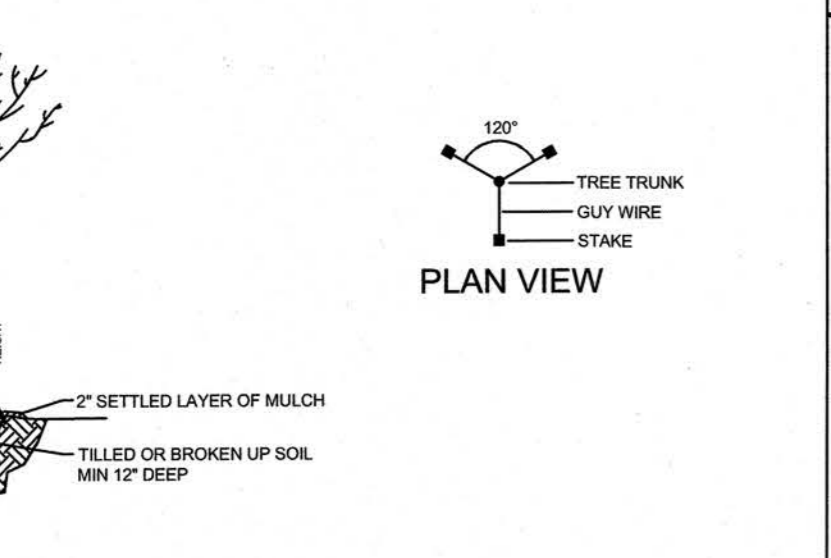
1  
JARCO PROPERTIES, LLC  
DB 3028, PG 886  
MAP# 2008, PG 217-218

2  
LEUMAN ALFONSO PEREZ ROA &  
ROGELIO ESTEBAN RAMIREZ  
DB 3421, PG 335  
MAP # 2008, PG 217-218

3  
JWR VENTURES, LLC  
DB 3405, PG 228  
MAP# 2008, PG 217-218

N 03°19'25"E 291.04'

S 03°15'25"W 288.45'



EXISTING BERM TO REMAIN TO SATISFY TYPE B BUFFER OPTION 2

HECTOR FARMS  
DB 1507, PG 390  
MAP# 8, PG 103  
MAP# 22, PG 78

