

NOTE:
 A 10' x 70' Sight Triangle shall be placed at all street intersections as shown hereon.

FRMA FLOOD HAZARD STATEMENT
 Lots shown on this plat are not located within the FRMA Flood Hazard Zone as shown on FRMA map No. 37200642001 Effective Date: 10/3/2006.

DEPARTMENT OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 PROPOSED SUPERSTRADE ROAD
 DESIGN STANDARDS CERTIFICATION

APPROVED **LEE R. HINES, Jr. P.E.**
 DISTRICT ENGINEER

DATE: **December 31, 2010**

ONLY NEGOTIATED APPROVED STRUCTURES ARE TO BE CONSTRUCTED ON THIS RIGHT-OF-WAY STREET SYSTEM ONLY.

THE 10' x 70' SIGHT TRIANGLES TAKES PRECEDENCE OVER ANY SIGN BASEMENTS.

NOTE:
 ALL DRAINAGE BASEMENTS SHALL BE DEDICATED AS PUBLIC AND IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS TO MAINTAIN THE DRAINAGE BASEMENTS AND ANY DRAINAGE STRUCTURES THEREIN, SO AS TO MAINTAIN THE INTEGRITY OF THE DRAINAGE SYSTEM AND INSURE POSITIVE DRAINAGE.

A 10' CONSTRUCTION EASEMENT SHALL BE RESERVED ON BOTH SIDES OF ALL PROPOSED STREETS.

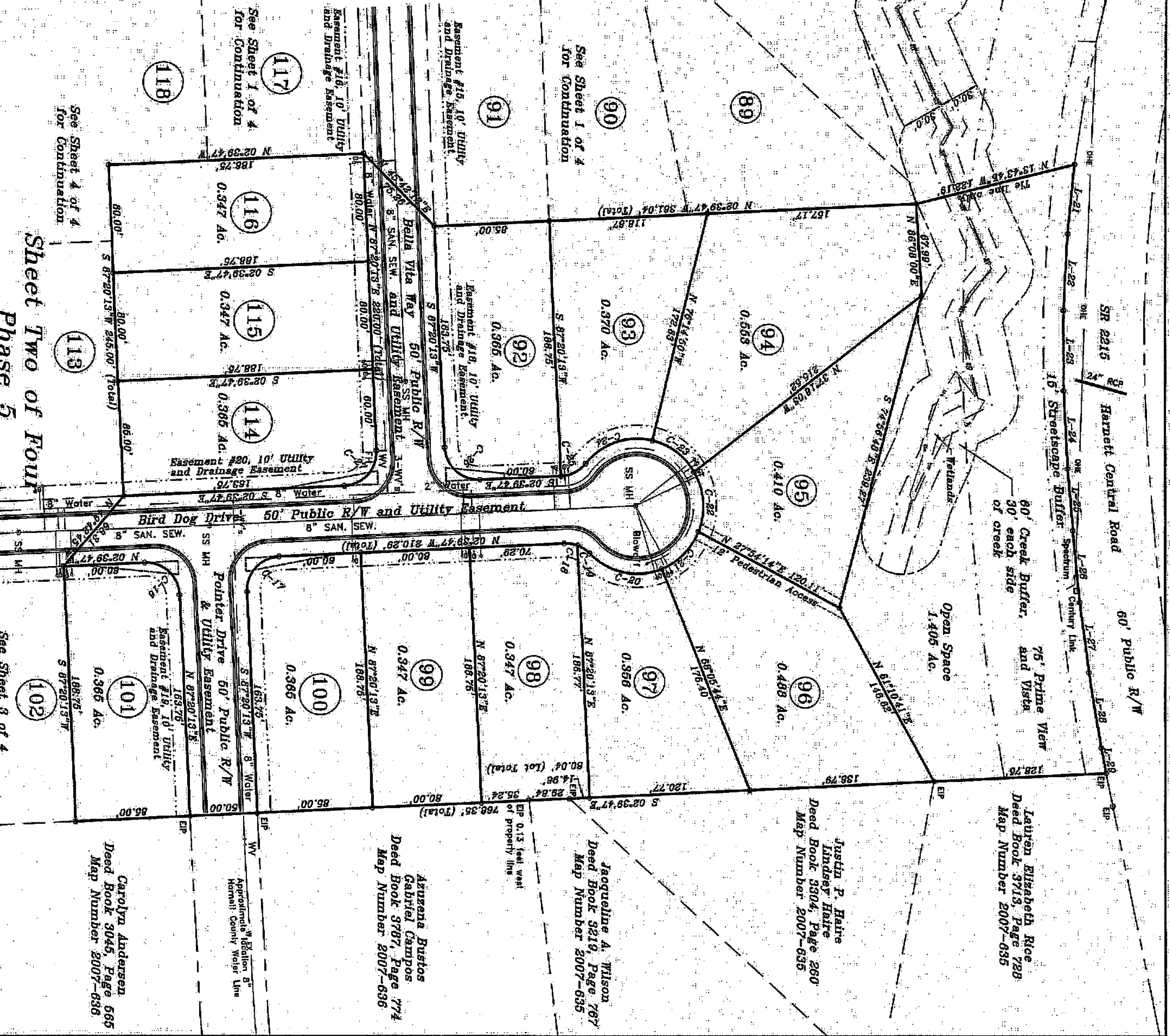
THE OWNER, DEVELOPER, OR CONTRACTOR SHALL SET THE CENTERLINE OF THE EXISTING ROADWAY DITCH BACK TO A MINIMUM OF 12 FEET FROM THE EXISTING / PROPOSED EDGE OF PAVEMENT ALONG ALL ROAD FRONT LOTS.



See Sheet One of Four, Three of Four and and Four of Four for additional signatures, certifications, statements, references, seals, notes, etc.

Wetlands Note:
 Any impact to include but not limited to, clearing and/or filling will be subject to prior inspection, permitting and approval by the Army Corps of Engineers, NC DEMR and or NC DWR.

Course	Bearing	Distance
C-1	S 84.17° 07' E	61.65'
C-2	S 07.70° 20' E	66.78'
C-3	N 87.49° 57' E	68.40'
C-4	N 87.08° 54' E	67.20'
C-5	N 85.28° 53' E	45.82'
C-6	N 84.30° 42' E	43.65'
C-7	N 82.40° 17' E	62.23'
C-8	N 80.45° 27' E	62.62'
C-9	N 79.09° 45' E	18.88'



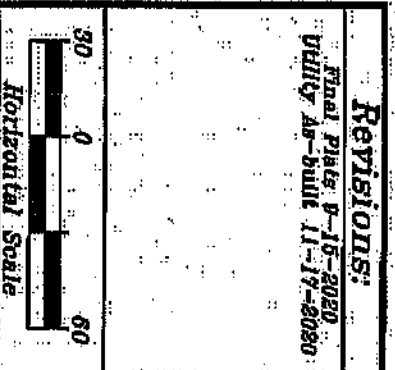
Sheet Two of Four
Phase 5
Quail Glen Subdivision

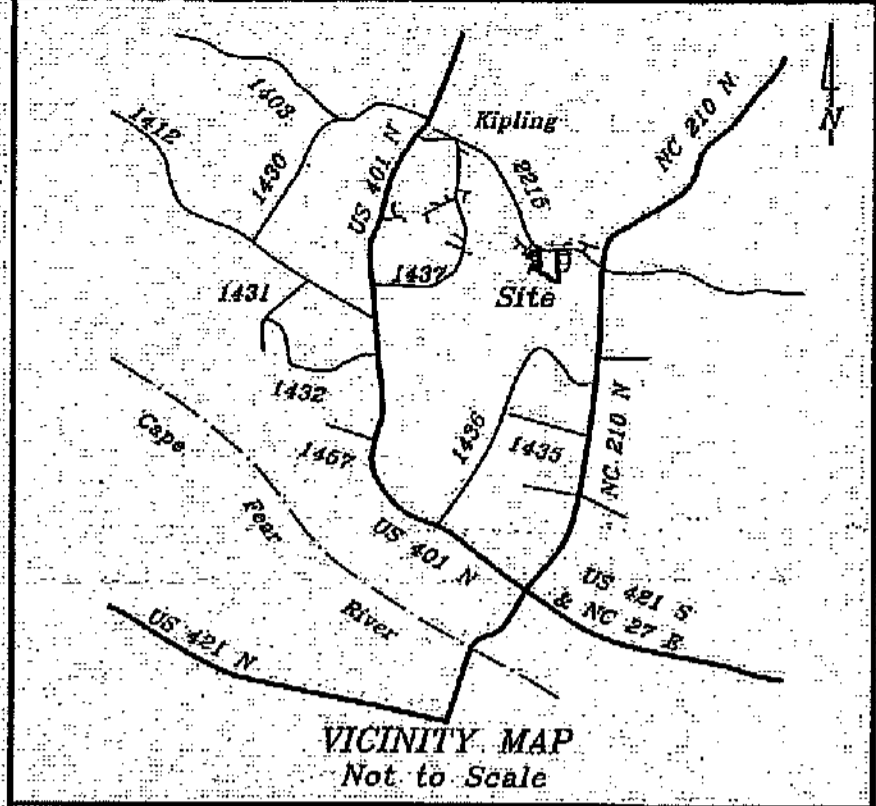
Owned by Surveyed and Mapped for:

Penny Road Developers, LLC
 10306 Penny Road Raleigh, NC 27606 919-862-7936

STANCIL & ASSOCIATES, Professional Land Surveyor, P.A. C-0831
 98 East Depot Street, P. O. Box 730, Angier, N.C. 27501
 Phone: 919-639-2133 Fax: 919-639-2802

TOWNSHIP: BLACK RIVER	COUNTY: HARNETT	DATE: 8-20-2018	SURVEYED BY: AKV	FIELD BOOK: LHR909.cgr
STATE: NORTH CAROLINA	PID: 110662 0022	SCALE: 1" = 60'	DRAWN BY: PAN	DRAWING FILE NO.:
ZONE: RA-30	PN: 0662-89-2092-000	CHECKED & CLOSE BY: V-W		LHR-909 LL





LEGEND:

— Lines Surveyed	TP Telephone Pedestal
- - - Lines Not Surveyed	MH Manhole
— Tie or Adjoining Lines	WM Water Meter
- - - Right of Way Lines	Esm't Easement
EP/ES Existing Iron Pipe or Stake	R/W Right-of-Way
ECM Existing Concrete Monument	C/L Centerline
EPK Existing P.K. Nail	F.C. Flat Cabinet
PKS P.K. Nail Set	D.B. Dead Book
EMN Existing MAG Nail	P.B. Plat Book
MNS MAG Nail Set	B.M. Book of Maps
ISS Iron Stake Set	PIN Parcel Identifier Number
CSS Cotton Spindle Set	Ac. Acres
ECS Existing Cotton Spindles	Sq. Ft. square feet
RBS Railroad Spike	CP Computed Point
ELS Existing Lightwood Stake	[] Street Address
PP Power Pole	
OHE Overhead Electric Lines	
FH Fire Hydrant	

N.C.C.S. North Carolina Geodetic Survey
 NAD 27 North American Datum of 1927
 NAD 83 North American Datum of 1983

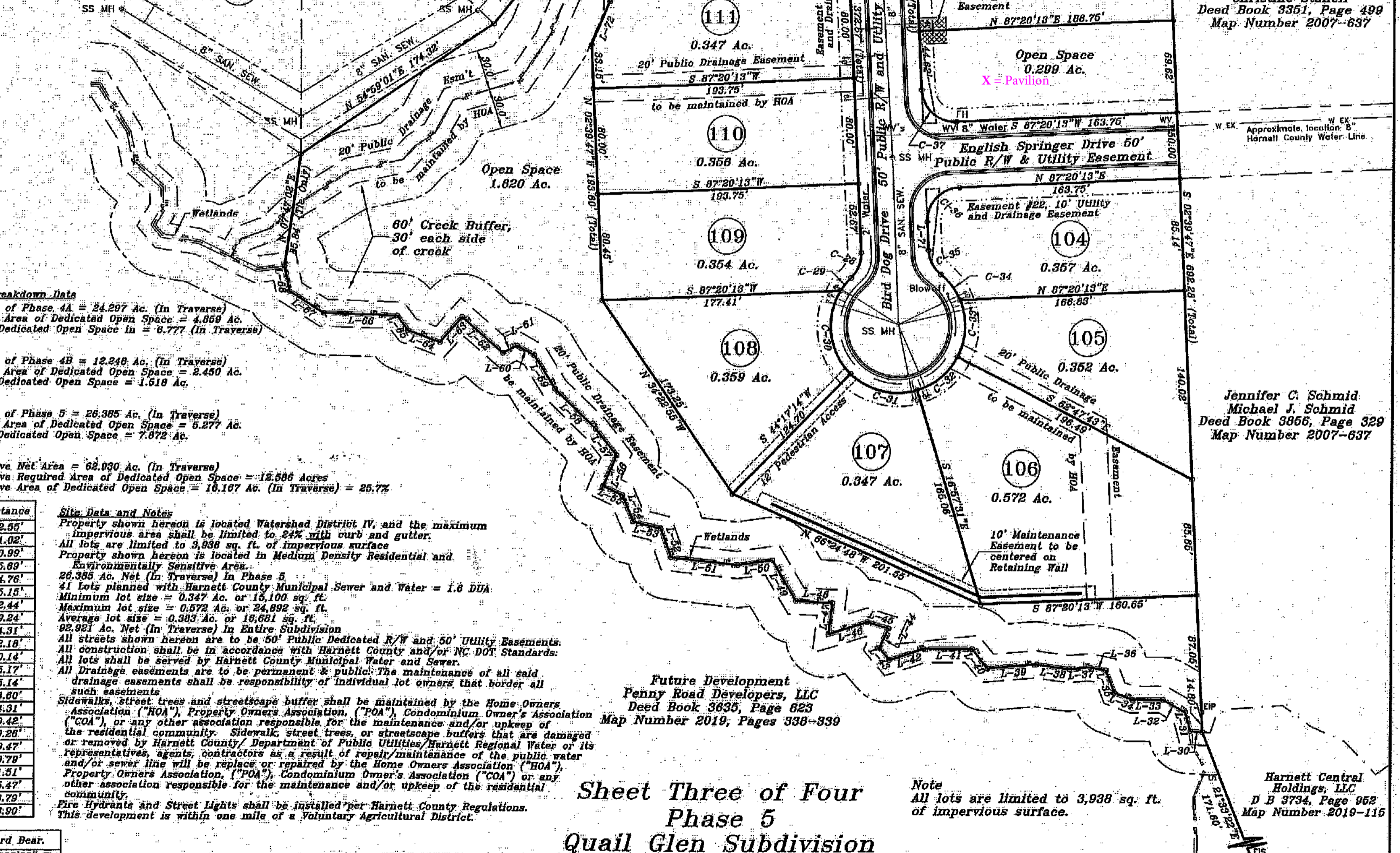
NOTES:
 * Iron Stakes set at all property corners, unless noted otherwise.
 * Areas determined by coordinate method.
 * All distances/dimensions are horizontal ground distances unless otherwise indicated.

Wetlands Note
 Any impact to include but not limited to, clearing and/or filling will be subject to prior inspection, permitting and approval by the Army Corps of Engineers, NC DENR and or NC DWQ.

FEMA FLOOD HAZARD STATEMENT
 Lots shown on this plat are not located within the FEMA Flood Hazard "Zone AE" as shown on FEMA map No. 3720064200J Effective Date: 10/3/2006

Harnett County Minimum Building Setback Requirements

FRONT: 30 feet
 REAR: 20 feet
 SIDE: 10 feet
 CORNER LOT SIDE: 30 feet



See Sheet One of Four, Two of Four and and Four of Four for additional signatures, certifications, statements, references, seals, notes, etc...

Course	Bearing	Distance	Course	Bearing	Distance
L-30	N 86°58'16" W	8.83'	L-52	N 19°58'57" W	22.55'
L-31	N 15°13'29" W	14.86'	L-53	N 78°29'20" W	21.02'
L-32	N 60°06'49" W	10.26'	L-54	N 23°28'39" W	20.99'
L-33	S 89°41'13" W	22.77'	L-55	N 64°53'46" W	15.69'
L-34	N 69°33'20" W	14.12'	L-56	N 23°34'42" E	24.76'
L-35	N 21°36'15" W	18.00'	L-57	N 38°32'45" W	25.15'
L-36	N 79°08'52" W	11.79'	L-58	N 46°12'42" W	42.44'
L-37	S 85°25'29" W	15.63'	L-59	N 31°48'55" W	29.24'
L-38	N 82°20'19" W	24.23'	L-60	N 80°57'36" W	14.31'
L-39	S 85°04'19" W	36.76'	L-61	S 65°14'18" W	12.18'
L-40	N 38°59'14" W	18.49'	L-62	N 48°50'33" W	40.14'
L-41	S 89°51'31" W	35.92'	L-63	S 41°14'50" W	25.17'
L-42	S 71°43'42" W	26.98'	L-64	N 70°04'00" W	25.14'
L-43	N 40°15'15" W	11.35'	L-65	N 37°24'26" W	13.80'
L-44	N 24°37'46" E	16.03'	L-66	N 88°19'36" W	54.31'
L-45	N 73°19'52" W	16.32'	L-67	N 57°35'50" W	30.42'
L-46	S 72°57'29" W	30.28'	L-68	N 11°30'47" W	10.26'
L-47	N 06°48'50" E	23.33'	L-69	N 38°36'24" E	49.47'
L-48	N 87°12'23" W	26.98'	L-70	N 58°16'23" E	50.79'
L-49	N 30°43'54" W	34.94'	L-71	N 02°39'47" W	21.51'
L-50	S 81°51'31" W	26.74'	L-72	N 22°07'23" E	35.47'
L-51	N 83°42'37" W	50.10'	L-73	N 31°55'50" W	16.79'
			L-74	N 05°27'57" W	33.90'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C-28	25.00'	21.03'	48°11'29"	20.41'	S 21°25'55" W
C-29	60.00'	12.19'	13°58'06"	12.16'	S 38°32'34" W
C-30	50.00'	87.43'	77°16'17"	62.44'	S 07°04'37" E
C-31	50.00'	53.45'	61°14'48"	50.94'	S 78°20'08" E
C-32	50.00'	40.00'	45°50'12"	38.94'	N 50°07'23" E
C-33	50.00'	43.70'	50°04'16"	42.32'	N 02°10'09" E
C-34	50.00'	24.42'	27°59'10"	24.18'	N 36°51'35" W
C-35	25.00'	21.03'	48°11'29"	20.41'	N 28°45'28" W
C-36	25.00'	38.27'	90°00'00"	35.36'	N 42°20'13" E
C-37	25.00'	38.27'	90°00'00"	35.36'	N 47°39'47" W

RECORDED IN HARNETT COUNTY, MAP NUMBER 2021 -

Revisions:
 Final Plat 9-15-2020
 Easement #23 11-17-2020
 Utility As-built 11-17-2020

Owned by, Surveyed and Mapped for:
Penny Road Developers, LLC
 10305 Penny Road Raleigh, NC 27606 919-382-7336

TOWNSHIP: BLACK RIVER COUNTY: HARNETT
 STATE: NORTH CAROLINA PID: 110662 0022
 ZONE: RA-30 PIN: 0662-93-2092.000

STANCIL & ASSOCIATES,
 Professional Land Surveyor, P.A. C-0831
 98 East Depot Street, P. O. Box 730, Angier, N.C. 27501
 Phone: 919-639-2133 Fax: 919-639-2602

DATE: 8-20-2018 SURVEYED BY: AKN FIELD BOOK: LHBR909.cgr
 SCALE: 1" = 60' DRAWN BY: PAN DRAWING FILE NO.: LHBR-909 MM
 CHECKED & CLOSURE BY: ✓

NOTE:
 A 10' x 70' Sight Triangle shall be placed at all street intersections as shown hereon.

Carolyn Andersen
 Deed Book 3045, Page 565
 Map Number 2007-636

James V. Stancil, III
 Christine Stancil
 Deed Book 3351, Page 499
 Map Number 2007-637

Jennifer C. Schmid
 Michael J. Schmid
 Deed Book 3866, Page 329
 Map Number 2007-637

Harnett Central Holdings, LLC
 D B 3734, Page 962
 Map Number 2019-115

Sheet Three of Four
 Phase 5
 Quail Glen Subdivision

Note
 All lots are limited to 3,938 sq. ft. of impervious surface.

