

GENERAL NOTES

GENERAL REQUIREMENTS:

- A. DRAWINGS. THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT ARCHITECT TO ANY UNFORESEEN CONSTRUCTION DIFFICULTIES BEFORE BEGINNING WORK. IN-FIELD REVISIONS SHALL NOT OCCUR WITHOUT ARCHITECT'S APPROVAL.
B. PRE-CONSTRUCTION MEETING. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, THE CONTRACTOR SHALL SCHEDULE, WITH OWNERS APPROVAL, A PRE-CONSTRUCTION MEETING WITH THE LOCAL BUILDING DEPT. OR LOCAL PUBLIC WORKS DEPT. VERIFY WHICH AGENCY WOULD BE INVOLVED. THE CONTRACTOR SHALL PROVIDE LOCAL INSPECTOR WITH 24 HOURS NOTICE PRIOR TO INSPECTION
C. TYPICAL WALL SECTIONS, FINISHES, AND DETAILS ARE NOT INDICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL.
D. CODES / PERMITS / REGULATIONS. ALL EXTERIOR SIGNAGE MUST BE SUBMITTED AND REVIEWED UNDER SEPARATE PERMIT APPLICATION.

CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY OTHER THAN THE BUILDING PERMIT. CONTRACTOR SHALL ALSO PAY FOR ALL OTHER CHARGES, FEES OR COSTS CHARGED BY THE BUILDING AND CONSTRUCTION DEPARTMENTS, UTILITY AGENCIES OR PRIVATE COMPANIES WHICH REQUIRE SUCH COSTS FOR OR PRIOR TO INSTALLATIONS.

NOTHING IN THE DRAWINGS SHALL BE CONSTRUCTED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES AND/OR RESTRICTIONS. SHOULD ANY CHANGE IN THE DRAWINGS BE NECESSARY IN ORDER TO COMPLY WITH APPLICABLE CODES AND/OR REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE AND CEASE WORK. ALL PARTS PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES, REGULATIONS, RESTRICTIONS, REQUIREMENTS AND CODES.

- E. AMENDED BY GOVERNING CITY & ALL JURISDICTION RULES AND REGULATIONS. DIMENSIONS ARE SHOWN TO FACE OF MASONRY OR CENTERLINE OF OPENING, UNLESS DETAILED OTHERWISE ON DRAWINGS.

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND.

THE CONTRACTOR SHALL VERIFY ALL ROUGH-IN DIMENSIONS FOR THE EQUIPMENT FURNISHED AND INSTALLED BY HIMSELF/HERSELF OR OTHERS.

THE CONTRACTOR SHALL CONSULT THE PLANS OF ALL TRADES FOR OPENINGS THROUGH SLABS, WALLS, CEILINGS AND ROOFS.

- F. SHOP DRAWINGS REVIEW. PROVIDE SHOP DRAWINGS FOR THE ARCHITECTS/OWNERS AND AS REQUIRED BY THE CITY PRIOR TO CONSTRUCTION.

- G. CONTRACTOR TO FRAME OPENINGS IN WALLS, CEILINGS AND FLOORS FOR H.V.A.C. AND OTHER MECHANICAL OR ELECTRICAL WORK WHERE REQUIRED AND NOT OTHERWISE SHOWN ON THE PLANS.

- H. COMPLY WITH APPLICABLE REGULATIONS FOR BARRIER-FREE FACILITIES INCLUDING:

- 1). MAXIMUM THRESHOLD HEIGHT TO BE ONE HALF INCH (1/2") ALONG ACCESSIBLE ROUTE OF TRAVEL.
2). STAIR NOSINGS TO BE FLUSH, SLIP RESISTANT AND ROUNDED TO RADIUS OF ONE HALF INCH (1/2") MAXIMUM.

DOORS/WINDOWS:

- A. GLAZING. PROVIDE GLAZING PER CITY CODES. INSULATED UNITS SHALL BE CLASS 40 GLAZING WITH LOW ARGON GAS.

GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SUCH AS PANES IN DOORS, GLAZING WITHIN A 24" ARC OF A DOOR OPENING, GLAZING WITHIN 18" OF THE FLOOR (AND IS OVER 9 SQ. FT. PER PANEL) SHALL BE TEMPERED GLASS OR LAMINATED SAFETY GLASS PER CODE.

GLAZING U-VALUE (AMMA TESTED) U-40 MAXIMUM.

FIRE PROTECTION:

- A. GO TO EXTEND THE EXISTING AUTOMATIC FIRE SPRINKLER SYSTEM AS REQUIRED. GET SYSTEM DESIGN APPROVED BY GOVERNING CITY'S BUILDING DEPARTMENT AND FIRE DEPARTMENT PRIOR TO INSTALLATION (IF APPLICABLE).

- B. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY INTERNATIONAL BUILDING CODE AND LOCATE PER FIRE MARSHAL'S DIRECTION. 1 FIRE EXTINGUISHER PER 3,000 S.F. OF BUILDING AREA WITHIN 75'-0" TRAVEL DISTANCE BETWEEN EXTINGUISHERS.

- C. MAINTAIN STRUCTURAL AND FIRE RESISTIVE INTEGRITY AT EXTERIOR AND RATED INTERIOR WALL PENETRATIONS FOR ELECTRICAL, MECHANICAL, PLUMBING AND COMMUNICATIONS CONDUITS, PIPED AND SIMILAR SYSTEMS PER CITY'S CODE.

THERMAL/MOISTURE PROTECTION:

- A. OPENINGS. ALL OPENINGS TO BE CAULKED, SEALED OR WEATHER-STRIPPED.

ALL FLASHING AND ARCHITECTURAL SHEET METAL TO BE 24 GAUGE GALVANIZED STEEL, FACTORY PRIMED AND FIELD PAINTED. 10'-0" LENGTHS, PER SMACNA MANUAL UNLESS OTHERWISE NOTED.

- B. CAULKING AND SEALANTS. USE PRIMERS AS REQUIRED BY MANUFACTURER. BACKING RODS OR TAPE AS RECOMMENDED BY MANUFACTURER. USE POLYURETHANE SEALANTS AT CONCRETE FLOOR AND SIDEWALK JOINTS. ALL OTHER LOCATIONS USE POLYSULFIDE OR SILICONE.

- C. VAPOR BARRIERS. CONTINUOUS APPROVED VAPOR BARRIERS SHALL BE INSTALLED ON THE HEATED SIDE OF ALL THERMAL INSULATION INSTALLED.

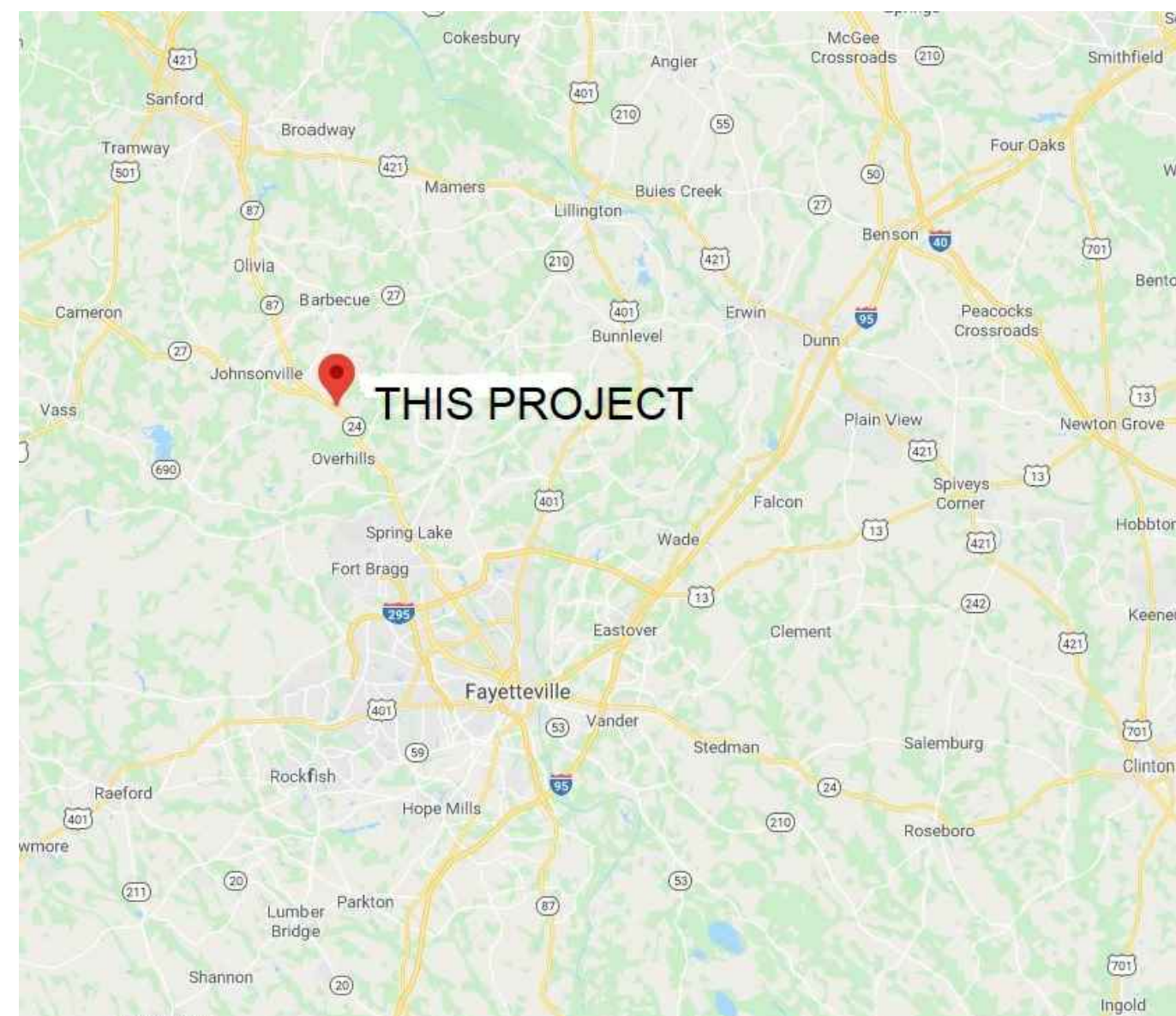
- D. INSULATION. PROVIDE INSULATION PER LOCAL CODE, COMPONENT PERFORMANCE APPROACH.

GENERAL NOTES:

- 1. PRIOR TO DEMOLITION, VERIFY IN FIELD EXISTING WALLS AND IF ANY STRUCTURAL COLUMNS EXIST. IF SO, CONTACT ARCHITECT IMMEDIATELY.
2. CONTRACTOR TO MAINTAIN PROPER LIGHTING, SANITATION AND VENTILATION AT ALL TIMES.
3. ALL WORK MUST BE APPROVED BY BUILDING INSPECTOR PRIOR TO COVERING WORK.
4. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN A WATER AND WEATHER TIGHT BUILDING.
5. ALL WORK TO BE PERFORMED TO CODE BY LICENSE CONTRACTORS PERFORMING WORK IN THEIR SPECIFIC TRADE ONLY.
6. ALL DESIGN, DRAWINGS, AND DETAILS REPRESENT COMPLETE WORK IN PLACE. ARCHITECT SHALL HAVE NO CONTROL OR CHANGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION.
7. INTERIOR PARTITIONS NOTED ON PLANS MAY BE SHOWN AS NOMINAL DIMENSIONS. SUCH AS 5" INTERIOR WALL REFERS TO GYPSUM BOARD EACH OVER 3-5/8" STUDS. STUD SPACING IS 24" O.C.
8. ALL DEBRIS GENERATED FROM CONSTRUCTION MUST BE KEPT ON THE SITE IN EITHER AN ENCLOSED AREA OR HAULED AWAY DAILY, AND DISPOSED OF LEGALLY OFF-SITE.
9. EXTERIOR SIGNAGE IS NOT PART OF THIS CONTRACT OR PERMIT EXCEPT ELECTRICAL ROUGH-IN AND BLOCKING. SIGN CONTRACTOR SHALL MAKE SEPARATE SUBMITTAL TO THE CITY FOR REVIEW AND PERMIT.
10. KEEP ALL PIPING AND CONDUIT AS CLOSE TO WALLS AND ROOF DECK AS POSSIBLE AND ALL DUCTWORK AS CLOSE TO ROOF AS POSSIBLE. WHERE EXPOSED, ALL PIPING CONDUIT AND DUCTWORK SHALL BE PAINTED UNLESS NOTED. ALL PIPING CONDUIT SHALL BE ORGANIZED IN A NEAT MANNER RUNNING PARALLEL OR PERPENDICULAR TO ROOF FRAMING MEMBERS.
11. MAXIMUM FLAME SPREAD CLASSIFICATION OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILING SHALL NOT EXCEED THAT SET FORTH IN FLAME SPREAD TABLE OF THE BUILDING CODE.
12. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND COORDINATE WITH ARCHITECT ANY CONFLICTS WITH THE PLANS.
13. PERFORM THE REMOVAL, CUTTING, AND DRILLING WITH THE CARE USE OF THE SMALLEST TOOLS SO AS TO NOT DAMAGE THE STRUCTURAL INTEGRITY OF THE BUILDING.
14. TO SAW CUT AT EXISTING RESTROOM LOCATION, USE SAWS AND COREDRILLS. DO NOT USE JACKHAMMER UNDER ANY CIRCUMSTANCES.

SCOPE OF WORK: THIS PROJECT IS A 2ND GENERATION FIT-UP AND WILL CONSIST OF AN INTERIOR TENANT IMPROVEMENT WITHIN A COMPLETED RETAIL SHELL BUILDING. PROJECT HAS BEEN APPROVED BY THE LANDLORD AND HAS A SIGNED LEASE. THERE WILL BE NO MODIFICATIONS TO THE SITE UNDER THIS PERMIT. EXISTING STOREFRONT GLASS AND DOORS TO REMAIN.

SITE MAP



REFERENCE SYMBOLS

Table with 4 columns: Reference Symbol, Reference Tag, Reference Type, Reference Symbol. Includes symbols for Door Tag (1), Room Tag (100), Detail Reference (1/A4), and Revision (1).

ABBREVIATIONS

Table of abbreviations for building materials and components, including ACP, ACT, AL, ALUM, ARCH, AVG, BLDG, BLKG, BR, CMU, CT, CFM, CL, CLG, CONC, CONT, CW, DTL, DF, DIA, DIM, DN, DR, DS, DWG, EA, ELEV, EXIST, OR EX, EXT, FDN, FIN, FD, FL, FLASH, FOIC, FO, FRP, FRT, GA, GALV, GL, GWB, HDWE, HM, HOR, HT, HW, HWH, HWT, LAV, LT, MAT'L, MAX, MTL, MIN, MO, MUL, N/A, NIC, NO, NOM, NTS, OC, OD, PT, FLASHING, FINISHED BY CONTRACTOR, FIBERGLASS REINFORCED PANELS, FIRE RETARDANT TREATED, GAUGE, GALVANIZED, GLASS, GYPSUM WALLBOARD, HARDWARE, HOLLOW METAL, HORIZONTAL, HEIGHT, HOT WATER, HOT WATER HEATER, HOT WATER TANK, LAVATORY, LIGHT, MATERIAL, MAXIMUM, METAL, MINIMUM, MASONRY OPENING, MULLION, NOT APPLICABLE, NOT IN THIS CONTRACT, NUMBER, NOMINAL, NOT TO SCALE, ON CENTER, OUTSIDE DIMENSION, PAINT, PLAM PLYWD, R, REBAR, REF, REV, RM, RMS, RO, S & V, SC, SCHED, SEC, SHEET, SHS, SPEC, SF, ST, STOR, STRUCT, SUSP, SV, SS, TB, TD, THRESH, TYP, UNFIN, UR, VCT, VERT, VST, W, WC, WD, WDW, WP, PLASTIC LAMINATE PLYWOOD, RISER, RADIUS REINFORCING BAR, REFERENCE REVISION, ROOM, ROOMS ROUGH OPENING, SATIN AND VARNISH, SOLID CORE, SCHEDULE, SECTION, SHEET, SPECIFICATIONS, SQUARE FEET, STEEL, STORAGE, STRUCTURAL SUSPENDED SHEET VINYL, STAINLESS STEEL, TELEPHONE MOUNTING BOARD, TRENCH DRAIN, THRESHOLD, TYPICAL, UNFINISHED, URINAL, VINYL COMPOSITION TILE, VERTICAL, VINYL SAFETY TILE, WIDTH, WATER CLOSET, WOOD, WINDOW, WATERPROOF.

CONTACT INFORMATION

Table with 3 columns: Tenant Information (FELICIA R. BANKS, 804-405-8866), Corporate Information (TROPICAL SMOOTHIE CAFE, 1117 Perimeter Center W W200, Atlanta, GA 30338), Building Department (HARNETT COUNTY BUILDING DEPARTMENT, 108 E. FRONT STREET, LILLINGTON, NC 27546), Project Manager (CHRIS NEAL, 8501 E. Greenway Pkwy #103-707, SCOTTSDALE, AZ 85254), Landlord (ELMWOOD HOLDINGS, LLC, PO BOX 87555, FAYETTEVILLE, NC 28304), Health Department (HARNETT COUNTY HEALTH, 910-893-7547), Grand Restaurant / Foodservice Equipment & Supply (MARK CDX, CFSP, 3650 ANNAPOLIS LANE, N. #107, PLYMOUTH, MN 55447), Qualserv (7400 S. 28th Street, Fort Smith, AR 72908), Micros/Oracle (GARRETT STOM, 910-893-7525), Retail Technology Group (1663 FENTON BUSINESS PARK CDURT, FENTON, MD 63026), The Howard Company, Inc. (1375 N. BARKER ROAD, BROOKFIELD, WI 53045), Ulteridr Motives International, Inc. (1081 OHIO DRIVE, SUITE 2, PLANO, TX 75093), Nicholas Stauff, CDT (262) 317-7751, Lauren Salvi (262) 317-7702, Leah Utzman (214) 826-0011, Allison Graber (214) 826-0011.

A TENANT IMPROVEMENT FOR



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OAKS CROSSING AT NORTH GATE

1546 NC HWY 24 /87
CAMERON, NC 28326
STORE #NC-079

PROJECT DATA

PROJECT NAME: TROPICAL SMOOTHIE CAFE
PROJECT ADDRESS: 1546 NC HWY 24 / 87 CAMERON, NC 28326
LOCAL JURISDICTION: BUILDING & SAFETY - HARNETT COUNTY BUILDING HEALTH: HARNETT COUNTY / NC STATE
PARCEL NO: 9584-88-6096.000 / TRACK: 019594 0035 02
CODES UTILIZED: 2018 EDITION OF THE NORTH CAROLINA BUILDING CODE
PROPOSED USE: RESTAURANT
CONSTRUCTION TYPE: II-B (NON SPRINKLERED)
OCCUPANCY GROUP: B (Occupancy less than 50 per Sect 303.1 - Exception #1)
TOTAL S.F.: 1,567 S.F. (CONFIRM W/ LEASE)

DINING AREA 550 S.F. / 15 = 37
KITCHEN/SERVICE AREA 370 S.F. / 200 = 2
HALLWAY/RESTROOM 140 S.F. / 0 = 0

ACTUAL INTERIOR SEATING: 37 SEATS (5% -H/C AREAS PROVIDED)
TOTAL OCCUPANT LOAD: 39 - SEE SHEET A1.1

1 EXIT(S) REQUIRED, 1 EXIT(S) PROVIDED (OCCUPANT LOAD 39 < 50)

2 RESTROOMS REQUIRED, 2 RESTROOMS PROVIDED

NO STRUCTURAL WORK IS TO BE PERFORMED UNDER THIS PERMIT. NO SITE WORK IS TO BE PERFORMED UNDER THIS PERMIT.

(3) EMPLOYEES MAXIMUM

EXTERIOR SIGN UNDER SEPARATE PERMIT BY SIGN COMPANY - INSTALLED BY SIGN COMPANY

NOTE: WALK-IN COOLER IS SELF CONTAINED AND DOES NOT HAVE A REMOTE CONDENSER, A SEPARATE PERMIT IS NOT REQUIRED FOR THIS TYPE OF REFRIGERATION.
NOTE: THIS BUILDING IS NOT EQUIPPED WITH A FIRE ALARM OR SPRINKLER SYSTEM.

INDEX OF SHEETS

Table with 2 columns: Sheet ID, Description. Includes A0.0 TITLE SHEET, A1.0 2018 APPENDIX B, A1.1 EGRESS / EXIT PLAN AND RESPONSIBILITY SCHEDULE, A1.2 ACCESSIBILITY AND SPECIFICATIONS, A1.3 EXISTING SITE PLAN / DEMO PLAN, A2.0 FLOOR PLAN, A2.1 FINISH PLAN, A2.2 LOW VOLTAGE PLAN, A2.3 WALL BACKING PLAN, A3.0 REFLECTED CEILING PLAN, A4.0 ELEVATIONS, A4.1 ELEVATIONS, A5.0 EQUIPMENT PLAN, A6.0 DETAILS, A6.1 DETAILS, A6.2 DETAILS, A7.0 SPECIFICATIONS, A7.1 SPECIFICATIONS.

Table with 2 columns: Sheet ID, Description. Includes M0 MECHANICAL COM CHECK, M1 MECHANICAL SCHEDULES/ PLAN AND NOTES, M2 MECHANICAL DETAILS, M3 MECHANICAL SPECIFICATIONS.

Table with 2 columns: Sheet ID, Description. Includes P1 PLUMBING SYMBOLS & SCHEDULES, P2 PLUMBING PLANS, P3 PLUMBING DETAILS, P5 PLUMBING SPECIFICATIONS.

Table with 2 columns: Sheet ID, Description. Includes E1 ELECTRICAL NOTES, E2 ELECTRICAL LIGHTING PLAN, E3 POWER PLAN-SINGLE-LINE DIAGRAM, & PANEL.

SET DATED: 12.05.2020

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Architect

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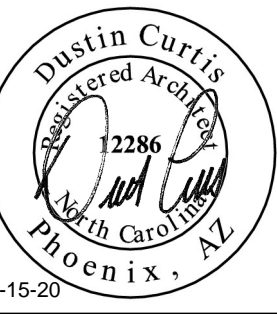


TSC: NC-079

REVISION

- 1
2
3

DATE: 12.05.2020



COVER SHEET

A0.0

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN

(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone

winter dry bulb: 23.6F
summer dry bulb: 92.4F

Interior design conditions

winter dry bulb: 73F
summer dry bulb: 70F
relative humidity: 50%

Building heating load: 500 MBH
Building cooling load: 400 MBH

Mechanical Spacing Conditioning System

Unitary description of unit: Packaged Gas Heat Rooftop Unit
heating efficiency: 90% AELIE
cooling efficiency: 12.2 EER
size category of unit: 8.5 ton
Boiler
Chiller
List equipment efficiencies:

2018 NC Administrative Code and Policies

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN

(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

ELECTRICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Method of Compliance:

Energy Code: X Prescriptive Performance
ASHRAE 90.1: Prescriptive Performance

Lighting schedule (each fixture type)

Type SL LED
12 LED's
LED Driver
1 Driver per fixture
50.2 Input watts per fixture (includes heater)

Type WS LED
of LED's TBD
LED Driver
of LED drivers TBD
50 Input watts per fixture identified as allowance

Total Exterior wattage specified is 650 W which is less than the 996 W allowed (includes 600 supplemental watts)

No interior lighting specified other than LED Exit signs.

Additional Prescriptive Compliance

506.2.1 More Efficient Mechanical Equipment
506.2.2 Reduced Lighting Power Density
506.2.3 Energy Recovery Ventilation Systems
506.2.4 Higher Efficiency Service Water Heating
506.2.5 On-Site Supply of Renewable Energy
506.2.6 Automatic Daylighting Control Systems

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ENERGY SUMMARY

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: Yes (The remainder of this section is not applicable)

Exempt Building: Select one Provide code or statutory reference:

Climate Zone: N/A

Method of Compliance: Select one (If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)

Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Skylights in each assembly:
U-Value of skylight:
total square footage of skylights in each assembly:

Exterior Walls (each assembly)

Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing):
U-Value of assembly:
Solar heat gain coefficient:
projection factor:
Door R-Values:

Walls below grade (each assembly)

Description of assembly:
U-Value of total assembly:
R-Value of insulation:

Floors over unconditioned space (each assembly)

Description of assembly:
U-Value of total assembly:
R-Value of insulation:

Floors slab on grade

Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated:

2018 NC Administrative Code and Policies

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN

(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

STRUCTURAL DESIGN

DESIGN LOADS:

Importance Factors: Wind (IW) 1.0
Snow (IS) 1.0
Seismic (IE) 1.0

Live Loads: Roof 20 psf
Mezzanine 25 psf
Floor 25 psf

Ground Snow Load: 20 psf

Wind Load: Basic Wind Speed 100 mph (ASCE-7)
Exposure Category C
Wind Base Shears (for MWFRS) Vx = 32K Vy = 20K

SEISMIC DESIGN CATEGORY: A XH C D

Provide the following Seismic Design Parameters:

Occupancy Category (Table 1604.5) I XII III IV

Spectral Response Acceleration SS 0.162 %g S1 0.080 %g

Site Classification (Table 1613.2) A B C D E F

Data Source: Field Test X Prescriptive Historical Data

Basic structural system (check one) X Bearing Wall Dual w/Special Moment Frame

Building Frame Dual w/Intermediate R/C or Special Steel Moment Frame Inverted Pendulum

Seismic base shear: Vx = 33K Vy = 33K

Analysis Procedure: Simplified X Equivalent Lateral Force Dynamic

Architectural, Mechanical, Components anchored? Yes X No

Lateral design Control: Earthquake Wind

Soil Bearing Capacities: Field Test (provide copy of test report) psf

Prescriptive Bearing capacity 2000 psf

Pile size, type, and capacity

SPECIAL INSPECTIONS REQUIRED: Yes X No

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Table with columns: Direction, Distance, Existing, etc. Rows include North, East, West, South, Interior walls and partitions, Floor Construction, etc.

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS table with columns: FIRE SEPARATION DISTANCE, DEGREE OF OPENINGS PROTECTION, ALLOWABLE AREA, ACTUAL SHOWN ON PLANS

LIFE SAFETY SYSTEM REQUIREMENTS table with columns: Emergency Lighting, Exit Signs, Fire Alarm, Smoke Detection Systems, Carbon Monoxide Detection

LIFE SAFETY PLAN REQUIREMENTS table with columns: Fire and/or smoke rated wall locations, Assumed and real property line locations, Exterior wall opening area, etc.

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- Exit access travel distances (1017)
Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
Dead end lengths (1020.4)
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
Actual occupant load for each exit door
A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
Location of doors with panic hardware (1010.1.10)
Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
Location of doors with electromagnetic egress locks (1010.1.9.9)
Location of doors equipped with hold-open devices
Location of emergency escape windows (1030)
The square footage of each fire area (202)
The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107) table with columns: TOTAL UNITS, ACCESSIBLE UNITS REQUIRED, ACCESSIBLE UNITS PROVIDED, TYPE A UNITS, etc.

ACCESSIBLE PARKING (SECTION 1106) table with columns: LOT OR PARKING AREA, TOTAL # OF PARKING SPACES, # OF ACCESSIBLE SPACES PROVIDED, etc.

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1) table with columns: USE, WATERCLOSETS, URINALS, LAVATORIES, SHOWERS, DRINKING FOUNTAINS

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

2018 NC Administrative Code and Policies

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: Tropical Smoothie Cafe
Address: 1546 NC HWY 24/87 Cameron Zip Code 28326
Owner/Authorized Agent: Chris Neal, PM Phone # (480) 297-5577 E-Mail cneal@neptunedg.com
Owned By: Private
Code Enforcement Jurisdiction: WAKE County

CONTACT table with columns: FIRM, NAME, LICENSE #, TELEPHONE #, E-MAIL

2018 NC BUILDING CODE: FIRST TIME FIT-UP
2018 NC EXISTING BUILDING CODE: Alteration Level II N/A N/A
CONSTRUCTED: (date) 2018 CURRENT OCCUPANCY(S) (Ch. 3): B
RENOVATED: (date) PROPOSED OCCUPANCY(S) (Ch. 3): B (Less than 50)

OCCUPANCY CATEGORY (Table 1604.5): Current: II Proposed: II

BASIC BUILDING DATA
Construction Type: II-B
Sprinklers: No
Standpipes: No
Primary Fire District: No Flood Hazard Area: No
Special Inspections Required: No

Gross Building Area Table with columns: FLOOR, EXISTING (SQ FT), NEW (SQ FT), SUB-TOTAL

ALLOWABLE AREA
Primary Occupancy Classification(s): Business
Accessory Occupancy Classification(s):

2018 NC Administrative Code and Policies

Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions: (Chapter 5 - List Code Sections):
Mixed Occupancy: Select one Separation: Select one Exception:
Select one
Actual Area of Occupancy A + Actual Area of Occupancy B
Allowable Area of Occupancy A Allowable Area of Occupancy B <= 1

Table with columns: STORY NO., DESCRIPTION AND USE, (A) BLDG AREA PER STORY (ACTUAL), (B) TABLE 506.2 AREA, (C) AREA FOR FRONTAGE INCREASES, (D) ALLOWABLE AREA PER STORY OR UNLIMITED

- Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase I = 100(F/P) - 0.25I x W/30 = (%)
Unlimited area applicable under conditions of Section 507.
Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
Frontage increase is based on the unspinklered area value in Table 506.2.

ALLOWABLE HEIGHT table with columns: ALLOWABLE, SHOWN ON PLANS, CODE REFERENCE

*Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS table with columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE, RATING, DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, SHEET # FOR RATED PENETRATION, SHEET # FOR RATED JOINTS

2018 NC Administrative Code and Policies

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STORE# NC - 079

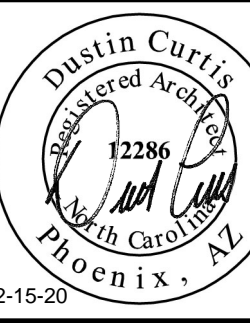
tropical SMOOTHIE CAFE
eat better. feel better.

TSC: NC-079

REVISION

Revision symbols and dates

DATE: 03.05.2020



12-15-20

APPENDIX B

A1.0

GENERAL NOTES

- ALL ROUGH-INS AND CONNECTIONS SHOWN ON THESE PLANS ARE FOR FOOD SERVICE FIXTURES AND EQUIPMENT PROVIDED BY THE EQUIPMENT VENDOR OR BY OUTSIDE PARTIES LISTED AS 'VENDOR' OR 'BY OTHERS'. ALL INFORMATION PROVIDED ON THESE PLANS ARE TO BE VERIFIED BY THE GENERAL CONTRACTOR THRU THE SPECIFICATIONS MANUAL PROVIDED BY THE EQUIPMENT VENDOR OR BY CONSULTING THE APPROPRIATE OUTSIDE PARTIES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL ROUGH-IN LOCATIONS AS NEEDED BY FIELD CONDITIONS FOR EQUIPMENT UTILITY CONNECTION(S) PER MANUFACTURER'S CURRENT SPECIFICATION SHEETS.
- SERVICE ROUGH-INS AND EQUIPMENT CONNECTIONS MUST BE MADE BY APPROPRIATE TRADES.
- ALL BUILDING PENETRATIONS REQUIRED FOR FOOD SERVICE EQUIPMENT INSTALLATION SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AND SEALED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.
- ALL WALL SUPPORT (BLOCKING) FOR WALL HUNG EQUIPMENT SHALL BE PROVIDED BY GENERAL CONTRACTOR PER PLAN.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER WORKING CONDITION AND MEETING CURRENT LOCAL CODE REQUIREMENTS FOR ANY / ALL EQUIPMENT LISTED ON THESE PLANS AS 'EXISTING'.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND WALL LOCATIONS. ALL DIMENSIONS ARE TO FINISHED WALL AND/OR CENTER LINES OF COLUMNS.
- ANY DIMENSIONS LABELED "HOLD" OR "CRITICAL" MUST MAINTAIN THAT FINISHED DIMENSION. ALL CORNERS TO BE 90° OR AS SPECIFIED. ANY DISCREPANCIES WITH SPECIFIED DIMENSIONS REQUIRING TRIM OR EQUIPMENT MODIFICATION IS TO BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR AT THEIR EXPENSE.
- GENERAL CONTRACTOR / OWNER SHALL BE RESPONSIBLE FOR INSURING THAT ALL ADDENDA AND CHANGES TO BUILDING PLANS WHICH ARE MADE PRIOR TO AND DURING CONSTRUCTION ARE PROVIDED TO TROPICAL SMOOTHIE CAFE.
- THESE DRAWINGS ARE NOT MEANT TO REPLACE ARCHITECTURAL OR ENGINEERING PLANS. IF DISCREPANCIES EXIST, REFER TO THE ARCHITECT'S CONSTRUCTION DOCUMENTS.
- THE LATEST DATED REVISION SUPERSEDES AND VOIDS ALL PREVIOUS DRAWINGS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COLLECTING ALL OLD COPIES OF THE PLAN SET & DISTRIBUTING CURRENT COPIES TO ALL SUBCONTRACTORS.
- REFER TO THE EQUIPMENT VENDOR WITH ANY CONCERNS OR QUESTIONS REGARDING DELIVERY AND STORAGE OF EQUIPMENT.
- FOLLOWING FINAL FIXTURES INSTALLATION THE GENERAL CONTRACTOR SHALL CLEAN-UP AND DISPOSE OF ALL TRASH, CARTONS, CREATES, DEBRIS, ETC.
- GENERAL CONTRACTOR TO REPLACE ALL HVAC FILTERS ONCE CONSTRUCTION IS COMPLETE
- GC MUST LOCATE THE EXISTING MAIN SEWER WASTE LINE PRIOR TO ISSUANCE OF PERMIT. GC TO INCLUDE CAMERA / X-RAY OF SLAB FOR LOCATION OF WASTE LINE WITHIN BID. GC MUST PROVIDE SKETCH TO PLUMBING ENGINEER PRIOR TO PERMIT ISSUANCE. IF RECEIVED AFTER PERMIT ISSUANCE ANY COST TO REVISE PLANS WILL BE BILLED TO THE GENERAL CONTRACTOR.

ABBREVIATION KEY

ABBR.	ABBREVIATION DESCRIPTION
F	FRANCHISEE
EV	EQUIPMENT VENDOR
GC	GENERAL CONTRACTOR
EC	ELECTRICAL CONTRACTOR
PC	PLUMBING CONTRACTOR
CC	CONTRACTOR'S CHOICE
LJ	LOCAL JURISDICTION
SC	SIGN COMPANY
VLL	VERIFY WITH LANDLORD
V	VENDOR
M	MICROS
RTG	RETAIL TECHNOLOGY GROUP
UMI	ULTERIOR MOTIVES INTERNATIONAL
HL	HERMITAGE LIGHTING
MMM	MUZAK (MOOD MEDIA)
C	CINTAS
UC	UTILITY COMPANY
SFS	SEE FINISH SCHEDULE
SPS	SEE PLUMBING SCHEDULE

RESPONSIBILITY MATRIX

NO.	QTY	EQUIPMENT DESCRIPTION	PROVIDER	VENDOR	INSTALLER
GENERAL REQUIREMENTS (DIVISION 1)					
*		BUILDING PERMIT	F	LJ	
		PERMIT FEES	F	LJ	
		UTILITIES	F	UC	
		FIELD VERIFY ALL EXISTING CONDITIONS	GC	GC	
		TEMPORARY FACILITIES	GC	CC	GC
		TRASH REMOVAL / CLEAN UP	GC	CC	GC
CONCRETE (DIVISION 3)					
		SLAB - NEW POUR / EXISTING	GC	CC	GC
		FLOOR/SLAB MOISTURE TEST	GC	CC	GC
METALS, WOOD & PLASTICS (DIVISION 5 & 6)					
		KNEE WALLS	GC	GC	GC
		WALLS / BULKHEADS	GC	CC	GC
		RAILINGS, SUPPORTS, BRACKETS	GC	CC	GC
		STRUCTURAL STEEL, SUPPORTS, BRACES, ETC	GC	CC	GC
		FRAMING / CARPENTRY	GC	CC	GC
		WALL CABINETS	F	EV	EV
		SOLID SURFACE COUNTER TOP	F	EV	EV
		BUTCHER BLOCK COUNTER TOP	F	EV	EV
		MILLWORK SOFFIT	F	EV	EV
THERMAL & MOISTURE PROTECTION (DIVISION 7)					
		ROOF PENETRATIONS	GC	CC	GC
		EXHAUST FAN CURB ON ROOF	GC	CC	GC
DOORS & WINDOWS (DIVISION 8)					
		NEW DOORS, FRAMES & HARDWARE	GC	CC	GC
		NEW GLASS STOREFRONT	GC	CC	GC
FINISHES (DIVISION 9)					
		WALL FINISHES (GYPSUM BOARD & FRP PER PLAN)	GC	CC	GC
		WALL FINISHES (PAINT, TILE, SPECIALTY)	GC	SFS	GC
		CEILING AND SUSPENSION GRID	GC	SFS	GC
		WOOD TRIM / FINISHES	GC	SFS	GC
		FLOORING FINISHES	GC	SFS	GC
		WALL BASE	GC	SFS	GC
		FIRE RATED PENETRATIONS CAULK & SEALANTS	GC	CC	GC
SPECIALTIES (DIVISION 10)					
		SIGNAGE PERMIT (EXTERIOR) & INSTALL	F	SC	SC
		INTERIOR SIGNS	F	EV	EV
		RESTROOM ACCESSORIES	GC	GC	GC
**		FIRE EXTINGUISHERS	GC	GC	GC
EQUIPMENT (DIVISION 11)					
		ALL KITCHEN EQUIPMENT (UNLESS NOTED)	F	EV	EV
		POS SYSTEMS AND MONITORS	F	M	RTG
FURNISHINGS (DIVISION 12)					
		FURNISHINGS (TABLES, CHAIRS, STOOLS)	F	EV	EV
		MARKET PLACE CABINET	F	EV	EV
		MENU BOARDS	F	EV	EV
AG-1		FOOD MONTAGE PHOTO	F	EV	GC
AG-2		DOCK PHOTO	F	EV	GC
AG-3		BEACH HUT PHOTO	F	EV	GC
AG-4		SURF BOARD PHOTO	F	EV	GC
***		WARE WASHING DETERGENT	F	C	C
SPECIAL CONSTRUCTION (DIVISION 13)					
		SURVEILLANCE SYSTEM	F	VLL	V
		SECURITY SYSTEM	F	VLL	V
***		MUSIC/ENTERTAINMENT	F	MMM	V
		FIRE SPRINKLER	GC	VLL	GC
		FIRE ALARM	GC	VLL	GC
MECHANICAL (DIVISION 15)					
		PLUMBING ROUGH-IN DWV & H2O DISTRIBUTION	GC	CC	GC
		RESTROOMS TOILETS AND SINKS	GC	SPS	GC
		WATER HEATER	GC	SPS	GC
		WALK-IN COOLER & FREEZER BOX	F	EV	GC
		NEW HVAC IF APPLICABLE	GC	CC	GC
		MECH CONNECTIONS/DUCT/DIFFUSERS/CONTROLS	GC	CC	GC
		TEST & BALANCE	GC	CC	GC
		PLUMBING CERTS & WATER TESTS	GC	CC	GC
ELECTRICAL (DIVISION 16)					
		ELECTRICAL ROUGH-IN WIRING	GC	CC	GC
		ELECTRICAL PANELS	GC	CC	GC
***		LIGHTING FIXTURES AND CONTROLS	GC	HL	GC
		TELECOMMUNICATIONS	F	UC	UC
		POS WIRING AND INSTALLATION	F	M	RTG

- * PROVIDED BY FRANCHISEE VIA PROJECT COORDINATOR
 ** LOCATION TO BE DETERMINED BY LOCAL FIRE JURISDICTION AUTHORITY
 *** PREFERRED VENDOR

CONSTRUCTION NOTES ARCHITECT'S DESIGN WITHOUT CONSTRUCTION PHASE SERVICES

SINCE DIRECT CONSTRUCTION OBSERVATIONS AND REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INCLUDED AS PART OF THE ARCHITECT'S BASIC SERVICES, IT IS UNDERSTOOD THAT SUCH RESPONSIBILITIES WILL BE ASSUMED BY OTHERS. NDG AVAILS ITSELF TO THE CLIENT, THE CONTRACTOR, AND ANY OTHER PARTIES AS NECESSARY (VIA TELEPHONE, FAX, AND EMAIL) IN ORDER TO ASSIST IN PROVIDING CLARIFICATIONS OR RESOLVING ISSUES AND PROBLEMS THAT MAY ARISE. ALTHOUGH MANY ISSUES CAN BE EASILY ADDRESSED WITHOUT THE ARCHITECT'S INVOLVEMENT, THERE ARE TIMES WHEN PARTICIPATION IS ADVISABLE. DETERMINATION OF WHEN INVOLVEMENT IS APPROPRIATE IS LEFT TO THE PROFESSIONAL DISCRETION OF THE CONTRACTOR. IT IS UNDERSTOOD THAT THE CLIENT AND/OR THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR INTERPRETATION OF THE DRAWINGS, AND ANY OTHER SUPPLEMENTAL INFORMATION, AND WHEN THE ARCHITECT IS DENIED THE OPPORTUNITY TO PROVIDE CLARIFICATIONS OR PARTICIPATE IN CHANGES TO THE DESIGN OR THE RESOLUTION OF ISSUES OR PROBLEMS, ALL PARTIES WAIVE ANY CLAIMS AGAINST THE ARCHITECT THAT MAY BE IN ANY WAY CONNECTED THERETO. NDG IS HELD HARMLESS FROM LOSS, CLAIM, OR COSTS ARISING OR RESULTING FROM MODIFICATIONS OR CHANGES MADE TO THE DESIGN (WITHOUT THE KNOWLEDGE OF THE ARCHITECT) DUE TO CONDITIONS OR CIRCUMSTANCES (ANTICIPATED OR NOT) BEYOND THE ARCHITECT'S CONTROL.

MECHANICAL, PLUMBING AND ELECTRICAL NOTES

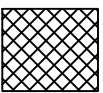
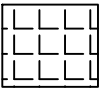
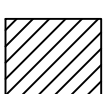
- THE RELATIONSHIP BETWEEN FLOOR SINKS AND NEW WALLS IS CRITICAL TO THE FINAL FIXTURE / EQUIPMENT LAYOUT. FLOOR SINKS AS SHOWN ON THE PLUMBING PLANS ARE DIMENSIONALLY LOCATED OFF OF NEW PARTITIONS, AND THEREFORE THE CONTRACTOR MUST COMPLETE PLAN LAYOUT ON SLAB PRIOR TO FINAL LOCATION OF FLOOR SINKS FOR ACCURATE FINAL PLACEMENT.

G.C. COMPLIANCE:

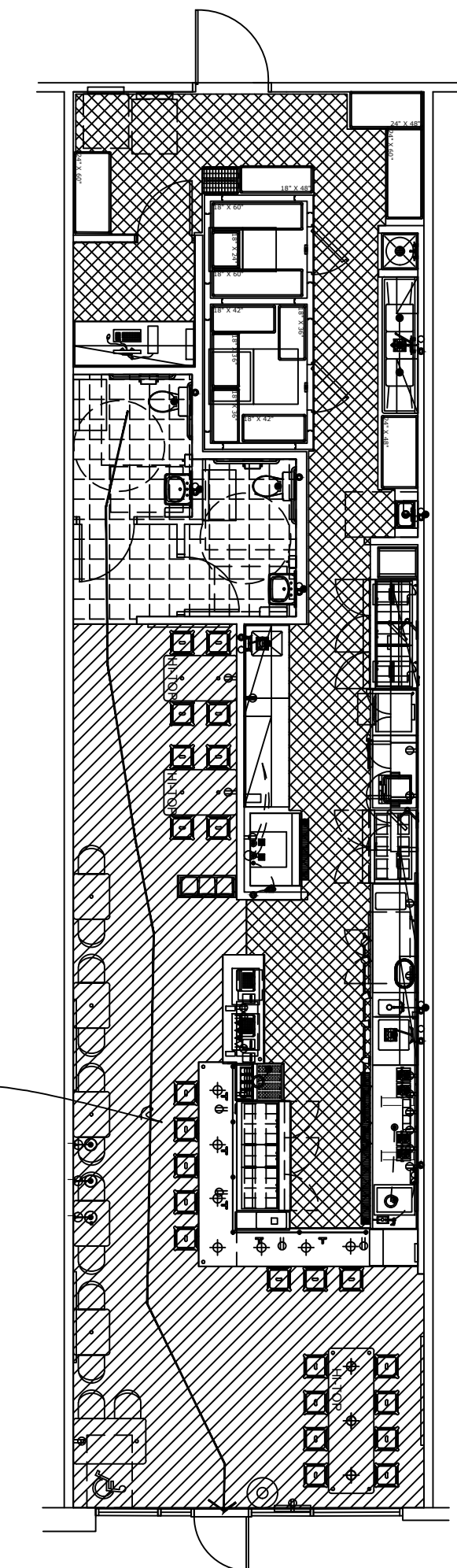
OWNER'S GENERAL CONTRACTOR SHALL VISIT THE PREMISES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO TENANT'S ARCHITECT. TENANT'S GENERAL CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC., AS SET FORTH BY THE LANDLORD.

G.C. COMPLIANCE:

OWNER'S SIGNAGE CONTRACTOR SHALL PREPARE SIGNAGE SHOP DRAWINGS AND SUBMIT TO BUILDING DEPT. & LANDLORD FOR APPROVAL. ALL SIGNAGE IS UNDER SEPARATE PERMIT.

-  KITCHEN/ SERVICE AREA
TOTAL SF: 370 SF / 200 = 2 OCCUPANTS
 -  RESTROOM / HALLWAY AREAS
TOTAL SF: 140 SF / 0 = 0 OCCUPANTS
 -  DINING AREAS
TOTAL SF: 550 SF / 15 = 37
- TOTAL OCCUPANT LOAD:
39 OCCUPANTS
- LESS THAN 50 = 1 EXIT REQUIRED.
- ACTUAL SEATING: 37
NOTE: ALL NON FIXED SEATS SHOWN

COMMON PATH OF TRAVEL
DISTANCE: 60'
36" MIN CLEAR SPACE REQUIRED



EGRESS / OCCUPANCY PLAN

SCALE: 1/8" = 1'-0"

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THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF ND ENTERPRISES, LLC. UNAUTHORIZED USE OR REPRODUCTION WITHOUT PERMISSION OF THE ARCHITECT IS PROHIBITED. THIS DRAWING IS ONLY FOR USE IN CONNECTION WITH THIS PROJECT AND SHALL NOT BE USED FOR OTHER LOCATIONS. COPRIGHT 2020

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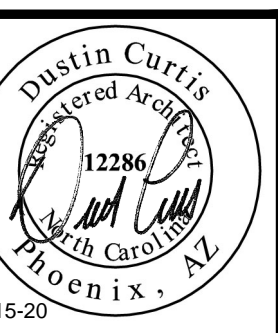
tropical CAFE
SMOOTHIE
eat better. feel better.

TSC: NC-079

REVISION

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- 2
- 3

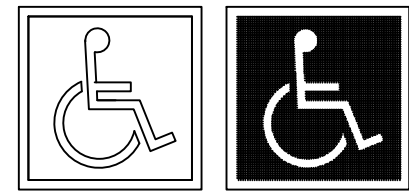
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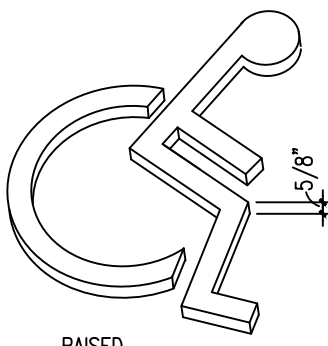
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SCHEDULE
EGRESS PLAN

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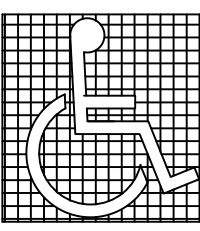
INTERNATIONAL ACCESSIBILITY SYMBOL



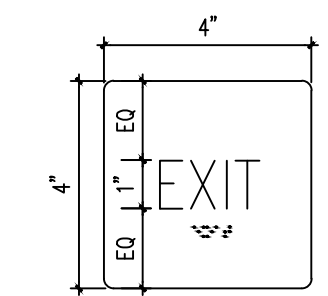
RAISED



UNISEX RESTROOM



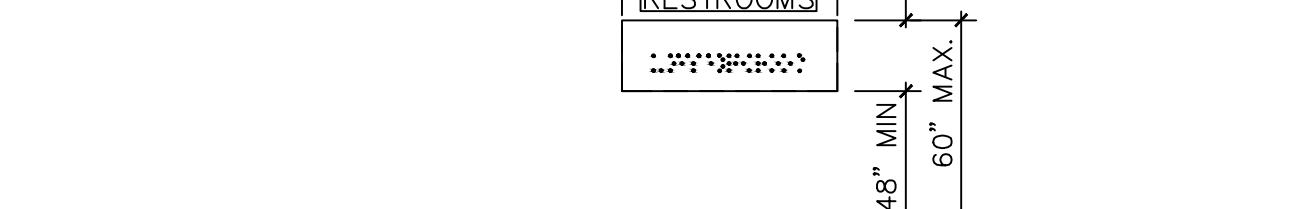
PROPORTIONS INTERNATIONAL SIGN OF ACCESSIBILITY



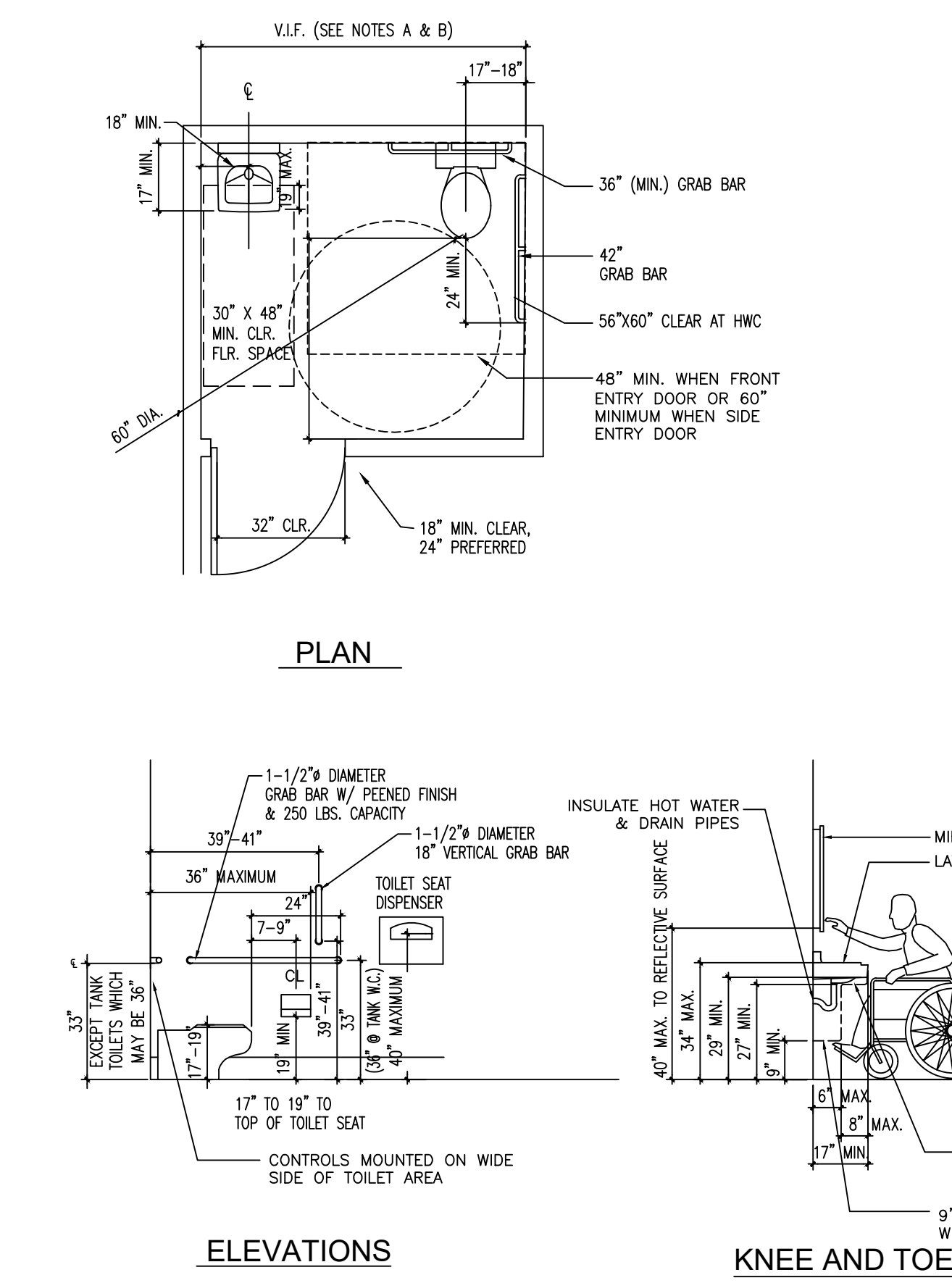
EXIT

- LETTERS AND NUMBERS:**
- LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE.
 - RAISED CHARACTERS OR SYMBOLS SHALL BE A MINIMUM OF 5/8" HIGH.
 - PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE A MINIMUM OF 6" IN HEIGHT.
 - CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
 - CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8" MINIMUM AND 2" MAXIMUM BASED ON THE HEIGHT OF UPPERCASE "T".
 - CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE REGULATIONS. DOTS SHALL BE 1/10" ON CENTERS IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40" ABOVE THE BACKGROUND.
- SIGN LOCATIONS:**
- ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
 - WHEN PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION 1117B.5.6. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT THE PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.
 - ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.
 - BUILDINGS REMODELED TO PROVIDE ACCESSIBLE SANITARY FACILITIES FOR PUBLIC USE SHALL HAVE INFORMATION POSTED IN THE LOBBY AS PART OF THE BUILDING DIRECTORY.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY:**
- STANDARD USED TO IDENTIFY ACCESSIBLE FACILITIES.
 - WHITE FIGURE ON BLUE BACKGROUND, COLOR # 15090 ON FEDERAL STANDARD # 595A.
 - WHEN ENFORCING AGENCY DETERMINES, IF APPROPRIATE, SPECIAL DESIGNS AND COLORS MAY BE APPROVED.
 - BRaille:
 - USE CONTRASTED GRADE 2 BRAILLE. DOTS TO BE 0.1 INCH ON CENTER IN EACH CELL.
 - 0.2 INCH SPACE BETWEEN CELLS.
 - DOTS RAISED MINIMUM 0.025 INCH ABOVE BACKGROUND.

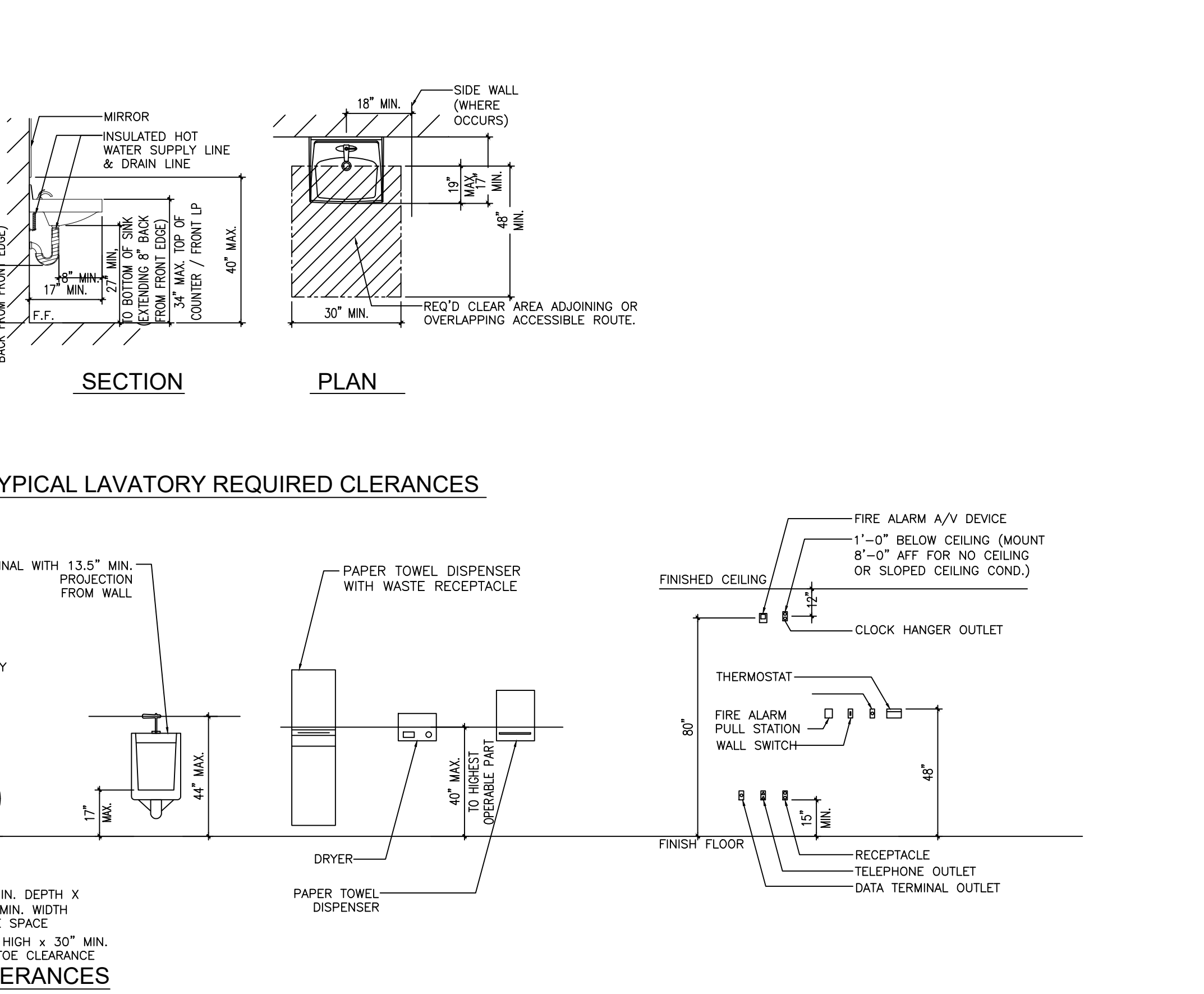
- TACTILE SIGNAGE**
- WHEN SIGNS IDENTIFY A PERMANENT ROOM OR SPACE OF A BUILDING OR SITE, OR WHEN SIGNS DIRECT OR GIVE INFORMATION ABOUT A PERMANENT ROOM OR SPACE OF A BUILDING OR SITE, CORRESPONDING TACTILE SIGNAGE SHALL BE INSTALLED.
 - WHEN SIGNS IDENTIFY, OR GIVE INFORMATION ABOUT ACCESSIBLE ELEMENTS AND FEATURE OF A BUILDING OR SITE, THEY SHALL INCLUDE THE APPROPRIATE SYMBOL OF ACCESSIBILITY OR PICTOGRAM, WITH THE EQUIVALENT VISUAL AND TACTILE DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE BORDER OF THE PICTOGRAM SHALL BE MINIMUM 6" IN HEIGHT.
 - VISUAL CHARACTERS SHALL BE UPPERCASE, STANDARD SANS SERIF FONT. THE HEIGHT OF VISUAL CHARACTERS SHALL BE A MINIMUM 5/8" PLUS 1/8" PER FOOT OF VIEWING DISTANCE OVER SIX FEET. CHARACTER WIDTH SHALL BE 55% MINIMUM AND 110% MAXIMUM OF THE HEIGHT OF THE CHARACTER. CHARACTER STROKE WIDTH OF VISUAL ONLY CHARACTERS SHALL BE A MINIMUM OF 10% OF THE CHARACTER HEIGHT, AND A MAXIMUM OF 30%. TACTILE SIGNAGE DUPLICATING THE INFORMATION SHALL BE PROVIDED, EITHER AS PART OF THE VISUAL SIGN OR A SEPARATE TACTILE SIGN PROVIDED.
 - TACTILE CHARACTERS SHALL BE UPPERCASE, STANDARD SANS SERIF FONT, RAISED 1/32" OFF THE BACKGROUND. THE HEIGHT OF TACTILE CHARACTERS SHALL BE BETWEEN 5/8" AND 2" CHARACTER WIDTH SHALL BE 55% MINIMUM AND 110% MAXIMUM OF THE HEIGHT OF THE CHARACTER. CHARACTER STROKE WIDTH SHALL BE A MINIMUM OF 10% OF THE CHARACTER HEIGHT, AND A MAXIMUM OF 15%. CHARACTERS SHALL BE ACCOMPANIED BY GRADE 2 BRAILLE.
 - GRADE 2 BRAILLE SHALL HAVE DOMED OR ROUNDED DOTS RAISED 1/40" OFF THE BACKGROUND, WITH DOTS SPACED 1/10" WITH-IN CELLS, AND 1/4" BETWEEN CELLS. (OR SPACED PER ANSI TABLE 703.5)
 - TACTILE SIGNS SHALL BE MOUNTED 48" MINIMUM, AND 60" MAXIMUM ABOVE THE FLOOR TO THE CENTERLINE OF THE SIGN. AN 18" X 18" CLEAR SPACE IS REQUIRED IN FRONT OF THE TACTILE SIGN, BEYOND THE ARC OF ANY DOOR SWING. WHERE SIGNS ARE MOUNTED AT DOORS, THE SIGN SHALL BE ON THE LATCH SIDE OF THE DOOR, WHERE SIGNS ARE MOUNTED AT DOUBLE DOORS, OR WHERE THERE IS NO WALL SPACE, THE SIGN SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL, PREFERABLY THE RIGHT SIDE.
 - CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. CHARACTERS, SYMBOLS AND BACKGROUNDS SHALL HAVE A NON-GLARE FINISH.



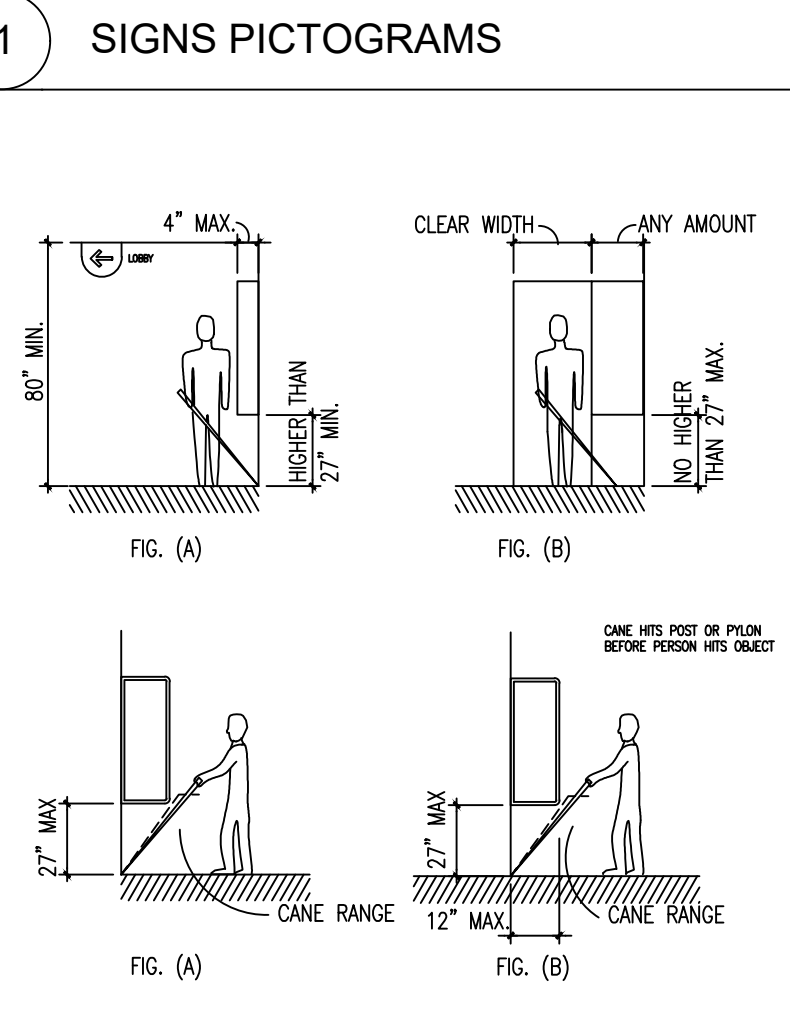
2 TACTILE SIGNAGE SCALE N.T.S.



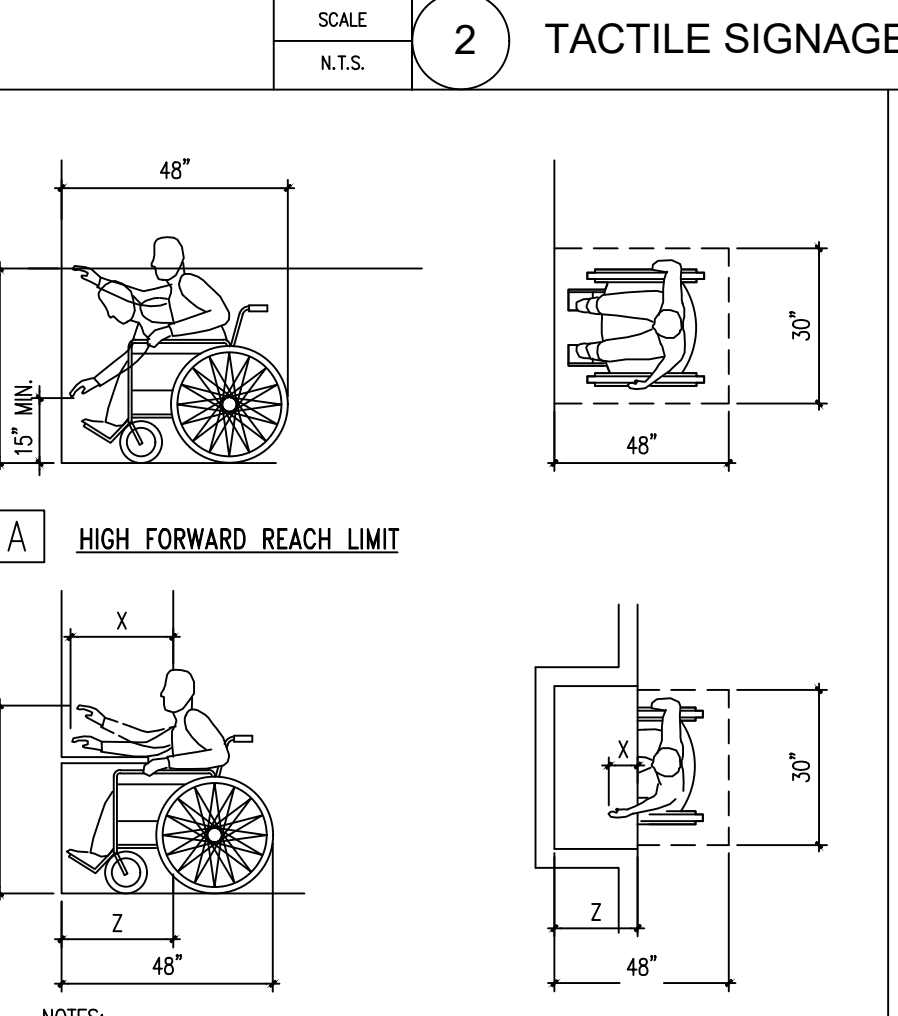
3 RESTROOM CLEARANCES SCALE N.T.S.



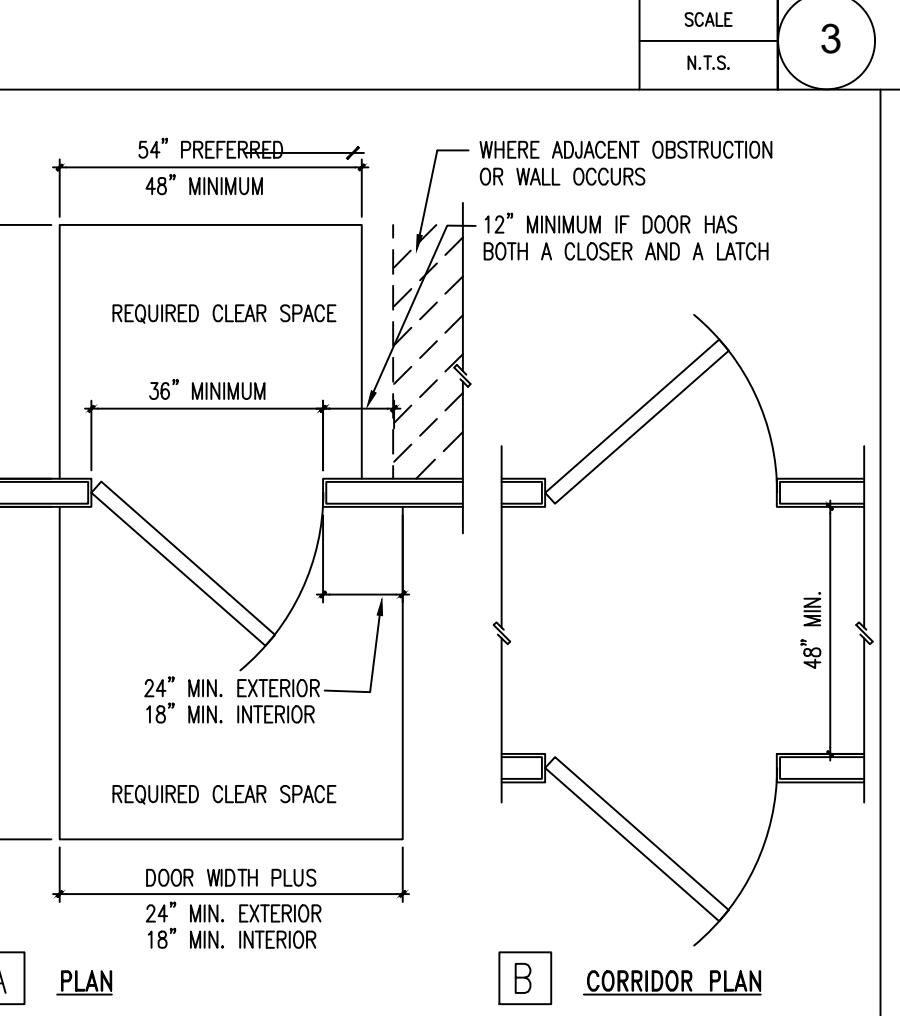
4 RESTROOM CLEARANCES SCALE N.T.S.



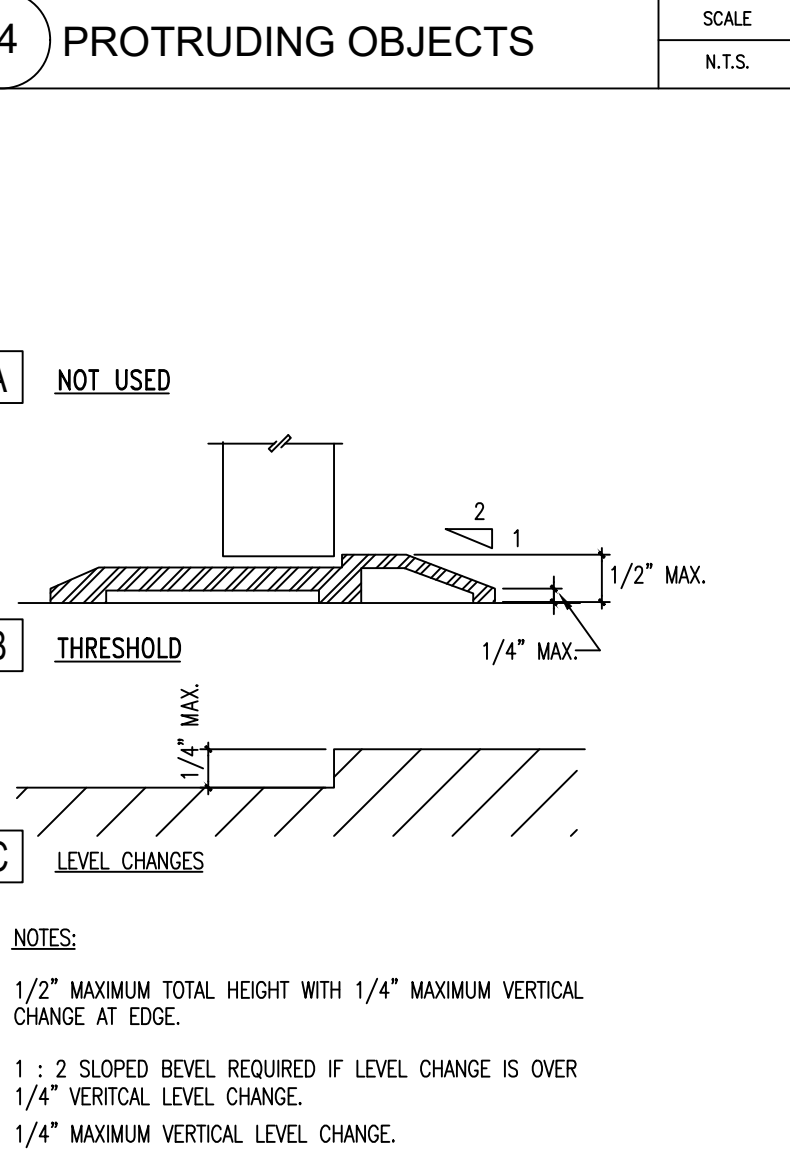
1 SIGNS PICTOGRAMS SCALE N.T.S.



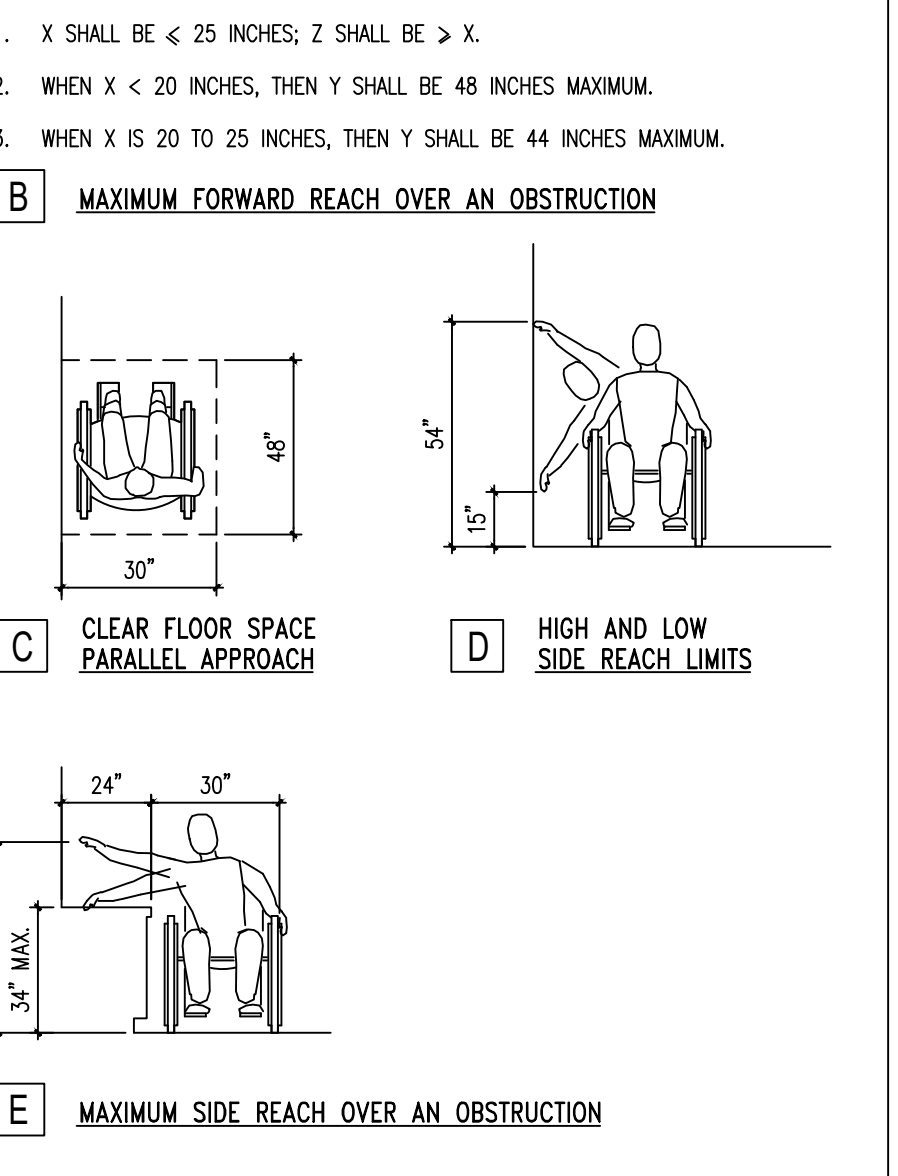
2 TACTILE SIGNAGE SCALE N.T.S.



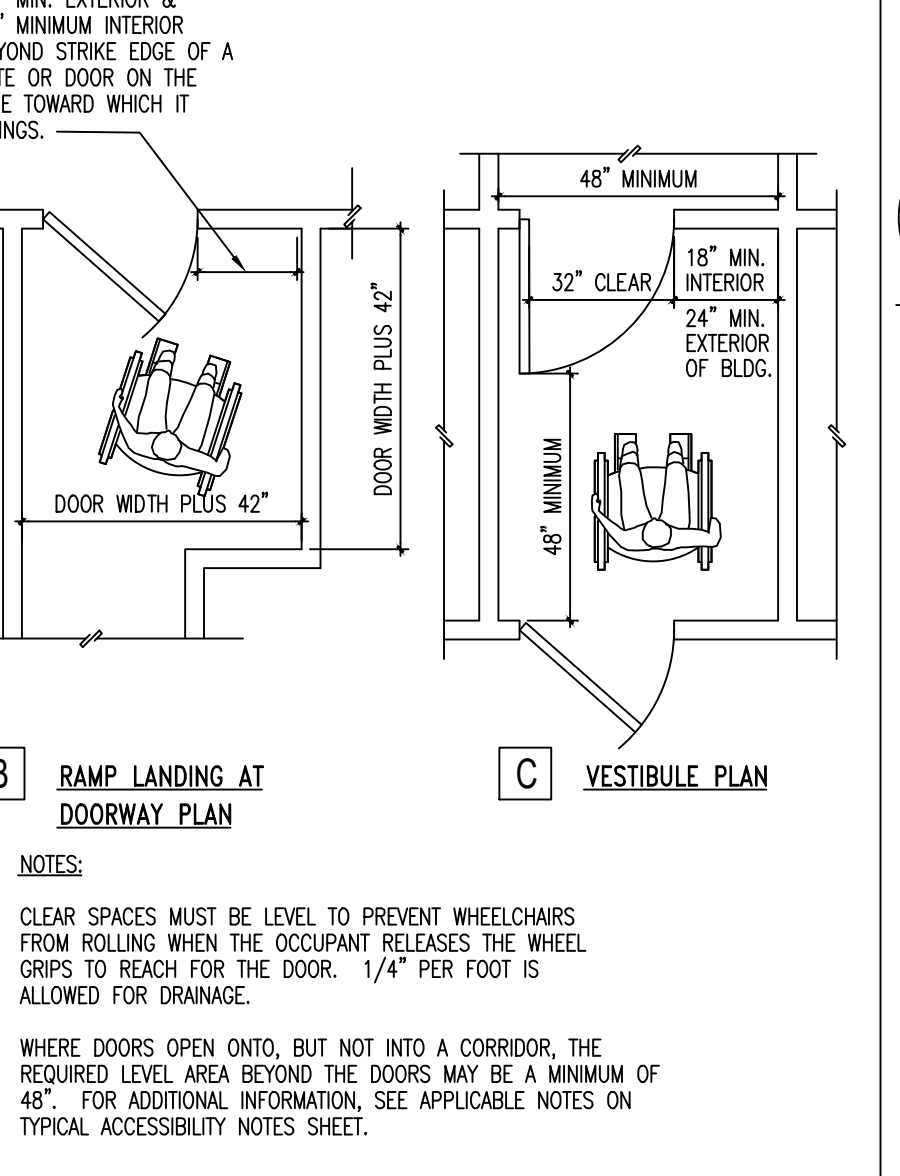
3 RESTROOM CLEARANCES SCALE N.T.S.



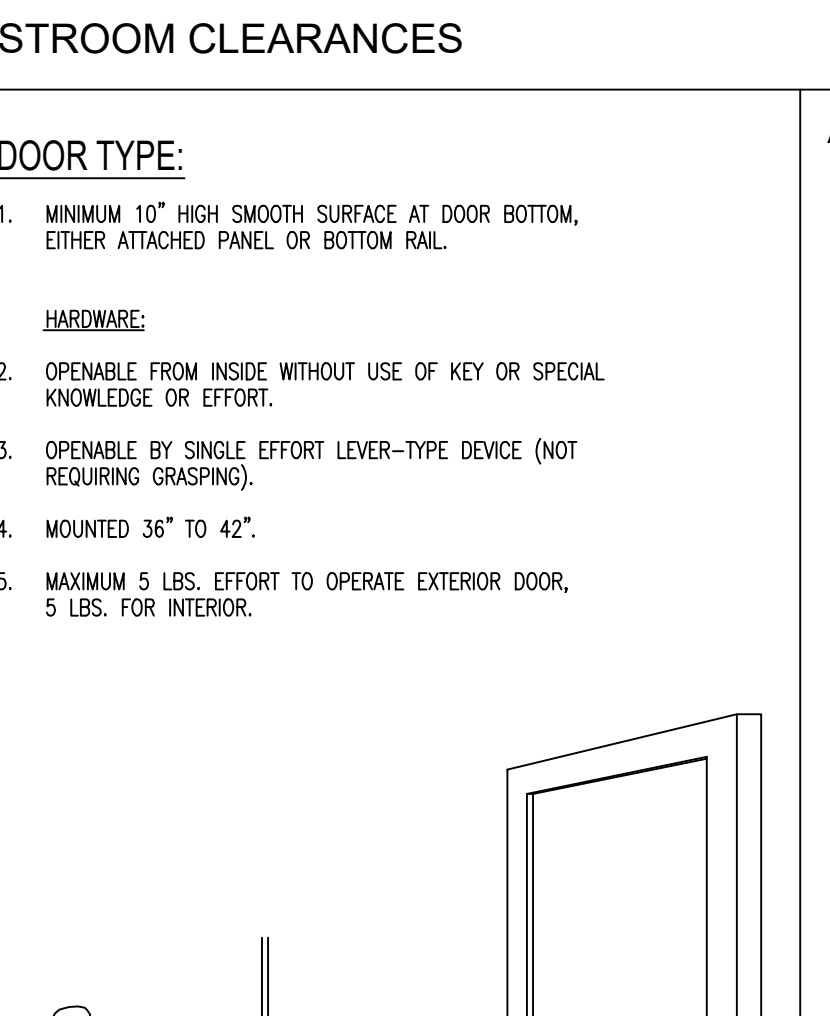
4 PROTRUDING OBJECTS SCALE N.T.S.



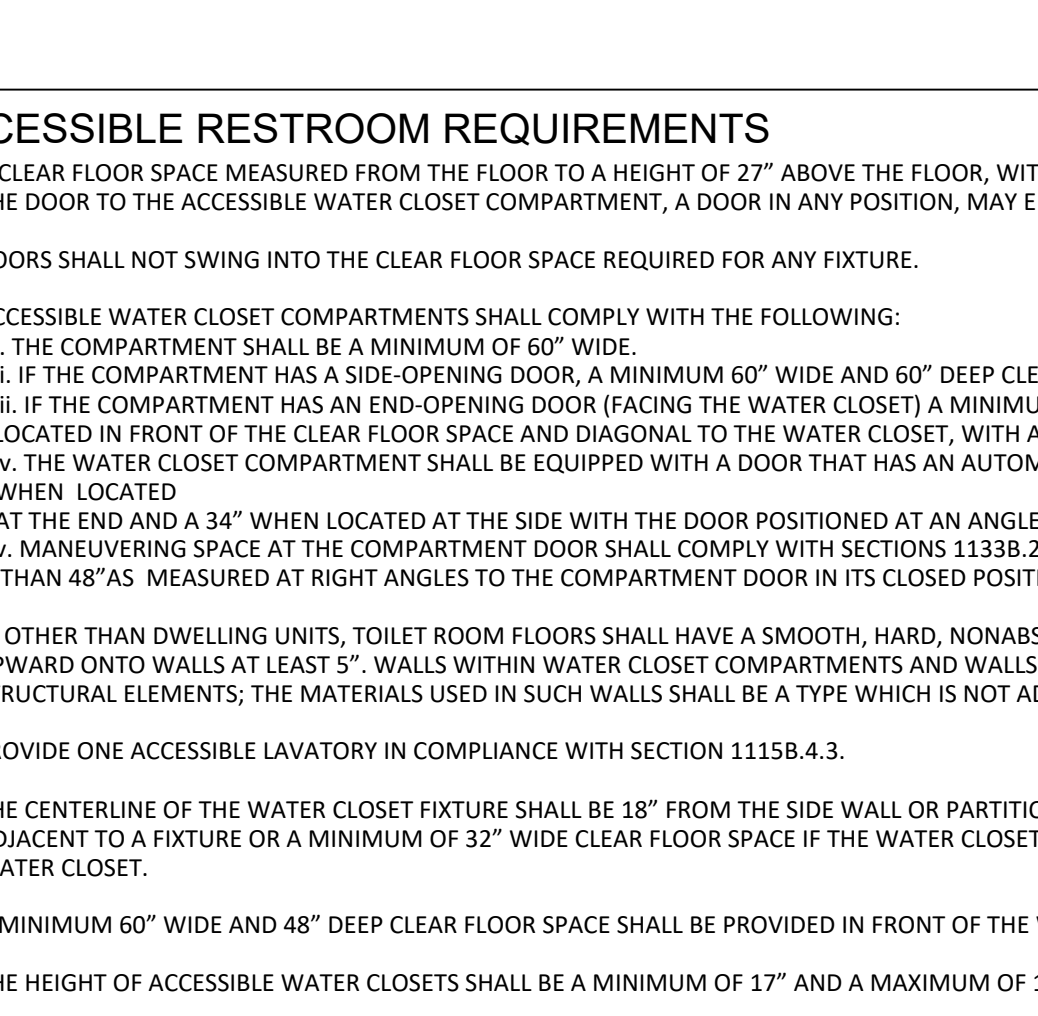
6 REACH REQUIREMENTS SCALE N.T.S.



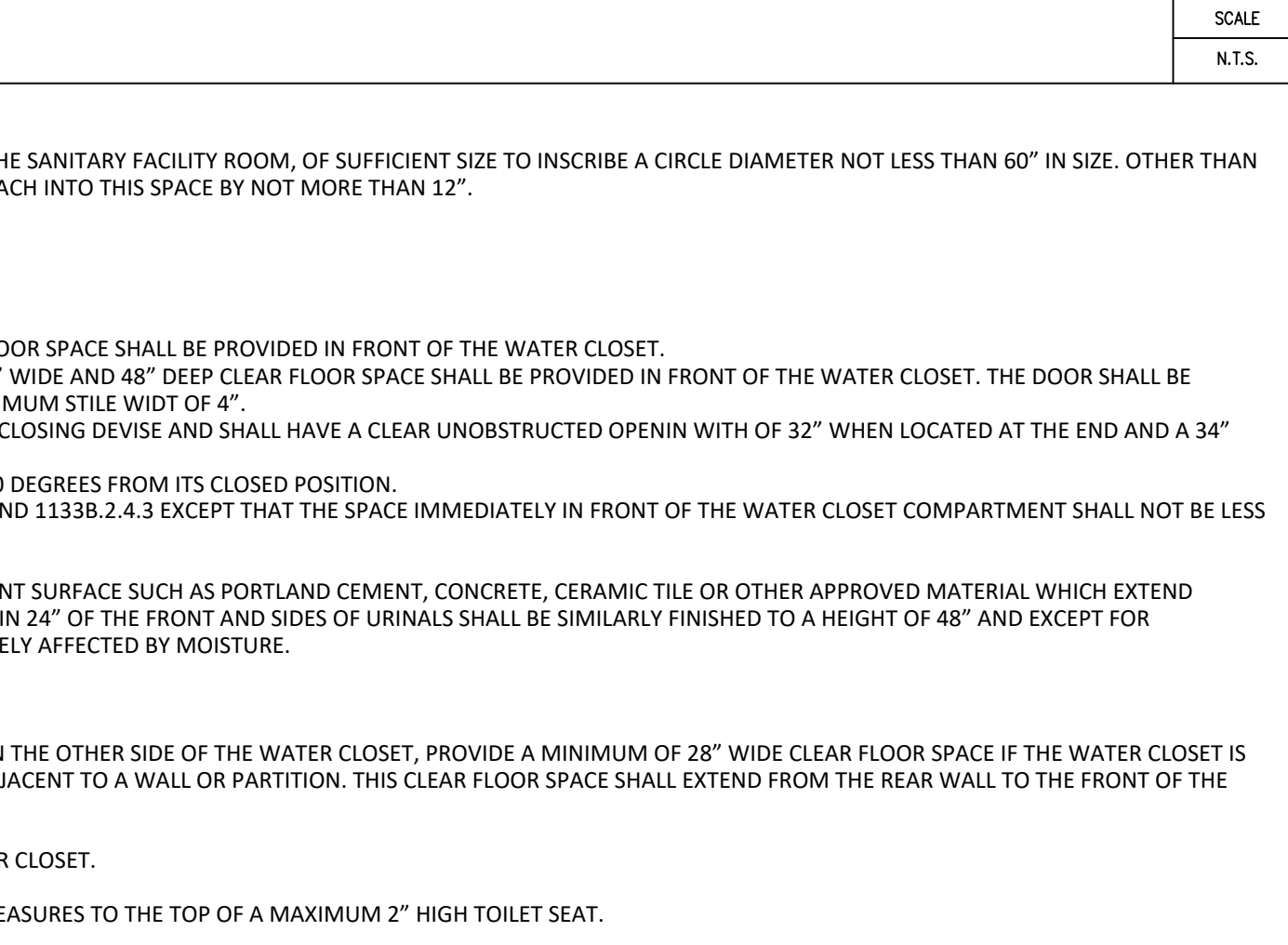
7 DOOR CLEAR SPACE SCALE N.T.S.



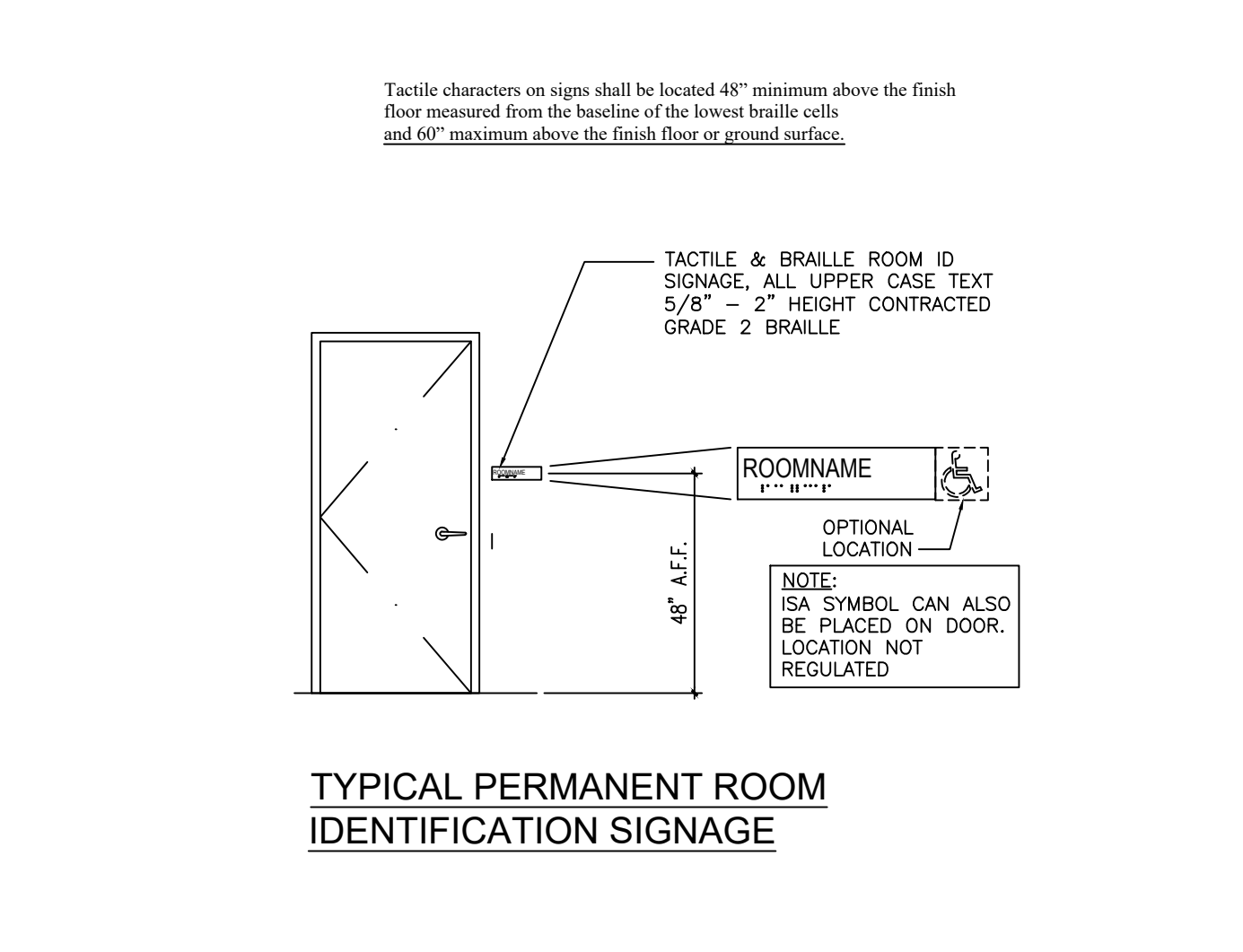
8 DOOR SCALE N.T.S.



9 ACCESSIBLE ENTRY SIGNAGE AND NOTES SCALE N.T.S.



9 ACCESSIBLE ENTRY SIGNAGE AND NOTES SCALE N.T.S.



9 ACCESSIBLE ENTRY SIGNAGE AND NOTES SCALE N.T.S.

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DATE: 03.05.2020

Dustin Curtis
12286
Phoenix, AZ
12-15-20

ADA DETAILS

A1.2

GENERAL DEMO NOTES NOTE: NOT ALL APPLY

1. GENERAL CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, INSURANCE, PROTECTION AND OTHER RELATED SERVICE REQUIRED TO COMPLETE ALL DEMOLITION WORK FOR THE TENANT IMPROVEMENTS.
2. GENERAL CONTRACTOR TO COORDINATE WITH TENANT, PHASING AND/OR TIMING OF COMMENCEMENT, CONTINUATION AND COMPLETION OF ALL DEMOLITION WORK.
3. GENERAL CONTRACTOR SHALL COORDINATE WITH LANDLORD, ANY WORK AFFECTING THE CONTINUITY OF UTILITIES SERVICING OTHER TENANTS ON THE PROPERTY. GENERAL CONTRACTOR SHALL PROTECT ALL UTILITIES SERVING OTHER TENANTS, PEOPLE AND EXISTING AND/OR ADJACENT CONSTRUCTION AND OTHER AREAS FROM DAMAGE INCIDENTAL TO CONSTRUCTION OPERATIONS WITH CONSTRUCTION BARRICADES IN ACCORDANCE WITH CODES AND ORDINANCES OF THE CITY OF WESTMINSTER, CA.
4. GENERAL CONTRACTOR SHALL REPAIR OR RESTORE TO EXISTING CONDITION ADJACENT CONSTRUCTION AND PUBLIC OR PRIVATE PROPERTY DAMAGED BY DEMOLITION WORK.
5. MATERIAL SHALL NOT BE DROPPED BY GRAVITY OR THROWN OUTSIDE THE CONTRACT AREA DURING DEMOLITION. ANY MATERIAL, WHICH IN ITS REMOVAL WILL CAUSE AN EXCESSIVE AMOUNT OF DUST, SHALL BE WETTED DOWN TO PREVENT THE CREATING OF A NUISANCE.
6. ALL PARTS OF THE CONTRACT AREA UNDER DEMOLITION SHALL BE ADEQUATELY LIGHTED WHILE PERSONS ARE ENGAGED AT WORK.
7. RUBBISH AND TRASH SHALL BE REMOVED AS OFTEN AS CONDITIONS WARRANT. COMBUSTIBLE RUBBISH, SHALL BE REMOVED DAILY, AND SHALL NOT BE DISPOSED OF BY BURNING ON THE PREMISES.
8. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR HIDDEN CONDITIONS AFFECTING DEMOLITION OF PROPOSED WORK.
9. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SUB-TRADES WITH COMPLETE AND CURRENT DOCUMENTS.
10. UPON COMPLETION OF DEMOLITION, THE LEASED PREMISES AND ADJACENT PUBLIC AND PRIVATE PROPERTY SHALL BE LEFT CLEAN AND CLEAR OF DEBRIS.
11. VERIFY WITH ARCHITECTURAL DOCUMENTS ALL AREAS TO BE MODIFIED.
12. ALL AREAS OF MODIFICATION OR DEMOLITION, WHICH ARE INCORPORATED INTO THE NEW FACILITY, ARE TO BE PATCHED, REPAIRED, OR ADJUSTED TO AN ACCEPTABLE CONDITION.
13. CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A OR 2A10BC WITHIN 75' TRAVEL DISTANCE OF ALL PORTIONS OF THE BUILDING DURING THE DEMOLITION AND CONSTRUCTION.
14. GENERAL CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO DEMOLITION AND CONSTRUCTION.
15. PATCH ALL CONCRETE SLABS AS REQUIRED DUE TO MODIFICATIONS.
16. PROVIDE SECURITY ENCLOSURE AT ALL REMOVED DOORS OR WALLS AS REQUIRED.
17. NOTIFY BUILDING MANAGEMENT AND FIRE ALARM COMPANY OF DEMOLITION OR CONSTRUCTION WORK. FIRE ALARM SYSTEM, (IE: EXITING) IS TO REMAIN ACTIVATED AT ALL TIMES.
18. COORDINATE REMOVAL OF ALL FINISHES OF WITH BUILDING OWNER PRIOR TO START OF DEMOLITION (IF APPLICABLE).
19. EXISTING FIRE SPRINKLER SYSTEM TO REMAIN.
20. EXISTING PLUMBING LINES FOR FLOORS ABOVE TO REMAIN (IF APPLICABLE).
21. ANY EXISTING SPRAY-APPLIED FIRE PROOFING FOUND FLOOR DECK ABOVE TO REMAIN (IF APPLICABLE).

ELECTRICAL DEMOLITION GENERAL NOTES.

22. ELECTRICAL CONTRACTOR SHALL VISIT AND EXAMINE THE SITE PRIOR TO CONSTRUCTION TO ASCERTAIN THE EXISTING CONDITIONS AND LIMITS OF DEMOLITION AND CONSTRUCTION.
23. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROTECT AND RETAIN POWER TO ALL EXISTING ACTIVE EQUIPMENT WHICH SHALL REMAIN.
24. ALL REMOVED EQUIPMENT SHALL BE DISPOSED OF BY THIS CONTRACTOR UNLESS DIRECTED TO DO OTHERWISE BY OWNER, TENANT OR ARCHITECT.
25. DISCONNECT, REMOVE, OR RELOCATE ALL EXISTING ELECTRICAL MATERIAL AND EQUIPMENT THAT INTERFERES WITH THE NEW INSTALLATION. THIS INCLUDES BUT IS NOT LIMITED TO LIGHTING FIXTURES, WIRING DEVICES, SIGNAL EQUIPMENT, EXHAUST FANS, ETC.
26. REMOVE ALL CONDUIT WIRE, BOXES, AND FASTENING DEVICES, AS REQUIRED TO AVOID ANY INTERFERENCE WITH THE NEW INSTALLATION. ABANDONED CONDUITS AND ALL WIRING ARE TO BE REMOVED.
27. ELECTRICAL CONTRACTOR SHALL RECONNECT ANY EQUIPMENT BEING DISTURBED BY THE RENOVATION YET REQUIRED FOR CONTINUED SERVICE TO SAME OR NEAREST AVAILABLE PANEL.
28. WHERE WORK BY THE GENERAL CONTRACTOR (WALL REMOVAL, NEW OR RELOCATED WALL OPENINGS, ETC.) RESULTS IN THE REMOVAL, RELOCATION OR RE-FEEDING OF ELECTRICAL DEVICES OR LIGHTING FIXTURES, THE ELECTRICAL CONTRACTOR SHALL DISCONNECT OR RECONNECT AS REQUIRED ALL ACTIVE DEVICES REMAINING ON THAT CIRCUIT SYSTEM.
29. ELECTRICAL CONTRACTOR SHALL REMOVE ALL LIGHT FIXTURES, RECEPTACLES, J-BOXES, SWITCHES, CONDUIT, WIRING, ETC. AS INDICATED IN CONSTRUCTION DOCUMENTS.

PLUMBING AND MECHANICAL GENERAL NOTES

30. MECHANICAL CONTRACTOR SHALL VISIT THE SITE DURING BIDDING PHASE TO VERIFY ALL EXISTING MECHANICAL EQUIPMENT AND COMPARE WITH MECHANICAL PLANS FOR THIS PROJECT
31. PLUMBING CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH OF WASTE LINE, EXACT LOCATION AND SIZE OF WATERLINE STUBBED TO SPACE AND COMPARE TO PLUMBING PLANS FOR THIS PROJECT.



EXISTING H/C STALLS
EXISTING H/C RAMP
HANDICAP PATH OF TRAVEL: DISTANCE =20'
5% MAX SLOPE IN DIRECTION OF TRAVEL AND 2%
MAX CROSS SLOPE

NOTE: ACCESSIBLE PARKING STALLS AND ACCESS
AISLE TO HAVE MAX SLOPE OF 1:48 IN ANY
DIRECTION

THIS PROJECT
TROPICAL SMOOTHIE CAFE

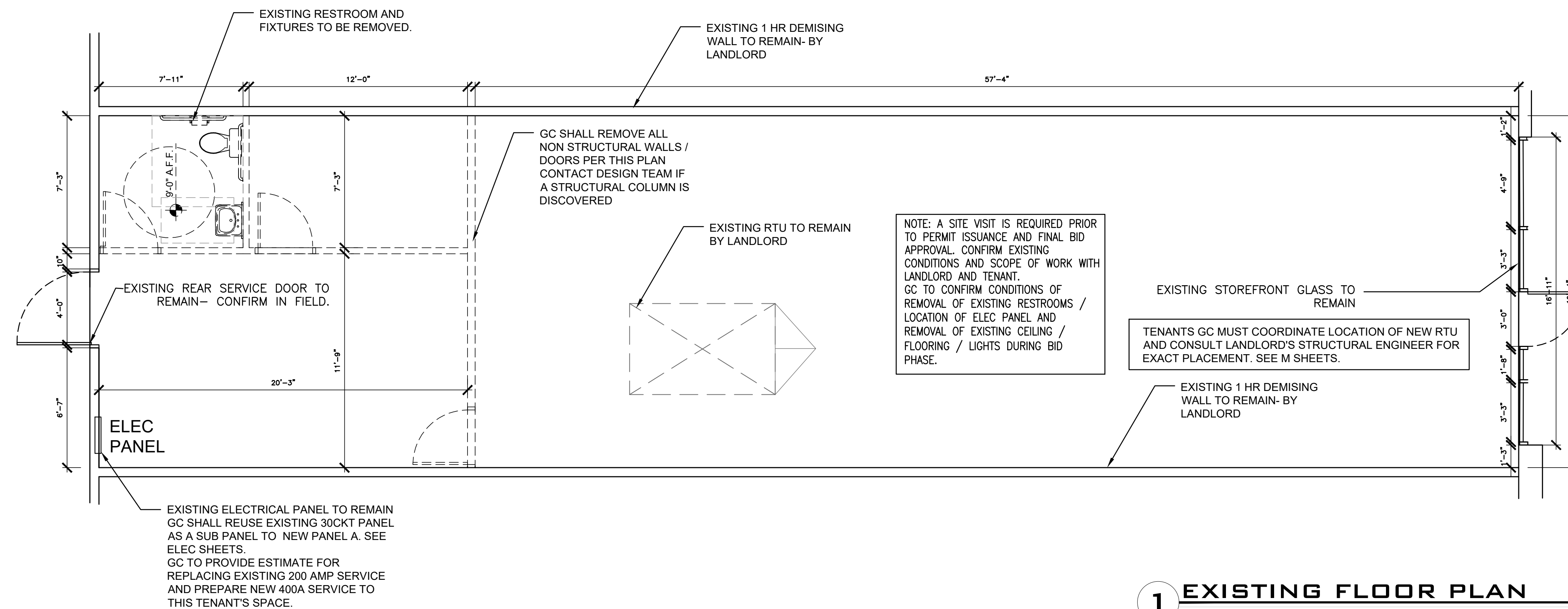
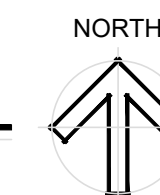
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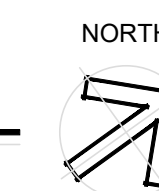
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2 EXISTING SITE PLAN (NO NEW WORK)
SCALE: NTS



1 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTE:
GC TO PROVIDE CAMERA TEST OR
X-RAY OF SLAB TO LOCATE EXISTING
WASTE LINES UNDER SLAB. NO SHELL
PLANS PROVIDED. CONFIRM WITH P
SHEETS AND CONTACT DESIGN TEAM
IF MODIFICATIONS ARE NEEDED.
CONFIRMATION REQUIRED PRIOR TO
ISSUANCE OF PERMIT ISSUANCE.

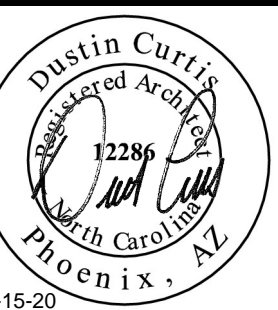
tropical CAFE
SMOOTHIE
eat better. feel better.

TSC-NC-079

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DATE: 03.05.2020



12-15-20

SITE PLAN
EXISTING PLAN

A1.3

GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF DRYWALL, UNLESS OTHERWISE NOTED.
- ALL GYPSUM BOARD USED SHALL BE 5/8" TYPE 'X' FIRE TAPED, DEMISING PARTITIONS SHALL BE OF FIRECODE 'X' SHEETROCK, TAPED AND SEALED TO DECK ABOVE.
- ALL PLYWOOD, PLYWOOD BACKING, PARTICLE BOARD, WOOD BLOCKING, AND FRAMING USED SHALL BE FIRE RETARDANT & STAMPED NON-COMBUSTIBLE.
- PLACE AND FINISH ALL NEW MATERIALS SO AS TO PROVIDE A SMOOTH & INTEGRAL TRANSITION TO EXISTING FINISHES & MATERIALS.
- PROVIDE ADDITIONAL FRAMING/BRACING FOR ALL WALL MOUNTED EQUIPMENT. CHECK CUTSHEETS OF ALL EQUIPMENT PRIOR TO INSTALLATION.
- GENERAL CONTRACTOR TO PROVIDE REQUIRED FIRE EXTINGUISHER(S) PER CODE.
- FIRE SPRINKLERS: ADDITIONS & MODIFICATIONS AS REQUIRED BY CODE AND NFPA PAMPHLET #13. SPRINKLER HEADS CENTERED WITHIN CEILING BOARD. SPRINKLER HEADS AT GYPSUM BOARD CEILINGS MUST BE FULLY RECESSED AND COVERED WITH METAL PLATES FINISHED TO MATCH ADJACENT SURFACE. CENTER SPRINKLER HEADS IN CEILING-WHERE APPLICABLE. ANY MODIFICATIONS TO BE DONE BY LANDLORD'S SPECIFIED SPRINKLER CONTRACTOR. ALL COSTS FOR SPRINKLER RE-LOCATION TO CONFORM WITH FIT OUT DESIGN ARE PROVIDED BY TENANT. - WHEN APPLICABLE.
- SEE MECHANICAL AND ELECTRICAL SHEETS FOR ALL FIXTURE SPECIFICATIONS, WIRING, AND POWER REQUIREMENTS. - VERIFY WITH EQ SHEETS.
- NEWLY INSTALLED OR RELOCATED DOORS MUST HAVE LEVER TYPE HARDWARE OR OTHER SHAPE WHICH WILL PERMIT OPERATION BY WRIST OR ARM PRESSURE AND WHICH DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING TO OPERATE. PER WAC 51.20.3103 (A) AND (C).
- ALL DOORS TO PROVIDE 32" MIN. CLEAR OPENING WHEN OPENED TO 90 DEGREE POSITION.
- FLOORS IN FOOD PREPARATION AREA, DISH WASHING AREA, SERVICE AREA, JANITORIAL AREA, STORAGE AREA, AND ANY AREA WHERE FOR EQUIPMENT IS PLACED SHALL BE SMOOTH, EASILY CLEANABLE, WASHABLE, DURABLE, AND OF COMMERCIAL GRADE MATERIAL AND SHALL HAVE A MINIMUM 3/8" RADIUS INTEGRAL COVE BASE EXTENDING AT LEAST 4" UP THE WALL. GROUT SPACING FOR TILE SHALL NOT EXCEED 1/4" AND SHALL BE SEALED.
- TENANT'S GC TO COMPLETE SITE VISIT AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS - GC TO REVIEW TENANT'S LEASE DURING BID PROCESS TO DETERMINE RESPONSIBILITIES.
- FLOOR SINKS SHALL BE INSTALLED FLUSH WITH THE FLOOR SURFACE AND BE LOCATED SO AS TO BE READILY ACCESSIBLE FOR CLEANING AND REPAIR.
- SUPPORT WIRING FOR LAY-IN CEILING SHALL NOT BE ATTACHED TO ANY OF THE LANDLORD'S MECH, ELEC, PLUMB, OR FIRE PROTECTION PIPING OR EQUIPMENT.
- ALL EXITS SHALL BE OPERABLE FROM INTERIOR OF BUILDING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

WALL LEGEND:

- EXISTING WALL TO REMAIN. VERIFY CONDITION PATCH AND REPAIR TO LIKE NEW CONDITION - GC TO VERIFY FIRE RATING IF APPLICABLE.
- EXISTING 1 HOUR RATED DEMISING WALL BY LANDLORD- PER LEASE- TO MATCH 17/A6.0
- 1 LAYER 5/8" GYPSUM BOARD EACH SIDE OVER 3 5/8" 20 GA METAL STUDS AT 16" O.C. TO CEILING. BRACE STUDS @ 4'-0" O.C. PROVIDE 5/8" MTL STUDS AT ALL 7" NOMINAL WALLS.

- NOTE: ALL EXPOSED CMU BLOCK MASONRY WALLS SHALL BE FURRED OUT WITH 1 1/2" METAL STUDS WITH GYP BOARD (TYP)
- NOTE: DIMENSIONED TO FINISHED WALL.
- NOTE: ALL EXTERIOR WALLS TO BE INSULATED.

KEYED NOTES:

- EXISTING DEMISING WALL BY LANDLORD GC-SEE NOTES ON A1.3- TENANT'S GC TO CONFIRM IN FIELD A 1 HOUR RATED WALL PER 17/A6.0
- METAL SHELVING RACK - 5 TIER IN HEIGHT NOT TO EXCEED 6 FEET
- NEW WALK-IN COOLER/ FREEZER- SEE EQUIPMENT PLAN
- RESTROOM HAND SINK
- ELECTRICAL PANEL - SEE ELECTRICAL DRAWINGS
- 3-COMPARTMENT SINK WITH (2) 18" INTEGRAL DRAIN BOARDS
- SERVICE COUNTER - CABINET SUPPLIER TO FURNISH SHOP DRAWINGS
- NOT USED
- 24" JANITORIAL MOP SINK W/ WH ABOVE (SEE PLUMBING SHEETS)
- TEMPERED GLASS SNEEZIE GUARD REQUIRED BY STATE HEALTH- SEE DETAIL 10/A6.2
- WALL-MOUNTED HAND SINK
- EXISTING STOREFRONT BY LANDLORD- SEE LEASE TO CONFIRM RESPONSIBILITY - CONFIRM MATCH TO THIS LAYOUT
- QUARRY TILE FLOORING THROUGHOUT KITCHEN & SERVICE AREA
- FIRE EXTINGUISHER
- RESTROOM FIXTURES
- NEW 3 5/8" METAL STUD WALL FURRING AND 5/8" GYP BD INSTALLED AT EXISTING DEMISING WALL.
- HANDICAP GRAB BARS WITH BLOCKING
- NOT USED
- NEW FLOORING IN DINING ROOM SEE SHEET A2.1
- NEW WALL - REFER TO WALL SCHEDULE
- KITCHEN EQUIPMENT- SEE EQUIPMENT SHEET A5.0
- PREP SINK W/ DRAIN BOARD
- SEATING- SEE EQUIPMENT SCHEDULE
- NEW MARKETPLACE CABINET PROVIDE BY TROPICAL SMOOTHIE CAFE AND INSTALLED BY GC. SEE 5/A6.2
- NEW OFFICE COUNTERTOP AND WALL SHELVES BY GC- SEE DETAIL 5/A4.0
- NOT USED
- NOT USED
- HANDICAP ACCESSIBLE TABLE
- DROP-IN HAND SINK IN SERVICE COUNTER.
- EXISTING EXTERIOR DOOR AND HARDWARE BY LANDLORD. CONFIRM IN FIELD
- EXISTING SINGLE STOREFRONT DOOR PROVIDED BY LANDLORD.

NOTE: FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE UNIT VERTICAL TO 2 UNITS HORIZONTAL.

DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

SPECIALTIES:

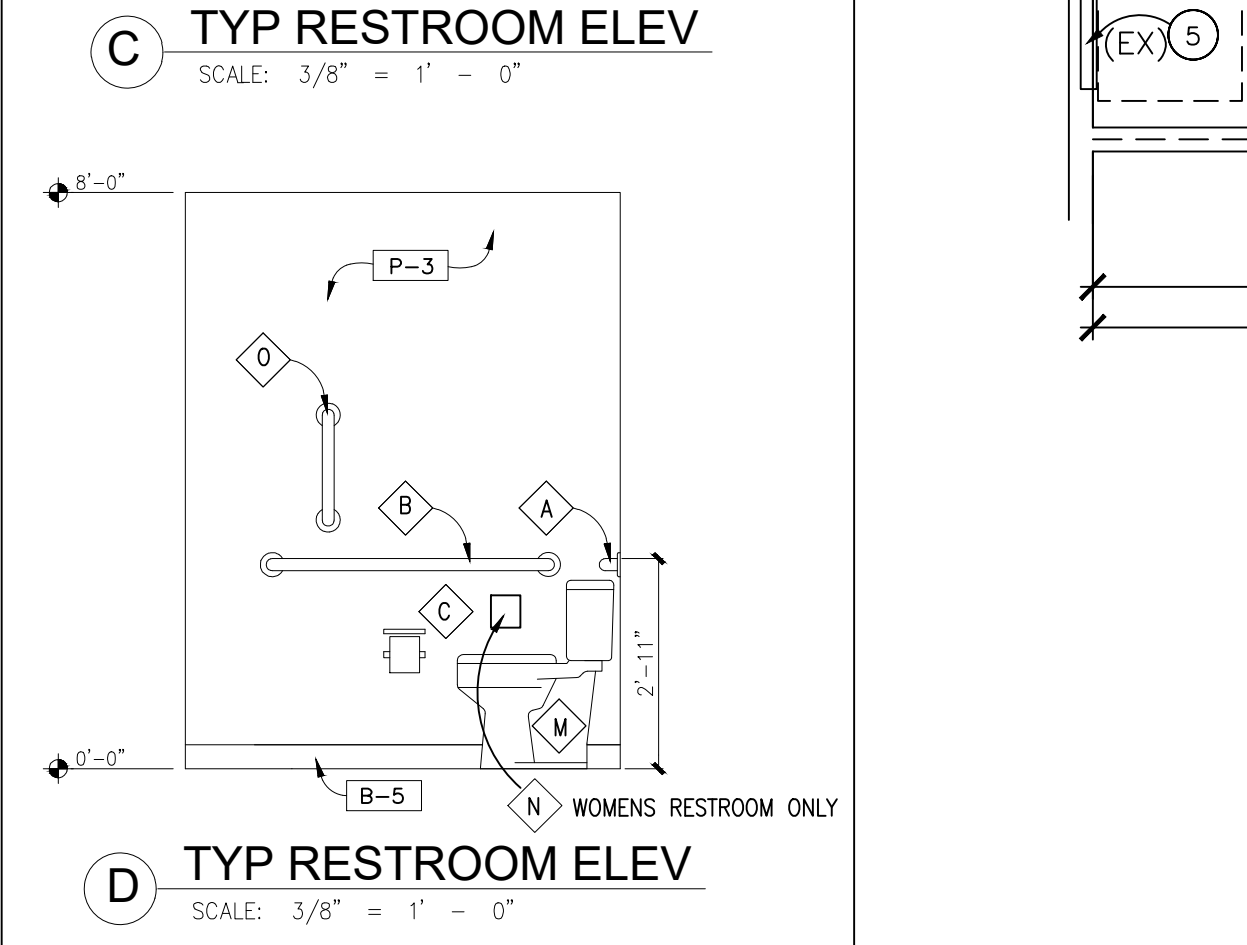
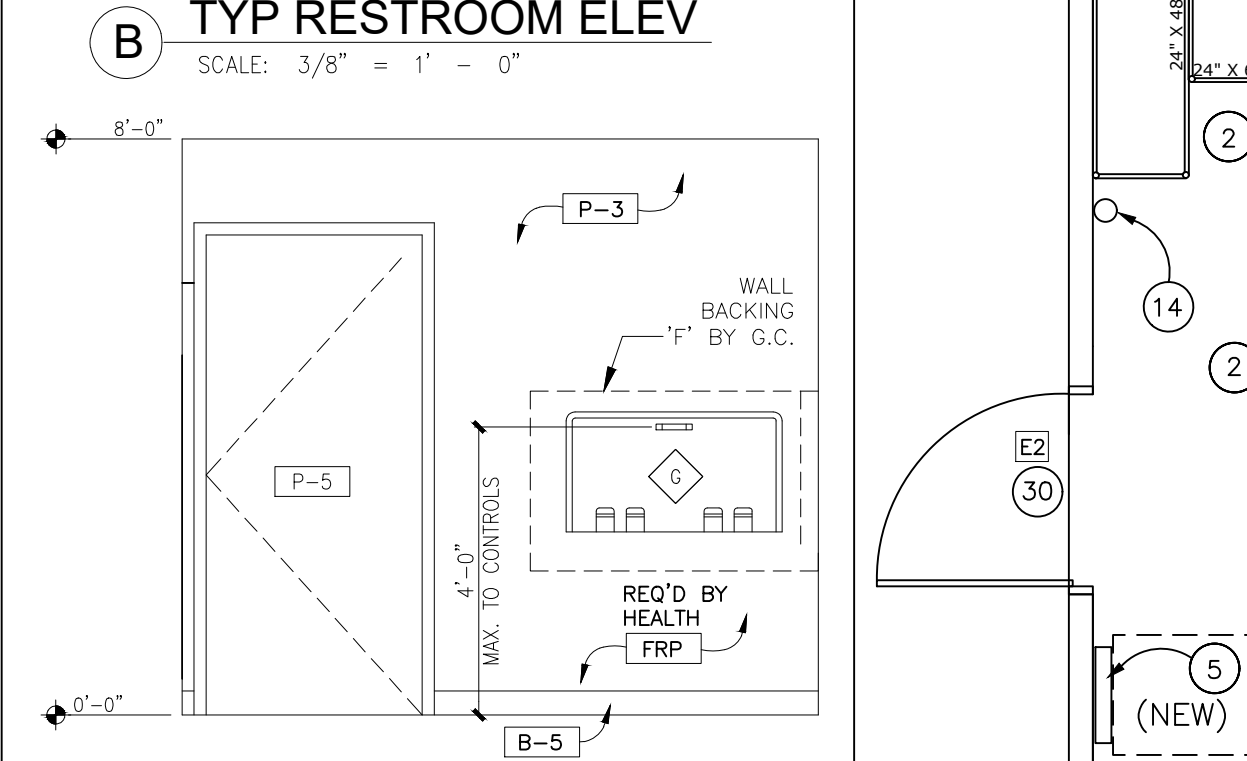
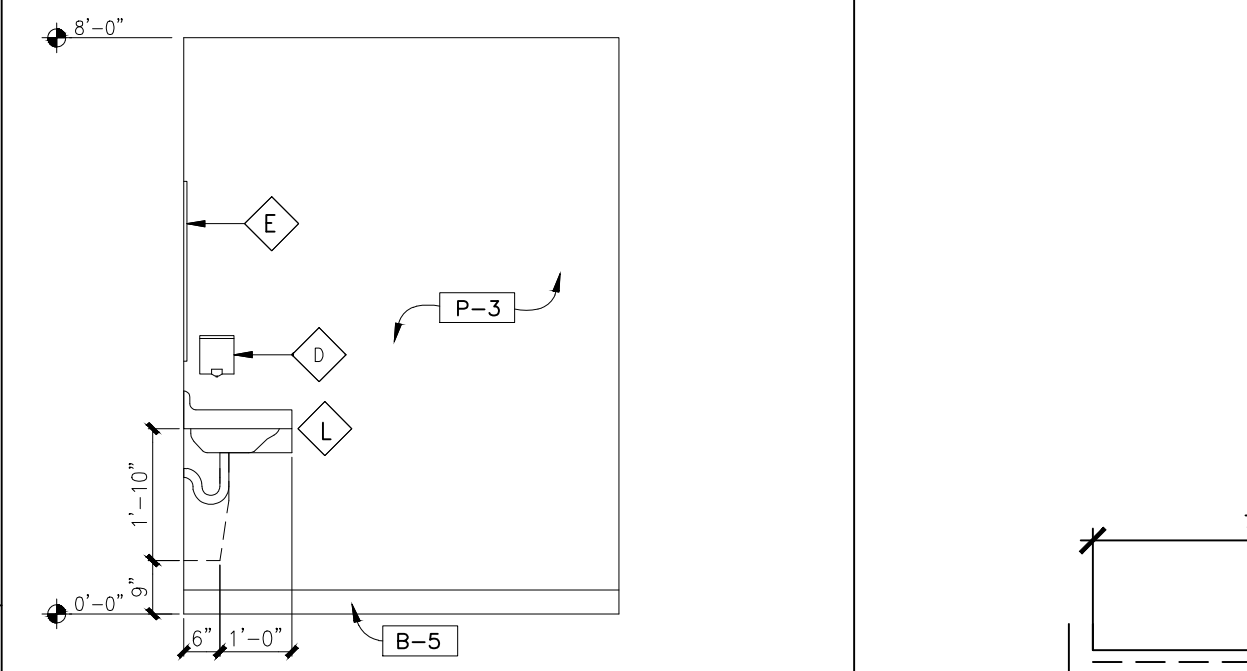
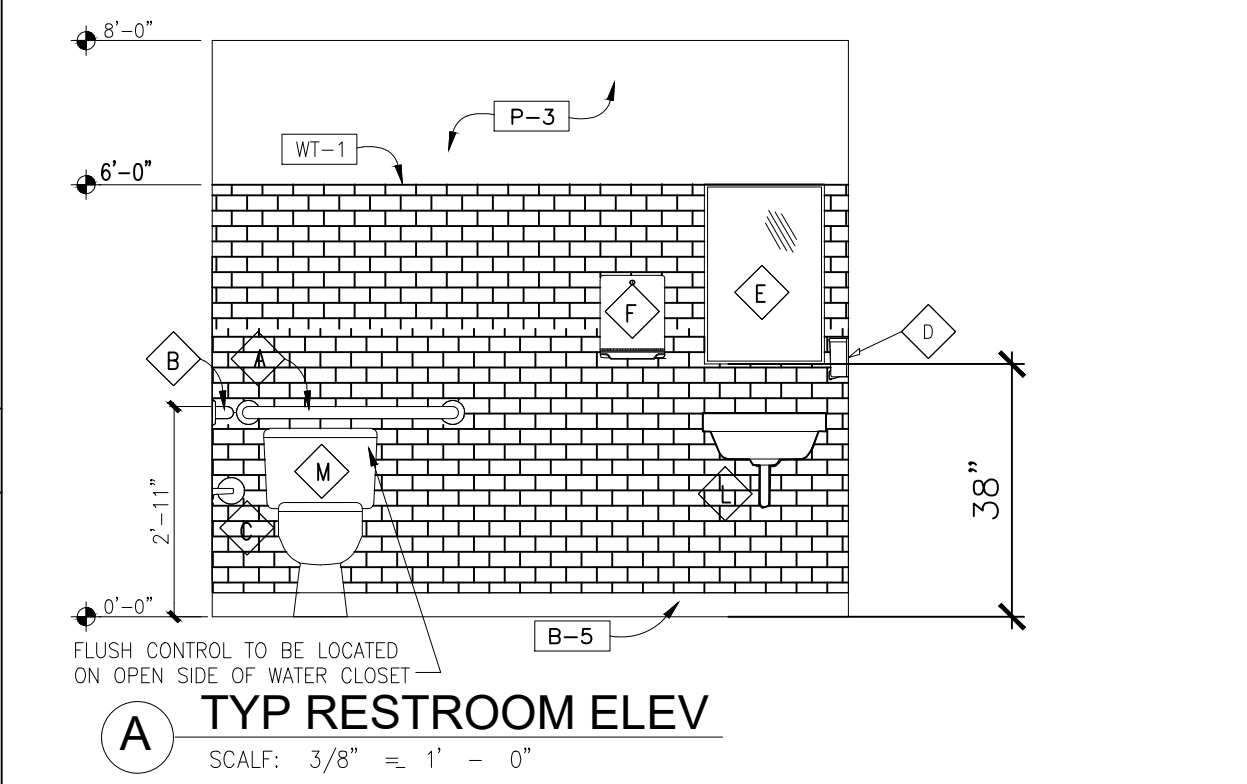
- GENERAL CONTRACTOR TO PROVIDE BLOCKING IN WALLS AS NEEDED FOR ALL WALL MOUNTED FIXTURES, SIGNS, MENU BOARD, ETC. PER DRAWINGS.
- USE FIRE TREATED WOOD FOR MISCELLANEOUS WOOD BLOCKING, ETC.
- USE STAINLESS STEEL WALL PANELS, CORNER GUARDS AND ANGLE STRIPS TO SEAL GAP TO WALL AT COOLER/FREEZER. (SEE W-2 AT WALL FINISHES)
- TABLE BASE HARDWARE
 - TABLE TOP LAG BOLTS: 1/2"x2" (4 PER BASE)
 - ANCHOR BOLTS: SIMPSON "WEDGEALL" MODEL # WA62500 (5/8"x5") COMES COMPLETE W/NUTS AND WASHERS (4 PER BASE)

NOTE: DURING BID PROCESS - GC TO VISIT SITE & REVIEW TENANT'S LEASE TO CONFIRM RESPONSIBILITY AGREEMENT. GC RESPONSIBLE FOR ALL TI CONSTRUCTION IE. CONCRETE POUR, ELECTRIC, PLUMBING, ROOF PENETRATIONS AND MECHANICAL ETC. ACCORDING TO LEASE

NOTE: GC TO VERIFY ALL EXISTING DIMENSIONS AND COLUMNS DURING BID AND ALERT NEPTUNE IF DIFFERENT FROM PLAN.

NOTE: ONLY SINGLE SERVICE UTENSILS WILL BE USED IN THIS SPACE

NOTE: MAIN ENTRY/EXIT DOORS MAY BE KEY OPERATED FROM INTERIOR IF SIGNAGE WITH 1" LETTERING IS PROVIDED ON OR ADJACENT TO DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED."



DOOR SCHEDULE

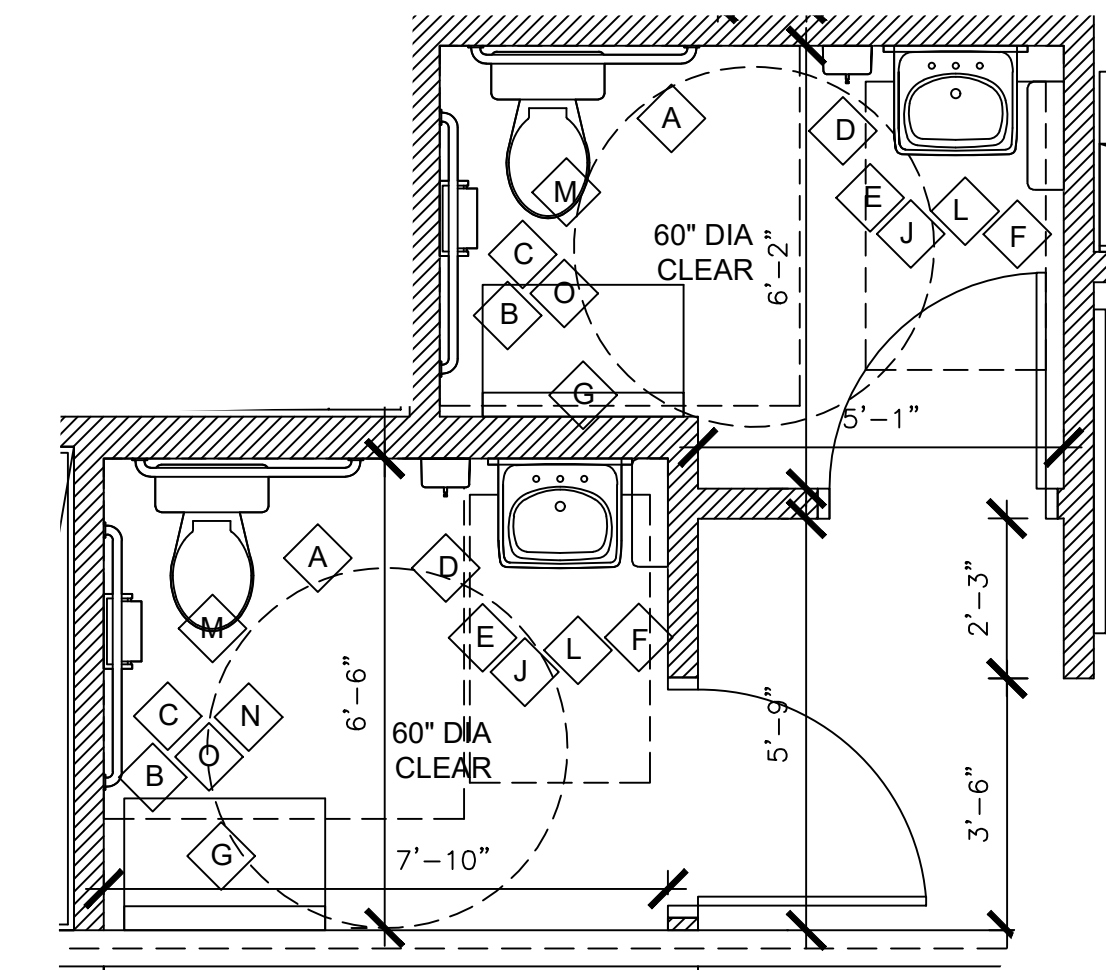
ITEM NO	SIZE	THK.	MATERIAL	FRAME	TYPE	REMARKS	HARDWARE
1	3' X6'-8"	1-3/4"	WOOD	METAL	FLUSH SOLID CORE	NEW INTERIOR DOOR	GROUP #2
2	3' X6'-8"	1-3/4"	WOOD	METAL	FLUSH SOLID CORE	NEW INTERIOR DOOR	GROUP #2
3	3' X6'-8"	1-3/4"	WOOD	METAL	FLUSH SOLID CORE	NEW INTERIOR DOOR	GROUP #1
E1	3'X7'	EXISTING	ALUM/GLASS	EXISTING	STOREFRONT	EXISTING EXTERIOR DOOR	GROUP #E1
E2	4'X7'	EXISTING	HM	EXISTING	REAR SERVICE	EXISTING EXTERIOR DOOR	GROUP #E2

- DOOR NOTES:**
- ALL NEW INTERIOR WOOD DOORS ARE TO BE CLEANED AND TOUCHED UP TO RECEIVE NEW SCHEDULED FINISH.
 - LOCKING DEVICES ON REQUIRED EXIT DOORS SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE OF THE DOOR, EXCEPT AS SPECIFICALLY PERMITTED BY SECTION 1008.1.9 (2010 FBC).
 - ALL INTERIOR DOOR LOCKSETS/PASSAGE SETS ARE TO BE HANDICAP ACCESSIBLE WITH LEVER ACTION HANDLES AND MOUNTED AT 40" ABOVE THE FINISHED FLOOR.
 - CONTRACTOR IS TO ADJUST ALL DOORS TO NORMAL WORKING OPERATION WHICH INCLUDES THE REPAIR OR REPLACEMENT OF HARDWARE AND WEATHER STRIPPING AS REQUIRED.
 - CONTRACTOR TO VERIFY THAT THE EXISTING RESTROOM DOORS HAVE CLOSERS. IF NOT, CONTRACTOR IS TO INSTALL NEW CLOSER ON EACH RESTROOM DOOR.
 - ALL DOORS SHALL HAVE AN OPENING FORCE OF FIVE POUNDS MAXIMUM.

DOOR HARDWARE:

GROUP #1 - NEW INTERIOR DOOR:	GROUP #2 - NEW INTERIOR DOOR:
1.5 PAIR BUTTS: NEW	1.5 PAIR BUTTS: NEW
1.0 LOCKSET W/ LEVER HANDLE	1.0 LOCKSET W/ LEVER HANDLE
	1.0 DOOR CLOSER, SURFACE MOUNTED
GROUP #E1 - EXISTING EXTERIOR DOOR HARDWARE	GROUP #E2 - EXISTING ENTRANCE HARDWARE:
1.5 PAIR BUTTS: EXISTING	1.5 PAIR BUTTS: EXISTING
1.0 LATCH SET WITH RETRACTABLE DEAD BOLT	1.0 DEAD BOLT (IN OPEN POSITION DURING BUSINESS HRS)
1.0 DOOR CLOSURES: EXISTING	1.0 DOOR CLOSER: EXISTING
1.0 THRESHOLD: EXISTING	1.0 THRESHOLD: EXISTING
1.0 DOOR SWEEP: EXISTING	1.0 DOOR SWEEP: EXISTING
1.0 DOOR SWEEP: EXISTING	1.0 DOOR PULLS: EXISTING
PROVIDE PEEP HOLE IF NOT EXISTING	1.0 PUSH PLATE: EXISTING

- NOTE: GC TO XRAY SLAB AT ALL PLUMBING FLOOR LOCATIONS TO ENSURE ADEQUATE CLEARANCE FROM STRUCTURAL BEAM. NOTIFY ARCHITECT IMMEDIATELY IF PLUMBING FIXTURES NEED TO BE RELOCATED.
- NOTE: GC TO CONFIRM WITH TENANT AND LANDLORD RESPONSIBILITY OF DOORS AND FIXTURES WITH FINAL LEASE
- NOTE: RESTROOM DOORS MUST BE EQUIPPED WITH SELF-CLOSING DEVICES.

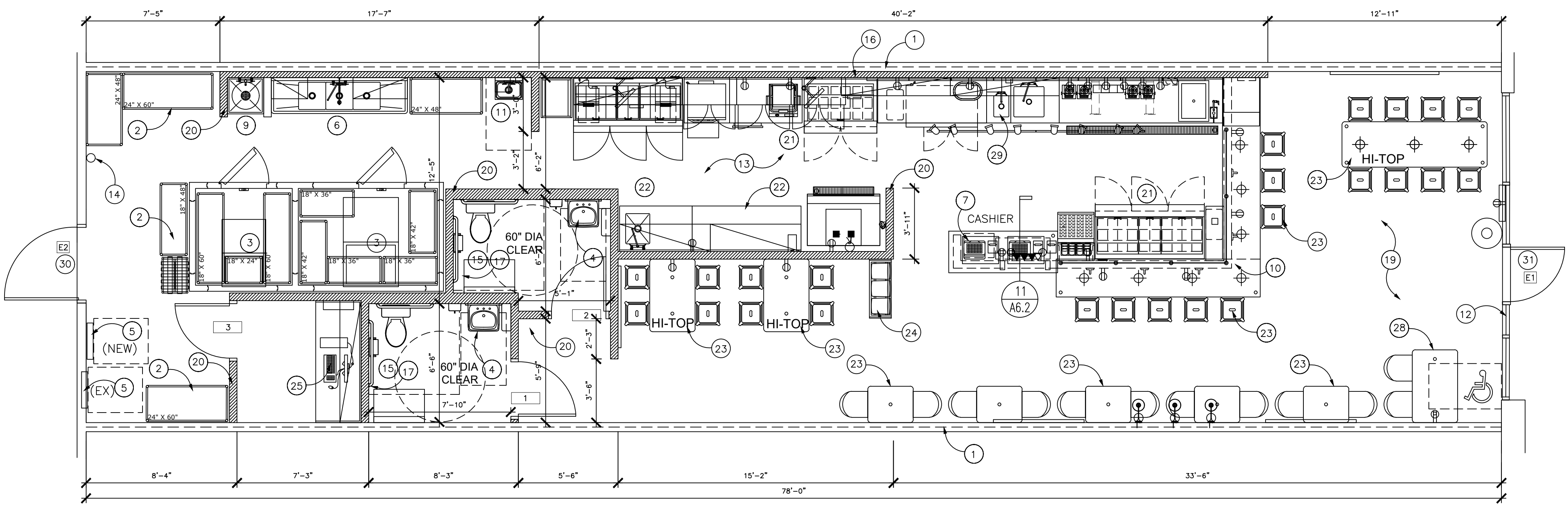


2 ENLARGED RESTROOM PLAN

SCALE: 3/8" = 1'-0"

TOILET ACCESSORY SCHEDULE:

ITEM	MOUNTING HEIGHT
A. NEW GRAB BAR, 36" L	33"-36" AFF TO CL
B. NEW GRAB BAR, 42" L	33"-36" AFF TO CL
C. NEW TISSUE DISPENSER	24" AFF TO OUTLET
D. NEW SOAP DISPENSER	38"-48" TO OPERATOR & DISPENSER
E. NEW FRAMED MIRROR, 18"x30"	40" AFF MAX. TO BITTO OF REFLECTIVE SURFACE
F. NEW PAPER TOWEL DISPENSER	38"-48" TO TOWEL DISPENSER
G. BABY CHANGING STATION	34"-44" AFF
J. 30" X 48" MIN. CLR. FLR. SPACE TYP. ALL LAVS.	
L. NEW HANDICAP ACCESSIBLE WALL MOUNTED SINK	
M. NEW HANDICAP ACCESSIBLE WATER CLOSET.	
N. SURFACE MOUNTED COVERED SANITARY NAPKIN RECEPTACLE REQUIRED	
O. VERTICAL GRAB BAR- SEE A1.2	



1 PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

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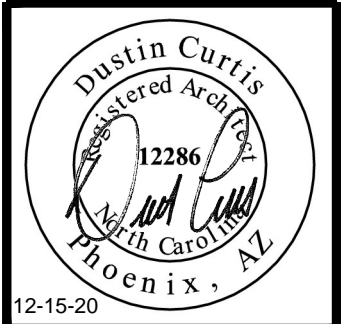
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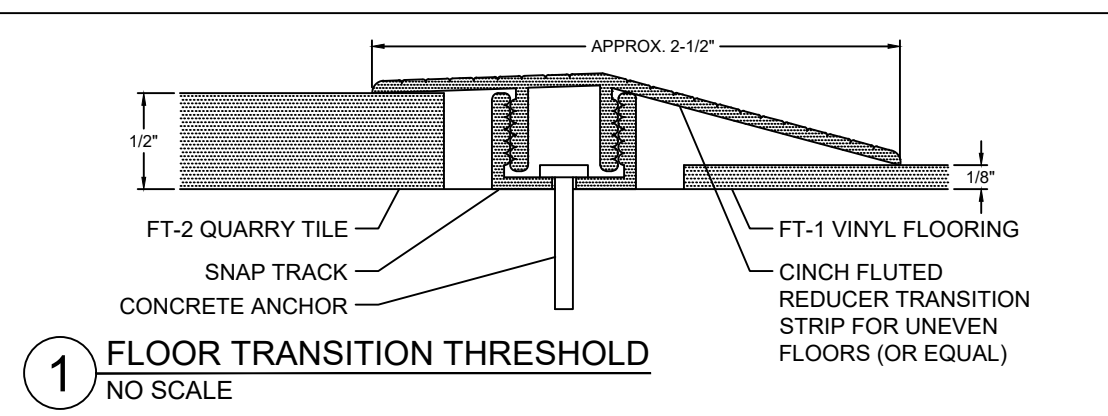
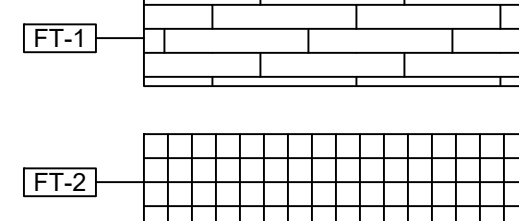
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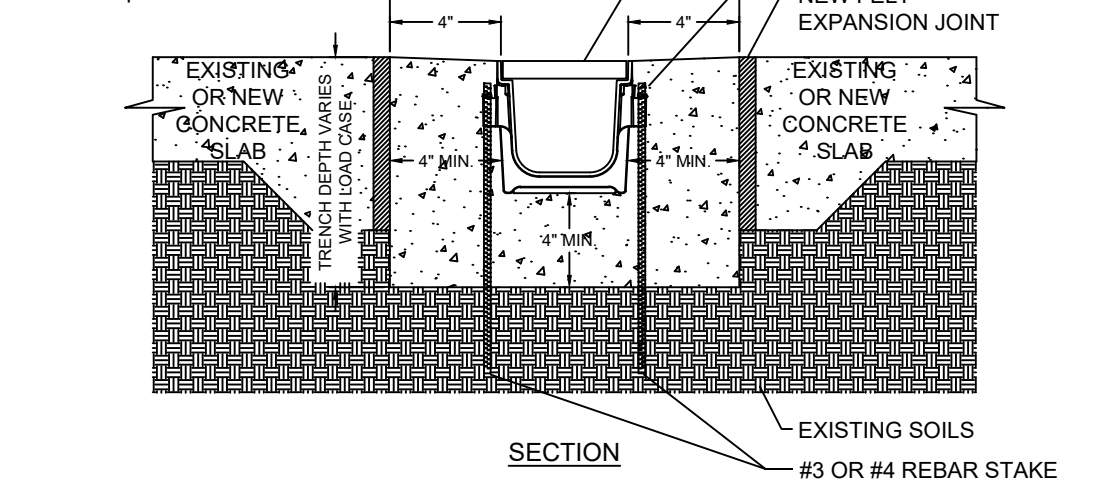
FLOOR PLAN

A2.0

FLOOR FINISH LEGEND

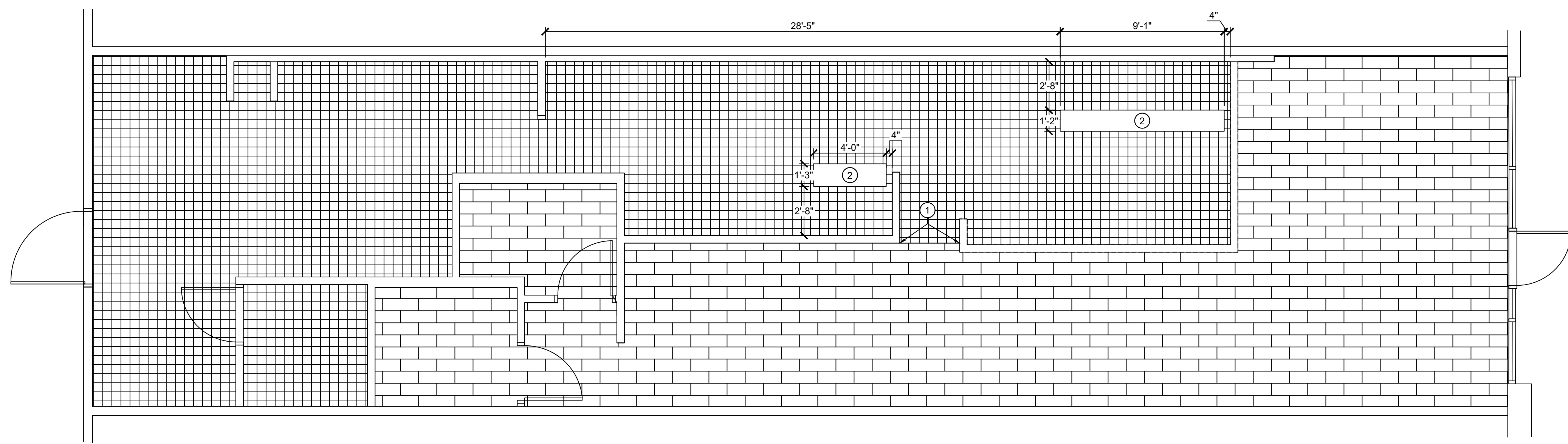


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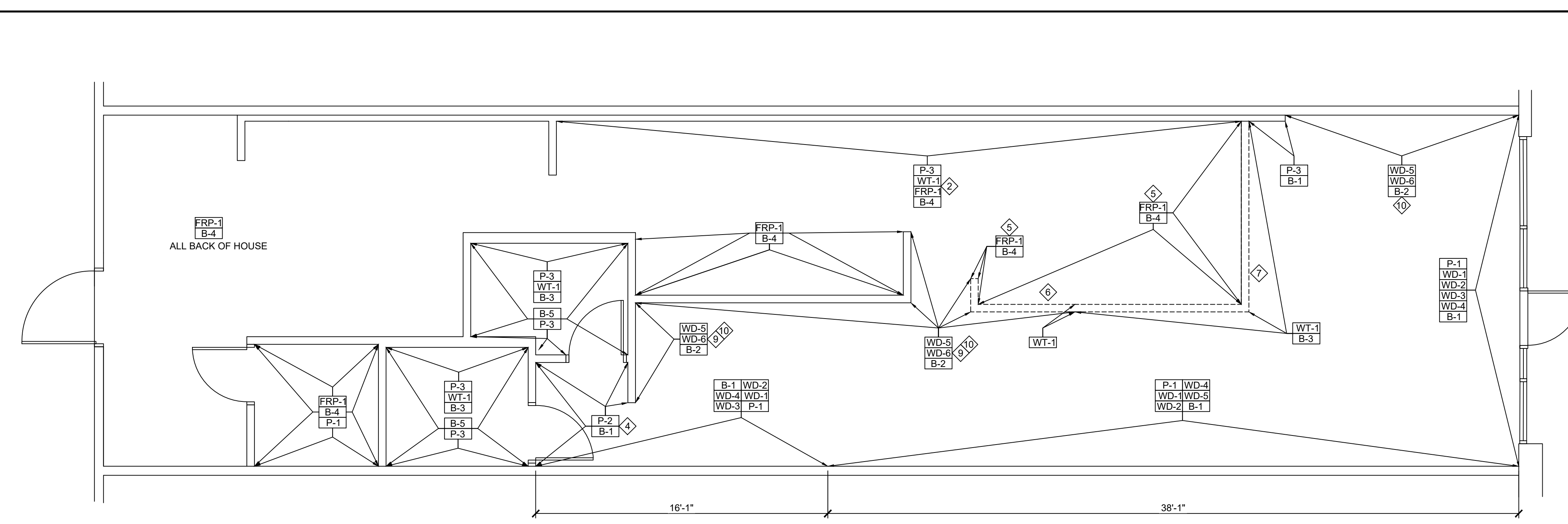


- NOTES:**
- CHANNELS TO BE INSTALLED WITH GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWING.
 - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

PRO SERIES CHANNEL DRAIN SYSTEM
5' PRO SERIES INSTALLATION DETAIL - LOAD CLASS 'A' & 'B' - 4" ENCASMENT REBAR SUSPENSION



1 FLOOR FINISH PLAN
SCALE: 1/4" = 1'-0"



2 WALL FINISHES PLAN
SCALE: 1/4" = 1'-0"

INTERIOR FINISHES SCHEDULE

FLOOR TILE (DINING)	WALL TILE
[FT-#]	[WT-#]
FT-1 MANUF: CENTIVA TYPE: VINYL FLOORING SERIES: CONTOUR PLANK NUMBER: CP-0303-C COLOR: VINTAGE CHALET CONTACT INFO: LENNIE ROWAN, LEED GA ACCOUNT EXECUTIVE TANDUS / CENTIVA A TARKETT COMPANY (404) 428-5210	WT-1 MANUF: DAL TILE OR EQUAL TYPE: CERAMIC TILE COLOR: WHITE SIZE: 3" X 6" GROUT MANUF: POLYBLEND OR EQUAL GROUT TYPE: NON-SANDED GROUT COLOR: NEW TAUPE #185 SCHLUTER: JOLLY A890 SATIN ANODIZED ALUMINUM
	PAINT
	P-1 MANUF: SHERWIN WILLIAMS NUMBER: SW-7103 COLOR: WHITETAIL FINISH: SATIN
FLOOR TILE (KITCHEN)	
[FT-#]	
FT-2 MANUF: DAL TILE OR EQUAL TYPE: QUARRY TILE COLOR: 0T03 ASHEN GRAY SIZE: 6" X 6" GROUT MANUF: POLYBLEND OR EQUAL GROUT TYPE: SANDED GROUT COLOR: DELOREAN GRAY #165	P-2 MANUF: SHERWIN WILLIAMS NUMBER: SW-6621 COLOR: EMOTIONAL FINISH: SATIN
	P-3 MANUF: SHERWIN WILLIAMS NUMBER: SW-6403 COLOR: BREAKTIME FINISH: SATIN
FLOOR TILE BASE	
[B-#]	
B-1 TYPE: STAIN GRADE PINE SIZE: 1" X 4" STRIPS STAIN: SHERWIN WILLIAMS NUMBER: SW-224 FINISH: SPECIAL WALNUT	
B-2 3-5/8" METAL STUD TRACK INSTALLED W/FLANGES FACING THE WALL. SHINY, NON-TEXTURED FINISH. 20 GAUGE.	
B-3 MANUF: DAL TILE OR EQUAL TYPE: CERAMIC COVE BASE COLOR: WHITE SIZE: 3" X 6" GROUT MANUF: POLYBLEND OR EQUAL GROUT TYPE: SANDED GROUT COLOR: NEW TAUPE #185	
B-4 MANUF: DAL TILE OR EQUAL TYPE: QUARRY TILE BASE COLOR: 0T03 ASHEN GRAY SIZE: 5" X 6" GROUT MANUF: POLYBLEND OR EQUAL GROUT TYPE: SANDED GROUT COLOR: DELOREAN GRAY #165	
B-5 MANUF: JOHNSONITE TYPE: VINYL WALL BASE COLOR: SEAWEEED #101 SIZE: 4" HIGH (FOR RESTROOMS & OPTIONAL KITCHEN BASE)	
COUNTER TOPS	
[ST-#]	
ST-1 MANUF: LG HAUSYS TYPE: HI-MACS ACRYLIC COLOR: TROPICAL TEAL FINISH: POLISHED THICKNESS: 1/2"	
ST-2 MANUF: JOHN BOOS OR EQUAL TYPE: BUTCHER BLOCK TOP LAMINATED CLEAR THROUGH, WARP RESISTANT AND ELECTRONICALLY THERMOBONDED. MAPLE - EDGE GRAINED THICKNESS: 1-1/2" - 1-3/4" FINISH: VARNIQUE. IF VARNIQUE SURFACE IS CUT, IT WILL NEED TO BE RE-SEALED USING BOOS EZ-DO FINISH OR DURAKRYL 102	
ST-3 MANUF: HOME DEPOT TYPE: PVC TRIM PLANK COLOR: WHITE NUMBER: VERANDA 7311 OR SIMILAR SIZE: 1" X 6"	
FIBERGLASS PANEL	
[FRP-#]	
FRP-1 MANUF: FRP TYPE: X COLOR: WHITE NOTE: CAULK ALL JOINTS. EXISTING FRP TO REMAIN WHERE POSSIBLE	
WOOD	
[WD-#]	
WD-1 TYPE: 1" X 2" TRIM BOARD FINISH: PAINTED: P-1 NOTE: PLACE BATTENS EVERY 24" O.C. TO PROVIDE A BOARD AND BATTEN APPEARANCE OR AS NOTED IN THE ELEVATIONS	
WD-2 TYPE: STAIN GRADE PINE FINISH: PAINTED: P-1 NOTE: 1" X 2" STRIPS	
WD-3 TYPE: 4FT X 8FT BEAD BOARD PANEL FINISH: PAINTED: P-1	
WD-4 TYPE: STAIN GRADE PINE FINISH: PAINTED: P-1 NOTE: 1" X 4" STRIPS	
WD-5 TYPE: FRAMING GRADE WOOD PLANKS FINISH: SHERWIN WILLIAMS SW-224 SPECIAL WALNUT NOTE: 1" X 6" KNOTTY PINE	
WD-6 TYPE: FRAMING GRADE WOOD PLANKS FINISH: SHERWIN WILLIAMS SW-224 SPECIAL WALNUT NOTE: 1" X 1" KNOTTY PINE SPECIAL WALNUT STAIN ON ALL SURFACES TO BE ONE COAT ONLY. RUBBED ON AND IMMEDIATELY WIPED FOR A LIGHT COLORED FINISH	
SUSPENDED CEILING	
[AT-#]	
AT-1 MANUF: ARMSTRONG TYPE: CLASS 'A' NUMBER: 1728A WH FINE FISSURED COLOR: WHITE SIZE: 24" X 24" X 5/8" GRID: 15/16" GRID. MATCH WHITE COLOR OF CEILING TILE	
AT-2 MANUF: ARMSTRONG TYPE: CLASS 'A' NUMBER: WASHABLE VINYL SURFACE COLOR: WHITE SIZE: 24" X 48" X 5/8" GRID: NEW WHITE 15/16" GRID	
AT-3 MANUF: ARMSTRONG TYPE: CLASS 'A' NUMBER: WASHABLE VINYL SURFACE COLOR: WHITE SIZE: 24" X 24" X 5/8" GRID: 5/16" GRID. MATCH WHITE COLOR OF CEILING TILE	

ROOM FINISH SCHEDULE

AREA	FLOOR		WALLS		CEILING		REMARKS
	MATERIAL	BASE	MATERIAL	HEIGHT	MATERIAL	HEIGHT	
DINING 100	TILE [FT-1]	TILE [B-1] [B-2]	PAINT [P-1]	WOOD [WD-1] [WD-2]	ACT [AT-1]	SEE RCP ON A150	-
CASHIER 200	TILE [FT-1]	TILE [B-2] [B-3]	TILE [WT-1] [WD-5] [WD-6]	WOOD [WD-6]	ACT [AT-1]	SEE RCP ON A150	-
SMOOTHIE PREP 300	TILE [FT-2]	TILE [B-4]	PAINT [P-3]	TILE [WT-1]	ACT [AT-3]	SEE RCP ON A150	-
FOOD PREP 400	TILE [FT-2]	TILE [B-4]	PAINT [P-3]	TILE [WT-1]	ACT [AT-3]	SEE RCP ON A150	-
OFFICE 500	TILE [FT-2]	TILE [B-4]	FINISH [FRP-1]		ACT [AT-2]	SEE RCP ON A150	-
KITCHEN 600	TILE [FT-2]	TILE [B-4]	FINISH [FRP-1]		ACT [AT-2]	SEE RCP ON A150	-
RESTROOM 700	TILE [FT-1]	TILE [B-5]	PAINT [P-3]	TILE [WT-1]	PAINTED GYP [P-3]	SEE RCP ON A150	-

RESTROOM FINISHES

STOOL / VANITY WALL TO HAVE [WT-1] WALL TILE FROM FLOOR TO 48" AFF (HORIZONTAL MOUNT). WALL ABOVE TILE TO BE PAINTED WITH [P-3].
 ALL OTHER WALLS TO BE PAINTED [P-3] FROM FLOOR TO CEILING
 INTERIOR SIDE OF DOOR AND TRIM TO BE PAINTED WITH [P-3].
 BASE TO BE [B-5]

KEY NOTES

NO.	ITEM DESCRIPTION
1	GYP. BOARD WALL OR FRP OPTION
2	[FRP-1] FROM FLOOR TO 34" AFF. WT-1 FROM 35" AFF TO 62" AFF
3	DINING SIDE OF DOOR AND TRIM TO BE PAINTED [P-2]
4	PAINTED GYP. BOARD WALL
5	[FRP-1] INSTALLED FROM FLOOR TO TOP OF HALF HEIGHT WALL
6	HORIZONTAL SURFACE TO BE [ST-1]
7	HORIZONTAL SURFACE TO BE [ST-2]
8	HORIZONTAL SURFACE TO BE [ST-3]
9	CORRUGATED METAL APPLIED TO WALL AS SHOWN ON ELEVATIONS
10	WALL PAINTED BLACK BEHIND [WD-5] WOOD PLANKS

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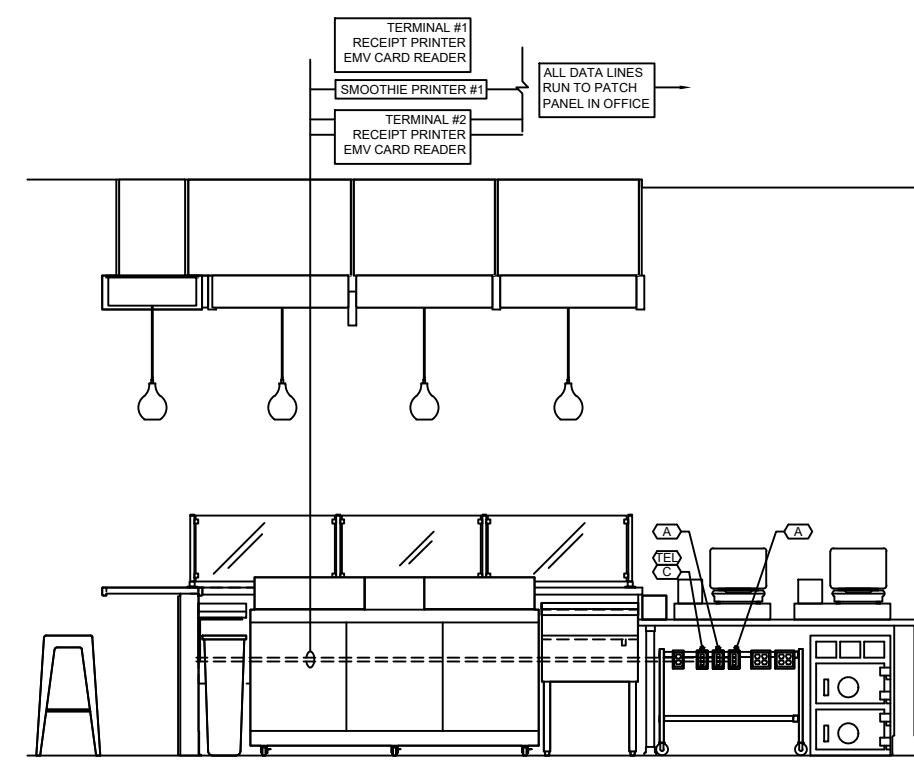
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REVISION
1
2
3

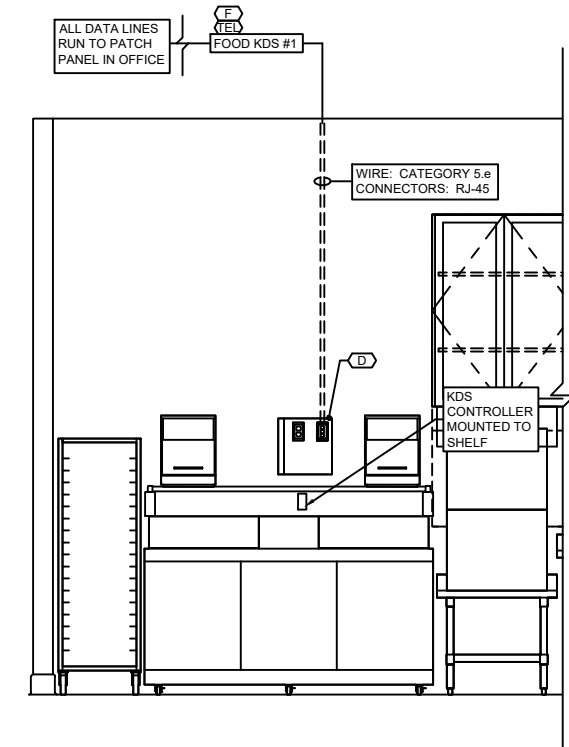
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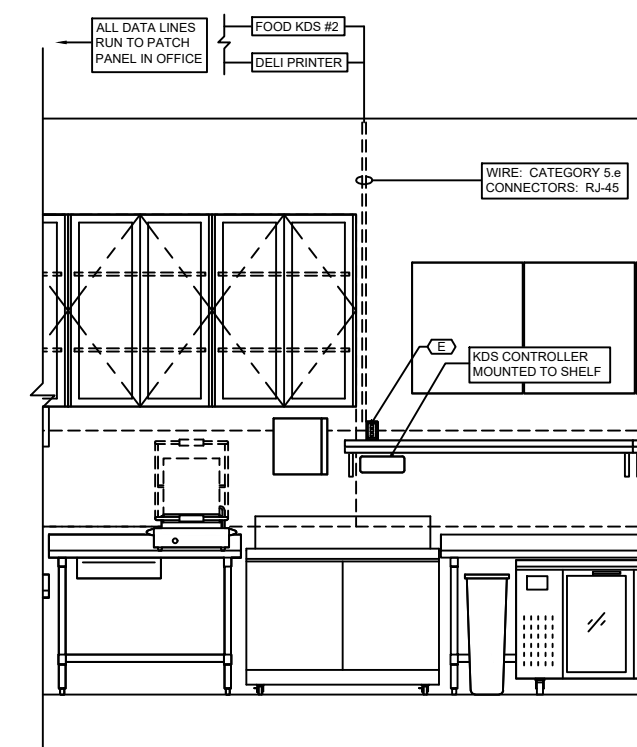
FLOOR FINISH PLAN
A2.1



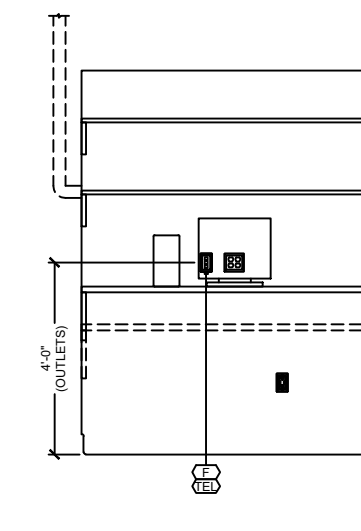
A FRONT LINE (BACK VIEW)
SCALE: 1/4" = 1'-0"



B KDS #1
SCALE: 1/4" = 1'-0"



C KDS #2 / DELI PRINTER
SCALE: 1/4" = 1'-0"



D OFFICE DESK (FRONT VIEW)
SCALE: 1/4" = 1'-0"

DATA OUTLET LOCATION

NO.	QTY	ITEM DESCRIPTION	HGT
A	2	POS STATION OUTLET (CASHIER COUNTER)	24"
B	0	POS STATION OUTLET (DRIVE-THRU AREA)	46"
C	1	SMOOTHIE PRINTER OUTLET (CASHIER COUNTER)	24"
D	1	KDS OUTLET (TWO WHEN DRIVE-THRU WINDOW)	67"
E	1	KDS / DELI PRINTER OUTLET (AT FINISH STATION)	67"
F	1	OFFICE OUTLET (PRINTER)	46"

GENERAL NOTES

- 1 VERIFY ALL REQUIREMENTS WITH POS SUPPLIER
- 2 OWNER TO COORDINATE WITH MICROS & RTG FOR ALL KDS AND PRINTER LOCATIONS
- 3 ALL POS WIRING TO BE PROVIDED BY AND INSTALLED BY RTG
- 4 G.C. TO CONTACT RTG 4 WEEKS PRIOR TO INSTALL
- 5 G.C. RESPONSIBLE FOR CONDUITS WITH PULL STRING AND EMPTY ELECTRICAL BOXES TO ACCESSIBLE CEILING LOCATIONS

T-STAT LOCATIONS

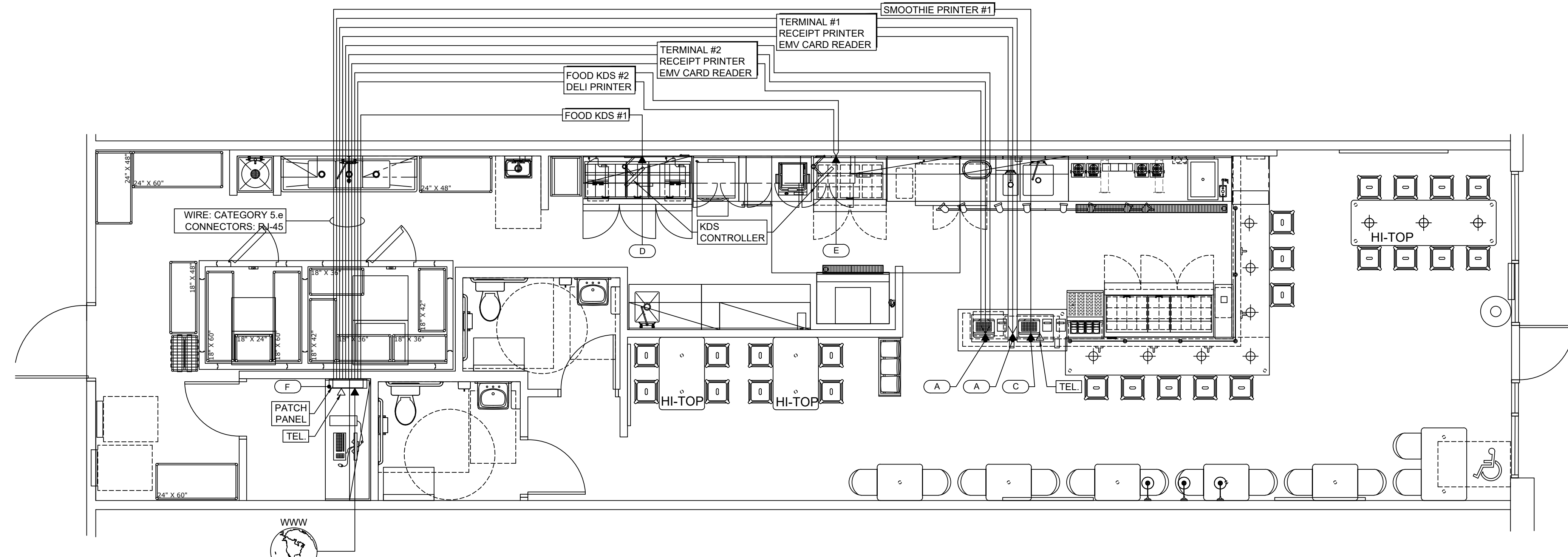
NO.	ITEM DESCRIPTION
T-STAT PREFERRED LOCATIONS	
1	NEAR THE RESTROOM CORRIDOR
2	NEAR THE WATER HEATER / MOP SINK AREA

SPEAKER LOCATIONS

NO.	ITEM DESCRIPTION
MUZAK, MOOD MEDIA - PREFERRED VENDOR - 3 SPEAKERS	
1	NEAR THE SMOOTHIE BAR BETWEEN BAR AND FRONT WALL
2	NEAR THE COMMUNITY TABLE
3	NEAR THE BANQUETTE
SPEAKERS NOT LOCATED NEAR CEILING FANS & POS AREA	

VIDEO SURVEILLANCE LOC'S

NO.	ITEM DESCRIPTION
MIN. RECOMMENDED SURVEILLANCE (4 CAMERA SYSTEM)	
1	MANAGER'S STATION
2	POS AREA / SAFE
3	BACK DOOR
4	MAIN ENTRY
PREFERRED SURVEILLANCE (8 CAMERA SYSTEM)	
5	SMOOTHIE MAKE LINE
6	PREP AREA
7	DINING AREA
8	BACK OF HOUSE OR CAFE SPECIFIC UNMONITORED AREAS

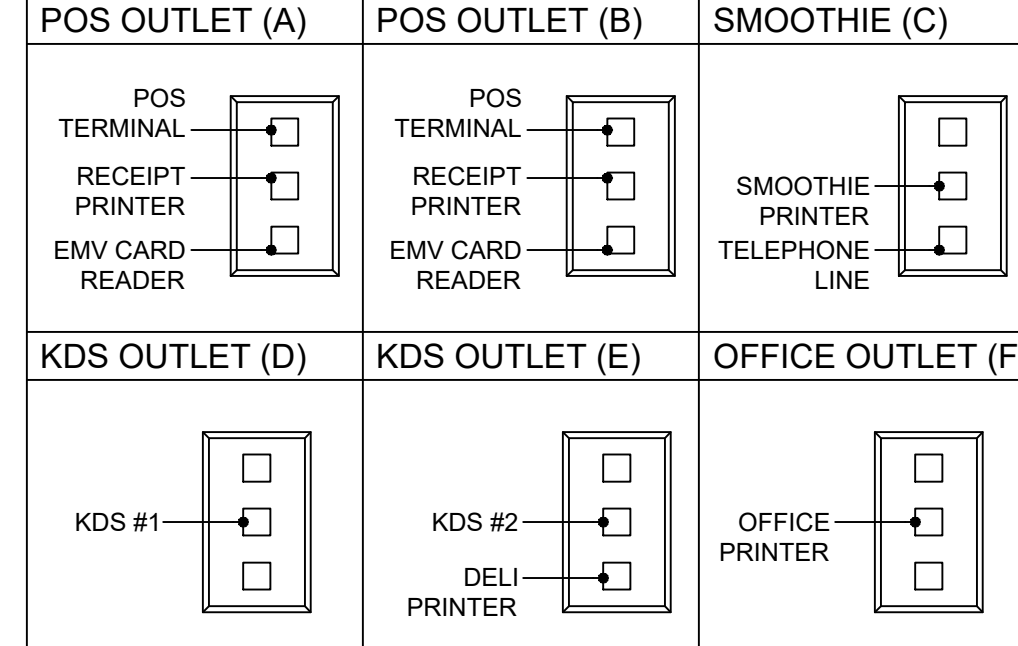


2 LOW VOLTAGE WIRING PLAN
SCALE: 1/4" = 1'-0"

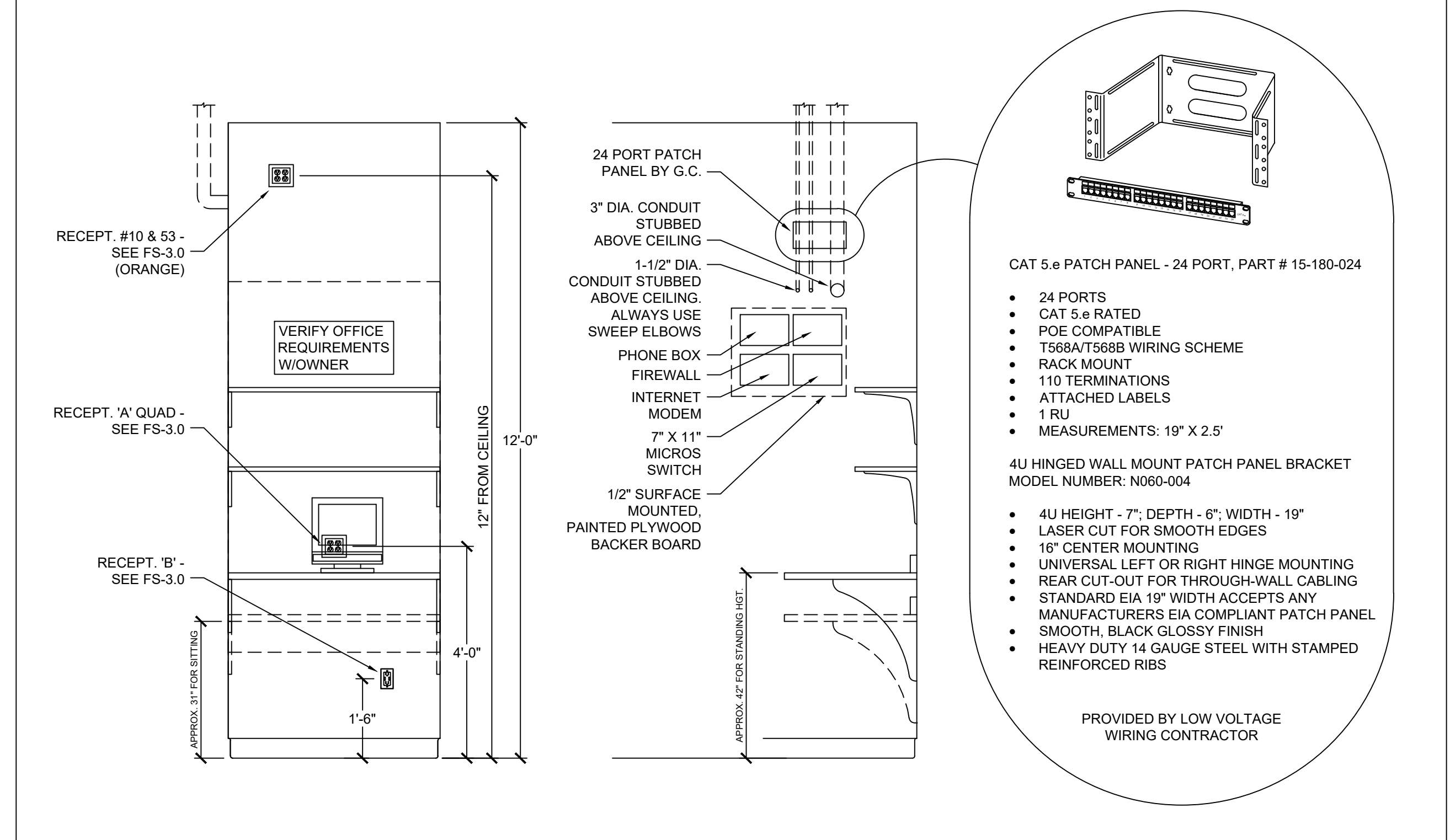
POWER AND CABLING REQ'S

- | NO. | PATCH PANEL |
|-----|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | THE 24 PORT PATCH PANEL SHOULD BE MOUNTED ON THE WALL WITH EACH RJ45 TERMINATION LABELED TO THE CORRESPONDING LOCATION OF THE TERMINALS AND PRINTERS ON THE COUNTER AND PREP AREAS. |
| 2 | POWER SHOULD BE 1-QUAD OR 2-DUPLEX DEDICATED AND ISOLATED GROUND (ORANGE) AC PLUG(S). |
| 3 | THE INTERNET CONNECTION FOR CREDIT CARD PROCESSING SHOULD BE LOCATED CLOSE TO THE POS PC. THE INTERNET CONNECTION MUST BE A STATIC IP ADDRESS. (OFFICE AREA) |
-
- | COUNTER AREA | |
|--------------|--------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | AT EACH COUNTER POS TERMINAL LOCATION, CAT 5 CABLES MUST BE TERMINATED WITH RJ45 CONNECTORS WITH 2X2 JUNCTION BOX WITH MOUNTED FACE PLATE. |
| 2 | DOUBLE RUN OF CAT 5 CABLE FOR EACH TERMINAL. |
| 3 | AT EACH COUNTER POS TERMINAL, DEDICATED AND ISOLATED GROUND (ORANGE) DUPLEX AC PLUG FOR TERMINAL AND PRINTER. |
-
- | PRINTERS AND KITCHEN DISPLAYS | |
|-------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | AT EACH COUNTER POS TERMINAL LOCATION, CAT 5 CABLES MUST BE TERMINATED WITH RJ45 CONNECTORS WITH 2X2 JUNCTION BOX WITH MOUNTED FACE PLATE. |
| 2 | SINGLE RUN OF CAT 5 CABLE FOR EACH PRINTER AND KITCHEN DISPLAY. |
- IMPORTANT - SINGLE POS TERMINAL LOCATIONS WITH 2 REMOTE PRINTERS MUST HAVE 2 CAT 5 CABLES RUNNING FROM EACH KITCHEN PRINTER TO THE PATCH PANEL IN THE OFFICE IN ORDER TO DRIVE BOTH PRINTERS.

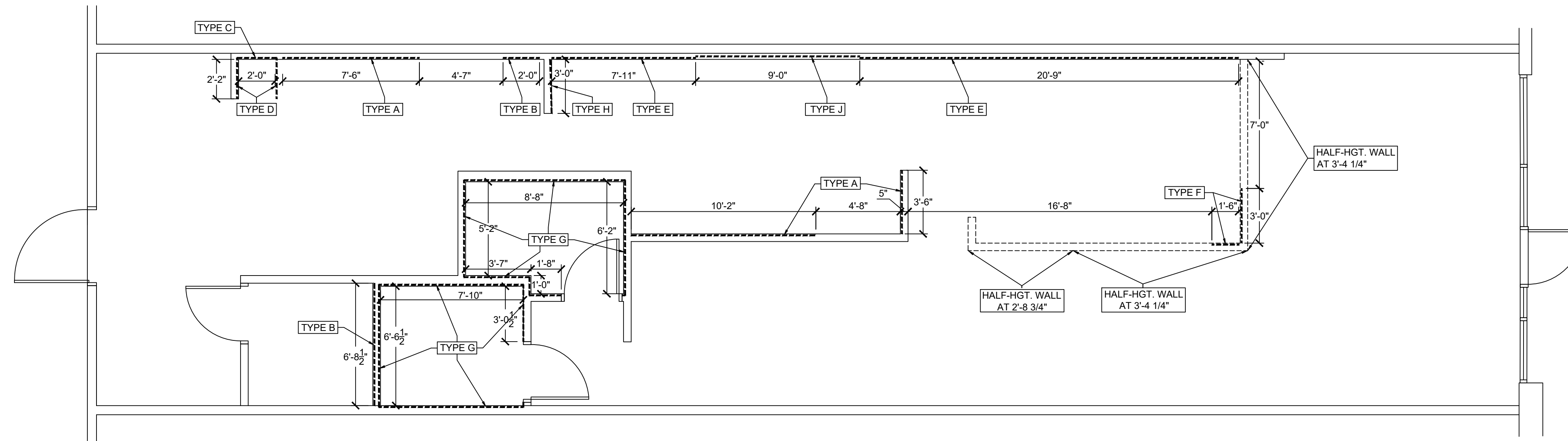
OUTLET CONFIGURATION



OFFICE WIRING DETAIL

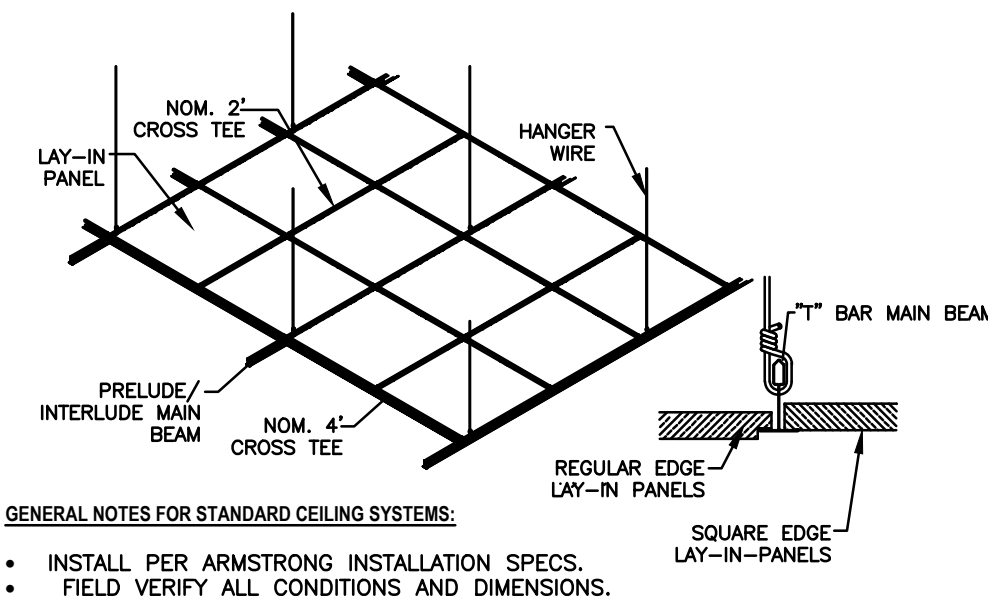


1 OFFICE OUTLET AND LOW VOLTAGE EQUIPMENT LOCATIONS
SCALE: 1/2" = 1'-0"



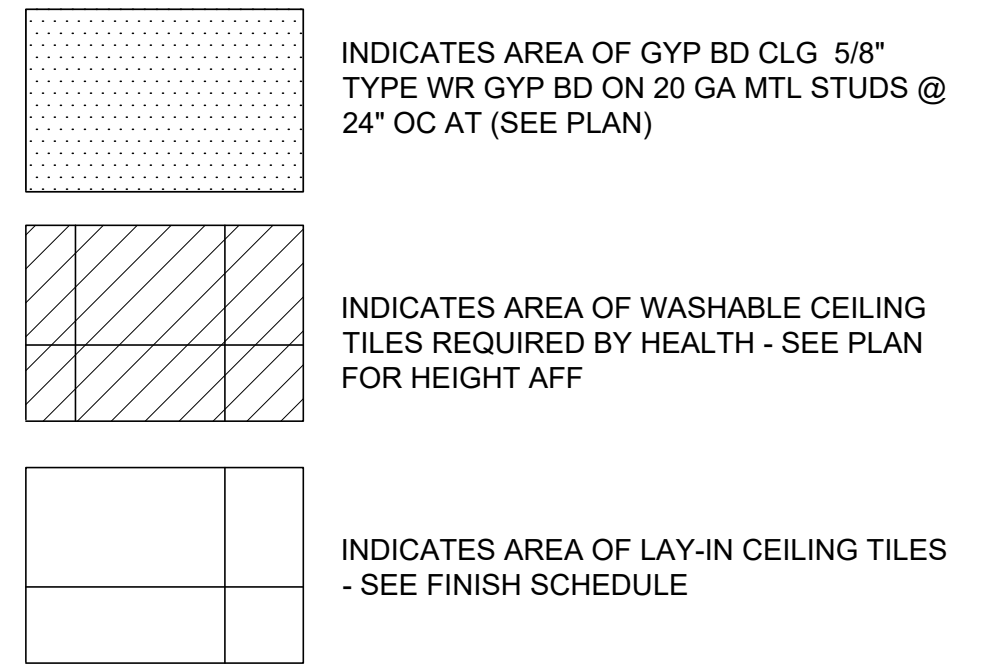
1 WALL BACKING PLAN
SCALE: 1/4" = 1'-0"

WALL BACKING LEGEND			
TYPE	HGT.	LOCATION	REMARKS
A	72"	FROM 36" TO 108" A.F.F.	OVER SHELVES AND ICE FILTER
B	84"	FROM 24" TO 108" A.F.F.	HAND SINK AND OFFICE
C	30"	FROM 39" TO 69" A.F.F.	MOP SINK FAUCET BRACKET
D	12"	FROM 48" TO 60" A.F.F.	MOP RACK
E	24"	FROM 42" TO 66" A.F.F.	FRONT WALL SHELVES
F	VARIES	FROM 18" TO TOP OF HALF-HGT. WALL	WALL MOUNTED WORK TOP
G	30"	FROM 24" TO 64" A.F.F.	RESTROOM FIXTURES
H	24"	FROM 18" TO 42" A.F.F.	WALL MOUNTED WORK TOP
J	78"	FROM 42" TO 120" A.F.F.	FRONT WALL CABINETS



GENERAL NOTES FOR STANDARD CEILING SYSTEMS:
 • INSTALL PER ARMSTRONG INSTALLATION SPECS.
 • FIELD VERIFY ALL CONDITIONS AND DIMENSIONS.

A SUSPENDED GRID DETAIL



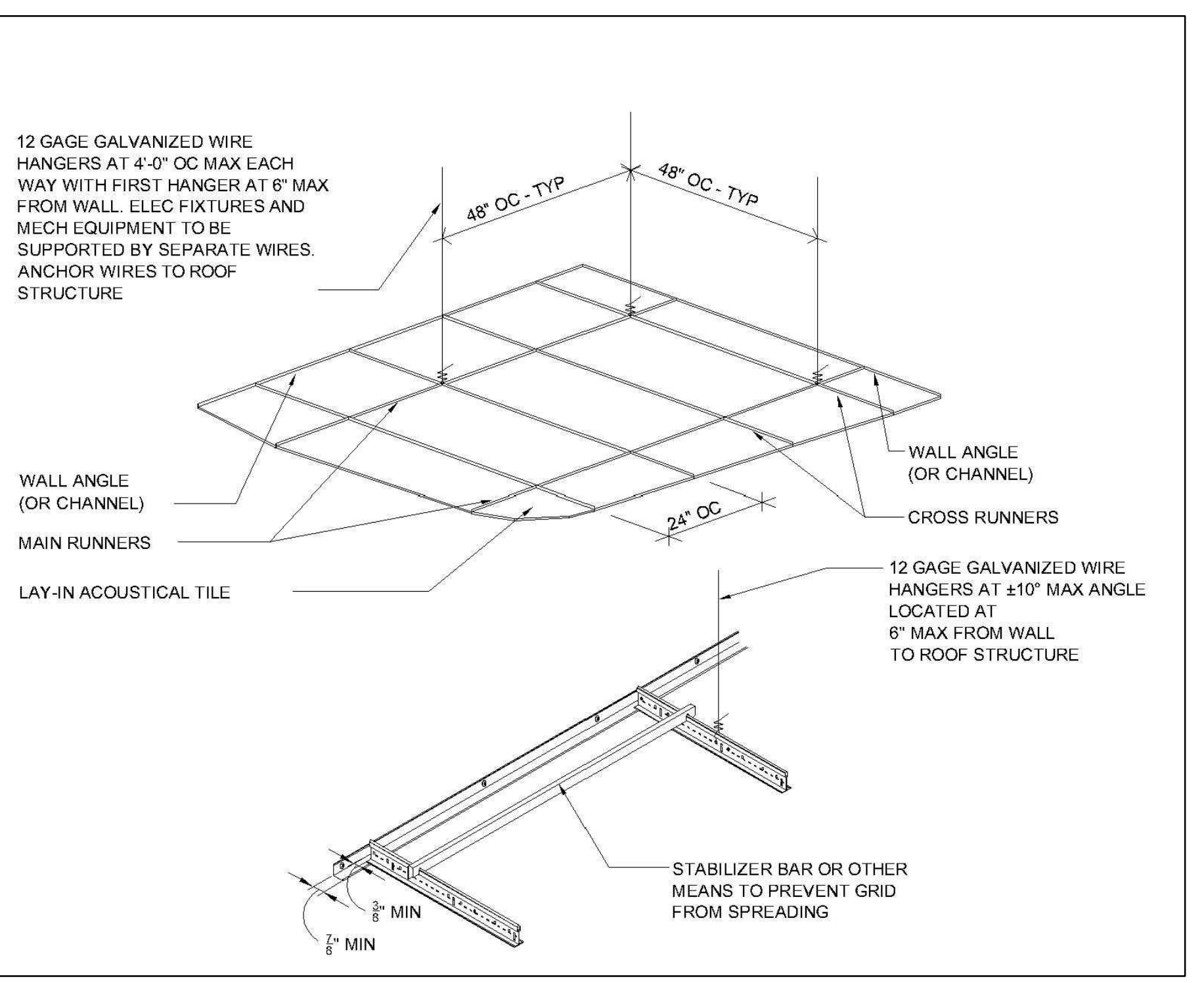
NOTE:
SEE MECHANICAL FOR EXACT LOCATION OF DIFFUSERS

NOTE:
SEE ELECTRICAL SHEETS FOR LIGHTING SPECIFICATIONS AND EMERGENCY LIGHT PACK LOCATIONS.

NOTE:
ALL GRILLES/DIFFUSERS TO MATCH CEILING TILES - SEE MECHANICAL SHEETS FOR EXACT LOCATIONS

EXTERIOR SIGN UNDER SEPARATE PERMIT PROVIDED BY SIGN COMPANY & INSTALLED BY SIGN COMPANY

SUSPENDED CEILING SUPPORT DETAIL



NOTE:
SIGN MANUFACTURER TO SUBMIT TO LANDLORD DETAILED CUT SHEETS FOR MAIN STOREFRONT SIGN. LANDLORD MUST APPROVE ALL SIGNS IN WRITING PRIOR TO FABRICATION.

NOTE:
ALL LIGHTS IN THE PREPARATION AREA, STORAGE AREA, DISHWASH AREA, WALK-IN REFRIGERATOR, AND FREEZER MUST HAVE SHATTERPROOF COVERS.

KEY NOTES

NO. 1	WALL MTD. MENU BOARD FROM 6'-3" AFF TO 9'-0" AFF	NO. 6	CEILING GRID INSTALLED @ 90° W/STORE FRONT
NO. 2	CEILING MOUNTED TRACK LIGHTING	NO. 7	PENDANT LIGHT AT 7'-0" TO BOTTOM OF PENDANT
NO. 3	CEILING FAN: 8'-6" A.F.F. TO BOTTOM OF FIXTURE	NO. 8	WALL SCONCE AT 8'-6" A.F.F. TO CENTER OF J-BOX
NO. 4	PAINTED GYP. BOARD CEILING	NO. 9	SUSPENDED MILLWORK SOFFIT BY G.C.
NO. 5	CEILING GRID INSTALLED @ 90° W/STORE FRONT		

REFLECTED CEILING SCHEDULE

SUSPENDED CEILING		PAINT	
AT-1	MANUF: ARMSTRONG TYPE: CLASS "A" NUMBER: 1728A WH FINE FISSURED COLOR: WHITE SIZE: 24" X 24" X 5/8" GRID: 15/16" GRID. MATCH WHITE OF CEILING TILE	P-1	MANUF: SHERWIN WILLIAMS NUMBER: SW-7103 COLOR: WHITETAIL FINISH: SATIN
AT-2	MANUF: ARMSTRONG TYPE: CLASS "A" NUMBER: WASHABLE VINYL SURFACE COLOR: WHITE SIZE: 24" X 48" X 5/8" GRID: NEW WHITE 15/16" GRID	P-2	MANUF: SHERWIN WILLIAMS NUMBER: SW-6621 COLOR: EMOTIONAL FINISH: SATIN
AT-3	MANUF: ARMSTRONG TYPE: CLASS "A" NUMBER: WASHABLE VINYL SURFACE COLOR: WHITE SIZE: 24" X 24" X 5/8" GRID: 5/16" GRID. MATCH WHITE OF CEILING TILE	P-3	MANUF: SHERWIN WILLIAMS NUMBER: SW-6463 COLOR: BREAKTIME FINISH: SATIN

JD RYAN - ACCOUNT MANAGER
 HERMITAGE LIGHTING NATIONAL ACCOUNTS
 3640 TROUSDALE DR. NASHVILLE, TN 37204
 EMAIL: jryan@hermitagelighting.com
 PHONE: (615) 843-3394
 FAX: (615) 843-3351
 WEBSITE: http://nationalaccounts.hermitagelighting.com/#home

LIGHT FIXTURE SCHEDULE

SYMBOL	TYPE	CATALOG #	DESCRIPTION	SUPPLIER
[Symbol]	A	20800844	2X4 LED FIXTURE	HERMITAGE LIGHTING
[Symbol]	AE	20800852	2X4 LED FIXTURE W / EM	HERMITAGE LIGHTING
[Symbol]	B	20801082	LED MODULE	HERMITAGE LIGHTING
[Symbol]	B	20800761	RECESSED NEW HOUSING	HERMITAGE LIGHTING
[Symbol]	B	20800977	REMODEL HOUSING	HERMITAGE LIGHTING
[Symbol]	CF	50069353	CEILING FAN	HERMITAGE LIGHTING
[Symbol]	CF	518730	FAN SPEED CONTROLLER	HERMITAGE LIGHTING
[Symbol]	CF	522808	CANOPY MODULE	HERMITAGE LIGHTING
[Symbol]	D	72002753	LED STRIP	HERMITAGE LIGHTING
[Symbol]	EF	136186	VENT FAN	HERMITAGE LIGHTING
[Symbol]	EM	90902323	EMERGENCY	HERMITAGE LIGHTING
[Symbol]	MS	527997	MOTION SENSOR	HERMITAGE LIGHTING
[Symbol]	P	86703397	BLUE SEEDED GLASS PENDANT	HERMITAGE LIGHTING
[Symbol]	P	43907403	LAMP	HERMITAGE LIGHTING
[Symbol]	S	6619813	BRONZE WALL SCONCE	HERMITAGE LIGHTING
[Symbol]	S	43907403	LAMP	HERMITAGE LIGHTING
[Symbol]	T	18644197	TRACK HEAD	HERMITAGE LIGHTING
[Symbol]	T	18622804	4' TRACK	HERMITAGE LIGHTING
[Symbol]	T	18622846	8' TRACK	HERMITAGE LIGHTING
[Symbol]	T	18622888	STRAIGHT CONNECTOR	HERMITAGE LIGHTING
[Symbol]	T	18642000	CURRENT LIMITER	HERMITAGE LIGHTING
[Symbol]	T	18641995	CURRENT LIMITER END FEED	HERMITAGE LIGHTING
[Symbol]	X	90900301	EXIT SIGN	HERMITAGE LIGHTING
[Symbol]	XC	90902167	EXIT EMERGENCY COMBO	HERMITAGE LIGHTING
[Symbol]	X2	90903363	MULTIVOLT EGRESS HEAD	HERMITAGE LIGHTING

FOR SPECIAL NATIONAL ACCOUNT PRICING CONTACT: HERMITAGE LIGHTING. ATTN: JD RYAN (615) 843-3394

GENERAL CONTRACTOR TO CONTACT HERMITAGE LIGHTING PRIOR TO INSTALLATION TO OBTAIN FINAL LIGHTING QUOTE BASED OFF APPROVED CONSTRUCTION DRAWINGS.

STUD GAUGE SCHEDULE

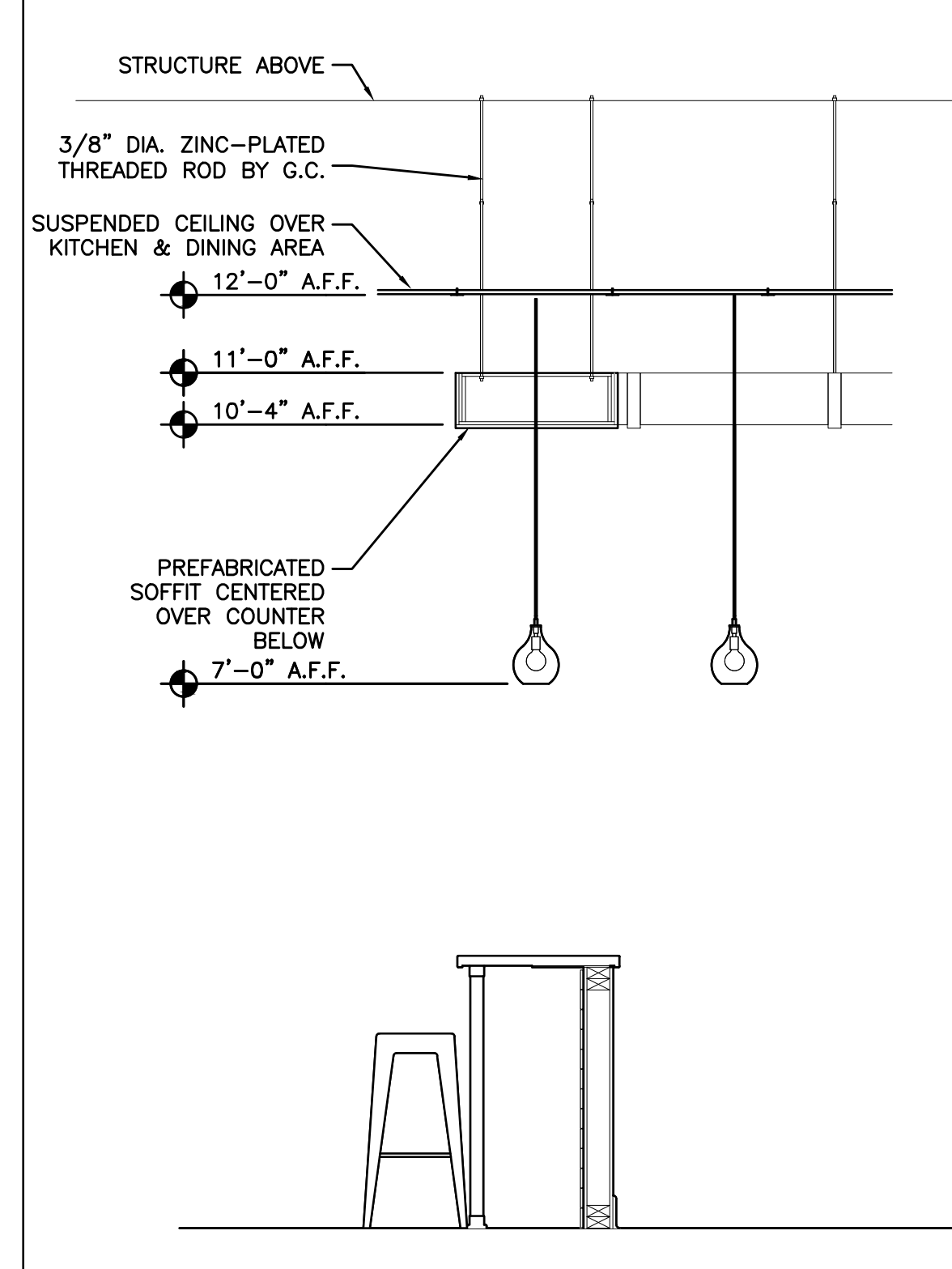
A. TABLE BELOW IS BASED ON UNIVERSAL INDUSTRIES, UNIMAST (USG) CORPORATION'S LIMITING HEIGHT TABLE FOR EMBRACED STUDS SPACED 16" AND 24" O.C. (SYSTEM FOLDER SA-923-1990 EDITION), REQUIREMENT FOR 5 PSF LATERAL PRESSURE AND 1/240 ALLOWABLE DEFLECTION FOR FLEXIBLE FINISHES, WITH 1 LAYER OF GYP. BD. PER SIDE OF STUD.

B. SCHEDULED HEIGHTS MAY BE INCREASED BY 50% WHERE THE STUDS ARE DIAGONALLY BRACED AT THE MAXIMUM HEIGHT POINT TO THE STRUCTURE ABOVE @ 4'-0" O.C.

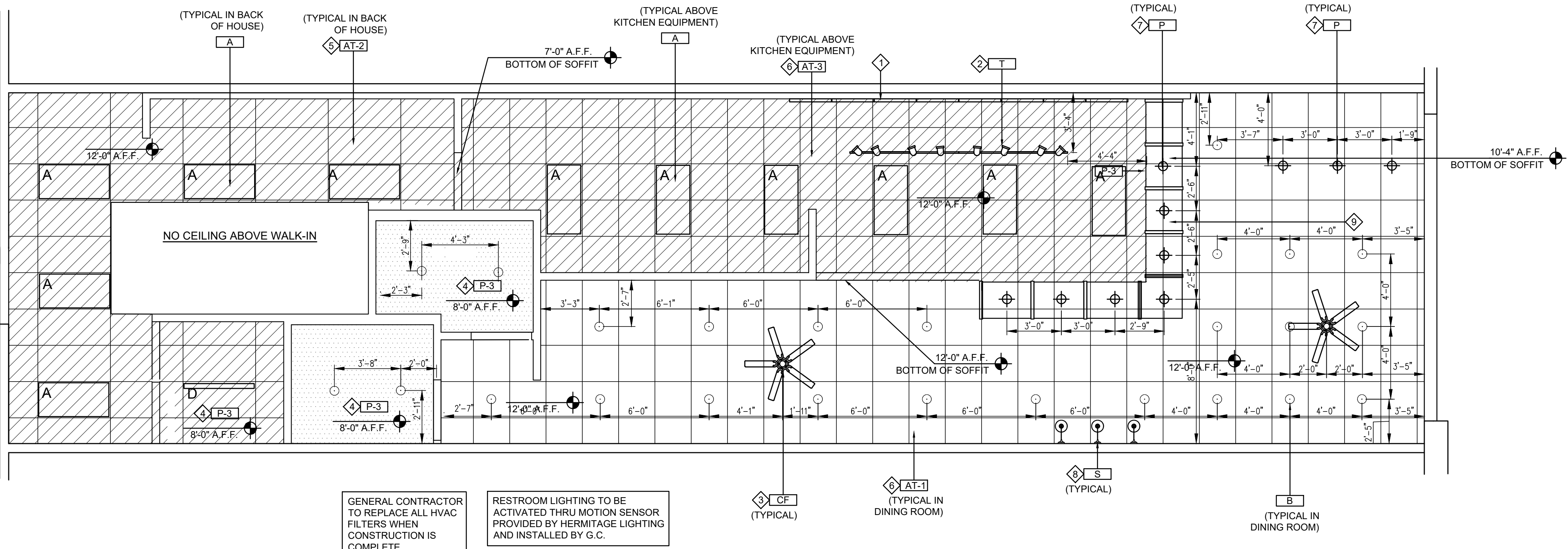
C. CAUTION! WHEN USING STUDS MANUFACTURED BY A COMPANY OTHER THAN USG, VERIFY MANUFACTURER'S STUD STRENGTH AND LIMITING HEIGHT. ADJUST GAUGE AND MAXIMUM HEIGHT RECOMMENDED BY MANUFACTURER'S CURRENT PRINTED SPECIFICATION.

STUD WIDTH	STUD TYPE	STUD GAUGE	STUD SPACING	MAX. HEIGHT
1-5/8"	158ST25	25	16"	9'-6"
	158ST25	25	24"	7'-3"
2-1/2"	212ST25	25	16"	12'-6"
	212ST25	25	24"	10'-9"
	212ST22	22	16"	13'-0"
	212ST22	22	24"	11'-6"
	212ST20	20	16"	14'-0"
3-5/8"	368ST25	25	16"	12'-3"
	368ST25	25	24"	16'-0"
	368ST22	22	16"	13'-6"
	368ST22	22	24"	17'-3"
	368ST20	20	16"	15'-0"
6"	600ST25	25	16"	18'-3"
	600ST25	25	24"	16'-0"

SOFFIT SECTION DETAIL



2 SOFFIT DETAIL FOR SUSPENDED DINING CEILING
 1/2" = 1'-0"



1 REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

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 Architect

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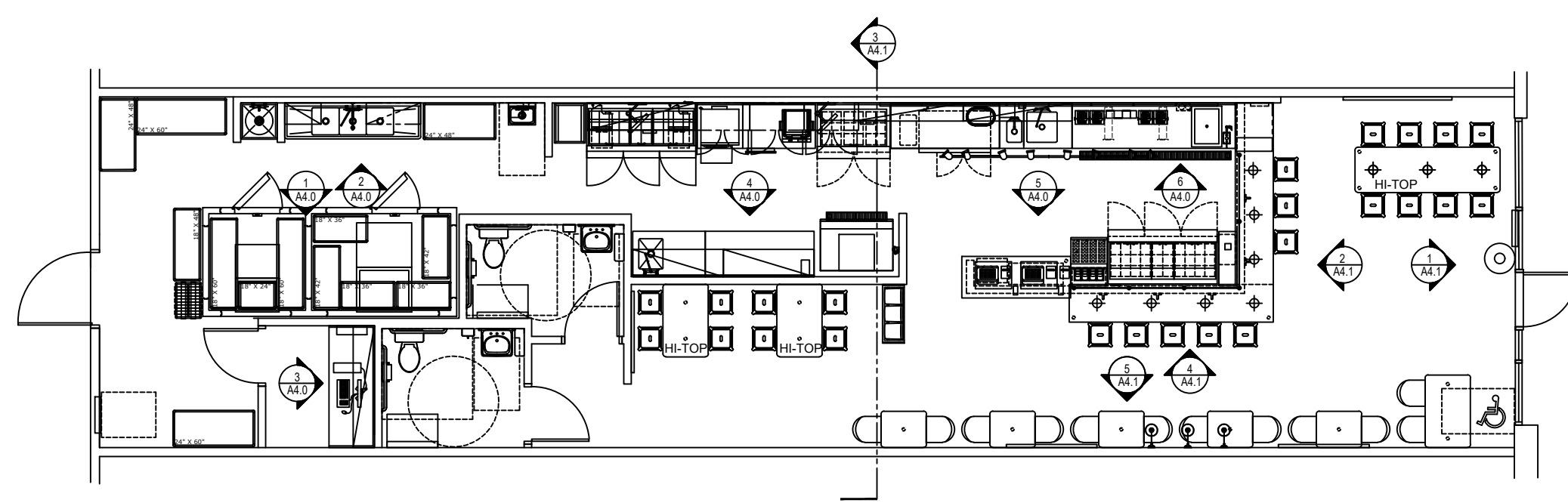
REVISION

DATE: 03.05.2020

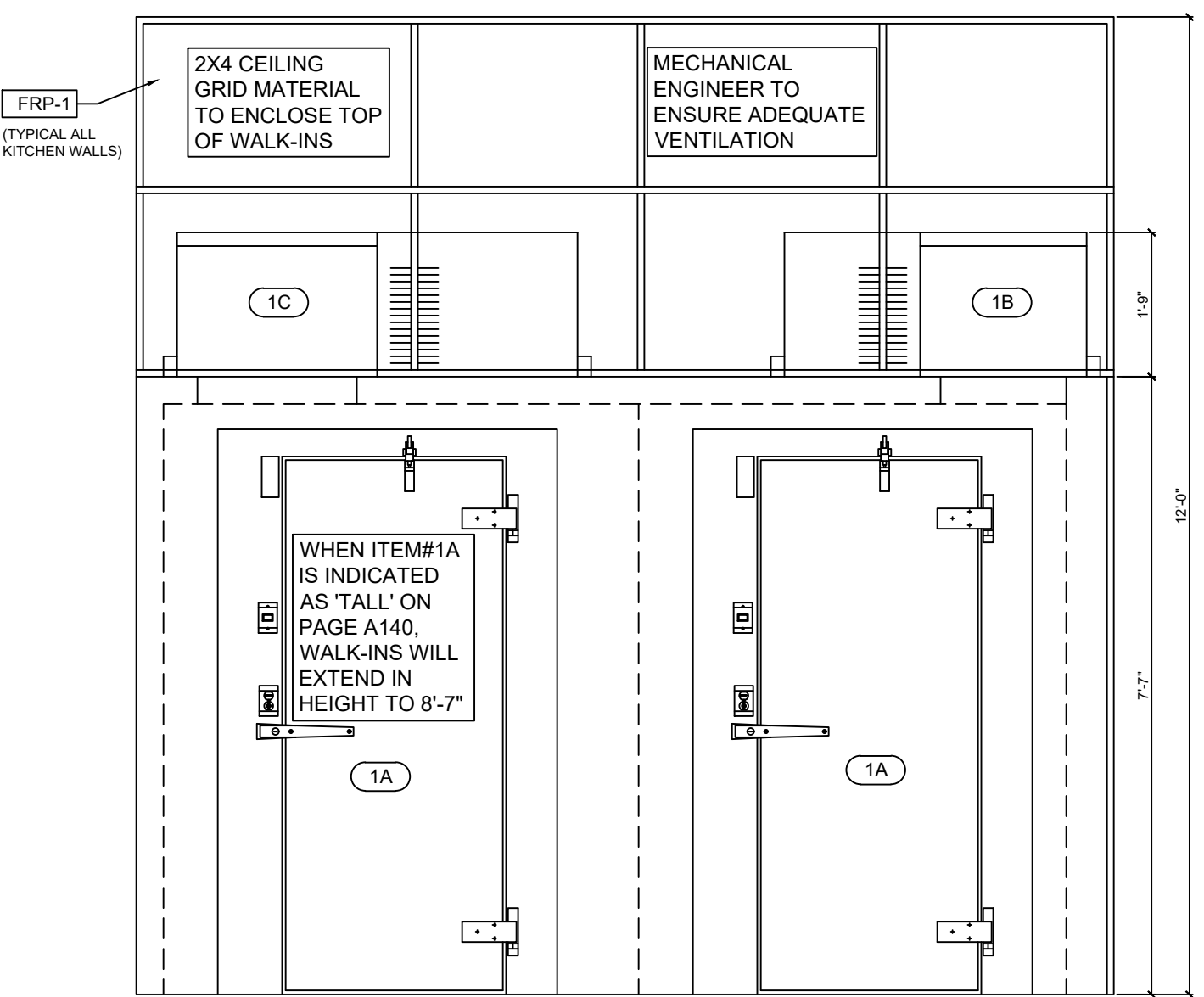
Dustin Curtis
 Registered Architect
 12286
 Phoenix, AZ
 12-15-20

CEILING PLAN

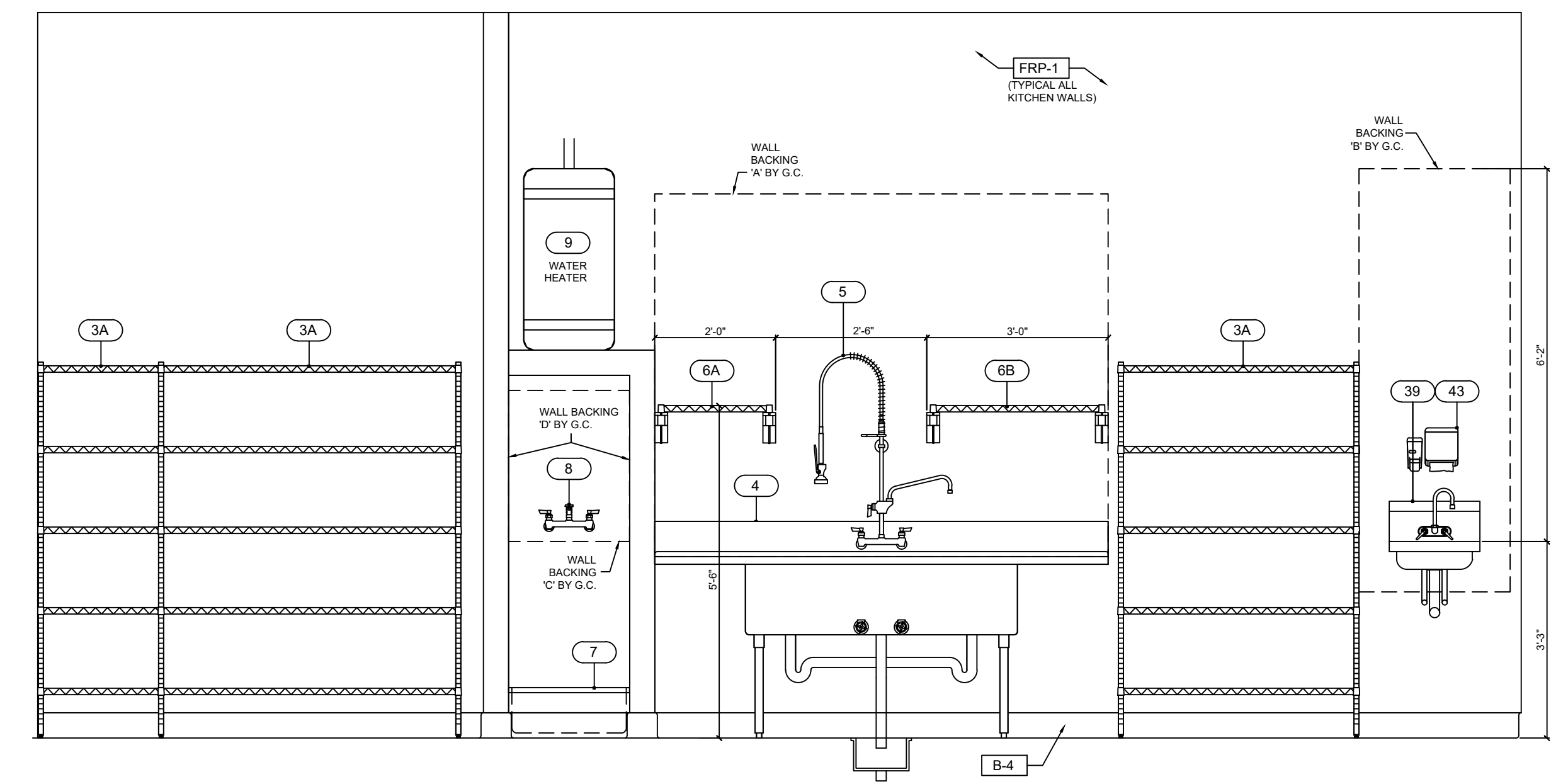
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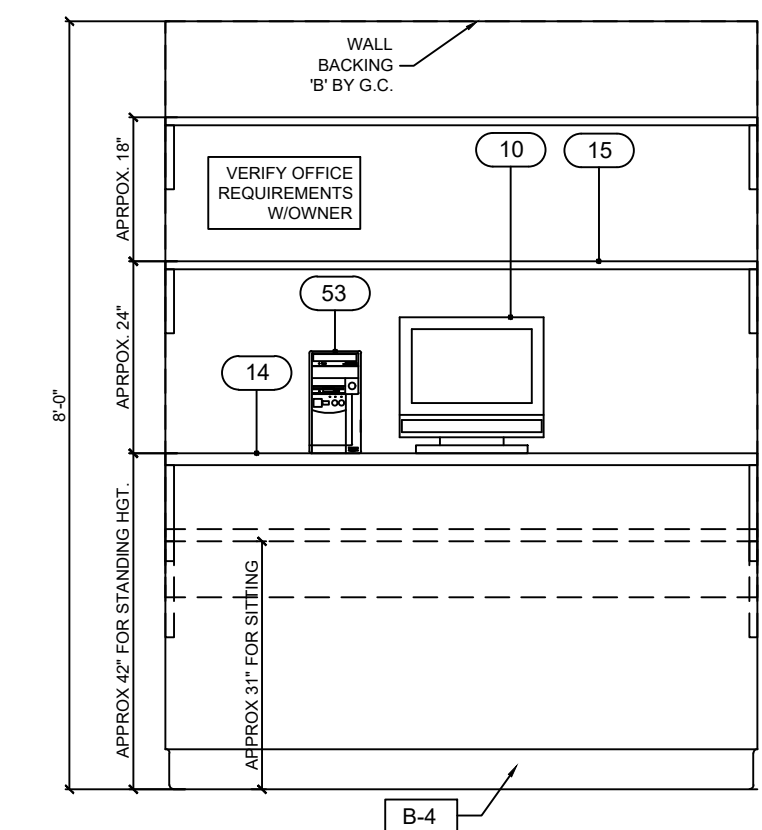
PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"



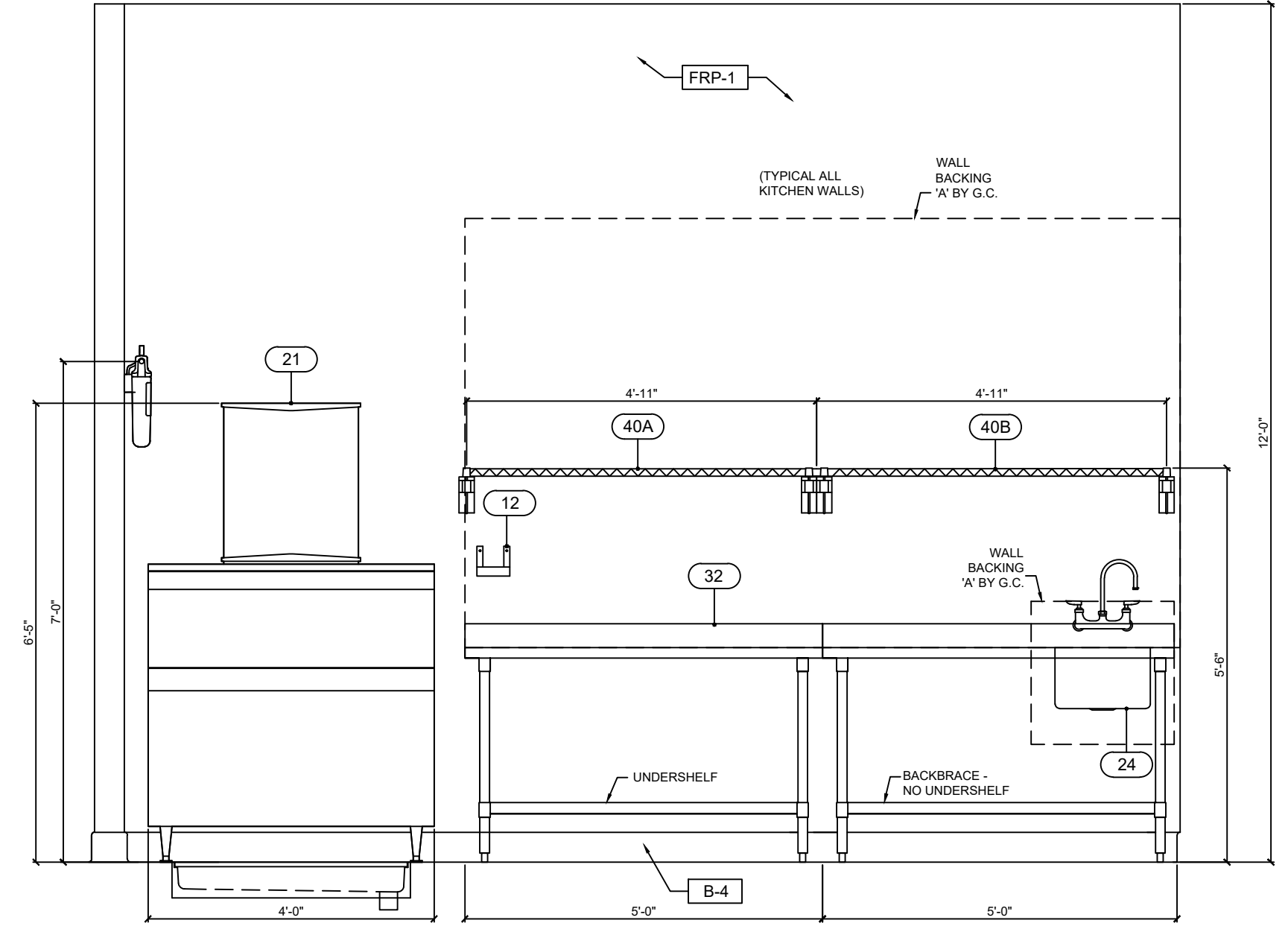
1 A4.0 REFRIGERATOR ELEVATION



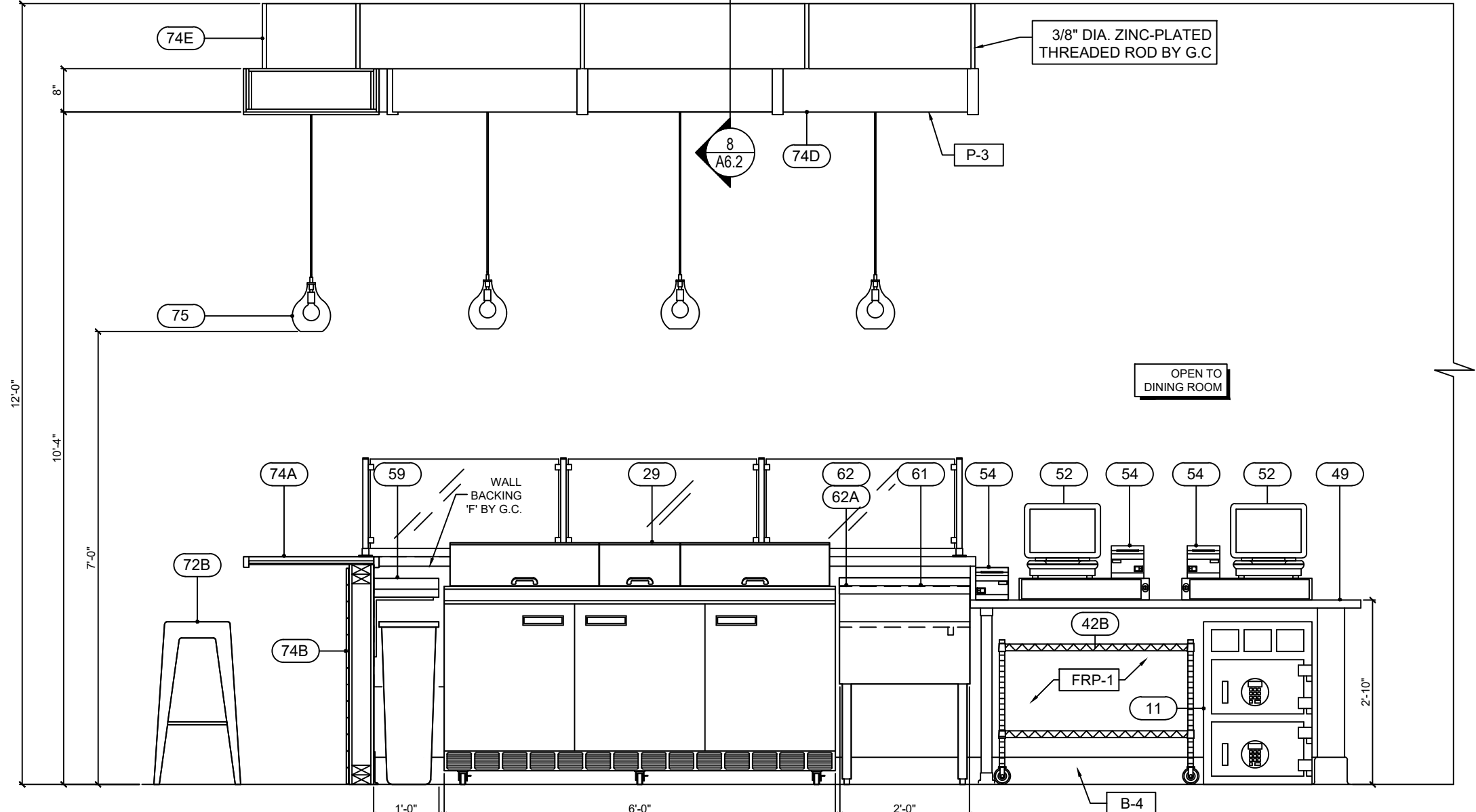
2 A4.0 SCULLERY ELEVATION



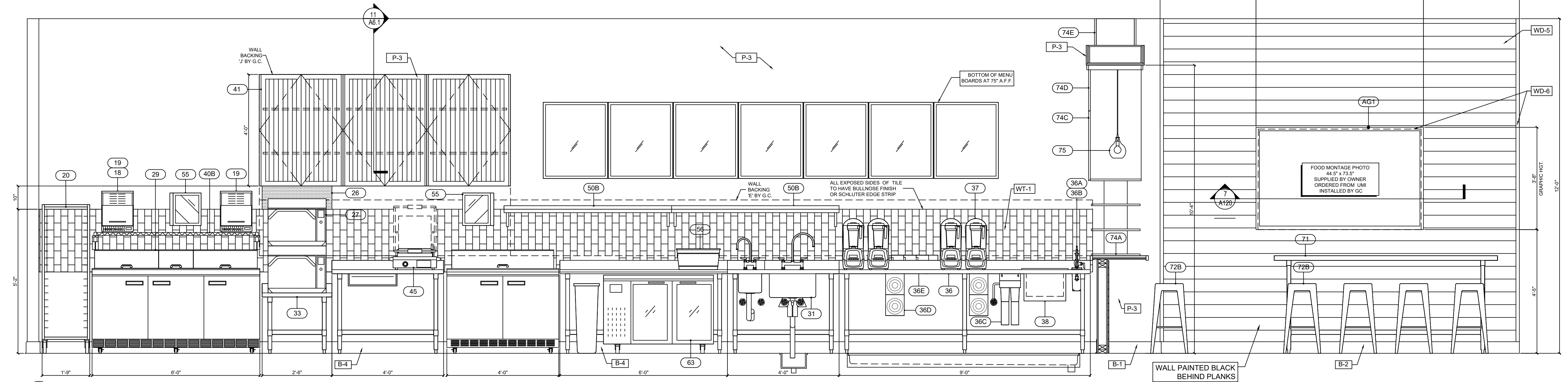
3 A4.0 DESK ELEVATION & SECTION



4 A4.0 PREP / ICE ELEVATION



5 A4.0 FRONT LINE / BACK VIEW ELEVATION



6 A4.0 BACK LINE / DINING WALL ELEVATION

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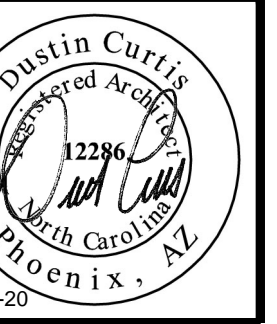
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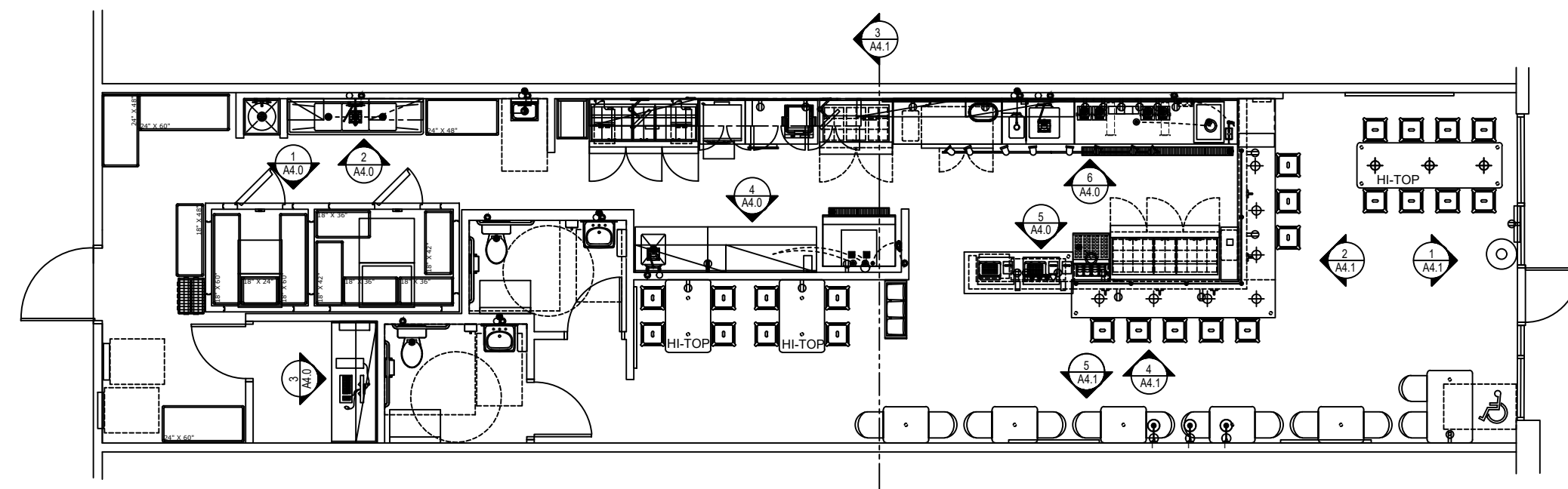
1
2
3

DATE: 03.05.2020



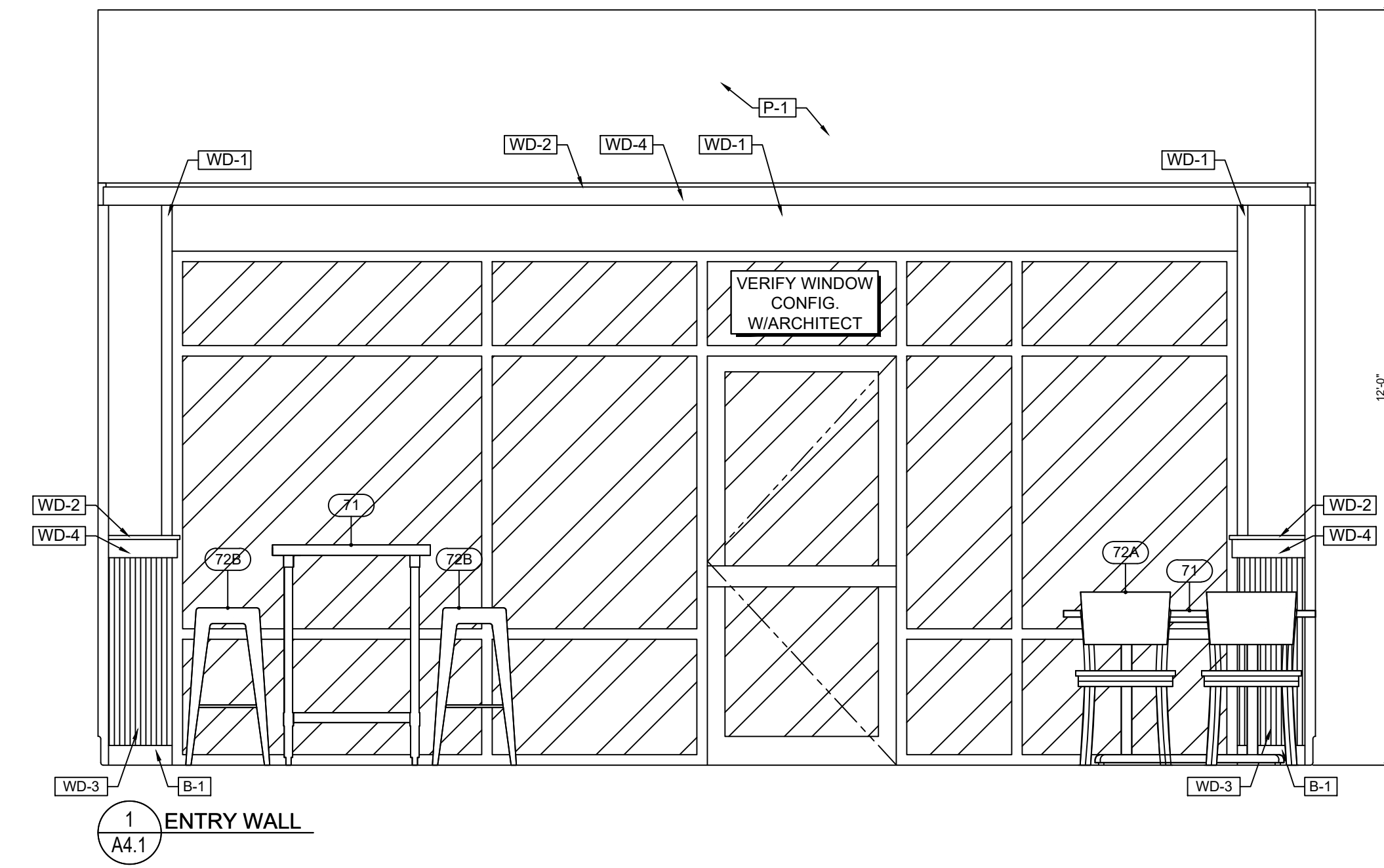
ELEVATIONS

A4.0

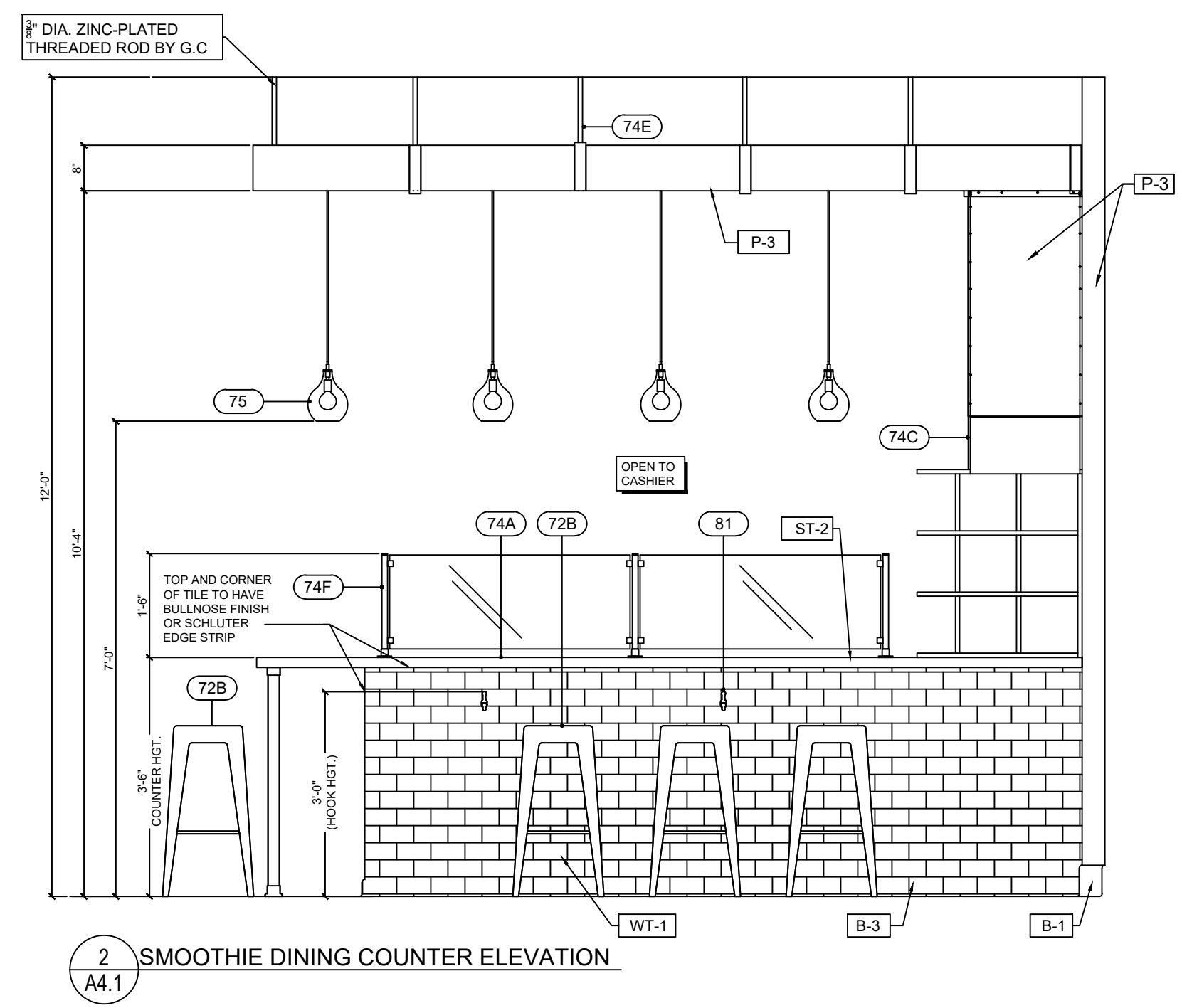


PROPOSED FLOOR PLAN

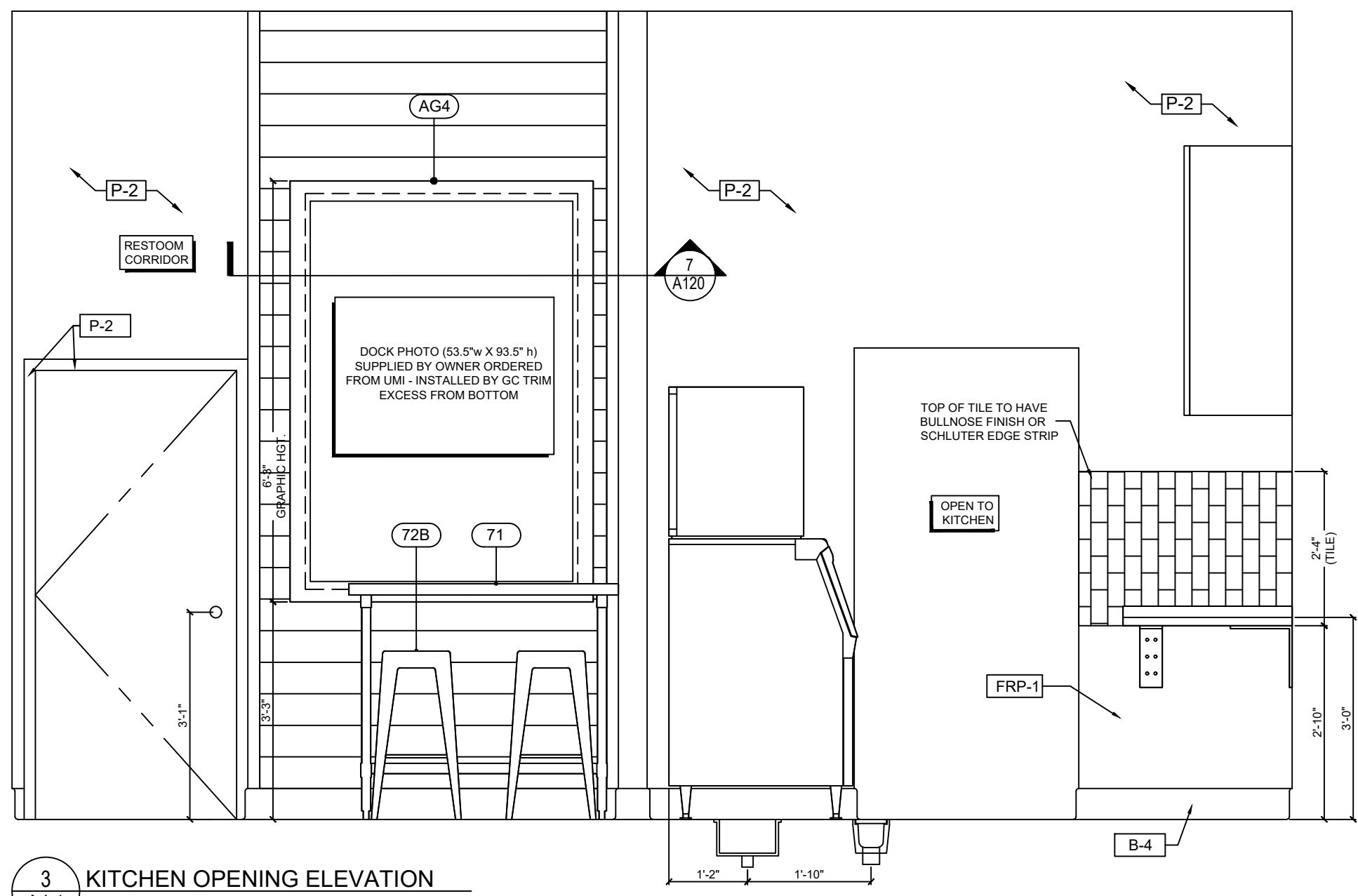
SCALE: 1/8" = 1'-0"



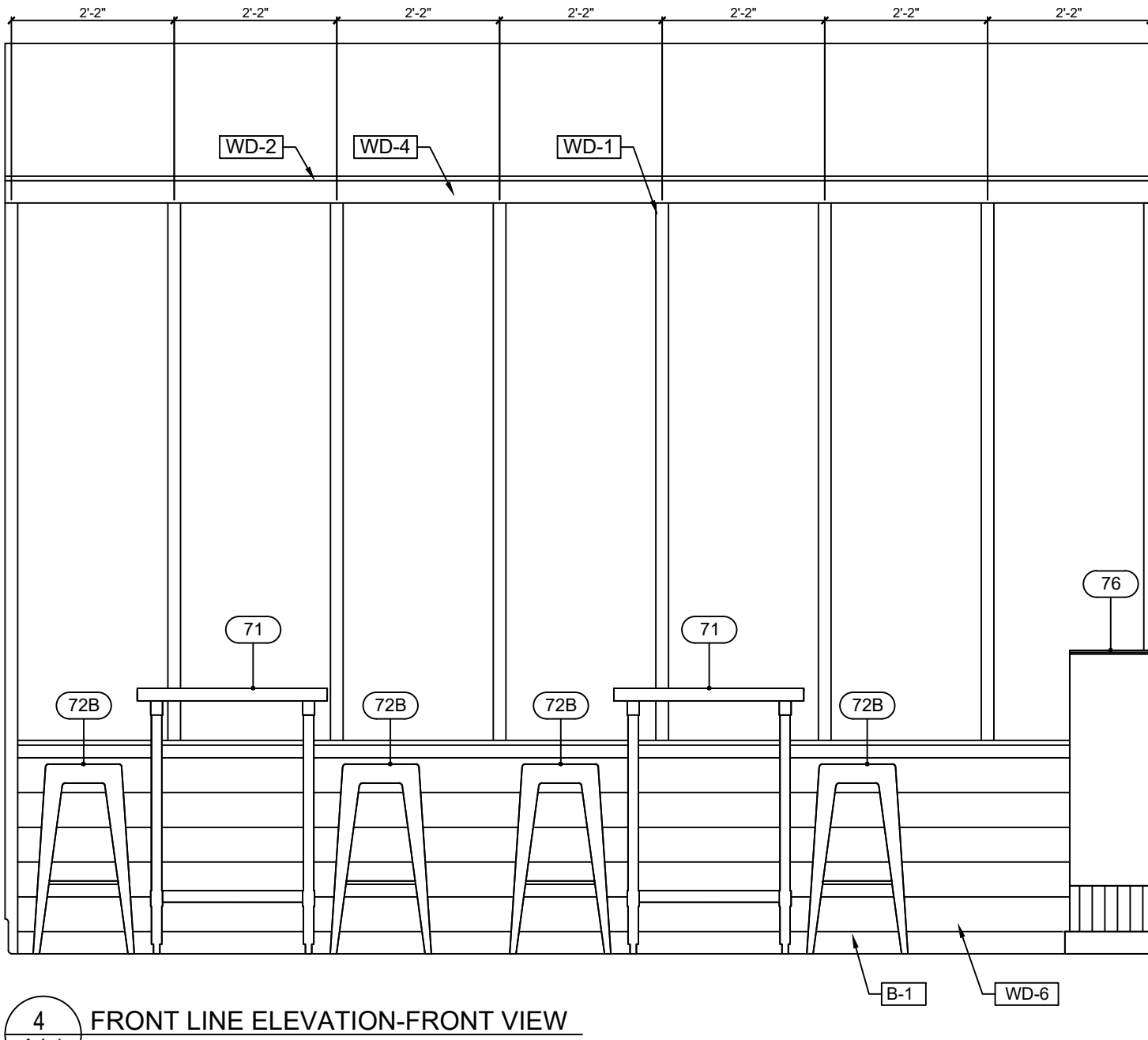
1 ENTRY WALL
A4.1



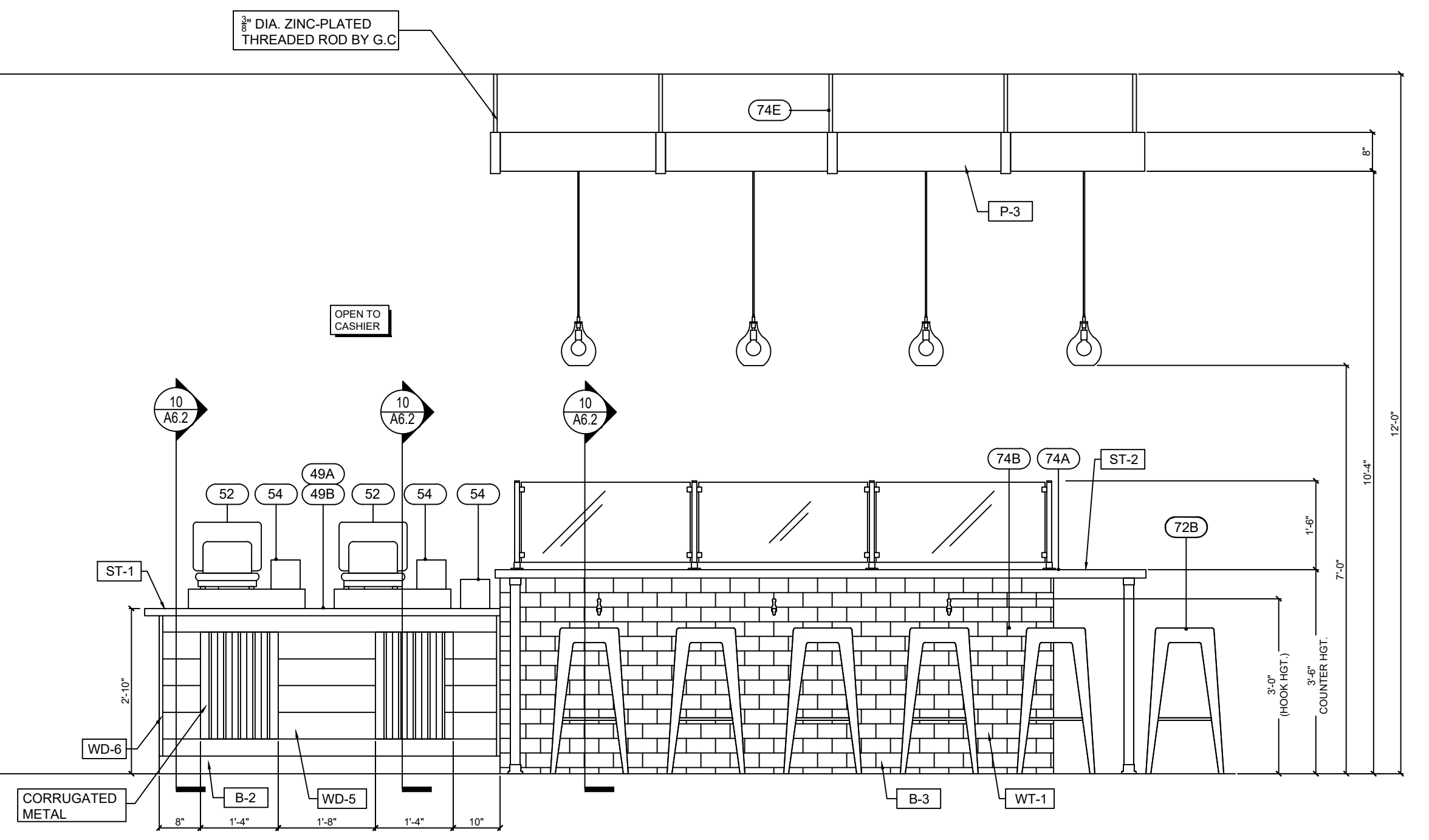
2 SMOOTHIE DINING COUNTER ELEVATION
A4.1



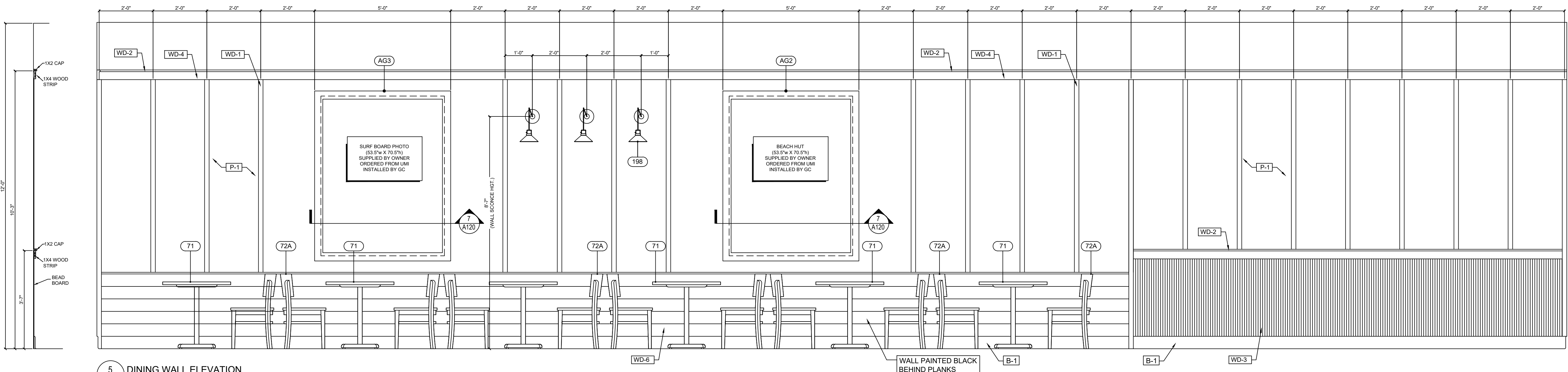
3 KITCHEN OPENING ELEVATION
A4.1



4 FRONT LINE ELEVATION-FRONT VIEW
A4.1



5 COUNTER AREA ELEVATION
A4.1



5 DINING WALL ELEVATION
A4.1

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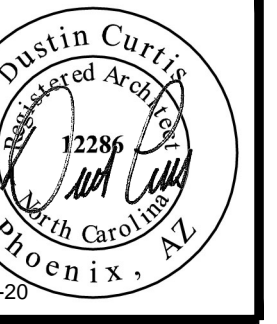
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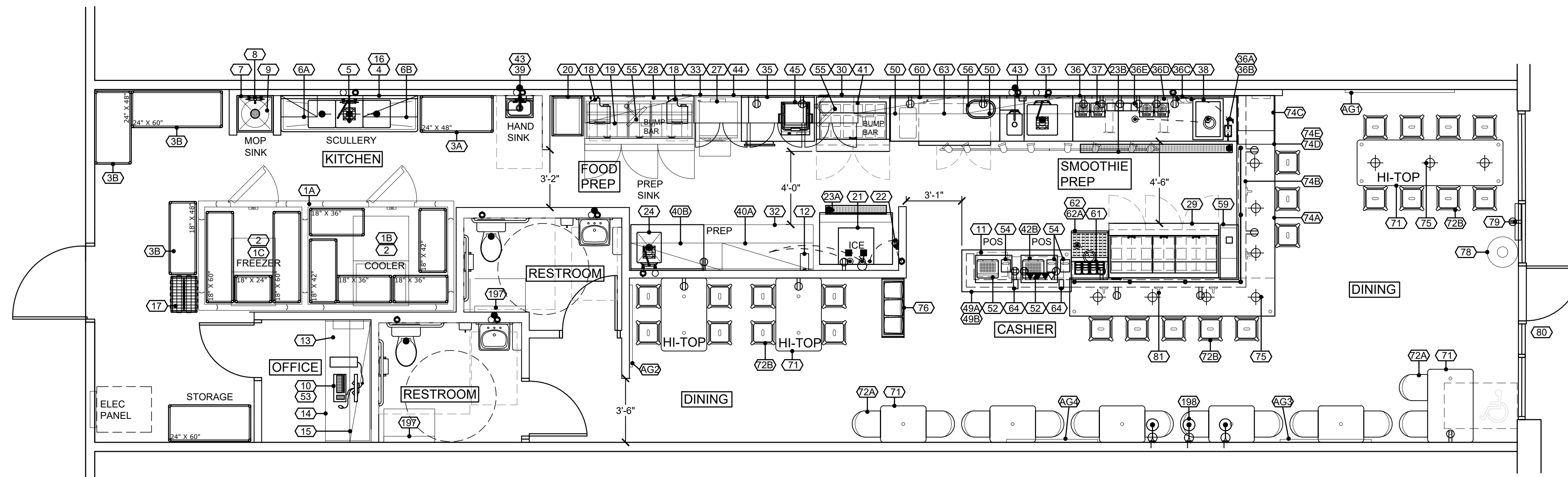
- 1
- 2
- 3

DATE: 03.05.2020



ELEVATIONS

A4.1



1 EQUIPMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:
EQ SUPPLIER MUST SEND FINAL ORDER LIST TO NEPTUNE FOR REVIEW AND APPROVAL PRIOR TO ORDERING.

NOTE:
TENANT & GC TO LOCATE & APPROVE EXACT LOCATION & WIRING OF LOW VOLTAGE SPEAKERS & SECURITY CAMERA. PRIOR TO INSTALL - THESE DOCUMENTS ARE USED FOR REFERENCE ONLY & FINAL PLACEMENT OF CAMERAS & SPEAKERS MUST BE APPROVED BY TENANT & COORDINATED BY INSTALLING CONTRACTOR. GC IS RESPONSIBLE FOR ALL LOW VOLTAGE EQUIPMENT WHICH INCLUDES BUT IS NOT LIMITED TO ALL AUDIO/VIDEO, MICROS, CAT 5, AND SPEAKERS.

SIGNATURE OF APPROVAL OF REVIEW
TROPICAL SMOOTHIE CAFE _____
EQUIPMENT SUPPLIER _____
NEPTUNE DESIGN GROUP _____

NOTE:
REFERENCE SHOP DRAWINGS FROM NEPTUNE ARE AVAILABLE TO GC UPON REQUEST, TO BE USED AS A REFERENCE ONLY. ORIGINAL SHOP DRAWINGS SHOULD BE PRODUCED FOR THIS SPECIFIC LOCATION AND SENT TO NEPTUNE FOR REVIEW.

NOTE:
PER STATE HEALTH A SNEEZE GUARD IS REQUIRED AT COUNTER- SEE DETAIL 10/A6.2

EQUIPMENT DELIVERY NOTES:
THE GC IS TO COORDINATE THE DELIVERY OF THE EQUIPMENT WITH EQUIP SUPPLIER. IT IS THE RESPONSIBILITY OF THE FRANCHISEE OR THEIR AGENT TO ACCEPT DELIVERY AND TO INSPECT FOR DAMAGE AND SHORTAGES. IN THE ABSENCE OF THE FRANCHISEE OR THEIR AGENT THE CONTRACTOR WILL ACCEPT DELIVERY. DAMAGE AND SHORTAGES MUST BE NOTATED ON THE RECEIVING DOCUMENT OR BILL OF LADING SUPPLIED BY THE FREIGHT CARRIER. THE PARTY RECEIVING DELIVERY IS LIABLE FOR DAMAGE AND MISSING ITEMS, UNLESS NOTED ON THE RECEIVING DOCUMENT OR BILL OF LADING. CONTACT EQ SUPPLIER WITH ANY ISSUES ABOUT DAMAGES, SHORTAGES, OR WHATEVER SHIPMENT SHOULD BE REFUSED. IF IN DOUBT, SIGN FOR THE DELIVERY AS DAMAGED, TAKE PHOTOS OF THE DAMAGED ITEMS IN ITS ORIGINAL PACKAGING AND RETAIN ALL ORIGINAL PACKING MATERIALS. ONCE A DELIVERY IS RECEIVED, INSPECT DELIVERABLES FOR CONCEALED DAMAGE, AND REPORT DAMAGES TO EQ SUPPLIER IMMEDIATELY SO A CONCEALED DAMAGE CLAIM CAN BE MADE. ALL CONCEALED DAMAGE MUST BE REPORTED BACK TO EQ SUPPLIER WITHIN 24 HOURS OF RECEIPT OF EQUIPMENT OR NO CONCEALED FREIGHT CLAIM WILL HAVE TIME TO PROCESS. ALL ORIGINAL DAMAGED PACKING MATERIALS MUST BE KEPT FOR INSPECTION.

HEALTH DEPT ICE MACHINE NOTES:
PROPER ICE HANDLING PRACTICES (BAR AND KITCHEN) WASH HANDS BEFORE GETTING ICE FROM ICE MAKING MACHINE. HOLD ONLY THE ICE SCOOP HANDLE AND NOT OTHER PARTS OF THE SCOOP. DO NOT SCOOP ICE USING WATER GLASSES OR CUPS AND NEVER HANDLE THE ICE WITH HANDS. DO NOT RETURN UNUSED ICE TO THE ICE MACHINE/ICE BIN. KEEP DOORS OF THE COMMERCIAL ICE MACHINE CLOSED EXCEPT WHEN REMOVING ICE. ICE SCOOPS SHOULD BE STORED OUTSIDE THE ICE MAKER AND KEPT IN A CLEAN CONTAINER. ICE SCOOP & CONTAINER SHOULD BE WASHED & SANITIZED REGULARLY. DO NOT STORE ANYTHING SUCH AS FOOD, DRINKS, FRUIT ETC. IN THE ICE MACHINE. NEVER USE THE ICE MACHINE AS A REFRIGERATOR! CLEAN THE ICE MAKING MACHINE REGULARLY AND FIX ALL PROBLEMS IDENTIFIED. BACKFLOW PREVENTER IS REQUIRED AND PROVIDED- SEE PLUMBING SHEETS. ICE BIN AND ICE CHEST IS EQUIPPED WITH LIDS.

WALL BACKING LEGEND

TYPE	HGT.	LOCATION	REMARKS
A	72"	FROM 36" TO 108" A.F.F.	OVERSHELVES AND ICE FILTER
B	84"	FROM 24" TO 108" A.F.F.	HAND SINK AND OFFICE
C	30"	FROM 39" TO 69" A.F.F.	MOP SINK FAUCET BRACKET
D	12"	FROM 48" TO 69" A.F.F.	MOP RACK
E	24"	FROM 42" TO 66" A.F.F.	FRONT WALL SHELVES
F	VARIES	FROM 18" TO TOP OF HALF-HGT. WALL	WALL MOUNTED WORK TOP
G	30"	FROM 24" TO 54" A.F.F.	RESTROOM FIXTURES
H	24"	FROM 18" TO 42" A.F.F.	WALL MOUNTED WORK TOP
J	78"	FROM 42" TO 120" A.F.F.	FRONT WALL CABINETS

ABBREVIATION KEY

ABBR.	ABBREVIATION DESCRIPTION
F	FRANCHISEE
EV	EQUIPMENT VENDOR
GC	GENERAL CONTRACTOR
EC	ELECTRICAL CONTRACTOR
PC	PLUMBING CONTRACTOR
CC	CONTRACTOR'S CHOICE
OC	OWNER'S CHOICE
LJ	LOCAL JURISDICTION
SC	SIGN COMPANY
VLL	VERIFY WITH LANDLORD
V	VENDOR
M	MICROS
RTG	RETAIL TECHNOLOGY GROUP
UMI	ULTERIOR MOTIVES INTERNATIONAL
HL	HERMITAGE LIGHTING
MMM	MUZAK (MOOD MEDIA)
C	CINTAS
UC	UTILITY COMPANY
SFS	SEE FINISH SCHEDULE
SPS	SEE PLUMBING SCHEDULE
INSTALL	EQUIPMENT INSTALLER
FIN. CON.	FINAL CONNECTIONS
DT	DRIVE-THRU
DBL	DOUBLE SHELVES

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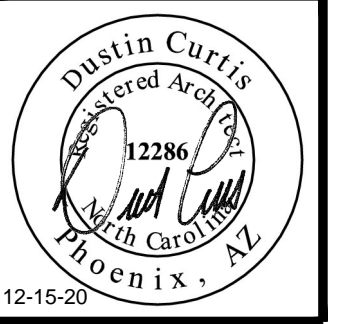
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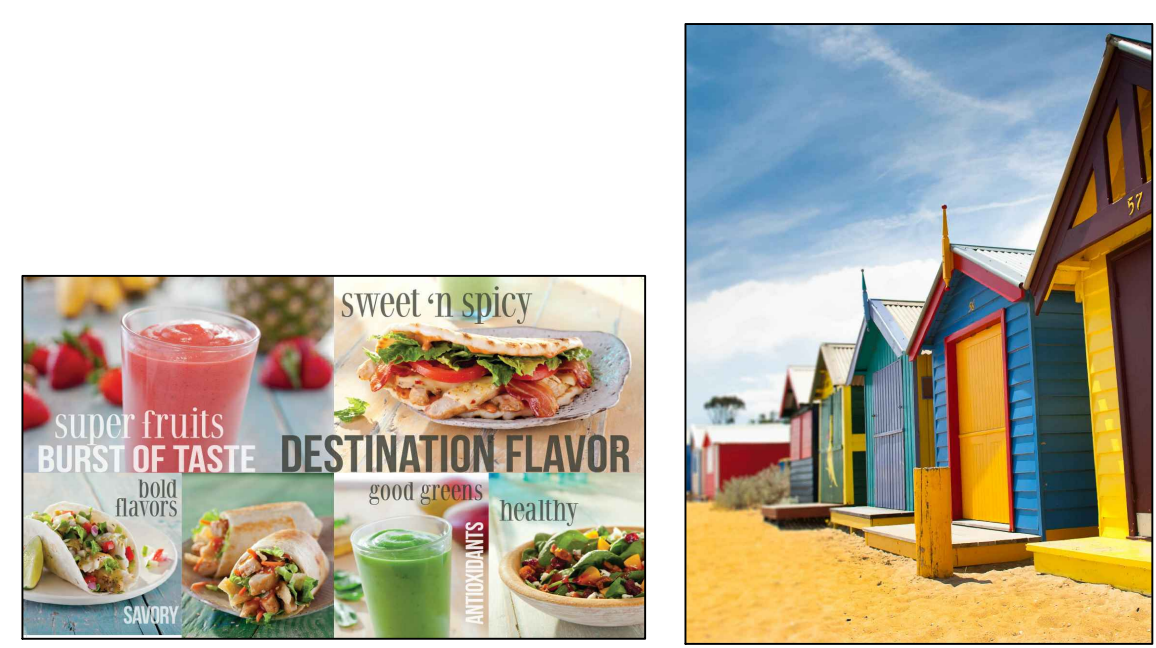
REVISION

DATE: 03.05.2020

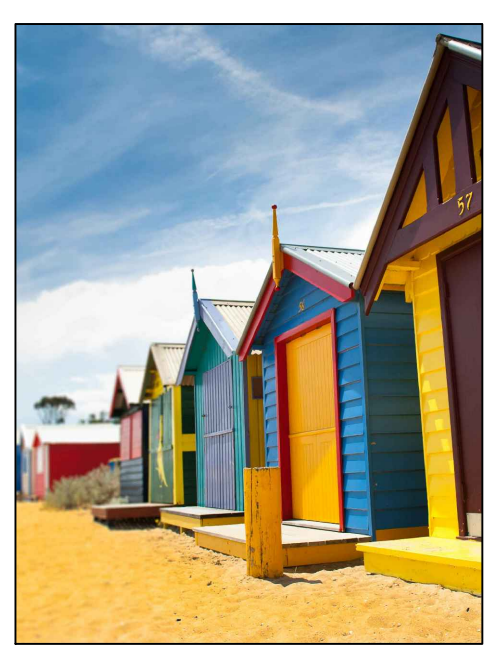


EQUIPMENT PLAN

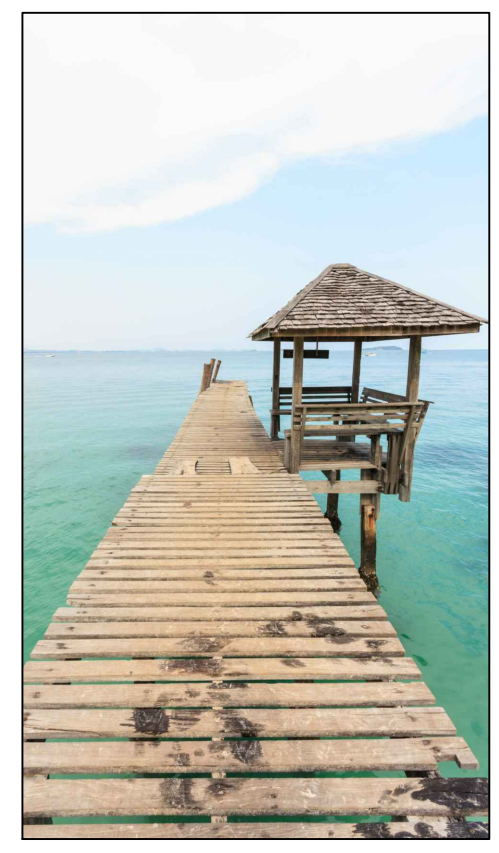
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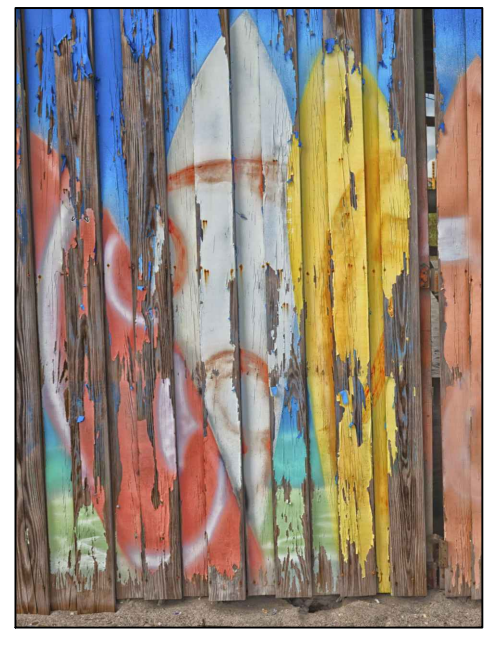
2 ARTWORK (AG-1)
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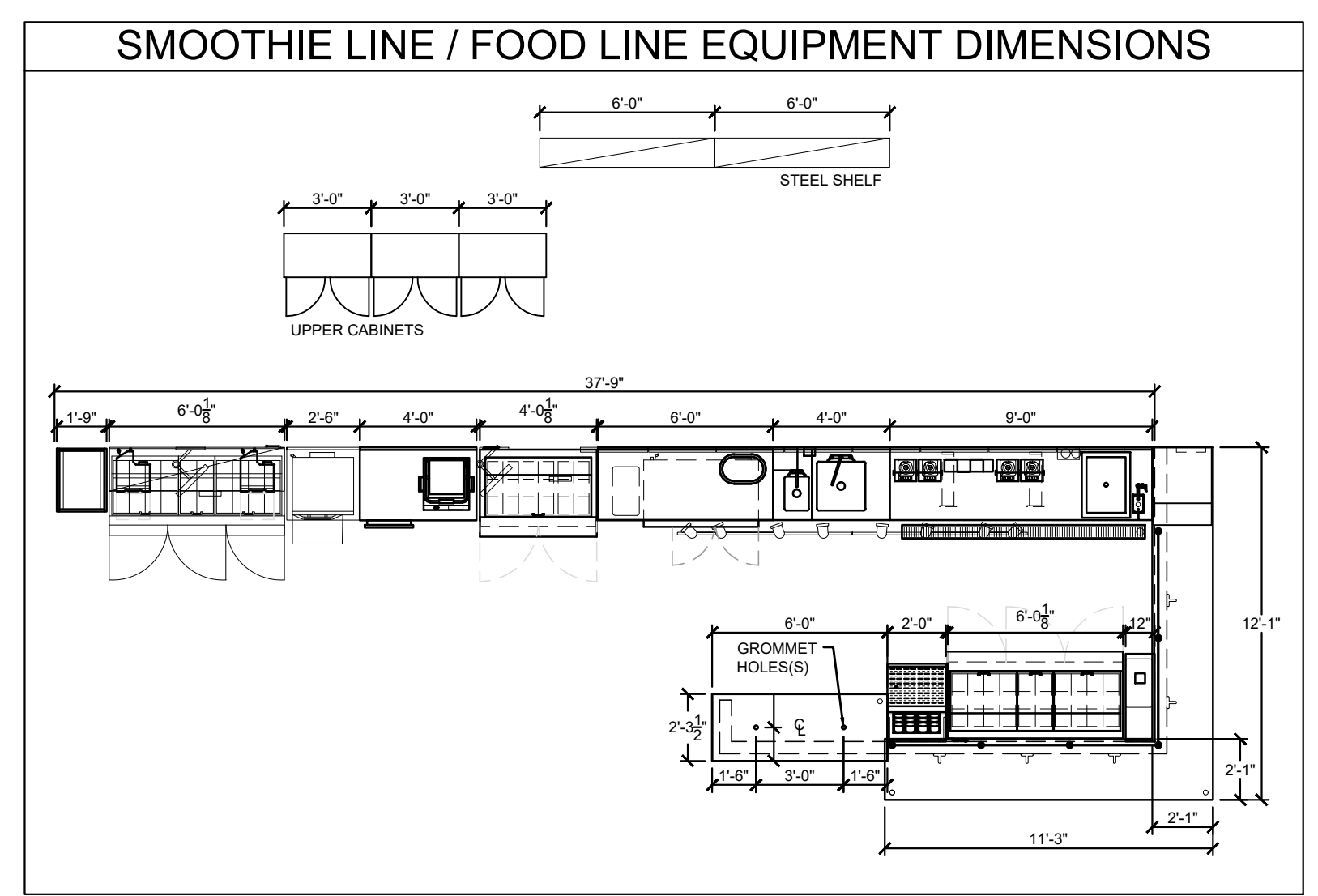
4 ARTWORK (AG-3)
SCALE: NTS



3 ARTWORK (AG-2)
SCALE: NTS



5 ARTWORK (AG-4)
SCALE: NTS

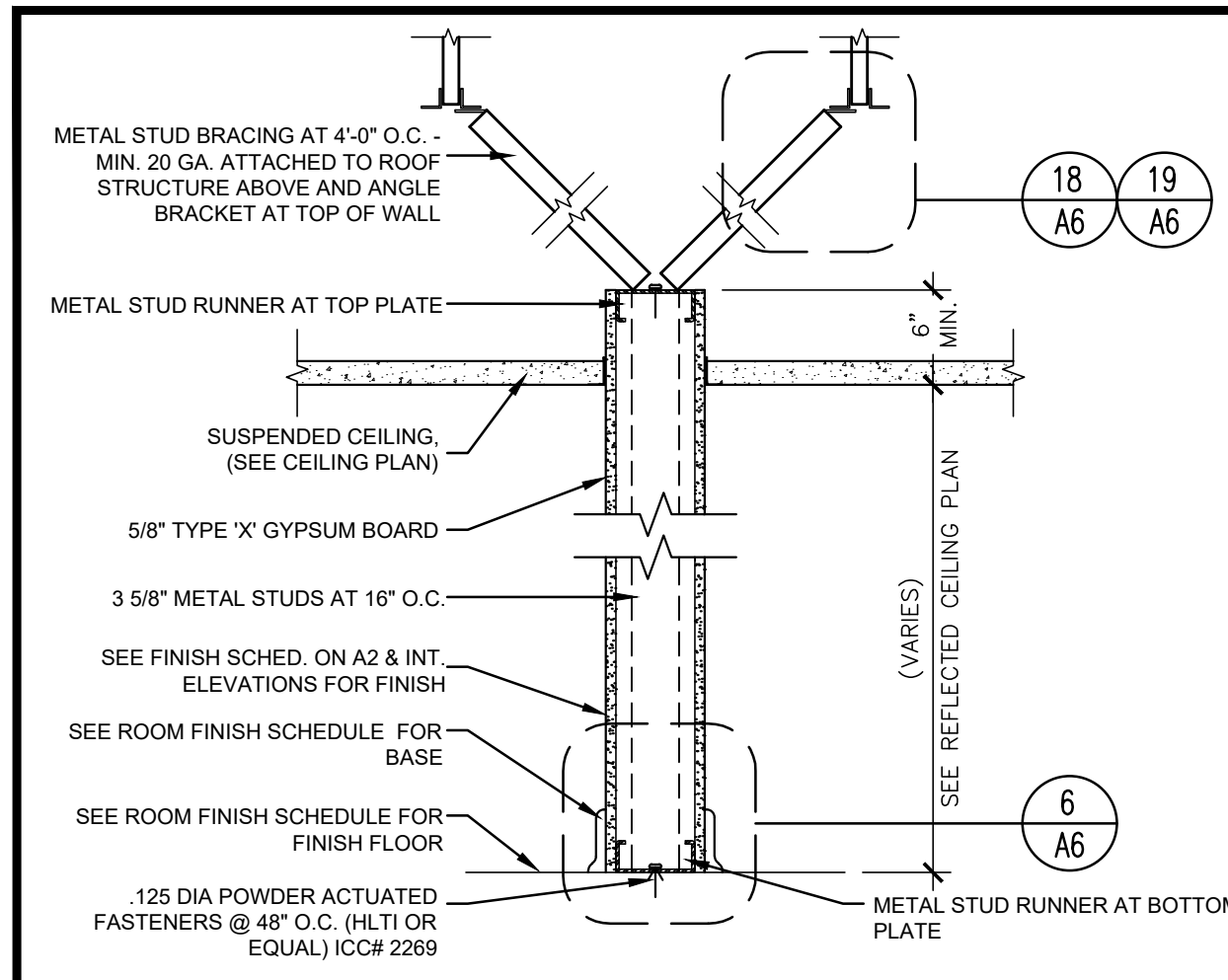


EQUIPMENT SCHEDULE

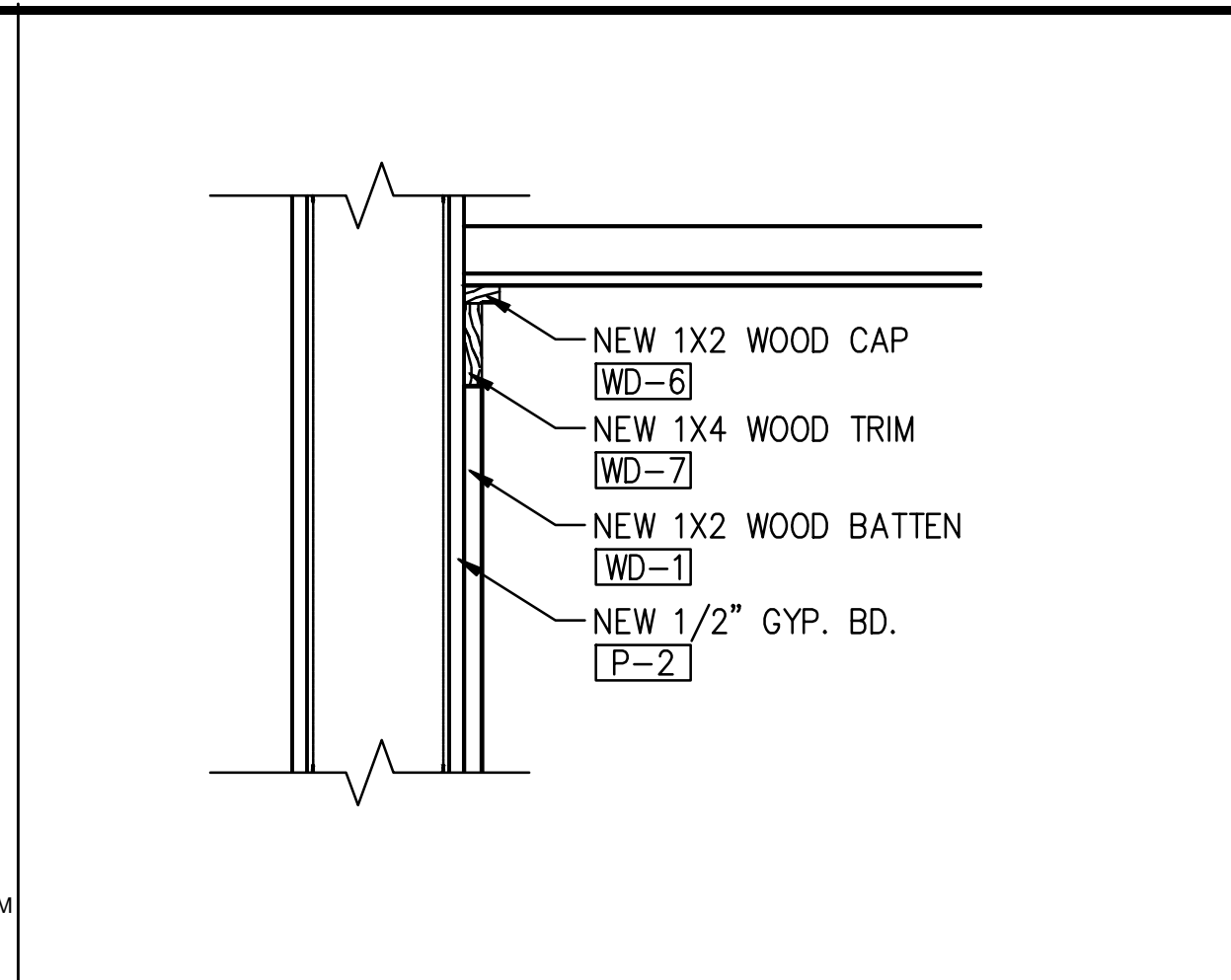
NO.	QTY	EQUIPMENT DESCRIPTION	PROVIDER	VENDOR	INSTALL	FIN. CON.
BACK OF HOUSE EQUIPMENT						
1A	1	WALK-IN COOLER / FREEZER COMBO UNIT	F	EV	GC	EC
1B	1	COOLER REFRIGERATION, SELF-CONTAINED	F	EV	GC	EC
1C	1	FREEZER REFRIGERATION, SELF-CONTAINED	F	EV	GC	EC
2	8	WALK-IN COOLER / FREEZER SHELVING	F	EV	GC	-
3A	1	75" TALL DRY STORAGE SHELVING (EPOXY COATED)	F	EV	EV	-
3B	4	75" TALL DRY STORAGE SHELVING (ZINC COATED)	F	EV	EV	-
4	1	THREE COMPARTMENT SINK	F	EV	EV	PC
5	1	PRE-RINSE FAUCET	F	EV	EV	PC
6A	1	WALL SHELF, WIRE (EPOXY COATED), 14" X 24"	F	EV	EV	-
6B	1	WALL SHELF, WIRE (EPOXY COATED), 14" X 36"	F	EV	EV	-
7	1	MOP SINK	GC	SPS	GC	PC
8	1	SERVICE FAUCET	GC	SPS	GC	PC
9	1	WATER HEATER	GC	SPS	GC	EC/PC
10	LOT	SURVEILLANCE SYSTEM	F	VLL	V	V
11	1	SAFE	F	EV	EV	-
12	1	PRINTER WITH SHELF	F	JOLT	GC	V
13	1	POS PATCH PANEL	F	M	RTG	RTG
14	1	MANAGER'S DESK	F	EV	GC	-
15	1	WALL SHELVES	F	EV	GC	-
16	LOT	WAREWASHING & SANITIZING PRODUCTS	F	C	C	-
17	1	18" X 24" DUNNAGE RACK	F	EV	EV	-
18	2	ON QUE OVEN	F	EV	EV	-
19	1	18" X 72" ON QUE SHELF	F	EV	EV	-
20	1	MOBILE CART	F	EV	EV	-
SMOOTHIE LINE / FOOD LINE EQUIPMENT						
21	1	ICE MAKER W / BIN	F	EV	EV	EC/PC
22A	1	WATER FILTER, 3-STAGE	F	EV	EV	PC
22B	1	ICE MACHINE TREATMENT SYSTEM	F	EV	EV	PC
23A	1	CHANNEL DRAIN, 5" (3'-4" LONG)	GC	SPS	PC	PC
23B	1	CHANNEL DRAIN, 5" (8'-4" LONG)	GC	SPS	PC	PC
24	1	PREP SINK, 30" X 48"	F	EV	EV	PC
25	-	SPARE NUMBER	-	-	-	-
26	-	SPARE NUMBER	-	-	-	-
27	2	MICROWAVE CONVECTION OVEN	F	EV	EV	-
28	1	REFRIGERATED PREP TABLE, 30 PAN	F	EV	EV	-
29	1	REFRIGERATED PREP TABLE, 30 PAN	F	EV	EV	-
30	1	REFRIGERATED PREP TABLE, 18 PAN	F	EV	EV	-
31	1	WORK TABLE W/HAND SINK & DUMP SINK, 30" X 48"	F	EV	EV	PC
32	1	WORK TABLE, 30" X 72"	F	EV	EV	-
33	1	EQUIPMENT STAND, 30" X 30" (26" HGT.)	F	EV	EV	-
34	-	SPARE NUMBER	-	-	-	-
35	1	WORK TABLE, 30" X 48", WITH UTENSIL DRAWER	F	EV	EV	-
36	1	BLENDER TABLE, 30" X 108"	F	EV	EV	PC
36A	1	WATER SPIGOT	F	EV	EV	PC
36B	1	WATER CONTAINER, DROP-IN	F	EV	EV	-
36C	1	WATER FILTER, 2-STAGE	F	EV	EV	PC
36D	4	CUP DISPENSER	F	EV	EV	-
36E	1	LID DISPENSER	F	EV	EV	-
37	4	BLENDER, BAR TYPE	F	EV	EV	-
38	1	ICE BIN, DROP-IN	F	EV	EV	PC

EQUIPMENT SCHEDULE

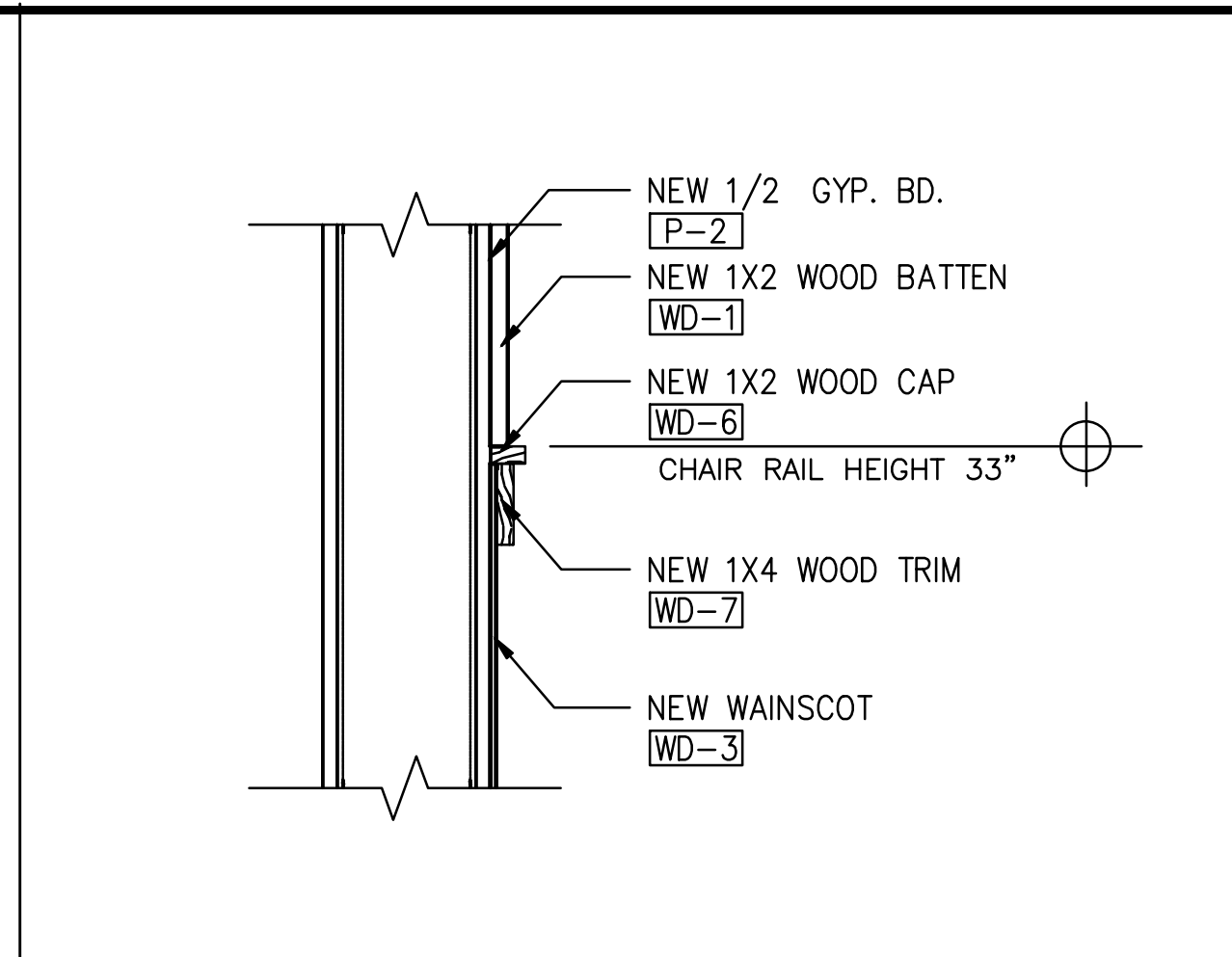
NO.	QTY	EQUIPMENT DESCRIPTION	PROVIDER	VENDOR	INSTALL	FIN. CON.
39	1	HAND SINK, HANDS-FREE	F	EV	EV	PC
40	2	WALL SHELF, WIRE (ZINC COATED), 18" X 60"	F	EV	EV	-
41	3	WALL CABINET, 36"	F	EV	EV	-
42A	-	SPARE NUMBER	-	-	-	-
42B	1	MOBILE STORAGE UNIT, 14" X 36"	F	EV	EV	-
43	2	SOAP / PAPER TOWEL DISPENSERS	F	C	C	-
44	1	S/S L-SHAPED WALL PANEL	F	EV	EV	-
45	1	PANINI PRESS	F	EV	EV	-
CASHIER AREA EQUIPMENT						
49A	1	CASHIER COUNTER TOP & SUPPORT LEG	F	EV	EV	-
49B	1	CASHIER COUNTER SUPPORT WALL	F	GC	GC	EC
50	2	WALL SHELF, S/S, 12" X 72"	F	EV	EV	-
51	1	MENU BOARD SYSTEM, WALL MOUNT, 9 PANELS	F	EV	EV	-
52	2	POS TERMINAL	F	M	RTG	RTG
53	1	POS SYSTEM - BACK OF HOUSE	F	M	RTG	RTG
54	3	POS PRINTER	F	M	RTG	RTG
55	2	KDS MONITOR	F	M	RTG	RTG
56	1	BEVERAGE ICE CHEST	F	EV	EV	-
57	-	SPARE NUMBER	-	-	-	-
57A	-	SPARE NUMBER	-	-	-	-
58	-	SPARE NUMBER	-	-	-	-
59	1	WALL MTD. WORK TOP, 36" X 12"	F	EV	EV	-
60	1	WORK TABLE, 30" X 72"	F	EV	EV	-
61	2	SUPPLEMENT HOLDER	F	EV	EV	-
62	1	DRAIN BOARD	F	EV	EV	PC
62A	1	CUSTOM SHELF	F	EV	EV	-
63	1	UNDER COUNTER REFRIGERATOR	F	EV	EV	-
64	2	EMV CARD READER	F	M	RTG	RTG
DINING EQUIPMENT						
71	9	TABLE TOP & BASE	F	EV	EV	-
72A	14	DINING CHAIR	F	EV	EV	-
72B	24	DINING STOOL	F	EV	EV	-
73	-	SPARE NUMBER	-	-	-	-
74A	1	SIT-DOWN COUNTER TOP & SUPPORT LEGS	F	EV	EV	-
74B	1	SIT-DOWN COUNTER SUPPORT WALL	F	GC	GC	-
74C	1	MILLWORK TO-GO CABINET	F	EV	EV	-
74D	1	MILLWORK SOFFIT	F	EV	EV	EC
74E	1	THREADED MOUNTING RODS FOR SOFFIT	GC	GC	GC	-
75	10	PENDANT LIGHT	F	HL	GC	EC
76	1	MARKET PLACE	F	EV	EV	-
77	-	SPARE NUMBER	-	-	-	-
78	1	TRASH CAN	F	EV	EV	-
78A	1	TRAY SHELF	F	EV	EV	-
79	1	TROPICAL SMOOTHIE NEON SIGN	F	EV	EV	-
80	1	EXTERIOR SIGNAGE	F	SC	SC	EC
81	5	APPAREL HOOK	F	GC	GC	-
100	-	SPARE NUMBER	-	-	-	-
197	2	BABY CHANGING STATION	F	EV	EV	-
198	3	WALL SCENCE LIGHTING	F	HL	GC	EC



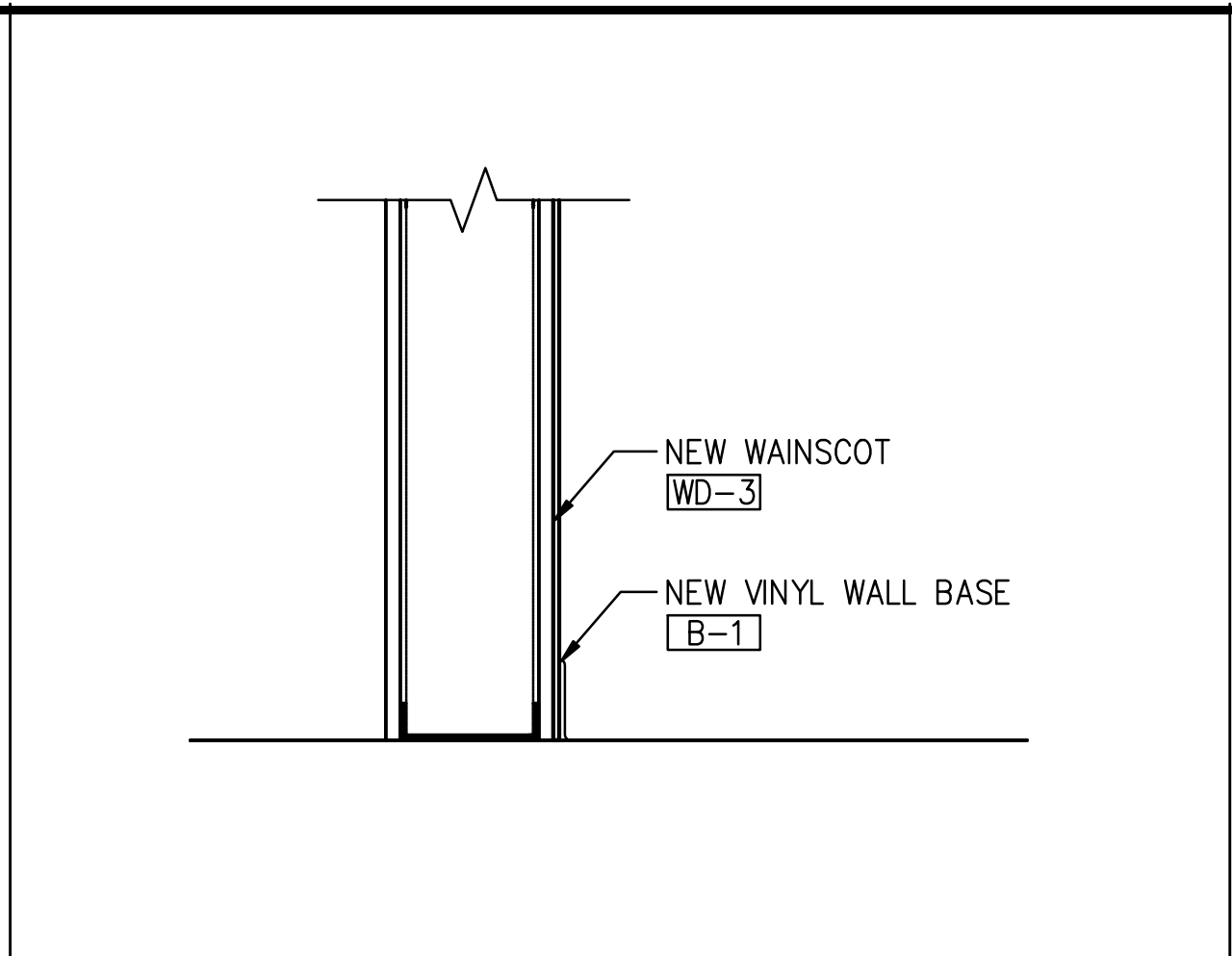
16 WALL PARTITION SCALE = N.T.S.



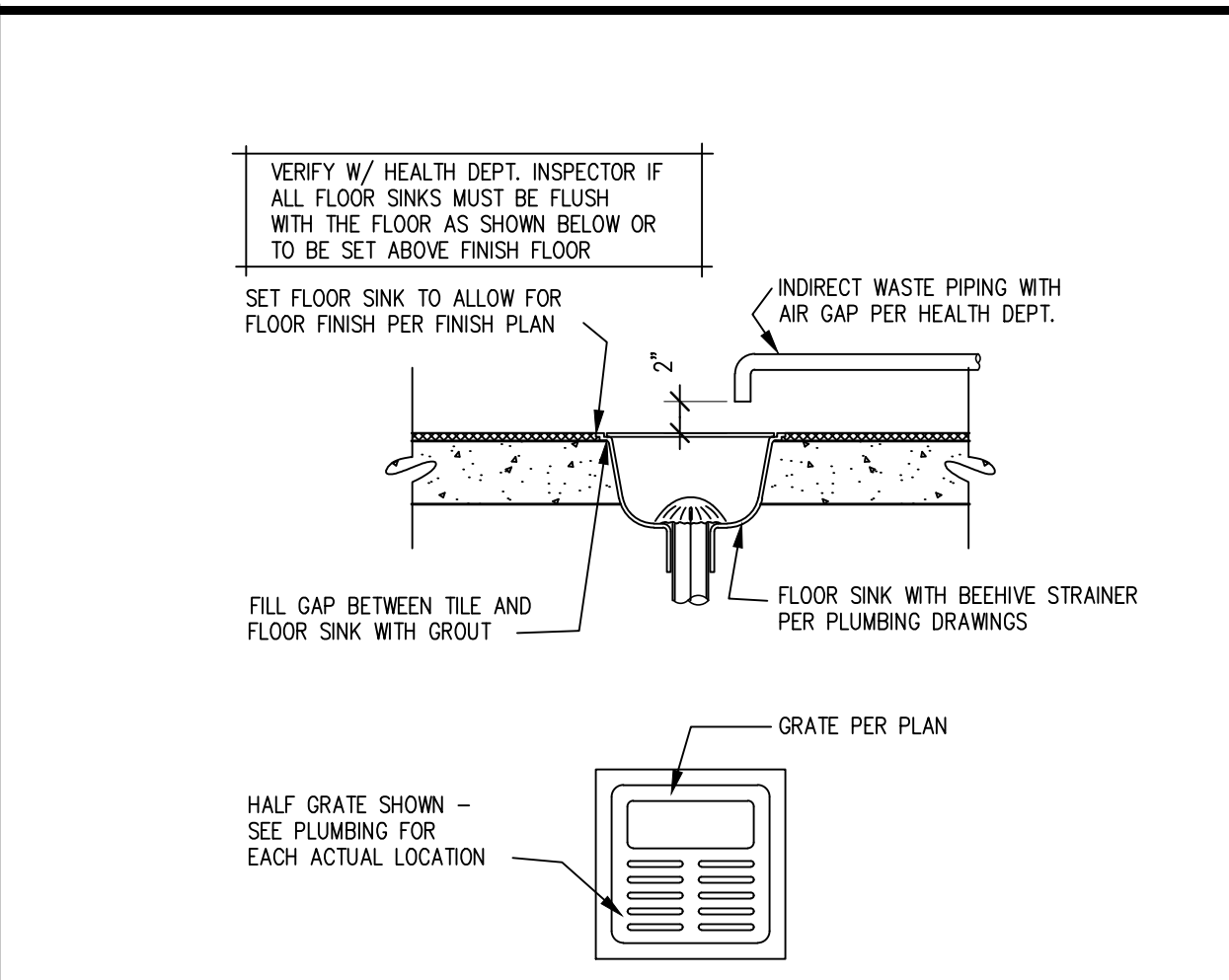
13 CEILING TRIM DETAIL SCALE = N.T.S.



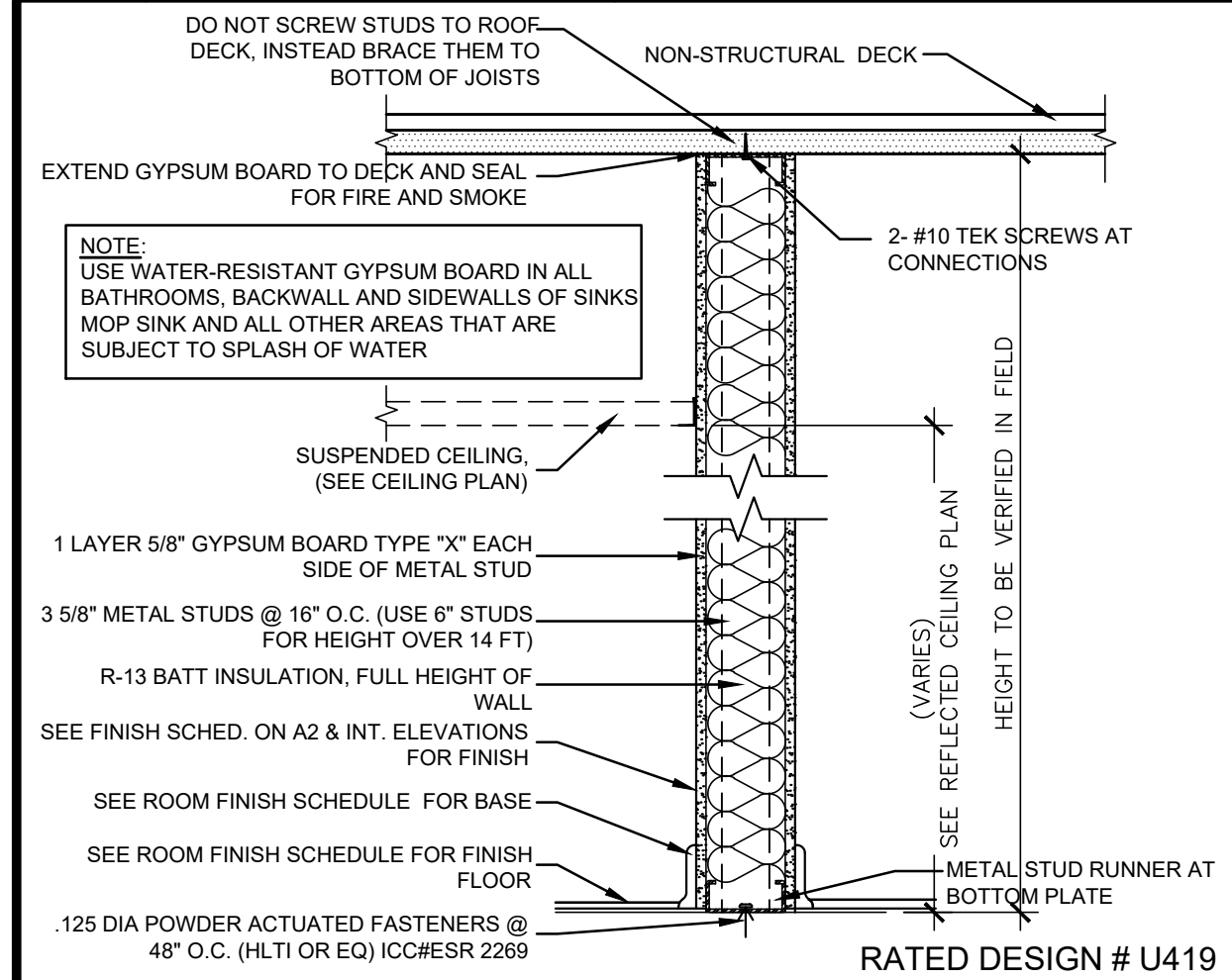
9 CHAIR RAIL DETAIL SCALE = N.T.S.



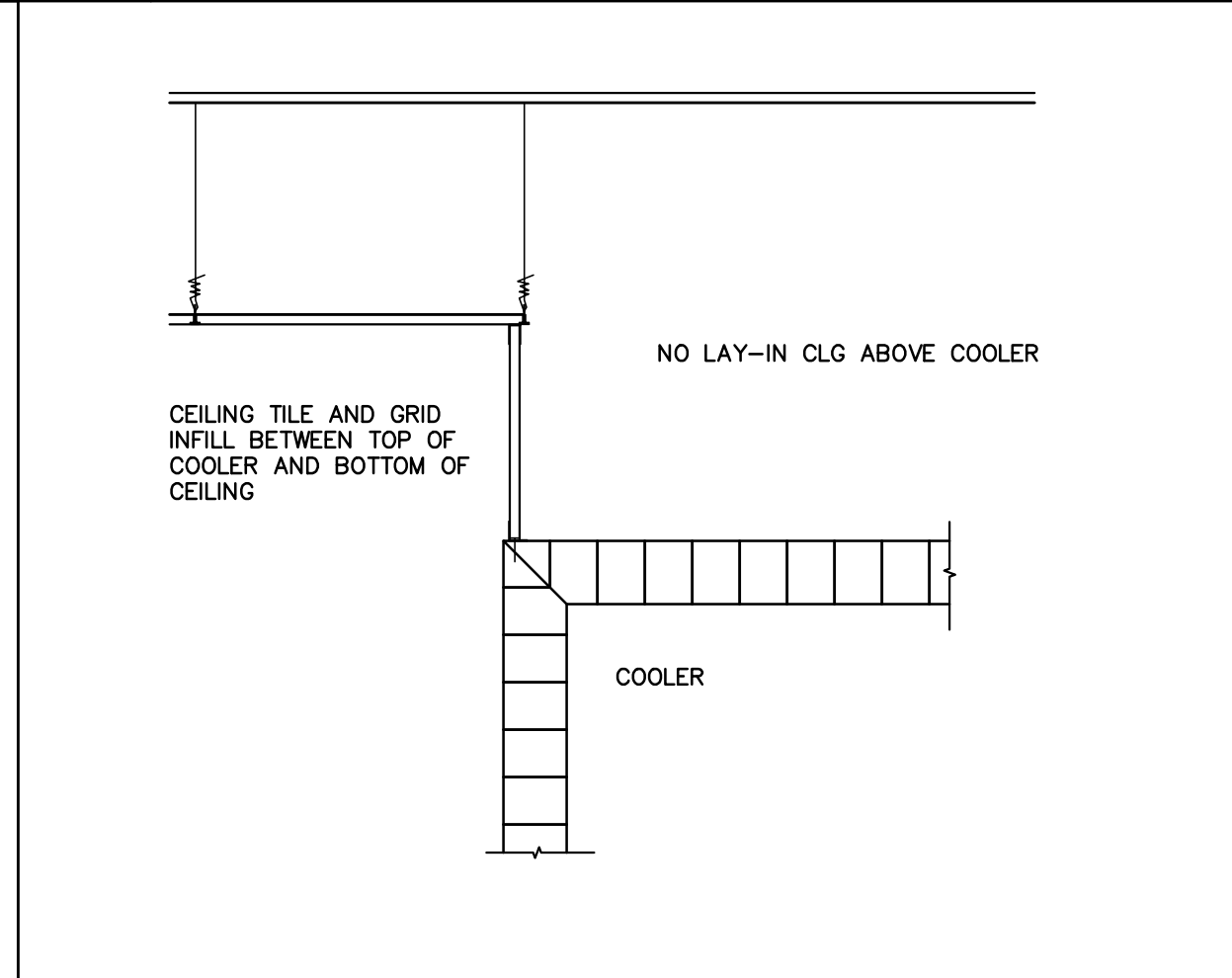
5 WALL BASE DETAIL SCALE = N.T.S.



1 FLOOR SINK DETAIL SCALE = N.T.S.



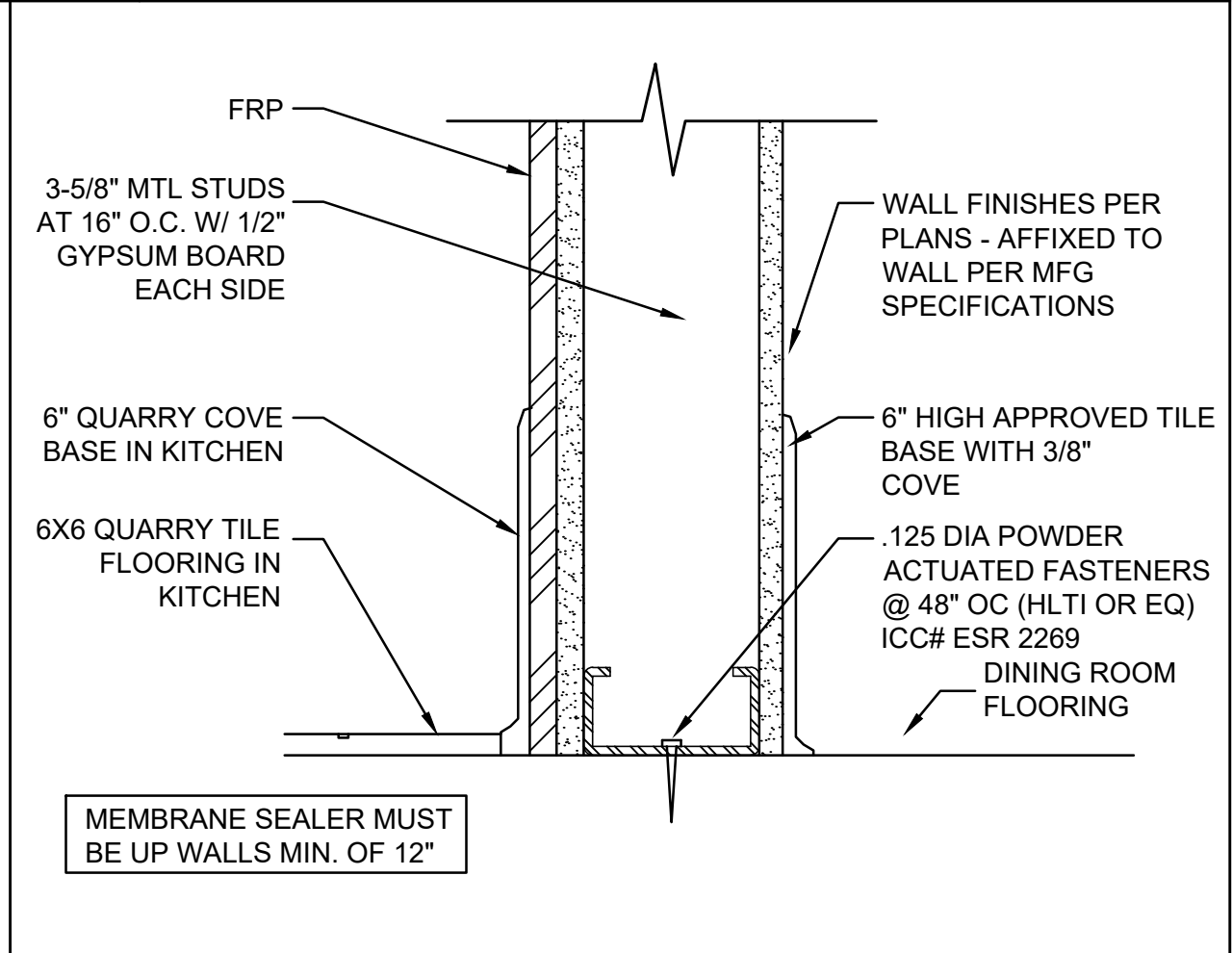
17 1 HR RATED WALL ASSEMBLY SCALE = N.T.S.



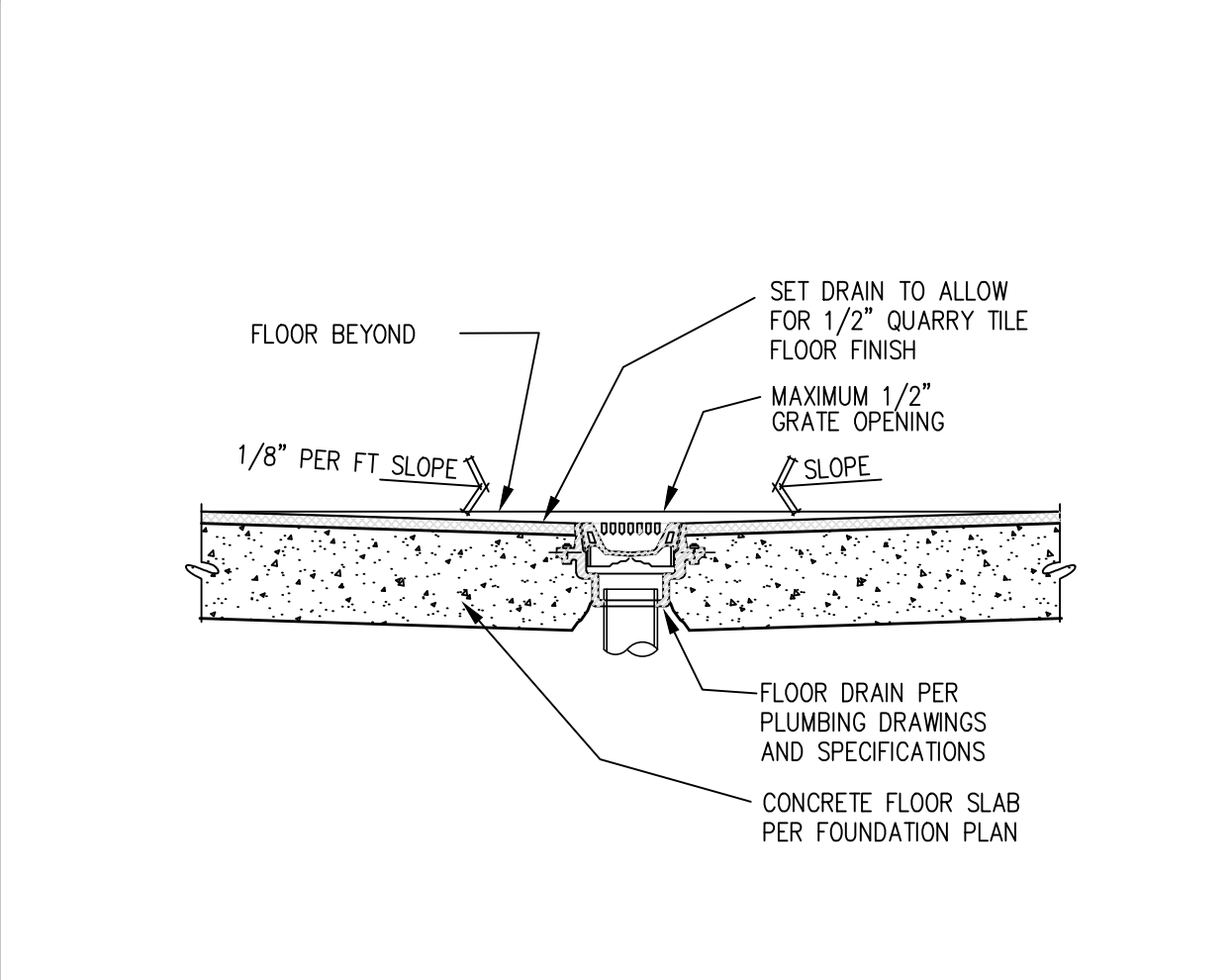
14 WALK IN COOLER SCALE = N.T.S.



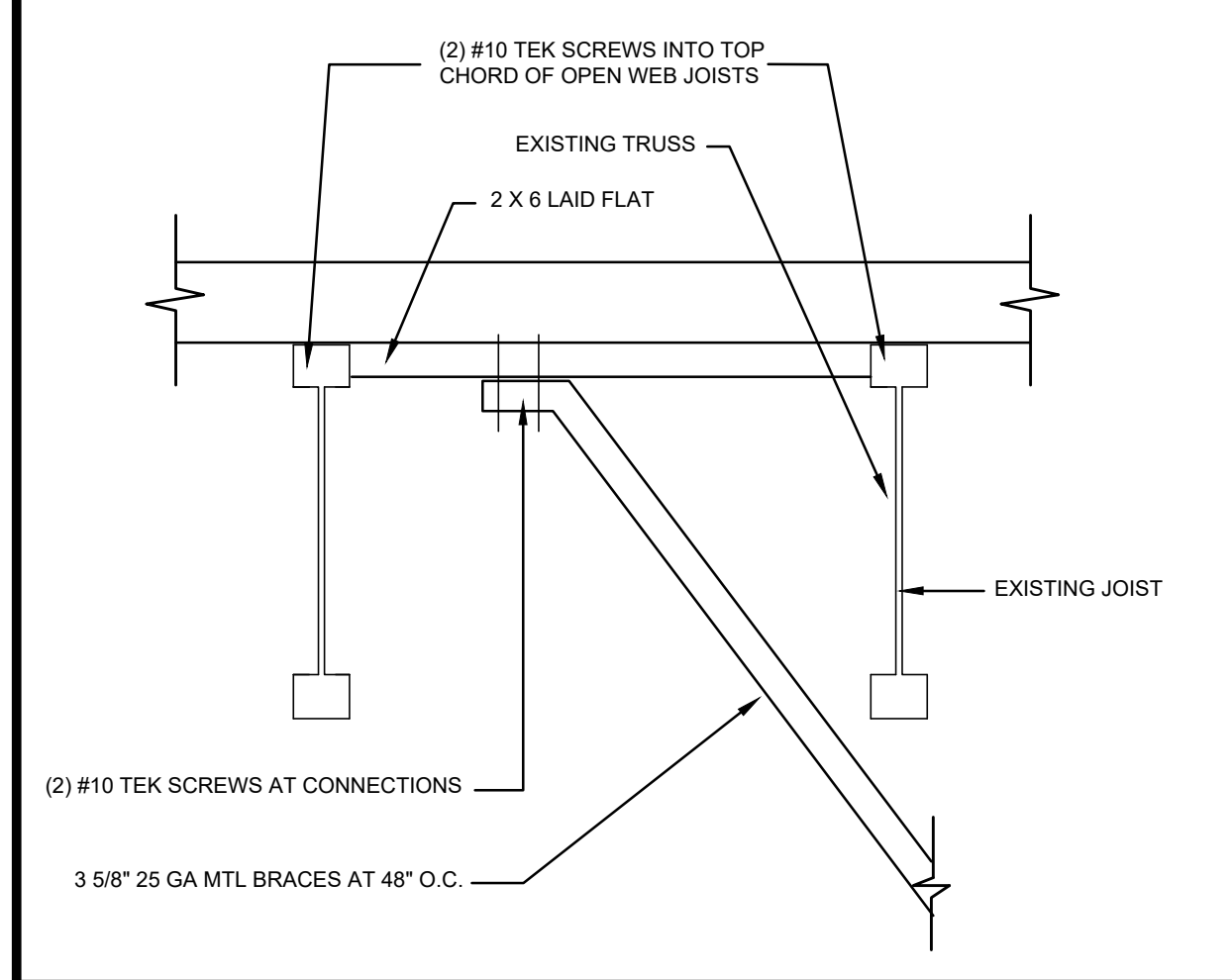
6 WALL SECTION AT FLOOR SCALE = N.T.S.



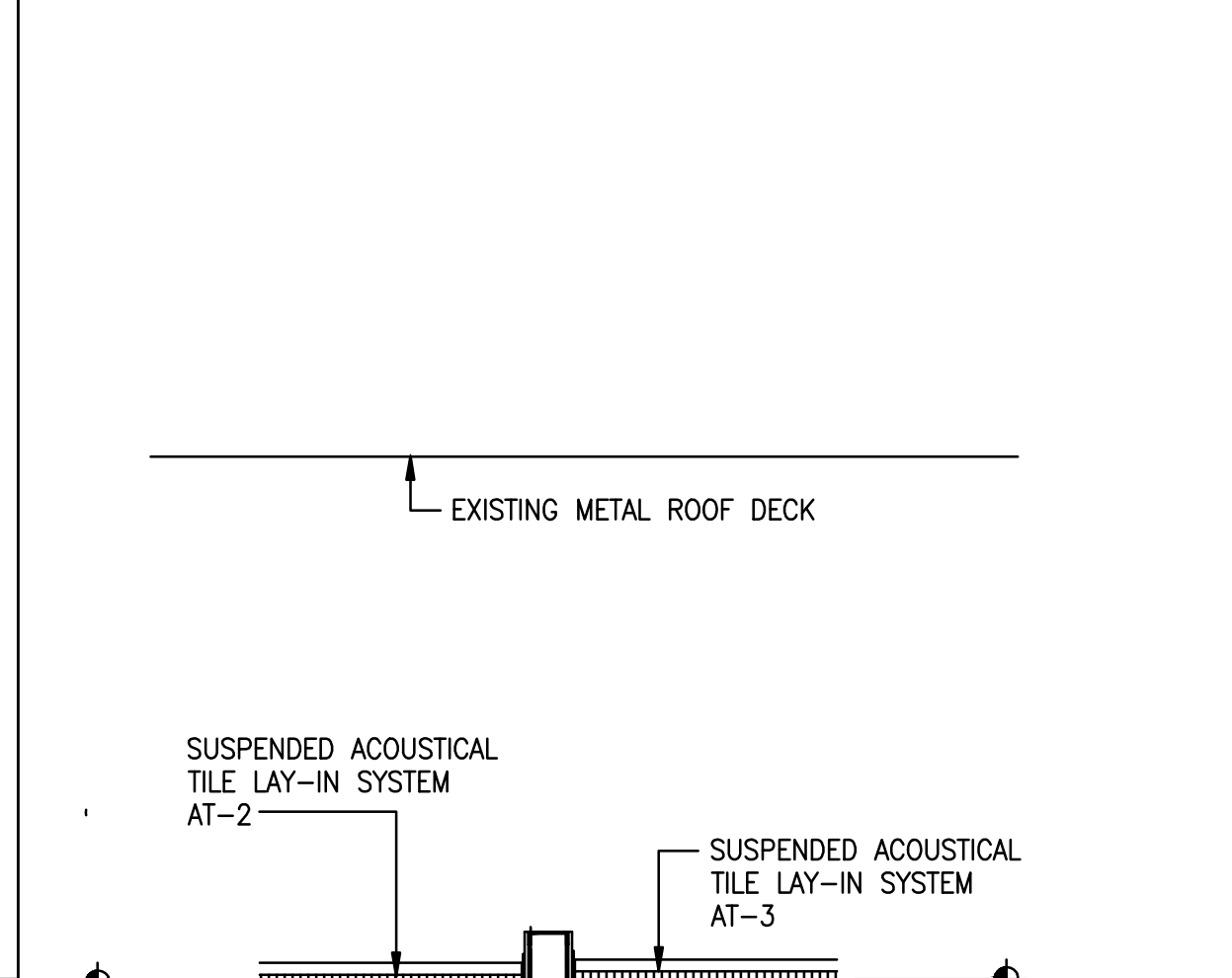
5 WALL BASE DETAIL SCALE = N.T.S.



1 FLOOR SINK DETAIL SCALE = N.T.S.



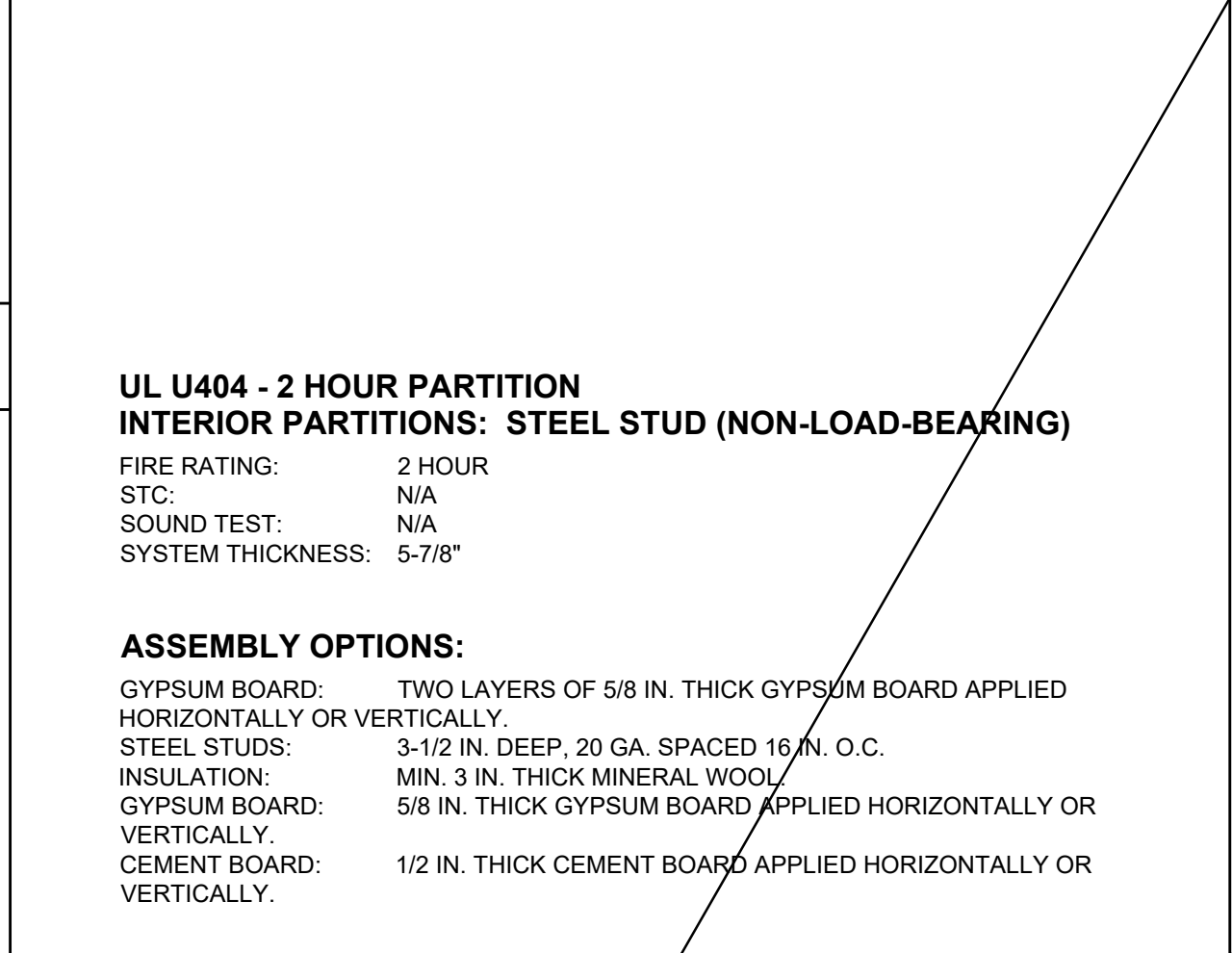
18 BRACE AT DECK SCALE = N.T.S.



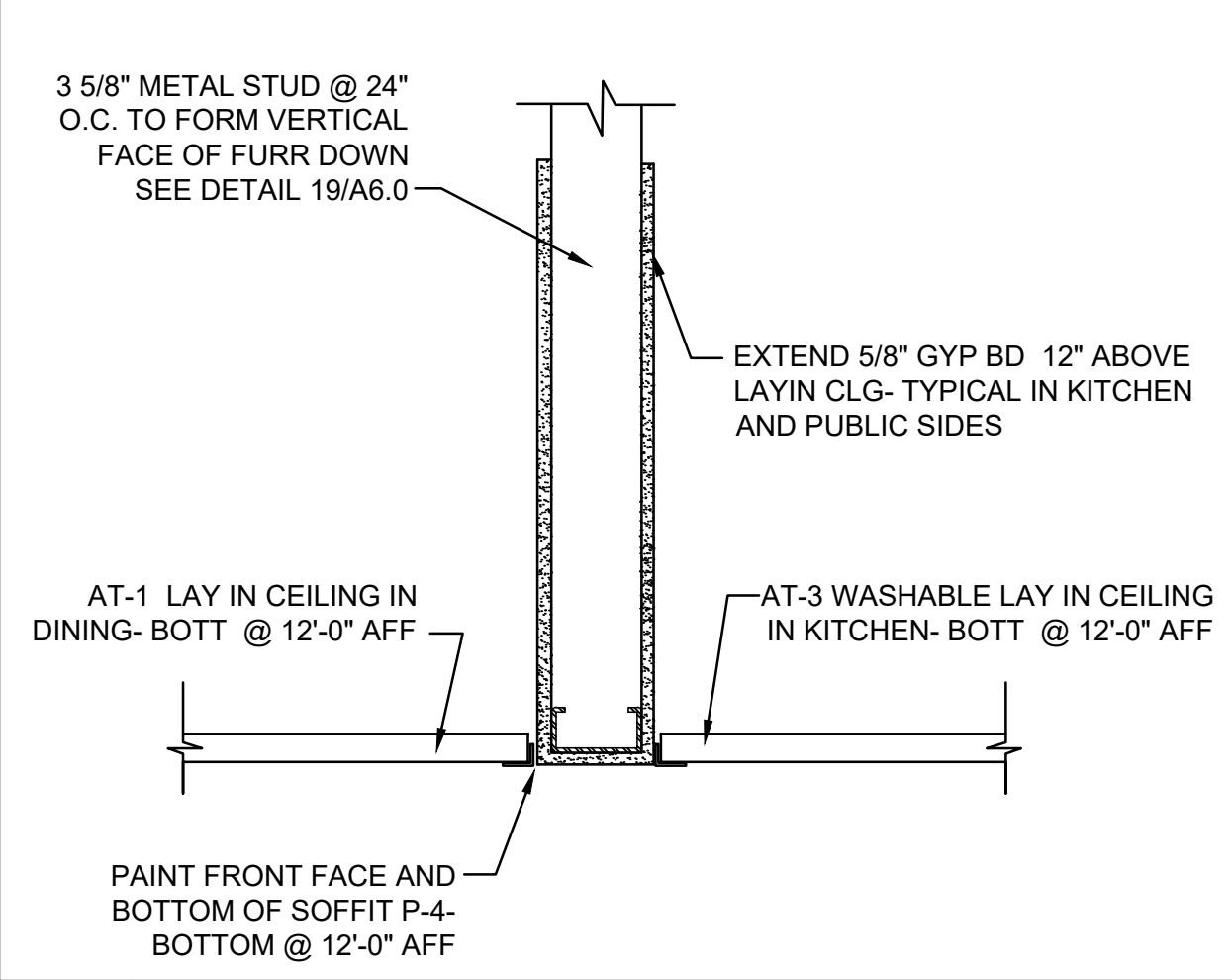
14 WALK IN COOLER SCALE = N.T.S.



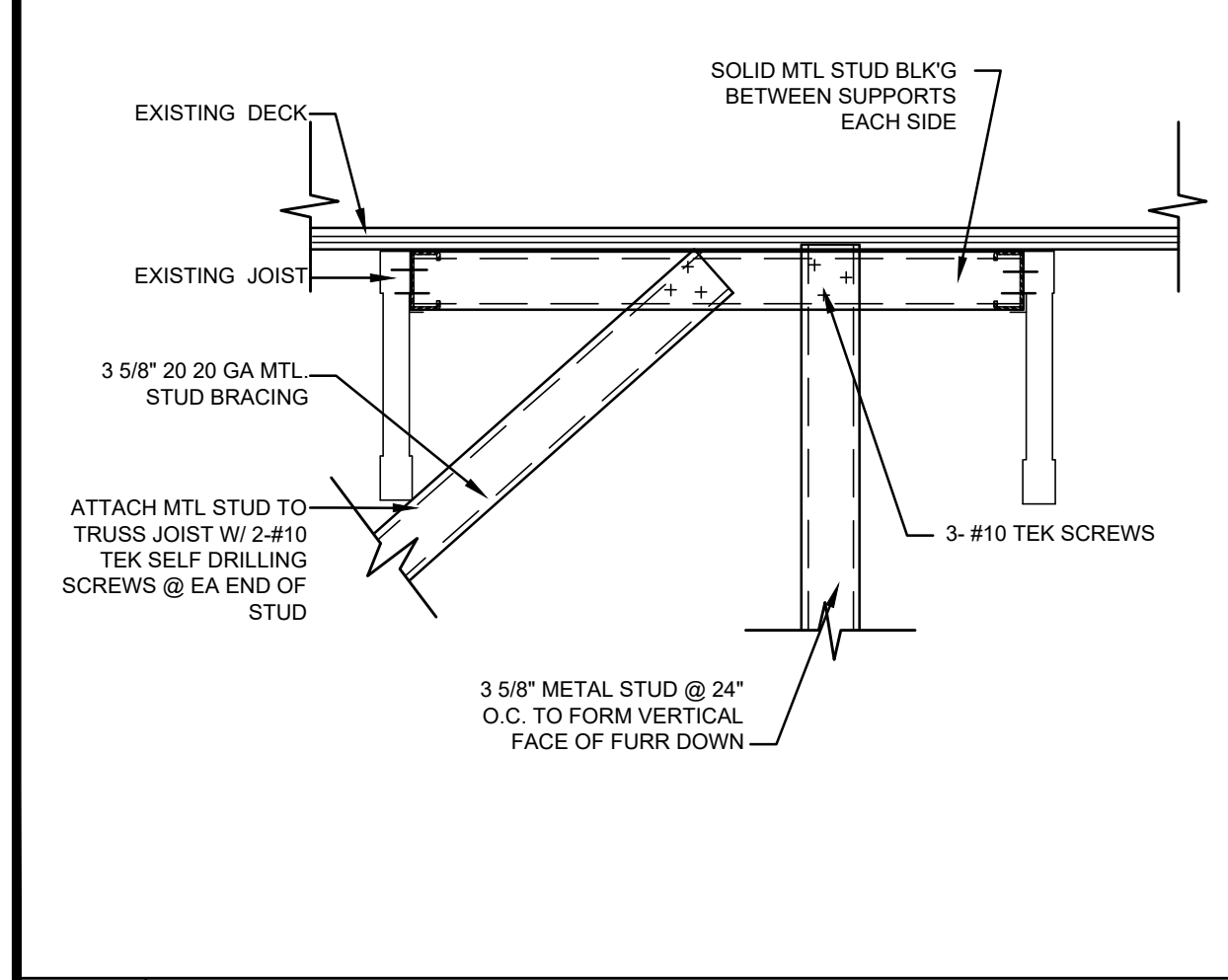
10 NOT USED SCALE = N.T.S.



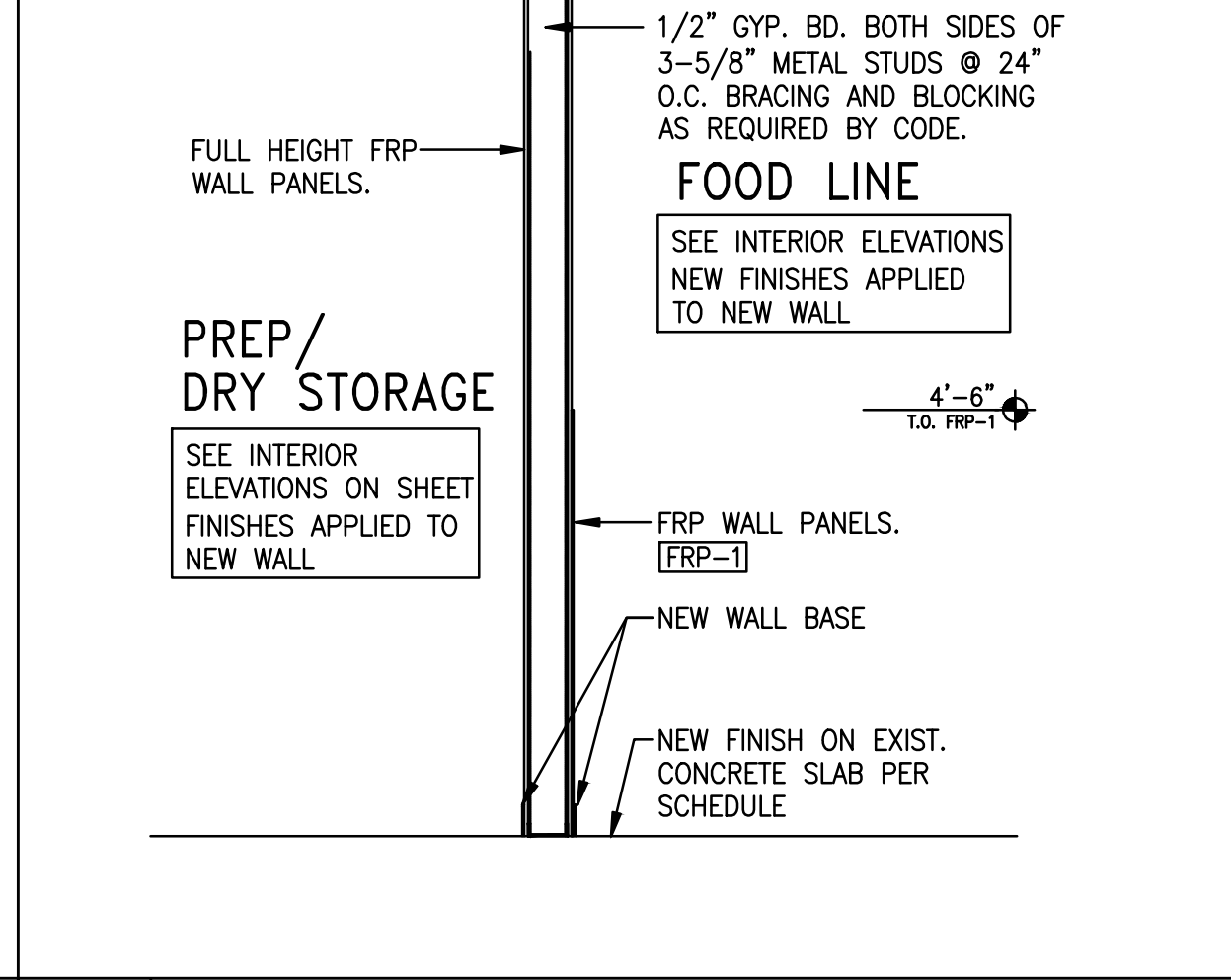
6 WALL SECTION AT FLOOR SCALE = N.T.S.



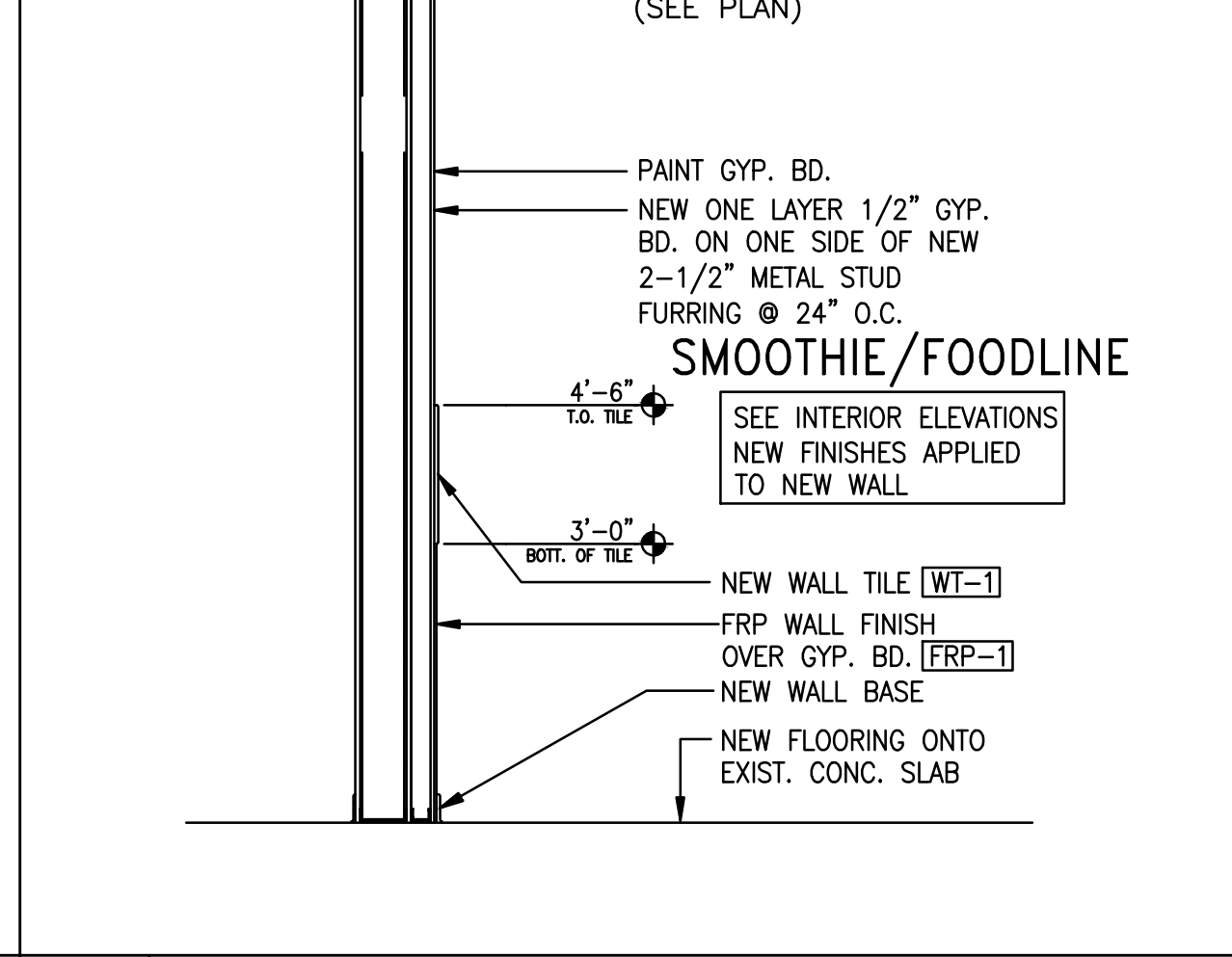
3 SOFFIT AT FRONT COUNTER SCALE = N.T.S.



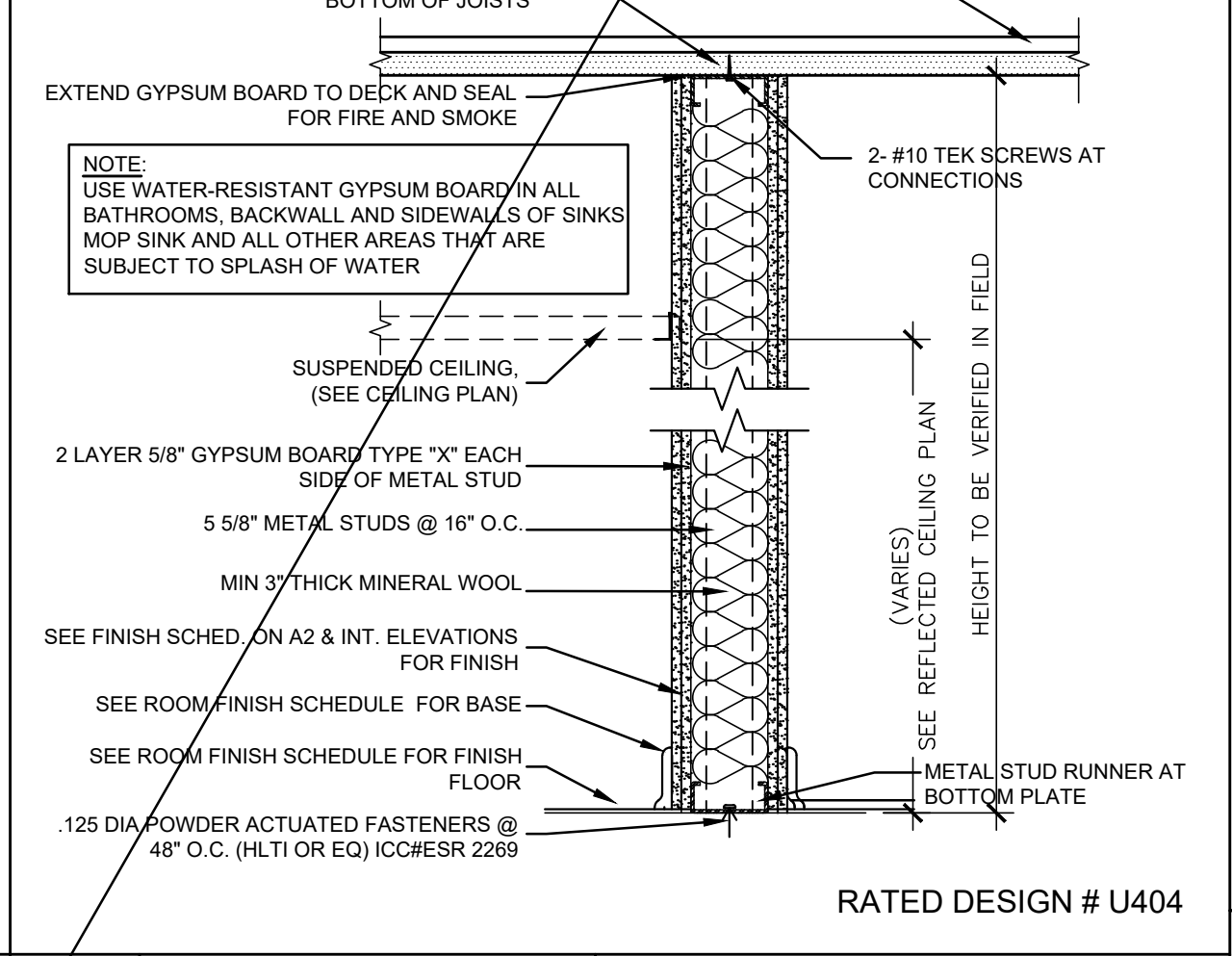
19 BRACE AT ROOF FRAMING SCALE = N.T.S.



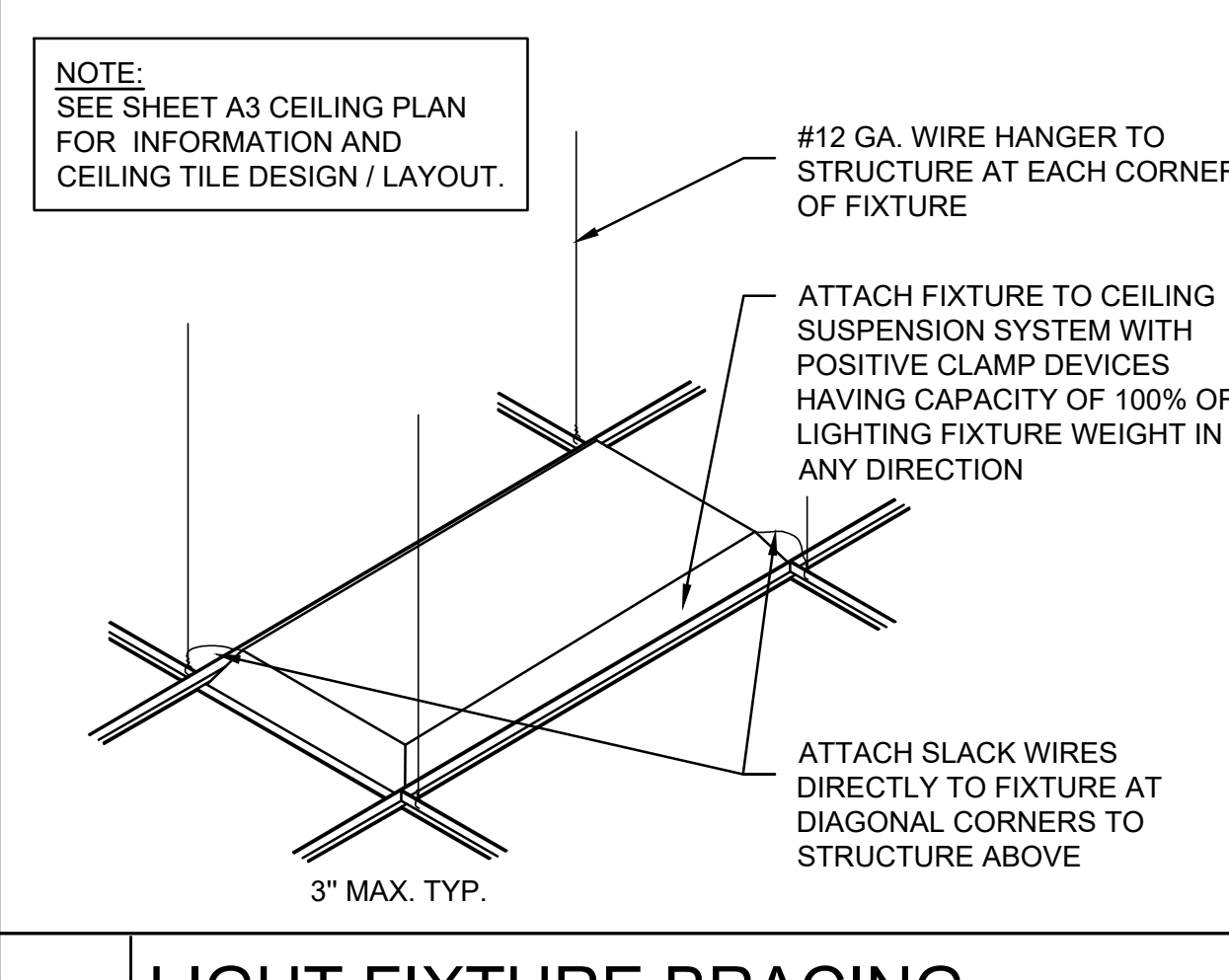
15 WALL SECTION SCALE = N.T.S.



12 WALL SECTION SCALE = N.T.S.



8 2 HR RATED WALL ASSEMBLY SCALE = N.T.S.



4 LIGHT FIXTURE BRACING SCALE = N.T.S.

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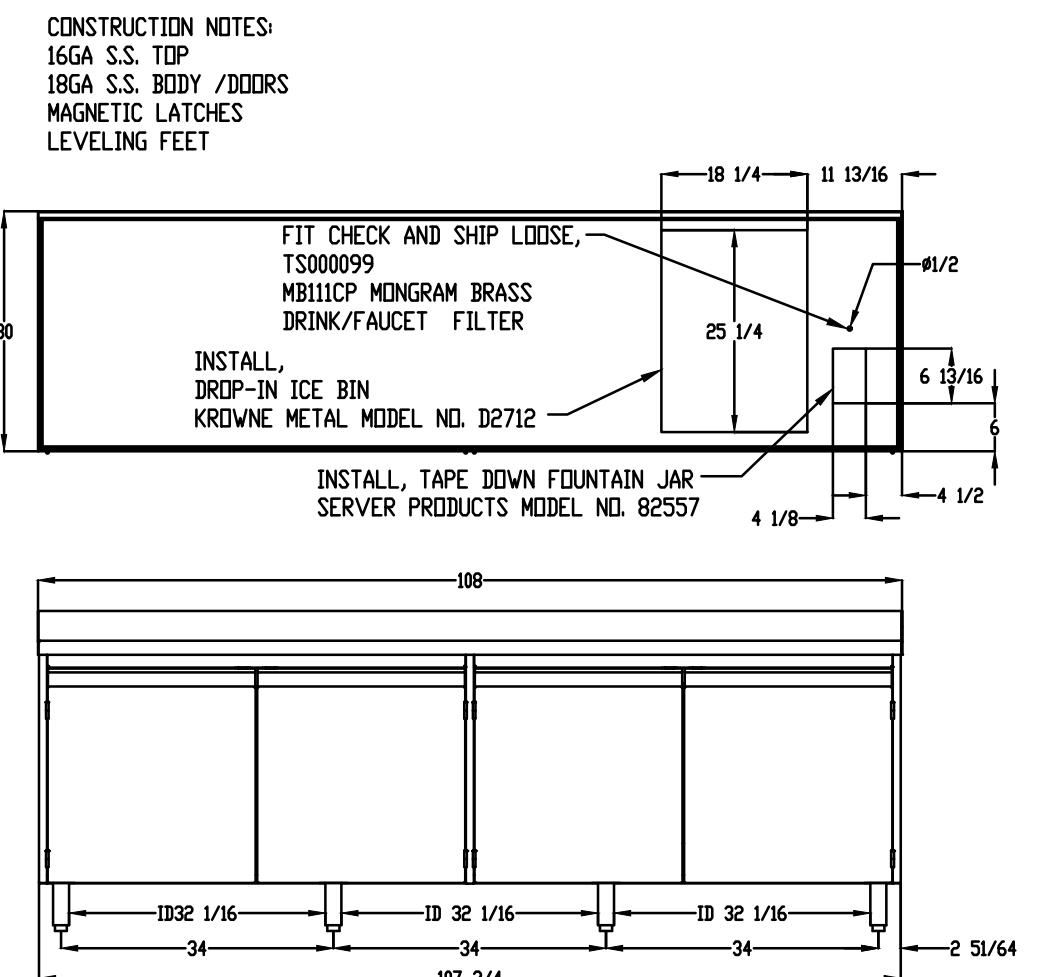
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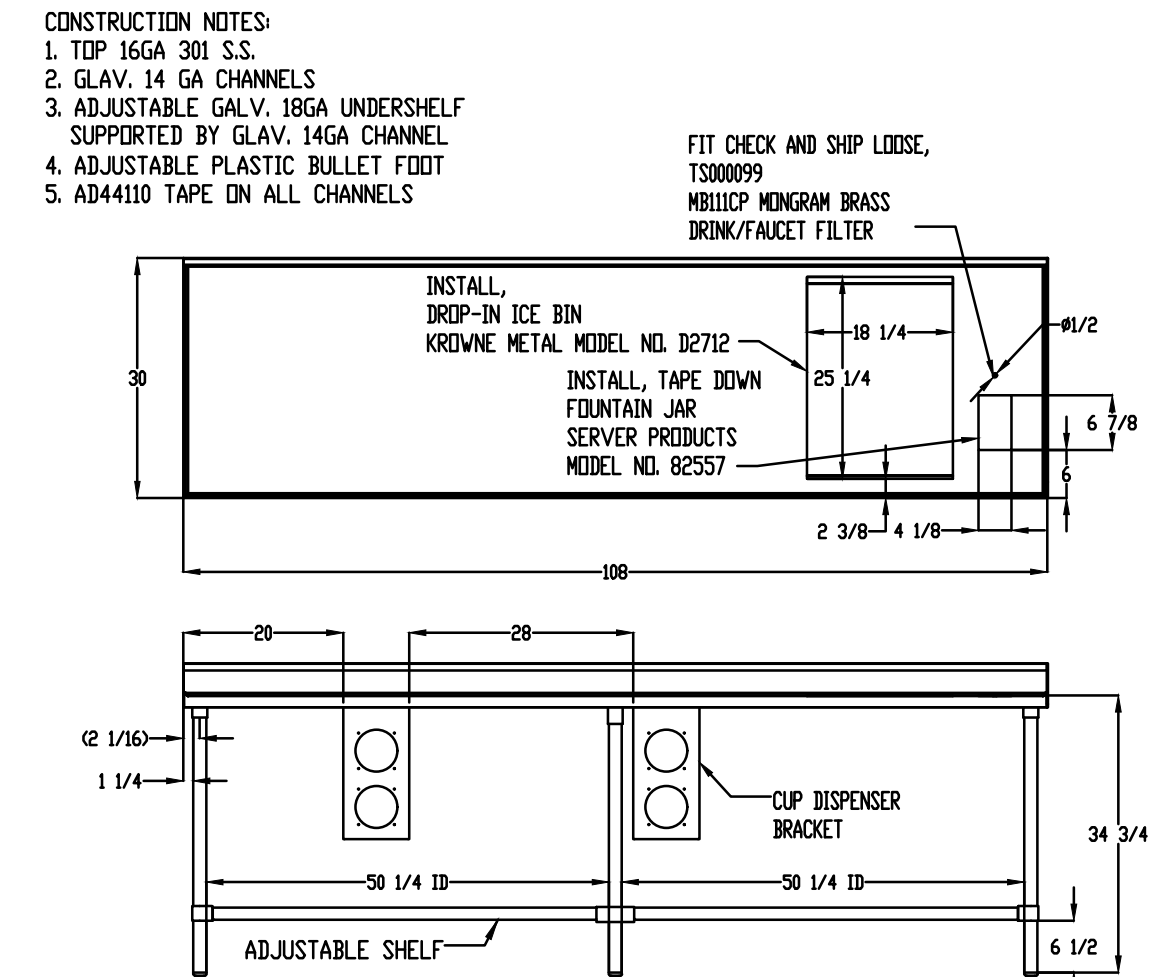
Dustin Curtis
Architect
12296
Phoenix, AZ
12-15-20

DETAILS

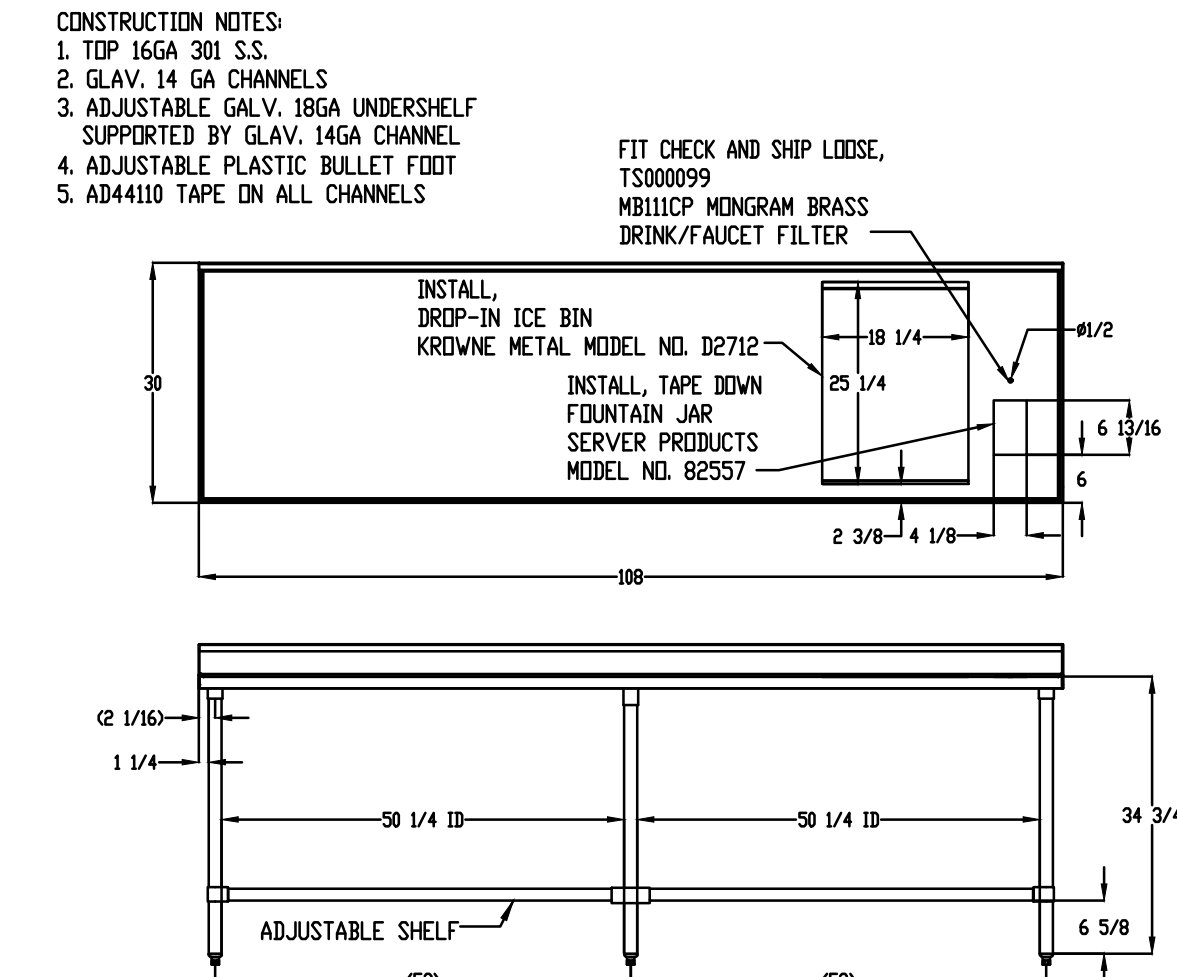
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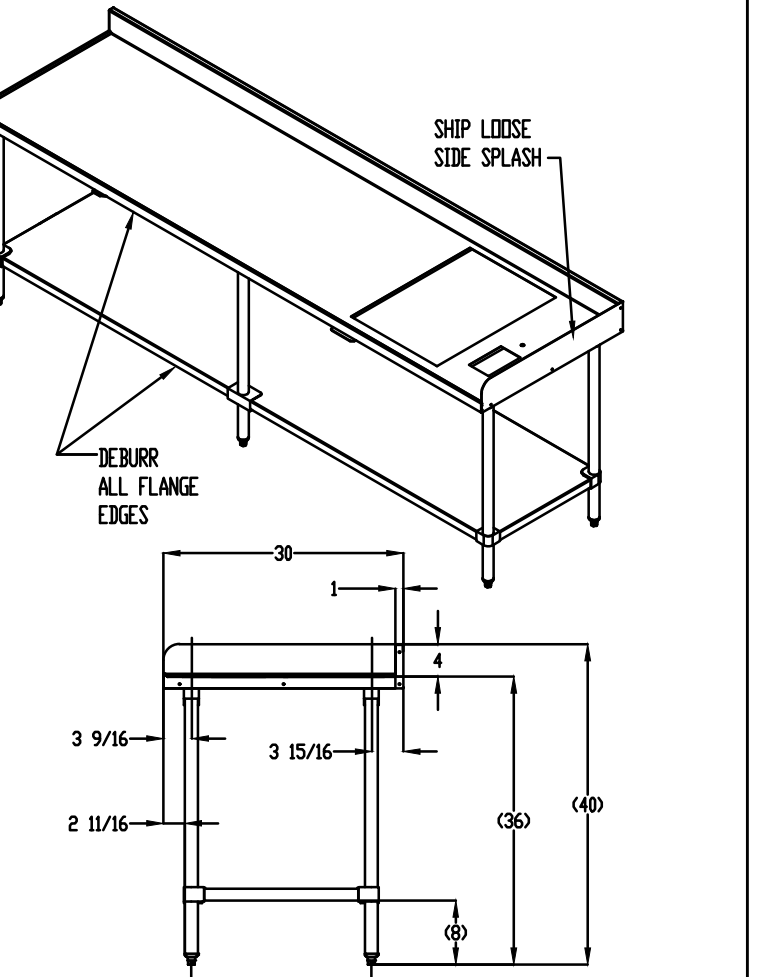
1 ITEM #36 - BLENDER TABLE WITH DOORS - (RIGHT-HAND)
 1/2" = 1'-0"



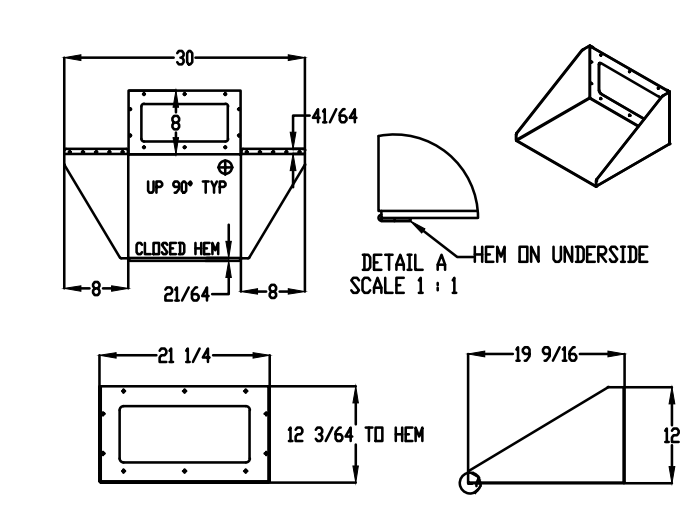
2 ITEM #36 - BLENDER TABLE OPEN BASE - (RIGHT-HAND)
 1/2" = 1'-0"



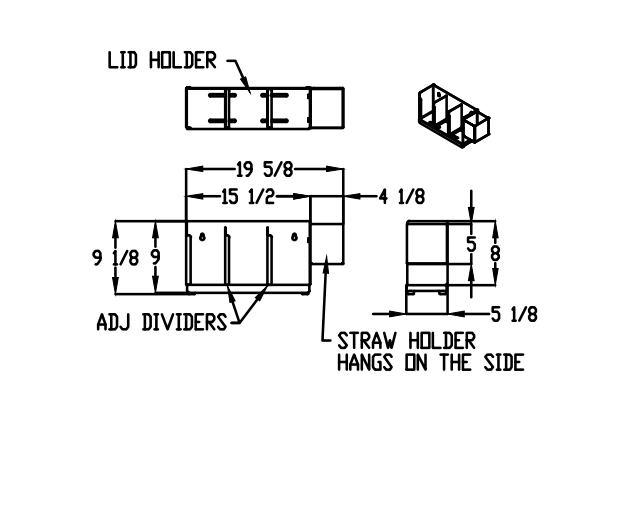
3 ITEM #36 - BLENDER TABLE OPEN BASE - (RIGHT-HAND)
 1/2" = 1'-0"



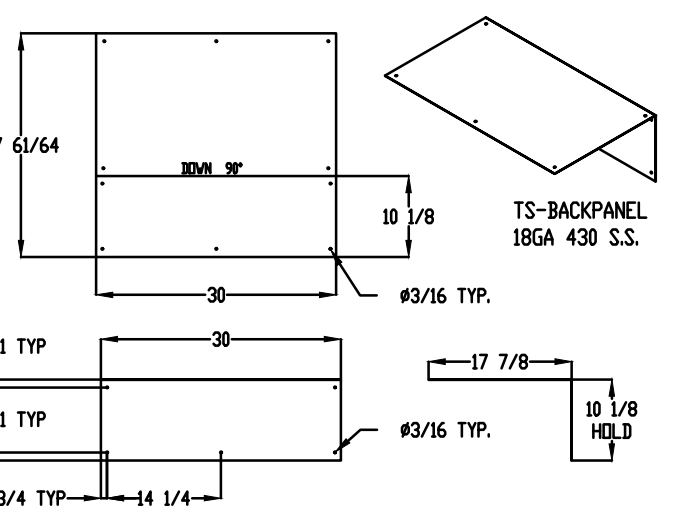
10 LEG FOR CASHIER / SIT-DOWN COUNTER
 1/2" = 1'-0"



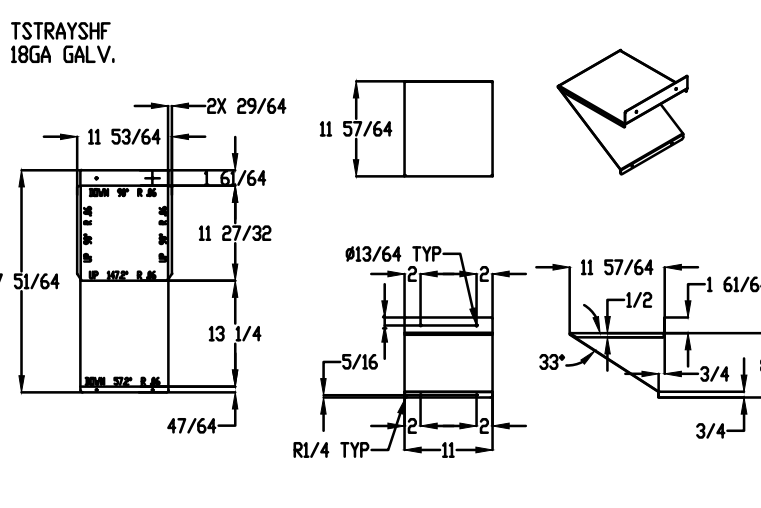
4 ITEM #26 - MICROWAVE SHELF
 1/2" = 1'-0"



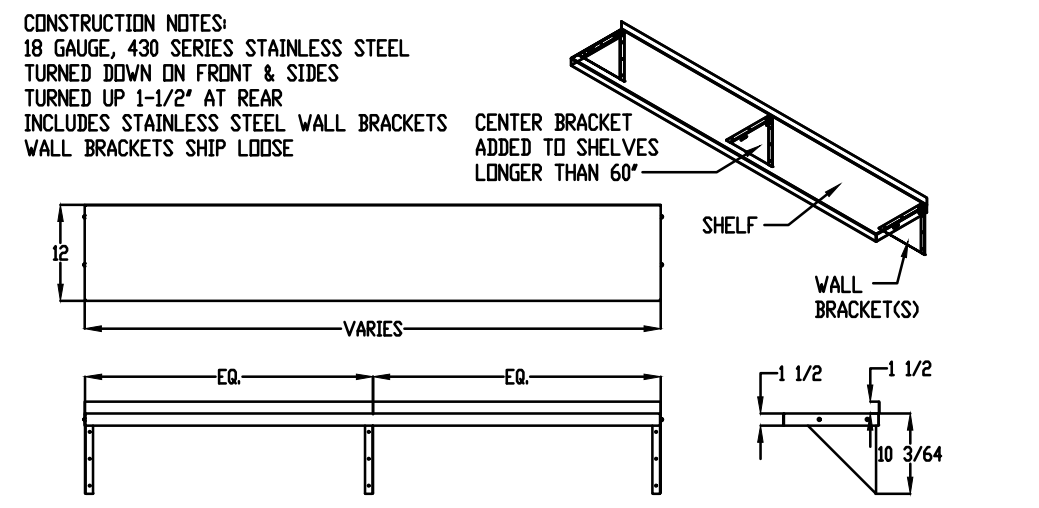
5 ITEM #36E - LID DISPENSER
 1/2" = 1'-0"



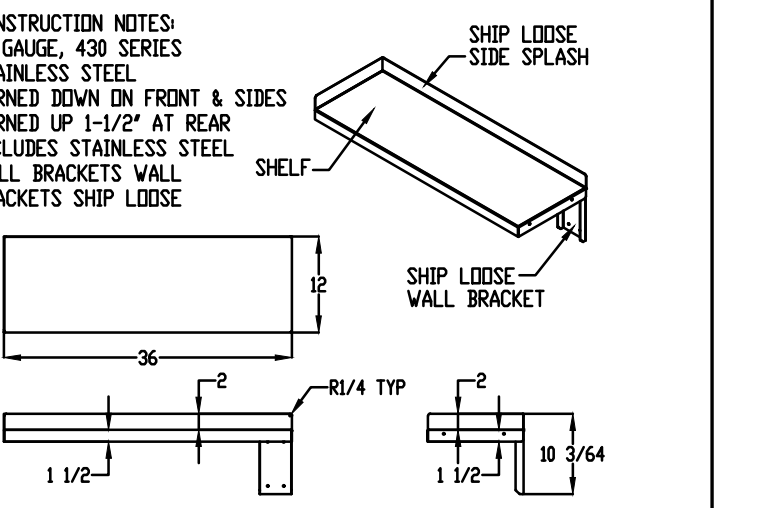
6 ITEM #44 - S/S BACK PANEL
 1/2" = 1'-0"



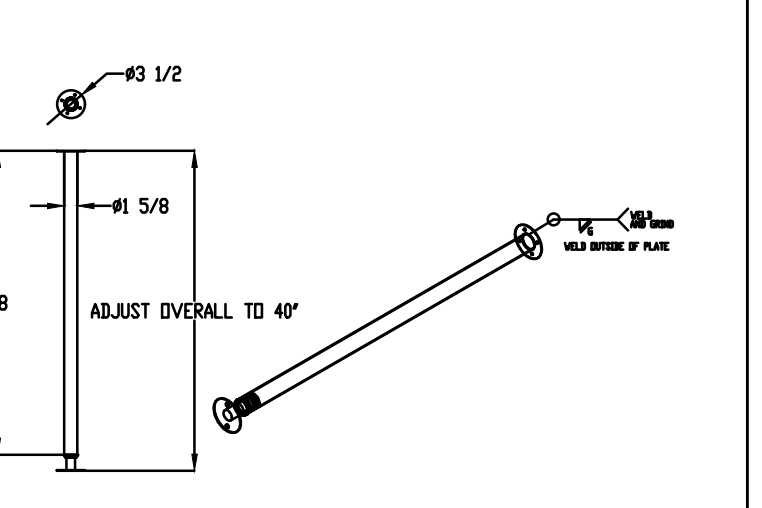
7 ITEM #78A - TRAY SHELF
 1/2" = 1'-0"



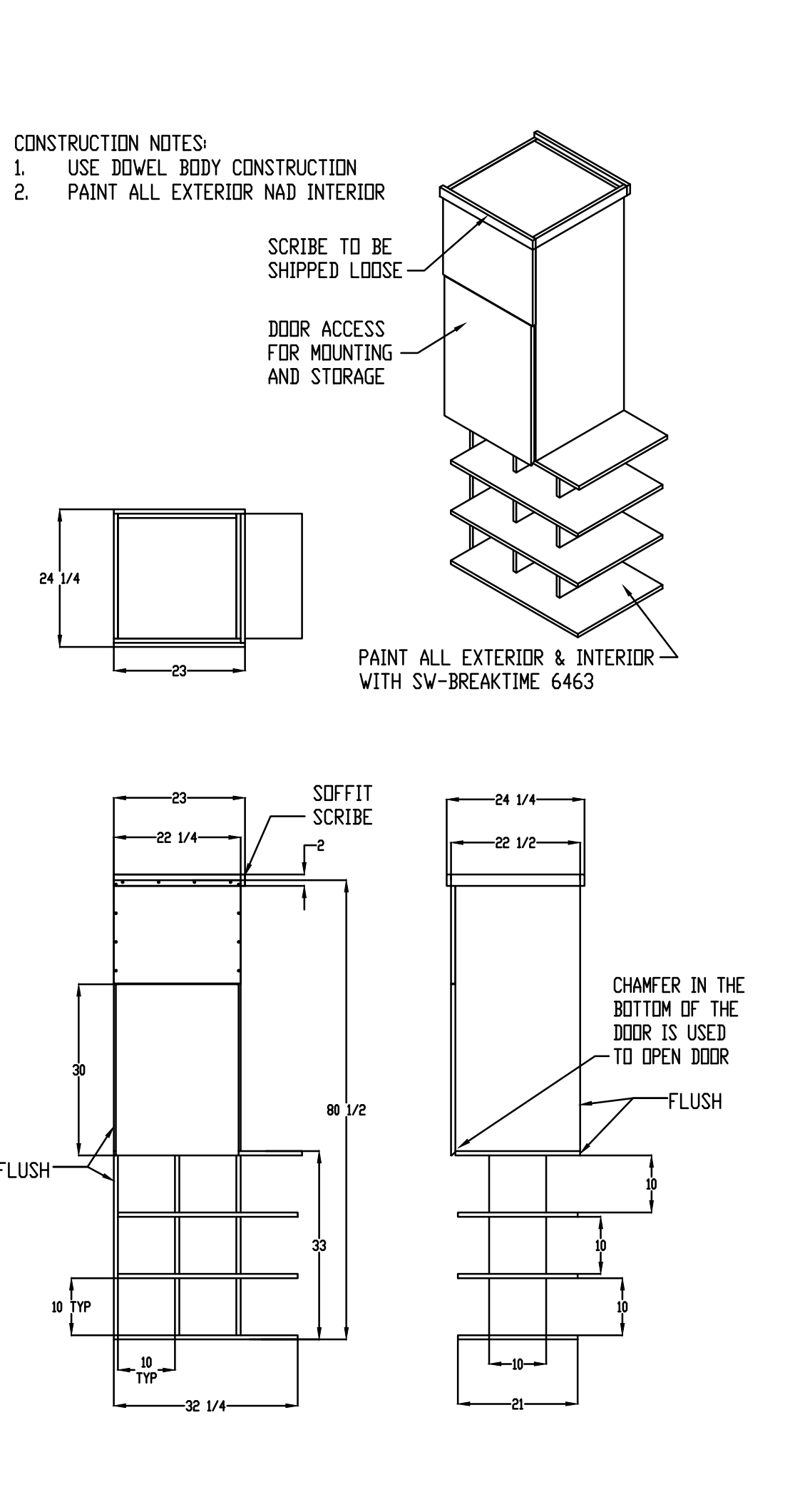
8 ITEM #50 - S/S WALL SHELF
 1/2" = 1'-0"



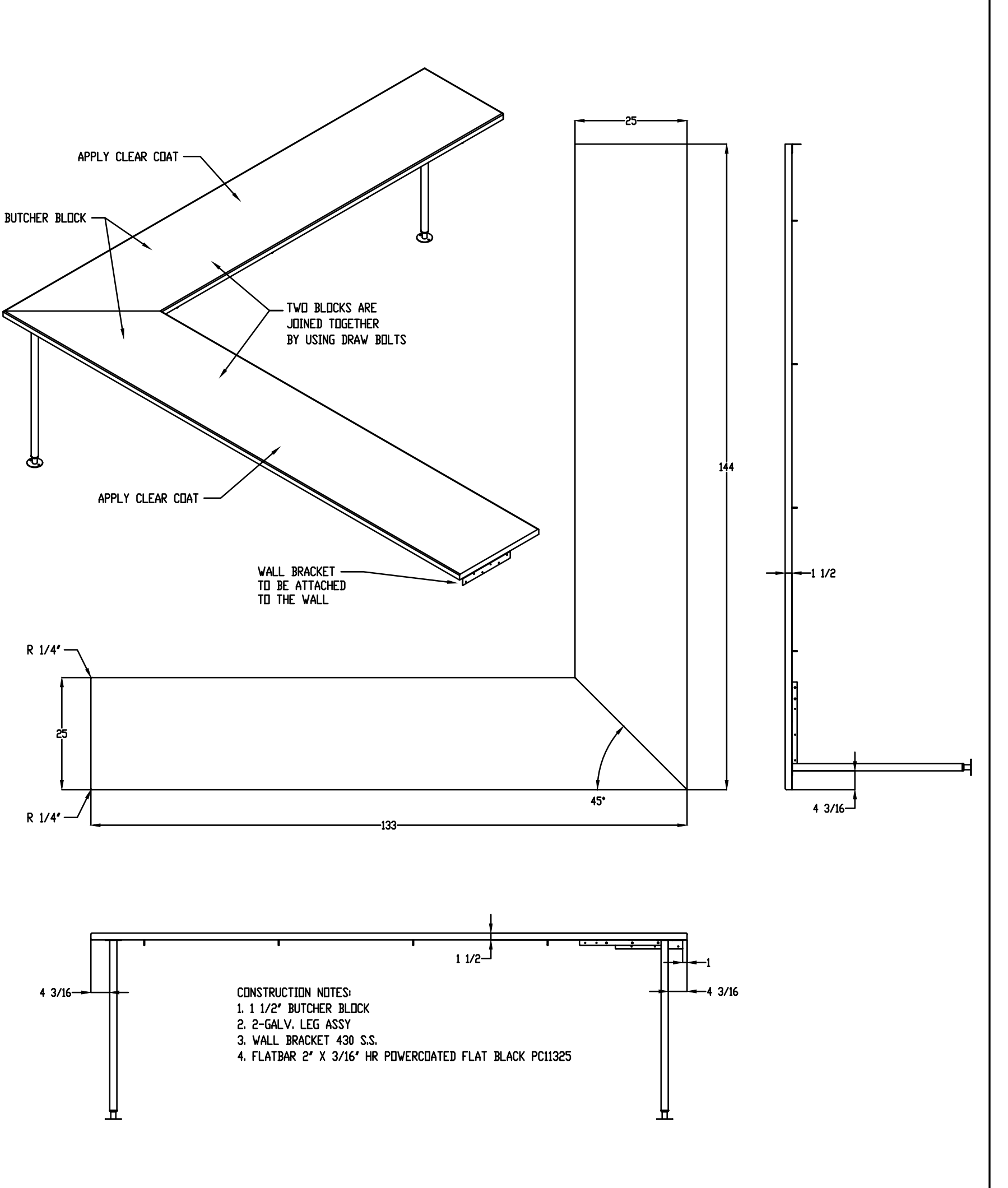
9 ITEM #59 - WALL MTD. WORKTOP
 1/2" = 1'-0"



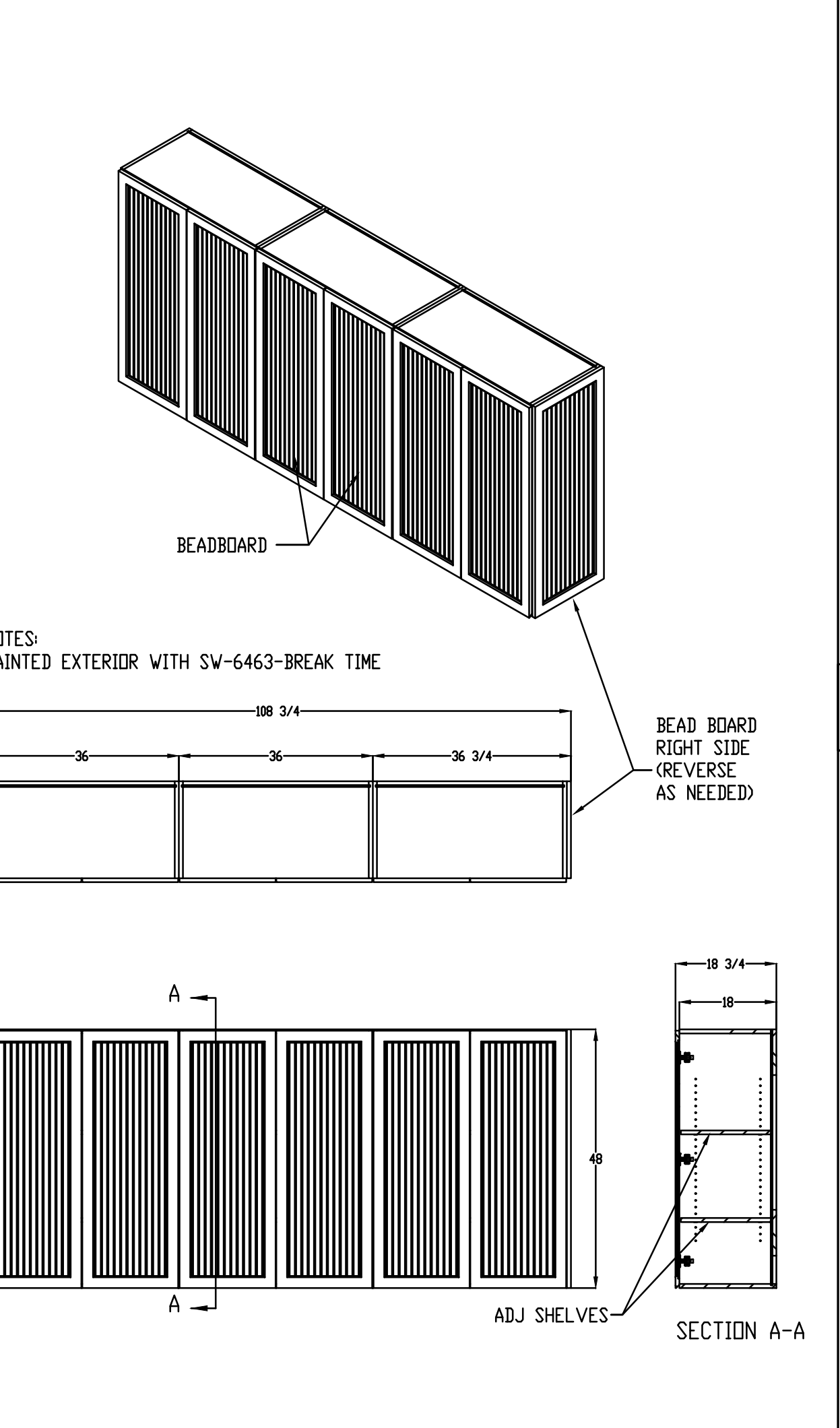
10 LEG FOR CASHIER / SIT-DOWN COUNTER
 1/2" = 1'-0"



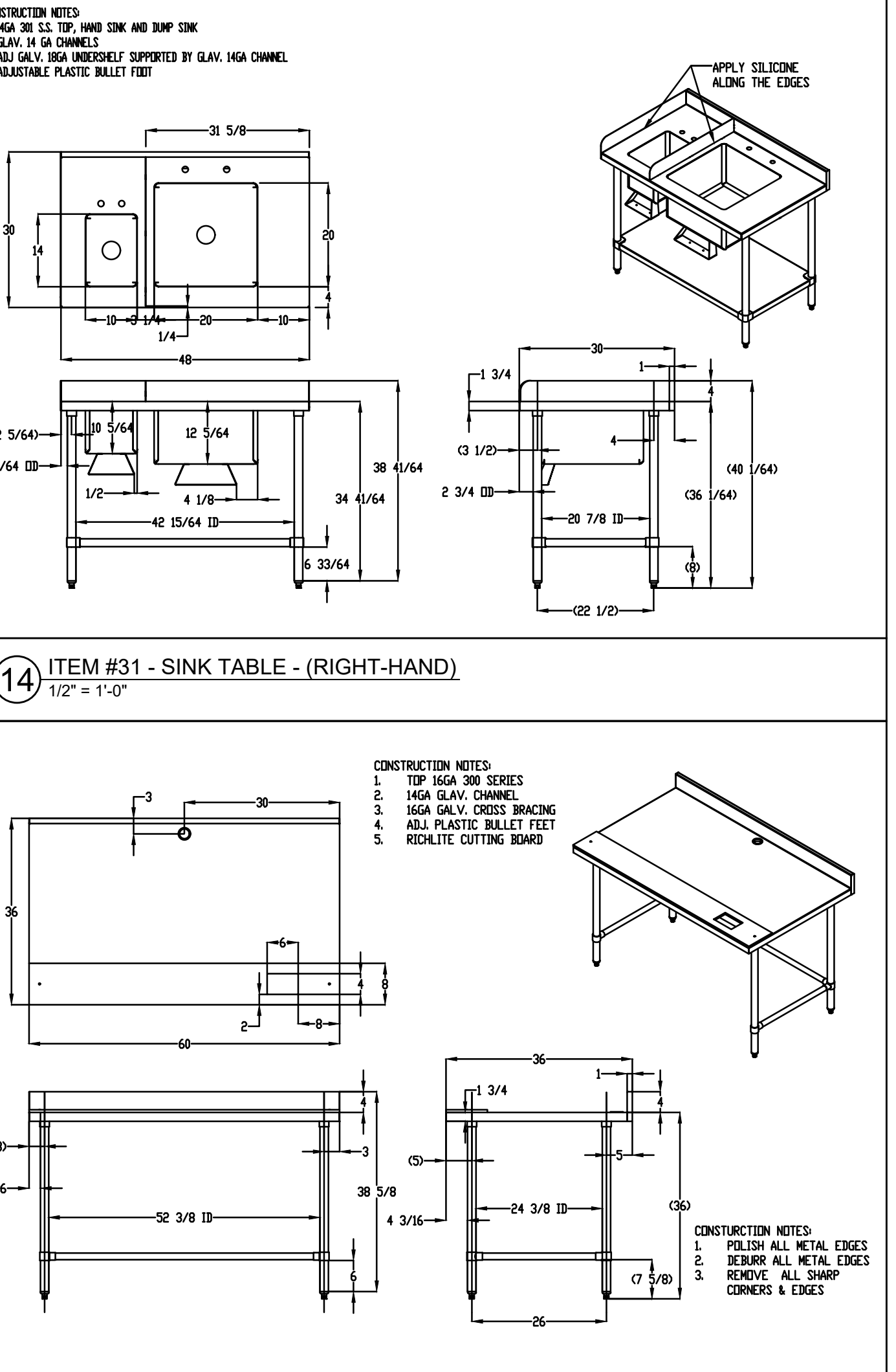
11 ITEM #74C - TO-GO CABINET
 1/2" = 1'-0"



12 ITEM #74A - SIT-DOWN COUNTER - (RIGHT-HAND)
 1/2" = 1'-0"



13 ITEM #41 - WALL CABINET - (RIGHT-HAND)
 1/2" = 1'-0"



15 ITEM #58 - STEAMER TABLE - (RIGHT-HAND)
 1/2" = 1'-0"

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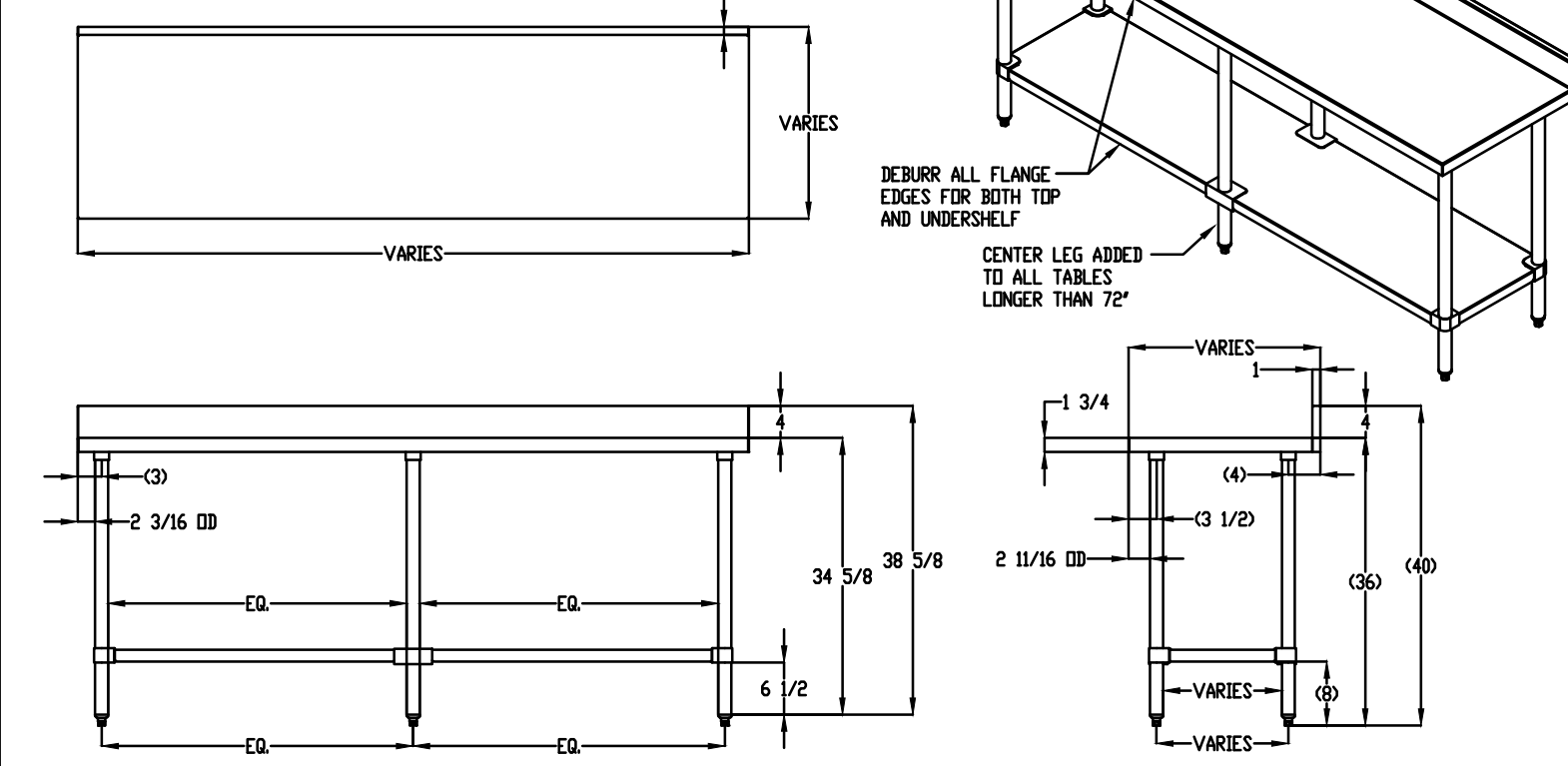
DATE: 03.05.2020

Dustin Curtis
 Registered Architect
 No. 12286
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 Phoenix, AZ
 12-15-20

DETAILS

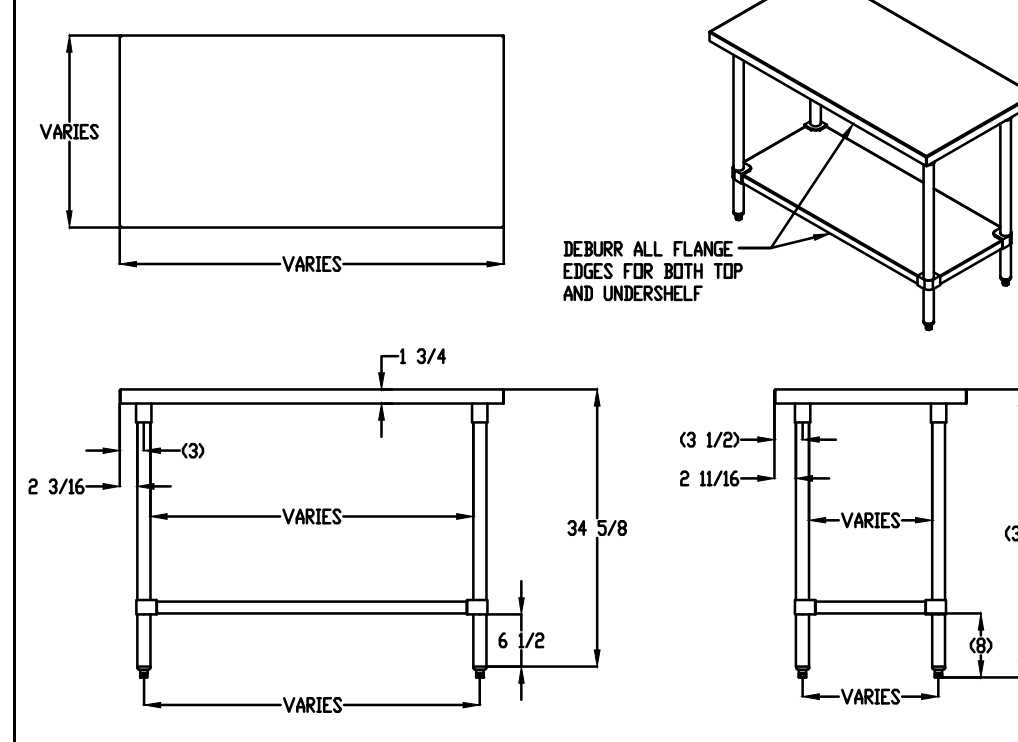
A6.1

- CONSTRUCTION NOTES:**
1. TOP 16GA 301 S.S.
 2. GLAV. 14 GA CHANNELS
 3. ADJUSTABLE GALV. 18GA UNDERSHELF SUPPORTED BY GLAV. 14GA CHANNEL
 4. ADJUSTABLE PLASTIC BULLET FOOT
 5. POLISH ALL METAL EDGES
 6. DEBURR ALL METAL EDGES
 7. REMOVE ALL SHARP CORNERS & EDGES



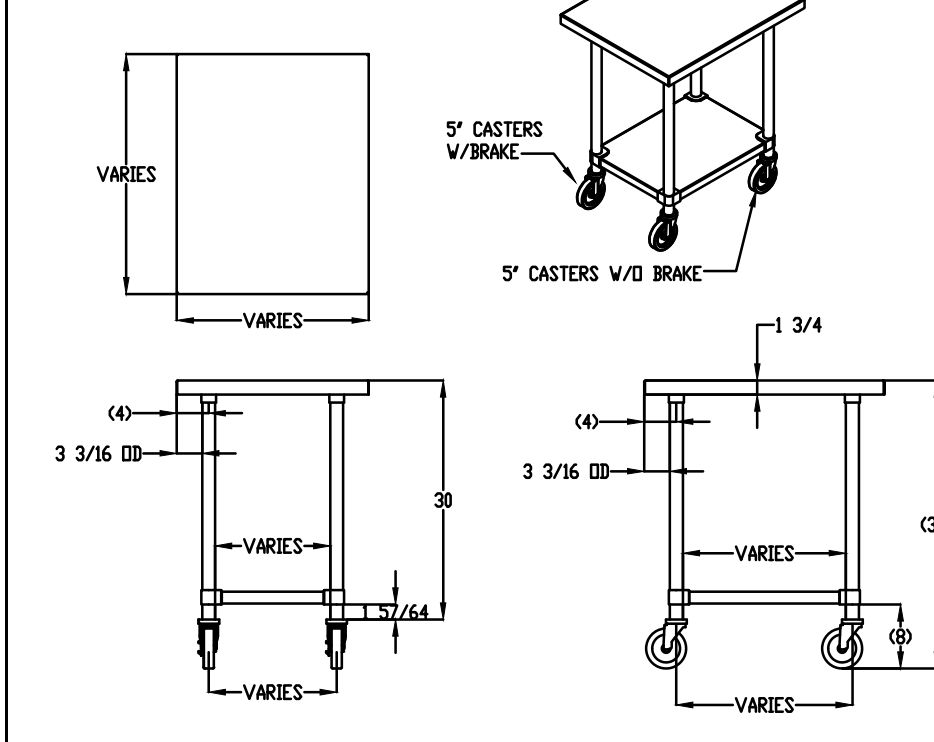
1 ITEM #32, 34, 35 & 60 - WORK TABLE WITH BACKSPASH
1/2" = 1'-0"

- CONSTRUCTION NOTES:**
1. TOP 16GA 301 S.S.
 2. GLAV. 14 GA CHANNELS
 3. ADJUSTABLE GALV. 18GA UNDERSHELF SUPPORTED BY GLAV. 14GA CHANNEL
 4. ADJUSTABLE PLASTIC BULLET FOOT
 5. POLISH ALL METAL EDGES
 6. DEBURR ALL METAL EDGES
 7. REMOVE ALL SHARP CORNERS & EDGES

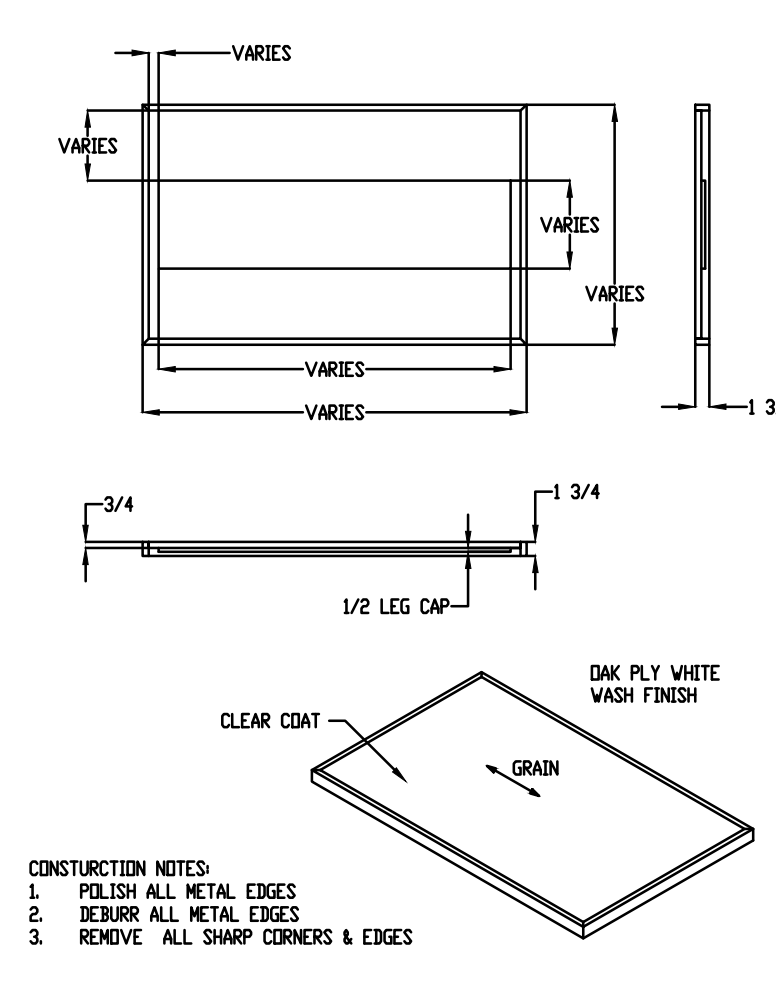


2 ITEM #32 & 60 - WORK TABLE WITHOUT BACKSPASH
1/2" = 1'-0"

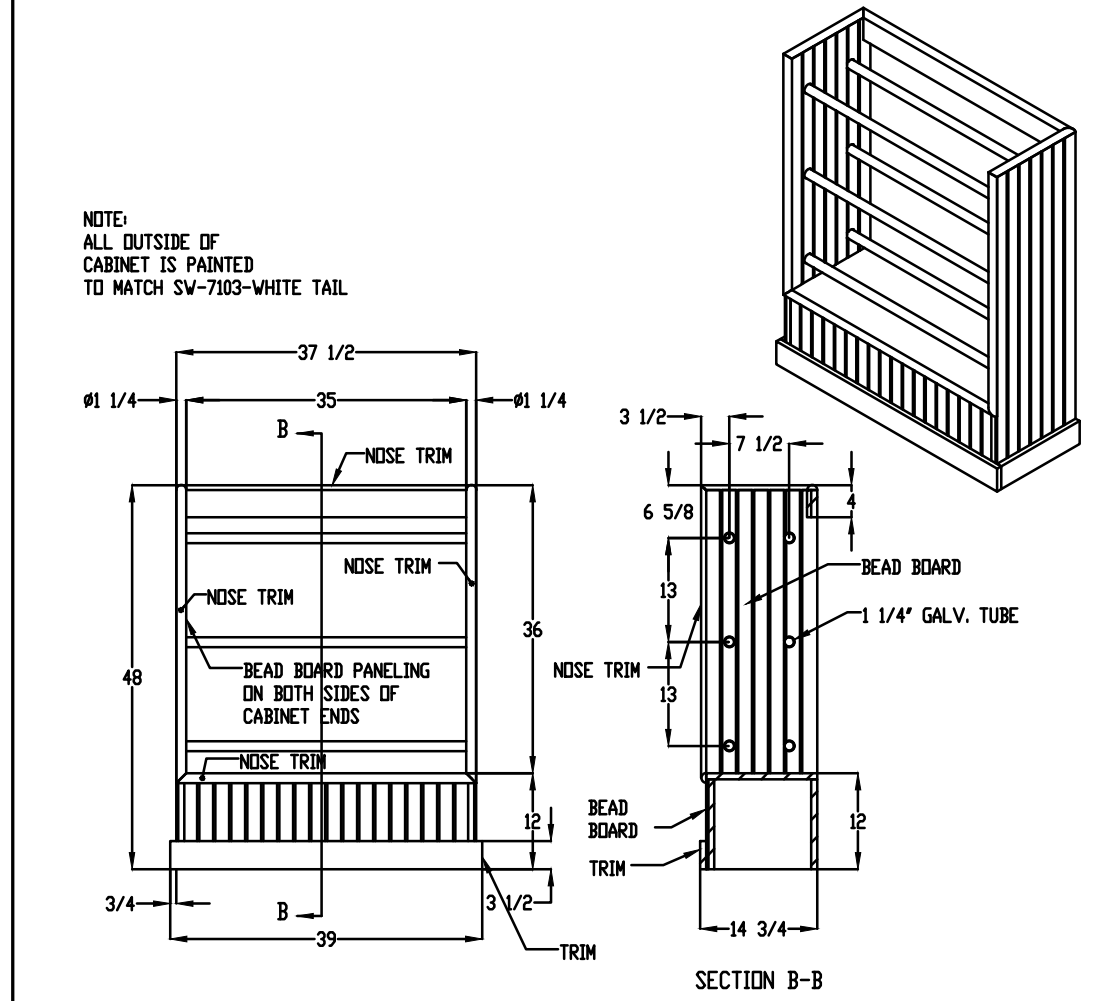
- CONSTRUCTION NOTES:**
1. TOP 16GA 301 S.S.
 2. GLAV. 14 GA CHANNELS
 3. ADJUSTABLE GALV. 18GA UNDERSHELF SUPPORTED BY GLAV. 14GA CHANNEL
 4. ADJUSTABLE PLASTIC BULLET FOOT
 5. POLISH ALL METAL EDGES
 6. DEBURR ALL METAL EDGES
 7. REMOVE ALL SHARP CORNERS & EDGES



3 ITEM #32 & 60 - WORK TABLE WITH CASTERS
1/2" = 1'-0"

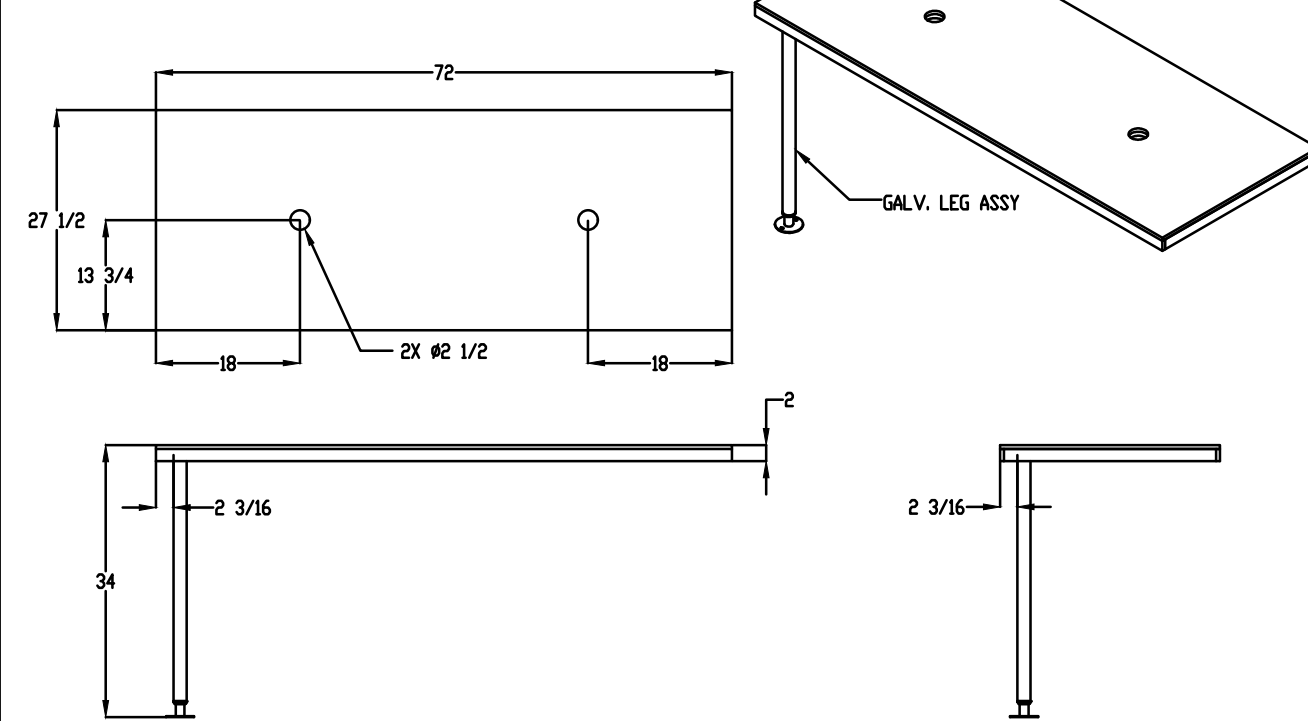


4 ITEM #71 - DINING TABLE TOP
1/2" = 1'-0"

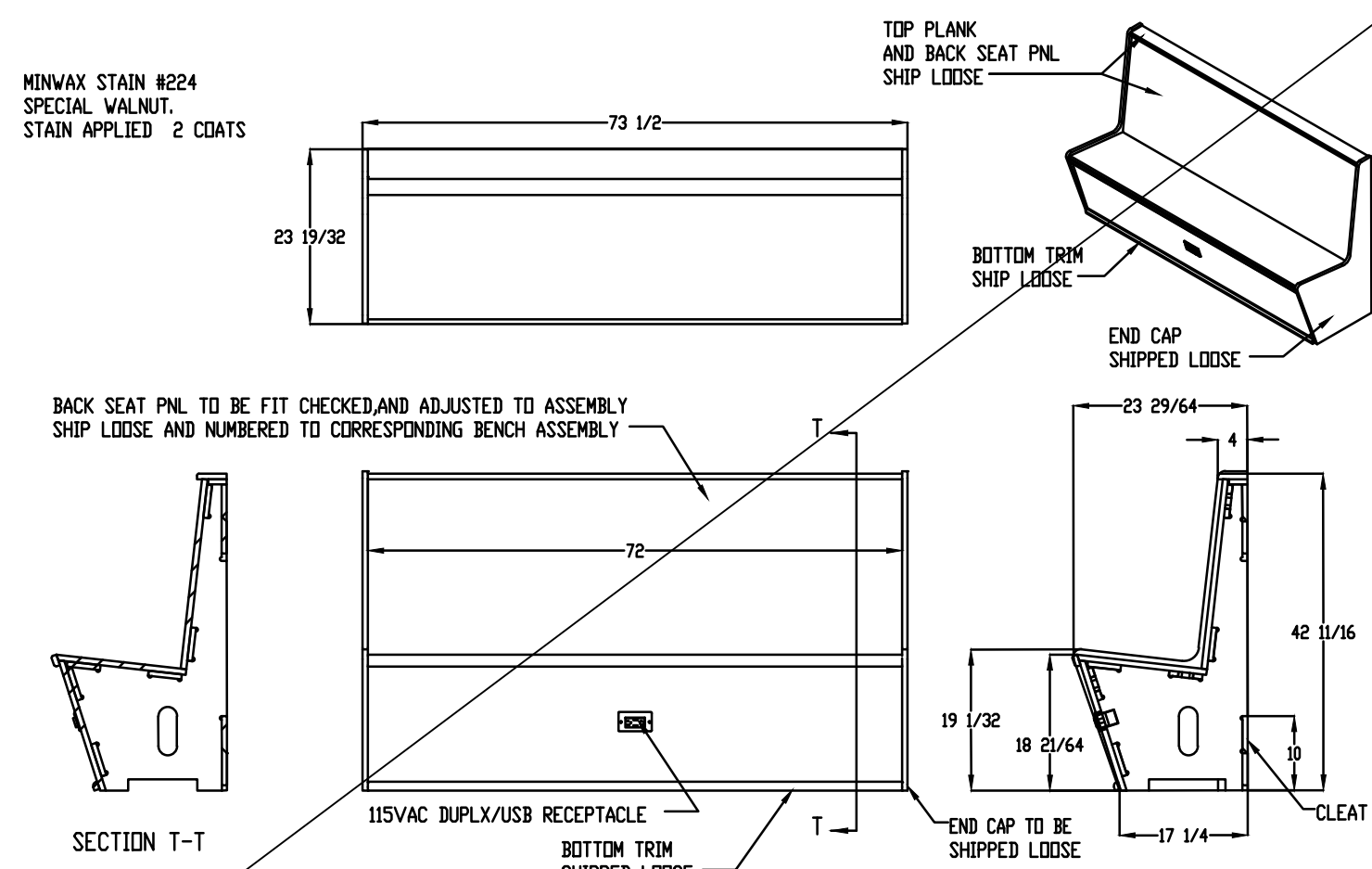


5 ITEM #76 - MARKET PLACE
1/2" = 1'-0"

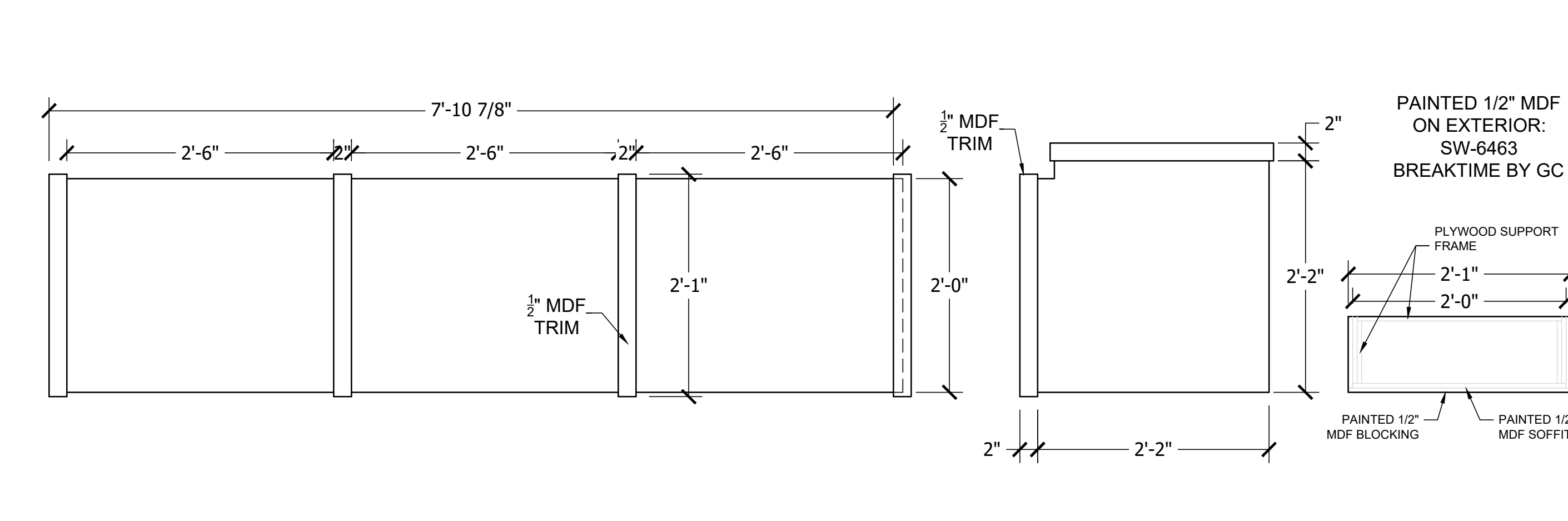
- CONSTRUCTION NOTES:**
1. TOP SOLID SURFACE-TROPICAL TEAL
 2. 1 5/8" GALV. TUBE LEG ASSY



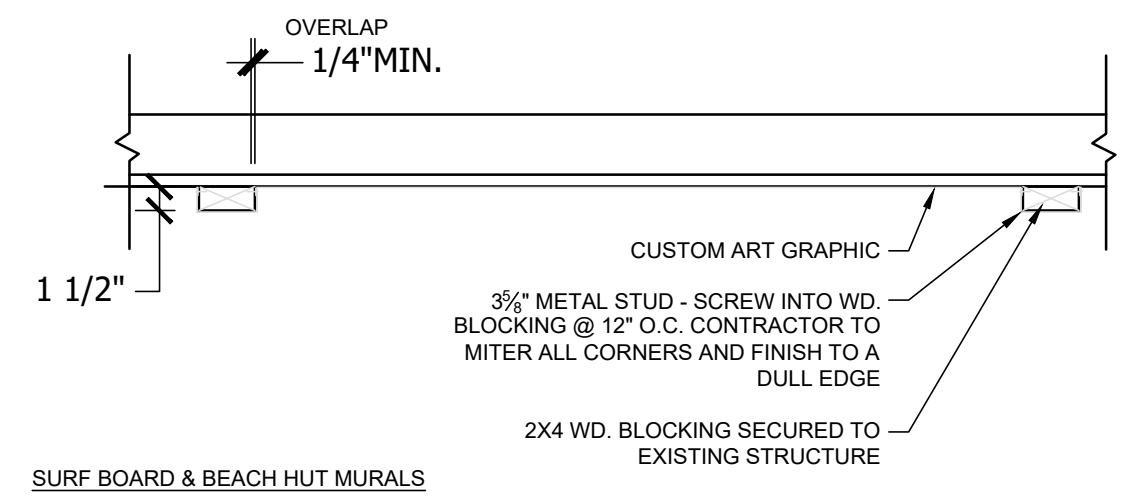
6 ITEM #49 - CASHIER COUNTER TOP
1/2" = 1'-0"



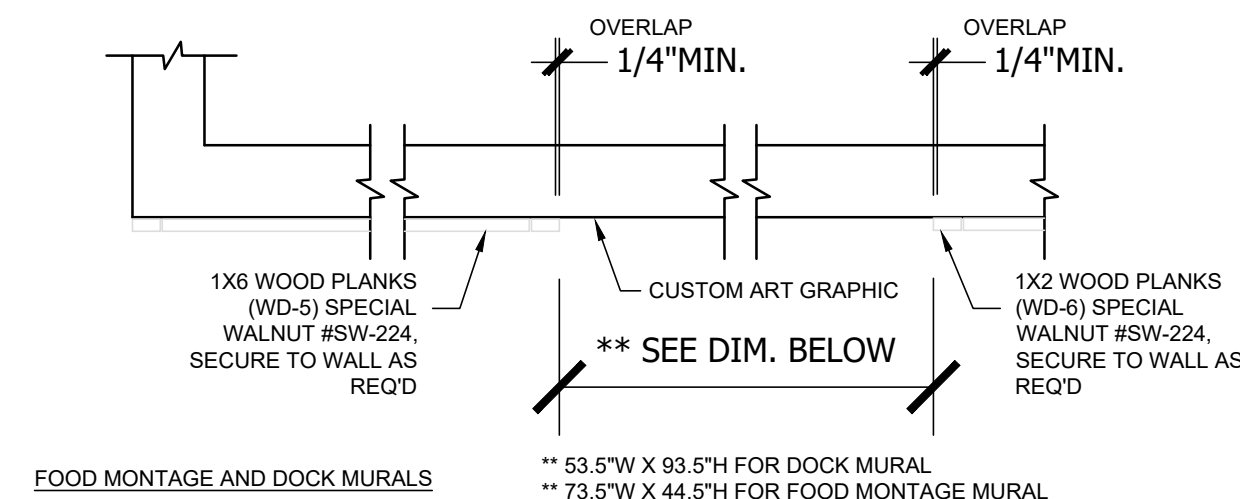
7 ITEM #77 - BANQUET SEATING
1/2" = 1'-0"



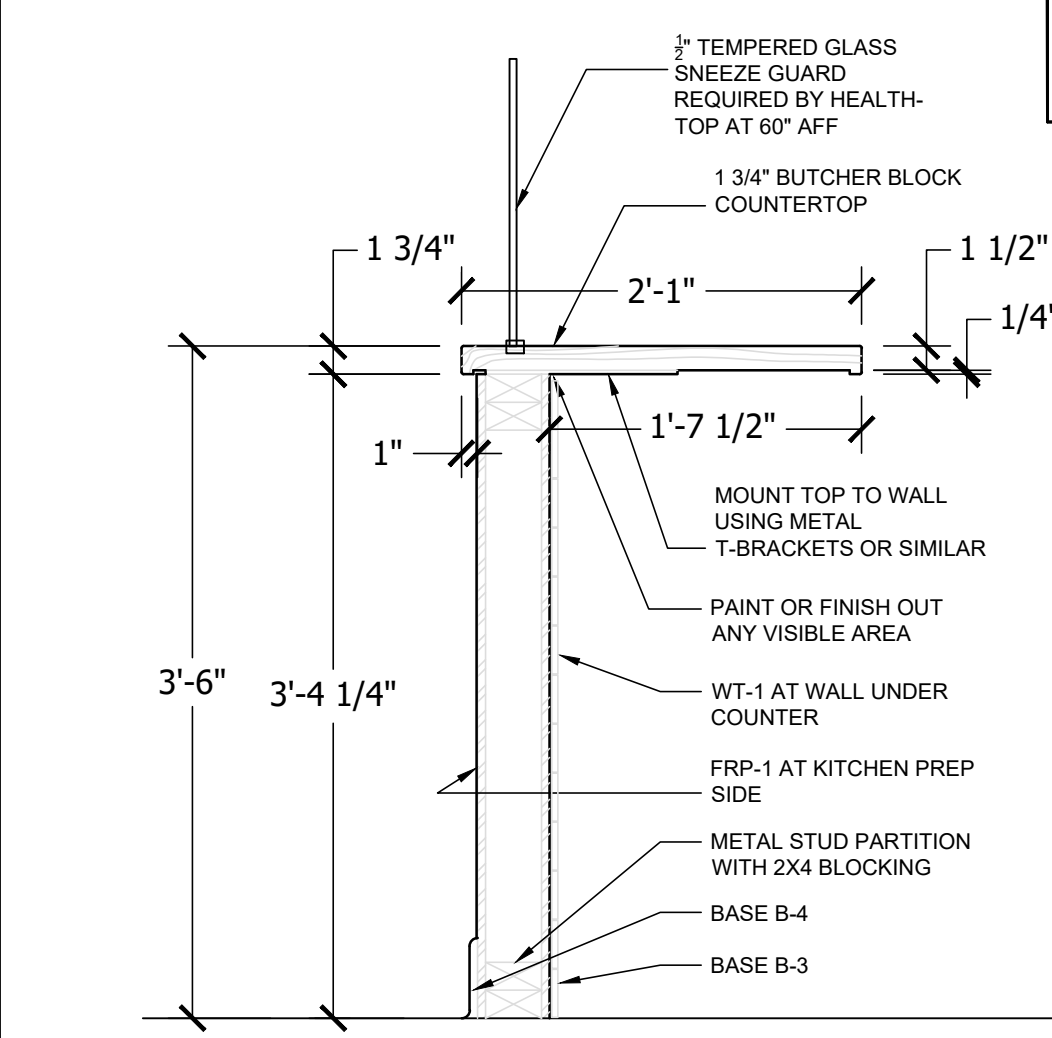
8 ITEM #74D - MILLWORK SOFFIT DETAIL
1/2" = 1'-0"



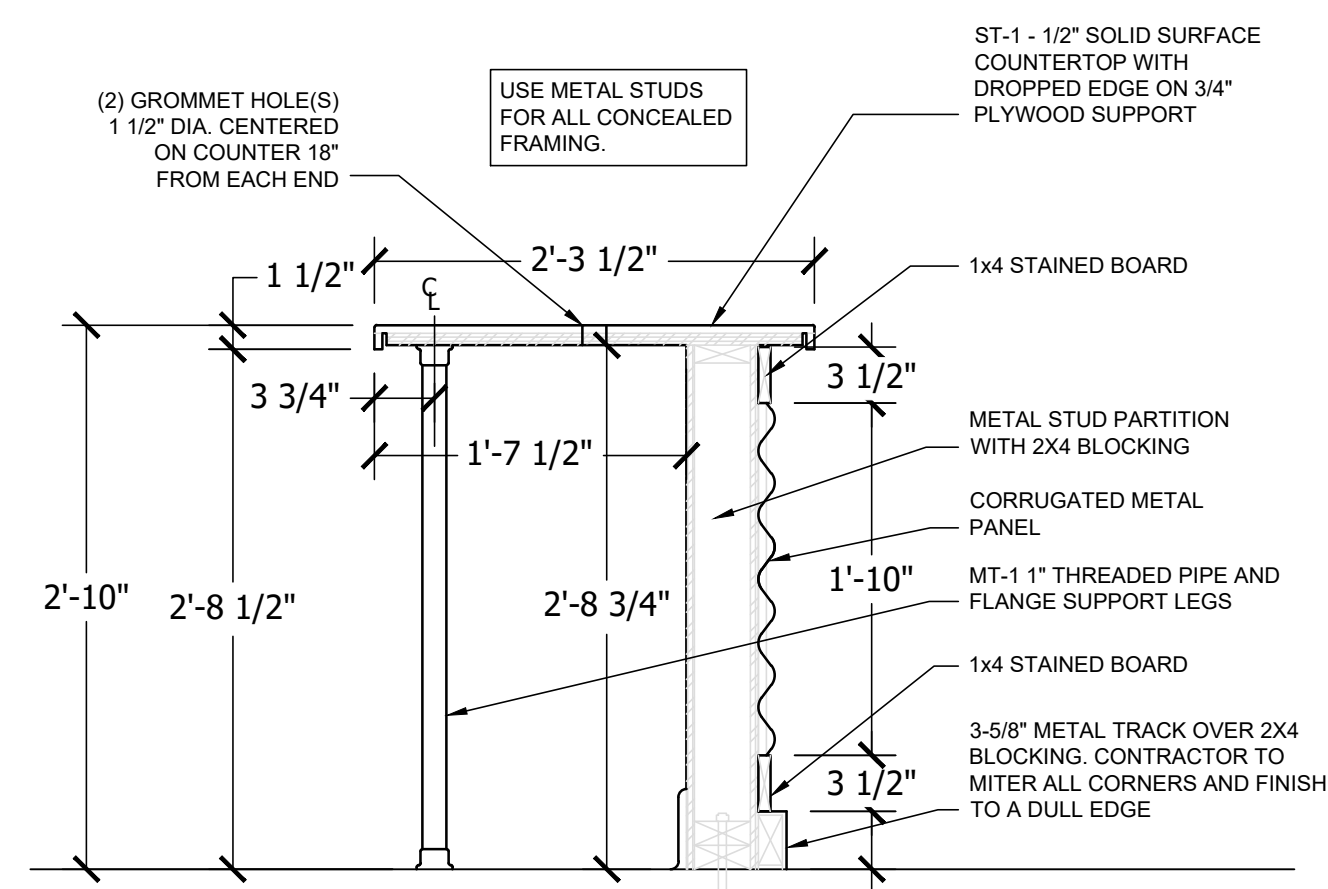
9 ITEM #AG - WALL MURAL SECTION DETAIL
1/2" = 1'-0"



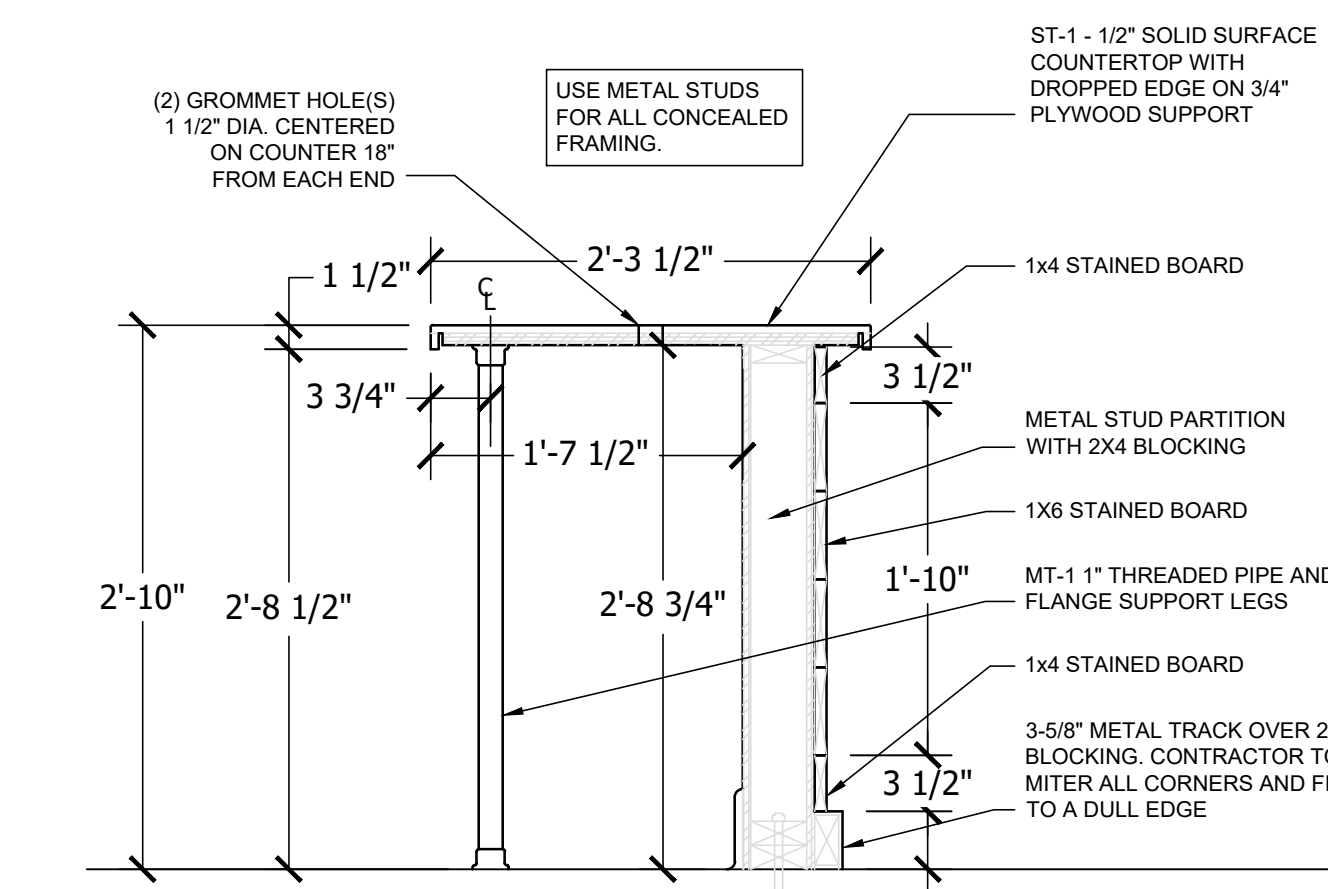
10 ITEM #74D - MILLWORK SOFFIT SECTION DETAIL
1/2" = 1'-0"



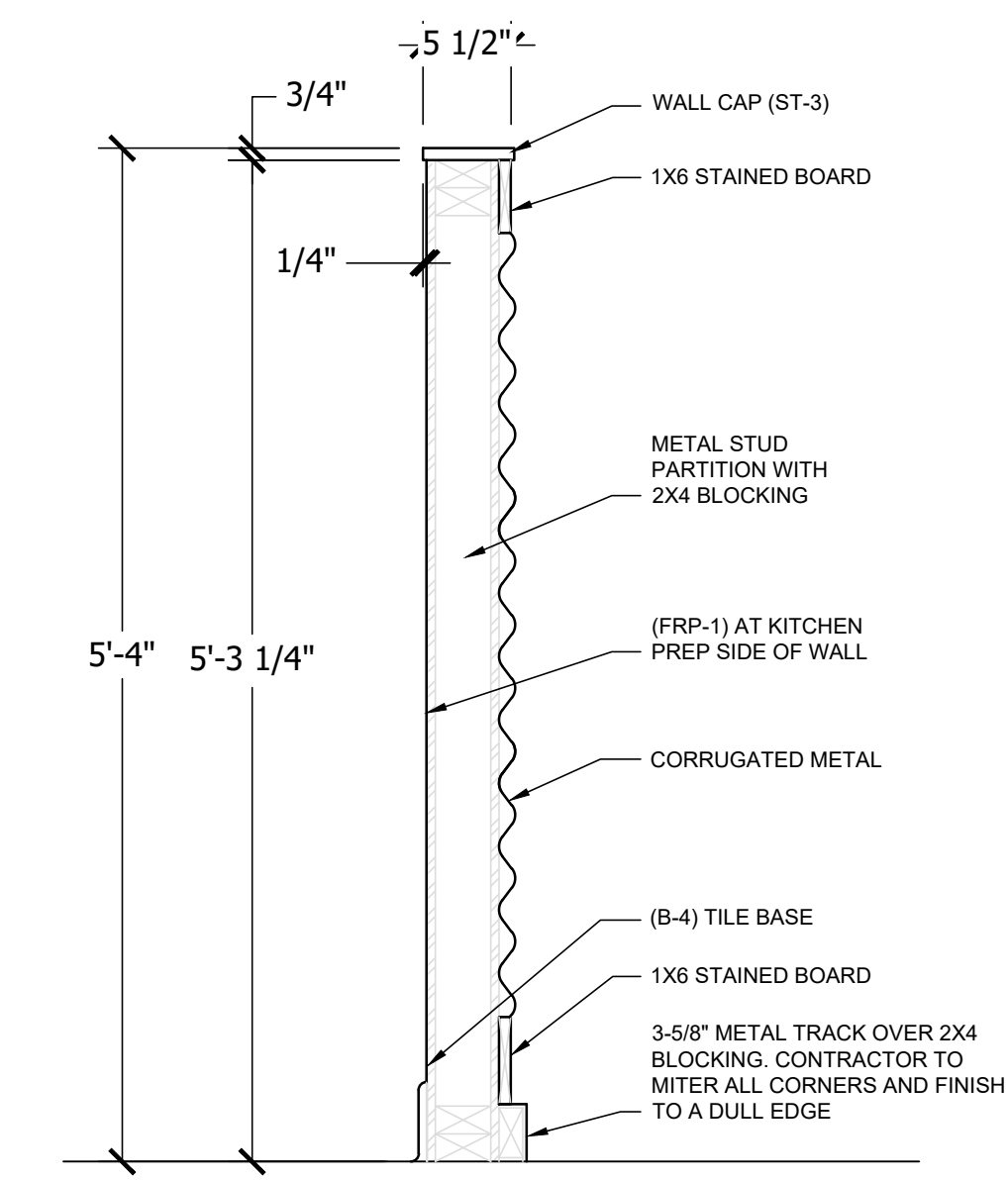
10 COUNTER AT BAR
1/2" = 1'-0"



11 ITEM #49 - CASHIER COUNTER SECTION
1/2" = 1'-0"



12 ITEM #49 - CASHIER COUNTER SECTION
1/2" = 1'-0"



13 ITEM #73 - HALF-HGT WALL
1" = 1'-0"

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Architect

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DATE: 03.05.2020

Dustin Curtis
Registered Architect
2286
North Carolina
Phoenix, AZ
12-15-20

DETAILS

A6.2

1. CONTRACTOR

General Conditions

a. The Contractor shall be lawfully licensed. The Contractor shall designate in writing a representative who shall have express authority to bind the Contractor with respect to all matters under this Contract.

b. The Contractor shall perform the Work in accordance with the Contract Documents. C. Execution of the Contract by the Contractor is a representation that the Contractor has carefully examined the Contract Documents, has visited the site, become thoroughly familiar with the nature and location of the Work, the conditions of the site as they exist, and the character of the operations to be carried out under the Contract Documents, including all existing site conditions, access to the site, physical characteristics of the site and surrounding areas, and all matters that affect the Work, or its performance.

e. The accuracy of grades, elevations, dimensions, or locations of existing conditions is not guaranteed by the Architect or the Owner. The Contractor is responsible for verifying same. If the Contractor performs any construction activity when the Contractor knows, or should know in exercise of reasonable diligence, that an activity involves an error, inconsistency, or omission in the Contract Documents, the Contractor shall assume appropriate responsibility for such performance and shall bear an appropriate amount of the costs attributable to correction.

g. The Contractor shall supervise and direct the Work, using the Contractor's best skill and attention. The Contractor shall be responsible for, and have control over, construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Work under the Contract.

h. The Contractor shall be responsible to the Owner for acts and omissions of the Contractor's employees, Subcontractors and their agents and employees, and other persons or entities performing work for or on behalf of the Contractor, and for the acts and omissions of any its Subcontractors, and for any damages, losses, costs, and expenses resulting from such acts or omissions.

i. Unless otherwise provided in the Contract Documents, the Contractor shall provide and pay for labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for proper execution and completion of the Work, whether temporary or permanent and whether or not incorporated or to be incorporated in the Work.

k. The Contractor shall enforce strict discipline and good order among the Contractor's employees and other persons carrying out the Work. The Contractor shall not permit employment of union persons or persons not properly skilled in tasks assigned to them.

5. INDEMNIFICATION

To the fullest extent permitted by law the Contractor shall indemnify and hold harmless the Owner, Owner's consultants, and agents and employees of any of them from and against claims, damages, losses and expenses, including but not limited to attorneys' fees, arising out of or resulting from performance of the Work, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the Work itself), but only to the extent caused by the negligent acts or omissions of the Contractor, a Subcontractor, anyone directly or indirectly employed by them or anyone whose acts or omissions in connection with the Work or its performance, because of such examinations and investigations, the Contractor further represents that he thoroughly understands the Contract Documents.

7. OWNER'S RIGHT TO PERFORM CONSTRUCTION AND TO AWARD SEPARATE CONTRACTS a. The Owner reserves the right to perform construction or operations related to the Project with the Owner's own forces, and to award separate contracts in connection with other portions of the Project or other construction or operations on the site under Conditions of the Contract identical or substantially similar to these including those portions related to insurance and waiver of subrogation.

8. CHANGES IN THE WORK a. Changes in the Work may be accomplished after execution of the Contract, and without invalidating the Contract, by Change Order, Construction Change Directive or order for a minor change in the Work.

9. PROGRESS AND COMPLETION a. Time limits stated in the Contract Documents are of the essence of the Contract. By executing the Agreement the Contractor confirms that the Contract Time is a reasonable period for performing the Work.

10. SUBSTANTIAL COMPLETION a. Substantial Completion is the stage in the progress of the Work when all required occupancy permits have been issued and the Work or designated portion thereof is sufficiently complete in accordance with the Contract Documents so that the Owner can occupy or utilize the Work for its intended use.

11. PROTECTION OF PERSONS AND PROPERTY a. The Contractor shall be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with the performance of the Contract.

12. INSURANCE a. The Contractor shall purchase from and maintain in a company or companies lawfully authorized to do business in the appropriate jurisdiction such insurance as will protect the Contractor and the Owner from claims set forth below which may arise out of or result from the Contractor's operations and completed operations under the Contract and for which the Contractor may be legally liable, whether such operations be by the Contractor or by a Subcontractor or by anyone directly or indirectly employed by any of them, or by anyone for whose acts any of them may be liable:

13. CORRECTION OF WORK a. The Contractor shall promptly correct Work rejected by the Owner or failing to conform to the requirements of the Contract Documents, whether discovered before or after Substantial Completion and whether or not fabricated, installed or completed. Costs of correction such as rejected Work, the cost of uncovering and replacement, and compensation shall be at the Contractor's expense.

SECTION 03300 CAST-IN-PLACE CONCRETE

PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

PART 2 PRODUCTS 2.1 MATERIALS A. Cast-In-Place Concrete: 1. Cast-in-Place Concrete Reinforcing and Accessories: a. Concrete Design Mixes: ASTM C 94, suitable for project requirements and site conditions, but with a minimum of 3000 PSI 28 day compressive strength

SECTION 0600 ROUGH CARPENTRY PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 06200 INTERIOR FINISH CARPENTRY PART 1 GENERAL 1.1 SUBMITTALS A. Product Data: Submit manufacturer's product data and installation instructions for each material and product used.

SECTION 05100 STRUCTURAL STEEL PART 1 GENERAL 3.1 INSTALLATION A. Installation of Masonry Assemblies: 1. Comply with FCA Recommended Practices for Laying Concrete Block, Brick Institute of America BIA Tech Notes, and NCMCA TK Bulletins.

PART 2 PRODUCTS

2.1 MATERIALS A. Structural Steel: 1. Structural Steel Shapes, Plates, and Bars: ASTM A 572. 2. Cold-Formed Steel Tubing: ASTM A 500, Grade B.

SECTION 07200 BUILDING INSULATION PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 07400 EXTERIOR INSULATION AND FINISH SYSTEMS PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 07600 WINDOW AND GLAZING PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 08100 STEEL DOORS AND FRAMES PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 07210 BUILDING INSULATION

PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 08100 STEEL DOORS AND FRAMES PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 08200 FLUSH WOOD DOORS PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 07800 FIRESTOPPING PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 07900 JOINT SEALERS PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

4. Do not proceed with installation of joint sealants until contaminants capable of interfering with adhesion are removed from joint substrates. Examine substrate; report unsatisfactory conditions in writing. Begin work means acceptance of substrates.

SECTION 08100 STEEL DOORS AND FRAMES PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 09100 NON-STRUCTURAL METAL FRAMING PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 08200 FLUSH WOOD DOORS PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 08415 ENTRANCES AND STOREFRONTS PART 1 GENERAL 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

11. Auxiliary Materials: a. Push/pulls, doorstops, overhead holders, and deadlocks. b. Weatherstripping and thresholds. c. Exit devices.

SECTION 09300 TILE PART 1 GENERAL 1.2 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 09000 TILE PART 1 GENERAL 1.2 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 09300 TILE PART 1 GENERAL 1.2 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

SECTION 09300 TILE PART 1 GENERAL 1.2 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

Dustin Curtis Architect

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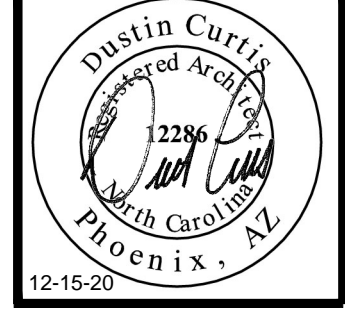
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12-15-20

SPECIFICATIONS

A7.0

