GENERAL NOTES

GENERAL REQUIREMENTS:

- A. DRAWINGS. THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT ARCHITECT TO ANY UNFORESEEN CONSTRUCTION DIFFICULTIES BEFORE BEGINNING WORK. IN-FIELD REVISIONS SHALL NOT OCCUR WITHOUT ARCHITECT'S APPROVAL.
- B. PRE-CONSTRUCTION MEETING. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, THE CONTRACTOR SHALL SCHEDULE, WITH OWNERS APPROVAL, A PRE-CONSTRUCTION MEETING WITH THE LOCAL BUILDING DEPT. OR LOCAL PUBLIC WORKS DEPT. VERIFY WHICH AGENCY WOULD BE INVOLVED. THE CONTRACTOR SHALL PROVIDE LOCAL INSPECTOR WITH 24 HOURS NOTICE PRIOR TO INSPECTION
- C. TYPICAL WALL SECTIONS, FINISHES, AND DETAILS ARE NOT INDICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL.
- D. CODES / PERMITS / REGULATIONS. ALL EXTERIOR SIGNAGE MUST BE SUBMITTED AND REVIEWED UNDER SEPARATE PERMIT APPLICATION.

CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY OTHER THAN THE BUILDING PERMIT. CONTRACTOR SHALL ALSO PAY FOR ALL OTHER CHARGES, FEES OR COSTS CHARGED BY THE BUILDING AND CONSTRUCTION DEPARTMENTS, UTILITY AGENCIES OR PRIVATE COMPANIES WHICH REQUIRE SUCH COSTS FOR OR PRIOR TO INSTALLATIONS.

NOTHING IN THE DRAWINGS SHALL BE CONSTRUCTED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES AND/OR RESTRICTIONS. SHOULD ANY CHANGE IN THE DRAWINGS BE NECESSARY IN ORDER TO COMPLY WITH APPLICABLE CODES AND/OR REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE AND CEASE WORK. ALL PARTS PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES, REGULATIONS, RESTRICTIONS, REQUIREMENTS AND CODES.

 AMENDED BY GOVERNING CITY & ALL JURISDICTION RULES AND REGULATIONS.
 E. DIMENSIONS ARE SHOWN TO FACE OF MASONRY OR CENTERLINE OF OPENING, UNLESS DETAILED OTHERWISE ON DRAWINGS.

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND.

THE CONTRACTOR SHALL VERIFY ALL ROUGH-IN DIMENSIONS FOR THE EQUIPMENT FURNISHED AND INSTALLED BY HIMSELF/HERSELF OR OTHERS.

THE CONTRACTOR SHALL CONSULT THE PLANS OF ALL TRADES FOR OPENINGS THROUGH SLABS, WALLS, CEILINGS AND ROOFS.

- F. SHOP DRAWINGS REVIEW. PROVIDE SHOP DRAWINGS FOR THE ARCHITECTS/OWNERS AND AS REQUIRED BY THE CITY PRIOR TO CONSTRUCTION.
- G. CONTRACTOR TO FRAME OPENINGS IN WALLS, CEILINGS AND FLOORS FOR H.V.A.C. AND OTHER MECHANICAL OR ELECTRICAL WORK WHERE REQUIRED AND NOT OTHERWISE SHOWN ON THE PLANS.
- H. COMPLY WITH APPLICABLE REGULATIONS FOR BARRIER-FREE FACILITIES INCLUDING:
 - 1). MAXIMUM THRESHOLD HEIGHT TO BE ONE HALF INCH (1/2") ALONG
 - ACCESSIBLE ROUTE OF TRAVEL.
 - 2). STAIR NOSINGS TO BE FLUSH, SLIP RESISTANT AND ROUNDED TO RADIUS OF ONE HALF INCH (1/2")MAXIMUM.

DOORS/WINDOWS:

A. GLAZING. PROVIDE GLAZING PER CITY CODES: INSULATED UNITS SHALL BE CLASS 40 GLAZING WITH LOW ARGON GAS.

GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SUCH AS PANES IN DOORS, GLAZING WITHIN A 24" ARC OF A DOOR OPENING, GLAZING WITHIN 18" OF THE FLOOR (AND IS OVER 9 SQ. FT. PER PANEL) SHALL BE TEMPERED GLASS OR LAMINATED SAFETY GLASS PER CODE.

GLAZING U-VALUE (AMMA TESTED) U-40 MAXIMUM.

FIRE PROTECTION:

- A. -GC TO EXTEND THE EXISTING AUTOMATIC FIRE SPRINKLER SYSTEM AS REQUIRED.-GET SYSTEM DESIGN APPROVED BY GOVERNING CITY'S BUILDING DEPARTMENT AND FIRE DEPARTMENT PRIOR TO INSTALLATION (IF APPLICABLE).
- B. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY INTERNATIONAL BUILDING CODE AND LOCATE PER FIRE MARSHAL'S DIRECTION. 1 FIRE EXTINGUISHER PER 3,000 S.F. OF BUILDING AREA WITHIN 75'-0" TRAVEL DISTANCE BETWEEN EXTINGUISHERS.
- C. MAINTAIN STRUCTURAL AND FIRE RESISTIVE INTEGRITY AT EXTERIOR AND RATED INTERIOR WALL PENETRATIONS FOR ELECTRICAL, MECHANICAL, PLUMBING AND COMMUNICATIONS CONDUITS, PIPED AND SIMILAR SYSTEMS PER CITY'S CODE.

THERMAL/MOISTURE PROTECTION:

A. OPENINGS. ALL OPENINGS TO BE CAULKED, SEALED OR WEATHER-STRIPPED.

ALL FLASHING AND ARCHITECTURAL SHEET METAL TO BE 24 GAUGE GALVANIZED STEEL, FACTORY PRIMED AND FIELD PAINTED. 10'-0" LENGTHS, PER SMACNA MANUAL UNLESS OTHERWISE NOTED.

- B. CAULKING AND SEALANTS. USE PRIMERS AS REQUIRED BY MANUFACTURER. BACKING RODS OR TAPE AS RECOMMENDED BY MANUFACTURER. USE POLYURETHANE SEALANTS AT CONCRETE FLOOR AND SIDEWALK JOINTS. ALL OTHER LOCATIONS USE POLYSULFIDE OR SILICONE.
- C. VAPOR BARRIERS. CONTINUOUS APPROVED VAPOR BARRIERS SHALL BE INSTALLED ON THE HEATED SIDE OF ALL THERMAL INSULATION INSTALLED.
- D. INSULATION. PROVIDE INSULATION PER LOCAL CODE, COMPONENT PERFORMANCE APPROACH.

GENERAL NOTES:

- 1. PRIOR TO DEMOLITION, VERIFY IN FIELD EXISTING WALLS / IF SO, CONTACT ARCHITECT IMMEDIATELY.
- 2. CONTRACTOR TO MAINTAIN PROPER LIGHTING, SANITATION
- 3. ALL WORK MUST BE APPROVED BY BUILDING INSPECTOR F
- 4. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO BUILDING.
- 5. ALL WORK TO BE PERFORMED TO CODE BY LICENSE CONT SPECIFIC TRADE ONLY.
- 6. ALL DESIGN, DRAWINGS, AND DETAILS REPRESENT COMPL HAVE NO CONTROL OR CHANGE OF AND SHALL NOT BE RES
- 7. INTERIOR PARTITIONS NOTED ON PLANS MAY BE SHOWN A INTERIOR WALL REFERS TO GYPSUM BOARD EACH OVER 3
- 8. ALL DEBRIS GENERATED FROM CONSTRUCTION MUST BE K AREA OR HAULED AWAY DAILY, AND DISPOSED OF LEGALLY
- 9. EXTERIOR SIGNAGE IS NOT PART OF THIS CONTRACT OR P BLOCKING. SIGN CONTRACTOR SHALL MAKE SEPARATE SU PERMIT.
- 10. KEEP ALL PIPING AND CONDUIT AS CLOSE TO WALLS AND F DUCTWORK AS CLOSE TO ROOF AS POSSIBLE. WHERE EXE DUCTWORK SHALL BE PAINTED UNLESS NOTED. ALL PIPING MANNER RUNNING PARALLEL OR PERPENDICULAR TO ROOM
- 11. MAXIMUM FLAME SPREAD CLASSIFICATION OF FINISH MATE CEILING SHALL NOT EXCEED THAT SET FORTH IN FLAME SP
- 12. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRU ANY CONFLICTS WITH THE PLANS.
- 13. PERFORM THE REMOVAL, CUTTING, AND DRILLING WITH TH AS TO NOT DAMAGE THE STRUCTURAL INTEGRITY OF THE I
- 14. TO SAW CUT AT EXISTING RESTROOM LOCATION, USE SAW JACKHAMMER UNDER ANY CIRCUMSTANCES.

SCOPE OF WORK:

THIS PROJECT IS A 2ND GENERATION FIT-UP AND WILL CONSIST IMPROVEMENT WITHIN A COMPLETED RETAIL SHELL BUILDING. PI BY THE LANDLORD AND HAS A SIGNED LEASE. THERE WILL BE NO UNDER THIS PERMIT. EXISTING STOREFRONT GLASS AND DOORS



		A T	ENANT IMPRO
S AND IF ANY STRUCTURAL COLUMNS EXIST. ON AND VENTILATION AT ALL TIMES. R PRIOR TO COVERING WORK. D MAINTAIN A WATER AND WEATHER TIGHT		t,	ropical SMOOTHIE eat better. (2) for
PLETE WORK IN PLACE. ARCHITECT SHALL RESPONSIBLE FOR CONSTRUCTION. AS NOMINAL DIMENSIONS, SUCH AS 5" 3-5/8" STUDS. STUD SPACING IS 24" O.C. E KEPT ON THE SITE IN EITHER AN ENCLOSED LLY OFF-SITE. PERMIT EXCEPT ELECTRICAL ROUGH-IN AND SUBMITTAL TO THE CITY FOR REVIEW AND O ROOF DECK AS POSSIBLE AND ALL XPOSED, ALL PIPING CONDUIT AND ING CONDUIT SHALL BE ORGANIZED IN A NEAT		OA	KS CROSSING A 1546 NC HW CAMERON, N STORE #N
OOF FRAMING MEMBERS. TERIALS USED ON INTERIOR WALLS AND	REFERENC	E SYMBOLS	
SPREAD TABLE OF THE BUILDING CODE. RUCTION AND COORDINATE WITH ARCHITECT THE CARE USE OF THE SMALLEST TOOLS SO E BUILDING. AWS AND COREDRILLS. DO NOT USE	DOOR TAG ROOM TAG DETAIL REFERENCE REVISION	1 REFERENCE 100 WALL SECTION 1 REFERENCE 1 EQUIPMENT REFERENCE	χ A4 χ A4 1
ST OF AN INTERIOR TENANT PROJECT HAS BEEN APPROVED NO MODIFICATIONS TO THE SITE RS TO REMAIN.	ABBREVIA ACP ACOUSTICAL CLG. PANE ACT ACOUSTICAL CLG. TILE AL ALUMINUM ALUM ALUMINUM	EL FLASH FLASHING FOIC FURNISHED BY OWNER INSTALLED BY CONTRA FO FINISH OPENING	CTOR R RISER, RADIUS REBAR REINFORCING BAR
	ARCHARCHITECTURALAVGAVERAGEBLDGBUILDINGBLKGBLOCKINGBRBRICKCMUCONCRETE BLOCKCTCERAMIC TILECFMCUBIC FEET PER MINUTICLCENTER LINECLGCEILINGCONCCONCRETECONTCONTINUOUSCWCOLD WATERDTLDETAILDFDRINKING FOUNTAINDIADIAMETERDIMDIMENSIONDNDOWNDRDOORDSDOWNSPOUTDWGDRAWINGEAEACHELEVELEVATIONEXTEXTERIORFDNFOUNDATIONFINFINISHFDFLOOR DRAINFLFLOOR	FRPFIBERGLASS REINFORC PANELSFRTFIRE RETARDANT TREA GAGAGAUGE GALVGALVGALVANIZED GLGLGLASSGWBGYPSUM WALLBOARDEHDWEHARDWARE HMHORHORIZONTAL HTHTHEIGHT HWHWHHOT WATER HATER HWHHWHHOT WATER HEATER HWTHWTHOT WATER TANK LAVLAVLAVATORY LTLTLIGHT MAT'L MATERIAL MAX MAXIMUM MTLMULMULLION N/ANOMASONRY OPENING MUL MOLLION N/AN/ANOT APPLICABLE NIC NO NUMBER NOM NOM NOMINAL NTS NOT TO SCALE OC OD OUTSIDE DIMENSION PT	REVREVISIONTEDRM, RMSROOM, ROOMSROROUGH OPENINGS & VSATIN AND VARNISHSCSOLID CORESCHEDSCHEDULESECSECTIONSHTSHEETSPECSSPECIFICATIONSSFSQUARE FEETSTORSTORAGESTRUCTSTRUCTURALSUSPSUSPENDEDSVSHEET VINYLSSSTAINLESS STEELTBTELEPHONE MOUNTINGTDTRENCH DRAINTHRESHTHRESHOLDTYPTYPICALUNFINUNFINISHEDURURINAL
McGee Se	CONTACT	INFORMATION	
er Crossroads (10) Smithfield (5) Four Oaks Wi Creek (27) Benson (0) Four Oaks Wi Erwin (0) Peacocks	TENANT INFORMATION: FELICIA R. BANKS 804-405-6866 545 HILLIARD DRIVE FAYETTEVILLE, NC 28311 <u>PROJECT MANAGER:</u> ATTN: CHRIS NEAL 6501 E. Greenway Pkwy #103-707	CORPORATE INFORMATION: TROPICAL SMOOTHIE CAFE 1117 Perimeter Center W W200, Atlanta, GA 30338 ATTN: MARSHALL MOORE <u>LANDLORD:</u> ELMWOOO HOLDINGS, LLC PO BOX 87555 FAYETTEVILLE, NC 28304	BUILDING DEPARTMENT: HARNETT COUNTY BUILDING DEPARTMENT 108 E. FRONT STREET LILLINGTON, NC 27546 910-893-7525 <u>HEALTH DEPARTMENT:</u> HARNETT COUNTY HEALTH 910-893-7547
Dunn Crossroads	SCOTTSDALE, AZ 85254 P: 480.297.5577 cneal@neptunedg.com GRAND RESTAURANT / HDCKENBERGS FDDDSERVICE EQUIPMENT & SUPPLY 3650 ANNAPDLIS LANE, N. #107 PLYMDUTH, MN 55447 MARK CDX, CFSP (763) 746-3410 mapk(@hockenbappec.com	ATTN: TOMMY BRADFORD 910-308-9500 QUALSERV 7400 S. 28th Street Fort Smith, AR 72908 (800) 643-2980 Email contactus@qualservcorp.com	MICROS/ORACLE (POS PROVIDER) GARRETT STOM (561) 248-9040 garrett.stom@oracle.com RETAIL TECHNOLOGY GROUP 1663 FENTON BUSINESS PARK COURT
Stedman Salemburg Clinton (24) 210 Roseboro	markc@hockenbergs.com THE HOWARD COMPANY, INC. 1375 N. BARKER ROAD BROOKFIELD, WI 53045 NICHOLAS STAUFF, CDT (262) 317-7751 nick@howardcompany.com LAUREN SALVI (262) 317-7702	ULTERIOR MOTIVES INTERNATIONAL, INC. 1081 OHIO DRIVE, SUITE 2 PLAND, TX 75093 LEAH UTZMAN (214) 826-0011 EXT: 7013 (469) 331-6232 leah@umi-inc.com ALLISON GRABER (214) 826 0011	MUZAK, MODD MEDIA CO.

lauren@howardcompany.com

(214) 826-0011

(469) 331-6236

clint.hatmaker@moodmedia.com 727-253- 0807

OVEMENT FOR Dustin Curtis Architect feel better. 801 N. Central Ave. Suite 10 Phoenix, Arizona 85020 phone: 1.602.266.2712 AT NORTH GATE NY 24 /87 NC 28326 NC-079 HIS DRAWING IS AN INSTRUMENT OF ERVICE AND AS SUCH SHALL REMA THE PROPERTY OF ND ENTERPRISE LLC. UNAUTHORIZED USE OF EPRODUCTION WITHOUT PERMISSI F THE ARCHITECT IS PROHIBITED. T DRAWING IS ONLY FOR USE IN ONNECTION WITH THIS PROJECT A SHALL NOT BE USED FOR OTHER LOCATIONS . COPYRIGHT 2019. PROJECT DATA TROPICAL SMOOTHIE CAFE PROJECT NAME: 1546 NC HWY 24 / 87 CAMERON, NC 28326 PROJECT ADDRESS: LOCAL JURISDICTION: BUILDING & SAFETY - HARNETT COUNTY BUILDING 1546 NC HWY 24 / 87 CAMERON, NC 28326 STORE# NC - 079 HEALTH: HARNETT COUNTY / NC STATE PARCEL NO: 9584-88-6096.000 / TRACK: 019594 0035 02 CODES UTILIZED: 2018 EDITION OF THE NORTH CAROLINA BUILDING CODE PROPOSED USE: RESTAURANT CONSTRUCTION TYPE: II-B (NON SPRINKLERED) OCCUPANCY GROUP: B (Occupancy less than 50 per Sect 303.1 - Exception #1) TOTAL S.F.: 1,567 S.F. (CONFIRM W/ LEASE) DINING AREA 550 S.F. / 15 = 37 KITCHEN/SERVICE AREA 370 S.F. / 200 = 2 HALLWAY/RESTROOM 140 S.F. / 0 = 0 ACTUAL INTERIOR SEATING: 37 SEATS (5% -H/C AREAS PROVIDED) TOTAL OCCUPANT LOAD: 39- SEE SHEET A1.1 1 EXIT(S) REQUIRED, 1 EXIT(S) PROVIDED (OCCUPANT LOAD 39 < 50) 2 RESTROOMS REQUIRED, 2 RESTROOMS PROVIDED NO STRUCTURAL WORK IS TO BE PERFORMED UNDER THIS PERMIT. NO SITE WORK IS TO BE PERFORMED UNDER THIS PERMIT. (3) EMPLOYEES MAXIMUM EXTERIOR SIGN UNDER SEPARATE PERMIT BY SIGN COMPANY - INSTALLED BY SIGN COMPANY ING BOARD a NOTE: WALK-IN COOLER IS SELF CONTAINED AND DOES NOT HAVE A REMOTE CONDENSER, A SEPARATE PERMIT IS NOT REQUIRED FOR THIS TYPE OF REFRIGERATION. NOTE: THIS BUILDING IS NOT EQUIPPED WITH A FIRE ALARM OR SPRINKLER SYSTEM. I TILE ___ INDEX OF SHEETS A0.0 TITLE SHEET A1.0 2018 APPENDIX B EGRESS / EXIT PLAN AND RESPONSIBILITY SCHEDULE A1.1 A1.2 ACCESSIBILITY AND SPECIFICATIONS A1.3 EXISTING SITE PLAN / DEMO PLAN TSC: NC-079 FLOOR PLAN A2.0 A2.1 FINISH PLAN REVISION LOW VOLTAGE PLAN A2.2 A2.3 WALL BACKING PLAN A3.0 REFLECTED CEILING PLAN ELEVATIONS A4.0 A4.1 ELEVATIONS A5.0 EQUIPMENT PLAN A6.0 DETAILS A6.1 DETAILS A6.2 DETAILS A7.0 SPECIFICATIONS DATE: 12.05.2020 A7.1 SPECIFICATIONS M0 MECHANICAL COM CHECK M1 MECHANICAL SCHEDULES/ PLAN AND NOTES M2 MECHANICAL DETAILS M3 MECHANICAL SPECIFICATIONS PLUMBING SYMBOLS & SCHEDULES P1 PLUMBING PLANS P2 PLUMBING DETAILS P3 P5 PLUMBING SPECIFICATIONS E1 ELECTRICAL NOTES ELECTRICAL LIGHTING PLAN E2 COVER SHEET POWER PLAN-SINGLE-LINE DIAGRAM, & PANEL E3 A0.0 **SET DATED: 12.05.2020**

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)
MECHANICAL SUMMARY
MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
Thermal Zone
winter dry bulb: <u>23.6F</u>
summer dry bulb:92.4F
Interior design conditions
winter dry bulb: <u>75F</u>
summer dry bulb: <u>70F</u>
relative humidity: <u>50%</u>
Building heating load:500 MBH
Building cooling load:400 MBH
Mechanical Spacing Conditioning System
Unitary
description of unit: Packaged Gas Heat Rooftop Units
heating efficiency: <u>90% AFUE</u>
cooling efficiency: <u>12.2 EER</u>
size category of unit: <u>8.5 ton</u>
Boiler
Size category. If oversized, state reason.: <u>n/a</u>
Chiller
Size category. If oversized, state reason.:n/a
List equipment efficiencies:

2018 NC Administrative Code and Policies

2018 APPENDIX B **BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS** ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

ELECTRICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code: XPrescriptive Performance ASHRAE 90.1: Prescriptive Performance

Lighting schedule (each fixture type) Type SL LED 12 LED's LED Driver 1 Driver per fixture 50.2 Input watts per fixture (includes heater)

Type WS LED # of LED's TBD LED Driver

of LED drivers TBD 50 Input watts per fixture identified as allowance Total Exterior wattage specified is 650 W which is less than the 996 W allowed (includes 600 supplemental watts)

No interior lighting specified other than LED Exit signs. Additional Prescriptive Compliance 506.2.1 More Efficient Mechanical Equipment 506.2.2 Reduced Lighting Power Density 506.2.3 Energy Recovery Ventilation Systems 506.2.4 Higher Efficiency Service Water Heating 506.2.5 On-Site Supply of Renewable Energy 506.2.6 Automatic Daylighting Control Systems

2018 NC Administrative Code and Policies

			-			-	T
	North		>10'	1ÿHR Existing			
ENERGY SUMMARY	East West		>10'				
ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute required to meet the energy code shall	South		>10'				
also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet.		lls and partitions	5				
If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.	Floor Constr	uction supporting beam	8				
	and joists	upporting bound	5				
Existing building envelope complies with code: Yes (The remainder of this section is not applicable)	Floor Ceiling						
Exempt Building: <u>Select one</u> Provide code or statutory reference:		pporting Floors action, including					
Climate Zone: <u>N/A</u>	supporting b	eams and joists					
	Roof Ceiling Columns Sur	Assembly					
Method of Compliance: Select one (If "Other" specify source here)	Shaft Enclos						
	Shaft Enclos	ures - Other					
THERMAL ENVELOPE (Prescriptive method only)	Corridor Sep						
Roof/ceiling Assembly (each assembly)		Fire Barrier Sepa all Separation	ration	1HR 1HR Existing	17A6.0	U465	
Description of assembly:		er Separation					
R-Value of insulation:	Smoke Partit Tenant/Dwel						
Skylights in each assembly: U-Value of skylight:	Sleeping Uni						
total square footage of skylights in each assembly:	Incidental Us * Indicate sect		rmitting reduction				
Exterior Walls (each assembly)	indicate see	ion number pe	minting reduction	1			
Description of assembly:							
U-Value of total assembly:							
Openings (windows or doors with glazing)		- The second sec		CENTAGE OF WAL			
U-Value of assembly: Solar heat gain coefficient:		ATION DISTANO M PROPERTY LI	INES	REE OF OPENINGS PROTECTION	Allowai (%		ACTUAL SHOV
projection factor: Door R-Values:			(*	Гавle 705.8)			
Door K- values.							
Walls below grade (each assembly)							
Description of assembly:							
R-Value of insulation:							
Floors over unconditioned space (each assembly)			LIFE	E SAFETY SYSTEM	REQUIREN	MENTS	
Description of assembly:	Emergency		Yes				
U-Value of total assembly:	Exit Signs: Fire Alarm		<u>Yes</u> <u>Yes</u>				
	Smoke Det	tection Syster	ns: <u>Yes</u>				
Floors slab on grade Description of assembly:	Carbon Mo	onoxide Dete	ction: <u>No</u>				
U-Value of total assembly:							
R-Value of insulation: Horizontal/vertical requirement:				SAFETY PLAN REC	UIREMEN	NTS	
slab heated:	Life Safety P	lan Sheet #:	_A1.1				
				ons (Chapter 7) ations (if not on the site	mlan)		
		-		pect to distance to assu	-	y lines (705.8))
	Occup	ancy Use for	each area as it i	elates to occupant load		-	
2018 NC Administrative Code and Policies		ant loads for					
	2018 NC Adm	ninistrative Co	de and Policies				
			listances (1017)				
		non path of tr end lengths (Tables 1006.2.1 & 100	6.3.2(1))		
2018 APPENDIX B		-	or each exit doo	r			
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS			-	d capacity each exit do	or can accon	nmodate based	l on egress wie
STRUCTURAL DESIGN		-	ad for each exit	door ng where fire rated floo	r/ceiling and	l/or roof struct	ure is provide
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)	purpo	ses of occupa	incy separation	-	g und		Provide
STRUCTURAL DESIGN			-	ware (1010.1.10)		(1010 1 0 7)	
DESIGN LOADS:			• •	ress locks and the amount the amount of the result of the	•	(1010.1.9.7)	
Importance Factors: Wind (IW) 1.0 Snow (IS) 1.0			-	old-open devices			
Seismic (IE) _1.0		-	ency escape win				
Live Loads: Roof 20 psf Mezzanine psf			of each fire are	a (202) compartment for Occu	nancy Classi	fication I-2 (4	07 5)
Floor _250_ psf Ground Snow Load: 20 psf				notes that may have be			,
Wind Load: Basic Wind Speed100_ mph (ASCE-7) Exposure CategoryC Wind Base Shears (for MWFRS) Vx = _32K Vy = _20K			A	CCESSIBLE DWELI (SECTION 11		S	
SEISMIC DESIGN CATEGORY: A XB C D	TOTAL	Accessible	ACCESSIBLE	Туре А Туре А		B Type B	3 т
Provide the following Seismic Design Parameters: Occupancy Category (Table 1604.5) I XII III IV	UNITS	Units Required	Units Provided	UNITS UNITS REQUIRED PROVIDE	UNIT	s Units	ACCESS
Spectral Response Acceleration SS0.162_%g S10.080_%g		ALQUINED	TROVIDED				
Site Classification (Table 1613.5.2) A B C D E F Data Source: Field Test XPresumptive Historical Data							
Basic structural system (check one) XBearing Wall Dual w/Special Moment Frame							
Building Frame Dual w/Intermediate R/C or Special Steel				ACCESSIBLE PA (SECTION 11)			
Moment Frame Inverted Pendulum Seismic base shcar: $VX = \{33K}VY = \{33K}$	LOT OR PAR	KING TOT	AL # OF PARKING S			CES PROVIDED	
Analysis Procedure: Simplified X Equivalent Lateral Force Dynamic Architectural, Mechanical, Components anchored? Yes XNo	AREA			VIDED REGULAR WITH		AN SPACES WITH	

Analysis Procedure: Simplified X Equivalent Lateral Force Dynamic Architectural, Mechanical, Components anchored? Yes XNo

Lateral design Control: Earthquake Wind

- Soil Bearing Capacities: Field Test (provide copy of test report) _____ psf
- Presumptive Bearing capacity ______2000____ psf Pile size, type, and capacity _____ _____

SPECIAL INSPECTIONS REQUIRED: Yes XNo

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

5' ACCESS AISLE 132" ACCESS 8' ACCESS

AISLE

AISLE

USE		W	ATERCLOSETS		URINALS	LAVATORIES			SHOWERS	DRINKING	5
		MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX	/TUBS	REGULAR	
SPACE	EXIST'G	2	2			2	2				
NEW			-								
	REQ'D	2	2			2	2				

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below

2018 NC Administrative Code and Policies

2018 NC Administrative Code and Policies

		DE SUMM. pt 1 and 2-f	ARY AMILY	APPENDIX FOR ALL Y DWELLING lata on the build	COMN S AND T	OWNHOUS		CTS		
	Name of Project:Tro Address:1546 NC HWY 2 Owner/Authorized Agent: Cl Owned By: <u>Private</u> Code Enforcement Jurisdiction CONTACT: DESIGNER FIRM	24/87 Cameron hris Neal, PM on: WAKE <u>Cou</u>	Z Phone #	t (480) 297 - 55	SE #	TELEPHONE		_	Dustin Curtis Architect 8801 N. Central Ave. Suite 10 Phoenix, Arizona 85020	01
	Plumbing Mechanical Sprinkler-Standpipe Structural Retaining Walls >5' High Other ("Other" should include firm 2018 NC BUILDING COD	s and individual	ls such a	s truss, precast,		() () () () () ()	nfo@neptuned		phone: 1.602.266.2712	
ONS ACTUAL SHOWN ON PLANS (%)	2018 NC EXISTING BUIL CONSTRUCTED: (da RENOVATED: (da OCCUPANCY CATEGOR BASIC BUILDING DATA	te) _2018 te) XY (Table 1604.	CUR P	RENT OCCU PROPOSED O	CCUPANC				THIS DRAWING IS AN INSTRUMENT SERVICE AND AS SUCH SHALL REM/ THE PROPERTY OF ND ENTERPRISE LLC. UNAUTHORIZED USE OF REPRODUCTION WITHOUT PERMISSI OF THE ARCHITECT IS PROHIBITED. T DRAWING IS ONLY FOR USE IN CONNECTION WITH THIS PROJECT A SHALL NOT BE USED FOR OTHER LOCATIONS. COPYRIGHT 2019.	AIN ES, ION THIS IND
	Construction Type: II-B Sprinkle <u>rs:</u> No Standpipes: No Primary Fire Distric <u>t:</u> No Special Inspections Require	e <u>d:</u> No		Flood Hazard	Area: <u>No</u>					
	3 rd Floor 2 nd Floor Mezzanine	TING (SQ FT)	Gross B	uilding Area T New (SQ FT)			Sub-Total		WY 24 / 87 , NC 28326 NC - 079	
		1567 SF)WABLE ARE			1567 SF		1546 NC HWY 24 / 87 CAMERON, NC 28326 STORE# NC - 079	
	Primary Occupancy Classi Accessory Occupancy Class 2018 NC Administrative Code Incidental Uses (Table 509) Special Uses (Chapter 4 – 1	sification(s): and Policies):	<u>iness</u>	Select one Sel	ect one <u>Se</u>				154 CAN S ⁻	
egress width (1005.3) is provided for 5) s above	Mixed Occupancy: Select on <u>Actual Area of O</u> <u>Allowable Area of O</u> Allowable Area of O Allowable Area of O STORY DESCRIPTION NO. USE Image: Instant of the original oris or	$\begin{array}{c} \hline ccupancy A \\ \hline Occupancy A \\ \hline Occupancy A \\ \hline \\$	+ All + All + All + All (A) (ACTUAL) 2 are con y or ope: = y or ope: = y of Sect f stories es must c 12.3.1.	Actual Area of C owable Area of (B) TABLE 506.2 ⁴ AREA nputed thus: n space having 2 (P) (W) 0.25] x W/30 = ion 507. in the building scomply with Tab	AREA FOI INCR	$B \rightarrow 1$ $B \rightarrow 1$ $B \rightarrow 1$ $C \rightarrow 1$ C	=(D) Allowable Ar Story or Unlin =(F)	AITED ^{2,3}		eat better. Wi teel better.
TOTAL # ACCESSIBLE			ALLO	WABLE HEIG	HT					
SS PROVIDED	Building Height in Feet (Tal Building Height in Stories (¹ ¹ Provide code reference if the "Sho	Table 504.4)	23'-(ALLOWABLE)" EXISTING pased on Table 504.		VN ON PLANS		FERENCE	TSC: NC-079 REVISION	
	BUILDING ELEMENT			CTION REQUI		S DESIGN #	SHEET # FOR	SHEET #		
DRINKING FOUNTAINS REGULAR ACCESSIBLE	Structural Frame,	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (W/* REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS	2	
	including columns, girders, trusses Bearing Walls Exterior North								DATE: 03.05.202	20
ribe below)	North East West South Interior Nonbearing Walls and Partitions Exterior walls	e and Policies							$\begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} $	
									APPENDIX B)
									A1.0	

GENERAL NOTES

- ALL ROUGH-INS AND CONNECTIONS SHOWN ON THESE PLANS ARE FOR FOOD SERVICE FIXTURES AND EQUIPMENT PROVIDED BY THE EQUIPMENT VENDOR OR BY OUTSIDE PARTIES LISTED AS 'VENDOR' OR 'BY OTHERS'. ALL INFORMATION PROVIDED ON THESE PLANS ARE TO BE VERIFIED BY THE GENERAL CONTRACTOR THRU THE SPECIFICATIONS MANUAL PROVIDED BY THE EQUIPMENT VENDOR OR BY CONSULTING THE APPROPRIATE OUTSIDE PARTIES .
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL ROUGH-IN LOCATIONS AS NEEDED BY FIELD CONDITIONS FOR EQUIPMENT UTILITY CONNECTION(S) PER MANUFACTURER'S CURRENT SPECIFICATION SHEETS.
- SERVICE ROUGH-INS AND EQUIPMENT CONNECTIONS MUST BE MADE BY APPROPRIATE TRADES. ALL BUILDING PENETRATIONS REQUIRED FOR FOOD SERVICE EQUIPMENT INSTALLATION SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AND SEALED IN ACCORDANCE WITH LOCAL CODE
- ALL WALL SUPPORT (BLOCKING) FOR WALL HUNG EQUIPMENT SHALL BE PROVIDED BY GENERAL CONTRACTOR PER PLAN.

REQUIREMENTS.

- GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER WORKING CONDITION AND MEETING CURRENT LOCAL CODE REQUIREMENTS FOR ANY / ALL EQUIPMENT LISTED ON THESE PLANS AS 'EXISTING'.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND WALL LOCATIONS. ALL DIMENSIONS ARE TO FINISHED WALL AND/OR CENTER LINES OF COLUMNS.
- ANY DIMENSIONS LABELED "HOLD" OR "CRITICAL" MUST MAINTAIN THAT FINISHED DIMENSION. ALL CORNERS TO BE 90° OR AS SPECIFIED. ANY DISCREPANCIES WITH SPECIFIED DIMENSIONS REQUIRING TRIM OR EQUIPMENT MODIFICATION IS TO BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR AT THEIR EXPENSE.
- GENERAL CONTRACTOR / OWNER SHALL BE RESPONSIBLE FOR INSURING THAT ALL ADDENDA AND CHANGES TO BUILDING PLANS WHICH ARE MADE PRIOR TO AND DURING CONSTRUCTION ARE PROVIDED TO TROPICAL SMOOTHIE CAFE.
- 10. THESE DRAWINGS ARE NOT MEANT TO REPLACE ARCHITECTURAL OR ENGINEERING PLANS. IF DISCREPANCIES EXIST, REFER TO THE ARCHITECTS CONSTRUCTION DOCUMENTS.
- 11. THE LATEST DATED REVISION SUPERSEDES AND VOIDS ALL PREVIOUS DRAWINGS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COLLECTING ALL OLD COPIES OF THE PLAN SET & DISTRIBUTING CURRENT COPIES TO ALL SUBCONTRACTORS.
- 12. REFER TO THE EQUIPMENT VENDOR WITH ANY CONCERNS OR QUESTIONS REGARDING DELIVERY AND STORAGE OF EQUIPMENT.
- 13. FOLLOWING FINAL FIXTURES INSTALLATION THE GENERAL CONTRACTOR SHALL CLEAN-UP AND DISPOSE OF ALL TRASH, CARTONS, CREATES, DEBRIS, ETC.
- 14. GENERAL CONTRACTOR TO REPLACE ALL HVAC FILTERS ONCE CONSTRUCTION IS COMPLETE 15. GC MUST LOCATE THE EXISTING MAIN SEWER WASTE LINE PRIOR TO ISSUANCE OF PERMIT. GC TO INCLUDE CAMERA / X-RAY OF SLAB FOR LOCATION OF WASTE LINE WITHIN BID. GC MUST PROVIDE SKETCH TO PLUMBING ENGINEER PRIOR TO PERMIT ISSUANCE. IF RECEIVED AFTER PERMIT ISSUANCE ANY COST TO REVISE PLANS WILL BE BILLED TO THE GENERAL CONTRACTOR.

	ABBREVIATION KEY
ABBR.	ABBREVIATION DESCRIPTION
F	FRANCHISEE
EV	EQUIPMENT VENDOR
GC	GENERAL CONTRACTOR
EC	ELECTRICAL CONTRACTOR
PC	PLUMBING CONTRACTOR
CC	CONTRACTOR'S CHOICE
LJ	LOCAL JURISDICTION
SC	SIGN COMPANY
VLL	VERIFY WITH LANDLORD
V	VENDOR
М	MICROS
RTG	RETAIL TECHNOLOGY GROUP
UMI	ULTERIOR MOTIVES INTERNATIONAL
HL	HERMITAGE LIGHTING
MMM	MUZAK (MOOD MEDIA)
С	CINTAS
UC	UTILITY COMPANY
SFS	SEE FINISH SCHEDULE
SPS	SEE PLUMBING SCHEDULE

NU.QI	Y EQUIPMENT DESCRIPTION	PROVIDER	VENDOR	INSTAL
	GENERAL REQUIREMENTS (DIVISION 1)			
*	BUILDING PERMIT	F	LJ	
	PERMIT FEES	F	LJ	
		F		
	FIELD VERIFY ALL EXISTING CONDITIONS TEMPORARY FACILITIES	GC GC	GC CC	GC
	TRASH REMOVAL / CLEAN UP	GC	cc	GC
	CONCRETE (DIVISION 3)			
	SLAB - NEW POUR / EXISTING FLOOR/SLAB MOISTURE TEST	GC GC	CC CC	GC GC
		GC		60
	METALS, WOOD & PLASTICS (DIVISION 5 & 6)			
	KNEE WALLS	GC	GC	GC
	WALLS / BULKHEADS	GC GC	CC CC	GC GC
	RAILINGS, SUPPORTS, BRACKETS STRUCTURAL STEEL, SUPPORTS, BRACES, ETC	GC	CC	GC
	FRAMING / CARPENTRY	GC	CC	GC
	WALL CABINETS	F	EV	EV
	SOLID SURFACE COUNTER TOP	F	EV	EV
	BUTCHER BLOCK COUNTER TOP	F	EV	EV
	MILLWORK SOFFIT	F	EV	EV
	THERMAL & MOISTURE PROTECTION (DIVISION 7)			
	ROOF PENETRATIONS	GC	СС	GC
_	EXHAUST FAN CURB ON ROOF	GC	CC	GC
	DOORS & WINDOWS (DIVISION 8)			
		00		
	NEW DOORS, FRAMES & HARDWARE NEW GLASS STOREFRONT	GC GC	CC CC	GC GC
	NEW GLASS STOREFRONT	GC		GC
	FINISHES (DIVISION 9)			
	WALL FINISHES (GYPSUM BOARD & FRP PER PLAN)	GC	CC	GC
	WALL FINISHES (PAINT, TILE, SPECIALTY)	GC	SFS	GC
	CEILING AND SUSPENSION GRID	GC	SFS	GC
	WOOD TRIM / FINISHES FLOORING FINISHES	GC GC	SFS SFS	GC GC
	WALL BASE	GC	SFS	GC
	FIRE RATED PENETRATIONS CAULK & SEALANTS	GC	СС	GC
	SPECIALTIES (DIVISION 10)			
	SIGNAGE PERMIT (EXTERIOR) & INSTALL INTERIOR SIGNS	F	SC EV	SC EV
	RESTROOM ACCESSORIES	GC	GC	GC
**	FIRE EXTINGUISHERS	GC	GC	GC
	EQUIPMENT (DIVISION 11)			
	ALL KITCHEN EQUIPMENT (UNLESS NOTED) POS SYSTEMS AND MONITORS	F	EV M	EV RTG
		F	IVI	RIG
	FURNISHINGS (DIVISION 12)			
	FURNISHINGS (TABLES, CHAIRS, STOOLS)	F	EV	EV
		F	EV	EV
AG-1	MENU BOARDS FOOD MONTAGE PHOTO	F	EV	EV GC
AG-1 AG-2	DOCK PHOTO	F	EV	GC
AG-2 AG-3	BEACH HUT PHOTO	F	EV	GC
AG-4	SURF BOARD PHOTO	F	EV	GC
***	WARE WASHING DETERGENT	F	С	С
	SPECIAL CONSTRUCTION (DIVISION 13)			
	SURVEILLANCE SYSTEM	F	VLL	V
	SECURITY SYSTEM	F	VLL	V
***	MUSIC/ENTERTAINMENT	F	MMM	V
	FIRE SPRINKLER	GC	VLL	GC
	FIRE ALARM	GC	VLL	GC
	MECHANICAL (DIVISION 15)			
	PLUMBING ROUGH-IN DWV & H2O DISTRIBUTION	GC	СС	GC
	RESTROOMS TOILETS AND SINKS	GC	SPS	GC
	WATER HEATER	GC	SPS	GC
	WALK-IN COOLER & FREEZER BOX	F	EV	GC
		GC	CC	GC
	MECH CONNECTIONS/DUCT/DIFFUSERS/CONTROLS TEST & BALANCE	GC GC	CC CC	GC GC
	PLUMBING CERTS & WATER TESTS	GC	CC	GC
		-	-	
	ELECTRICAL (DIVISION 16)			
	ELECTRICAL ROUGH-IN WIRING	GC	CC	GC
I	ELECTRICAL PANELS	GC	CC	GC
***				1 1 - 1
***	LIGHTING FIXTURES AND CONTROLS TELECOMMUNICATIONS	GC F	HL UC	GC UC

ALTHOUG PARTICIF DISCRET RESPONS ARCHITE RESOLUT CONNEC OR CHAN CIRCUMS
1. THE R FLOOF THERI ACCU

G.C. COMPLIANCE: G.C. COMPLIANCE:

* PROVIDED BY FRANCHISEE VIA PROJECT COORDINATOR

** LOCATION TO BE DETERMINED BY LOCAL FIRE JURISDICTION AUTHORITY

*** PREFERRED VENDOR

CONSTRUCTION NOTES

ARCHITECT'S DESIGN WITHOUT CONSTRUCTION PHASE SERVICES

SINCE DIRECT CONSTRUCTION OBSERVATIONS AND REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INCLUDED AS PART OF THE ARCHITECT'S BASIC SERVICES, IT IS UNDERSTOOD THAT SUCH RESPONSIBILITIES WILL BE ASSUMED BY OTHERS. NDG AVAILS ITSELF TO THE CLIENT, THE CONTRACTOR, AND ANY OTHER PARTIES AS NECESSARY (VIA TELEPHONE, FAX, AND EMAIL) IN ORDER TO ASSIST IN PROVIDING CLARIFICATIONS OR RESOLVING ISSUES AND PROBLEMS THAT MAY ARISE. IGH MANY ISSUES CAN BE EASILY ADDRESSED WITHOUT THE ARCHITECTS INVOLVEMENT, THERE ARE TIMES WHEN PATION IS ADVISABLE. DETERMINATION OF WHEN INVOLVEMENT IS APPROPRIATE IS LEFT TO THE PROFESSIONAL TION OF THE CONTRACTOR. IT IS UNDERSTOOD THAT THE CLIENT AND/OR THE CONTRACTOR ASSUMES ALL ISIBILITY FOR INTERPRETATION OF THE DRAWINGS, AND ANY OTHER SUPPLEMENTAL INFORMATION, AND WHEN THE ECT IS DENIED THE OPPORTUNITY TO PROVIDE CLARIFICATIONS OR PARTICIPATE IN CHANGES TO THE DESIGN OR THE TION OF ISSUES OR PROBLEMS, ALL PARTIES WAIVE ANY CLAIMS AGAINST THE ARCHITECT THAT MAY BE IN ANY WAY CTED THERETO. NDG IS HELD HARMLESS FROM LOSS, CLAIM, OR COSTS ARISING OR RESULTING FROM MODIFICATIONS NGES MADE TO THE DESIGN (WITHOUT THE KNOWLEDGE OF THE ARCHITECT) DUE TO CONDITIONS OR ISTANCES (ANTICIPATED OR NOT) BEYOND THE ARCHITECT'S CONTROL.

MECHANICAL, PLUMBING AND ELECTRICAL NOTES

RELATIONSHIP BETWEEN FLOOR SINKS AND NEW WALLS IS CRITICAL TO THE FINAL FIXTURE / EQUIPMENT LAYOUT. R SINKS AS SHOWN ON THE PLUMBING PLANS ARE DIMENSIONALLY LOCATED OFF OF NEW PARTITIONS, AND REFORE THE CONTRACTOR MUST COMPLETE PLAN LAYOUT ON SLAB PRIOR TO FINAL LOCATION OF FLOOR SINKS FOR JRATE FINAL PLACEMENT.

OWNER'S GENERAL CONTRACTOR SHALL VISIT THE PREMISES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO TENANT'S ARCHITECT. TENANT'S GENERAL CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC., AS SEAT FORTH BY THE LANDLORD.

OWNER'S SIGNAGE CONTRACTOR SHALL PREPARE SIGNAGE SHOP DRAWINGS AND SUBMIT TO BUILDING DEPT. & LANDLORD FOR APPROVAL. ALL SIGNAGE IS UNDER SEPARATE PERMIT.

KITCHEN/ SERVICE AREA TOTAL SF: 370 SF / 200 = 2 OCCUPANTS

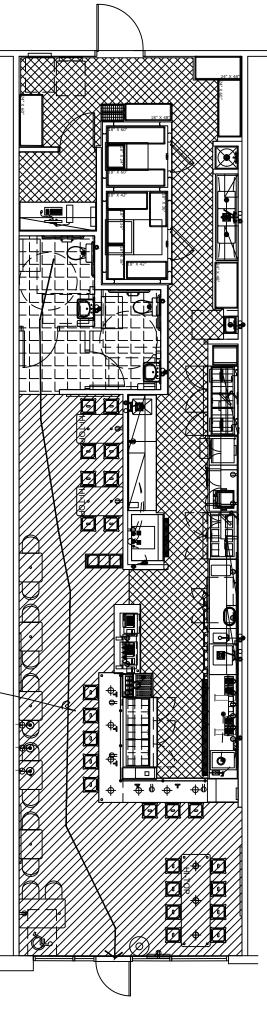
RESTROOM / HALLWAY AREAS TOTAL SF: 140 SF / 0 = 0 OCCUPANTS

DINING AREAS TOTAL SF: 550 SF / 15 = 37 TOTAL OCCUPANT LOAD:

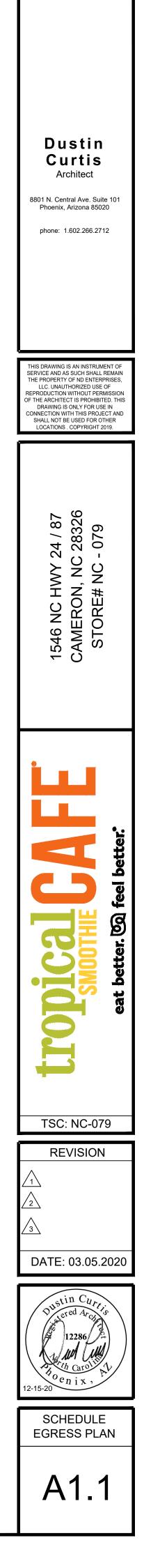
39 OCCUPANTS LESS THAN 50 = 1 EXIT REQUIRED.

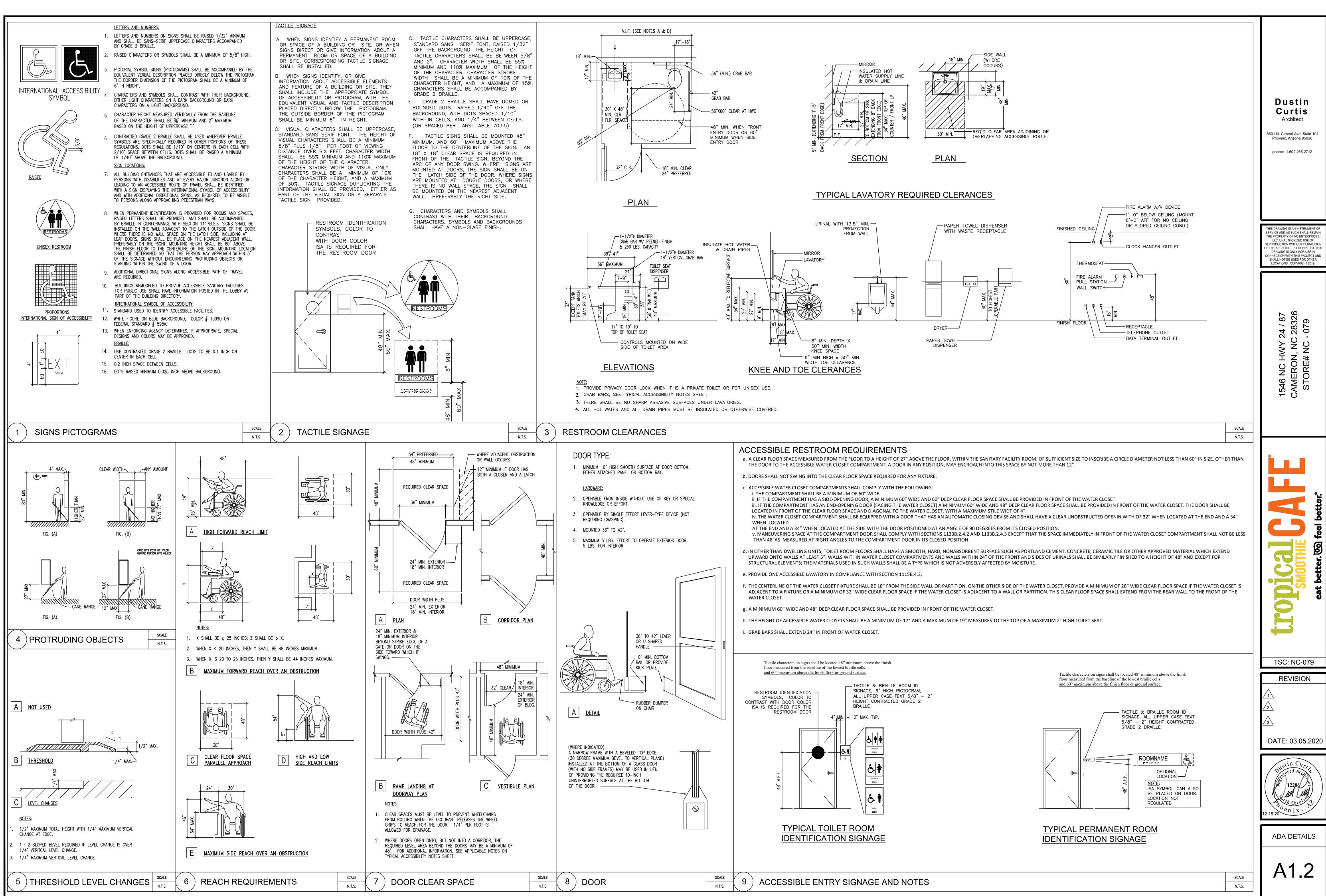
ACTUAL SEATING: 37 NOTE: ALL NON FIXED SEATS SHOWN

> COMMON PATH OF TRAVEL DISTANCE: 60' 36" MIN CLEAR SPACE **REQUIRED** -



EGRESS / OCCUPANCY PLAN SCALE: 1/8" = 1'-0"





GENERAL DEMO NOTES NOTE: NOT ALL APPLY

- IMPROVEMENTS.
- GENERAL CONTRACTOR TO COORDINATE WITH TENANT, PHASING AND/OR TIMING OF COMMENCEMENT, CONTINUATION AND COMPLETION OF ALL DEMOLITION WORK. ORDINANCES OF THE CITY OF WESTMINSTER, CA.
- 4. GENERAL CONTRACTOR SHALL REPAIR OR RESTORE TO EXISTING CONDITION ADJACENT CONSTRUCTION AND PUBLIC OR PRIVATE PROPERTY DAMAGED BY DEMOLITION WORK. PREVENT THE CREATING OF A NUISANCE.
- ALL PARTS OF THE CONTRACT AREA UNDER DEMOLITION SHALL BE ADEQUATELY LIGHTED WHILE PERSONS ARE ENGAGED AT WORK. RUBBISH AND TRASH SHALL BE REMOVED AS OFTEN AS CONDITIONS WARRANT. COMBUSTIBLE RUBBISH, SHALL BE REMOVED DAILY, AND SHALL NOT BE DISPOSED OF BY BURNING ON THE PREMISES.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR HIDDEN CONDITIONS AFFECTING DEMOLITION OF PROPOSED WORK.
- 10. UPON COMPLETION OF DEMOLITION, THE LEASED PREMISES AND ADJACENT PUBLIC AND PRIVATE PROPERTY SHALL BE LEFT CLEAN AND CLEAR OF DEBRIS.
- 11. VERIFY WITH ARCHITECTURAL DOCUMENTS ALL AREAS TO BE MODIFIED.
- 12. ALL AREAS OF MODIFICATION OR DEMOLITION, WHICH ARE INCORPORATED INTO THE NEW FACILITY, ARE TO BE PATCHED, REPAIRED, OR ADJUSTED TO AN ACCEPTABLE CONDITION. 14. GENERAL CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO DEMOLITION AND CONSTRUCTION. 15. PATCH ALL CONCRETE SLABS AS REQUIRED DUE TO MODIFICATIONS.
- 16. PROVIDE SECURITY ENCLOSURE AT ALL REMOVED DOORS OR WALLS AS REQUIRED.
- 18. COORDINATE REMOVAL OF ALL FINISHES OF WITH BUILDING OWNER PRIOR TO START OF DEMOLITION (IF APPLICABLE).
- 19. EXISTING FIRE SPRINKLER SYSTEM TO REMAIN.
- 21. ANY EXISTING SPRAY-APPLIED FIRE PROOFING FOUND FLOOR DECK ABOVE TO REMAIN (IF APPLICABLE)

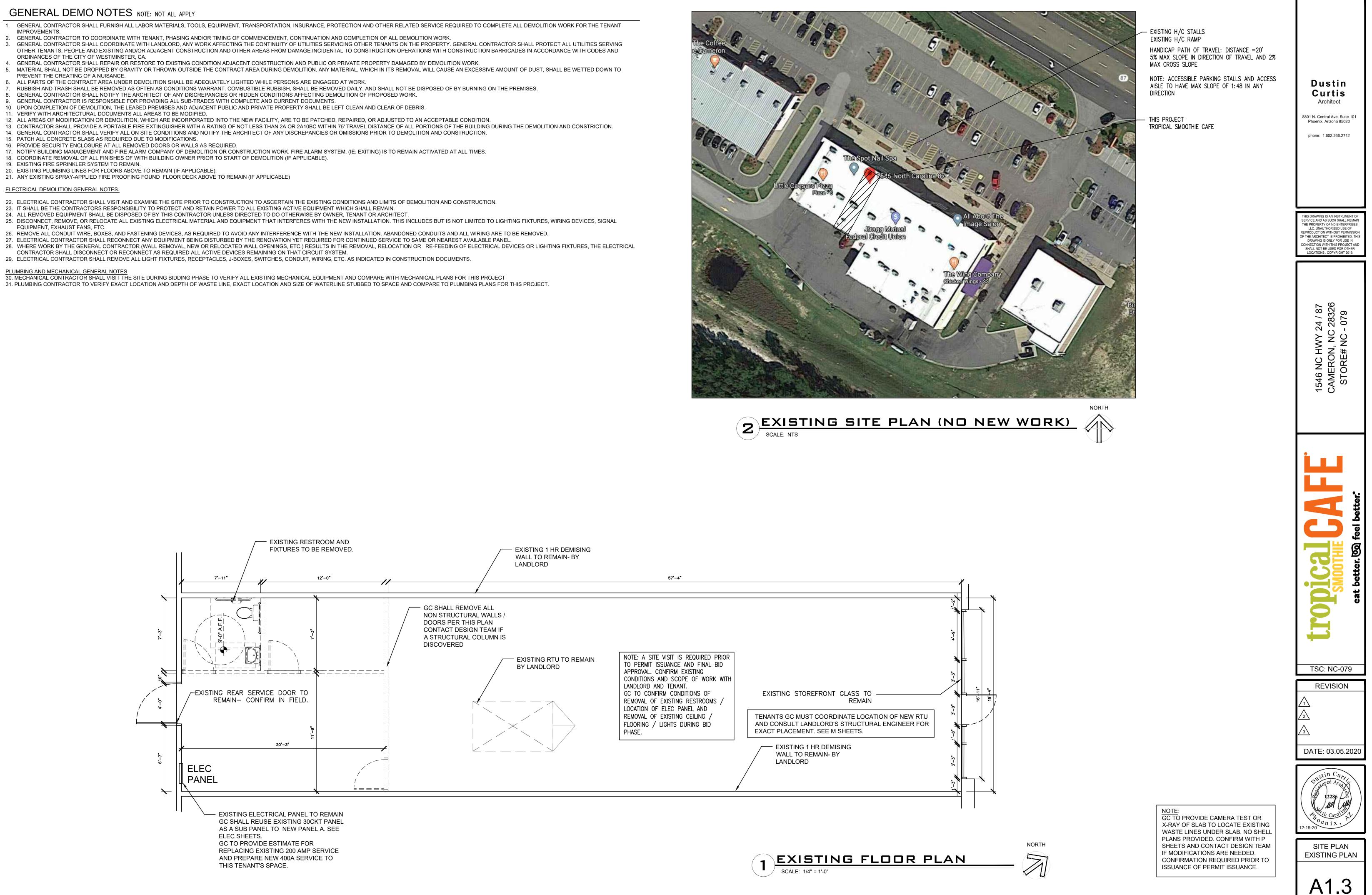
ELECTRICAL DEMOLITION GENERAL NOTES.

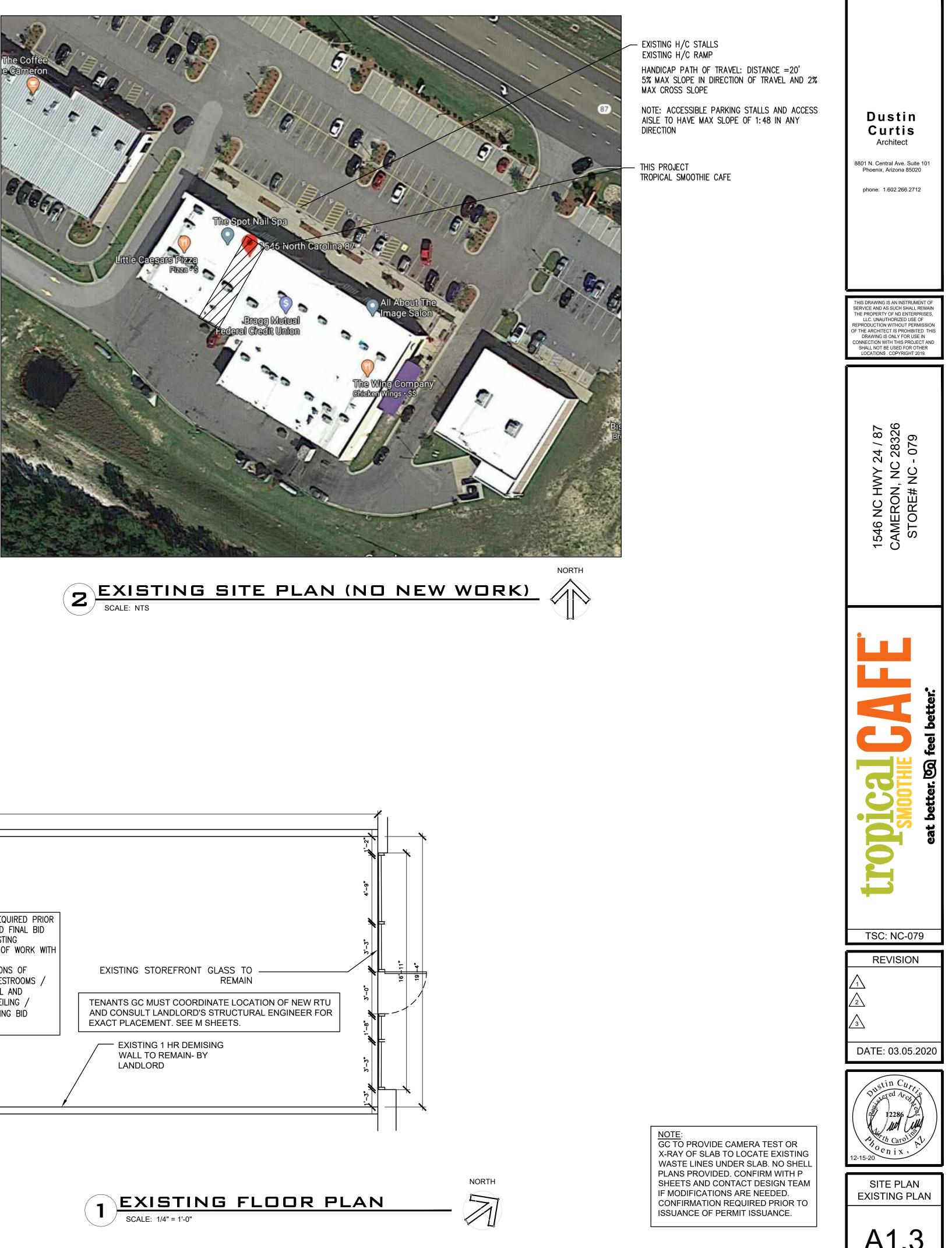
- 22. ELECTRICAL CONTRACTOR SHALL VISIT AND EXAMINE THE SITE PRIOR TO CONSTRUCTION TO ASCERTAIN THE EXISTING CONDITIONS AND LIMITS OF DEMOLITION AND CONSTRUCTION. 23. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROTECT AND RETAIN POWER TO ALL EXISTING ACTIVE EQUIPMENT WHICH SHALL REMAIN.
- EQUIPMENT, EXHAUST FANS, ETC.

- CONTRACTOR SHALL DISCONNECT OR RECONNECT AS REQUIRED ALL ACTIVE DEVICES REMAINING ON THAT CIRCUIT SYSTEM. 29. ELECTRICAL CONTRACTOR SHALL REMOVE ALL LIGHT FIXTURES, RECEPTACLES, J-BOXES, SWITCHES, CONDUIT, WIRING, ETC. AS INDICATED IN CONSTRUCTION DOCUMENTS.

PLUMBING AND MECHANICAL GENERAL NOTES

31. PLUMBING CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH OF WASTE LINE, EXACT LOCATION AND SIZE OF WATERLINE STUBBED TO SPACE AND COMPARE TO PLUMBING PLANS FOR THIS PROJECT.







GENERAL NOTES:

- 1. ALL DIMENSIONS ARE FROM FACE OF DRYWALL, UNLESS OTHERWISE NOTED. ALL GYPSUM BOARD USED SHALL BE 5/8" TYPE 'X' FIRE TAPED. DEMISING PARTITIONS SHALL BE OF FIRECODE "X" SHEETROCK. TAPED AND SEALED TO DECK
- ABOVE. ALL PLYWOOD, PLYWOOD BACKING, PARTICLE BOARD, WOOD BLOCKING, AND
- FRAMING USED SHALL BE FIRE RETARDANT & STAMPED NON-COMBUSTIBLE. PLACE AND FINISH ALL NEW MATERIALS SO AS TO PROVIDE A SMOOTH & INTEGRAL TRANSITION TO EXISTING FINISHES & MATERIALS.
- PROVIDE ADDITIONAL FRAMING/BRACING FOR ALL WALL MOUNTED EQUIPMENT.
- CHECK CUTSHEETS OF ALL EQUIPMENT PRIOR TO INSTALLATION. GENERAL CONTRACTOR TO PROVIDE REQUIRED FIRE EXTINGUISHER(S) PER CODE FIRE SPRINKLERS: ADDITIONS & MODIFICATIONS AS REQUIRED BY CODE AND NFPA PAMPHLET #13. SPRINKLER HEADS CENTERED WITHIN CEILING BOARD. SPRINKLER HEADS AT GYPSUM BOARD CEILINGS MUST BE FULLY RECESSED AND COVERED WITH METAL PLATES FINISHED TO MATCH ADJACENT SURFACE. CENTER SPRINKLER HEADS IN CEILING-WHERE APPLICABLE. ANY MODIFICATIONS TO BE DONE BY LANDLORD'S SPECIFIED SPRINKLER CONTRACTOR. ALL COSTS FOR SPRINKLER RE-LOCATION TO CONFORM WITH FIT OUT DESIGN ARE PROVIDED BY TENANT. -WHEN APPLICABLE.
- SEE MECHANICAL AND ELECTRICAL SHEETS FOR ALL FIXTURE SPECIFICATIONS,
- WIRING, AND POWER REQUIREMENTS. VERIFY WITH EQ SHEETS. NEWLY INSTALLED OR RELOCATED DOORS MUST HAVE LEVER TYPE HARDWARE OR OTHER SHAPE WHICH WILL PERMIT OPERATION BY WRIST OR ARM PRESSURE AND WHICH DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING TO OPERATE, PER WAC 51.20.3103 (A) AND (C).
- 10. ALL DOORS TO PROVIDE 32" MIN. CLEAR OPENING WHEN OPENED TO 90 DEGREE POSITION 11. FLOORS IN FOOD PREPARATION AREA, DISH WASHING AREA, SERVICE AREA,
- JANITORIAL AREA, STORAGE AREA, AND ANY AREA WHERE FOR EQUIPMENT IS PLACED SHALL BE SMOOTH, EASILY CLEANABLE, WASHABLE, DURABLE, AND OF COMMERCIAL GRADE MATERIAL AND SHALL HAVE A MINIMUM 3/8" RADIUS INTEGRAL COVE BASE EXTENDING AT LEAST 4" UP THE WALL. GROUT SPACING FOR TILE SHALL NOT EXCEED 1/4" AND SHALL BE SEALED. 12. NOT USED
- 13. TENANT'S GC TO COMPLETE SITE VISIT AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS - GC TO REVIEW TENANT'S LEASE DURING BID PROCESS TO DETERMINE RESPONSIBILITIES.
- 14. FLOOR SINKS SHALL BE INSTALLED FLUSH WITH THE FLOOR SURFACE AND BE LOCATED SO AS TO BE READILY ACCESSIBLE FOR CLEANING AND REPAIR.
- 15. SUPPORT WIRING FOR LAY-IN CEILING SHALL NOT BE ATTACHED TO ANY OF THE LANDLORD'S MECH, ELEC, PLUMB, OR FIRE PROTECTION PIPING OR EQUIPMENT.
- 16. ALL EXITS SHALL BE OPERABLE FROM INTERIOR OF BUILDING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT

WALL LEGEND:

- - EXISTING WALL TO REMAIN. VERIFY CONDITION PATCH AND REPAIR TO LIKE NEW CONDITION - GC TO VERIFY FIRE RATING IF APPLICABLE
 - EXISTING 1 HOUR RATED DEMISING WALL BY LANDLORD- PER LEASE- TO MATCH 17/A6.0
- NEW WALL

1 LAYER 5/8" GYPSUM BOARD EACH SIDE OVER 3 5/8" 20 GA METAL STUDS AT 16" O.C. TO CEILING. BRACE STUDS @ 4'-0" O.C. PROVIDE 5 § MTL STUDS AT ALL 7" NOMINAL WALLS.

ALL EXPOSED CMU BLOCK MASONRY WALLS SHALL BE FURRED OUT WITH 1 1/2" METAL STUDS WITH GYP BOARD (TYP)

NOTE: DIMENSIONED TO FINISHED WALL

NOTE: ALL EXTERIOR WALLS TO BE INSULATED.

KEYED NOTES

- EXISTING DEMISING WALL BY LANDLORD GC-SEE NOTES ON A1.3- TENANT'S GC
- TO CONFIRM IN FIELD A 1 HOUR RATED WALL PER 17/A6.0
- METAL SHELVING RACK 5 TIER IN HEIGHT NOT TO EXCEED 6 FEET NEW WALK-IN COOLER/ FREEZER- SEE EQUIPMENT PLAN
- RESTROOM HAND SINK
- ELECTRICAL PANEL SEE ELECTRICAL DRAWINGS
- 6. 3-COMPARTMENT SINK WITH (2) 18" INTEGRAL DRAIN BOARDS
- SERVICE COUNTER CABINET SUPPLIER TO FURNISH SHOP DRAWINGS
- 8. NOT USED 9. 24" JANITORIAL MOP SINK W/ WH ABOVE (SEE PLUMBING SHEETS)
- 10. TEMPERED GLASS SNEEZE GUARD REQUIRED BY STATE HEALTH- SEE DETAIL 10/A6.2.
- 11. WALL-MOUNTED HAND SINK
- 12. EXISTING STOREFRONT BY LANDLORD- SEE LEASE TO CONFIRM **RESPONSIBILITY - CONFIRM MATCH TO THIS LAYOUT**
- 13. QUARRY TILE FLOORING THROUGHOUT KITCHEN & SERVICE AREA 14. FIRE EXTINGUISHER
- 15. RESTROOM FIXTURES
- 16. NEW 3 5/8" METAL STUD WALL FURRING AND 5/8" GYP BD INSTALLED AT
- EXISTING DEMISING WALL. 17. HANDICAP GRAB BARS WITH BLOCKING
- 18. NOT USED
- 19. NEW FLOORING IN DINING ROOM SEE SHEET A2.1
- 20. NEW WALL REFER TO WALL SCHEDULE 21. KITCHEN EQUIPMENT- SEE EQUIPMENT SHEET A5.0
- 22. PREP SINK W/ DRAIN BOARD
- 23. SEATING- SEE EQUIPMENT SCHEDULE
- 24. NEW MARKETPLACE CABINET PROVIDE BY TROPICAL SMOOTHIE CAFE AND INSTALLED BY GC. SEE 5/A6.2
- 25. NEW OFFICE COUNTERTOP AND WALL SHELVES BY GC- SEE DETAIL 5/A4.0
- 26. NOT USED
- 27. NOT USED 28. HANDICAP ACCESSIBLE TABLE
- 29. DROP-IN HAND SINK IN SERVICE COUNTER.
- 30. EXISTING EXTERIOR DOOR AND HARDWARE BY LANDLORD. CONFIRM IN FIELD 31. EXISTING SINGLE STOREFRONT DOOR PROVIDED BY LANDLORD.

NOTE:

FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE UNIT VERTICAL TO 2 UNITS HORIZONTAL.

DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

SPECIALTIES:

- GENERAL CONTRACTOR TO PROVIDE BLOCKING IN WALLS A WALL MOUNTED FIXTURES, SIGNS, MENU BOARD, ETC. PER
- USE FIRE TREATED WOOD FOR MISCELLANEOUS WOOD BLO 3. USE STAINLESS STEEL WALL PANELS, CORNER GUARDS ANI
- SEAL GAP TO WALL AT COOLER/FREEZER. (SEE W-2 AT WAL TABLE BASE HARDWARE
- 1. TABLE TOP LAG BOLTS: 1/2"x2" (4 PER BASE) 2. ANCHOR BOLTS: SIMPSON "WEDGEALL" MODEL # WA6250 COMPLETE W/NUTS AND WASHERS (4 PER BASE)

NOTE DURING BID PROCESS - GC TO VISIT SITE & REVIEW TENANT'S LEA RESPONSIBILITY AGREEMENT. GC RESPONSIBLE FOR ALL TI CONS CONCRETE POUR, ELECTRIC, PLUMBING, ROOF PENETRATIONS AN ACCORDING TO LEASE

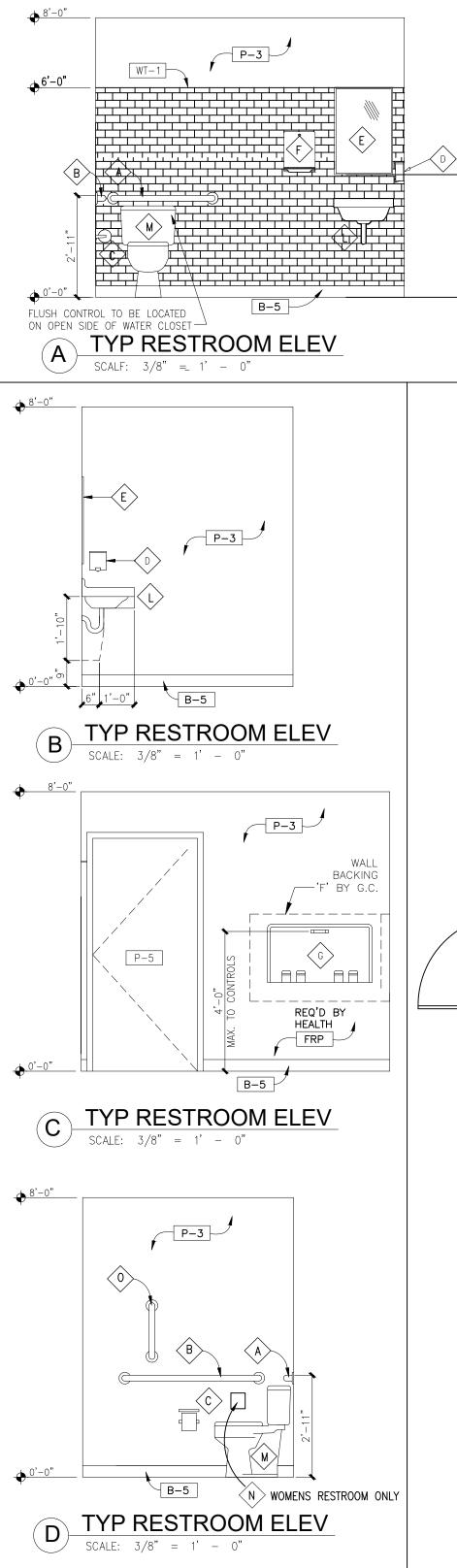
NOTE:

GC TO VERIFY ALL EXISTING DIMENSIONS AND COLUMNS DURING NEPTUNE IF DIFFERENT FROM PLAN.

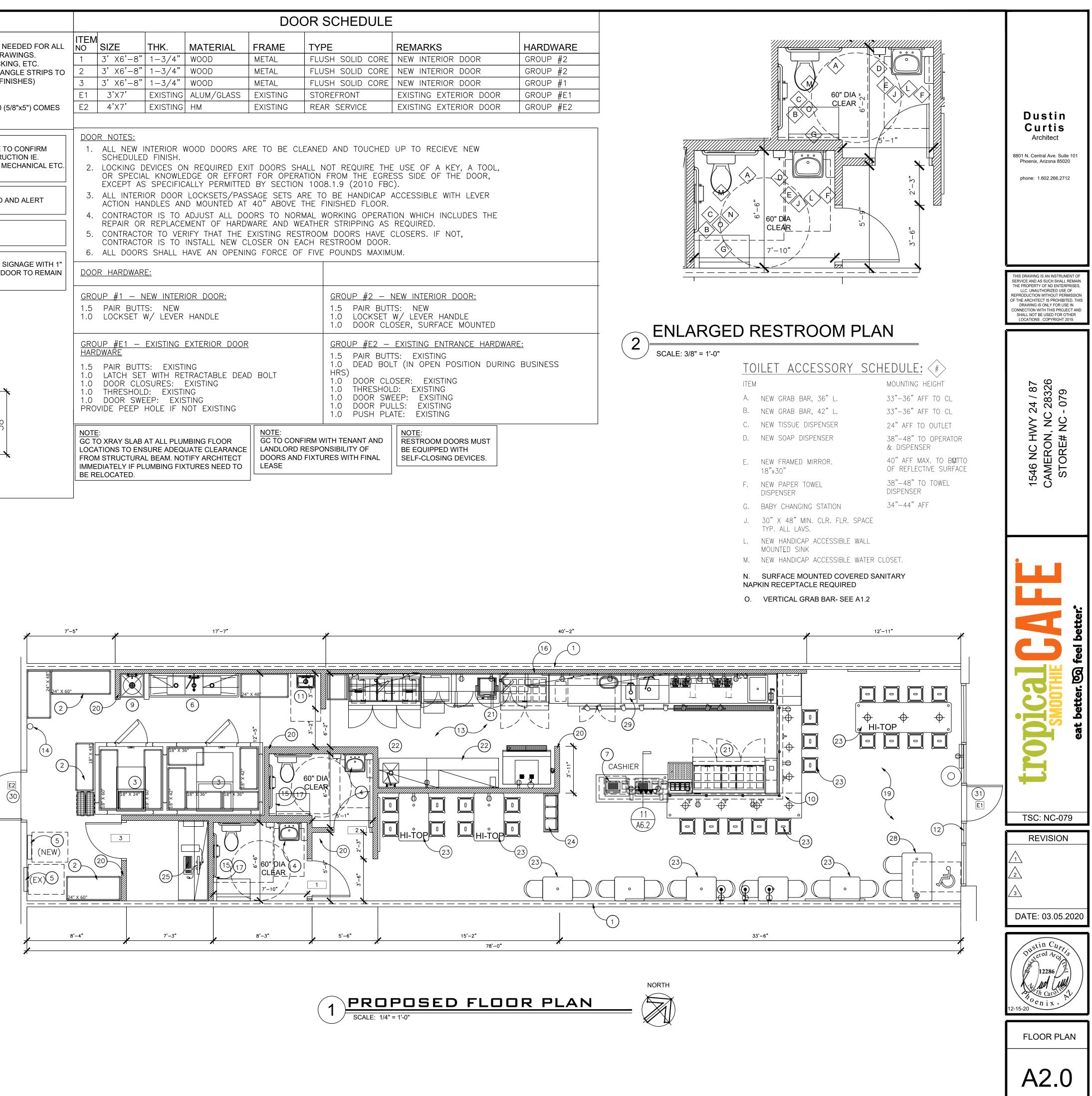
NOTE ONLY SINGLE SERVICE UTENSILS WILL BE USED IN THIS SPACE

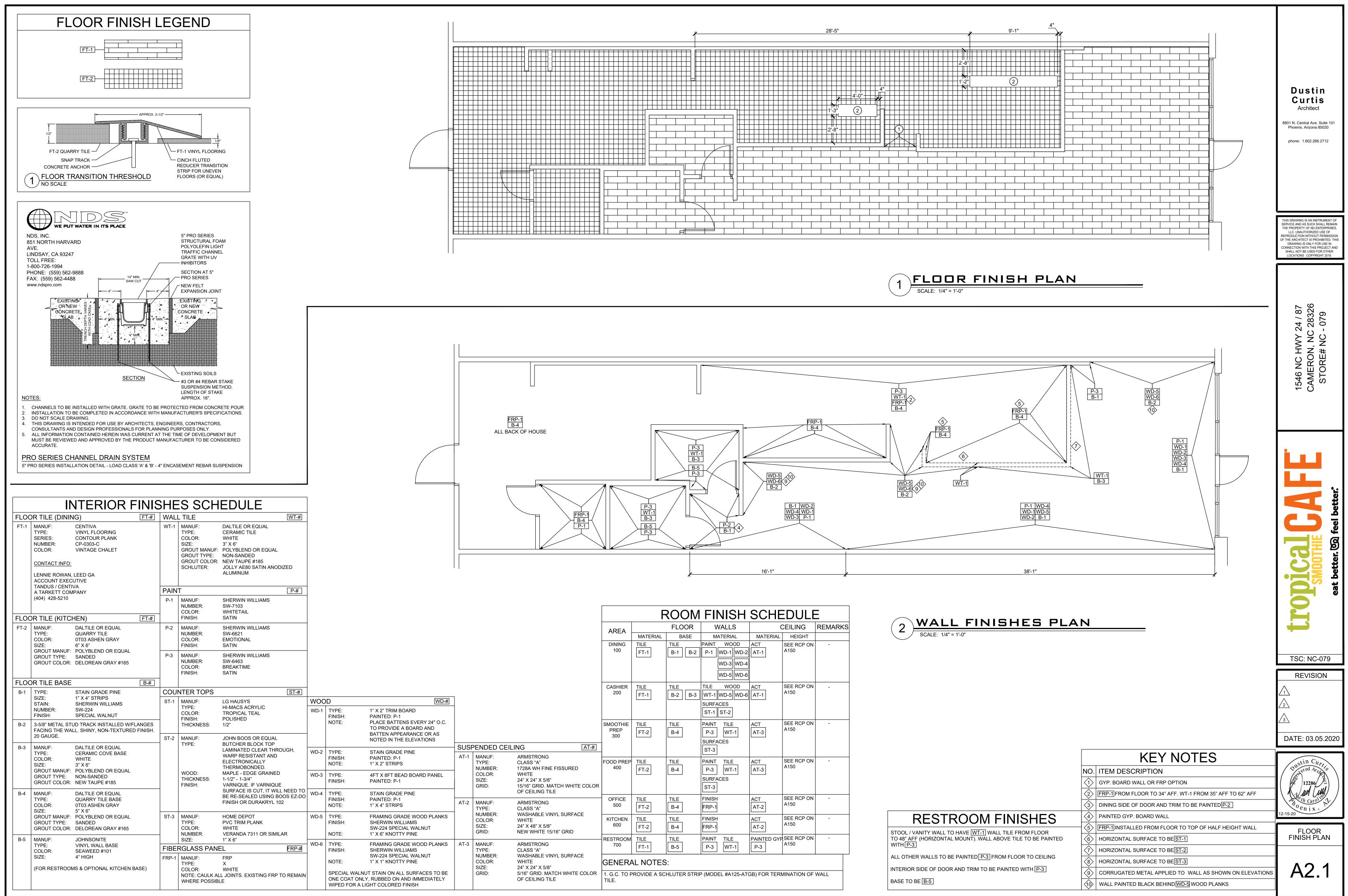
NOTE

MAIN ENTRY/EXIT DOORS MAY BE KEY OPERATED FROM INTERIOR LETTERING IS PROVIDED ON OR ADJACENT TO DOOR STATING "THI UNLOCKED WHEN BUILDING IS OCCUPIED".

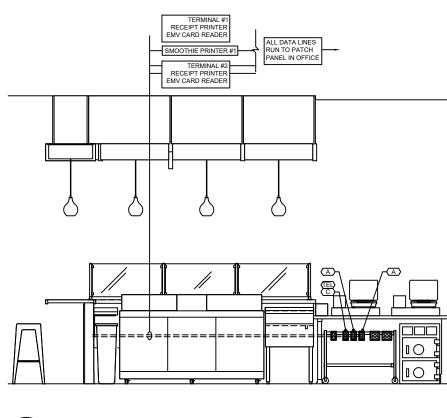


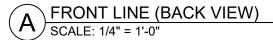
					DOC	R SCHEDULE				
AS NEEDED FOR ALL	ITEM NO	SIZE	THK.	MATERIAL	FRAME	TYPE	REMARKS	HARDV	VARE	
R DRAWINGS. LOCKING, ETC.	1	3' X6'-8"	1-3/4"	WOOD	METAL	FLUSH SOLID CORE	NEW INTERIOR DOOR	GROUP	#2	
ND ANGLE STRIPS TO	2	3' X6'-8"	1-3/4"	WOOD	METAL	FLUSH SOLID CORE	NEW INTERIOR DOOR	GROUP	#2	
ALL FINISHES)	3	3' X6'-8"	1-3/4"	WOOD	METAL	FLUSH SOLID CORE	NEW INTERIOR DOOR	GROUP	#1	
	E1	3'X7'	EXISTING	ALUM/GLASS	EXISTING	STOREFRONT	EXISTING EXTERIOR DOOR	GROUP	#E1	
2500 (5/8"x5") COMES	E2	4'X7'	EXISTING	НМ	EXISTING	REAR SERVICE	EXISTING EXTERIOR DOOR	GROUP	#E2	
ASE TO CONFIRM ISTRUCTION IE. AND MECHANICAL ETC.	DOOR NOTES: 1. ALL NEW INTERIOR WOOD DOORS ARE TO BE CLEANED AND TOUCHED UP TO RECIEVE NEW SCHEDULED FINISH.									
R IF SIGNAGE WITH 1" HIS DOOR TO REMAIN	<u>D00</u>	r hardwar	<u>E:</u>							
	<u>GRO</u> 1.5 1.0	<u>UP #1 – N</u> PAIR BUTT LOCKSET	S: NEW			1.5 PAIR BUTT 1.0 LOCKSET	<u>NEW INTERIOR DOOR:</u> TS: NEW W/ LEVER HANDLE DSER, SURFACE MOUNTED			
38°	HAR 1.5 1.0 1.0 1.0 1.0 1.0	<u>DWARE</u> PAIR BUTT LATCH SE DOOR CLC THRESHOL DOOR SWE	S: EXIST WITH RE SURES: D: EXISTI EP: EXISTI	TRACTABLE DEAE EXISTING ING	1.5 PAIR BUTTS: EXISTING 1.0 DEAD BOLT (IN OPEN POSITION DURING BUSINESS					
X	LOCA FROM	O XRAY SLAB TIONS TO EN M STRUCTURA	SURE ADEQ IL BEAM. NO	MBING FLOOR UATE CLEARANCE TIFY ARCHITECT (TURES NEED TO	LANDLORD R	RM WITH TENANT AND ESPONSIBILITY OF FIXTURES WITH FINAL	NOTE: RESTROOM DOORS MUST BE EQUIPPED WITH SELF-CLOSING DEVICES.			





				F	ROOM	FINISH	SCHE		=
			AREA		FLOOR	WALLS	(CEILING	REMARKS
				MATERIAL	BASE	MATERIAL	MATERIAL	HEIGHT	
			DINING 100	TILE FT-1	TILE B-1 B-2	PAINT WOOD P-1 WD-1 WD-2 WD-3 WD-4 WD-5 WD-6	ACT AT-1	SEE RCP ON A150	-
			CASHIER 200	TILE FT-1	TILE B-2 B-3	TILE WOOD WT-1 WD-5 WD-6 SURFACES ST-1 ST-2	ACT AT-1	SEE RCP ON A150	-
SUSF AT-1	PENDED CEIL	-	SMOOTHIE PREP 300	TILE FT-2	TILE B-4	PAINT TILE P-3 WT-1 SURFACES ST-3	ACT AT-3	SEE RCP ON A150	-
A1-1	MANUF: TYPE: NUMBER: COLOR: SIZE: GRID:	ARMSTRONG CLASS "A" 1728A WH FINE FISSURED WHITE 24" X 24" X 5/8" 15/16" GRID. MATCH WHITE COLOR OF CEILING TILE	FOOD PREP 400	TILE FT-2	TILE B-4	PAINT TILE P-3 WT-1 SURFACES ST-3	ACT AT-3	SEE RCP ON A150	-
AT-2	MANUF: TYPE: NUMBER:	ARMSTRONG CLASS "A" WASHABLE VINYL SURFACE	OFFICE 500	TILE FT-2	TILE B-4	FINISH FRP-1	ACT AT-2	SEE RCP ON A150	-
	COLOR: SIZE: GRID:	WASHABLE VINTL SORFACE WHITE 24" X 48" X 5/8" NEW WHITE 15/16" GRID	KITCHEN 600	TILE FT-2	TILE B-4	FINISH FRP-1	ACT AT-2	SEE RCP ON A150	-
AT-3	MANUF: TYPE:	ARMSTRONG CLASS "A"	RESTROOM 700	TILE FT-1	TILE B-5	PAINT TILE P-3 WT-1	PAINTED GYF P-3	SEE RCP ON A150	-
	NUMBER: COLOR: SIZE: GRID:	JMBER:WASHABLE VINYL SURFACEDLOR:WHITEZE:24" X 24" X 5/8"		NOTES		P (MODEL #A125-ATC	GB) FOR TERM	MINATION OF	WALL





DATA OUTLET LOCATION									
NO.	QTY	ITEM DESCRIPTION	HG1						
Α	2	POS STATION OUTLET (CASHIER COUNTER)	24"						
В	0	POS STATION OUTLET (DRIVE-THRU AREA)	46"						
С	1	SMOOTHIE PRINTER OUTLET (CASHIER COUNTER)	24"						
D	1	KDS OUTLET (TWO WHEN DRIVE-THRU WINDOW)	67"						
E	1	KDS / DELI PRINTER OUTLET (AT FINISH STATION)	67"						
F	1	OFFICE OUTLET (PRINTER)	46"						

GENERAL NOTES

1	VERIFY ALL REQUIREMENTS WITH POS SUPPLIER
2	OWNER TO COORDINATE WITH MICROS & RTG FOR ALL KDS AND PRINTER LOCATIONS
3	ALL POS WIRING TO BE PROVIDED BY AND INSTALLED BY RTG
4	G.C. TO CONTACT RTG 4 WEEKS PRIOR TO INSTALL
5	G.C. RESPONSIBLE FOR CONDUITS WITH PULL STRING AND EMPTY ELECTRICAL BOXES TO ACCESSIBLE CEILING LOCATIONS

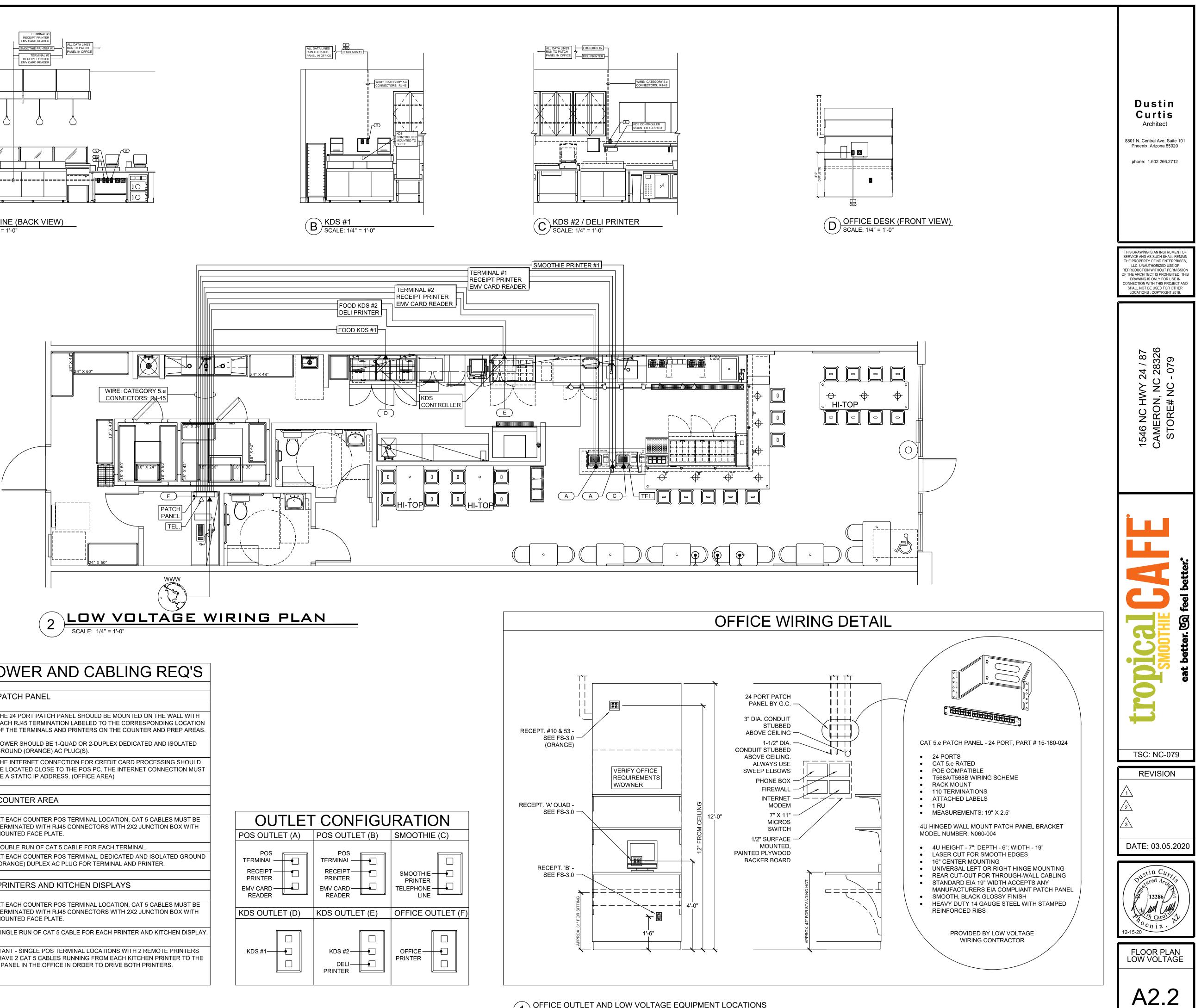
T-STAT LOCATIONS

- NO. ITEM DESCRIPTION
- T-STAT PREFERRED LOCATIONS
- NEAR THE RESTROOM CORRIDOR
- NEAR THE WATER HEATER / MOP SINK AREA 2

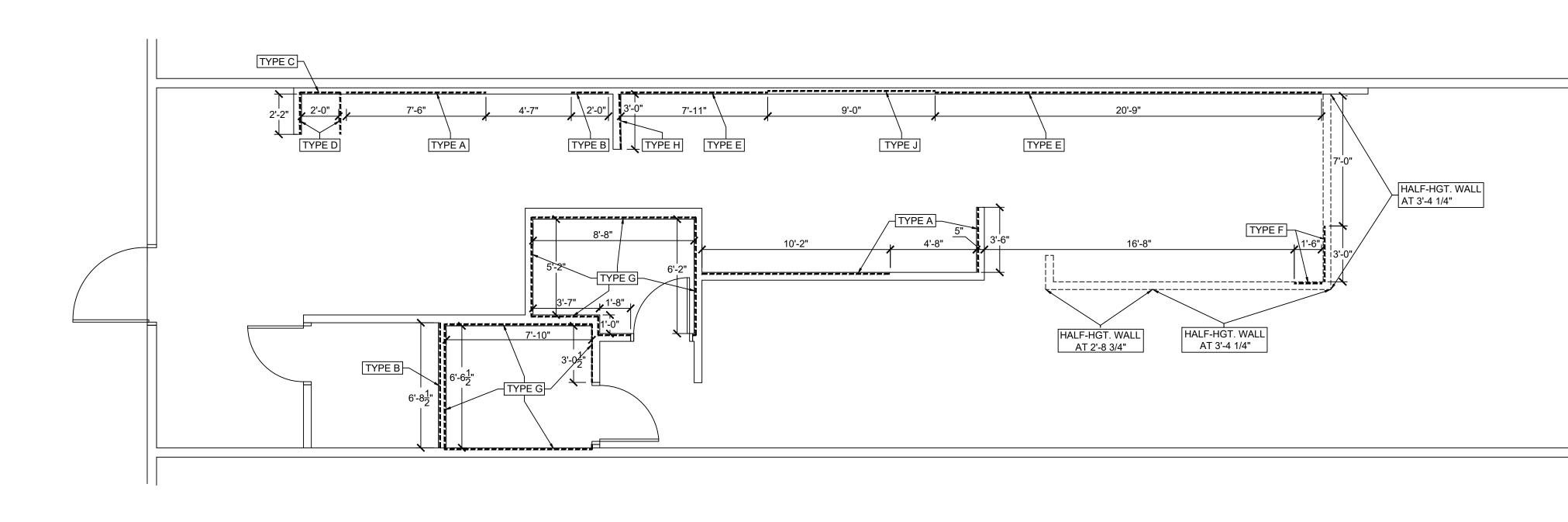
	SPEAKER LOCATIONS			
NO.	ITEM DESCRIPTION			
	MUZAK, MOOD MEDIA - PREFERRED VENDOR - 3 SPEAKERS			
1	NEAR THE SMOOTHIE BAR BETWEEN BAR AND FRONT WALL			
2	NEAR THE COMMUNITY TABLE			
3	NEAR THE BANQUETTE			
	SPEAKERS NOT LOCATED NEAR CEILING FANS & POS AREA			

VIDEO SURVEILLANCE LOC'S

NO.	ITEM DESCRIPTION			
	MIN. RECOMMENDED SURVEILLANCE (4 CAMERA SYSTEM)			
1	MANAGER'S STATION			
2	POS AREA / SAFE			
3	BACK DOOR			
4	MAIN ENTRY			
	PREFERRED SURVEILLANCE (8 CAMERA SYSTEM)			
5	SMOOTHIE MAKE LINE			
6	PREP AREA			
7	DINING AREA			
8	BACK OF HOUSE OR CAFE SPECIFIC UNMONITORED AREAS			



NO.	PATCH PANEL
1	THE 24 PORT PATCH PANEL SHOULD BE MOUNTED ON THE WALL EACH RJ45 TERMINATION LABELED TO THE CORRESPONDING LOC OF THE TERMINALS AND PRINTERS ON THE COUNTER AND PREP
2	POWER SHOULD BE 1-QUAD OR 2-DUPLEX DEDICATED AND ISOLA GROUND (ORANGE) AC PLUG(S).
3	THE INTERNET CONNECTION FOR CREDIT CARD PROCESSING SH BE LOCATED CLOSE TO THE POS PC. THE INTERNET CONNECTION BE A STATIC IP ADDRESS. (OFFICE AREA)
	COUNTER AREA
1	AT EACH COUNTER POS TERMINAL LOCATION, CAT 5 CABLES MUS TERMINATED WITH RJ45 CONNECTORS WITH 2X2 JUNCTION BOX MOUNTED FACE PLATE.
2	DOUBLE RUN OF CAT 5 CABLE FOR EACH TERMINAL.
3	AT EACH COUNTER POS TERMINAL, DEDICATED AND ISOLATED G (ORANGE) DUPLEX AC PLUG FOR TERMINAL AND PRINTER.
	PRINTERS AND KITCHEN DISPLAYS
1	AT EACH COUNTER POS TERMINAL LOCATION, CAT 5 CABLES MUS TERMINATED WITH RJ45 CONNECTORS WITH 2X2 JUNCTION BOX MOUNTED FACE PLATE.
2	SINGLE RUN OF CAT 5 CABLE FOR EACH PRINTER AND KITCHEN D
MUS	RTANT - SINGLE POS TERMINAL LOCATIONS WITH 2 REMOTE PRIN T HAVE 2 CAT 5 CABLES RUNNING FROM EACH KITCHEN PRINTER TH PANEL IN THE OFFICE IN ORDER TO DRIVE BOTH PRINTERS.



1 WALL BACKING PLAN SCALE: 1/4" = 1'-0"

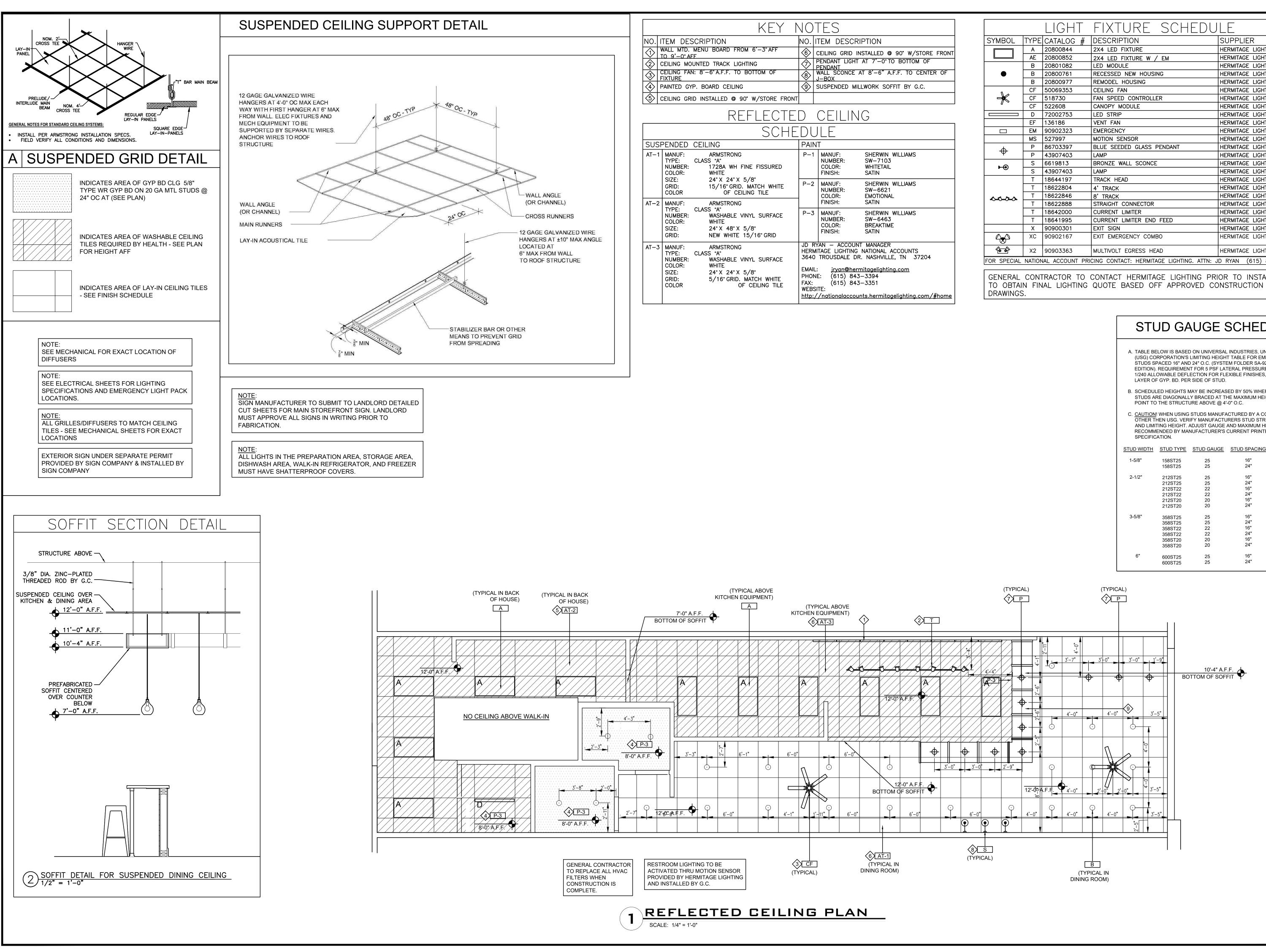
	WALL BACKIN	G LEGEND
Г.	LOCATION	REMARKS
	FROM 36" TO 108" A.F.F.	OVER SHELVES AND ICE F
	FROM 24" TO 108" A.F.F.	HAND SINK AND OFFICE
	FROM 39" TO 69" A.F.F.	MOP SINK FAUCET BRACK

E	HGT.	LOCATION	REMARKS
	72"	FROM 36" TO 108" A.F.F.	OVER SHELVES AND ICE FILTER
	84"	FROM 24" TO 108" A.F.F.	HAND SINK AND OFFICE
	30"	FROM 39" TO 69" A.F.F.	MOP SINK FAUCET BRACKET
	12"	FROM 48" TO 60" A.F.F.	MOP RACK
	24"	FROM 42" TO 66" A.F.F.	FRONT WALL SHELVES
	VARIES	FROM 18" TO TOP OF HALF-HGT. WALL	WALL MOUNTED WORK TOP
	30"	FROM 24" TO 54" A.F.F.	RESTROOM FIXTURES
	24"	FROM 18" TO 42" A.F.F.	WALL MOUNTED WORK TOP
	78"	FROM 42" TO 120" A.F.F.	FRONT WALL CABINETS

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1546 NC HWY 24 / 87 CAMERON, NC 28326 STORE# NC - 079
tropical CAFE smoothe CAFE eat better. @ feel better.
TSC: NC-079
REVISION 1 2 3 DATE: 03.05.2020
Pustin Curry Pustine Curry 12286

WALL BACKING PLAN





		LIGHT	FIXTURE SCHEDU	LE
SYMBOL	TYPE	CATALOG #	DESCRIPTION	SUPPLIER
	A	20800844	2X4 LED FIXTURE	HERMITAGE LIGHTING
	AE	20800852	2X4 LED FIXTURE W / EM	HERMITAGE LIGHTING
	В	20801082	LED MODULE	HERMITAGE LIGHTING
	В	20800761	RECESSED NEW HOUSING	HERMITAGE LIGHTING
	В	20800977	REMODEL HOUSING	HERMITAGE LIGHTING
Π.	CF	50069353	CEILING FAN	HERMITAGE LIGHTING
+	CF	518730	FAN SPEED CONTROLLER	HERMITAGE LIGHTING
ų ·	CF	522608	CANOPY MODULE	HERMITAGE LIGHTING
	D	72002753	LED STRIP	HERMITAGE LIGHTING
	EF	136186	VENT FAN	HERMITAGE LIGHTING
	EM	90902323	EMERGENCY	HERMITAGE LIGHTING
	MS	527997	MOTION SENSOR	HERMITAGE LIGHTING
<u></u>	Р	86703397	BLUE SEEDED GLASS PENDANT	HERMITAGE LIGHTING
	Р	43907403	LAMP	HERMITAGE LIGHTING
₽	S	6619813	BRONZE WALL SCONCE	HERMITAGE LIGHTING
P	S	43907403	LAMP	HERMITAGE LIGHTING
	Т	18644197	TRACK HEAD	HERMITAGE LIGHTING
	Т	18622804	4' TRACK	HERMITAGE LIGHTING
<u>~~~~</u> ~	Т	18622846	8' TRACK	HERMITAGE LIGHTING
	Т	18622888	STRAIGHT CONNECTOR	HERMITAGE LIGHTING
	Т	18642000	CURRENT LIMITER	HERMITAGE LIGHTING
	Т	18641995	CURRENT LIMITER END FEED	HERMITAGE LIGHTING
	X	90900301	EXIT SIGN	HERMITAGE LIGHTING
	ХС	90902167	EXIT EMERGENCY COMBO HERMITAGE LIGH	
	X2	90903363	MULTIVOLT EGRESS HEAD	HERMITAGE LIGHTING
FOR SPECIAL	NATION	IAL ACCOUNT PRI	CING CONTACT: HERMITAGE LIGHTING. ATTN: J	D RYAN (615) 843–3394.

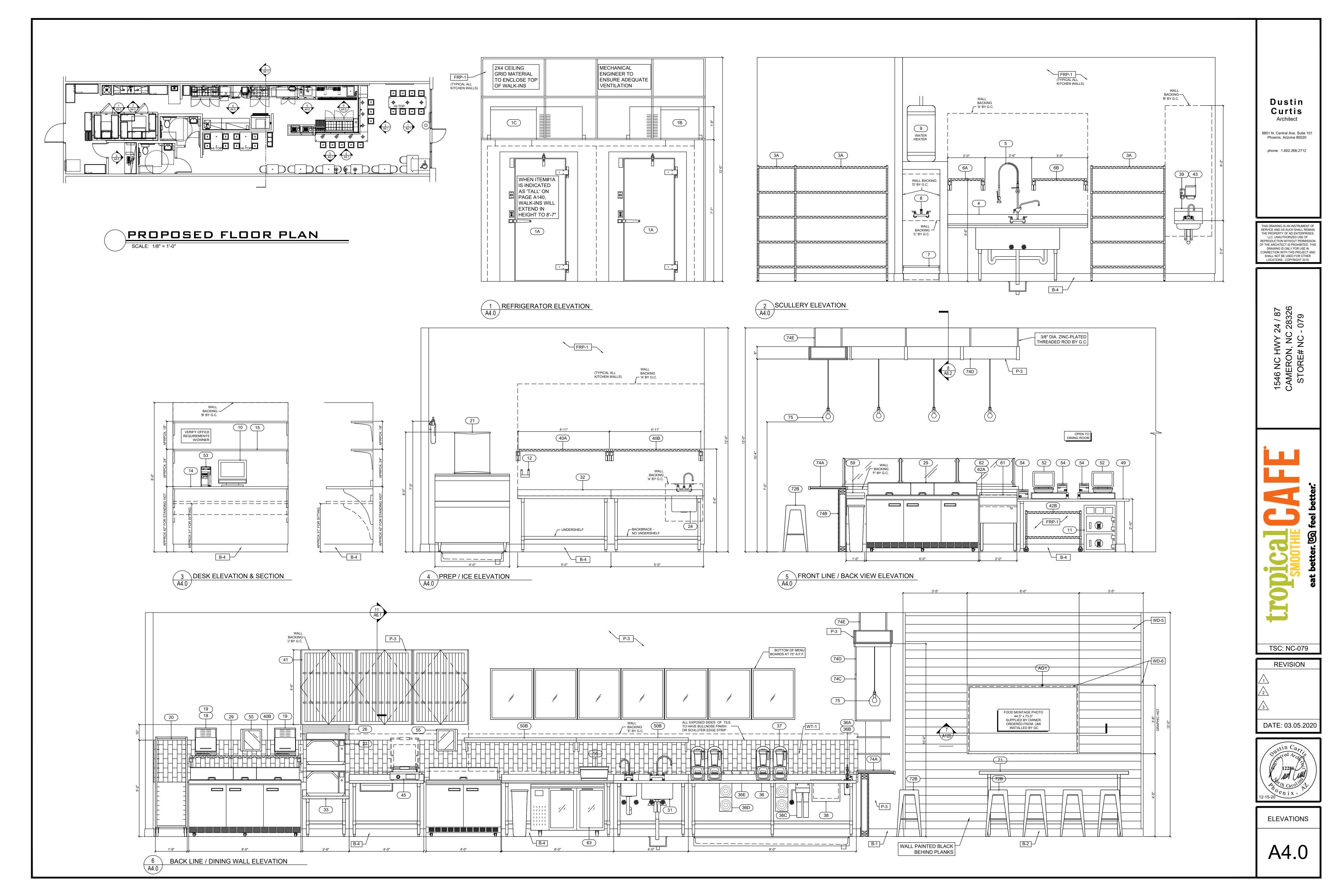
GENERAL CONTRACTOR TO CONTACT HERMITAGE LIGHTING PRIOR TO INSTALLATION

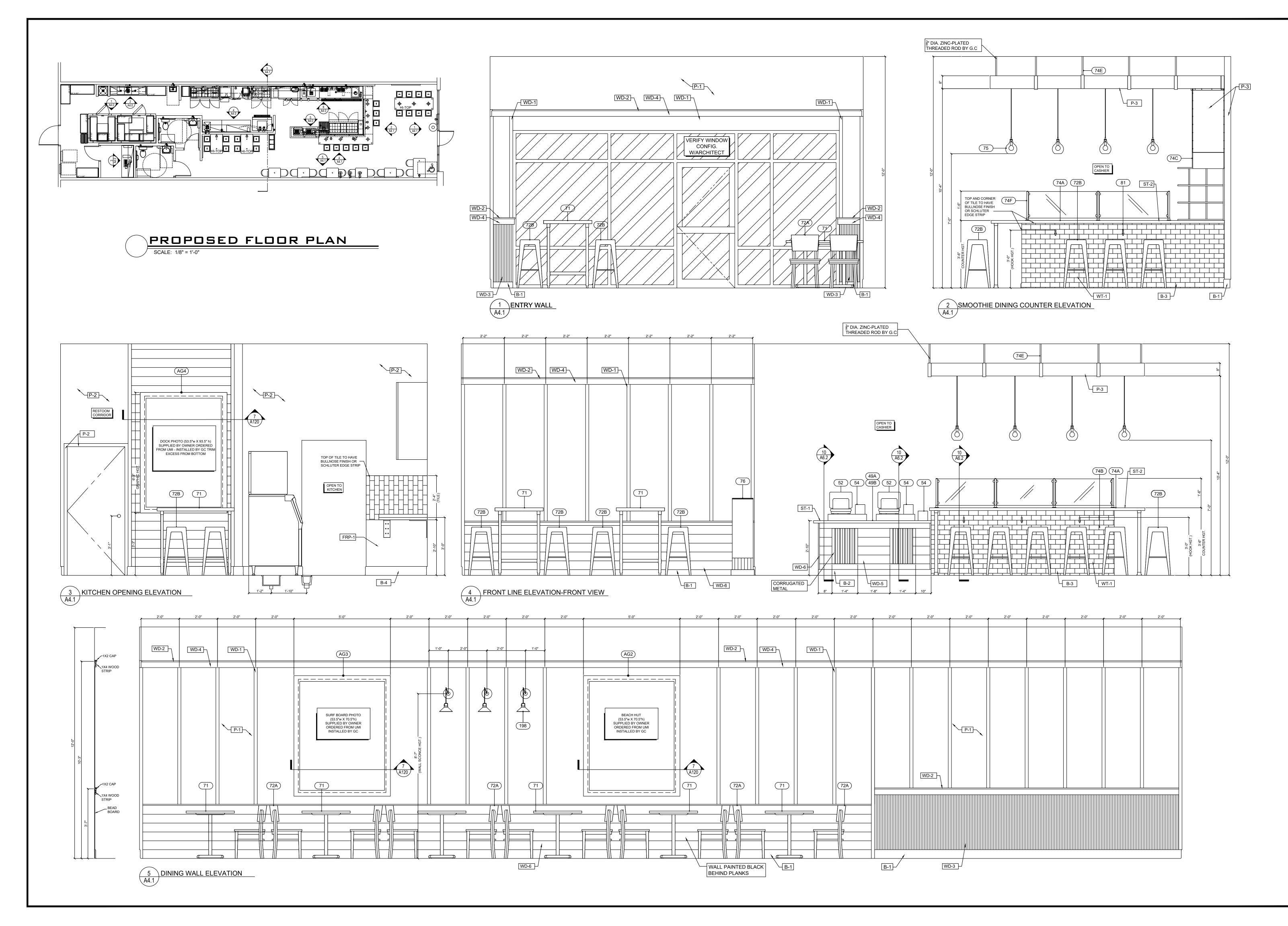
STUD GAUGE SCHEDULE

- A. TABLE BELOW IS BASED ON UNIVERSAL INDUSTRIES, UNIMAST (USG) CORPORATION'S LIMITING HEIGHT TABLE FOR EMBRACED STUDS SPACED 16" AND 24" O.C. (SYSTEM FOLDER SA-923-1990 EDITION). REQUIREMENT FOR 5 PSF LATERAL PRESSURE AND 1/240 ALLOWABLE DEFLECTION FOR FLEXIBLE FINISHES, WITH 1
- B. SCHEDULED HEIGHTS MAY BE INCREASED BY 50% WHERE THE STUDS ARE DIAGONALLY BRACED AT THE MAXIMUM HEIGHT
- C. <u>CAUTION</u>! WHEN USING STUDS MANUFACTURED BY A COMPANY OTHER THEN USG. VERIFY MANUFACTURERS STUD STRENGTH AND LIMITING HEIGHT. ADJUST GAUGE AND MAXIMUM HEIGHT RECOMMENDED BY MANUFACTURER'S CURRENT PRINTED

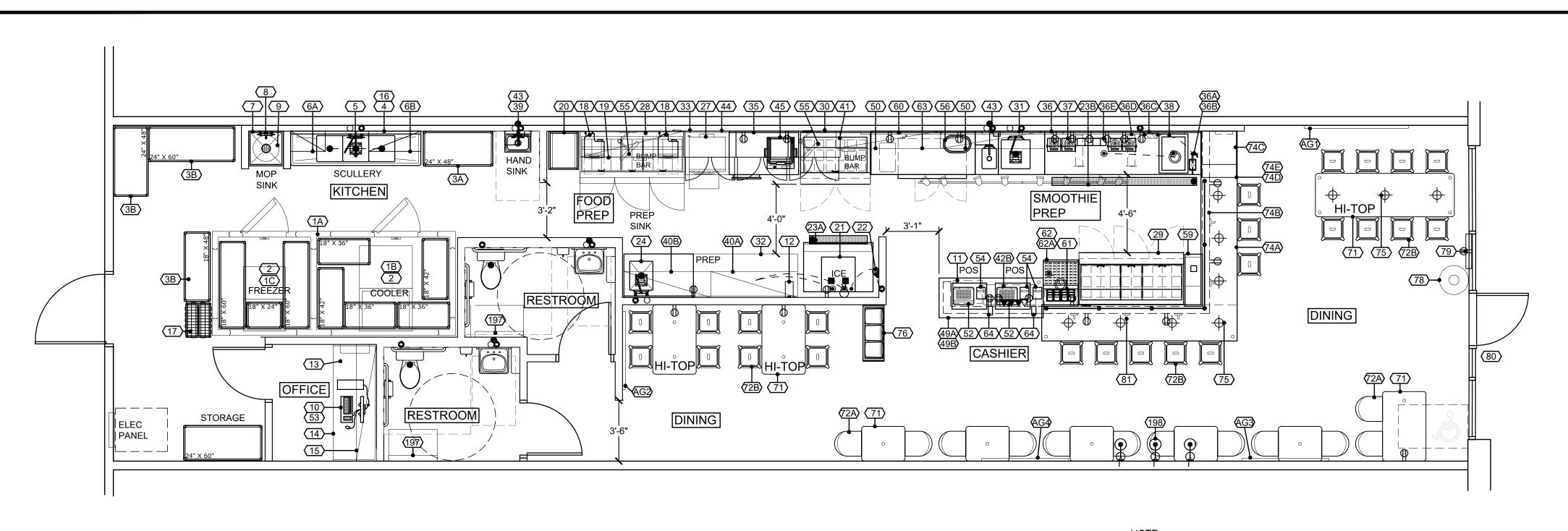
I						
	STUD WIDTH	STUD TYPE	STUD GAUGE	STUD SPACING	MAX. HEIGHT	
	1-5/8"	158ST25	25	16"	9'-6"	
		158ST25	25	24"	7'-3"	
	2-1/2"	212ST25	25	16"	12'-6"	
I		212ST25	25	24"	10'-9"	
I		212ST22	22	16"	13'-0"	
I		212ST22	22	24"	11'-6"	
I		212ST20	20	16"	14'-0"	
		212ST20	20	24"	12'-3"	
	3-5/8"	358ST25	25	16"	16'-0"	
I		358ST25	25	24"	13'-6"	
I		358ST22	22	16"	17'-3"	
I		358ST22	22	24"	15'-0"	
I		358ST20	20	16"	18'-3"	
		358ST20	20	24"	16'-0"	
	6"	600ST25	25	16"	20'-0"	
I		600ST25	25	24"	15'-0"	

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TSC: NC-079
REVISION
2 3 DATE: 03.05.2020
Pustin Curris
12-15-20
ELEVATIONS



EQUIPMENT FLOOR PLAN SCALE: 1/4" = 1'-0"

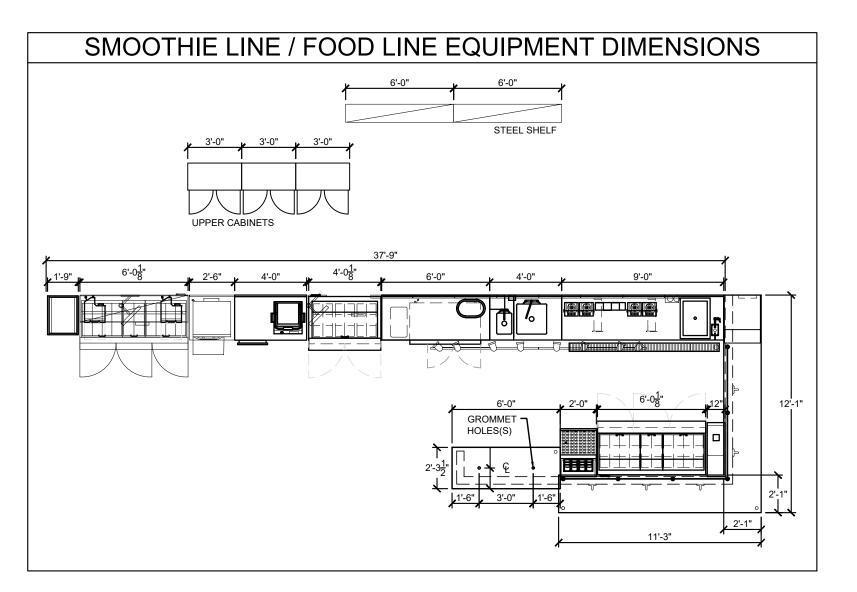
NOTE: EQ SUPPLIER MUST SEND FINAL ORDER LIST TO NEPTUNE FOR REVIEW AND APPROVAL PRIOR TO ORDERING.

NOTE:

TENANT & GC TO LOCATE & APPROVE EXACT LOCATION & WIRING OF LOW VOLTAGE SPEAKERS & SECURITY CAMERA. PRIOR TO INSTALL - THESE DOCUMENTS ARE USED FOR REFERENCE ONLY & FINAL PLACEMENT OF CAMERAS & SPEAKERS MUST BE APPROVED BY TENANT & COORDINATED BY INSTALLING CONTRACTOR. GC IS RESPONSIBLE FOR ALL LOW VOLTAGE EQUIPMENT WHICH INCLUDES BUT IS NOT LIMITED TO ALL AUDIO/VIDEO, MICROS, CAT 5, AND SPEAKERS.

SIGNATURE OF APPROVAL OF REVIEW	
TROPICAL SMOOTHIE CAFE	
EQUIPMENT SUPPLIER	
NEPTUNE DESIGN GROUP	

<u>NOTE</u> :
REFERENCE
AVAILABLE 1
REFERENCE
BE PRODUC
TO NEPTUN



####	ARTWORK SCHEDULE						
NO.	QTY.	DESCRIPTION	PROVIDER	VENDOR	INSTALL		
AG-1	1	FOOD MONTAGE PHOTO	F	UMI	GC		
AG-2	1	DOCK PHOTO	F	UMI	GC		
AG-3	3 1 BEACH HUT PHOTO		F	UMI	GC		
AG-4	1	SURF BOARD PHOTO	F	UMI	GC		
AG-5	0	PALM TREE PHOTO	F	UMI	GC		



2 ARTWORK (AG-1) SCALE: NTS



ARTWORK (AG-3) SCALE: NTS



3 ARTWORK (AG-2) SCALE: NTS



5 ARTWORK (AG-4) SCALE: NTS

<u>NOTE</u>: PER STATE HEALTH A SNEEZE GUARD IS REQUIRED AT COUNTER- SEE DETAIL 10/A6.2

EQUIPMENT DELIV THE GC IS TO C EQUIPMENT WITH RESPONSIBILITY TO ACCEPT DEL SHORTAGES. IN THEIR AGENT THE DAMAGE AND SHO RECEIVING DOCU THE FREIGHT CAR IS LIABLE FOR NOTED ON THE LADING. CONTAC DAMAGES, SHORT BE REFUSED. IF DAMAGED, TAKE ORIGINAL PACKAG MATERIALS. ONCE DELIVERABLES FO DAMAGES TO EQ CONCEALED DAM CONCEALED DAMA SUPPLIER WITHIN OR NO CONCEAL PROCESS. ALL C MATERIALS MUST

<u>HEALTH DEPT</u> PROPER ICE H KITCHEN) WASH ICE MAKING MA HANDLE AND DO NOT SCOOL CUPS AND NEV DO NOT RETUR MACHINE/ICE COMMERCIAL REMOVING ICE. OUTSIDE THE CONTAINER. ICE WASHED & SANITIZED REGULARLY. DO NOT STORE ANYTHING SUCH AS FOOD, DRINKS, FRUIT ETC. IN THE ICE MACHINE. NEVER USE THE ICE MACHINE AS A REFRIGERATOR! CLEAN THE ICE MAKING MACHINE REGULARLY AND FIX ALL PROBLEMS IDENTIFIED. BACKFLOW PREVENTER IS REQUIRED AND PROVIDED- SEE PLUMBING SHEETS. ICE BIN AND ICE CHEST IS EQUIPPED WITH LIDS.

SHOP DRAWINGS FROM NEPTUNE ARE TO GC UPON REQUEST, TO BE USED AS A ONLY. ORIGINAL SHOP DRAWINGS SHOULD CED FOR THIS SPECIFIC LOCATION AND SENT E FOR REVIEW.

EQUIPMENT SCHEDULE					EQUIPMENT SCHEDULE							
NO.QT	EQUIPMENT DESCRIPTION	PROVIDER	VENDOR	INSTALL	FIN. CON.	NO.	QTY	EQUIPMENT DESCRIPTION	PROVIDER	VENDOR	INSTALL	FIN. CON.
	BACK OF HOUSE EQUIPMENT					39	1	HAND SINK, HANDS-FREE		EV	EV	PC
					-	40	2	WALL SHELF, WIRE (ZINC COATED), 18" X 60"		EV	EV	PC
1A 1	WALK-IN COOLER / FREEZER COMBO UNIT		EV	GC	EC	40	3	WALL SHELF, WIRE (ZINC COATED), 18 X 00		EV	EV	-
1A 1 1B 1	COOLER REFRIGERATION, SELF-CONTAINED		EV	GC	EC	41 42A	3	SPARE NUMBER				-
1C 1	FREEZER REFRIGERATION, SELF-CONTAINED		EV	GC	EC	42A 42B	-	MOBILE STORAGE UNIT, 14" X 36"	-	EV	EV	-
2 8	WALK-IN COOLER / FREEZER SHELVING	F	EV	GC		42B	2	SOAP / PAPER TOWEL DISPENSERS	F	C	C	-
3A 1	75" TALL DRY STORAGE SHELVING (EPOXY COATED)	F	EV	EV		44	1	S/S L-SHAPED WALL PANEL	F	EV	EV	
3B 4	75" TALL DRY STORAGE SHELVING (EL OXT COATED)	F	EV	EV	-	45	1	PANINI PRESS	F	EV	EV	-
4 1	THREE COMPARTMENT SINK	F	EV	EV	PC	40	'					
5 1	PRE-RINSE FAUCET	F	EV	EV	PC			CASHIER AREA EQUIPMENT				
6A 1	WALL SHELF, WIRE (EPOXY COATED), 14" X 24"	F	EV	EV	-							
6B 1	WALL SHELF, WIRE (EPOXY COATED), 14" X 36"	F	EV	EV	-	49A	1	CASHIER COUNTER TOP & SUPPORT LEG	F	EV	EV	
7 1	MOP SINK	GC	SPS	GC	PC	49B	1	CASHIER COUNTER SUPPORT WALL	F	GC	GC	EC
8 1	SERVICE FAUCET	GC	SPS	GC	PC	50	2	WALL SHELF, S/S, 12" X 72"	F	EV	EV	-
9 1	WATER HEATER	GC	SPS	GC	EC/PC	51	1	MENU BOARD SYSTEM, WALL MOUNT, 9 PANELS	F	EV	EV	-
	SURVEILLANCE SYSTEM	F	VLL	V	V	52	2	POS TERMINAL	F	М	RTG	RTG
11 1	SAFE	F	EV	EV	-	53	1	POS SYSTEM - BACK OF HOUSE	F	М	RTG	RTG
12 1	PRINTER WITH SHELF	F	JOLT	GC	V	54	3	POS PRINTER	F	М	RTG	RTG
13 1	POS PATCH PANEL	F	M	RTG	RTG	55	2	KDS MONITOR	F	М	RTG	RTG
14 1	MANAGER'S DESK	F	EV	GC	-	56	1	BEVERAGE ICE CHEST	F	EV	EV	-
15 1	WALL SHELVES	F	EV	GC	-	57	-	SPARE NUMBER	-	-	-	-
	WAREWASHING & SANITIZING PRODUCTS	F	С	С	-	57A	-	SPARE NUMBER	-	-	_	-
17 1	18" X 24" DUNNAGE RACK	F	EV	EV	-	58	-	SPARE NUMBER	-	-	-	-
18 2	ON QUE OVEN	F	EV	EV	-	59	1	WALL MTD. WORK TOP, 36" X 12"	F	EV	EV	-
19 1	18" X 72", ON QUE SHELF	F	EV	EV	-	60	1	WORK TABLE, 30" X 72"	F	EV	EV	-
20 1	MOBILE CART	F	EV	EV	-	61	2	SUPPLEMENT HOLDER	F	EV	EV	-
						62	1	DRAIN BOARD	F	EV	EV	PC
	SMOOTHIE LINE / FOOD LINE EQUIPMENT					62A	1	CUSTOM SHELF	F	EV	EV	-
						63	1	UNDER COUNTER REFRIGERATOR	F	EV	EV	-
21 1	ICE MAKER W / BIN	F	EV	EV	EC/PC	64	2	EMV CARD READER	F	М	RTG	RTG
22A 1	WATER FILTER, 3-STAGE	F	EV	EV	PC							
22B 1	ICE MACHINE TREATMENT SYSTEM	F	EV	EV	PC			DINING EQUIPMENT				
23A 1	CHANNEL DRAIN, 5" (3'-4" LONG)	GC	SPS	PC	PC							
23B 1	CHANNEL DRAIN, 5" (8'-4" LONG)	GC	SPS	PC	PC	71	9	TABLE TOP & BASE	F	EV	EV	-
24 1	PREP SINK, 30" x 48"	F	EV	EV	PC	72A	14	DINING CHAIR	F	EV	EV	-
25 -	SPARE NUMBER	-	-	-	-	72B	24	DINING STOOL	F	EV	EV	-
26 -	SPARE NUMBER	-	-	-	-	73	-	SPARE NUMBER	-	-	-	-
27 2	MICROWAVE CONVECTION OVEN	F	EV	EV	-	74A	1	SIT-DOWN COUNTER TOP & SUPPORT LEGS	F	EV	EV	-
28 1	REFRIGERATED PREP TABLE, 30 PAN	F	EV	EV	-	74B	1	SIT-DOWN COUNTER SUPPORT WALL	F	GC	GC	-
29 1	REFRIGERATED PREP TABLE, 30 PAN	F	EV	EV	-	74C	1	MILLWORK TO-GO CABINET	F	EV	EV	-
30 1	REFRIGERATED PREP TABLE, 18 PAN	F	EV	EV	-	74D	1	MILLWORK SOFFIT	F	EV	EV	EC
31 1	WORK TABLE W/HAND SINK & DUMP SINK, 30" X 48"	F	EV	EV	PC	74E	1	THREADED MOUNTING RODS FOR SOFFIT	GC	GC	GC	-
32 1	WORK TABLE, 30" X 72"	F	EV	EV	-	75	10	PENDANT LIGHT	F	HL	GC	EC
33 1	EQUIPMENT STAND, 30" X 30" (26" HGT.)	F	EV	EV	-	76	1	MARKET PLACE	F	EV	EV	-
34 -	SPARE NUMBER	-	-	-	-	77	-	SPARE NUMBER	-	-	-	-
35 1	WORK TABLE, 30" X 48", WITH UTENSIL DRAWER	F	EV	EV	-	78	1	TRASH CAN	F	EV	EV	-
36 1	BLENDER TABLE, 30" X 108"	F	EV	EV	PC	78A	1	TRAY SHELF	F	EV	EV	-
36A 1	WATER SPIGOT	F	EV	EV	PC	79	1	TROPICAL SMOOTHIE NEON SIGN	F	EV	EV	-
36B 1	WATER CONTAINER, DROP-IN	F	EV	EV	-	80	1	EXTERIOR SIGNAGE	F	SC	SC	EC
36C 1	WATER FILTER, 2-STAGE	F	EV	EV	PC	81	5	APPAREL HOOK	F	GC	GC	-
36D 4	CUP DISPENSER	F	EV	EV	-	100	-	SPARE NUMBER	-	-	-	-
36E 1	LID DISPENSER	F	EV	EV	-	197	2	BABY CHANGING STATION	F	EV	EV	-
37 4	BLENDER, BAR TYPE	F	EV	EV	-	198	3	WALL SCONCE LIGHTING	F	HL	GC	EC
38 1	ICE BIN, DROP-IN	F	EV	EV	PC							

IVERY NOTES: COORDINATE THE DELIVERY OF THE H EQUIP SUPPLIER. IT IS THE OF THE FRANCHISEE OR THEIR AGENT IVERY AND TO INSPECT FOR DAMAGE AN THE ABSENCE OF THE FRANCHISEE OR HE CONTRACTOR WILL ACCEPT DELIVERY. HORTAGES MUST BE NOTATED ON THE JMENT OR BILL OF LADING SUPPLIED BY ARRIER. THE PARTY RECEIVING DELIVERY DAMAGE AND MISSING ITEMS, UNLESS RECEIVING DOCUMENT OR BILL OF CT EQ SUPPLIER WITH ANY ISSUES ABOU RTAGES, OR WHATEVER SHIPMENT SHOULD TAGES, OR WHATEVER SHIPMENT SHOULD TAGES, OR WHATEVER SHIPMENT SHOULD TAGES, OF THE DAMAGED ITEMS IN ITS AGING AND RETAIN ALL ORIGINAL PACKING CE A DELIVERY IS RECEIVED, INSPECT FOR CONCEALED DAMAGE, AND REPORT Q SUPPLIER IMMEDIATELY SO A MAGE CLAIM CAN BE MADE. ALL MAGE MUST BE REPORTED BACK TO EQ N 24 HOURS OF RECEIPT OF EQUIPMENT LED FREIGHT CLAIM WILL HAVE TIME TO ORIGINAL DAMAGED PACKING PACKING T BE KEPT FOR INSPECTION.	
ICE MACHINE NOTES: HANDLING PRACTICES (BAR AND SH HANDS BEFORE GETTING ICE FROM MACHINE. HOLD ONLY THE ICE SCOOP NOT OTHER PARTS OF THE SCOOP. OP ICE USING WATER GLASSES OR EVER HANDLE THE ICE WITH HANDS. RN UNUSED ICE TO THE ICE BIN. KEEP DOORS OF THE ICE MACHINE CLOSED EXCEPT WHEN C. ICE SCOOPS SHOULD BE STORED ICE MAKER AND KEPT IN A CLEAN CE SCOOP & CONTAINER SHOULD BE ANITIZED REGULARLY.	

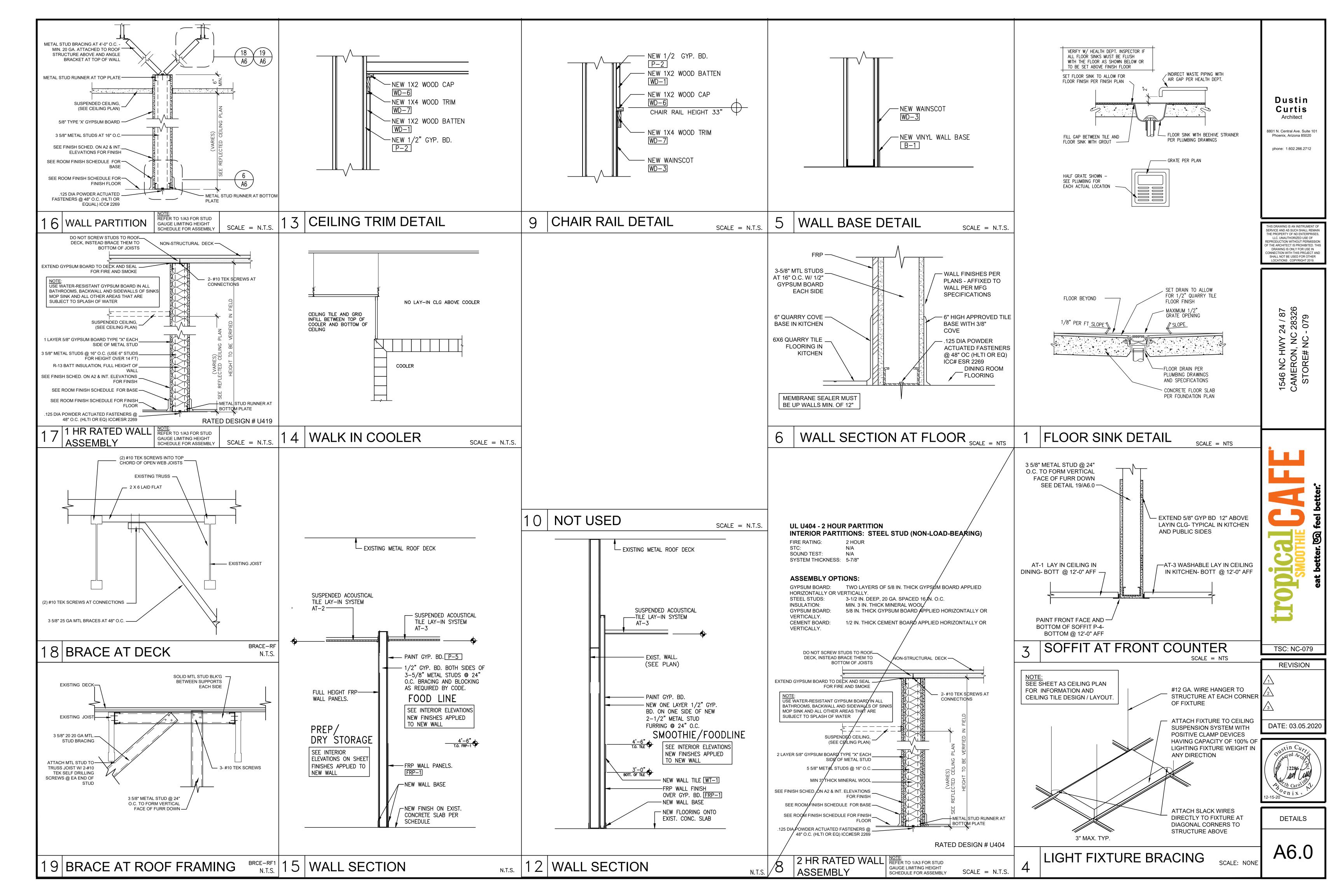
WALL BACKING LEGEND

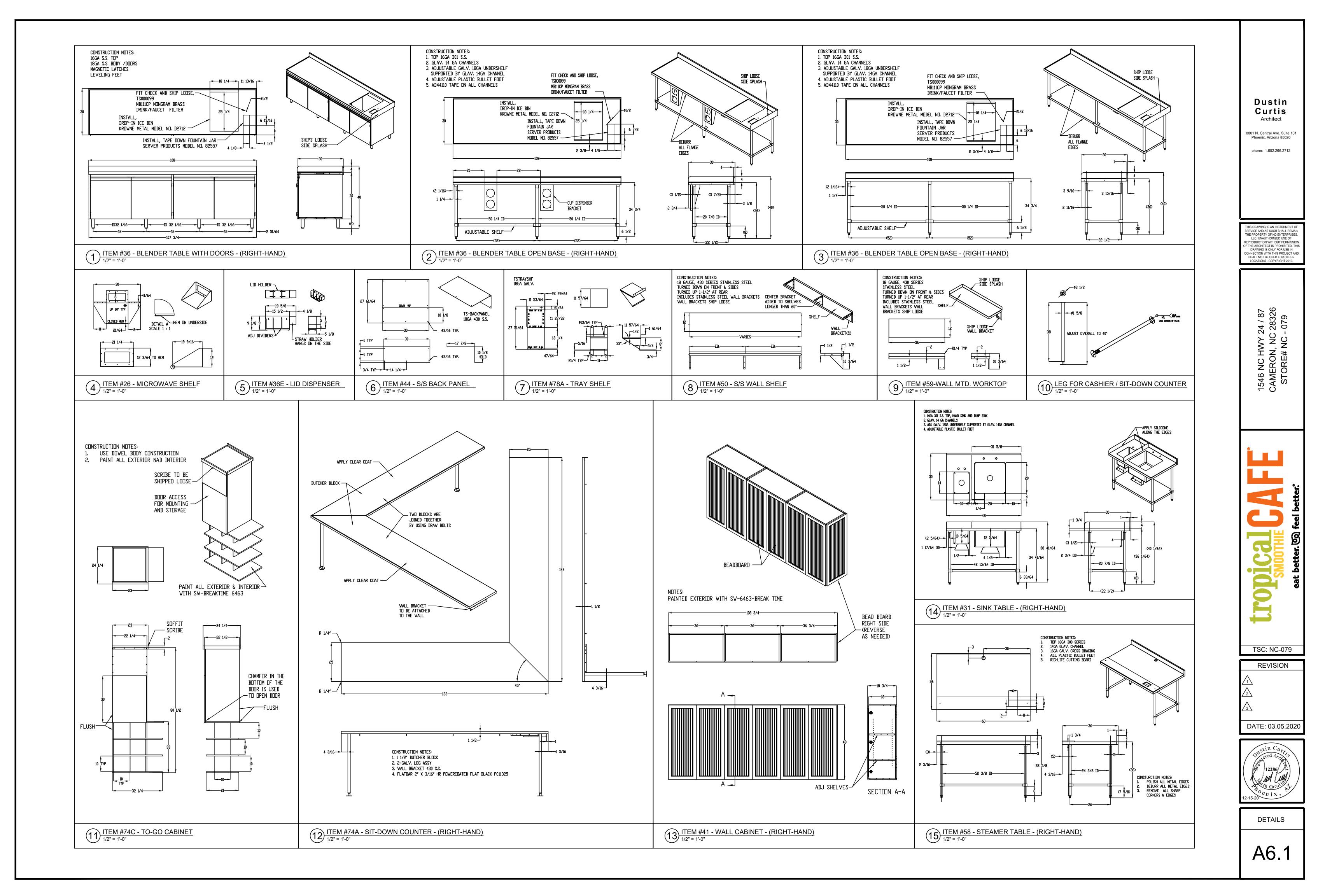
YPE	HGT.	LOCATION	REMARKS
А	72"	FROM 36" TO 108" A.F.F.	OVERSHELVES AND ICE FILTER
В	84"	FROM 24" TO 108" A.F.F.	HAND SINK AND OFFICE
С	30"	FROM 39" TO 69" A.F.F.	MOP SINK FAUCET BRACKET
D	12"	FROM 48" TO 60" A.F.F.	MOP RACK
Е	24"	FROM 42" TO 66" A.F.F.	FRONT WALL SHELVES
F	VARIES	FROM 18" TO TOP OF	WALL MOUNTED WORK TOP
		HALF-HGT. WALL	
G	30"	FROM 24" TO 54" A.F.F.	RESTROOM FIXTURES
Н	24"	FROM 18" TO 42" A.F.F.	WALL MOUNTED WORK TOP
J	78"	FROM 42" TO 120" A.F.F.	FRONT WALL CABINETS

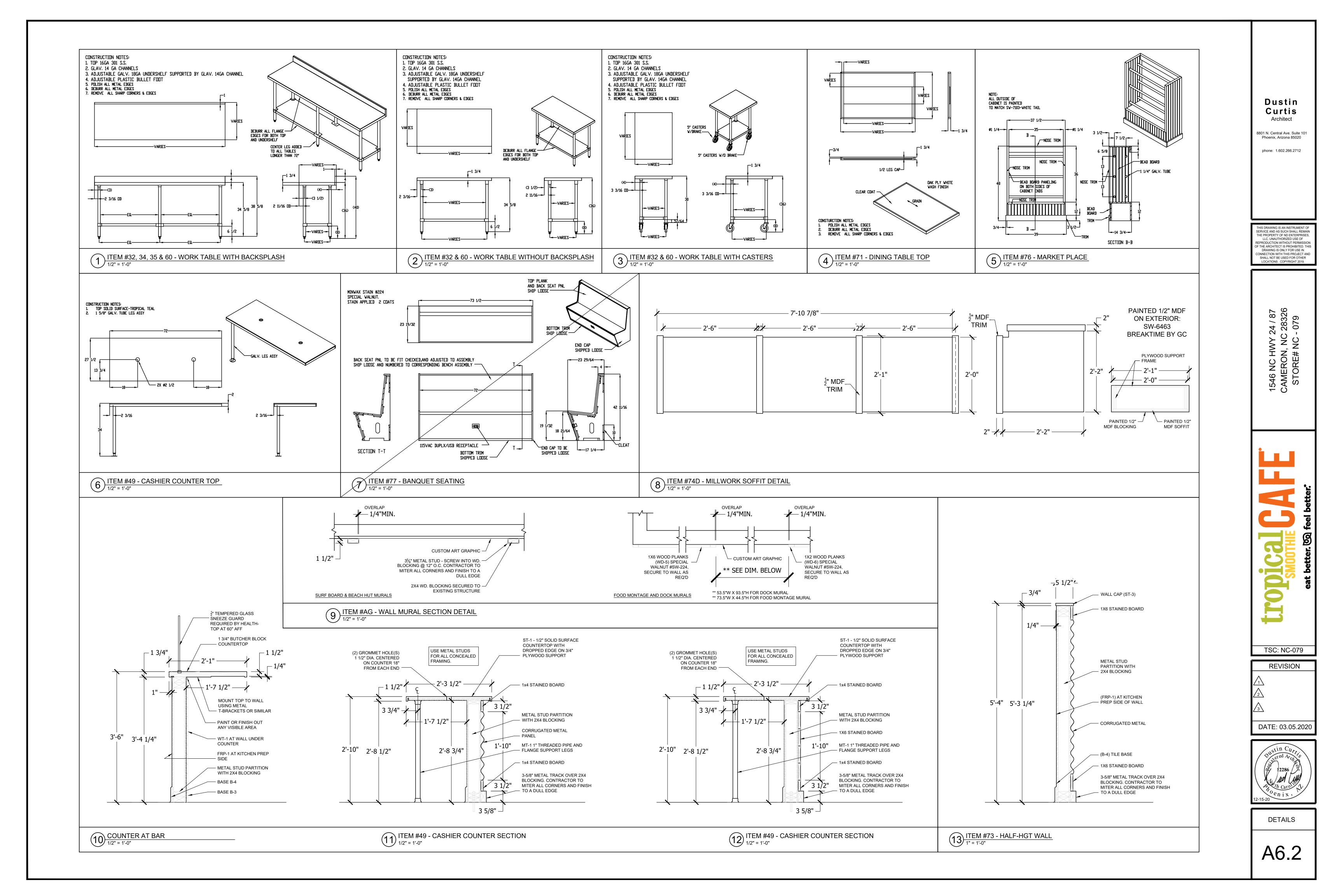
ABBREVIATION KEY

ABBR.	ABBREVIATION DESCRIPTION
F	FRANCHISEE
EV	EQUIPMENT VENDOR
GC	GENERAL CONTRACTOR
EC	ELECTRICAL CONTRACTOR
PC	PLUMBING CONTRACTOR
СС	CONTRACTOR'S CHOICE
OC	OWNER'S CHOICE
LJ	LOCAL JURISDICTION
SC	SIGN COMPANY
VLL	VERIFY WITH LANDLORD
V	VENDOR
М	MICROS
RTG	RETAIL TECHNOLOGY GROUP
UMI	ULTERIOR MOTIVES INTERNATIONAL
HL	HERMITAGE LIGHTING
MMM	MUZAK (MOOD MEDIA)
С	CINTAS
UC	UTILITY COMPANY
SFS	SEE FINISH SCHEDULE
SPS	SEE PLUMBING SCHEDULE
INSTALL	EQUIPMENT INSTALLER
FIN. CON.	FINAL CONNECTIONS
DT	DRIVE-THRU
DBL	DOUBLE SHELVES

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1. CONTRACTOR

General Conditions

- a. The Contractor shall be lawfully licensed. The Contractor shall designate in writing a representative who shall have express authority to bind the Contractor with respect to all matters under this Contract.
- b. The Contractor shall perform the Work in accordance with the Contract Documents. c. Execution of the Contract by the Contractor is a representation that the Contractor has carefully examined the Contract Documents, has visited the site, become thoroughly familiar with the nature and location of the Work, the conditions of the site as they exist, and the character of the operations to be carried out under the Contract Documents, including all existing site conditions, access to the site, physical characteristics of the site and surrounding areas, and all matters that affect the Work, or its performance. Because of such examinations and investigations, the Contractor further represents that he thoroughly understands the Contract Documents. The Contractor further represents that he will abide by all applicable codes, ordinances, laws, regulations, and rules as they apply to the Work. Claims for additional time or additional compensation because of the Contractor's failure to familiarize himself with all local conditions and the Contract Documents will not be permitted.
- d. Because the Contract Documents are complementary, the Contractor shall, before starting each portion of the Work, carefully study and compare the various Contract Documents relative to that portion of the Work, as well as the information furnished by the Owner, shall take field measurements of any existing conditions related to that portion of the Work, and shall observe any conditions at the site affecting it. These obligations are for the purpose of facilitating coordination and construction by the Contractor and are not for the purpose of discovering errors, omissions, or inconsistencies in the Contract Documents; however, the Contractor shall promptly report to the Owner any errors, inconsistencies or omissions discovered by or made known to the Contractor as a request for information. It is recognized that the Contractor's review is made in the Contractor's capacity as a contractor and not as a licensed design professional, unless otherwise specifically provided in the Contract Documents.
- e. The accuracy of grades, elevations, dimensions, or locations of existing conditions is not guaranteed by the Architect or the Owner. The Contractor is responsible for verifying same. If the Contractor performs construction activity when the Contractor knows, or should know in exercise in reasonable diligence, that an activity involves an error, inconsistency, or omission in the Contract Documents, the Contractor shall assume appropriate responsibility for such performance and shall bear an appropriate amount of the costs attributable for correction.
- f. The Contractor is not required to ascertain that the Contract Documents are in accordance with applicable laws, statutes, ordinances, codes, rules and regulations, or lawful orders of public authorities, but the Contractor shall promptly report to the Owner any nonconformity discovered by or made known to the Contractor.
- g. The Contractor shall supervise and direct the Work, using the Contractor's best skill and attention. The Contractor shall be solely responsible for, and have control over, construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Work under the Contract.
- h. The Contractor shall be responsible to the Owner for acts and omissions of the Contractor's employees, Subcontractors and their agents and employees, and other persons or entities performing portions of the Work for, or on behalf of, the Contractor or any of its Subcontractors, and for any damages, losses, costs, and expenses resulting from such acts or omissions.
- i. Unless otherwise provided in the Contract Documents, the Contractor shall provide and pay for labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for proper execution and completion of the Work, whether temporary or permanent and whether or not incorporated or to be incorporated in the Work.
- j. Except in the case of minor changes in the Work. The Contractor may make substitutions only with the consent of the Owner, after evaluation and in accordance with a Change Order or Construction Change Directive.
- k. The Contractor shall enforce strict discipline and good order among the Contractor's employees and other persons carrying out the Work. The Contractor shall not permit employment of unfit persons or persons not properly skilled in tasks assigned to
- I. The Contractor warrants to the Owner that materials and equipment furnished under the Contract will be of good quality and new unless the Contract Documents require or permit otherwise. The Contractor further warrants that the Work will conform to the requirements of the Contract Documents and will be free from defects, except for those inherent in the quality of the Work the Contract Documents require or permit. Work, materials, or equipment not conforming to these requirements will be considered defective. The Contractor's warranty excludes remedy for damage or defect caused by abuse, alterations to the Work not executed normal wear and tear and normal usage. If required by the Owner, the Contractor shall furnish satisfactory evidence as to the kind and guality of materials and equipment. The Contractor shall assign to the Owner all warranties and guarantees of manufacturers, Subcontractors, and others related to the Work.
- m. The Contractor shall pay sales, consumer, use and similar taxes for the Work provided by the Contractor that are legally enacted when bids are received or negotiations concluded, whether or not yet effective or merely scheduled to go into effect. The Contractor shall cooperate with the Owner to reduce state taxes on the Project. If requested by the Owner, the Contractor shall assist the Owner in the preparation of purchase orders, processing of invoices and payments in order to direct purchase material to be furnished to the Contractor. All state tax savings shall be returned to the Owner.
- n. The Contractor shall secure and pay for the building permit as well as for other permits, fees, licenses, and inspections by government agencies necessary for proper execution and completion of the Work that are customarily secured after execution of the Contract and legally required at the time bids are received or negotiations concluded. The Contractor shall secure and pay for the building, mechanical, electrical and plumbing permits, engineering, and inspection charges required by any governmental authority or other person or entity having jurisdiction over the work. Said permits shall include, without limitation, both temporary and permanent permits, building permits, certificates of occupancy, curb-breaking permits, highway entrance permits, water permits and all similar permits and certificates. The Owner shall be responsible for all capacity charges and impact fees
- o. The Contractor shall comply with and give notices required by applicable laws, statutes, ordinances, codes, rules and regulations, and lawful orders of public authorities applicable to performance of the Work. If the Contractor fails to give such notices, it shall be liable for and shall indemnify and hold harmless the Owner and their respective employees, officers and agents, against any resulting fines, penalties, judgments or damages, imposed on or incurred by the parties indemnified hereunder.
- p. If the Contractor performs Work knowing it to be contrary to applicable laws, statutes, ordinances, codes, rules and regulations, or lawful orders of public authorities, the Contractor shall assume appropriate responsibility for such Work and shall bear the costs, damages, losses, and expenses attributable to correction
- q. The Contractor shall employ a competent superintendent and necessary assistants who shall be in attendance at the Project site during performance of the Work. The superintendent shall represent the Contractor, and communications given to the superintendent shall be as binding as if given to the Contractor.
- 2. USE OF SITE

The Contractor shall confine operations at the site to areas permitted by applicable laws, statutes, ordinances, codes, rules and regulations, and lawful orders of public authorities and the Contract Documents and shall not unreasonably encumber the site with materials or equipment. The Contractor acknowledges the ongoing operations of the Owner and agrees to coordinate the Work with the Owner and conduct the Work in a manner which minimizes or eliminates any adverse impact on the Owner.

- 3. CUTTING AND PATCHING
- The Contractor shall be responsible for cutting, fitting or patching required to complete the Work or to make its parts fit together properly. All areas requiring cutting, fitting and patching shall be restored to the condition existing prior to the cutting, fitting and patching, unless otherwise required by the Contract Documents. 4. CLEANING UP
- a. The Contractor shall keep the premises and surrounding area free from accumulation of waste materials or rubbish caused by operations under the Contract. At completion of the Work, the Contractor shall remove waste materials, rubbish, the Contractor's tools, construction equipment, machinery and surplus materials from and about the Project. If the Contractor fails to clean up as provided in the Contract Documents, the Owner may do so and Owner shall be entitled to reimbursement from the Contractor.

5. INDEMNIFICATION

To the fullest extent permitted by law the Contractor shall indemnify and hold harmless the Owner, Owner's consultants, and agents and employees of any of them from and against claims, damages, losses and expenses, including but not limited to attorneys' fees, arising out of or resulting from performance of the Work, provided that such claim, damage, loss or expense is attributable to bodily injury. sickness, disease or death, or to injury to or destruction of tangible property (other than the Work itself), but only to the extent caused by the negligent acts or omissions of the Contractor, a Subcontractor, anyone directly or indirectly employed by them or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder.

6. CONTRACTOR'S QUALIFICATIONS

- a. The Contractor is financially solvent, able to pay its debts as they mature and possessed of sufficient working capital to complete the Work and perform its obligations under the Contract Documents in an efficient and capable manner.
- b. The Contractor can furnish the tools, materials, supplies, equipment and labor required to complete the Work and perform its obligations under the Contract Documents and has sufficient experience and competence to do so. c. The Contractor is authorized to do business in the state where the Project is located
- and is properly licensed by all necessary governmental, public and other authorities having jurisdiction over the Project. 7. OWNER'S RIGHT TO PERFORM CONSTRUCTION AND TO AWARD SEPARATE CONTRACTS
- a. The Owner reserves the right to perform construction or operations related to the Project with the Owner's own forces, and to award separate contracts in connection with other portions of the Project or other construction or operations on the site under Conditions of the Contract identical or substantially similar to these including those portions related to insurance and waiver of subrogation
- b. The Owner shall provide for coordination of the activities of the Owner's own forces and of each separate contractor with the Work of the Contractor, who shall cooperate with them. The Contractor shall participate with other separate contractors and the Owner in reviewing their construction schedules and performance requirements
- c. The Contractor shall afford the Owner and separate contractor's reasonable opportunity for introduction and storage of their materials and equipment and performance of their activities, and shall connect and coordinate the Contractor's construction and operations with theirs as required by the Contract Documents. 8. CHANGES IN THE WORK
- a. Changes in the Work may be accomplished after execution of the Contract, and without invalidating the Contract, by Change Order, Construction Change Directive or order for a minor change in the Work.
- b. Changes in the Work shall be performed under applicable provisions of the Contract Documents, and the Contractor shall proceed promptly, unless otherwise provided in the Change Order, Construction Change Directive or order for a minor change in the Work

9. PROGRESS AND COMPLETION

- a. Time limits stated in the Contract Documents are of the essence of the Contract. By executing the Agreement the Contractor confirms that the Contract Time is a reasonable period for performing the Work.
- b. The Owner will schedule furniture and equipment deliveries based on the construction schedule. The Contractor shall be responsible for all costs to the Owner for storage, double handling, re-shipping, and extended general conditions costs of delayed furniture and equipment installations due to the Contractor's not meeting schedule completion dates.

10. SUBSTANTIAL COMPLETION

- a. Substantial Completion is the stage in the progress of the Work when all required occupancy permits have been issued and the Work or designated portion thereof is sufficiently complete in accordance with the Contract Documents so that the Owner can occupy or utilize the Work for its intended use.
- b. When the Contractor considers that the Work, or a portion thereof which the Owner agrees to accept separately, is substantially complete, the Contractor shall prepare and submit to the Owner a comprehensive list of items to be completed or corrected prior to final payment. Failure to include an item on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents
- c. Upon receipt of the Contractor's list, the Owner will make an inspection to determine whether the Work or designated portion thereof is substantially nplete. If the inspection discloses any item, whether or not included on the Contractor's list, which is not sufficiently complete in accordance with the Contract Documents so that the Owner can occupy or utilize the Work or designated portion thereof for its intended use, the Contractor shall, before issuance of the Certificate of Substantial Completion, complete or correct such.
- d. Upon receipt of the Contractor's written notice that the Work is ready for final inspection and acceptance and upon receipt of a final Application for Payment, the Owner will promptly make such inspection and, when the Work is acceptable under the Contract Documents and the Contract fully performed, the Owner will promptly issue a final payment.

11. PROTECTION OF PERSONS AND PROPERTY

- a. The Contractor shall be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with the performance of the Contract.
- b. The Contractor shall take reasonable precautions for safety of, and shall provide reasonable protection to prevent damage, injury or loss to employees on the Work and other persons who may be affected thereby; the Work and materials and equipment to be incorporated therein, whether in storage on or off the site, under care, custody or control of the Contractor or the Contractor's Subcontractors or Sub-subcontractors; and other property at the site or adjacent thereto, such as trees, shrubs, lawns, walks, pavements, roadways, structures and utilities not designated for removal, relocation or replacement in the course of construction.

12. INSURANCE

- a. The Contractor shall purchase from and maintain in a company or companies lawfully authorized to do business in the appropriate jurisdiction such insurance as will protect the Contractor and the Owner from claims set forth below which may arise out of or result from the Contractor's operations and completed operations under the Contract and for which the Contractor may be legally liable, whether such operations be by the Contractor or by a Subcontractor or by anyone directly or indirectly employed by any of them, or by anyone for whose acts any of them may be liable:
- i. Claims under workers' compensation, disability benefit and other similar employee benefit acts that are applicable to the Work to be performed;
- ii. Claims for damages because of bodily injury, occupational sickness or disease, or
- death of the Contractor's employees;
- iii. Claims for damages insured by usual personal injury liability coverage; iv. Claims for damages, other than to the Work itself, because of injury to or
- destruction of tangible property;
- b. The policies and the certificates required herein shall name the Owner as additional insured and shall be subject to the approval of the Owner. The Contractor shall furnish the Owner copies of any endorsements that are subsequently issued amending coverage or limits.
- c. The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance. 13. CORRECTION OF WORK
- a. The Contractor shall promptly correct Work rejected by the Owner or failing to conform to the requirements of the Contract Documents, whether discovered before or after Substantial Completion and whether or not fabricated, installed or completed. Costs of correcting such rejected Work, the cost of uncovering and replacement, and compensation shall be at the Contractor's expense. If, within one year after the date of Substantial Completion of the Work or designated portion thereof or after the date for commencement of warranties, or by terms of an applicable special warranty required by the Contract Documents, any of the Work is found to be not in accordance with the requirements of the Contract Documents, the Contractor, at the Contractor's expense, shall correct it promptly after receipt of written notice from the Owner to do so unless the Owner has previously given the Contractor a written acceptance of such condition.
- b. If the Owner prefers to accept Work that is not in accordance with the requirements of the Contract Documents, the Owner may do so instead of requiring its removal and correction, in which case the Contract Sum will be reduced as appropriate and equitable

PART 1

Isolation Joints: Provide between slabs and vertical elements such as columns and materials

PART 1 GENERAL 1.1 QUALITY ASSURANCE

PART 2 PRODUCTS 2.1 MATERIALS

3. Grout Aggregate: ASTM C 404. Reinforcing Steel:

PART 3 EXECUTION 3.1 INSTALLATION

- Installation of Masonry Assemblies
- recommendations.
- GENERA
- 1.1 SUBMITTALS 1.3 QUALITY ASSURANCE

Masonry Accessories:

6. Bond breaker strips.

8. Cotton sash cord for weeps

SECTION 03300 CAST-IN-PLACE-CONCRETI

PART 1 GENERAL

1.1 QUALITY ASSURANCE Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

ACI 301. Specifications for structural Concrete for Buildings.

- ACI 318, Building Code Requirements for Reinforced Concrete, and CRSI Manual of Standard Practice
- Mock-Ups: Provide mock-up as required to demonstrate quality of workmanship. Floor Flatness and Levelness Tolerances:
- Subfloors under Materials Such as Concrete Toppings, Ceramic Tile, and Sand Bed Terrazzo: ACI 302.1R and ASTM E 1155. floor flatness (Ff) of 15. floor levelness

Subfloors under Materials Such As Vinyl Tile, Epoxy Toppings, Paint, and Carpet: ACI 302.1R and ASTM E 1155, floor flatness (Ff) of 20, floor levelness (Fl) of 17.

2.1 MATERIALS

PRODUCTS

PART 2

Cast-In-Place Concrete: Cast-In-Place Concrete Reinforcing and Accessories:

- a. Concrete Design Mixes: ASTM C 94, suitable for project requirements and site
- conditions, but with a minimum of 3000 PSI 28 day compressive strength Maximum slump shall be 5 in Reinforcing Bars: ASTM A 767
- d. Concrete Materials: ASTM C 150, Type I, Portland cement; potable water. e. Concrete Admixtures: Containing less than 0.1 percent chloride ions. Vapor Retarder: ASTM D 4397 polyethylene sheet, 6 mils.

PART 3 EXECUTION

- 3.1 INSTALLATION Comply with ASTM C 94. Do not change mix design without approval. Calcium
- chloride admixtures are not permitted Chamfer exposed edges/corners to provide straight lines
- Tolerance: Plus 1/8" in 10" for grade, alignment, and straightness.
- Expansion Joints: For exterior work locate 30' o.c. at approved locations. Provide smooth dowels across joint which permit 1" horizontal movement and no vertical shear movement.

structural walls.

- Control Joints: Provide sawn or tooled joints or removable insert strips; depth equal 1/4 slab thickness. Spacing as required and approved. Wall Finishes: As-cast and patched for concealed work; rubbed smooth, filled and
- cement paste coated for exposed work. Slab Finishes: Obtain sample approval before beginning work. 1. Scratch: For surfaces to receive mortar setting beds or cementitious flooring
- 2. Trowel: Hard, smooth, uniform surface for areas to receive resilient flooring,
- carpet, or other thin finish material. Broom: After trowel finishing, roughen surface by fine brooming perpendicular to traffic direction for exposed exterior walks, steps and ramp
- Exposed Aggregate: Use chemical retarder or tamp aggregate into wet concrete and expose by brushing with water. Use where indicated. Hardener Finish: For exposed interior concrete floors. Follow manufacturer's
- I. Cure and protect work. Report defective work in writing
 - SECTION 04800

MASONRY ASSEMBLIES

- Mock-Ups: Provide mock-up as required to demonstrate quality of workmanship. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

Concrete Masonry Units:

- 1. Application: Concrete masonry non-bearing partitions.
- 2. Concrete Masonry Units: ASTM C 90, 1500 f'm compressive strength: Prefaced Concrete Block: ASTM C 90, 1500 f'm compressive stren
- 4. Size: Face dimension of 7-5/8 inches high by 15-5/8 inches long by width required for application
- 5. Concrete Facing Brick: ASTM C 1634.
- 6. Special Shapes: As required by building configuration. 7. Bond Pattern: Running Bond
- 8. Integral Water Repellent: Liquid polymeric admixture.
- Mortar and Grout for Brick and Concrete Masonry Unit Assemblies: 1. Mortar Mix: ASTM C 270. Type S. for reinforced masonry, masonry below grade and masonry in contact with earth and ASTM C 270, Type N, for above-grade
- loadbearing and nonloadbearing walls and parapet walls and for interior loadbearing and nonloadbearing partitions.
- 2. Mortar Materials: Ready mixed, ASTM C 207, Type S.
- 4. Hydrated Lime: ASTM C 207, Type S.
- . Reinforcing Bars: ASTM A 615, Grade 60.
- 2. Reinforcing Wire: ASTM A 496.
- 3. Welded Wire Fabric: ASTM A 185, plain.

1. Cavity Drainage Material

- 2. Rubberized-Asphalt or EPDM Flashing with stainless steel drip edge.
- 3. Loose-Granular Fill Insulation.
- 4. Nonmetallic expansion joint strips 5. Preformed control joint gaskets.
- 7. Plastic tubing for weeps
- Open head-joint weeps.
- 1. Comply with PCA Recommended Practices for Laying Concrete Block, Brick
- Institute of America BIA Tech Notes, and NCMA TEK Bulletins. 2. Comply with cold weather and warm weather protection procedures as
- recommended in BIA Tech Notes. 3. Provide fire-rated assemblies complying with ASTM E 119.
- 4. Sawcut units when required. Maintain uniform joint width. Provide full bed head and collar joints except at weep holes.
- 5. Install lintels and accessories in masonry construction.
- 6. Coordinate installation of flashings. 7. Comply with applicable codes and regulations for spacing of ties and
- horizontal reinforcing.
- 8. Provide expansion and control joints in accordance with BIA and NCMA
- 9. Remove and replace damaged units. 10. Clan brick using bucket and brush method,
- 11. Clean concrete masonry by dry brushing,

SECTION 05120

STRUCTURAL STEEL

- Shop Drawings: Submit shop drawings indicating material characteristics, details of
- construction, connections, and relationship with adjacent construction Comply with governing codes and regulations. Provide products of acceptable
- manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.
- Architecturally Exposed Structural Steel: Comply with fabrication requirements, cluding tolerance limits, and installation tolerances of AISC's "Code of Standard Practice for Steel Buildings and Bridges" for structural steel identified as
- architecturally exposed structural steel Erection Tolerances: AISC standards.

- PART 2 PRODUCTS 2.1 MATERIALS
- A. Structural Steel:
- 1. Structural Steel Shapes, Plates, and Bars: ASTM A 572. 2. Cold-Formed Steel Tubing: ASTM A 500, Grade B.
- 3. Hot-Formed Steel Tubing: ASTM A 501.
- 4. Steel Pipe: ASTM A 53. Type E or S. Grade B: or ASTM A 501. 5. Steel Castings: ASTM A 27, Grade 65-35.
- 6. Headed Stud-Type Shear Connectors: ASTM A 108. Grade 1015 or 1020.
- 7. Anchor Bolts: ASTM A 307, nonheaded type
- Unfinished Threaded Fasteners: ASTM A 307. Grade A. 9. High-Strength Threaded Fasteners: ASTM A 325 or ASTM A 490, asapplicable.
- 10. Structural Steel Primer Paint: SSPC Paint 13, compatible with topcoats. a. Cement Grout: Portland cement, sand
- b. Nonmetallic Shrinkage-Resistant Grout: Premixed nonmetallic grouting compound, ASTM C 1107. PART 3 EXECUTION

3.1 INSTALLATION

- A. Comply with AISC codes and specifications, and with AWS "Structural Welding Check elevations and plumb and level tolerances; certify that installed work is
- within AISC Standards. Owner may engage testing/inspection agency to inspect welded and bolted connections
- Architecturally exposed steel: Fabricate with special care using materials carefully selected for best appearance. Store materials off ground and keep clean. Cut, fit and assemble work with surfaces smooth, square and with complete contact at joints. Set all cambers up. Weld all work continuously grind smooth and flush to make seams not visible after priming. Prepare surfaces to comply with SSPC-SP6; apply prime coat within 24 hours after
- cleaning. D. Touch-up field welds and abraded areas with shop primer

SECTION 06100 ROUGH CARPENTRY

PART 1 GENERAL

- 1.1 QUALITY ASSURANCE Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three
- years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions Lumber Standards and Grade Stamps: DOC PS 20, American Softwood Lumber
- Standard and inspection agency grade stamps
- Construction Panel Standards: DOC PS 1, U.S. Product Standard for Construction and Industrial Plywood; APA PRP-108.
- Wood Framing Standards: NFPA House Framing Manua 1. Exterior Wall Framing: 2 inch by 4-inch nominal (38 mm by 89 mm actual) studs, 16 inches (40 cm) on center.
- 2. Interior Wall Framing: 2 inch by 4-inch (38 mm by 89 mm actual) studs, 16 inches (40 cm) on center
- Preservative Treatment: AWPA C2 for lumber and AWPA C9 for plywood; waterborne pressure treatment. Provide for wood in contact with soil, concrete, masonry, roofing, flashing, damp proofing and waterproofing.
- Fire-Retardant Treatment: AWPA C20 for lumber and AWPA C27 for plywood: noncorrosive type. Provide at building interior where required by code.

a. Material: Asphalt-saturated organic felt, ASTM D 226, Type I, No. 15 felt,

Material: Air-retarder sheeting made from polyolefins; cross-laminated

Material: Non-corrosive, suitable for load and exposure. Drywall screws

Securely attach rough carpentry work to substrate by anchoring and fastening as

Plywood: Comply with applicable recommendations contained in APA Form No.

C. Provide nailers, blocking and grounds where required. Set work plumb, level and

D. Install materials and systems in accordance with manufacturer's instructions and

approved submittals. Install materials and systems in proper relation with

Comply with manufacturer's requirements for cutting, handling, fastening and

E30K, "APA Design/Construction Guide: Residential & Commercial"

films, woven strands, or spun-bonded fibers; coated or uncoated; with or

- PART 2 PRODUCTS
- 2.1 MATERIALS
- A. Rough Carpentry Applications: 1. Dimension Lumber
- Light Framing: Stud, No. 2 or Standard grade

a. Exposed Boards: 15 percent moisture content.

b. Concealed Boards: 19 percent moisture content.

without perforations; ASTM E 1677, Type I.

a. Material: Glass fiber strip resilient insulation.

adjacent construction. Coordinate with other work.

Restore damaged components. Protect work from damage.

SECTION 06200

INTERIOR FINISH CARPENTRY

A. Product Data: Submit manufacturer's product data and installation

A. Comply with governing codes and regulations. Provide products of

similar service for three years. Use experienced installers. Deliver,

B. Standards: Architectural Woodwork Institute (AWI) 'Architectural

2. Medium-Density Fiberboard: ANSI A208.2, Grade MD-Exterior

Mock-Ups: Provide mock-up as required to demonstrate quality of

1. Species for Opaque or painted Finish: White pine or sugar pine.

2. Species for stained finish: Knotty pine where shown on plans

A. Provide work to sizes, shapes, and profiles indicated. Install work

to comply with quality standards referenced. Back prime work and

install plumb, level and straight with tight joints; scribe work to fit.

B. Quality Standard: Install woodwork to comply with AWI standards

Install materials and systems in accordance with manufacturer's

adjacent construction. Coordinate

instructions and approved submittals. Install materials and systems

D. Comply with manufacturer's requirements for cutting, handling,

for the same grade specified for type of woodwork involved.

3. Particleboard: ANSI A208.1, Grade M-2-Exterior Glue.

4. Softwood Plywood: DOC PS 1, Medium Density Overlay

5. Hardwood Plywood and Face Veneers: HPVA HP-1.

C. Preservative Treatment: Nonpressure method, exterior type,

accordance with

acceptable manufacturers, which have been in satisfactory use in

B. Shop Drawings: Submit shop drawings indicating material

characteristics, details of construction, connections, and

Framing Anchors and Fasteners

are not acceptable.

EXECUTION

- b. Structural Framing: No. 1 grade. Species: SPF
- d. Exposed Framing: Appearance grade.

unperforated.

2. Boards:

PART 3

PART 1

1.1 SUBMITTALS

3.1 INSTALLATION

indicated.

accurately cut.

working treated materials.

GENERAL

relationship with adjacent construction.

1.3 QUALITY ASSURANCE

handle, and store materials in

manufacturer's instructions

Woodwork Standards.

PART 2 PRODUCTS

PART 3 EXECUTION

3.1 INSTALLATION

in proper relation with

with work of other sections.

fastening and working treated materials.

E. Repair minor damage, clean and protect.

2.1 MATERIALS

Glue.

instructions for each material and product used.

D. Wood Products: Comply with the following:

1. Hardboard: AHA A135.4.

workmanship of each type of finish carpentry.

A. Interior Standing and Running Trim and Rails:

3. Building Paper

4. Building Wrap:

capable of interfering with adhesion are removed from joint substrates.						
Examine substrate; report unsatisfactory conditions in writing. Beginning work means acceptance of substrates.						
Provide sealants in colors as selected from manufacturer's standards.	PA					
nstall materials and systems in accordance with manufacturer's instructions and						
approved submittals. Install materials and systems in proper relation with adjacent construction and with uniform appearance. Coordinate with work of other sections. Clean and prime joints, and install bond breakers, backer rods						
and sealant as recommended by manufacturers.	в.					
Depth shall equal width up to 1/2 inch wide; depth shall equal 1/2 width for joints over 1/2 inch wide.	5.					
For application of sealants, follow requirements of ASTM C1193 unless specified						
otherwise.	C.					
Avoid dropping or smearing compound on adjacent surfaces.						
Fill joints solidly with compound and finish compound smooth.	D.					
Cure and protect sealants as directed by manufacturers. Replace or restore damaged sealants. Clean adjacent surfaces to remove spillage.	E.					
After all equipment and wall materials have been installed, all joints to walls and bases shall be sealed with silicone sealant.						
SECTION 08110						
STEEL DOORS AND FRAMES	F.					
GENERAL	1.					
IALITY ASSURANCE	G.					
Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.						
Standards: ANSI/SDI-100, Recommended Specifications for Standard Steel Doors and Frames.						

4. Do not proceed with installation of joint sealants until contaminants

1. Fire-Rated Assemblies: NFPA 80, and acceptable testing agency listing. 2. Thermal-Rated Assemblies at Exterior: ASTM C 236 or ASTM C 976. 3. Sound-Rated Assemblies at Mechanical Rooms: ASTM E 1408, and ASTM E A.

2.1 MATERIALS A. Interior Steel Frames:

PART 2 PRODUCTS

C. Performance Standards:

PART

1.1 QL

SECTION 07210

BUILDING INSULATION

A. Comply with governing codes and regulations. Provide products of acceptable

accordance with manufacturer's instructions.

1. Application: Thermal insulation in studs in exterior walls

stapling flange for wood wall construction.

manufactured by Owens Corning or Equal.

a. Standard: ASTM C 665, Type III (foil-scrim-kraft vapor-retarder

b. Foil reinforced Kraft facing (FRK) with stapling flange for wood stud

application in attic areas (FS-25 with flame spread of 25) as

3. Sound Batt insulation with noncombustible mineral fiberglass Batts with

A. Install materials and systems in accordance with manufacturer's instructions and

approved submittals. Install materials and systems in proper relation with

thickness in one layer over entire area, tightly fitting around penetrations.

B. Pour loose insulation into cavities indicated; provide uniform coverage at

C. Install vapor retarder over entire area of inside face of exterior walls and

with duct tape to form a continuous vapor retarder free of holes.

Protect installed insulation and vapor retarder.

accordance with manufacturer's instructions.

1. Manufacturers: Dryvit, Sto or Equal

adjacent construction. Coordinate with work of other sections. Provide full

elsewhere as indicated. Seal all seams and around perimeter and penetrations

SECTION 07240

EXTERIOR INSULATION AND FINISH SYSTEMS

A. Comply with governing codes and regulations. Provide products of acceptable

Mock-Ups: Provide mock-up as required to demonstrate quality of

20 years and manufacturing facilities is certified system.

Drainage Layer: Manufacturer's standard drainage mat.

Thermal Insulation: Molded rigid cellular polystyrene [with drainage

A. Inspect substrate and report unsatisfactory conditions in writing; beginning

B. Comply with ASTM C 1397 and EIFS manufacturers written instructions for

installation of EIFS as applicable to each type of substrate indicated.

Comply with system manufacturer's instructions and recommendations;

Provide reinforced base and finish coats to provide a uniform appearance

changes of substrate and at intervals suggested by manufacturers and at

approved locations. Install areas of special patterns where indicated on

Install diverter flashing wherever water can enter the wall assembly to direct

Provide protection of installed materials from water infiltration into or behind

them. Provided protection of installed materials from dust precipitation,

SECTION 07840

FIRESTOPPING

manufacturers, which have been in satisfactory use in similar service for three

2. Applications as Applicable to Assembly: Through-penetrations, fire-resistive

3. Types as Applicable to Assembly: Endothermic and intumescent sealant

A. Review extent of work with authorities having jurisdiction and obtain approval of

B. Sequence work to avoid need for removal of firestopping by work of other trades.

C. Comply with manufacturers' instructions and recommendations. Securely anchor

sulation with safing clips. Install firestopping without gaps or voids.

SECTION 07900

JOINT SEALERS

A. Comply with governing codes and regulations. Provide products of acceptable

years. Use experienced installers. Deliver, handle, and store materials in

manufacturers, which have been in satisfactory use in similar service for three

years. Use experienced installers. Deliver, handle, and store materials in

A. Comply with governing codes and regulations. Provide products of acceptable

Completely cover all insulation board including edges. Provide soft joints at all

3. Base Coat: Portland cement and polymer adhesive.

4. Finish Coat: Integrally colored polymer emulsion.

channels]. Minimum insulation thickness 1"

Insulation Attachment: Adhesive.

work means acceptance of substrate.

dmixtures shall not be used.

drawings. Clean and protect work

freezing and continuous high humidity.

ccordance with manufacturer's instructions

1. Manufacturer: 3M Fire Protection or equal

joints, perimeter fire containment, smoke seals.

pillows, putty and wrap strips.

installation thicknesses and methods

D. Protect, inspect and repair work until final acceptance.

accordance with manufacturer's instructions

B. Field-Constructed Mock-Ups: Each joint type.

B. Exterior Joints in Horizontal Surfaces, Urethane

C. Exterior Paving Joint Fillers, Bituminous:

D. Interior Joints, Limited Movement, Acrylic:

1. Materials: Acrylic-emulsion, ASTM C 834.

1. Materials: Bituminous fiber.

E. Interior Joints, Sanitary Silicone:

F. Glazing and kitchen applications

When joint substrates are wet.

PART 3 EXECUTION

1. Materials: Self-leveling urethane sealant, ASTM C 920.

1. Materials: One-part mildew-resistant silicone sealant, ASTM C 920

A. Do not proceed with installation of joint sealants under following conditions

permitted by joint sealant manufacturer or are below 4.4 C (40 F).

1. When ambient and substrate temperature conditions are outside limits

Do not proceed with installation of joint sealants where joint widths are less

than those allowed by joint sealant manufacturer for applications indicated.

1. General Electric silicone construction 1200 sealant or equal.

A. Exterior Joints in Vertical Surfaces,

B. Fire Performance: UL 2079, ASTM E 814, and local regulations.

Do not install EIFS below grade

water to the exterior.

PART 1 GENERAL

1.1 QUALITY ASSURANCE

PART 2 PRODUCTS

A. Firestopping Systems:

PART 3 EXECUTION

3.1 INSTALLATION

PART 1 GENERAL

1.1 QUALITY ASSURANCE

PART 2 PRODUCTS

2.1 MATERIALS

2.1 MATERIALS

manufacturers, which have been in satisfactory use in similar service for three

years. Use experienced installers. Deliver, handle, and store materials in

C. Contractor shall be engaged in application of EIFS for a minimum of three years

and employ individuals who are experienced and knowledgeable in EIFS

application and demonstrate successful completion of several similar projects.

Manufacturer requirements: Member in good standing of the EIFS

industry members association and EIMA. System manufacturer for a minimum

7. Reinforcing Mesh: Standard weight with high-impact type at areas subject to

manufacturers, which have been in satisfactory use in similar service for three

Batt insulation R-19, R-13, R-11 as shown on plans. Kraft faced with

years. Use experienced installers. Deliver, handle, and store materials in

PART 1 GENERAL

1.1 QUALITY ASSURANCE

PART 2 PRODUCTS

Blanket/Batt Insulation

2. Type: Foil-faced mineral fibe

membrane).

minimum 3 ½" thickness.

correct density and thickness.

GENERAL

1.1 QUALITY ASSURANCE

workmanship.

PART 2 PRODUCTS

damage.

3.1 INSTALLATION

PART 3 EXECUTION

2. Type: EIMA Class PB.

Trim Accessories: PVC.

2.1 MATERIALS

A. EIFS:

PART 3 EXECUTION

3.1 INSTALLATION

PART 1

2.1 MATERIALS

- 1. Material: Minimum 16 gauge steel sheet. Corners: Mitered or coped.
- 3. Type: Knockdown B. Exterior Steel Frames:
- 1. Manufacturers: Material: Minimum 14 gauge galvanized steel sheet.
- 2. Corners: Mitered or coped. 3. Type: Knockdown
- Interior Preassembled Steel Doors and Frames
- 1. Material: Minimum 22 gauge steel sheet.
- 2. Door Thickness: 1-3/4 inches. 3. Door Faces: Flush.
- 4. Finish: Factory finished.

PART 3 EXECUTION

3.1 INSTALLATION

- Fabricate work to be rigid, neat and free from seams, defects, dents, warp, buckle, and exposed fasteners. Install doors and frames in compliance with SDI-100, NFPA 80, and requirements of authorities having jurisdiction.
- B. Install frames plumb, level, rigid and in true alignment in accordance with ANSI A250.11, "Recommended Erection Instructions for Steel Frames" and ANSI A115.IG, "Installation Guide for Doors and Hardware". Hardware: Prepare doors D. and frames to receive hardware on final schedule. Provide for 3 silencers on
- single doorframes: 2 on double doorframes. Shop Finish: Clean, treat and prime paint all work with rust-inhibiting primer comparable with finish paint specified in Division 9 section. Provide asphalt
- emulsion sound deadening coating on concealed frame interiors. D. Touch-up damaged coatings ready to receive finish painting. CLEARANCES
- 1. Clearance between the door and frame head and jambs for both single swing
- and pairs of doors shall be 1/8 inch (3.2 mm). 2. Clearance between the meeting edges of pairs of doors shall be 3/16 inch plus or minus 1/16 inch (5 mm plus or minus 1.6 mm). For fire rated applications, the C. clearance between the meeting edges of pairs of doors shall be 1/8 inch plus or minus 1/16 inch (3.2 mm plus or minus 1.6 mm)
- 3. Bottom clearance shall be 3/4 inch (19 mm). (Standard
- 4. The clearance between the face of the door and door stop shall be 1/16 inch to 1/8 inch (1.6 mm plus or minus 3.2 mm).. F. Adjust doors for free swing without binding.

SECTION 08210 FLUSH WOOD DOORS

- PART 1 GENERA A. Warranty: Submit manufacturers standard warranty. Include labor and
- materials to repair or replace defective materials.
- 1. Solid-Core Exterior Doors: 5 years. 2. Solid-Core Interior Doors: 2 years
- 3. Hollow-Core Interior Doors: 2 years.
- 1.2 QUALITY ASSURANCE

A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions. B. Quality Standards: [NWWDA I.S.1-A, 'Architectural Wood Flush Doors.'] [AWI's 'Architectural Woodwork Standards.']. Fire Rated Wood Doors: Meet NFPA 80 requirements.

PART 2 PRODUCTS

- 2.1 MATERIALS
- A. Interior Flush Wood Doors 1. Type: Hollow core.
- 2. Thickness: 1-3/8 inches thick.
- 3. Grade: Economy.
- 4. Frames: Metal knowckdowr
- 5. Finish Application: Site finished. PART 3 EXECUTION

3.1 INSTALLATION

A. Comply with NWMA I.S. 1A and specified quality standard B. Prefit doors to frames. Premachine doors for hardware listed on final

- schedules. Factory bevel doors Correct any deficiency that prohibits the door from swinging or operating freely. Do not remove hinge screws after initial insertion. Shims used for
- alignment purposes must be inserted between hinge and frame. Do not insert shims between hinge and door. Insure that door closers are properly adjusted and do not limit the door
- opening swing. Limit door opening swing only with a properly located stop. Replace doors that are damaged or that do not comply with requirements. Doors may be repaired or refinished if Work complies with requirements and
- shows no evidence of repair or refinishing. F. Install doors with not more than 1/8 inch clearance at top and sides, 1/4 inch at bottom. Comply with NFPA 80 for rated assemblies.

SECTION 08415 ENTRANCES AND STOREFRONTS

PART 1 GENERAL 1.1 QUALITY ASSURANCE

Adjust, clean, and protect

- A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.
- PART 2 PRODUCTS
- 2.1 MATERIALS A. Aluminum Entrances and Storefront
- 1. Aluminum Members: ASTM B 209, ASTM B 221, ASTM B 429. 2. Steel Reinforcement: ASTM A 36, ASTM A 1008, and ASTM A 1011.
- 3. Door Style: Narrow stile and rail doors.
- 4. Storefront Style: Aluminum framed. 5. Glass and Glazing: Insulating glazing, tempered
- 6. Glazing Color: Clear glass. WINDOW TINTING IS NOT ALLOWED. 7. Closers: Surface mounted.
- 8. Closer Operation: Double acting closers.
- 9. Aluminum Finish: Clear anodized. 10. Aluminum Finish: Baked enamel.

- 11. Auxiliary Materials
- Push/pulls, doorstops, overhead holders, and deadlocks. b. Weatherstripping and thresholds.
- c. Exit devices.
- PART 3 EXECUTION
- 3.1 INSTALLATION A. Take field measurements before fabrication where possible; do not delay job

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REVISION

DATE: 03.05.2020

SPECIFICATIONS

ONNECTION WITH THIS PROJECT

- progress. Install materials and systems in accordance with manufacturer's instructions and approved submittals. Install materials and systems in proper relation with adjacent construction and with uniform appearance. Coordinate with work of other sections.
- Anchor securely in place; install plumb, level and in true alignment. Isolate dissimilar materials to prevent corrosion Install components to drain water passing joints, condensation occurring within
- framing members, and moisture migrating within the system to exterior. Adjust operating entrance door hardware to function smoothly as
- ecommended by manufacture 1. For entrance doors accessible to people with disabilities, adjust closers to provide a 3-second closer sweep period for doors to move from a 70-degree
- open position to 3 inches (75 mm) from the latch, measured to the leading door Coordinate with glass and glazing work; install hardware and adjust for smooth,
- proper operation. Aluminum-framed assemblies will be considered defective if they do not pass tests and inspections
- H. Clean and protect completed system; repair damage.

SECTION 09110 NON-STRUCTURAL METAL FRAMING

PART 1 GENERAL

- 1.1 QUALITY ASSURANCE Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions
- Tolerances: Not more than 1/8 inch in 10 feet deviation from true plane, plumb, level and proper relation to adjacent surfaces in finished work.
- Fire Resistance for Fire-Rated Assemblies: ASTM E 119 Performance: Fire, structural, and seismic performance meeting requirements of building code and local authorities.
- PART 2 PRODUCTS
- 2.1 MATERIALS
- A. Steel Framing for Walls and Partitions:
- 1. Material Standard: ASTM C645. 2. Stud Thickness: 20 gauge (.0329 inch).
- 3. Stud Thickness: 25 gauge (.0179 inch).
- 4. Stud Depth, Typical: 2-1/2 inches. 5. Stud Depth, Typical: 3-5/8 inches.
- 6. Furring Channel Thickness: 25 gauge (.0179 inch).
- B. Steel Framing for Suspended and Furred Ceilings:
- 1. Material Standard: ASTM C645.
- 2. Attachment: Standard. 3. Stud Thickness: 20 gauge (.0329 inch).
- 4. Accessories: Furring channels, hangers and inserts.
- Wire Hangers: ASTM A 641/A 641M, Class 1 zinc coating, soft temper, 0.16 inch
- (4.064 mm) in diameter Non-Structural Track: Cold-Formed galvanized steel runner tracks in
- conformance with ASTM C 645 for conditions indicated below:
- Grid Suspension System for Gypsum Board Ceilings: ASTM C 645, direct-hung system composed of main beams and cross-furring members that interlock. PART 3 EXECUTION
- 3.1 INSTALLATION
- Provide fire-rated systems where indicated and where required by authorities having jurisdiction Where new partitions meet existing construction, remove existing corner beads
- to provide a smooth transition. Provide acoustical sealant at both faces at top and bottom runner tracks, wall perimeters, openings, expansion and control joints.
- Install supplementary framing, and blocking to support fixtures, equipment services, heavy trim, grab bars, toilet accessories, furnishings, or similar construction. Install tracks (runners) at floors and overhead supports. Extend framing full
- height to structural supports or substrates above suspended ceilings except where partitions are indicated to terminate at suspended ceilings. Continue framing around ducts penetrating partitions above ceiling. Fire-Resistance-Rated Partitions: Install framing to comply with
- fire-resistance-rated assembly indicated and support closures and to make partitions continuous from floor to underside of solid structure.
- Suspend hangers from building structure as follows 1. Install hangers plumb and free from contact with insulation or other objects within ceiling plenum that are not part of supporting structural or suspension
- 2. Where width of ducts and other construction within ceiling plenum produces hanger spacing that interfere with locations of hangers required to support standard suspension system members, install supplemental suspension members and hangers in the form of trapezes or equivalent devices.
- Wire Hangers: Secure by looping and wire tying, either directly to structures or to inserts, eye screws, or other devices and fasteners that are secure and appropriate for substrate, and in a manner that will not cause hangers to deteriorate or otherwise fail
- Grid Suspension Systems: Attach perimeter wall track or angle where grid suspension systems meet vertical surfaces. Mechanically join main beam and cross-furring members to each other and butt-cut to fit into wall track

SECTION 09300

PART 1 GENERAL

PRODUCTS

and recommendations.

Grout and cure, clean and protect.

Form intersections and returns accurately

Cut and drill tile neatly without marring surface.

Remove and reset tiles that are out of plane or misaligned.

finish where indicated in construction documents.

shown otherwise on construction documents.

3. In areas where floor drains occur, slope tile to drains.

(3/8 inch) wide. Finish joints flush with surface of tile.

the outer edge of the field

recommendations

defective tile.

wall recesse

Floors:

Joints:

К.

PART 2

PART 3

2.1 MATERIALS

3.1 INSTALLATION

- 1.2 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store
- naterials in accordance with manufacturer's instructions B. Each type and color of tile and grout to be provided from a single source.

Manufacturers: Application: Interior wall tile over gypsum wallboard.

See interior finish schedule for manufacturers and color specifications

- Tile: ANSI A 137.1. Tile Setting Materials: ANSI A 118 series standard specifications.
- Tile Installation: ANSI 108 series standard specifications and Tile Council of America Handbook for Ceramic Tile Installation.

Comply with Tile Council of America and ANSI Standard Specifications for Installation

for substrate and installation required. Comply with manufacturer's instructions

Install waterproof membrane in accordance with manufacturer's instructions and

Lay tile in grid pattern with alignment grids. Layout tile to provide uniform joint

Lay out tile work so that no tile less than one half full size is used. Make all cuts on

Set tile firmly in place with finish surfaces in true planes. Align tile flush with

Completed work is to be free from hollow sounding areas and loose, cracked or

1. Extend floor tile beneath casework and equipment, except those units mounted in

2. Align finish surface of new tile work flush with other and existing adjoining floor

1. Keep all joints in line, straight, level, perpendicular and of even width unless

2. Make joints 2 mm (1/16 inch) wide for glazed wall tile and mosaic tile work.

4. Make joints in paver tile, porcelain type; maximum 3 mm (1/8 inch) wide.

3. Make joints in guarry tile work not less than 6 mm (1/4 inch) nor more than 9 mm

widths and to minimize cutting; do not use less than 1/2 tile units.

adjacent tile unless shown otherwise on construction documents.

SECTION 09510 ACOUSTICAL CEILINGS

PART 1 GENERAL

- 1.1 QUALITY ASSURANCE
- A. Comply with governing codes and regulations. Provide products of acceptable manufacturers. which have been in satisfactory use in similar service for three years. Use experienced installers Deliver, handle, and store materials in accordance with manufacturer's instructions. B. Performance: Fire, structural, and seismic performance meeting requirements of building code and 2.1 MATERIALS
- local authorities. Acoustical performance based on project requirements. PART 2 PRODUCTS
- 2.1 MATERIALS
- A. Mineral Fiber Acoustical Ceilings: see finish schedule on architectural plans.
- 1. Panel Size: 24 by 24 inches.
- 2. Panel Size: 24 by 48 inches 3. Panel Edge: Square.
- 4. Suspension System: Intermediate duty 5. Auxiliary Materials:
- a. Edge molding and trim.
- b. Hold-down clips and impact clips.
- c. Concealed acoustical sealant. PART 3 EXECUTION
- 3.1 INSTALLATION
- A. Install materials and suspension systems in accordance with manufacturer's instructions and recommendations, and ASTM C 636. Coordinate installation with location of mechanical and electrical work to ensure proper locations and anchorage
- B. Level ceiling to within 1/8 inch in 10 feet in both directions. Scribe and cut panels to fit accurately. Measure and layout to avoid less than half panel units.
- Removal and reinstallation at existing ceilings: Remove and store materials for reuse when allowed. Handle with white gloves and avoid damaging corners and edges. Clean tiles and grid system, which have been removed. Provide additional materials to complete the work and to replace damaged
- existing materials. New materials shall match existing materials as approved. D. Ceiling areas shall be measured to establish layout of acoustical units to balance border widths at
- opposite edges of each ceiling. Avoid use of less-than-half width units at borders E. Grid layout shall be symmetrically laid out in each space. Coordinate work with other trades so that
- lighting fixtures, grilles and other ceiling fixtures work with grid layout. F. Support for suspension system shall be from structure above, not from ductwork, metal deck,
- equipment or piping
- Wall moldings shall be installed at the perimeter of each acoustical ceiling area and at locations where edge of units would otherwise be exposed
- H. Field cut acoustical panels as required, in accordance with manufacturers recommended procedures and equipment
- I. Adjust, clean, and touch-up all system components.

SECTION 09910

PART 1 GENERAL

1.1 QUALITY ASSURANCE

- A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers.
- Deliver, handle, and store materials in accordance with manufacturer's instructions. B. Regulations: Compliance with VOC and environmental regulations.
- PART 2 PRODUCTS
- 2.1 MATERIALS
- A. Painting:
- 1. Manufacturers: Sherwin-Williams, ProMar 200
- Application: Interior unfinished surfaces Primary Coating Type: Latex based paints.
- 4. Primary Paint Systems: Primer plus two finish coats.
- PART 3 EXECUTION
- 3.1 INSTALLATION
- A. Inspect surfaces, report unsatisfactory conditions in writing; beginning work means acceptance of B. Comply with manufacturer's instructions and recommendations for preparation, priming and
- coating work. Coordinate with work of other sections 1. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits.
- C. At existing areas to be repainted, remove blistered or peeling paint to sound substrates. Remove chalk deposits and mildew and wash all surfaces with mild detergent. Perform related minor preparation including caulk and glazing compounds. Spot prime bare areas before priming and painting as specified.
- which does not match or shows loss of adhesion. Clean up, touch up and protect work. PREPARATION - GENERAL
- 1. Do not start work until surfaces to be finished are in proper condition to produce finished surfaces of uniform, satisfactory appearance. 2. Stains and Marks: Remove completely, if possible, using materials and methods recommended
- by coating manufacturer; cover stains and marks which cannot be completely removed with isolating primer or sealer recommended by coating manufacturer to prevent bleed-through. 3. Remove Mildew, Algae, and Fungus using materials and methods recommended by coating manufacturer.
- 4. Remove or protect adjacent hardware, electrical equipment plates, mechanical grilles and louvers, lighting fixture trim, and other items not indicated to receive coatings. 5. Move or protect equipment and fixtures adjacent to surfaces indicated to receive coatings to allow application of coatings.
- 6. Protect adjacent surfaces not indicated to receive coatings. 7. Prepare surfaces in accordance with manufacturer's instructions for specified coatings and indicated materials, using only methods and materials recommended by coating manufacturer. F. SURFACE PREPARATION
- Concrete and Concrete Masonry: Clean surfaces free of loose particles, sand, efflorescence, laitance, form oil, curing compounds, and other substances which could impair coating performance or appearance.
- 2. Existing Coatings
- a. Remove surface irregularities by scraping or sanding to produce uniform substrate for coating application; apply one coat primer of type recommended by coating manufacturer for maximum coating adhesion
- b. If presence of lead in existing coatings is suspected, cease surface preparation and notify Architect immediately 3. Gypsum Board: Repair cracks, holes and other surface defects with joint compound to produce
- surface flush with adjacent surfaces. 4. Masonry Surfaces - Restored: Remove loose particles, sand, efflorescence, cleaning compounds and other substances that could impair coating performance or appearance. 5. Metals - Aluminum, Mill-Finish: Clean and etch surfaces with a phosphoric acid water solution or water based industrial cleaner. Flush with clean water and allow to dry, before applying primer
- 6. Metals Copper: Clean surfaces with pressurized steam, pressurized water, or solvent washing. 7. Metals - Ferrous, Remove rust or scale, if present, by wire brush cleaning, power tool cleaning, or sandblast cleaning; remove grease, oil, and other contaminants which could impair coating performance or appearance by solvent cleaning, with phosphoric-acid solution cleaning of welds,
- bolts and nuts; spot-prime repaired welds with specified primer. G. APPLICATION - GENERAL
- 1. Apply each coat to uniform coating thickness in accordance with manufacturer's instructions, not exceeding manufacturer's specified maximum spread rate for indicated surface; thins, brush marks, roller marks, orange-peel, or other application imperfections are not permitted 2. Allow manufacturer's specified drying time, and ensure correct coating adhesion, for each coat before applying next coat.
- 3. Inspect each coat before applying next coat; touch-up surface imperfections with coating material, feathering, and sanding if required; touch-up areas to achieve flat, uniform surface without surface defects visible from 5 feet (1.5 m). 4. Remove dust and other foreign materials from substrate immediately prior to applying each
- 5. Where paint application abuts other materials or other coating color, terminate coating with a clean sharp termination line without coating overlap.
- 6. Where color changes occur between adjoining spaces, through framed openings that are of same color as adjoining surfaces, change color at outside stop corner nearest to face of closed door. 7. Re-prepare and re-coat unsatisfactory finishes; refinish entire area to corners or other natural terminations
- H. CLEANING 1. Clean excess coating materials, and coating materials deposited on surfaces not indicated to receive coatings, as construction activities of this section progress; do not allow to dry. 2. Re-install hardware, electrical equipment plates, mechanical grilles and louvers, lighting fixture trim, and other items that have been removed to protect from contact with coatings. Reconnect equipment adjacent to surfaces indicated to receive coatings.
- 4. Relocate to original position equipment and fixtures that have been moved to allow application of coatings Remove protective materials.

A. Comply with governing codes and regulations. Provide products of acceptable manufacturers which ve been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.

FIRE PROTECTION SPECIALTIES

- Standards: UL and FM listed products, NFPA 10.
- Regulations: ADAAG.
- PART 2 PRODUCTS
- A. Fire Extinguishers:
- 1. Type: Multipurpose dry chemical type.
- PART 3 EXECUTION
- 3.1 INSTALLATION
- A. Install materials and systems in accordance with manufacturer's instructions and approved submittals. Install materials and systems in proper relation with adjacent construction and with uniform appearance. Coordinate with work of other sections
- B. Install fire extinguishers in mechanical and service areas with wall-hung brackets at locations and
- heights indicated and acceptable to authorities having jurisdiction Install fire extinguishers in cabinets in public areas plumb and level at heights acceptable to
- authorities having jurisdiction D. Restore damaged finishes. Clean and protect work from damage.

SECTION 10800 TOILET ACCESSORIES

- PART 1 GENERA
- 1.1 QUALITY ASSURANCE A. Comply with governing codes and regulations. Provide products of acceptable manufacturers. which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.
- PART 2 PRODUCTS
- 2.1 MATERIALS
- A. Toilet and Bath Accessories 1. Accessory: Paper towel dispensers
- 2. Accessory: Toilet tissue dispensers, single roll.
- 3. Accessory: Waste receptacles.
- 4. Accessory: Grab bars. 5. Accessory: Wall Mirror
- 6. Accessory: Soap dispensers, wall mounted.
- 7. Accessory: Mop and broom holders. B. ACCEPTABLE MANUFACTURERS:
- 1. Available Manufacturers: Subject to compliance with requirements, manufacturers offering toilet accessories that may be incorporated in the Work include, but are not limited to, the
- following: a. A. & J. Washroom Accessories
- b. Bobrick Washroom Equip., Inc.
- c. Bradley Corporation. d. McKinney/Parker
- MATERIALS, GENERAL

2.06 GRAB BARS

H. WALL MIRRORS:

PART 3

3.1 INSTALLATION

PART 1 GENERAL

1.1 SUMMARY

guality.

and pay all fees.

involved trades.

1.2 QUALITY ASSURANCE

drawings.

A. Materials and Workmanship:

equipment shall be U.L. or E.T.L. Listed.

applications shown on the drawings and specifications

4. Sizes as indicated.

PAPER TOWEL DISPENSER:

EXECUTION

c. Gripping Surfaces: Smooth, satin finish.

vdal-resistant with unbreakable refill window

2. Valve operates with less than 5 lbs, of force.

finish with mitered corners, welded, ground and polished smooth

with tumbler lockset. Provide pierced slots at sides as refill indicators.

3. Surface mount stainless shelf: Satin finish S.S. with brackets.

uniform appearance. Coordinate with work of other sections.

2. Float/plate glass mirror, 1/4 inch thick, plated, mirror.

in any direction, per ASTM F446.

LIQUID SOAP DISPENSER: (public)

d. Medium-Duty Size: Outside diameter of 1-1/4"

- 1. Stainless Steel: AISI Type 302/304, with polished No. 4 finish, 22 gage minimum, unless otherwise indicated.
- 2. Brass: Leaded and unleaded, flat products, ASTM B19; Rods, shapes, forgings, and flat products with finished edges, ASTM B16; castings, ASTM B 30
- 3. Sheet Steel: Cold-rolled, commercial quality ASTM A 366, 20-gage minimum, unless otherwise
- indicated. Preparation and metal pretreatment as required for applied finish. 4. Galvanized Steel Sheet: ASTM A 527, G60
- 5. Chromium Plating: Nickel and chromium electro-deposited on base metal, ASTM B456, Type 6. Baked Enamel Finish: Factory-applied, gloss white, baked acrylic enamel coating.
- 7. Mirror Glass: ASTM C 1036, Type 1, Quality q2, 1/4" thick, (0.23-inch), with silvering,
- electro-plated copper coating, and protective organic coating. 8. Galvanized Steel Mounting Devices: ASTM A 153, hot-dip galvanized after fabrication.
- 9. Fasteners: Screws, bolts, and other devices of same material as accessory unit or of galvanized
- steel where concealed
- D. SANITARY NAPKIN DISPOSALS 1. surface mounted satin stainless steel, with self-closing door and tumbler lock retention of the
- receptacle
- a. Provide Disposable Liners, (Bobrick 353-12) minimum quantity of twelve per each unit. E. TOILET TISSUE DISPENSER:
- 1. Surface mounted double roll toilet tissue holder of satin finish stainless steel, 1/8 inch wall thickness, at each water closet.

Mounting: Exposed, manufacturer's standard 1/8 inch thick flanges and vandal resistant

1. Type-304, satin finish stainless steel, 40 fl. oz. capacity. Concealed wall fastening shall be

3. Mounting: Install on concealed wall hanger and lock in place with theft-resistant screws.

1. Surface-Mounted Towel Dispensers: Fabricate of stainless steel with hinged front equipped

Install materials and systems in accordance with manufacturer's instructions and approved

submittals. Install materials and systems in proper relation with adjacent construction and with

Restore damaged finishes and test for proper operation. Clean and protect work from damage.

SECTION 15100

PLUMBING

Work shall include but not be limited to the following: Provide all labor, materials, services,

Equipment and design of systems indicated on the design drawings and within these

as indicated on the design drawings and as outlined in these specifications.

equipment and appliances required for the fabrication and installation of the plumbing system.

specifications shall be considered as "specified standard" guality. Substitutions shall be equal

The entire system and all components listed herein shall meet all state, county and local codes

All equipment, etc., shall be new unless otherwise noted, and as specified free of defects as

coordination of all involved trades to avoid interferences and delay due to lack of coordination

Obtain all permits and inspections required by law for the completions of the work. Cost of the

required permits and inspections shall be paid by the contractor. The Contractor shall obtain

and pay for all Certificates of Approval, which must be obtained prior to final acceptance of the

job. All materials and labor furnished by the Contractor shall be in strict accordance with the

rules and regulations of the state and municipality, utility companies, Florida Building Code

Plumbing- 2004, National Electric Code (NEC) and the National Fire Protection Association

a. Products and materials shall meet or exceed the guality or requirements specified or shown on the

c.Provide products and materials, which are supported by convenient, parts availability and servicing d.Workmanship shall be in all respects of the highest quality and all construction shall be done according to the best practice of the trade. All systems shall be made complete and operational in first class working order. Furnish all necessary labor and materials to construct a complete system.

b. Provide products and materials. which the manufacturer has certified as appropriate to the

No allowances will be made for rework due to coordination difficulties or interferences between

shown on the drawings and as indicated in these specifications. All electrical powered

All materials shall be fabricated and installed in a neat and professional manner with the

and ordinances in every respect. The contractor shall obtain all required permits, inspections

2. Capacity: Not less than either 300 C-fold or 400 multifold paper towels without special adapters.

b. Clearance: 1-1/2" clearance between wall surface and inside face of bar

1. Stainless Steel Type 304 satin finishes with wall thickness not less than 18 gage and as follows:

e. Lengths and shapes as indicated on the drawings, capable of supporting 250 lb. concentrated load

1. Stainless Steel Channel Frame Mirror: One piece type 304 channel frame 3/4 inch x 3/4 inch, Satin

1.2 QUALITY ASSURANCE B. Provide the owner with the following prior to final acceptance A. Provide to the owner with the following prior to final acceptance a.Parts list for each piece of equipment 1. Parts list for each piece of equipment b.One bound set of approved shop drawings. 2. One bound set of approved shop drawings. 3. One bound set of operating instructions and maintenance schedules for each piece of equipment. c. One bound set of operating instructions and maintenance schedules for each piece of equipment. 4. Copies of all warranties for each piece of equipment. d.Copies of all warranties for each piece of equipment. Guarantees and Warranties C. Guarantees and Warranties: acceptance of the building. The guarantee shall cover the repair or replacement without additional a. Guarantee all labor and material furnished for a period of one year extending from the time of final cost to the owner for any defective material or faulty workmanship. acceptance of the building. The guarantee shall cover the repair or replacement without additional cost to the owner for any defective material or faulty workmanship owner's final documents. b.Provide warranties for each piece of major equipment. Warranties shall be included with the Training Services

owner's final documents. PART 2 PRODUCTS

2.1 MATERIALS A. Access Panel:

a.Contractor shall provide hinged access doors (min. 12"x12") for valves, etc. where floors, walls and ceiling must be penetrated to access mechanical systems. Finish shall be coordinated through the architect to match surrounding finishes

B. Cleaning, Testing and Adjusting:

a. The contractor, at his expense, shall clean, repair, adjust, check, A. balance, and place in service the various systems herein specified with their respective equipment, accessories and piping. The contractor shall furnish all labor, materials, equipment, and tools required to perform tests required by these specifications and by the governing authoritie

b.No work shall be covered or concealed until properly inspected B. and tested.

c. All domestic water piping systems shall be tested for absolute C. tightness by subjecting the system to a hydrostatic pressure of 150 PSI gauge or 50 PSI over working pressure, whichever is greater for a period of not less than eight (8) hours. All leaks shall be repaired and the hydrostatic test reapplied until, for an eight (8) hour period, no leaks can be found while the system is subject to the test pressure. Soil pipe and condensate drains shall be tested by temporarily plugging all outlets and filling the system with water to the level of the highest vent stack. The system must be inspected and all leaks repaired and the test repeated until the water level does not decrease for a period of 24 hours.

C. Hangers and Supports:

a.Provide all necessary, pipe supports, hangers, rods, clamps and attachments to properly install and support piping and equipment from the building structure. b.Provide any angle iron or unistrut and suspension rods required to install equipment and

piping.

D. Water Supply Systems: a.Extend water service as indicated on design drawings. Provide shock absorbers and vacuum breakers where required.

b.Pipe and fittings:

I. Above ground - Schedule 40 CPVC.

II. Below ground - Schedule 80 CPVC.

c. Chlorination: Before being placed in service all water distribution. Systems shall be sterilized with chlorine in accordance with FPC 610.1 standard procedure for disinfecting potable water piping. d.Insulation: Insulate all hot water lines with 1" of insulation having a conductivity not

exceeding 0.27 BTU per inch. Connections to Miscellaneous Equipment:

a.Rough-in and connect water, waste, and vent to complete the installation of equipment listed on

the drawings. b.Plumbing fixtures shall be provided complete as shown on the drawings with all required

supply, waste, soil, and vent connections, together with all fittings, supports, fastening devices, cocks, valves, and traps. c. All fixtures shall have stop valves on all water connections. All exposed metal trim on all fixtures

shall be polished chromium plated. All exposed pipes extending from wall shall have chromium plated brass escutcheon mounted against wall. Exposed PVC piping and p-traps are unacceptable. d. The plumbing fixtures shall be roughed-in accordance with manufacturer's "rough-in information". Provisions for mounting wall fixtures shall be made while the wall is being built.

F. Drainage System: a.Pipe slope:

I. 2-1/2 inch diameter and less shall be installed with a fall of not less than 1/4 inch per foot. II. 3 inch diameter or larger shall be installed with a fall not less 2. Than 1/8 inch per foot.

G. Pipe and Fittings:

a.Drain, waste and vent piping for this project shall be schedule 40 PVC type DWV. b. Provide cleanouts every 75 feet, at changes in direction, at base of down spouts and at base of soil and waste stacks

PART 3 EXECUTION 3.1 INSTALLATION

- A. All locations of equipment, piping, etc. indicated on the drawings are diagrammatic and shall be followed as closely as possible to the plans, subject to building construction and interferences with other trades. All work shall be installed to ensure maximum headroom, balanced operation and suitable aesthetic appearance. Contractor is responsible for any field measurements required to provide an approved and functional installation
- Not all components required for a complete installation are shown on these drawings. Refer to equipment installation instructions, schedules and applicable codes for additional information, including required connection locations, types and sizes.
- C. Provide isolation valves and unions at all equipment and as indicated on drawings.
- D. Contractor shall be responsible for furnishing and installing adequate and proper insulation and noisture-seal in a manner that will permanently prevent the accumulation of any objectionable moisture on the exterior of condensate drain piping, or other parts of the system. The contractor shall correct the cause of any condensation and fully repair, without cost the owner, any damages to building surfaces, furnishings or equipment caused by condensation from this system, for the full period of the guarantee.
- E. Perform all work necessary to prepare the structure for the installation of the work. All holes, openings and damaged materials created during construction shall be repaired and finished by experienced workmen. Provide all roof, wall and floor penetrations required to complete installation or work (maintain fire rating of existing structure). All penetrations shall be patched and finished to match surrounding surfaces and finishes. All equipment or pipe penetrations through wall, roof and floors shall be sleeved and sealed so as to be water and air

SECTION 15000 MECHANICAL

PART 1 GENERAL 1.1 SUMMARY

drawings.

A. Materials and workmanship

- 1. Products and materials shall meet or exceed the guality or requirements specified or shown on the
- 2. Provide products and materials, which the manufacturer has certified as appropriate to the applications shown on the drawings and specifications
- 3. Provide products and materials, which are supported by convenient, parts availability and servicing. 4. Workmanship shall be in all respects of the highest quality and all construction shall be done according to the best practice of the trade. All systems shall be made complete and operational in first class working order. Furnish all necessary labor and materials to construct a complete system. 5. The HVAC contractor shall coordinate all electrical, ATC, and plumbing requirements with those subcontractors.
- B. Obtain all permits and inspections required by law for the completion of the worl 1. Cost of the required permits and inspections shall be paid by the contractor. The contractor shall obtain and pay for all certificates of approval, which must be obtained prior to final acceptance of the job. 2. All materials and labor furnished by the contractor shall be in strict accordance with the rules and
- regulations of the state and municipality, utility companies, building code 2001, national electric code (NEC) and the national fire protection association (NFPA). Provide all labor, materials, services, equipment, and appliances required for the fabrication and installation of mechanical systems including heating, ventilating, air-conditioning, and various
- systems as indicated on the design drawings and as outlined in these specifications. D. Equipment and design of systems indicated on the design drawings and within these specifications shall be considered as "specified standard" of quality. Substitutions shall be of equal quality.
- E. The entire system and all components listed herein shall meet all state, county, and local codes and ordinances in every respect. The contractor shall obtain all required permits, inspections and pay all
- F. All equipment, etc. Shall be new unless otherwise specified, free of defects as shown on the
- drawings, and as indicated in these specifications. G. All materials shall be fabricated and installed in a neat and professional manner with the
- coordination of all involve trades to avoid interferences and delay due to lack of coordination. No allowances will be made for rework due to coordination difficulties or interferences between involved trades.

- 1. Guarantee all labor and material furnished for a period of one year extending from the time of final
- 2. Provide warranties for each piece of major equipment. Warranties shall be included with the
- 1. Thoroughly instruct the owner's personnel during normal working hours on start-up and shut-down procedures, troubleshooting procedures, servicing and preventative maintenance schedules and procedures. Review with the owner's personnel the data contained in the operating and maintenance manuals. Schedule the training with the owner. Provide at least 7-days prior notice to architect/engineer.
- D. System Identification 1. Provide identification labels on or near each piece of major equipment and each operational device and disconnect. The labels shall be constructed of engraved plastic laminate sign or plastic equipment marker permanently secured to equipment. The lettering shall be a minimum of 1/2 inch high for equipment name and 3/8 inch for equipment information.

2.1 MATERIALS A. Hangers and Supports

- 1. Provide all necessary ductwork, pipe supports, hanger rods, clamps and attachments to properly support ductwork, piping and equipment from the building structure, Provide any angle iron or unistrut and suspension rods required to install equipment, piping and ductwork 2. All supports exposed to outdoors shall be cleaned, primed and painted to prevent rusting. Finish color to be selected by the owner.
- 3. The use of bailing wire or perforated metal strapping is not acceptable for supports.
- Air-Conditioning Equipment (if any new equipment is shown) 1. New units shall be air-to-air electric air as scheduled on the design drawings. Units with integral electric resistance heaters shall have a single-point electric connection. Total cooling capacity of the units shall be as scheduled on drawings. Unit cabinets shall be constructed of galvanized steel, bonderized and coated with baked enamel. Cabinet insulation shall comply with local energy code. 2. The units shall contain hermetic compressors with service valves and vibration isolation. Units shall have dual compressors and dual refrigeration circuits or capacity reduction steps where indicated
- on equipment schedule. 3. The indoor air fans shall be of the forward-curved centrifugal class 1 type. The outdoor air fans shall be of the propeller type, each directly driven by an inherently protected motor. Motor and drive to provide higher fan output when job requirements exceed standard fan capacity shall be provided. 4. Cooling system shall be protected by: loss of charge protection, high and low pressure stat, compressor motor overloads, and a timing device which will prohibit the compressor motor form being subjected to a starting current more than once every five minutes. Three phase units shall have phase-loss protection. The unit will have an ambient air compressor lockout set at 55 degrees. Controls - provide wall mounted, heat/cool on-off-auto thermostat. Smoke detectors
- shall be provided by division 16, installed by division 15 and wired by division 1 60do. Locations for smoke detectors are indicated on HVAC plans. 5. Provide air conditioning unit with sub cooling coil and gas reheat option. Air Distribution Equipment 1. Furnish supply air diffusers and return air grills as scheduled on the design drawings.
- i. Metal-aire or Prince may be substituted as an equal 2. Grills registers and diffusers shall be furnished as scheduled on the design drawings.
- D. DUCTWORK 1. Glass fiber duct board with anti-microbial treated inner lining, equal to 'tough-duct". Inner lining
- shall be sealed in accordance with the manufacturer's recommendations. Duct board shall be 1-1/2" thick, r-6. All field joints shall be sealed with glass fabric and mastic. 2. Adjustable splitters and dampers shall be installed in every split and branch duct and shall be
- provided with locking quadrants on exposed or in accessible areas of the duct for ease of operation. Elbows or changes in duct direction greater than 45 degrees shall be fitted with air turns consisting of curved airfoil blades or vanes, which will permit the air to make abrupt turns without appreciable turbulence 3. Flexible ductwork shall be acoustical low-pressure type with interior liner, metal helix, fiberglass
- insulation with an R-value of 6.0 or greater, and copolymer seamless outside sleeve. The entire flexible duct assembly shall be listed in accordance with ul-181 class i air duct material. Flexible ductwork shall meet the energy efficiency code. 4. All exhaust ductwork shall be galvanized steel.
- F. FIRE SAFETY CONTROLS 1. Install smoke detector furnished by division 16 in supply and return air ducts. Detector shall shut
- unit off when activated. VIBRATION ISOLATION
- 1. All blower units and vibrating type equipment shall be properly fitted with mason industries vibration isolation equipment sized in accordance with equipment weight and duty.
- 2. Provide flexible connectors at all supply and return connections to air conditioning equipment consisting of heavy canvas or neoprene fabric with airtight seams and connections to the
- equipment. G. AIR FILTERS

K. INSULATION

- 1. Filters shall be 2" fiberglass media 303 throwaway type in a rigid frame with a supporting maze across both entering and leaving surfaces. Supply one complete set of filters after owner's final acceptance. Farr 30/30 or equal H. ACCESS DOORS
- 1. Furnish in ductwork as indicated and wherever necessary for proper access to all instruments, controls, fire dampers motorized dampers and equipment and for convenient inspection, maintenance and replacement of same. Size to be ample for usage. Openings to be reinforced on all sides with material or ductwork in which doors are installed . Hardware - use vent lock hardware throughout. All doors to be hinged with brass pin hinges and with quick opening latches as follows:
- i. Reach-in doors to be 18" high ii. Two (2) #150 hinges w/ one #90 latch.
- 3. Access doors (hard surfaces) contractor shall provide hinged access doors (min. 12"x12") for dampers, valves, etc. Where floors, walls, and ceilings must be penetrated to access mechanical systems. Finish shall be coordinated through the architect or owner's representative to match surrounding finishes. Fire rated access doors in fire rated walls or ceilings shall bear a U.L. Label for fire rating requirement. UTILITY FANS
- . Contractor shall furnish and install centrifugal fans of size and type called for on drawings. 2. Fans shall be rated and constructed to be capable of operating at static pressures of 0.5" above DOOR AIR CURTAIN (if new equipment is show on drawings)
- . Units shall be furnished in single increments of sufficient structural strength to be supported from both ends without intermediate support. Multiple units shall not be permitted. Unit casing shall be a minimum of 18 gauge 304 stainless steel in a number three finish. 2. Galvanized fans shall be forward curved centrifugal type, double inlet design, with zinc plated hubs.
- Tangential type blowers and coupling connection shall not be permitted. Inlet screen shall be perforated stainless steel powder coated black. 3. Discharge nozzle shall be high efficiency discharge plenum, designed so that the air leaves on a 6 degree plane. Air curtain creates a positive air seal with directional air foil vane. The vane shall
- facilitate deflection of air stream ±20 degrees. Unit shall have multiple speed motor(s) to control air column down from maximum speed 4. All air curtains shall consist of a stainless steel casing, centrifugal fan, raised stainless steel inlet
- screen, discharge nozzle, motor(s) and an optional 1/2 inch re cleanable filter 5. Motors at 1/2 HP 1075 rpm each shall be heavy duty type equipped with permanently lubricated, shielded sleeve bearings of equal size at each end and double extended shafts requiring no outboard bearings.
- 1. Shall be as manufactured by Owen-Corning, Manville, Pittsburgh corning, Armstrong, or approved equal insulation sundries and adhesives shall be manufactured by Benjamin Foster, Childers, Vimasco, or approved equal.
- 2. Insulate all sheet metal ductwork except exhaust ductwork externally with 2" thick (r-6 minimum) Manville R series Microlite type-100 insulation or approved equal. Insulation to have FSK facing and UL fire hazard classification of: flames spread 25, smoke developed 50, and fuel contributed 5d. Install per energy efficiency code and manufacturer's recommendations. 3. Contractor shall be responsible for furnishing and installing adequate and proper insulation and
- 1. Condensate drains shall be tested by temporarily plugging all outlets and filling the system with water to the level of the highest vent stack. The system must be inspected and all leaks repaired
- and the test repeated until the water level does not decrease for a period of 24 hours. Adjust the air-conditioning systems, ventilating systems, fans, etc. To deliver not less than the required air guantity with guantities in excess to be subject to the approval of the engineer if found not have objectionable effects such as noise, drafts, or motor overloads.

3.1 INSTALLATION

- A. All locations of equipment, ductwork, piping, etc. Indicated on the drawings are diagrammatic and shall be followed as closely as possible to the plans subject to building construction and interferences with other trades. All work shall be installed to ensure maximum headroom balanced operation and suitable aesthetic appearance. Contractor is responsible for any field measurements required to provide an approved and functional installation.
- Not all components required for a complete installation are shown on these drawings. Refer to equipment installation instructions, schedules and applicable codes for additional information, including required connection locations, types and sizes.
- C. Contractor shall be responsible for furnishing and installing adequate and proper insulation and moisture-seal in a manner that will permanently prevent the accumulation of any objectionable moisture on the exterior of air-conditioning units, refrigerant piping, condensate drain piping. air ducts or other parts of the system. Contractor shall correct the cause of any condensation and fully repair, without cost to the owner, any damages to building surfaces, furnishings or equipment caused by condensation from this system for the full period of the guarantee.
- D. All penetrations shall be patched and finished to match surrounding surfaces and finishes. All as to be water and airtight
- Cleaning testing and adjusting: the contractor, at his expense, shall clean, repair, adjust, check, balance, and place in service the various systems herein specified with their respective
- F. No work shall be concealed until properly inspected and tested.

SECTION 16000

ELECTRICAL PART 1 GENERA 1.1 SUMMAR SERVICE INTERRUPTIONS AND UTILITY:

- IDENTIFICATION: Properly label all panel boards, distribution panel boards, signal distribution systems including feeder circuits. Provide two copies of typed panel board schedules. PERFORMANCE VERIFICATION:
- shorts, open, intentional and unintentional grounds by means of an approved type of constant "Megger
- D. LAYOUT OF WORK:
- SITE INVESTIGATION:
- F. SUPERVISION OF WORK:
- Provide a field superintendent who has a minimum of four years' experience on projects of a similar nature and size. The superintendent shall be present at all times that work under this division is being installed or affected.
- G. COORDINATION Provide all coordination and supervision where work connects to or is affected by other
- BASIS OF WIRING DESIGN:

additional cost to the owner.

construct a complete system

complete electrical system.

. NFPA no. 70 "national electric code".

ii. NECA "standard of installation."

vi. Underwriter's laboratory standards

h. Related work specified elsewhere:

CLEANING, TESTING AND ADJUSTING

construction documents.

F. GUARANTEE AND WARRANTY:

A. MATERIALS AND WORKMANSHIP

b. Raceway and conduit systems:

selected by the architect.

suspended ceilings is not be permitted.

fastened to prevent accidental removal

markers and be plainly visible.

ordinances:

B. SUBSTITUTIONS:

PRODUCTS:

PART 1 PRODUCTS

2.1 MATERIALS

WORKMANSHI

A. MATERIALS AND WORKMANSHIP

on the drawings.

1.2 QUALITY ASSURANCE

- equipment or pipe penetrations through walls, roofs and floors shall be sleeved and sealed so
- equipment, accessories and piping. He shall furnish all labor, materials, equipment, and tools required to perform tests required by these specifications and by the governing authorities.
- Coordinate with the owner the interruption of utility services necessary to accomplish the
- Prior to the final inspection test feeder and branch circuit conductors #6 AWG and larger for
- Correlate final equipment locations with governing architectural drawings. Provide coordination of all trades required for installation in a neat and workmanlike manner.
- Survey existing site conditions thoroughly before bid. Advise architect prior to bid of any discrepancies between existing site conditions and contract documents.
- trades. Locate all openings required for work performed under this section.
- The construction document design is based on specific sizes of equipment. Whereve equipment provided differs from the documents, the associated wiring and circuit components shall be changed to the proper size for the equipment being installed with no
- a. Products and materials shall meet or exceed the quality or requirements specified or shown
- b. Provide products and materials, which the manufacturer has certified as appropriate to the applications shown on the drawings and specifications.
- c. Provide products and materials, which are supported by convenient, parts availability and d. Workmanship shall be in all respects of the highest quality and all construction shall be done according to the best practice of the trade. All systems shall be made complete and
- operational in first class working order. Furnish all necessary labor and materials to e. Provide all labor, materials, equipment, fees, electrical permits and all necessary items for a
- f. Provide complete systems, regardless of whether each individual component is indicated or g. The work shall comply with the latest applicable editions of the following listed codes and
- iii. Electric utility company service standards. iv. Telephone utility company service standards.
- v. Cable TV utility company service standards.
- vii. Other local codes, ordinances and laws applicable to the place of work.
- i. Refer to the architectural, structural and mechanical divisions of the work for electrical work to be done in conjunction with these divisions ii. Verify locations and electrical requirements of all equipment furnished by the owner or
- other trades prior to installation of conduit and wire.
- Equipment and design of systems indicated on the design drawings and within the specifications are considered as "specified standards" of quality and, with dimensions of the specified materials from the basis of design.
- All materials shall be new and of the best quality, free of defects. Where applicable, all materials shall be U.L. Listed or be listed with an approved testing agency.
- All materials shall be fabricated and installed in a neat and workmanlike manner with the coordination of all trades to avoid interference and delay due to lack of coordination.
- Clean, repair, adjust, check and place in service the various systems shown on the
- Provide written guarantee to the owner stating that all work has been performed in accordance with the construction documents and warranty all work against defects due to faulty workmanship or materials for a period of one year from beneficial occupancy.
- a. Assume full responsibility for the timely placement of all conduit, outlet boxes, cabinets, and other wiring devices in walls, ceilings, etc. As the construction progresses.
- i. Surface mounted equipment and raceways will be painted under division 9. Color as ii. Size raceway as required by the national electrical code with oversized conduits as indicated. Provide complete raceway systems including conduit, supports, boxes and enclosures and all connections to electrical equipment. Conceal raceway in finished areas unless indicated otherwise. Install exposed raceway parallel or perpendicular to walls, ceiling or structural
- iii. Conduit systems shall be suspended from or affixed to the building superstructure only. iv. All raceways shall be run in a neat and workmanlike manner and shall be properly supported in accordance with the NEC with approved conduit straps, clamps, hanger rods and structural fasteners. Non-bolted conduit clamps supporting of the conduit system from
- v. Raceways for branch circuits and feeders shall have an insulated copper system ground conductor throughout the entire length of the circuit in accordance with the NEC. Grounding conductors shall be included in the total conduit fill when determining conduit
- vi. An approved nylon pull-cord shall be installed in all empty conduits. Pull cords shall be
- vii. Circuit numbers and system identification shall be printed on junction box covers using ink

- viii. Conduit shall be EMT for branch circuit wiring with set screw connectors. Unless otherwise indicated, PVC {schedule 40) shall be used below and above grade. Flexible conduit shall be used to make final connection to electrical equipment where required, liquid tight shall be used for exterior applications. MC Cable is allowed.
- WIRE AND CABLE:
- a. Branch circuit and feeder conductors shall be copper 600 volt type THHN/THWN. Conductors b. #12 AWG and smaller shall be solid. The minimum wire size shall be #12 AWG unless noted
- c. No aluminum wire will be permitted
- d. All copper taps and splices #8 AWG or smaller shall be fastened with wire nut connectors. All taps and splices larger than #8 AWG shall be made with color keyed high compression type connectors. An approved shrink sleeve to equal insulation rating of the wire shall be used to insulate splices.
- e. All power feeders and branch circuits #8 AWG and smaller shall be wired with color -coded wire as herein specified. Power feeders #8 AWG and larger shall either be color -coded with tape or paint inside all panels, junction boxes, etc. . 120/208 volt: 3 phase, 4 wire
- ii. Phase wires black, red, blue
- iii. Neutral white iv. Ground - green or green with yellow stripes
- v. Switch legs colors other than those utilized above.
- f. Where permitted by code approved cable assemblies may be used for concealed branch circuit wiring only.
- C. OUTLET BOXES:
- a. Fixtures to be used, and number and size of conductors. Minimum 4"x4" square with required rings. Welded boxes are allowed. Provide outlet boxes for all power and communication devices
- b. Ceiling boxes shall be 4" square by 1-1/2" deep or larger as required for number and size of c. Flush outlet boxes shall be one piece steel outlet boxes. Boxes shall be mounted so that
- covers and plates will finish flush with finished surfaces without the use of shims, mats, or other devices. Plates shall not support wiring devices. Gang switches with common cover plates where two or more are indicated in the same location. Outlets on each side of the wall shall have separate boxes, through-wall type boxes or back-to-back mounting shall not be permitted. Trim rings shall be extended to within 1/4" of finish wall surface.
- d. Support outlet boxes mounted in stud walls with two screws inside of outlet box to a horizontal stud brace between vertical studs.
- e. Outlet boxes that do not receive wiring devices shall be provided with blank plates to match installed wiring device plates.
- f. Outlet boxes/conduit bodies exposed to the weather, not contained inside building walls, shall be type malleable iron. Covers shall be of the type and of the same manufacturer as the conduit bodies and shall be suitable for the use in the area served. Cast aluminum boxes will not be approved.
- g. Locate special purpose outlets as indicated on the drawings for the equipment served. h. Location and type of outlets shall be coordinated with the appropriate trades involved. The securing of complete information for proper electrical rough-in shall be included as work required under this division of the contract.
- WIRING DEVICES:
- a. Duplex convenience outlets NEMA 5-20r Hubbell #5362. b. Duplex convenience outlets - GFI type NEMA 5-20r, Hubbell # gf5362.
- c. Switches 20a
- i. Single poll Hubbell #1221 ii. Double pole - Hubbell #1222
- iii. Three pole Hubbell #1223
- iv. Four pole Hubbell #1224
- d. Equal devices by cooper or P&S may be provided e. Motor starting switch
- i. Square d class 2510 type FGIP surface mounted or equal by cutler hammer or GE
- f. Color of wiring devices shall be ivory unless otherwise indicated or directed.
- g. Other devices, specification grade, type and NEMA configuration as indicated. Communications outlets - as indicated.
- i. Provide panel boards as scheduled on the drawings or equals as manufactured by Cutler Hammer, Square D or Siemens. Short circuit rating shall be as listed on the panel schedules
- Ground the electrical system as indicated and, as a minimum, in accordance with article 250 of the national electrical code and all local requirements.
- F. Make final connections to all electrical equipment furnished and/or set in place by others G. Furnish and install equipment disconnects as indicated or required. Switches shall be sized to
- suit the actual equipment being served. Connect motor starters, relays, switches, and related items furnished under other division
- Ductwork takes precedence over electrical conduit. Coordinate conduit runs to allow ductwork to be installed as drawn. Light fixtures take precedence over ductwork.
- All interior lights shall be controlled from wall switches. Lights shall not be switched from panels unless otherwise indicated.
- K. All enclosures shall be of the NEMA type which is suitable for the application.
- All work shall have proper labeling. All circuits shall be labeled at panels and boxes indicated. All panels and disconnects are to be permanently marked with name or equipment served utilizing engraved nameplates, laminated phenolic black with white letters, 3/8" high minimum. All panels are to be provided with type written panel schedules.
- M. All circuit breakers serving air conditioning and refrigeration equipment shall be HACR rated.
- N. Provide and install conduit and junction boxes for interior lighting as indicated and/or required O. Disconnect switches shall be rated normal duty, fully enclosed with dual cover locks,
- P. Quick -make/ quick -break mechanisms and dual horsepower rated. Provide NEMA-3r
- enclosures in exterior or damp locations and nema-4x enclosures in wet locations. Q. Lighting fixtures, lamps, mounting hardware. a. Provide lighting fixtures, lamps, mounting hardware, etc. as required for complete
- installation. b. Provide all necessary mounting hardware and install fixtures as shown on the drawings and per the manufacturer's recommended installation instructions. Fixtures shall be firmly mounted using standard supports for outlets and fixtures.
- c. Lamps shall have a 30 day guarantee

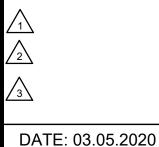


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SPECIFICATIONS

