

Drawing File: H:\2020\CB\Carolinatlakes\Poolhouse CBI-2NOV.dwg
 Plotted by: JENKINS CONSULTING ENGINEERS, PA
 Plotted Date: Nov 02, 2020 - 6:41pm

SHEET INDEX:

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PROJECT NAME:

RENOVATIONS for Carolina Lakes Pool House

91 Club House Drive
Sanford, North Carolina 27332

BUILDING DATA:
THE PROJECT IS TO RENOVATE AN EXISTING SINGLE STORY POOL HOUSE.

BUILDING DEPARTMENT:

HARNETT COUNTY
INSPECTION DEPARTMENT
433 Hay Street
Lillington, NC 27546
Phone - 910-893-7525

PROJECT DESIGNER:

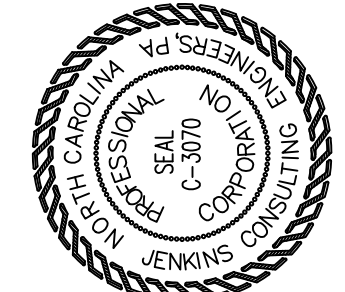
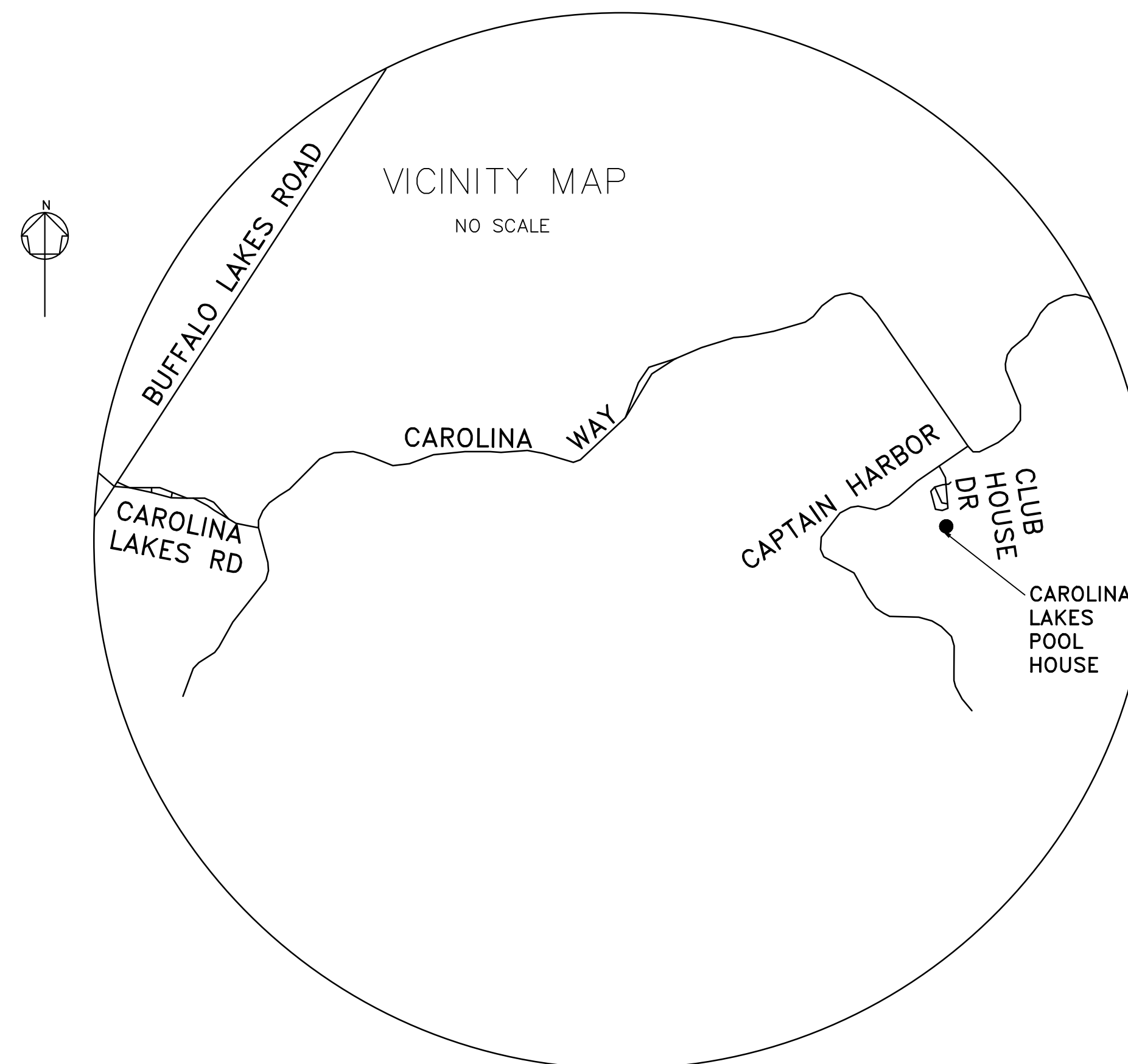
JENKINS CONSULTING ENGINEERS, PA
OFFICE in EUREKA SPRINGS, NC
1582 MCARTHUR ROAD
FAYETTEVILLE, NC 28311-1002
910-822-1724

CODE REVIEW:

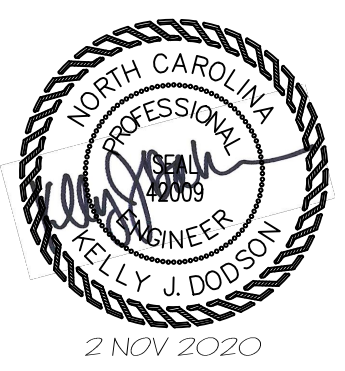
APPLICABLE CODES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- NORTH CAROLINA STATE BUILDING CODE: BUILDING CODE 2018
 - NORTH CAROLINA STATE BUILDING CODE: PLUMBING CODE 2018
 - NORTH CAROLINA STATE BUILDING CODE: MECHANICAL CODE 2018
 - NORTH CAROLINA STATE BUILDING CODE: ELECTRICAL CODE 2018
 - 2009 STANDARD & COMMENTARY ICC/ANSI A117.1-2009 on ACCESSIBILITY
 - NORTH CAROLINA STATE BUILDING CODE: ENERGY CONSERVATION CODE 2018
 - NORTH CAROLINA STATE BUILDING CODE: FIRE PREVENTION CODE 2018
 - NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE 2018
 - THE 2018 EDITION OF THE LIFE SAFETY CODE NFPA 101
- NORTH CAROLINA STATE BUILDING CODE: EXISTING BUILDING CODE 2018

VICINITY PLAN:



JENKINS
CONSULTING ENGINEERS, PA
OFFICE in EUREKA SPRINGS, NORTH CAROLINA
CORPORATION NUMBER C-3070
910.822.1724



DESIGNED/CHECKED BY:
K. DODSON
DRAWN BY:
TA
SCE PROJECT#: 2020-06-11
DATE: 2 NOV 2020

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION
 OWNER/TENANT:
CAROLINA LAKES
SANFORD, NC
 CONTRACTOR/BUILDER:
COMMERCIAL BUILDING, INC.
2018 FT. BRAGG ROAD, FAYETTEVILLE, NC

PROJECT: CAROLINA LAKES POOL HOUSE
91 CLUBHOUSE DRIVE, SANFORD, NC 27332
SHEET: COVER SHEET & INDEX TO DRAWINGS

CS

2018 NORTH CAROLINA BUILDING CODE SUMMARY: APPENDIX B

Name of Project: RENOVATION FOR CAROLINA LAKES COMMUNITY POOL HOUSE REID: ##
 Address: 91 CLUB HOUSE DRIVE, SANFORD, NC Zip Code: 27332
 Proposed Use: POOL HOUSE
 Owner or Authorized Agent: CAROLINA LAKES COMMUNITY Phone: E-Mail: XXXX
 Owned By: CAROLINA LAKES COMMUNITY City/County Private State
 Code Enforcement Jurisdiction: City County HARNETT State NORTH CAROLINA

CONTACT: KELLY J. DODSON

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	N/A	N/A	N/A	N/A	N/A
Civil	N/A	N/A	N/A	N/A	N/A
Electrical	JCE	KELLY J. DODSON	NC-PE 42009	(910) 822-1724	kellyd@jenkinsco.pro
Fire Alarm	N/A	N/A	N/A	N/A	N/A
Plumbing	JCE	KELLY J. DODSON	NC PE 42009	(910) 822-1724	kellyd@jenkinsco.pro
Mechanical	N/A	N/A	N/A	N/A	N/A
Sprinkler-Standpipe	N/A	N/A	N/A	N/A	N/A
Structural	-	-	-	-	-
INTERIOR WALLS					
Retaining Walls >5' High	N/A	N/A	N/A	N/A	N/A
Building	JCE	KELLY J. DODSON	NC PE 42009	(910) 822-1724	kellyd@jenkinsco.pro
Electrical Service					

2018 NORTH CAROLINA BUILDING CODE: New Building Shell / Core First Time Interior Completions
 Addition Phased Construction - Shell Core

2018 NORTH CAROLINA EXISTING BUILDING CODE: Prescriptive Alteration Level I Historic Property
 (check all that apply) Repair Alteration Level II Change of Use
 Chapter 14 Alteration Level III

CONSTRUCTED: (date) 19-- CURRENT USE (S) (Ch. 3): N/A
 RENOVATED: (date) PROPOSED USE (S) (Ch. 3): POOL HOUSE
 OCCUPANCY RISK CATEGORY (Table 1604.5): Current: Proposed:

BASIC BUILDING DATA

Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B

Sprinklers: No Partial NFPA 13 NFPA 13R NFPA 13D

Standpipes: No Class I II III Wet Dry

Primary Fire District: No Yes (APPENDIX D) Flood Hazard Area: No Yes

Special Inspections Required: No Yes

GROSS BUILDING AREA TABLE

FLOOR	EXISTING (sq ft)	NEW (sq ft)	SUBTOTAL
BUILDING AREA	617		617
TOTAL	617		617

ALLOWABLE AREA

Primary Occupancy Classification(s):
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory F-1 Moderate F-2 Low
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 I-2 I-3
 I-1 Condition 1 2
 I-2 Condition 1 2
 I-3 Condition 1 2 3 4 5
 Mercantile
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous

Accessory Occupancy Classification(s): NONE

Incidental Uses (Table 509): NONE

This separation is not exempt as a Non-separated Use (see exceptions).

Special Uses (Chapter 4): 402 403 404 405 406 407 408 409 410 411 412 413
 414 415 416 417 418 419 420 421 422 423 424 425
 426 427 428 429 430

Special Provisions (Chapter 5): 510.2 510.3 510.4 510.5 510.6 510.7 510.8 510.9

Mixed Occupancy: No Yes Separation: Hr. Exception:

Non-separated Use (508.3)
 Separated Use (508.4) -- See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area of each use shall not exceed 1.

Separated Use Formula 508.4.2: $\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$

_____ + _____ = _____ ≤ 1.00

STORY NUMBER	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE 1.5	(D) ALLOWABLE AREA PER STORY OR UNLIMITED 2-3
1	POOL HOUSE	617	9,000	N/A	9,000

1 Frontage area increases from Section 506.3 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
 b. Total Building Perimeter = (P)
 c. Ratio (F/P) = (F/P)
 d. W = Minimum width (weighted average) of public way = (W) where $W = (L_1 X W_1 + L_2 X W_2) / F$ (Equation 5-4)
 e. Percent of frontage increase = $1 / [(F/P) - 0.25] X W / 30 =$ (X) (Equation 5-5)

FRONTAGE INCREASE WORKSHEET FOR CALCULATIONS:

EXTERIOR WALL	(F) OPEN LENGTH (feet)	(P) TOTAL LENGTH (feet)	(W) (weighted average) WIDTH OF PUBLIC WAY OR OPEN SPACE (feet)	(X) FROM CALC. ABOVE	(B) FROM TABLE ABOVE	AREA INCREASE FOR COLUMN (C) ABOVE (% * TABLE AREA)
North						
South						
East						
West						
TOTAL	75	100	25	42	23,500	(.42*23,500 = 9,870)

2 Unlimited area applicable under conditions of Sections 507
 3 Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (Section 506.2).
 4 The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1
 5 Frontage increase is based on the unsprinklered area value in Table 506.2.

BUILDING CODE SUMMARY (continued)

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	40	18'	-
Building Height in Stories (Table 504.4)	1	1	-

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (feet)	RATING ** (TABLE 601)		DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED ASSEMBLY	SHEET # FOR RATED JOINTS
		REQ'D	PROVIDED (W/REDUCTION)				
Structural Frame, including columns, girders, trusses							
Bearing Walls							
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing walls and partitions							
Exterior walls							
North							
East							
West							
South							
Interior Non-Bearing Walls							
Floor construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof construction including supporting beams and joists							
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy / Fire Barrier Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
OWNER/Dwelling Unit/Sleeping Unit Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

EXTERIOR WALL	FIRE SEPARATION DISTANCE (feet) FROM PROPERTY LINE	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
North				
South				
East				
West				

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Yes No
 Exit Signs: Yes No
 Fire Alarm: Yes No
 Smoke Detection Systems: Yes No Partial Duct Detectors
 Carbon Monoxide Detection: Yes No
 Life Safety Systems Generator: Yes No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: LSI

Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances [1006.2.1 & 1006.3.2(1)]
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (903)
 The square footage of each smoke compartment for Occupancy Classification I-II (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
NONE REQUIRED							

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES	REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
				REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	96" ACCESS AISLE	
EXISTING							
PARKING IS UNCHANGED							
NEW							
TOTAL							

BUILDING CODE SUMMARY (continued)

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	WATER CLOSETS			URINALS			LAVATORIES			SHOWERS/TUBS		DRINKING FOUNTAINS		SERVICE SINK	
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE		
INSTALL NEW FIXTURES	0	0	2	0	0	0	2	0	1	1	1	1	0		
TOTAL	0	0	2	0	0	0	2	0	1	1	1	1	0		

SPECIAL APPROVALS:

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS: NOT REQUIRED

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: (If checked, the remainder of this section is not applicable.)

Exempt Building: Provide code or statutory reference: _____

Climate Zone: 3A 4A 5A

Method of Compliance: _____
 Energy Code: Performance Prescriptive
 ASHRAE 90.1: Performance Prescriptive
 Other: Performance (specify source) _____ Value of total assembly: _____

THERMAL ENVELOPE: (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Skylights in each assembly: _____
 U-Value of skylight: _____
 Total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Openings (windows or doors with glazing)
 U-Value of assembly: _____
 Solar heat gain coefficient: _____
 Projection factor: _____
 Door R-Values: _____

Walls below grade (each assembly)
 Description of assembly: NONE
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors over unconditioned space (each assembly)
 Description of assembly: NONE
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors slab on grade
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirement: _____
 slab heated: _____

MECHANICAL SUMMARY (SEE DRAWING SHEET _____)

ELECTRICAL SUMMARY (SEE DRAWING SHEET _____)

HARNETT COUNTY
 BUILDING CODE SUMMARY
 for:
 Interior Renovation for
 Carolina Lakes Community Pool House
 91 CLUB HOUSE DRIVE
 SANFORD, NC 27332

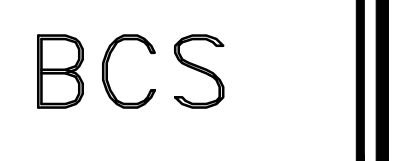


JENKINS
 CONSULTING ENGINEERS, PA
 OFFICE: 1000 E. BUREAU SPRINGS, NORTH CAROLINA
 CORPORATION NUMBER C-3070
 BARBERSHIP NUMBER C-3070
 CORPORATION NUMBER C-3070
 910.822.4445



DESIGNED/CHECKED BY: K. DODSON
 DRAWN BY: TA
 PROJECT#: 2020-06-11
 DATE: 2 NOV 2020
 OWNER/TENANT: CAROLINA LAKES SANFORD, NC
 CONTRACTOR/BUILDER: COMMERCIAL BUILDING, INC.
 2018 FT. BRAGG ROAD, FAYETTEVILLE, NC

PROJECT: CAROLINA LAKES POOL HOUSE
 91 CLUBHOUSE DRIVE, SANFORD, NC 27332
 SHEET: BUILDING CODE SUMMARY



1/4" = 1'-0"
 1/2" = 1'-0"
 3/4" = 1'-0"
 1" = 1'-0"
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 20" = 1'-0"

1'-4"
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8"
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5'-4"
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16"
4"
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SCALE: 1/8" = 1'-0"
SCALE: 1/4" = 1'-0"
SCALE: 3/16" = 1'-0"
SCALE: 1/2" = 1'-0"
SCALE: 1/4" = 1'-0"
SCALE: 1/2" = 1'-0"
SCALE: 3/16" = 1'-0"
SCALE: 1/8" = 1'-0"

BUSINESS OCCUPANCY: COMMUNITY POOL HOUSE

GROSS SQUARE FOOTAGE OF BUILDING IS 552 SQ. FT.

TYPE OF CONSTRUCTION: V-B
SPACE IS TO BE USED AS A COMMUNITY POOL HOUSE
APPROXIMATELY 552 NET SQUARE FEET OF USABLE SPACE

OCCUPANT LOAD FOR CALCULATING EGRESS CAPACITY:
SPACE OCCUPANCY BY NET SF = (PER 1004.1.1)
(SEE TABLE ON THIS SHEET FOR INDIVIDUAL ROOMS TOTALS)
TOTAL OCCUPANT LOAD BY AREAS = 8 PERSONS

GREATEST TRAVEL DISTANCE SHOWN: 34 FEET. (PER 1016)
MAXIMUM ALLOWABLE TRAVEL DISTANCE: 200 FEET (PER TABLE 1017.2.)
THE COMMON PATH OF TRAVEL IS LESS THAN 100 FEET. (PER 1028.1)
THERE ARE NO DEAD END CORRIDORS OVER 20 FEET. (PER 1020.4)
CORRIDORS ARE NOT RATED PER TABLE 1018.1 (FOOTNOTE "f.")
EXIT WIDTH CALCULATIONS:
8 PERSONS * 0.2"/OCCUPANT = 1.6" REQUIRED, 34" PROVIDED. (PER 1006.1)
MIN. NO. OF EXITS REQUIRED: ONE (1) (PER TABLES 1006.3.2)
NUMBER OF EXITS PROVIDED: ONE (1) ADA ACCESSIBLE

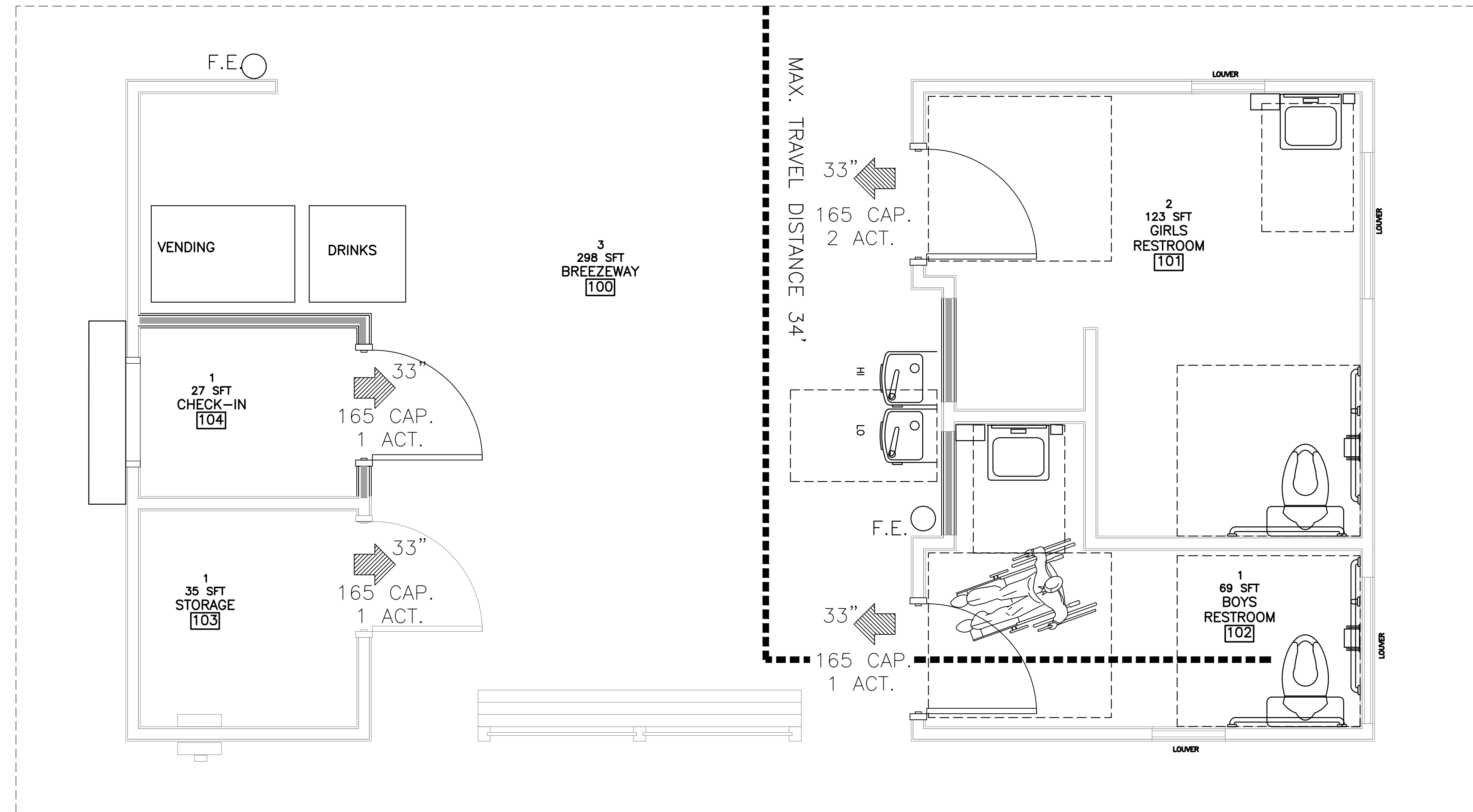
EGRESS DOORS DO NOT REQUIRE PANIC HARDWARE. (PER 1010.1.10)
DOORS DO NOT HAVE DELAYED EGRESS LOCKS (PER 1010.1.9.7)
DOORS DO NOT HAVE ELECTROMAGNETIC EGRESS LOCKS (PER 1010.1.9.8)
DOORS DO NOT HAVE HOLD OPEN DEVICES.
THERE ARE NO EMERGENCY ESCAPE WINDOWS (PER 1030)
THE FIRE AREA SQUARE FOOTAGE IS 709 SQUARE FEET (PER 901.7)
THERE ARE NO SLEEPING AREAS (SMOKE COMPARTMENTS) (PER 407.2)
EGRESS ILLUMINATION PROVIDED AT EACH EXIT (PER 1025)
THIS SPACE IS NOT PROTECTED BY FIRE SPRINKLERS
NO. OF FIRE EXTINGUISHERS PROVIDED: 2 TOTAL
THERE IS NOT A FIRE ALARM SYSTEM.

OCCUPANCY CLASSIFICATION per TABLE 1004.1.1					
ROOM NUMBER	ROOM NAME	OCCUPANCY FUNCTION TYPE	OCCUPANT AREA	ROOM AREA	OCCUPANT TOTAL
101	BREEZEWAY	BUSINESS	100	298	3
102	GIRLS RESTROOM	BUSINESS	300	123	2
103	BOYS RESTROOM	BUSINESS	100	69	1
104	STORAGE	STORAGE	300	35	1
105	CHECK-IN	BUSINESS	100	27	1
TOTAL OCCUPANT COUNT FOR EGRESS CAPACITY				552 NET	8

LEGEND

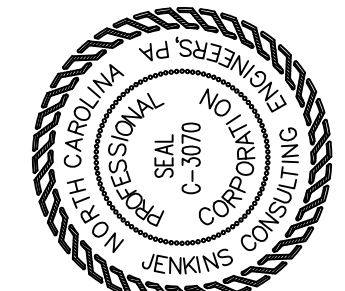
SYMBOL	DESCRIPTION
F.E. ○	ABC FIRE EXTINGUISHER SUGGESTED LOCATION
— — — — —	EXIT ROUTE
33"	GREATEST TRAVEL DISTANCE
165 CAP. 22 ACTUAL.	EXIT WIDTH, 36" - 3 = 33" CLEAR WIDTH. EXIT CAPACITY (NUMBER OF PERSONS) ACTUAL OCCUPANT LOAD FOR EXIT DOOR
↔	EGRESS LIGHTING & EXIT SIGN WITH BATTERY BACKUP AND REMOTE HEADS (SEE ELECTRICAL LIGHTING PLAN)
⬇	EMERGENCY EGRESS LIGHTING (SEE ELECTRICAL LIGHTING PLAN)
36"	aisle width where shown
EXIT	EXIT SIGN

OCCUPANT TOTAL: 62
ROOM NAME: **RETAIL**
ROOM NUMBER: 1
FUNCTION TYPE: MERCANTILE
SPACE AREA: 30 SF

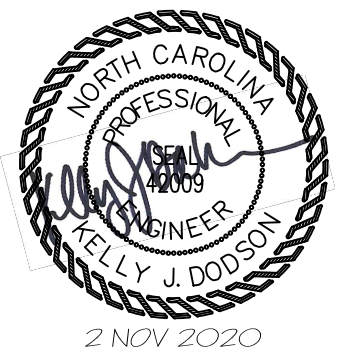


1 EGRESS PLAN
LS-1 1/2" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



JENKINS
CONSULTING ENGINEERS, PA
OFFICE: 100 EUREKA SPRINGS, NORTH CAROLINA 27834
CORPORATION NUMBER C-3070
910.822.1724
FAX 910.822.4845

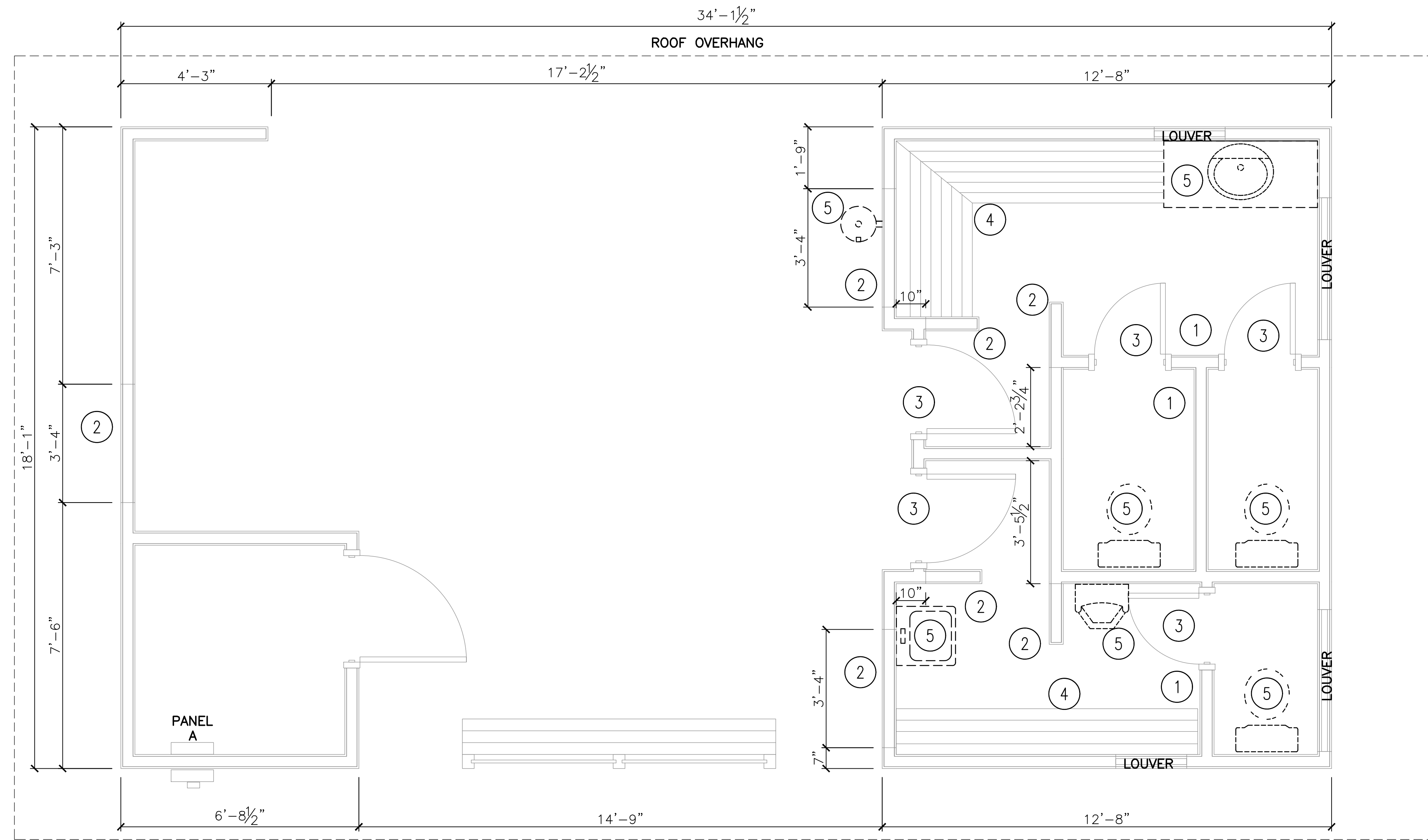


DESIGNED/CHECKED BY: **K. DODSON**
DRAWN BY: **TA**
PROJECT#: **2020-06-11**
DATE: **2 NOV 2020**

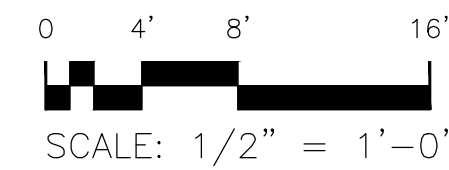
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PRELIMINARY [] TOP/DESIGN DEVELOPMENT ONLY
FINAL DRAWING [x] FOR CONSTRUCTION
OWNER/TENANT: **CAROLINA LAKES SANFORD, NC**
CONTRACTOR/BUILDER: **COMMERCIAL BUILDING, INC.**
2018 FT. BRAGG ROAD, FAYETTEVILLE, NC

PROJECT: **CAROLINA LAKES POOL HOUSE**
91 CLUBHOUSE DRIVE, SANFORD, NC 27332
SHEET: **LIFE SAFETY - EGRESS PLAN**

LS-1



1 EXISTING/DEMO FIRST FLOOR PLAN
 G1 1/2" = 1'-0"

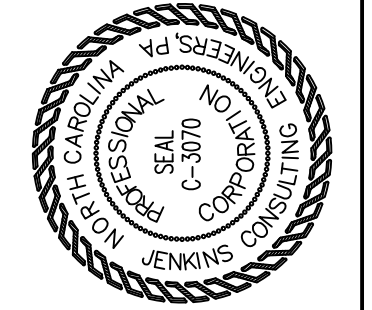


EXISTING FLOOR DEMOLITION KEYED NOTES:

- ① DEMO EXISTING WALL
- ② DEMO PART OF WALL AS DIMENSIONED/SHOWN
- ③ DEMO EXISTING DOOR, FRAME AND HARDWARE
- ④ DEMO EXISTING BENCHED SEATING
- ⑤ DEMO EXISTING TOILETS, SINKS, URINAL AND COUNTERS
- ⑥ EXISTING WINDOWS TO REMAIN
- ⑦ EXISTING DOORS TO REMAIN
- ⑧ EXISTING SECOND FLOOR FRAMING TO REMAIN
- ⑨ EXISTING MASONRY STEPS TO REMAIN

GENERAL DEMOLITION NOTES

1. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY NOT SHOW ALL OF THE DETAILS, MATERIALS AND METHODS REQUIRED. THE DRAWING PACKAGE AS A WHOLE SHOULD BE USED TO RENOVATE THE POOL HOUSE AS DESCRIBED. THERE ARE NO TECHNICAL SPECIFICATIONS INCLUDED IN THESE CONSTRUCTION DOCUMENTS.
2. DEMOLITION OF WALLS SHALL BE FROM FINISHED FLOOR TO UNDERSIDE OF ROOF.
3. DEMOLITION OF PARTIAL WALLS SHALL BE COORDINATED WITH NEW OPENING REQUIREMENTS, INCLUDING DOORS.
5. DIMENSIONS ARE TO FINISHED FACE OF FINISHED WALL UNLESS OTHERWISE NOTED.
6. DEMOLITION OF PLUMBING FIXTURES TO BE COORDINATED WITH NEW PLUMBING FIXTURE REQUIREMENTS, INCLUDING SALVAGING EXISTING PLUMBING SUPPLY LINES AND WASTE LINES.
7. ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE REMOVED FROM THE SITE UPON COMPLETION. THE CONTRACTOR SHALL PROVIDE CLEANING SERVICES FOR THE SPACE AND DELIVER THE PROJECT COMPLETED.
8. CONSTRUCTION TO COMPLY WITH ALL STATE AND LOCAL CODES.



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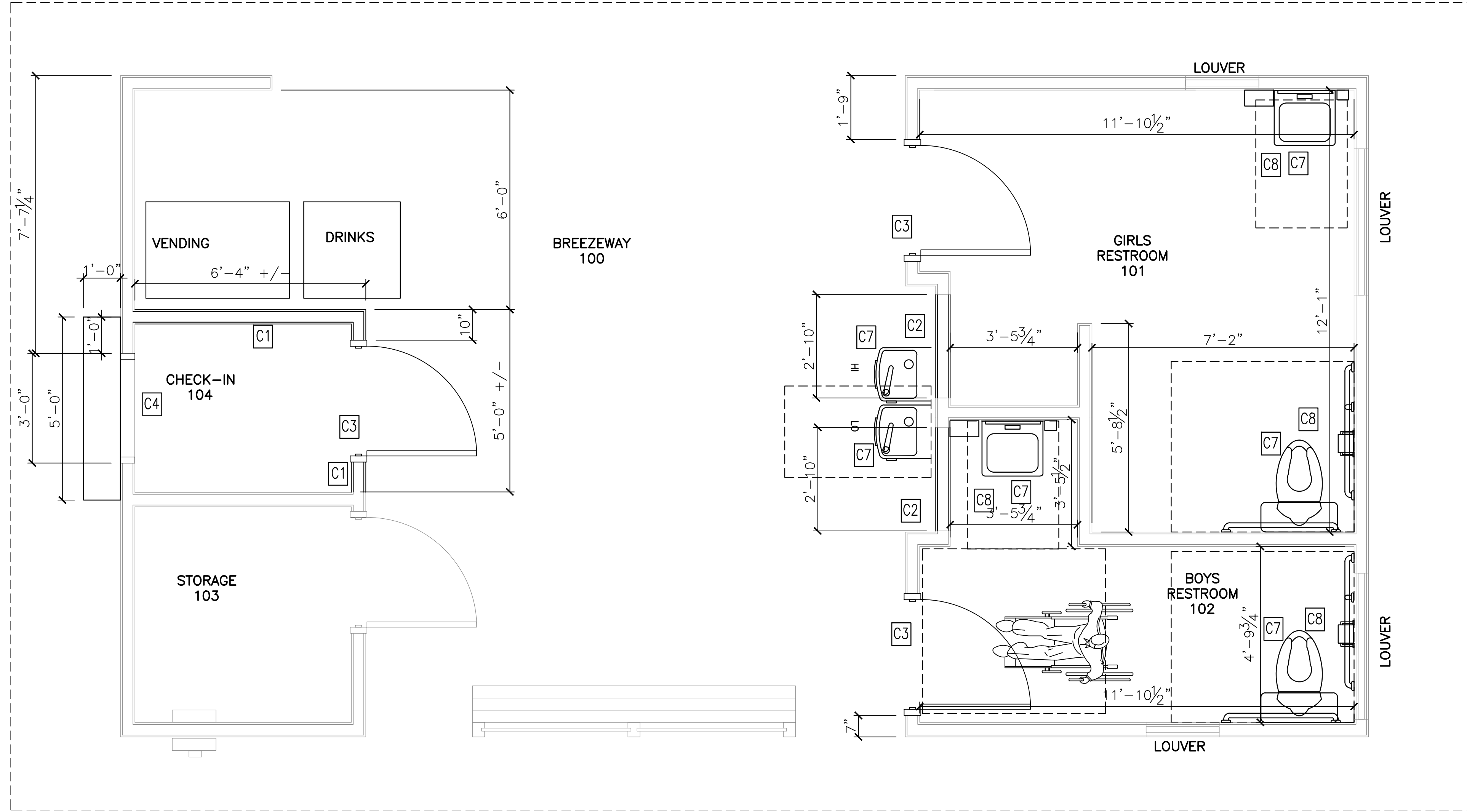
DESIGNED/CHECKED BY: **K. DODSON**
 DRAWN BY: **TA**
 DATE: **2 NOV 2020**
 PROJECT#: **2020-06-11**

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 OWNER/TENANT: **CAROLINA LAKES SANFORD, NC**
 CONTRACTOR/BUILDER: **COMMERCIAL BUILDING, INC.**
 2018 FT. BRAGG ROAD, FAYETTEVILLE, NC

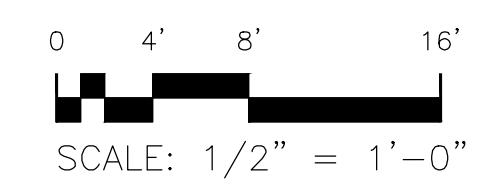
PROJECT: **CAROLINA LAKES POOL HOUSE**
 91 CLUBHOUSE DRIVE, SANFORD, NC 27332

SHEET: **EXISTING FLOOR PLAN**

G1



1 FIRST FLOOR PLAN
 G2 1/2" = 1'-0"

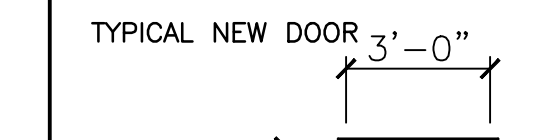


NEW FLOOR CONSTRUCTION KEYED NOTES:

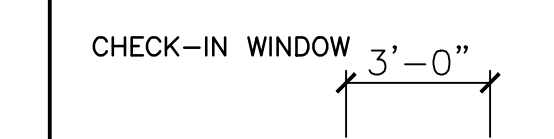
- C1 INSTALL NEW WALL. MATCH ADJACENT WALL CONSTRUCTION
- C2 INSTALL NEW PARTIAL WALL. MATCH ADJACENT WALL CONSTRUCTION
- C3 INSTALL NEW DOOR, FRAME AND HARDWARE
- C4 INSTALL PASS THROUGH OPENING WITH COUNTER
- C5 NOT USED
- C6 NOT USED
- C7 INSTALL PLUMBING FIXTURES
- C8 INSTALL NEW TOILET ACCESSORIES

GENERAL RENOVATION NOTES

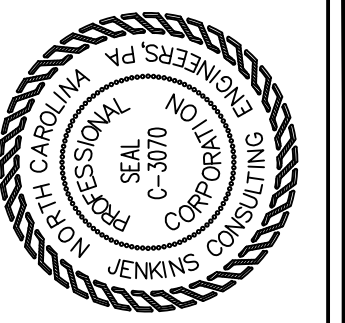
1. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY NOT SHOW ALL OF THE DETAILS, MATERIALS AND METHODS REQUIRED. THE DRAWING PACKAGE AS A WHOLE SHOULD BE USED TO RENOVATE THE TENANT SPACE AS DESCRIBED. THERE ARE NO TECHNICAL SPECIFICATIONS INCLUDED IN THESE CONSTRUCTION DOCUMENTS.
2. ALL NEW CONSTRUCTION MATERIALS SHALL MATCH THE MATERIALS OF THE ORIGINAL BUILDING CONSTRUCTION. ALL NEW WORKMANSHIP SHALL MATCH THE ORIGINAL.
3. DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL COORDINATE ALL WORK AND ADJUST TO THE ACTUAL CONDITIONS ENCOUNTERED IN THE FIELD. COORDINATION OF WORK BETWEEN THE VARIOUS TRADES IS ALSO REQUIRED. THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
5. THE CONTRACTOR SHALL COORDINATE WORK, TRADES, AND SHALL VERIFY DIMENSIONS, MEANS AND METHODS OF CONSTRUCTION, EXISTING CONDITIONS AND PROPOSED NEW CONSTRUCTION PRIOR TO COMMENCING ANY WORK, MATERIAL ORDERING, OR FABRICATION.
6. WORK SHALL BE FIRST CLASS TO THE ENTIRE SATISFACTION OF THE OWNER.
7. ALL NEW INTERIOR WALLS ARE DETAILED AS TYPE 1 UNLESS OTHERWISE NOTED.
8. PATCH & REPAIR: THE CONTRACTOR SHALL PATCH AND/OR REPAIR WITH NEW ANY WORK DAMAGED OR DISTURBED CAUSED BY THE CONTRACTOR AS A RESULT OF PROVIDING FOR OR INSTALLING NEW WORK SHOWN ON THE CONTRACT DOCUMENTS
9. CAULK ALL PENETRATIONS, OUTLETS, ETC. ON ALL DEMISING PARTITIONS. LEAVE ALL WORK COMPLETE AND READY FOR THE INTENDED USE.
10. ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE REMOVED FROM THE SITE UPON COMPLETION. THE CONTRACTOR SHALL PROVIDE CLEANING SERVICES FOR THE SPACE AND DELIVER THE PROJECT COMPLETED.
11. CONSTRUCTION TO COMPLY WITH ALL STATE AND LOCAL CODES.



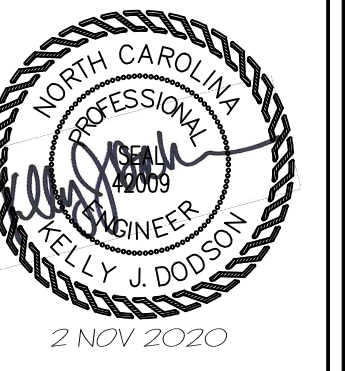
DOOR TYPE: FLUSH SOLID WOOD CORE DOOR - PAINTED
 FRAME TYPE: HOLLOW METAL FRAME - PAINTED
 HARDWARE: (1) KEYED ENTRY LOCKSET, (3) HINGES, (1) DOOR STOP, (3) SILENCERS, (1) DOOR CLOSER



TRIM: MATCH EXISTING - PAINTED
 COUNTER: 2X4 FRAMING, 1X4 COUNTER TOP - PAINTED TO MATCH BENCH SEATING



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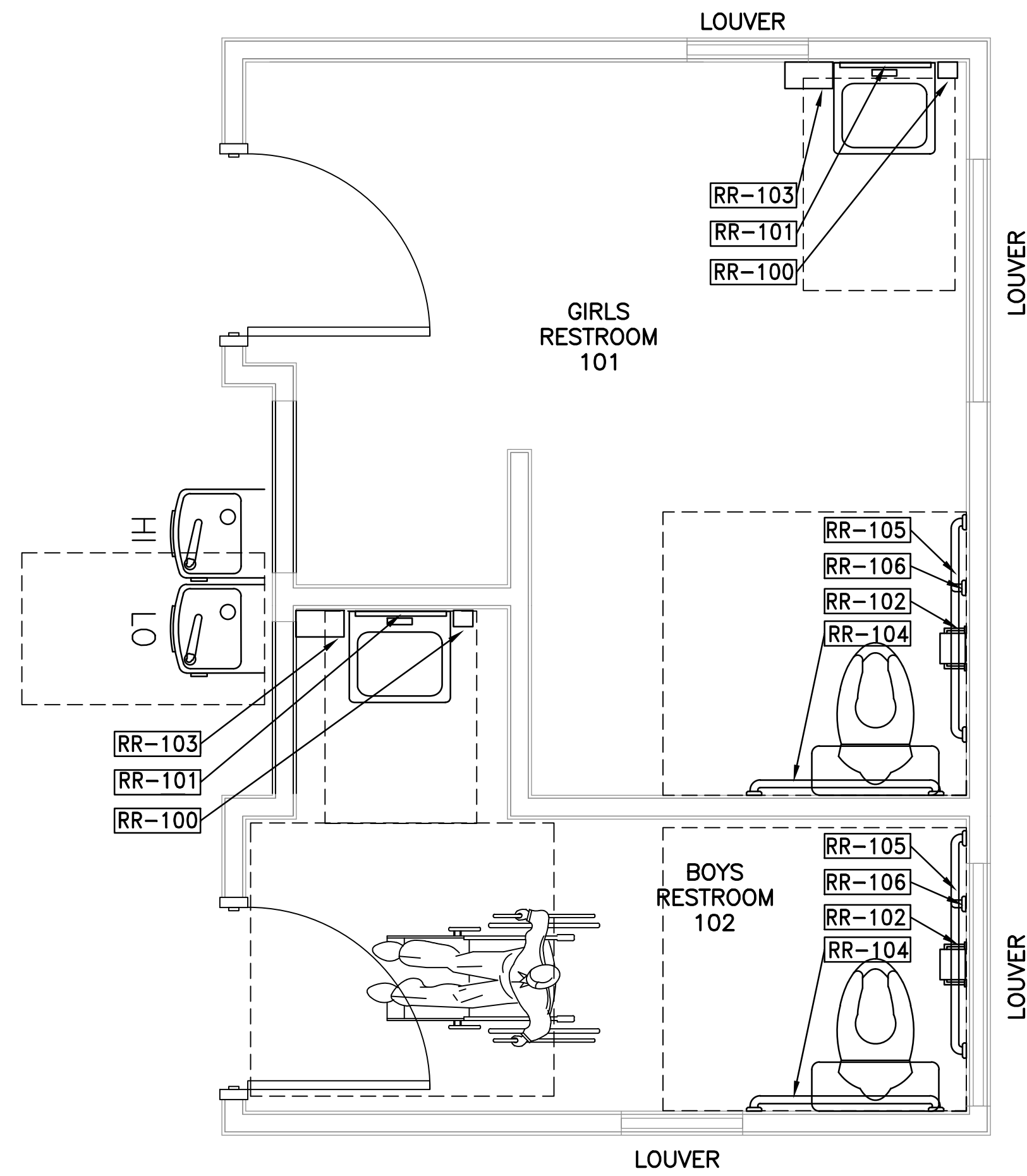


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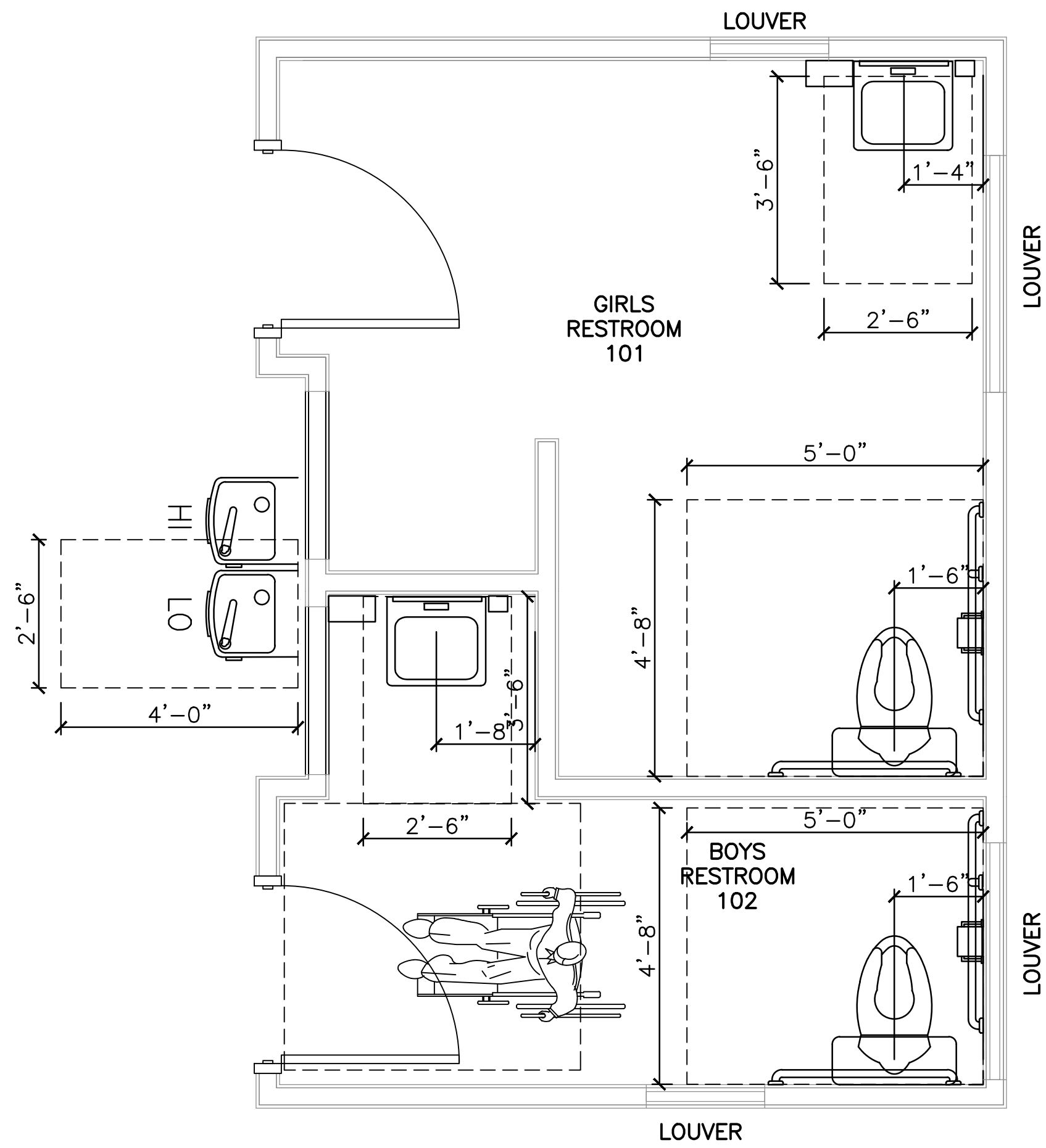
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 OWNER/TENANT: CAROLINA LAKES SANFORD, NC
 CONTRACTOR/BUILDER: COMMERCIAL BUILDING, INC.
 2018 FT. BRAGG ROAD, FAYETTEVILLE, NC

PROJECT: CAROLINA LAKES POOL HOUSE
 91 CLUBHOUSE DRIVE, SANFORD, NC 27332
 SHEET: RENOVATION FLOOR PLAN

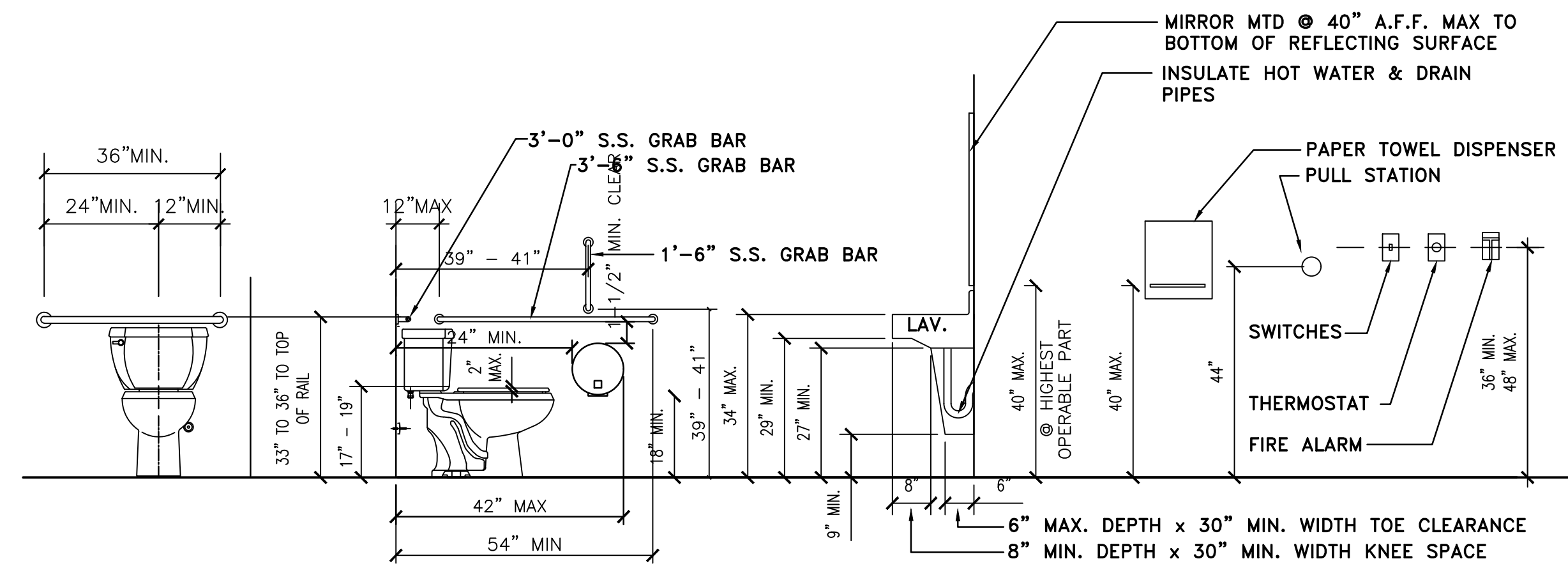
1/4" = 1'-0"
 1/2" = 1'-0"
 3/4" = 1'-0"
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 1 1/2" = 1'-0"
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 16" = 1'-0"



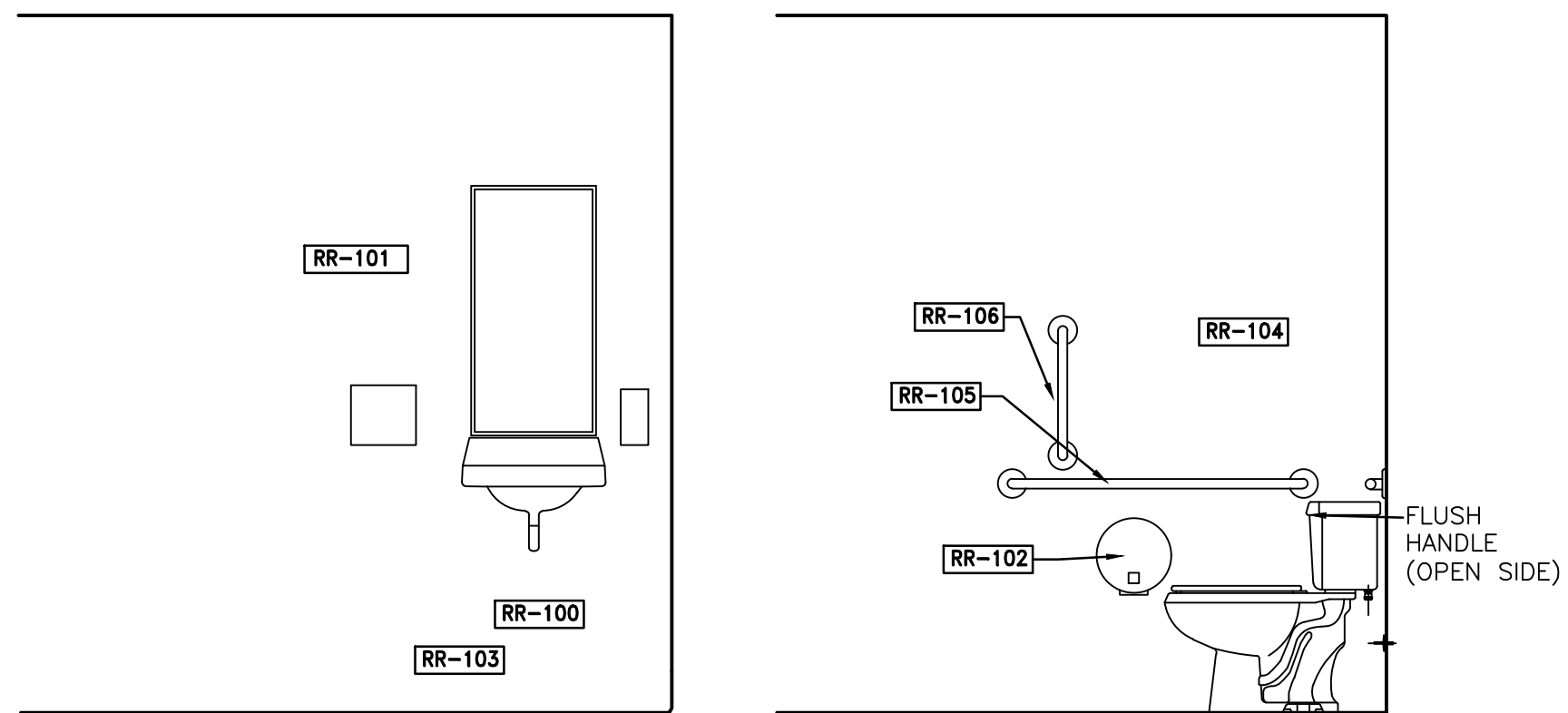
1 TOILET ACCESSORY PLAN
 G3 1/2" = 1'-0"
 SCALE: 1/2" = 1'-0"



2 ENLARGED RESTROOM PLAN
 G3 1/2" = 1'-0"
 SCALE: 1/2" = 1'-0"



3 MOUNTING HTS & CLEARANCES FOR ACCESSIBILITY
 G3 NOT TO SCALE

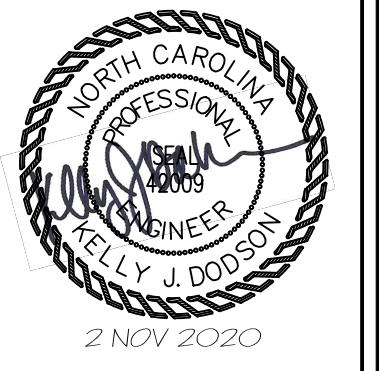


4 TYPICAL TOILET ELEVATIONS
 G3 1/2" = 1'-0"

ACCESSORY LEGEND			
NO.	QTY	G.C.INST.	ITEM DESCRIPTION
RR-100	2	X	SOAP DISPENSER (WALL MOUNT)
RR-101	2	X	MIRROR, 18" X 36"
RR-102	2	X	TOILET PAPER DISPENSER
RR-103	2	X	PAPER TOWEL DISPENSER
RR-104	2	X	GRAB BAR 1-1/2"DIA X 36" S.S. FIN.
RR-105	2	X	GRAB BAR 1-1/2"DIA X 42" S.S. FIN.
RR-106	2	X	GRAB BAR 1-1/2"DIA X 18" S.S. FIN.

NOTES

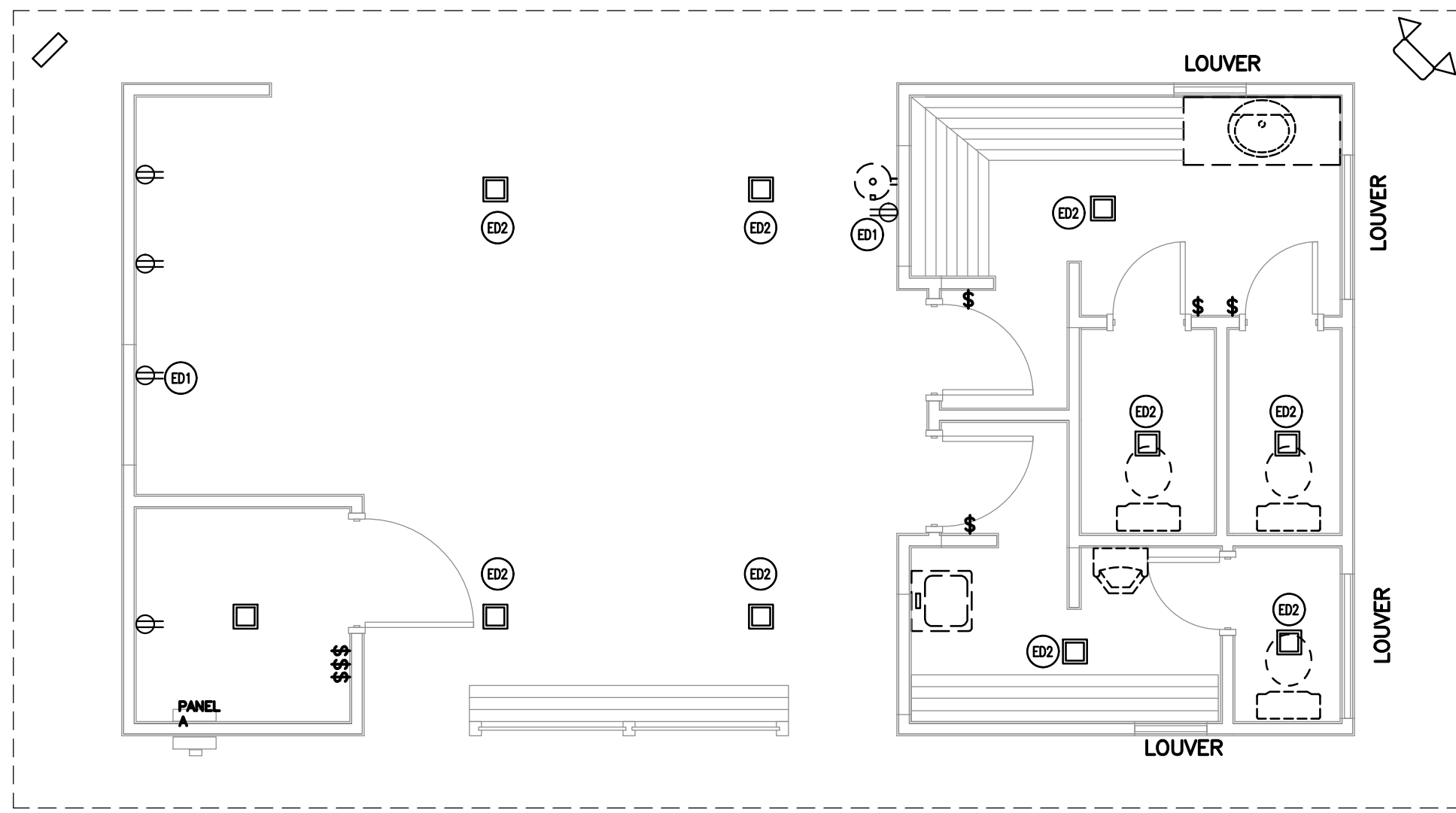
- PROVIDE BLOCKING AT ALL WALL MOUNTED ACCESSORIES.
- GRAB BARS, FASTENERS AND MOUNTING DEVICES SHALL BE INSTALLED PER ADA REQUIREMENTS.
- INSTALL WATER PIPING AND DRAIN WRAP FOR SCALD PROTECTION



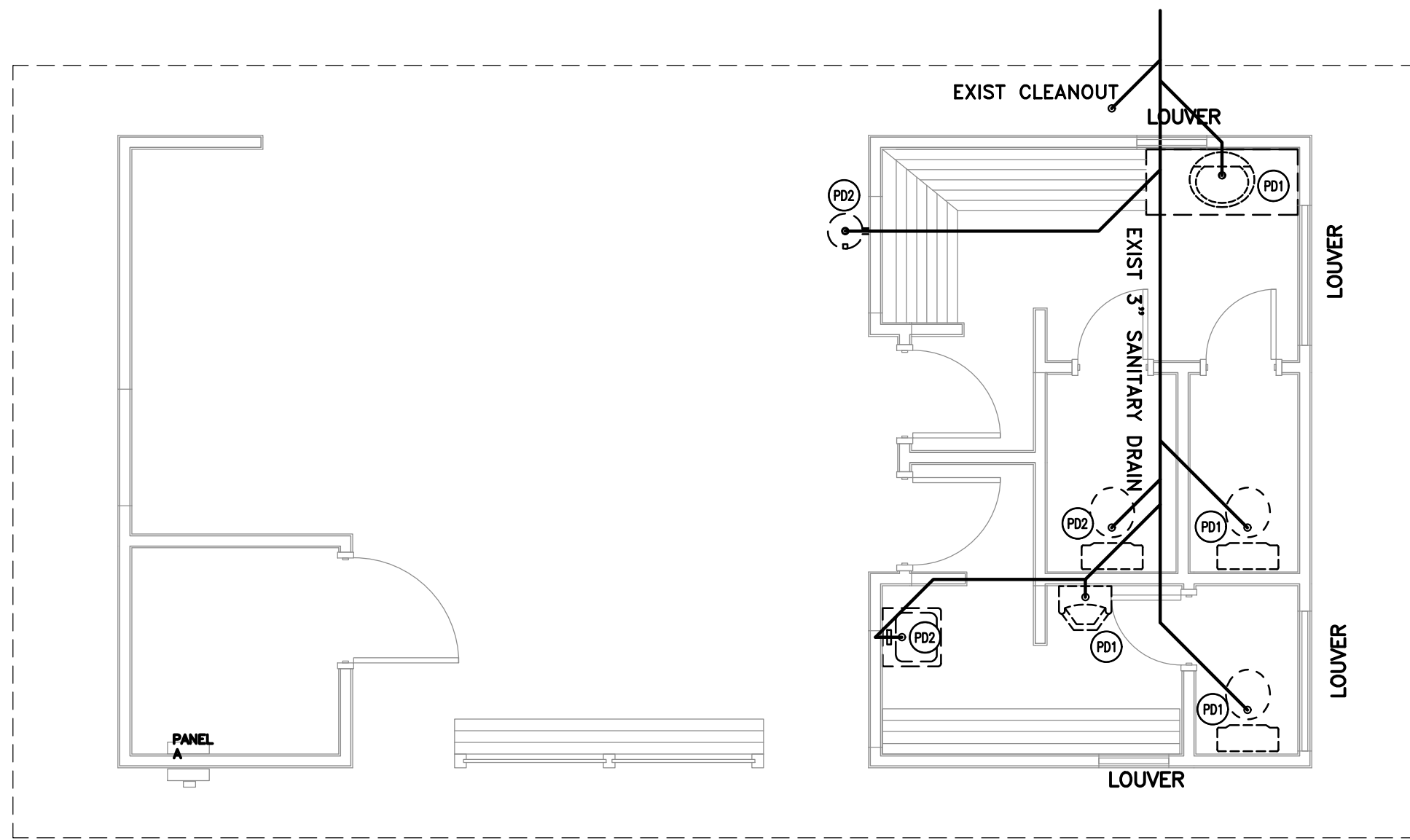
DESIGNED/CHECKED BY: K. DODSON	TA
DRAWN BY:	JCE PROJECT#: 2020-06-11
OWNER/TENANT: CAROLINA LAKES SANFORD, NC	DATE: 2 NOV 2020
CONTRACTOR/BUILDER: COMMERCIAL BUILDING, INC. 2018 FT. BRAGG ROAD, FAYETTEVILLE, NC	

PROJECT: **CAROLINA LAKES POOL HOUSE**
 91 CLUBHOUSE DRIVE, SANFORD, NC 27332

SHEET: **TOILET PLANS & DETAILS**



1 ELECTRICAL DEMOLITION
 PE1 1/4" = 1'-0"



2 PLUMBING DEMOLITION
 PE1 1/4" = 1'-0"

ELECTRICAL DEMOLITION SCOPE OF WORK:

1. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY NOT SHOW ALL OF THE DETAILS, MATERIALS AND METHODS REQUIRED. THE DRAWING PACKAGE AS A WHOLE SHOULD BE USED TO RENOVATE THE POOL HOUSE AS DESCRIBED. THERE ARE NO TECHNICAL SPECIFICATIONS INCLUDED IN THESE CONSTRUCTION DOCUMENTS.
2. DEMOLITION OF EXISTING LIGHTING FIXTURES AND OUTLETS (AS NOTED) ARE TO INCLUDE REMOVAL OF EXISTING FIXTURES AND WIRING.

ELECTRICAL DEMOLITION KEYED NOTES:

- (E1) DEMO EXISTING ELECTRICAL OUTLET AND WIRING RUN
- (E2) DEMO EXISTING LIGHTING FIXTURES, RESPECTIVE SWITCHES AND WIRING

PLUMBING DEMOLITION SCOPE OF WORK:

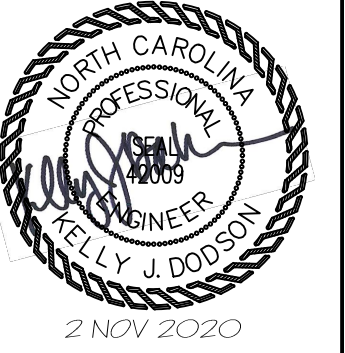
1. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY NOT SHOW ALL OF THE DETAILS, MATERIALS AND METHODS REQUIRED. THE DRAWING PACKAGE AS A WHOLE SHOULD BE USED TO RENOVATE THE POOL HOUSE AS DESCRIBED. THERE ARE NO TECHNICAL SPECIFICATIONS INCLUDED IN THESE CONSTRUCTION DOCUMENTS.
2. DEMOLITION OF ALL EXISTING PLUMBING FIXTURES ARE TO INCLUDE REMOVAL OF EXISTING FIXTURES (DRINKING FOUNTAIN, TOILETS, SINKS), SALVAGE EXISTING PLUMBING SUPPLY LINES AND WASTE LINES FOR NEW FIXTURES. CONTRACTOR TO COORDINATE WITH RENOVATION PLAN TO DETERMINE LOCATIONS OF EXISTING LINES TO SALVAGE/RE-USE.
3. DEMOLITION OF EXISTING PLUMBING SUPPLY LINES NOT BEING SALVAGED - COORDINATE WITH RENOVATION PLAN TO DETERMINE THE CORRECT LOCATION OF CAPPING OF LINE(S).
5. DEMOLITION OF EXISTING WASTE LINE NOT BEING SALVAGED/RE-USED - COORDINATE WITH RENOVATION PLAN TO DETERMINE THE CORRECT LOCATION OF CAPPING OF LINES.

PLUMBING DEMOLITION KEYED NOTES:

- (P1) DEMO EXISTING PLUMBING FIXTURE - SALVAGE EXISTING PLUMBING SUPPLY AND WASTE LINES
- (P2) DEMO EXISTING PLUMBING FIXTURE - CAP EXISTING PLUMBING SUPPLY AND WASTE LINES



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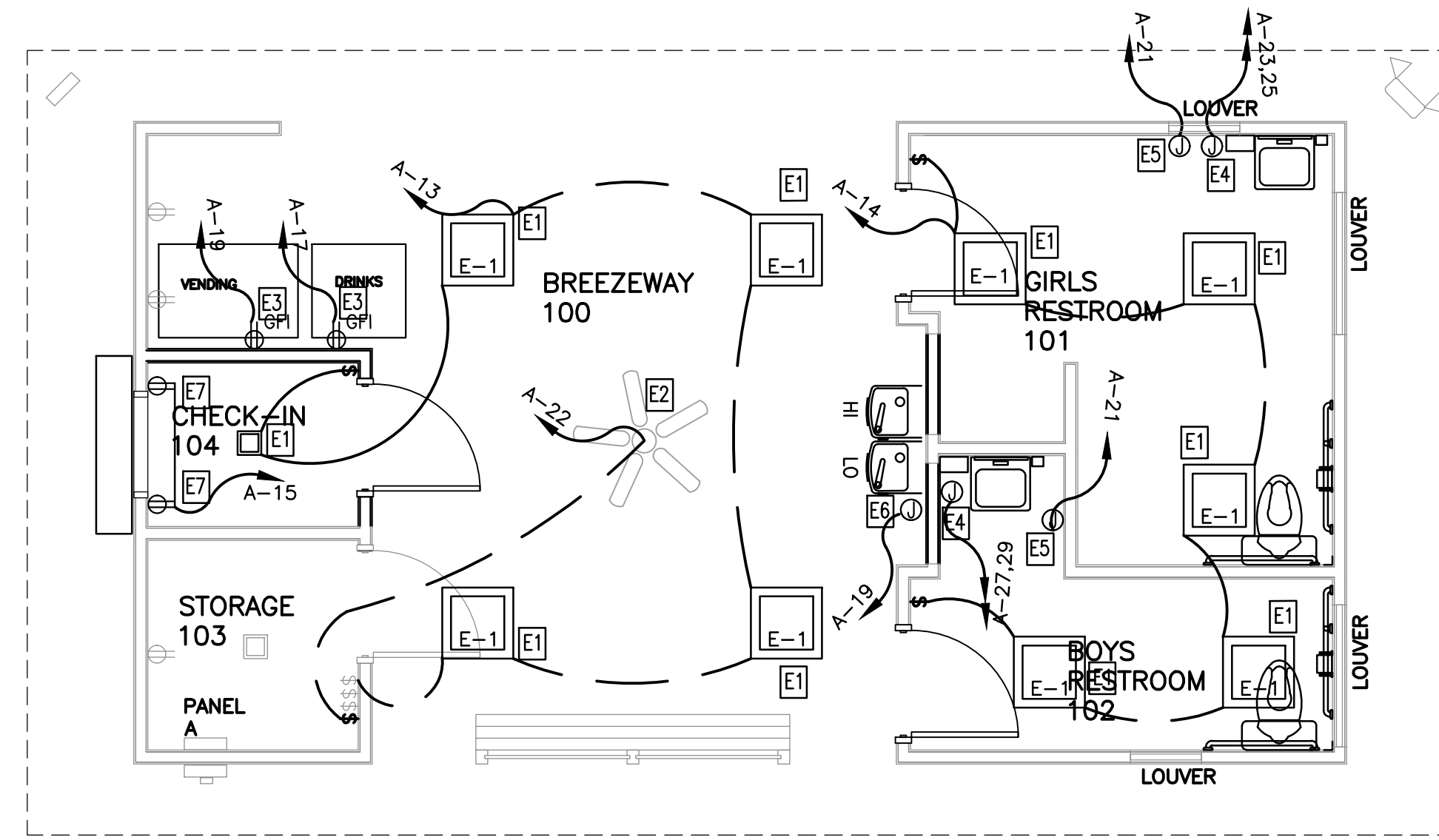


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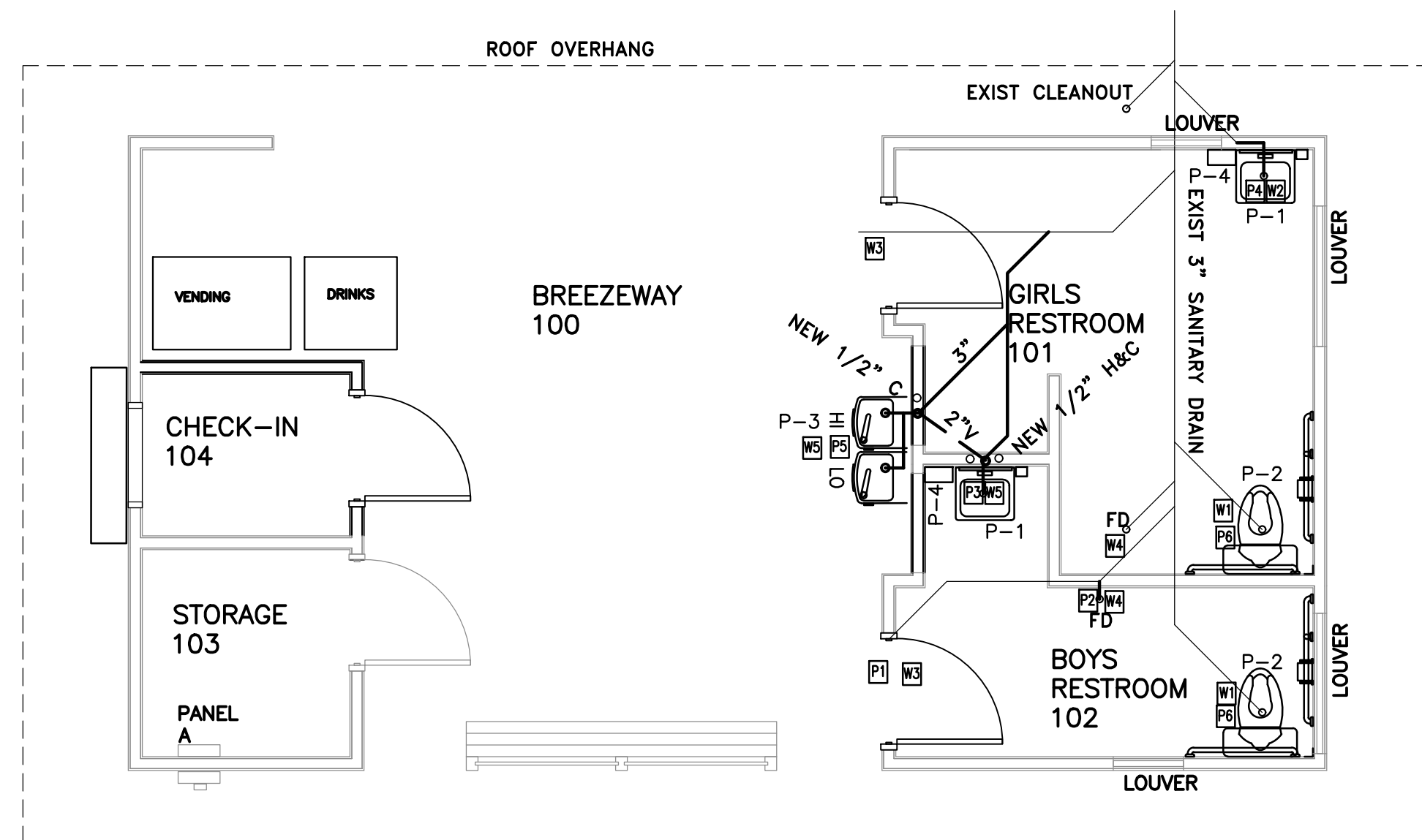
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 2018 FT. BRAGG ROAD, FAYETTEVILLE, NC

PROJECT: **CAROLINA LAKES POOL HOUSE**
 91 CLUBHOUSE DRIVE, SANFORD, NC 27332
 SHEET: **PLUMBING/ELECT DEMO PLAN**

PE1



1 ELECTRICAL RENOVATION
 PE2 1/4" = 1'-0"



2 PLUMBING RENOVATION
 PE2 1/4" = 1'-0"

ELECTRICAL RENOVATION SCOPE OF WORK:

1. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY NOT SHOW ALL OF THE DETAILS, MATERIALS AND METHODS REQUIRED. THE DRAWING PACKAGE AS A WHOLE SHOULD BE USED TO RENOVATE THE POOL HOUSE AS DESCRIBED. THERE ARE NO TECHNICAL SPECIFICATIONS INCLUDED IN THESE CONSTRUCTION DOCUMENTS.
2. INSTALL NEW LIGHTING FIXTURES AND OUTLETS USING NEW WIRING RUNS AND SWITCHES (WHERE APPLICABLE).
3. UTILIZE EXISTING ELECTRICAL PANEL IN STORAGE ROOM.

ELECTRICAL RENOVATION KEYED NOTES:

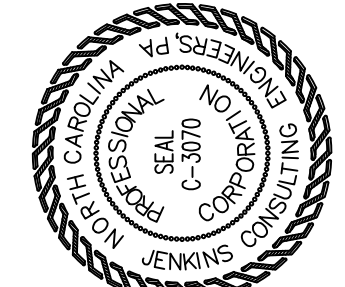
- E1 INSTALL NEW LED LIGHT FIXTURE
- E2 INSTALL NEW CEILING FAN
- E3 INSTALL NEW GFI OUTLET
- E4 INSTALL NEW JUNCTION BOX FOR INSTANT WATER HEATER
- E5 INSTALL NEW JUNCTION BOX FOR ELECTRIC HAND DRYER
- E6 INSTALL NEW JUNCTION BOX FOR ELECTRIC WATER FOUNTAIN
- E7 INSTALL NEW OUTLET

PLUMBING RENOVATION SCOPE OF WORK:

1. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY NOT SHOW ALL OF THE DETAILS, MATERIALS AND METHODS REQUIRED. THE DRAWING PACKAGE AS A WHOLE SHOULD BE USED TO RENOVATE THE POOL HOUSE AS DESCRIBED. THERE ARE NO TECHNICAL SPECIFICATIONS INCLUDED IN THESE CONSTRUCTION DOCUMENTS.
2. INSTALL NEW PLUMBING FIXTURES USING EXISTING SUPPLY LINES AND WASTE LINES WHEN POSSIBLE. PROVIDE NEW 1/2" COLD WATER LINES FOR NEW SINKS WHERE EXISTING IS NOT ADJACENT LOCATION. UTILIZE INSTANT WATER HEATERS FOR NEW SINKS.
3. DEMOLITION OF EXISTING PLUMBING SUPPLY LINES NOT BEING SALVAGED - COORDINATE WITH RENOVATION PLAN TO DETERMINE THE CORRECT LOCATION OF CAPPING OF LINE(S).
5. DEMOLITION OF EXISTING WASTE LINE NOT BEING SALVAGED/RE-USED - COORDINATE WITH RENOVATION PLAN TO DETERMINE THE CORRECT LOCATION OF CAPPING OF LINES.

PLUMBING RENOVATION KEYED NOTES:

- P1 CAP SUPPLY PLUMBING AT NEW OPENING AS REQUIRED
- P2 SUPPLY PLUMBING TO BE USED FOR NEW ADJACENT FIXTURE
- P3 PROVIDE SUPPLY PLUMBING FROM ADJACENT ABANDONED FIXTURE
- P4 RE-USE EXISTING SUPPLY PLUMBING (REPLACE ANY DETERIORATED PARTS AS REQUIRED) AND INSTALL INSTANT WATER HEATER
- P5 PROVIDE SUPPLY PLUMBING FROM ADJACENT ABANDONED FIXTURE
- P6 RE-USE EXISTING SUPPLY PLUMBING (REPLACE ANY DETERIORATED PARTS AS REQUIRED)
- W1 UTILIZED EXISTING WASTE LINE FOR NEW TOILET FIXTURE
- W2 UTILIZED EXISTING WASTE LINE FOR NEW SINK



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 DRAWN BY: **TA**
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 2018 FT. BRAGG ROAD, FAYETTEVILLE, NC

PROJECT: **CAROLINA LAKES POOL HOUSE**
 91 CLUBHOUSE DRIVE, SANFORD, NC 27332
 SHEET: **PLUMBING/ELECT PLAN**

PLUMBING FIXTURE SCHEDULE

SYMBOL	MANUFACTURER	MODEL #	FIXTURE DESCRIPTION	FIXTURE MOUNTING	ACCESSORIES	SUPPLY	WASTE	VENT	ELECTRICAL	REMARKS
P-1	AMERICAN STANDARD	LUCERNE/ 0356.028	LAVATORY	WALL MOUNTED		1/2 C.W. /H.W.	2"	2"		
P-2	AMERICAN STANDARD	CADET ADA/ 215AA.104	WATER CLOSET	FLOOR MOUNTED	SEAT: AMERICAN STANDARD / 5901.100	1/2" C.W.	3"	2"		
P-3	ELKAY	EDFP217FPK	BILEVEL DRINKING FOUNTAIN	WALL MOUNTED		1/2" C.W./H.W.	2"	2"		FREEZE RESISTANT
EW1	RHEEM	RTEX-04	TANKLESS WATER HEATER	UNDER COUNTER		1/2" C.W.			3.5KW 29A	

PLUMBING NOTES:

PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2018 EDITION AND LOCAL CODES.

ALL WORK SHALL BE COORDINATED AND PERFORMED WITH PRIOR APPROVAL FROM THE GENERAL CONTRACTOR AND OWNER TO SUIT THE OWNER'S OPERATING CONDITIONS.

PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE GENERAL CONTRACTOR OF ANY DEVIANCES FROM THE CONTRACT DRAWINGS PRIOR TO STARTING ANY WORK.

THE PLUMBING CONTRACTOR SHALL COORDINATE WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE. THINK OF OTHER CONTRACTORS AND THEIR REQUIREMENTS IN VERTICAL CHASES AND WALL MOUNT SPACE. ALL CONTRACTORS TO FOLLOW THIS ORDER OF PRIORITY:

1. STORM AND SANITARY SEWER LINES
2. DUCTWORK AND HVAC SYSTEMS
3. HOT AND COLD WATER LINES
4. RIGID CONDUIT
5. CABLE

THE PLUMBING CONTRACTOR TO ORGANIZE HIS PIPING IN ATTIC SPACES, CRAWL SPACES, AND ABOVE CEILINGS. MAKE RUNS PARALLEL, PERPENDICULAR, AND GROUPED TOGETHER WHERE POSSIBLE. LOCATE MAJOR GROUPINGS OVER HALLWAYS AND AREAS OF PUBLIC ACCESS IF POSSIBLE. FREE RUNS OF PIPING IS NOT ACCEPTABLE.

THE PLUMBING CONTRACTOR SHALL LAY OUT AND INSTALL HIS WORK IN ADVANCE OF POURING CONCRETE FLOORS OR WALLS. HE SHALL FURNISH ALL SLEEVES TO THE GENERAL CONTRACTOR FOR OPENINGS THROUGH POURED MASONRY FLOORS, OR WALLS, ABOVE GRADE REQUIRED FOR PASSAGE OF ALL PIPES TO SUPPORT HIS EQUIPMENT.

HORIZONTAL DRAINAGE AND WASTE PIPE SHALL HAVE A MINIMUM SLOPE OR FALL OF 1/8 INCH PER FOOT. ALL CHANGE OF HORIZONTAL DIRECTIONS IN SOIL WASTE PIPE SHALL BE MADE WITH LONG RADIUS FITTINGS WITH "Y" BRANCHES AND 1/8 OR 1/16 BENDS.

COLD AND HOT WATER PIPING ABOVE GRADE SHALL BE TYPE "L" HARD DRAWN COPPER TUBING CONFORMING TO ASTM B-88 WITH SWEAT JOINTS AND WROUGHT OR CAST VALVES AND FITTINGS (UNIONS, STRAINERS, ETC.). JOINT SHALL BE MADE WITH LEAD FREE SOLDER. PEX PIPING CAN NOT BE USED.

ALL HOT WATER PIPING SHALL BE INSULATED WITH 1 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.

ALL COLD WATER PIPING SHALL BE INSULATED WITH 1/2 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.

SANITARY HORIZONTAL WASTE, VENT PIPING, AND FITTINGS BELOW GRADE SHALL BE SCHEDULE 40 PVC-DWV PIPE-CELLULAR CORE FROM CHARLOTTE PIPE AND FOUNDRY COMPANY OR APPROVED EQUAL, AND MUST MEET OR EXCEED THE REQUIREMENTS OF ASTM F-891, NSF STANDARD NO. 14, AND IAPMO UPC.

ALL WASTE AND VENT PIPING ABOVE GRADE SHALL BE CAST IRON.

IN LIEU OF FIBERGLASS INSULATION, THE PLUMBING CONTRACTOR IS ALLOWED TO USE CLOSED CELL INSULATION, 1/2 INCH THICK ARMSTRONG/ARMAFLEX II ON ALL COLD WATER PIPES. RIGID URETHANE FOAM INSULATION, 1 INCH THICK ARMSTRONG/ARMALOK II ON ALL HOT WATER PIPING.

ALL PLUMBING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

ALL FIXTURES, DRAINS, TRAPS, ETC. SHALL BE SET PLUMB AND LEVEL.

ALL HANDICAPPED FIXTURES AND TRIM SHALL BE INSTALLED IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2018 EDITION.

CHROME PLATED ESCUTCHEONS SHALL BE PROVIDED AT EACH WALL PENETRATION.

ESCUTCHEONS SHALL BE CHROME PLATED, SPRING TYPE, ON ALL PIPES PASSING THROUGH WALLS AND CEILINGS IN FINISHED AREAS. FLOOR ESCUTCHEONS SHALL BE CAST BRASS, CHROME PLATED, WITH SET SCREW.

ESCUTCHEONS SHALL BE OF SUFFICIENT SIZE TO COVER OUTSIDE DIAMETER OF THE PIPE OR THE INSULATION OF THE PIPE.

FLASHING FOR VENTS THROUGH THE ROOF SHALL BE TWO-PIECE TYPE, 16 OUNCE COPPER COUNTER FLASHING AND BASE FLASHING, OR A TWO-PIECE TYPE, 4 POUND LEAD COUNTER FLASHING AND BASE FLASHING. THE BASE FLASHING SHALL BE INSTALLED BY THE GENERAL CONTRACTOR WITH THE ROOF SYSTEM.

VENT FLASHING SHALL EXTEND DOWN AT LEAST 4 INCHES FROM THE TOP OF THE PIPE. FLASHING SHALL EXTEND AT LEAST 12 INCHES IN ALL DIRECTIONS FROM THE PIPE AND SHALL BE PARALLEL TO THE ROOF LINE.

ALL EQUIPMENT AND INSTALLED MATERIALS SHALL BE THOROUGHLY CLEAN AND FREE OF ALL DIRT, OIL, GRIT, GREASE, AND ETC.

ALL PLUMBING SYSTEMS AND EQUIPMENT SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE BUILDING FROM THE OWNER.

DRAINAGE CALCULATIONS

QTY.	ITEM	DRAINAGE FIXTURE UNITS	DRAINAGE FIXTURE UNITS TOTAL
2	SINKS	2.0	4.0
2	TOILET	4.0	8.0
2	DRINKING FOUNTAIN	0.5	1.0
TOTAL DRAINAGE FIXTURE UNITS			13.0

WATER CALCULATIONS

QTY.	ITEM	C.W. FIXTURE UNITS	WATER SUPPLY FIXTURE UNITS EACH	WATER SUPPLY FIXTURE UNITS TOTAL
2	SINK	1.5	2.0	4.0
2	TOILET	5.0	5.0	10.0
2	DRINKING FOUNTAIN	1.5	0.5	1.0
TOTAL WATER SUPPLY FIXTURE UNITS				15.0

EXISTING PANEL "A"

PHASE LOADING			DESCRIPTION	CKT. TYPE	WIRE SIZE	CKT. BKR. TRIP	CKT. NO.	A B C			CKT. NO.	CKT. BKR. TRIP	WIRE SIZE	CKT. TYPE	DESCRIPTION	PHASE LOADING		
A	B	C						A	B	C						A	B	C
1.0			PUMP HOUSE	R	#12	40/3	1				2	20/1	#12	R	UNKNOWN	1.00		
	1.0						3				4	20/1	#12	R	UNKNOWN		1.00	
		1.0					5				6	-	-	-	SPACE			-
1.0			IRRIGATION SYSTEM	R	#12	5/1	7				8	20/1	#12	R	UNKNOWN	1.00		
	1.0		CANPOY & STORAGE	R	#12	15/1	9				10	15/1	#12	R	COKE MACHINE		1.00	
		1.80	HAND DRYER	R	#12	20/1	11				12	-	-	-	SPACE			-
0.20			LIGHTS	C	#12	20/1	13				14	15/1	#12	C	RESTROOMS	0.20		
	0.36		CHECK-IN RECEPTACLES	R	#12	20/1	15				16	-	-	-			1.00	
		0.50	SODA MACHINE	R	#12	20/1	17				18	100/3	#12	R	TENNIS COURT			1.00
0.50			VENDING MACHINE	R	#12	20/1	19				20	-	-	-			1.00	
	1.80		HAND DRYER	R	#12	20/1	21				22	20/1	#12	C	CEILING FAN		0.18	
		1.75	INSTANT WATER HEATER	R	#10	30/2	23				24	-	-	-	SPARE			-
1.75							25				26	20/1	#12	C	UNKNOWN	1.00		
	1.75		INSTANT WATER HEATER	R	#10	30/2	27				28	-	-	-	SPACE			-
		1.75					29				30	-	-	-	SPACE			-
4.45	5.91	6.80	SUB-TOTAL (VA)													4.20	3.18	1.00
C CONTINUOUS LOAD			E ESTIMATED LOAD			TOTAL CONNECTED LOAD = <u>24.90 KVA</u> AMPS = <u>119.72</u>												
H HVAC LOAD			TOTAL OF <u>30</u> SPACES															
N NON-CONTINUOUS LOAD																		
R RECEPTACLE LOAD																		
K KITCHEN LOAD																		

NOTE: BOLD TEXT IS NEW CIRCUITS
NOTE: ADDING 29.4 AMPS TO EXISTING PANEL A

LIGHT FIXTURE SCHEDULE

TAG	DESCRIPTION	SIZE	MOUNTING	COLOR	LUMENS OUTPUT	BULB	BALLAST TYPE	HOUSING	VOLTAGE	WATTAGE	MANU/MODEL NUMBER	REMARKS
E-1	LED SURFACE	2' X 2'	SURFACE	3500 K	4,400	LED	LED DRIVER	STEEL	120	39	LITHONIA NO. CPANL 2X2 24/33/44LM 35K M40 OR EQUAL	
E-2	CEILING FAN	42"	SURFACE	2700 K	600	LED	LED DRIVER	STEEL	120	12	WESTINGHOUSE CASANOVA SUPREME OR EQUAL	

ELECTRICAL NOTES:

ALL WORK SHALL BE IN ACCORDANCE WITH 2017 NEC.

WIRE AND CABLE SHALL BE INSULATED, TYPE THHN, 600 VOLTS, WITH COPPER CONDUCTORS. CONDUCTOR SIZES NO. 8 AWG AND LARGER MAY BE STRANDED. CONDUCTOR SIZES NO. 10 AWG AND SMALLER MAY BE SOLID OR STRANDED.

ROMEX CANNOT BE USED IN THIS PROJECT.

EMT SHALL BE GALVANIZED STEEL TUBING 1/2-INCH MINIMUM SIZE, EQUAL TO ELECTRUTE BRAND OR APPROVED AND USED ONLY WITH HEXAGONAL ALL STEEL COMPRESSION FITTINGS. MC CABLE MAY BE SUBSTITUTED FOR CONDUIT RACEWAYS WHERE PERMITTED BY THE CODE, AND APPROVED BY OWNER.

PLASTIC CONDUIT SHALL BE RIGID, 3/4-INCH MINIMUM, NONMETALLIC, HEAVY DUTY, POLYVINYLCHLORIDE (PVC), TYPE I WILL BE USED FOR CONCRETE ENCASEMENT. FITTINGS SHALL BE THE SAME MATERIALS AND MANUFACTURER AS THE PLASTIC CONDUIT.

FLEXIBLE METAL CONDUIT SHALL BE 1/2-INCH MINIMUM SINGLE STRIP, STEEL, HOT DIPPED GALVANIZED INSIDE AND OUTSIDE, MAXIMUM LENGTH OF 72 INCHES FOR LIGHTING, AND 36 INCHES FOR MOTORS. FLEXIBLE METAL CONDUIT SHALL BE LIQUID TIGHT OR WATER TIGHT WITH PVC JACKET WHERE USED IN DAMP, WET, OR OUTSIDE AREAS, AND LIQUID TIGHT OR WATER TIGHT CONNECTORS SHALL BE USED.

NO RECEPTACLES OR TELEPHONE OUTLETS ARE TO BE MOUNTED BACK TO BACK. KEEP AT LEAST 1 1/2 INCHES BETWEEN RECEPTACLES AND TELEPHONE OUTLETS.

ALL RECEPTACLES WITHIN THE FOLLOWING COMMERCIAL SPACES SHALL BE TAMPER RESISTANT PER 2017 NEC 406.12: MOTEL GUEST/SUITE ROOMS, CHILD CARE FACILITIES, PRESCHOOLS AND ELEMENTARY EDUCATION FACILITIES, BUSINESS OFFICES, CORRIDORS, WAITING ROOMS AND THE LIKE AT CLINICS, MEDICAL AND DENTAL OFFICES, AND OUTPATIENT FACILITIES), SUBSET OF ASSEMBLY OCCUPANCIES DESCRIBED 518.2 TO INCLUDE PLACES OF WAITING TRANSPORTATION, GYMNASIUMS, SKATING RINKS, AND AUDITORIUMS, AND DORMITORIES.

ALL CONDUCTORS SHALL BE COPPER WITH A MINIMUM SIZE OF #12 AWG EXCEPT FOR FIRE ALARM. THESE CONDUCTORS SHOULD COMPLY WITH NFPA REQUIREMENTS.

THE ELECTRICAL CONTRACTOR SHALL ALIGN ALL FIXTURES, SMOKE DETECTORS, CEILING DIFFUSERS, ETC. AS REQUIRED TO PROVIDE A UNIFORM PRESENTATION. FOLLOW THE REFLECTED CEILING PLAN IF PROVIDED.

CIRCUIT BREAKERS AND WIRE ARE SIZED FOR SPECIFIC EQUIPMENT BEFORE ORDERING WIRE, BREAKERS, FIXTURES, CONDUIT, AND ETC. FOR THIS PROJECT. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE OTHER CONTRACTORS ON THE JOB AND VERIFY THE ELECTRICAL DATA FOR THE EQUIPMENT THAT WILL BE ACTUALLY INSTALLED. RECOMPUTE WIRE AND BREAKER SIZES IF REQUIRED BY THE NEC.

THE MOUNTING HEIGHTS AND LOCATIONS OF ALL WALL MOUNTED OUTLETS AND JUNCTION BOXES SHALL BE REVIEWED AND COORDINATED WITH THE GENERAL CONTRACTOR AND OWNER PRIOR TO INSTALLATION FOR USE WITH ACTUAL EQUIPMENT.

ALL LIGHT SWITCHES, RECEPTACLES, WALL PLATES, TELEPHONE/COMPUTER OUTLET BOXES, AND CABLE OUTLET BOXES SHALL BE WHITE.

EACH CONTRACTOR WILL PROVIDE HIS OWN SUPPORT OF ALL DEVICES AND EQUIPMENT PROVIDED IN HIS CONTRACT AND SHALL SUPPORT SUCH EQUIPMENT PER APPROVED GOVERNING CODES. UNACCEPTABLE WORKMANSHIP OR MATERIALS SHALL BE REPLACED AT THE ELECTRICAL CONTRACTOR'S EXPENSE.

THE ELECTRICAL CONTRACTOR SHALL REFER TO THE DRAWINGS FOR FLOOR PLAN AND BUILDING ELEVATION DIMENSIONS.

THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE. THINK OF OTHER CONTRACTORS AND THEIR REQUIREMENTS IN VERTICAL CHASES AND WALL MOUNT SPACE. ALL CONTRACTORS TO FOLLOW THIS ORDER OF PRIORITY:

1. STORM AND SANITARY SEWER LINES
2. DUCTWORK AND HVAC SYSTEMS
3. HOT AND COLD WATER LINES
4. RIGID CONDUIT
5. CABLE

THE ELECTRICAL CONTRACTOR TO ORGANIZE HIS CONDUIT, WIRE, AND CABLE RUNS IN ATTIC SPACES AND ABOVE CEILINGS. MAKE RUNS PARALLEL, PERPENDICULAR, AND GROUPED TOGETHER WHERE POSSIBLE. LOCATE MAJOR GROUPINGS OVER HALLWAYS AND AREAS OF PUBLIC ACCESS. FREE RUNS OF PHONE, TELEVISION, SECURITY, ALARM, AND OTHER CABLES IS NOT ACCEPTABLE.

ALL DISCONNECT SWITCHES AND BREAKER SIZES SHOWN FOR MECHANICAL EQUIPMENT, KITCHEN EQUIPMENT, AND ETC. SHALL BE VERIFIED BEFORE PURCHASE AND INSTALLATION OF SAID EQUIPMENT WITH THE EQUIPMENT SUPPLIER AND MECHANICAL CONTRACTOR.

WHERE EQUIPMENT PENETRATES EXTERIOR WALLS OR ROOF, THEY SHALL BE PROPERLY SEALED.

EXHAUST FANS ARE TO BE PROVIDED AND INSTALLED BY THE MECHANICAL CONTRACTOR, AND ELECTRICAL WIRING BY THE ELECTRICAL CONTRACTOR.

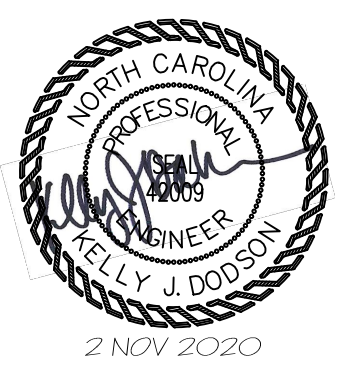
THE ELECTRICAL CONTRACTOR SHALL PROVIDE NAMEPLATES FOR IDENTIFICATION OF ALL EQUIPMENT, SWITCHES, PANELS, ETC. THE NAMEPLATES SHALL BE LAMINATED PHENOLIC PLASTIC, BLACK FRONT AND BACK WITH WHITE CORE, WHITE ENGRAVED LETTERS (1/4 INCH MINIMUM) ETCHED INTO THE WHITE CORE. NAME TAGS TO BE MOUNTED WITH SELF-TAPPING SHEET METAL SCREWS.

THE ELECTRICAL CONTRACTOR IS NOT TO SCALE THE DRAWINGS FOR RECEPTACLES AND LIGHT FIXTURES TO BE INSTALLED. THE DRAWINGS ARE FOR DIAGRAMMATIC PURPOSES ONLY TO SHOW GENERAL LOCATION. THE ELECTRICAL CONTRACTOR TO COORDINATE EXACT LOCATION OF RECEPTACLES AND LIGHT FIXTURES WITH THE GENERAL CONTRACTOR AND/OR CASEWORK DRAWINGS.

ALL LIGHT SWITCHES AND RECEPTACLES SHALL BE RATED FOR 20 AMP UNLESS NOTED OTHERWISE.



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DESIGNED/CHECKED BY: **K. DODSON**
DRAWN BY: **TA**
DATE: **2 NOV 2020**
PROJECT#: **2020-06-11**

FINAL DRAWING [] FOR REVIEW PURPOSES ONLY
PRELIMINARY [] TOP/DESIGN DEVELOPMENT ONLY
FINAL DRAWING [x] FOR CONSTRUCTION
OWNER/TENANT: **CAROLINA LAKES SANFORD, NC**
CONTRACTOR/BUILDER: **COMMERCIAL BUILDING, INC.**
2018 FT. BRAGG ROAD, FAYETTEVILLE, NC

PROJECT: **CAROLINA LAKES POOL HOUSE**
91 CLUBHOUSE DRIVE, SANFORD, NC 27332
SHEET: **PLUMBING / ELECTRICAL NOTES**

PE3