

PROJECT: SERENITY AMENITY  
 LOCATION: PINEY GROVE RAWLS ROAD  
 OWNER: GREENFIELD COMMUNITIES LLC  
 8801 SIX FORKS ROAD, SUITE 270  
 RALEIGH, NC 27615  
 PHONE: 919-415-6489  
 MATT BRUBAKER  
 MBRUBAKER@GREENFIELDCOMMUNITIES.COM

LANDSCAPE ARCHITECT:  
 TMTLA ASSOCIATES  
 5011 SOUTH PARK DRIVE, STE 200  
 DURHAM, NC 27713  
 PHONE: 919-484-8880  
 GARRETT BAKER, P.L.A.  
 GARRETT@TMTLA.COM

BUILDING ARCHITECT:  
 D. CLUGSTON, INC.  
 2508 RELIANCE AVE  
 APEX, NC 27539  
 PHONE: 919-428-7290  
 BRIAN JACOBS  
 BRIAN.JACOBS@DCLUGSTON.COM

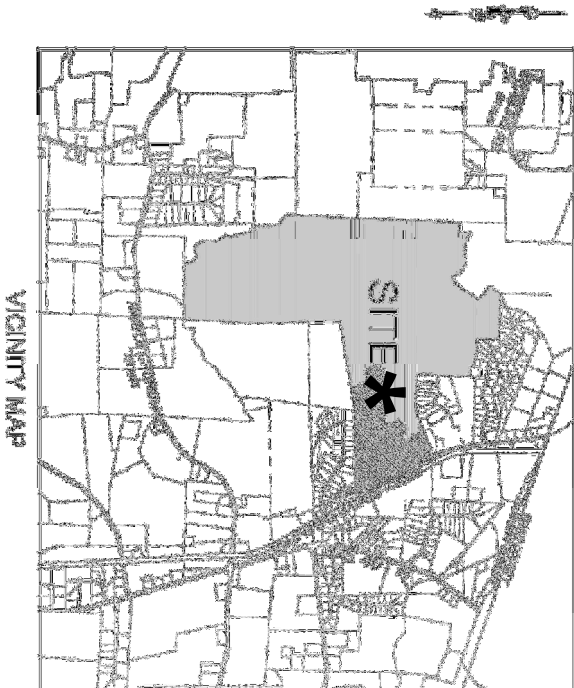
ENGINEER:  
 TIMMONS GROUP  
 5410 TRINITY ROAD, SUITE 102  
 RALEIGH, NC 27607  
 PHONE: 919-866-4951  
 JIM CHANDLER, PE  
 JIM.CHANDLER@TIMMONS.COM

SITE DATA  
 PIN: TO BE DETERMINED  
 DEVELOPMENT TYPE: PUD  
 TOWNSHIP: HECTORS CREEK  
 PROPOSED USE: RESIDENTIAL AMENITY (COMMERCIAL)  
 TOTAL SITE AREA: 4.03 AC  
 ZONING: RA-40  
 BUILDING SETBACK: 50'  
 PARKING SETBACK: 10'  
 PARKING: 1 PER 200 SF  
 STREET TREE: PER DEVELOPMENT PLAN  
 PROPOSED IMPERVIOUS: CULHOUSE AND POST OFFICE 6018 SF  
 POOL DECK 8729 SF  
 SIDEWALKS AND MSC 5736 SF  
 VEHICULAR SURFACE AREA 31915 SF  
 TOTAL 52,488 SF (1.2 AC)

# SITE PLAN

## SERENITY AMENITY

Piney Grove Rawls Road, Harnett County, North Carolina  
 0-00-00-00  
 MARCH 3rd, 2020

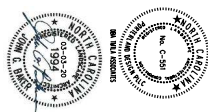


SHEET INDEX:

C-0.0	COVER
C-1.0	EXISTING CONDITION, DEMOLITION AND EROSION CONTROL PLAN
C-2.0	SITE PLAN
C-2.1	PARKS ENLARGEMENT
C-3.0	GRADING, DIMENSIONS AND UTILITY PLAN
D-1.0	LANDSCAPE PLAN
D-1.1	DETAILS
LO-1.0	LIGHTING PLAN - PRELIMINARY



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D. CLUGSTON  
 BUILDING AND DEVELOPMENT CO.  
 Timmons Group

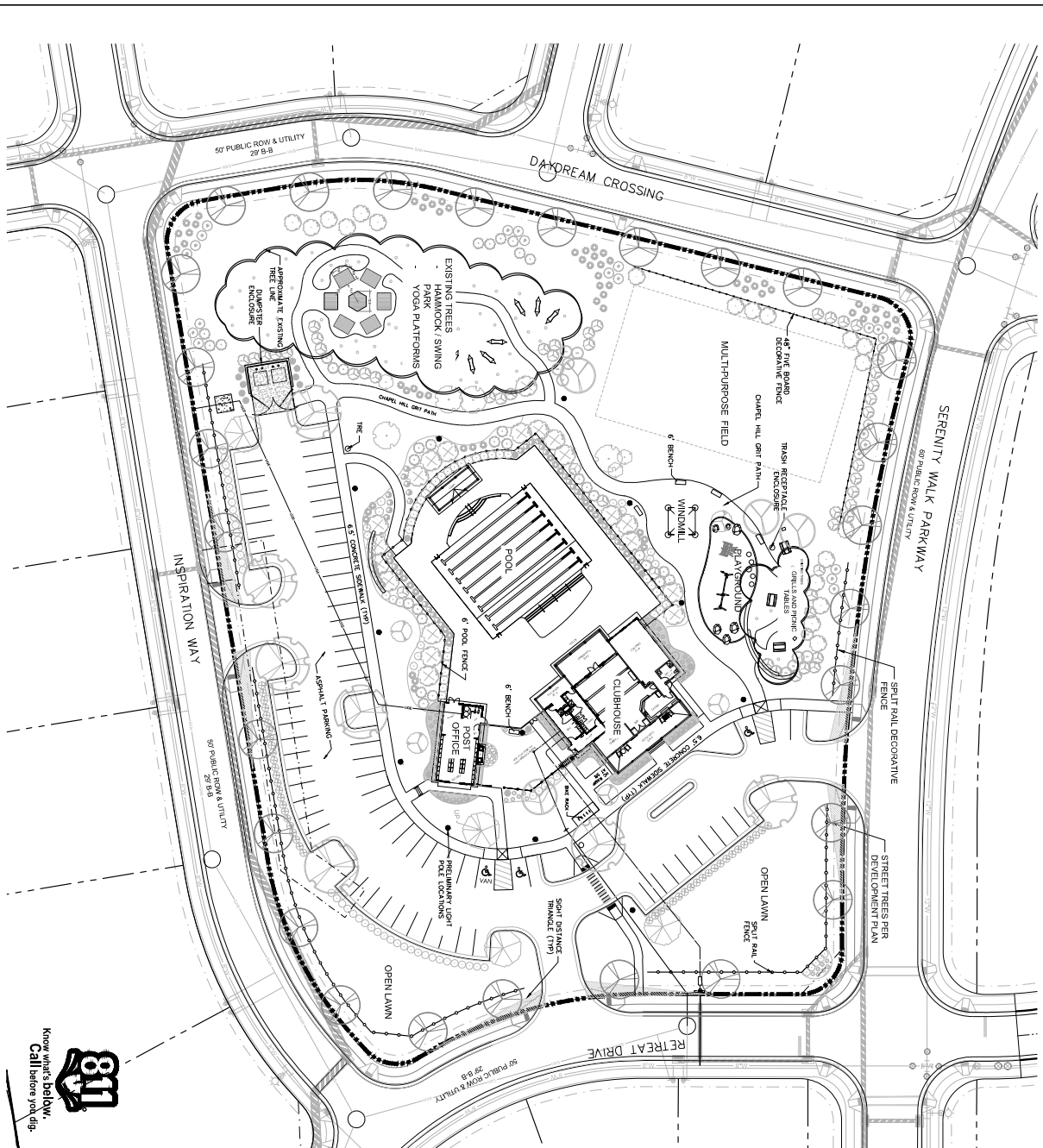
REVISIONS:


COVER  
 SERENITY AMENITY  
 Piney Grove Rawls Rd. Harnett County, NC  
 GREENFIELD COMMUNITIES

SCALE:  
 DRAWN BY: JGB  
 PROJECT #: 18081  
 DATE: 03/03/20  
 SHEET

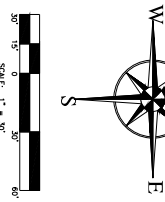


1 SITE PLAN  
SCALE: 1" = 30'



**LEGEND**

- - - - - contour interval per development plan
- - - - - proposed contour interval
- - - - - water line
- - - - - decorative board fence
- - - - - decorative soil/roll fence
- - - - - utility easement



**SITE PLAN NARRATIVE:**  
THE AMENITY SITE WILL CONSIST OF A CLUBHOUSE AND POOL, POST OFFICE FUNCTIONING AS THE CENTRAL MAIL KIOSK, AND MULTIPLE GREEN SPACES TO INCLUDE A PLAYGROUND, MINIMAL FEATURING ELEMENTS SHOW CASE THE HIGHEST GRADE FEEL, W/ WIDE OF MANIPUL, WOOD FINISHES, DECORATIVE LIGHTING, SPORTS FENCING, AND STONE MATERIALS.  
SEE SERENITY DEVELOPMENT PLAN STORMWATER REPORT FOR COMPLIANCE OF SITE STORMWATER MITIGATION MEASURES.

- SITE PLAN NOTES:**
1. CALL BEFORE YOU DIG. CALL THE NC ONE-CALL CENTER AT 1-800-488-7373. THE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING ANY CONSTRUCTION.
  2. UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
  3. OPERATIVE BEFORE WORKING IN THESE AREAS. BARRIERS, SIGN-OW-SAYS AND UTILITIES PUBLIC CONTRACTOR SHALL PUT INTO PLACE SUCH TEMPORARY EROSION CONTROL MEASURES AS INDICATED IN THE CONSTRUCTION PLAN TO PREVENT EROSION AND TO PROTECT EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. INSPECT AND EVALUATED DURING CONSTRUCTION OPERATION FOR THEIR EFFECTIVENESS IN PREVENTING EROSION MATERIAL, AND REMOVE AND RECONSTRUCT IMMEDIATELY FROM THE WORK AREA AS MEASURES MAY BE REQUIRED.
  4. IN THESE PLANS, ALL CONSTRUCTION SHALL BE CONFORMED TO ACCORDANCE WITH THE LATEST EDITION OF APPLICABLE COUNTY/STATE DEVELOPMENT ORDINANCE, REGULATIONS OR ORDINANCES. THE EXISTING REGULATIONS AND ORDINANCES WILL BE PROTECTED FROM INJURY AND THE ALTIMING MEASURES FROM CONSTRUCTION DAMAGE.
  5. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROPER AND TIDY MANNER. CONTRACTOR IS RESPONSIBLE FOR ANY FEES INCURRED FOR INJURY TO UTILITIES OR OTHER STRUCTURES THAT ARE DAMAGED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FEES INCURRED FOR INJURY TO UTILITIES OR OTHER STRUCTURES THAT ARE DAMAGED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION.
  6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.
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  10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.
  11. ANY AND ALL QUANTITIES SHOWN ON DRAWINGS OR IN ANY PART OF THE PLANS ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND MATERIALS TO BE USED ON THE PROJECT.
  12. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.
  13. THIS SITE IS NOT IN A SPECIAL FLOOD HAZARD AREA.
  14. REFER TO THE PHASE ONE SERENITY DEVELOPMENT PLAN FOR STREET PROFILES, CURBS AND GUTTER LOCATIONS.
  15. REFER TO THE PHASE ONE SERENITY DEVELOPMENT PLANS FOR STANDARD DETAILS AND SPECIFICATIONS.
  16. THE SITE SHALL BE MAINTAINED BY THE SERENITY HOA.

**SITE DATA**

TOTAL SITE AREA	4.00 AC
TO BE DETERMINED	
PROPOSED USE	RESIDENTIAL AMENITY
CLUBHOUSE	4775 SF
POST OFFICE	1100 SF
BUILDING SETBACK	50'
PARKING SETBACK	10'
PARKING	1 PER 200 SF SPACES REQUIRED 73 SPACES PROVIDED
STREET TREE	PROVIDED PER DEVELOPMENT PLAN
PERIMETER BUFFER	PARKING LOT SCREENING PROVIDED
DISTURBANCE AREA	140,000 SF (3.21 AC)
PROPOSED IMPERVIOUS	CLUBHOUSE AND POST OFFICE 6011 SF POOL DECK AND HANGAR 6700 SF VEHICULAR SURFACE AREA 21815 SF TOTAL 62,486 SF (1.2 AC)

**REVISIONS:**

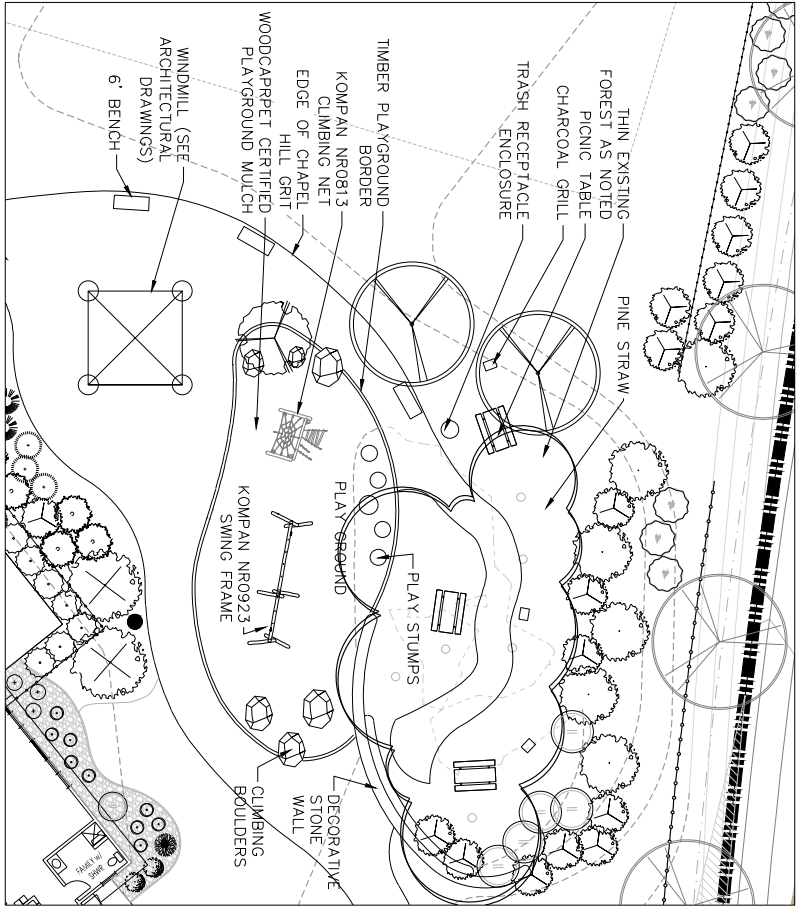
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**BUILDING AND DEVELOPMENT CO.**  
**Timmons Group**

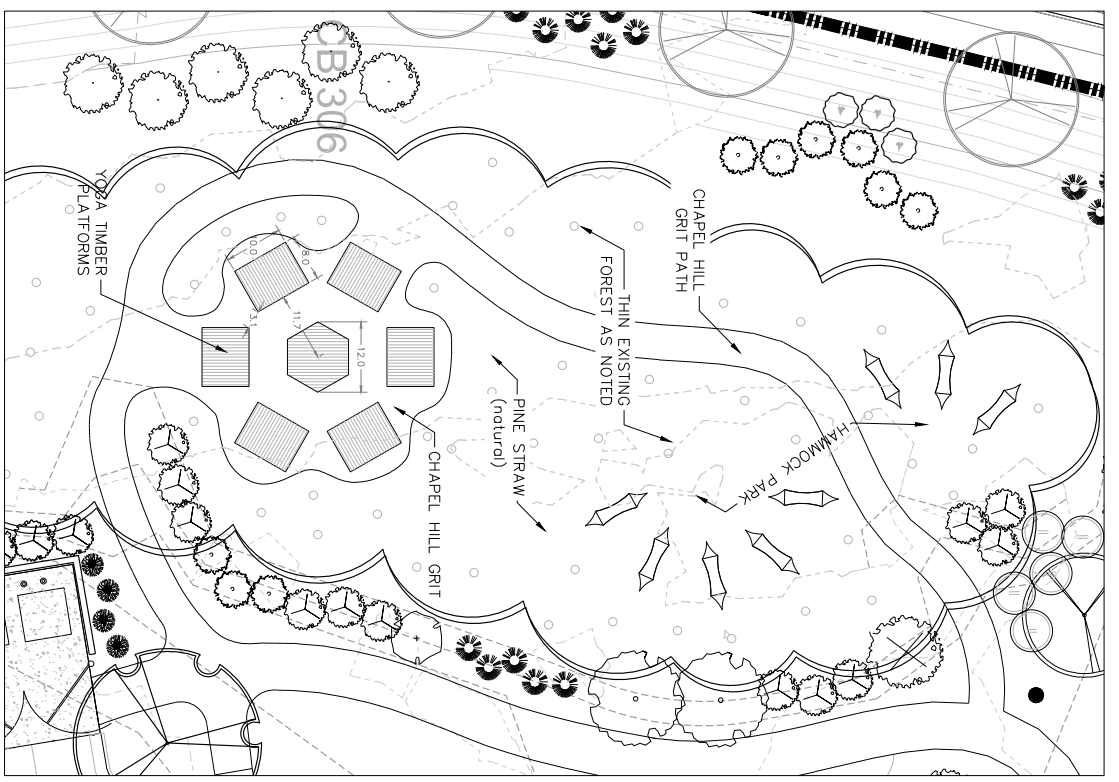
**D. CLUSION**

**TMTLA ASSOCIATES**  
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1 ENLARGEMENT  
SCALE: 1" = 10'



2 ENLARGEMENT  
SCALE: 1" = 10'

- GENERAL NOTES:
1. PLAY EQUIPMENT TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
  2. SEE DETAILS FOR FINISHES AND SPECIFICATIONS. CERTIFIED PLAY GROUND MULCH.
  3. SEE LANDSCAPE SHEET FOR FOREST THINNING REQUIREMENTS.
  4. SEE LANDSCAPE SHEET FOR FOREST THINNING REQUIREMENTS.
  5. PLAYGROUND EQUIPMENT SUBJECT TO CHANGE.

Know what's below,  
Call before you dig.

SCALE: 1" = 10'

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**Timmons Group**

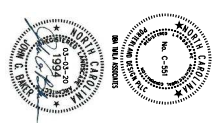
REVISIONS:


**PARKS ENLARGEMENT  
SERENITY CLUBHOUSE**  
Piney Grove Rowls Rd. Harnett County, NC  
GREENFIELD COMMUNITIES

SCALE: 1" = 10'

DRAWN BY: JCB  
PROJECT #: 18081  
DATE: 09/09/20  
SHEET: C-2.1

OF C-2.1



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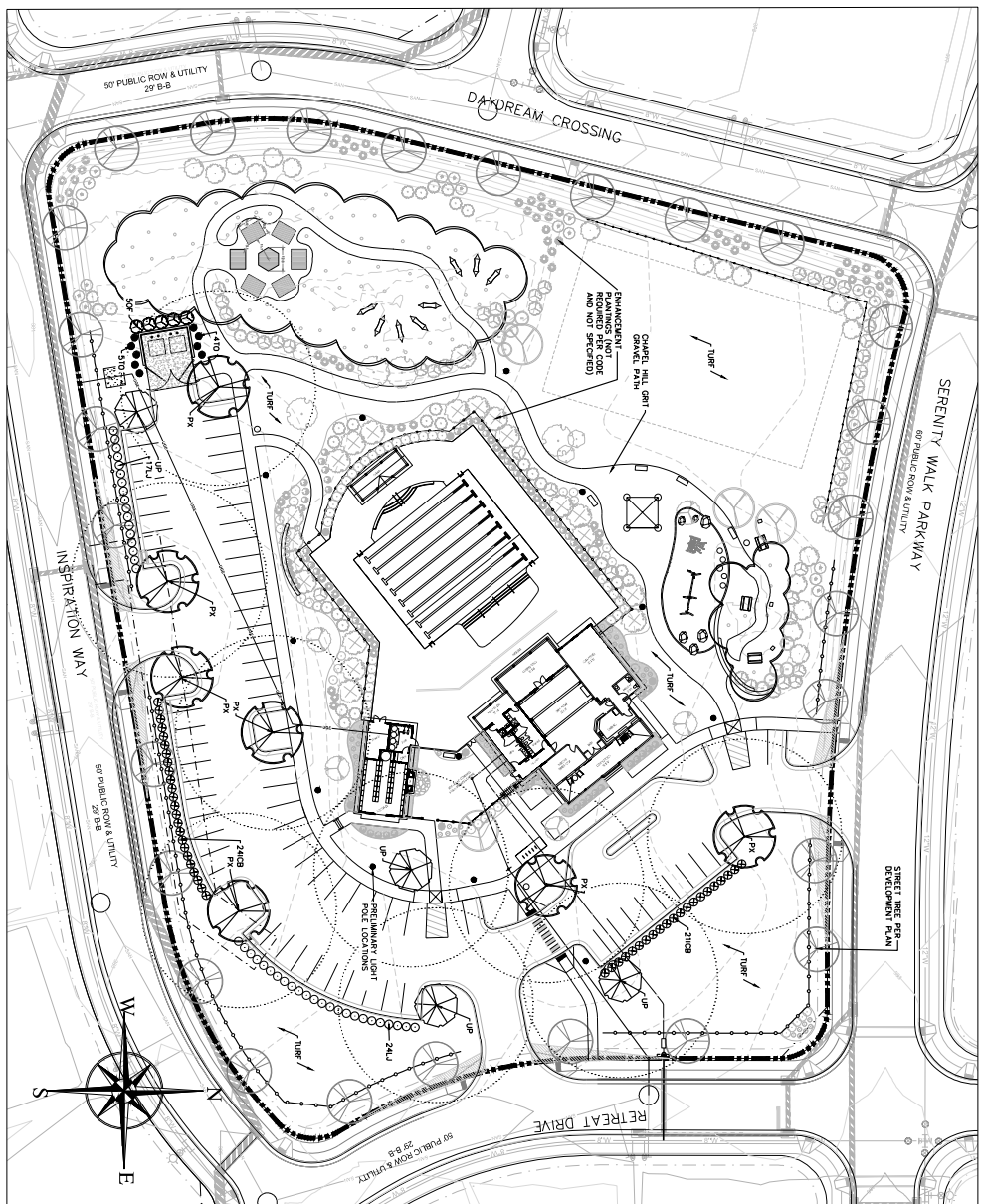
**LANDSCAPE REQUIREMENTS:**

1. PROVIDED - CANOPY TREE WITHIN 50' OF PARKING SPACES
2. PROVIDED - PERENNIAL SHRUB SCREENING FOR PARKING SPACES VIEWED FROM RIGHT OF WAY.
3. PROVIDED - PERENNIAL SHRUB SCREENING FOR PARKING SPACES VIEWED FROM RIGHT OF WAY.
4. PROVIDED - STREET TREES AS PROVIDED PER DEVELOPMENT PLAN.

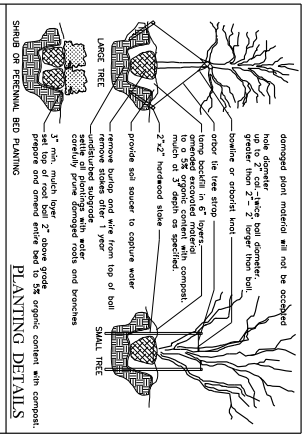
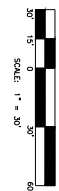
**PLANTING - 4599 CODE COMPLIANT PLANTINGS**

Code	Plant Name	Quantity	Plant Size	Plant Type	Plant Spacing
4599	Shrub	100	2'-2" tall	Perennial	4' x 4'
4599	Shrub	100	2'-2" tall	Perennial	4' x 4'
4599	Shrub	100	2'-2" tall	Perennial	4' x 4'
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NOTE: ONLY REQUIRED LANDSCAPING IS SPECIFIED



1 LANDSCAPE PLAN  
SCALE: 1" = 30'

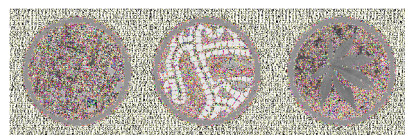


**GENERAL PLANTING NOTES**

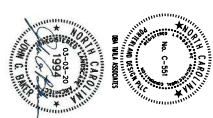
1. VARIATION OF TOLL QUANTITIES AS SHOWN SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR.
2. ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. PLANTING SHALL BE DONE WITH WETTED AND WETTED WOODEN FOLLING.
4. PLANTING SHALL BE DONE WITH WETTED AND WETTED WOODEN FOLLING.
5. PLANT WATERING SHALL BE DONE BY THE PLANTING CONTRACTOR.
6. NURSED PLANTING SHALL BE DONE BY THE PLANTING CONTRACTOR.
7. PLANTING SHALL BE DONE WITH FERTILIZER AND/OR LIME PER SOIL TEST REPORT AT THE PLANTING CONTRACTOR'S DISCRETION.
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- LANDSCAPE NOTES:**
1. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE HARRIS COUNTY ORDINANCE CODE AND THE LATEST EDITION OF NURSERY STANDARDS BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA).
  2. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE HARRIS COUNTY ORDINANCE CODE AND THE LATEST EDITION OF NURSERY STANDARDS BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA).
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1 LANDSCAPE PLAN  
SCALE: 1" = 30'



**TMILA ASSOCIATES**  
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p: (919) 484-8880 e: info@tmila.com



**Timmons Group**  
D. CLUSTON  
BUILDING AND DEVELOPMENT CO.

**REVISIONS:**

**LANDSCAPE PLAN**  
**SERENITY CLUBHOUSE**  
Piney Grove Roads Rd. Harnett County, NC  
GREENFIELD COMMUNITIES

SCALE: 1" = 30'

DESIGNED BY: JCG  
PROJECT # 18081  
DATE: 03/03/20  
SHEET

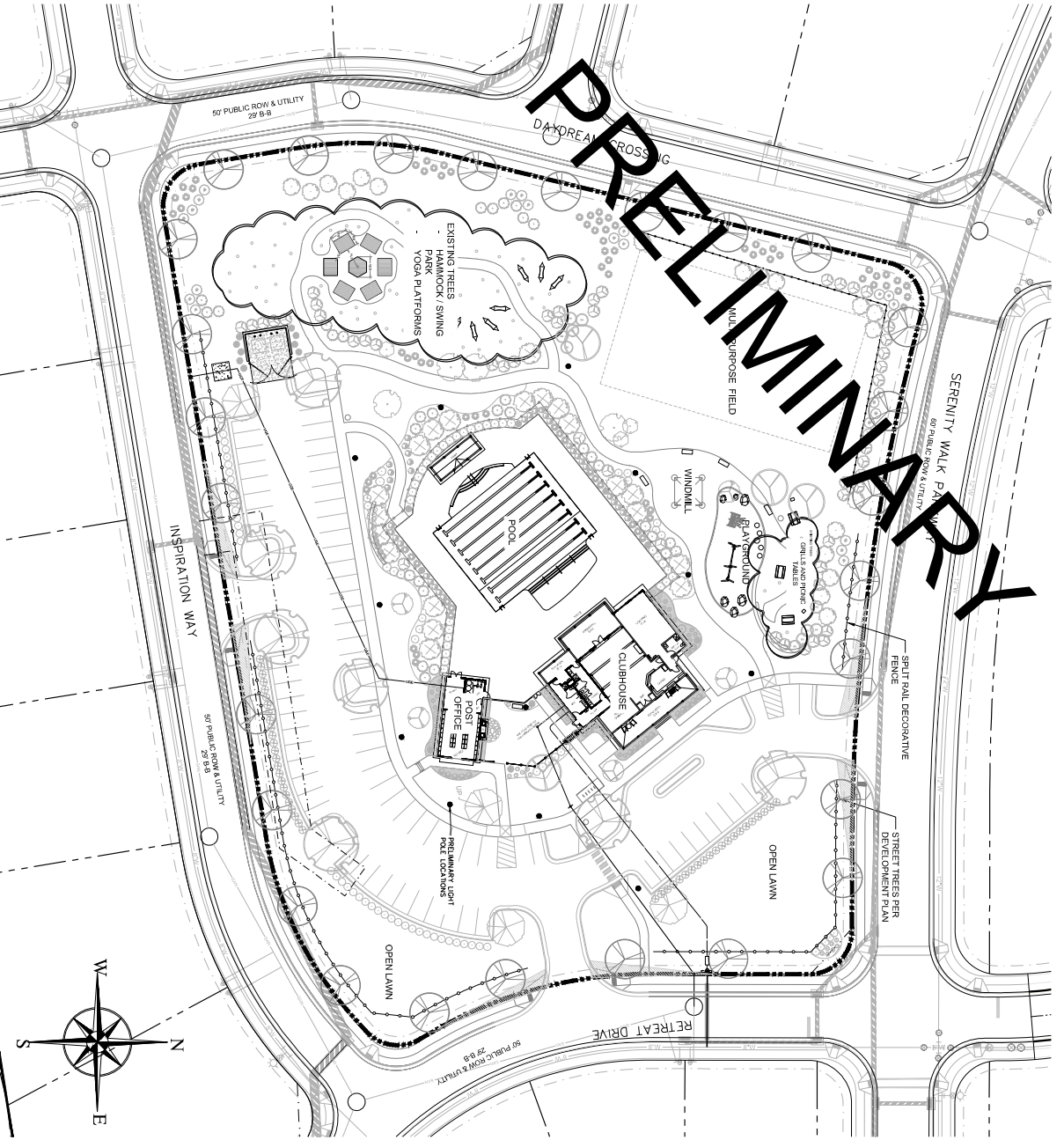
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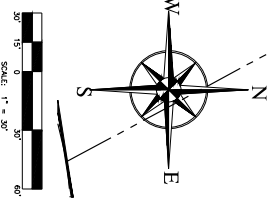






**PRELIMINARY**

1 SITE PLAN  
SCALE: 1" = 30'



1. LIGHTING NOTES AND LIGHTING PLAN TO BE PROVIDED BY OWNER.  
2. SITE LIGHTING TO BE DESIGNED IN COORDINATION WITH STREET LIGHTING.

**LIGHTING PLAN**  
**SERENITY AMENITY**  
Piney Grove Rowls Rd. Harnett County, NC  
GREENFIELD COMMUNITIES

SCALE: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_  
JGI

PROJECT # 18081  
DATE: 03/03/20  
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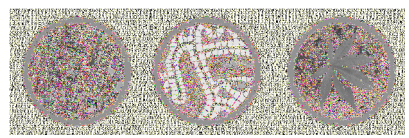
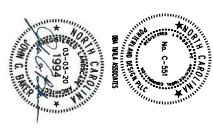
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REVISIONS:

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