














2018 APPENDIX B BUILDING CODE SUMMARY

ABBREVIATIONS

- ACC. = ACCESS
- BWL. = BRACED WALL LINE
- BWP. = BRACED WALL PANEL
- C.O. = CASSED OPENING
- C.J. = CEILING JOIST
- CLOS. = CLOSET
- COL. = COLUMN
- COMP. = COMPOSITION
- CONC. = CONCRETE
- CONT. = CONTINUOUS
- C.M.A. = CARBON MONOXIDE ALARM
- C.M.U. = CONCRETE MASONRY UNIT
- D.H. = DOUBLE HUNG
- DIA. = DIAMETER
- D.J. = DOUBLE JOIST
- DN. = DOWN
- EXH. = EXHAUST
- EXT. = EXTERIOR
- FL.J. = FLOOR JOIST
- FTG. = FOOTING
- G.F.I. = GROUND FAULT INTERRUPTER
- H.B. = HOSE BIB
- LVL. = LAMINATED VENEER LUMBER
- M.O. = MASONRY OPENING
- MAS. = MASONRY
- MAX. = MAXIMUM
- M.C. = MEDICINE CABINET
- MTL. = METAL
- MIN. = MINIMUM
- O.C. = ON CENTER
- OSB = ORIENTED STRAND BOARD
- PERF. = PERFORATED
- REC. = RECESSED
- REINF. = REINFORCED
- SCR. = SCREENED
- S.D. = SMOKE DETECTOR
- SEC. = SECOND
- SHWR. = SHOWER
- S.Y.P. = SOUTHERN YELLOW PINE
- S.P.F. = SPRUCE/PINE/FIR
- SUSP. = SUSPENDED
- TYP. = TYPICAL
- U.O.N. = UNLESS OTHERWISE NOTED
- WASH. = WASHER
- W.H. = WATER HEATER
- W.P. = WEATHER PROOF
- W.W.M. = WELDED WIRE MESH
- WDW. HT. = WINDOW HEIGHT
- WD. = WOOD

SYMBOLS

-  = HOSE BIB
-  = SWITCH
-  = 3-WAY SWITCH
-  = LIGHT FIXTURE
-  = EXHAUST FAN & LIGHT
-  = SMOKE DETECTOR
-  = SHOWER HEAD
-  = TELEPHONE JACK
-  = CONVENIENCE OUTLET
-  = 220 VOLT OUTLET
-  = GROUND FAULT INTERRUPTER
-  = CEILING FAN
-  = CARBON MONOXIDE ALARM

PROJECT

Name of Project: Barber Shop
 Address: S. Railroad Street, Coats, NC
 Owner: Allen McNeill Phone #: 919-894-8714 Email:
 Owned By: Private
 Code Enforcement Jurisdiction: County: Harnett

CONTACT

Architectural: Standard Homes Plan Service, Inc.
 Name: David Proctor, License: N/A
 Telephone: 800-334-3153
 Email: David@Standardhomes.com

NC BUILDING CODE: New Building

BASIC BUILDING DATA

Construction Type: V-B
 Sprinklers: No
 Standpipes: No
 Fire District: No
 Special Inspections Required: No

Gross Building Area: NEW 320 SQ FT

ALLOWABLE AREA

Primary Occupancy Classification: Business
 Incidental Uses: N/A
 Special Uses: N/A
 Special Provisions: N/A
 Mixed Occupancy: No

STORY NO.	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA OF FRONTAGE INC.	(D) ALLOWABLE AREA
1	BUSINESS BARBER SHOP	320 S.F.	9000 S.F.	N/A	9000 S.F.

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Bldg. Height in Feet (Table 504.3)	40 FT.	15 FT.	504.3
Bldg. Height in Stories (Table 504.4)	2	1	504.4

FIRE PROTECTION REQUIREMENTS

Structural Frame: 0 RATING
 Bearing Walls (Exterior): 0 RATING
 Bearing Walls (Interior): N/A
 Nonbearing Walls (Exterior): 0 RATING
 Nonbearing Walls (Interior): 0 RATING
 Floor Construction: 0 RATING
 Floor/Ceiling Assembly: N/A
 Columns Supporting Floors: N/A
 Roof Construction: 0 RATING
 Roof/Ceiling Assembly: 0 RATING
 Columns Supporting Roof: N/A
 Shaft Enclosures (Exit): N/A
 Shaft Enclosures (Other): N/A
 Corridor Separation: N/A
 Occupancy/Fire Barrier Separation: N/A
 Party/Fire Wall Separation: N/A
 Smoke Barrier Separation: N/A
 Smoke Partition: N/A
 Tenant Sleeping Unit: N/A
 Sleeping Unit Separations: N/A
 Incidental Use Separation: N/A

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINE	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
8.7 FT.	UP, NS	10%	0%
12.2 FT.	UP, NS	15%	8%

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Yes
 Exit Signs: Yes
 Fire Alarm: No
 Smoke Detection Systems: No
 Carbon Monoxide Detection: No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: Sheet 1 of 5

Occupancy Use (for Occupant Load Calculation): Yes
 Occupant Load for Each Area: Yes
 Exit Sign Locations: Yes
 Clear Exit Width for Each Exit Door: Yes
 Max. Calculated Occupant Load for Each Exit Door: Yes
 Actual Occupant Load for Each Exit Door: Yes

ACCESSIBLE PARKING (SECTION 1106)

Lot or Parking Area: 2,231.58 SF
 Total # of Parking Spaces: Provided: 3
 # of Accessible Spaces Provided: 96' Space: 1/132" Space: 0
 Total # of Accessible Provided: 1

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

Water Closet: Unisex 1
 Urinals: 0
 Lavatories: Unisex 1
 Shower/Tubs: 0
 Drinking Fountains: 0

ENERGY SUMMARY

THERMAL ENVELOPE

Roof/Ceiling Assembly
 Description of Assembly: GWB/Batt Insulation/Attic/Sheathing/Shingles
 U-Value of Total Assembly: U0.025
 R-Value of Insulation: 38

Exterior Wall Assembly
 Description of Assembly: GWB/Batt Insulation/Sheathing/Siding
 U-Value of Total Assembly: 0.059
 R-Value of Insulation: 15
 Openings (windows or doors with glazing)
 U-Value of Assembly: Door/Window: 0.3
 Solar Heat Gain Coefficient: 0.25
 Projection Factor: Overhang: 0.52 / No Overhang: 0
 Door R-Value: 2.5

Floor Slab on Grade

Description of Assembly: 4" Conc./Vapor Barrier/Sub-base
 U-Value of Total Assembly: 0.17
 R-Value of Insulation: 10
 Horizontal/vertical Requirement: 24" Horizontal/8" Vertical
 Slab Heated: No

Reviewed For Code Compliance By:

D. Banks Wallace

Chief Deputy Fire Marshal

08/12/2020 10:47:07 AM

EXCAVATION

EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTING SHALL EXTEND BELOW LOCAL FROST LINE AND TO A MINIMUM DEPTH OF 12" BELOW ADJACENT GRADE. (PRESUMED 2000 PSF SOIL BEARING CAPACITY).

EXPANSIVE, COMPRESSIVE OR SHIFTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

FOUNDATION

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS 6'-0" O.C., 1'-0" MAX. FROM CORNERS AND 1'-0" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.

PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.

SLOPE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.

PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS AND ANY LUMBER IN CONTACT WITH MASONRY.

PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FUNGUS, TERMITES AND OTHER HARMFUL INSECTS.

FRAMING

ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

DESIGN SPECIFICATIONS FOR LAMINATED VENEER LUMBER (LVL)

BEAMS AND HEADERS :
 GRADE : 2950Fb-2.0E
 BENDING Fb : 2950
 MOE : 2.0 X 10⁶
 SHEAR Fv : 290

SUPPORT FOR HEADERS:

HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH BUILDING CODE (SEE PLAN). THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAILED TO EACH END OF THE HEADER WITH FOUR-16D NAILS. SEE TABLE BELOW.

MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS:

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)	
	16	24
3 FEET OR LESS	1	1
4 FT.	2	1
8 FT.	3	2
12 FT.	5	3
16 FT.	6	4

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

ROOF LIVE LOAD (POUNDS PER SQUARE FOOT) : 20 PSF
 ULTIMATE DESIGN WIND SPEED (MILES PER HOUR) : 120 MPH
 NOMINAL DESIGN WIND SPEED : 93 MPH
 EXPOSURE CATEGORY "B" UNLESS OTHERWISE NOTED
 WINDOW DESIGN PRESSURE RATING : DP 25
 COMPONENT AND CLADDING LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET OR LESS:

PRESSURE ZONE	ULTIMATE DESIGN WIND SPEED (MPH)			
	115	120	130	140
ZONE 1	13.1, -14.0	14.2, -15.0	16.7, -18.0	19.4, -21.0
ZONE 2	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 3	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 4	14.3, -15.0	15.5, -16.0	18.2, -19.0	21.2, -22.0
ZONE 5	14.3, -19.0	15.5, -20.0	18.2, -24.0	21.2, -28.0

ASSUMED MEAN ROOF HEIGHT: 16'-1"

SEISMIC CONDITION BY ZONE : ZONES A AND B
 SUBJECT TO DAMAGE FROM WEATHERING : MODERATE
 CLIMATE ZONES (UNLESS OTHERWISE NOTED): ZONES 3 AND 4
 MINIMUM VALUES FOR ENERGY COMPLIANCE:
 CEILING R-38; EXTERIOR WALLS R-15; FLOORS R-19
 WINDOW U-FACTOR ≤ 0.35; RECOMMENDED SHGC ≤ 0.30

MISCELLANEOUS

LOCATE ALL CONVENIENCE OUTLETS ABOVE BASE
 CABINETS 42" ABOVE FINISHED FLOOR.

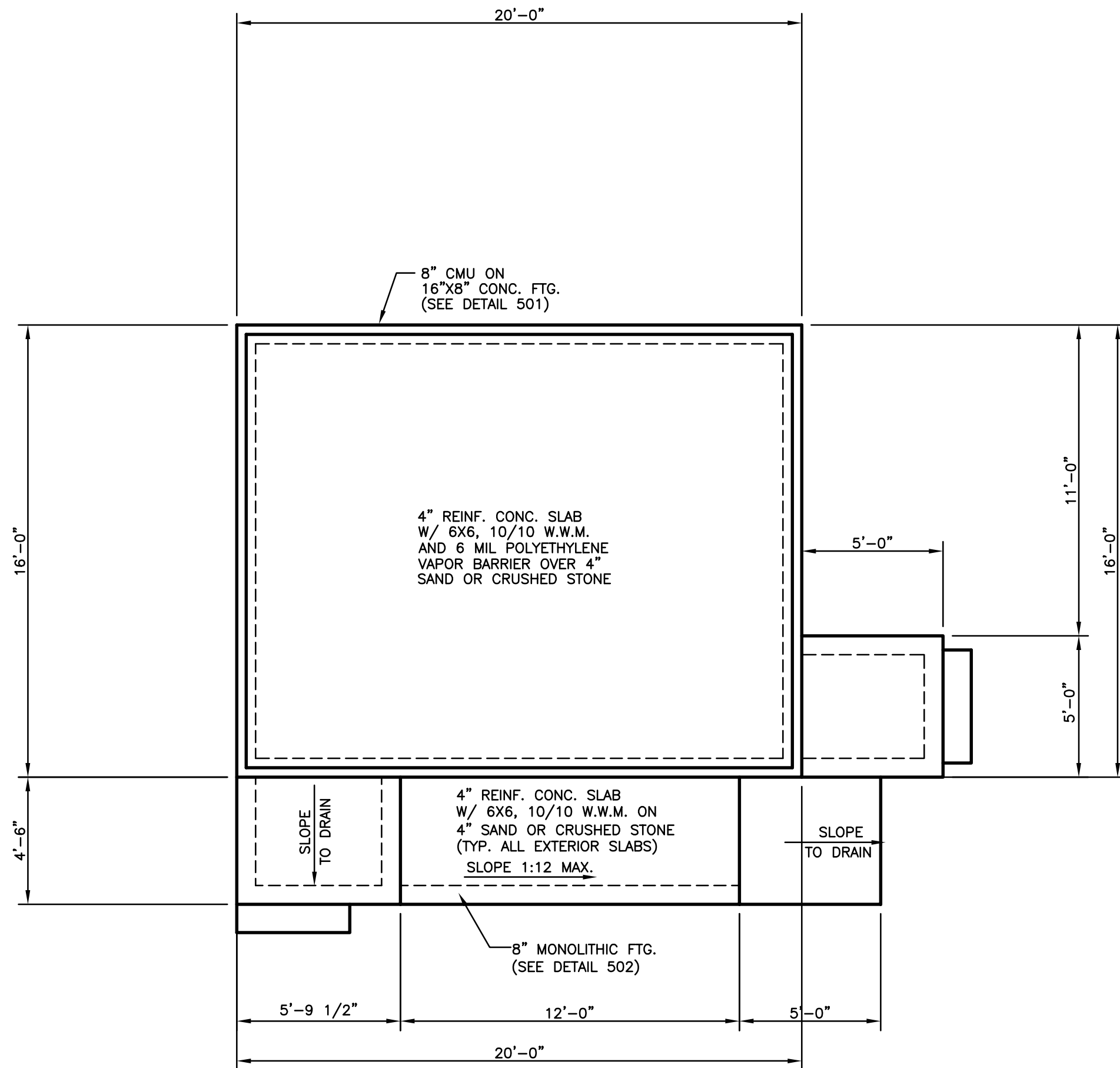
DRAWN 07-22-20

Standard Homes Plan Service, Inc.

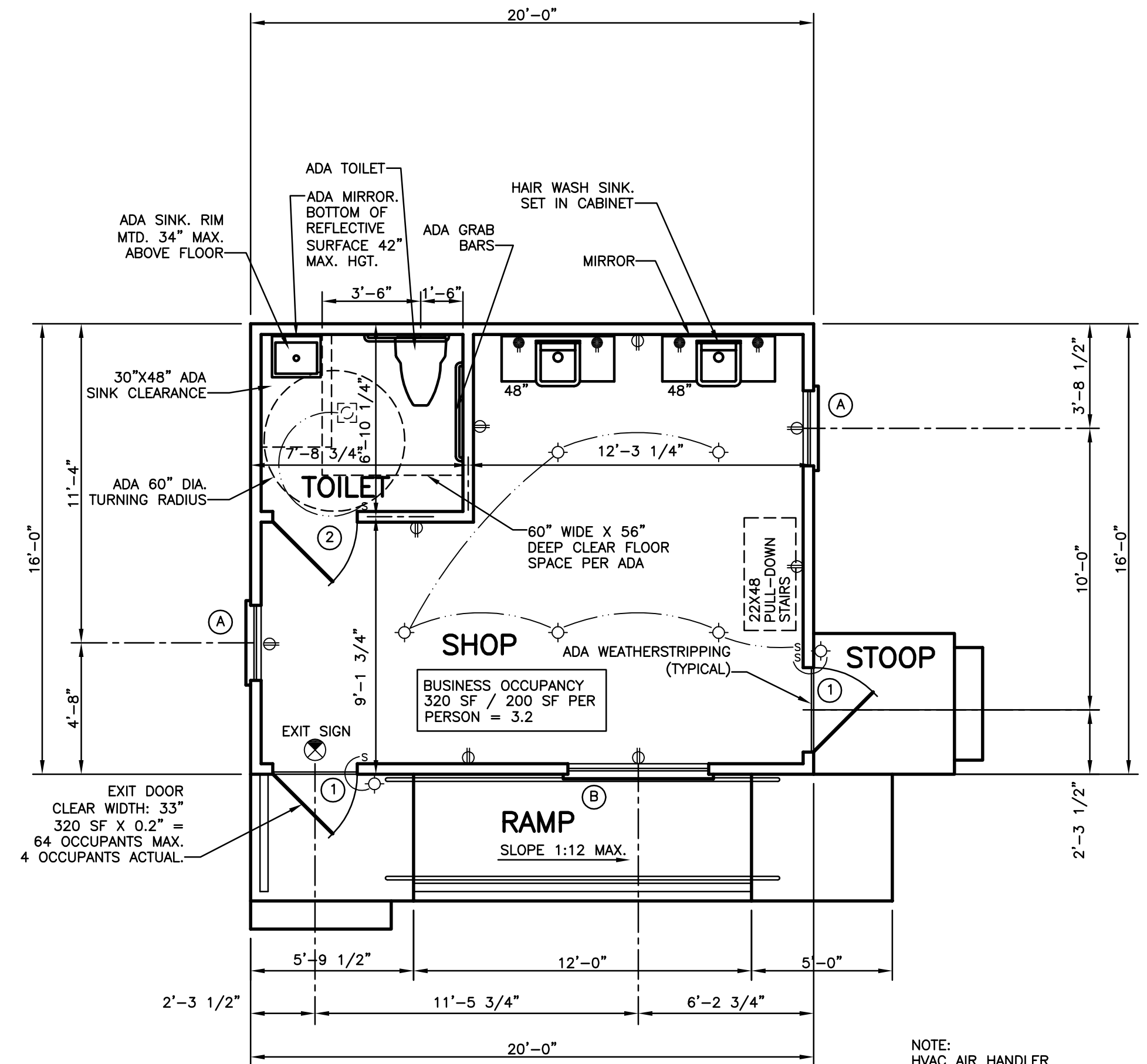
7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526 (919)552-5677

SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM

DESIGNED FOR	PLAN	NO.	MAT'L.	SHEET
ALLEN McNEILL	CUSTOM	2560	SID.	1 OF 5



202 FOUNDATION PLAN
SCALE : 1/4" = 1'-0"



201 FLOOR PLAN
SCALE : 1/4" = 1'-0"

HEATED AREA : 320 SQ. FT.
FRONT STOOP : 26 SQ. FT.
SIDE STOOP : 25 SQ. FT.

NOTE:
HVAC AIR HANDLER UNIT TO BE INSTALLED IN ATTIC.

DRAWN 07-22-20

WINDOW SCHEDULE

A	2'-8" X 4'-0" WD. D.H.	D		G		L	
B	5'-0" X 4'-0" WD. FIXED	E		H		M	
C		F		K		N	

DOOR SCHEDULE

1	3'-0" X 6'-8" X 1 3/4" 9-LITE	4		7		10	
2	3'-0" X 6'-8" X 1 3/8"	5		8		11	
3		6		9		12	

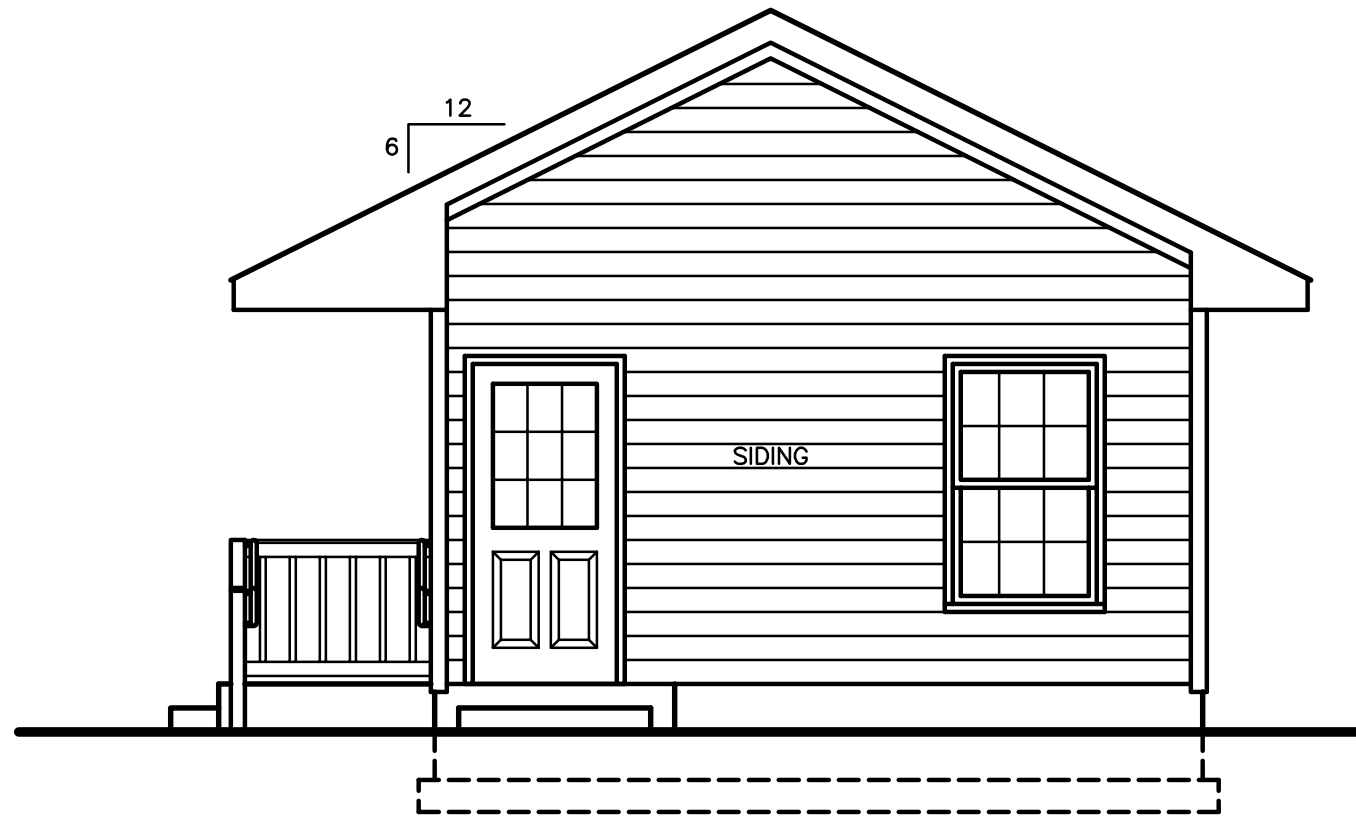
Standard Homes Plan Service, Inc.

7200 SUNSET LAKE ROAD FUQUAY-VARINA, N.C. 27526 (919)552-5677			
DESIGNED FOR ALLEN McNEILL		SHEET	
PLAN CUSTOM		NO. 2560	MATERIAL SID.
			2 OF 5

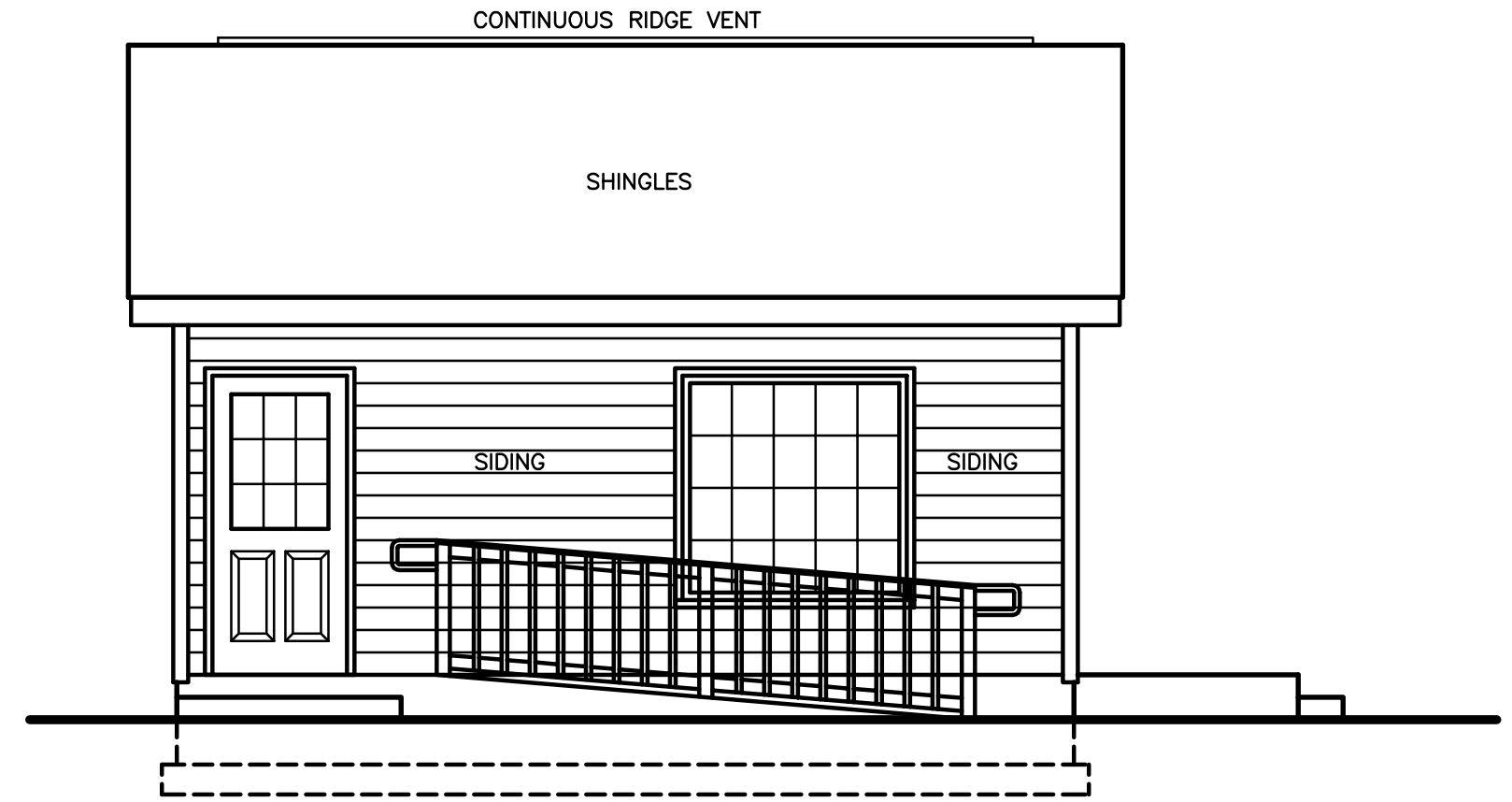
NOTES:

PROVIDE GUTTERS, DOWNSPOUTS, AND SPLASHPADS ACCORDING TO LOCAL CODE AND RAINFALL CONDITIONS.

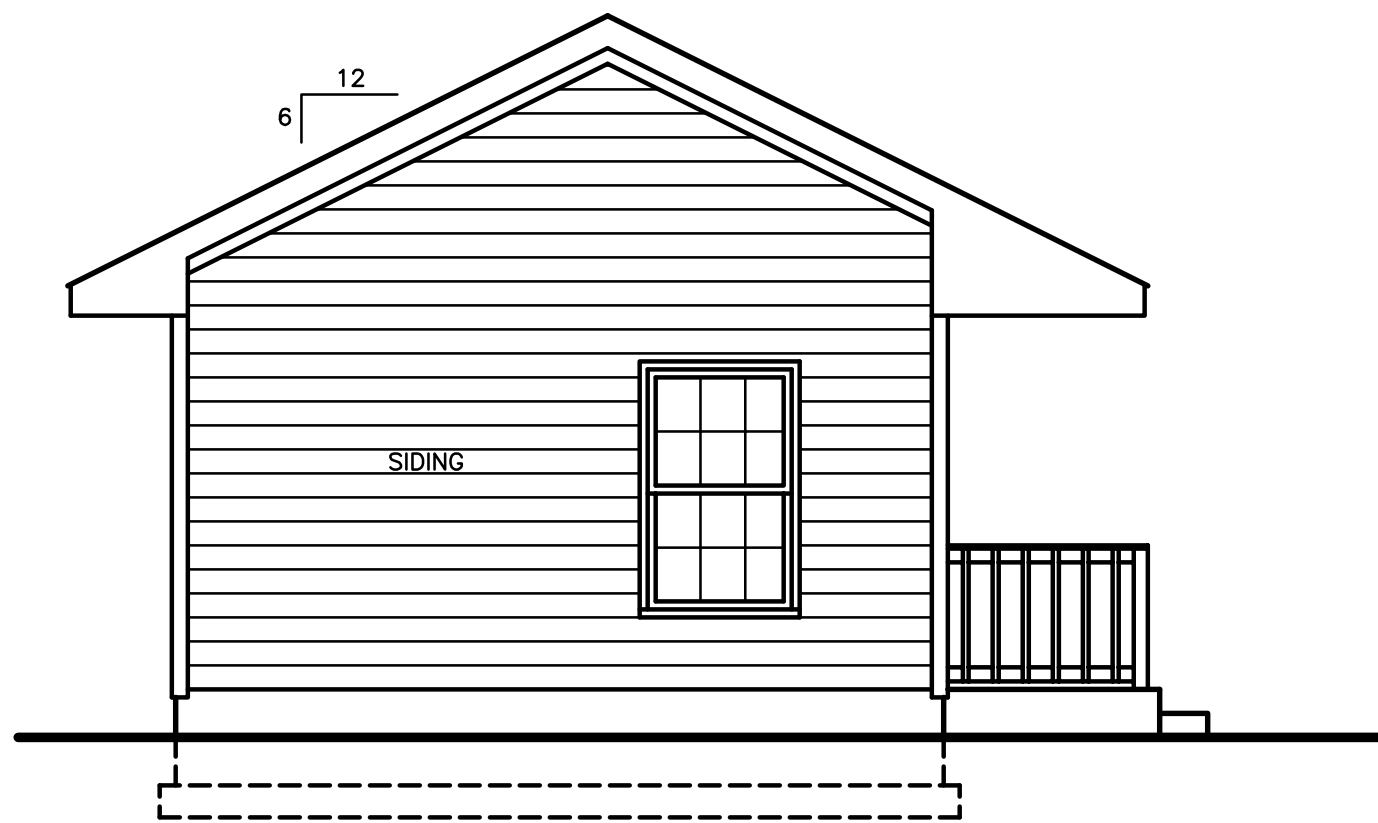
ALL SPLASHPADS SHALL CARRY WATER 60" FROM BUILDING.



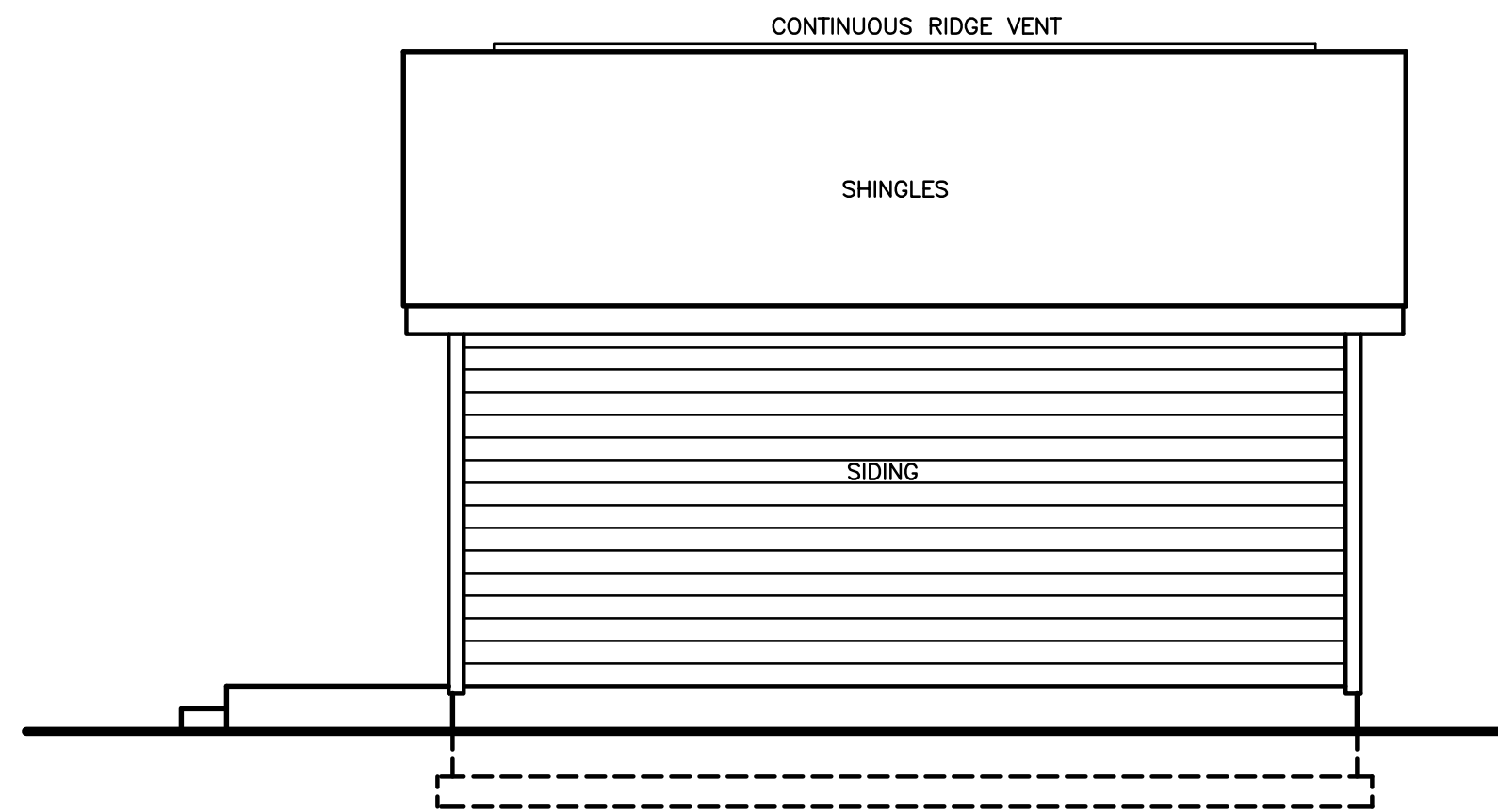
RIGHT ELEVATION
SCALE : 1/4" = 1'-0"



FRONT ELEVATION
SCALE : 1/4" = 1'-0"

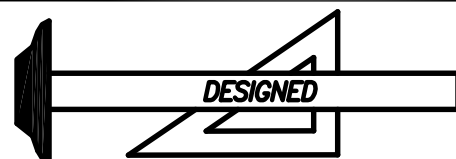


LEFT ELEVATION
SCALE : 1/4" = 1'-0"



REAR ELEVATION
SCALE : 1/4" = 1'-0"

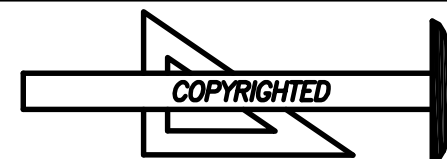
DRAWN 07-22-20



Standard Homes Plan Service, Inc.

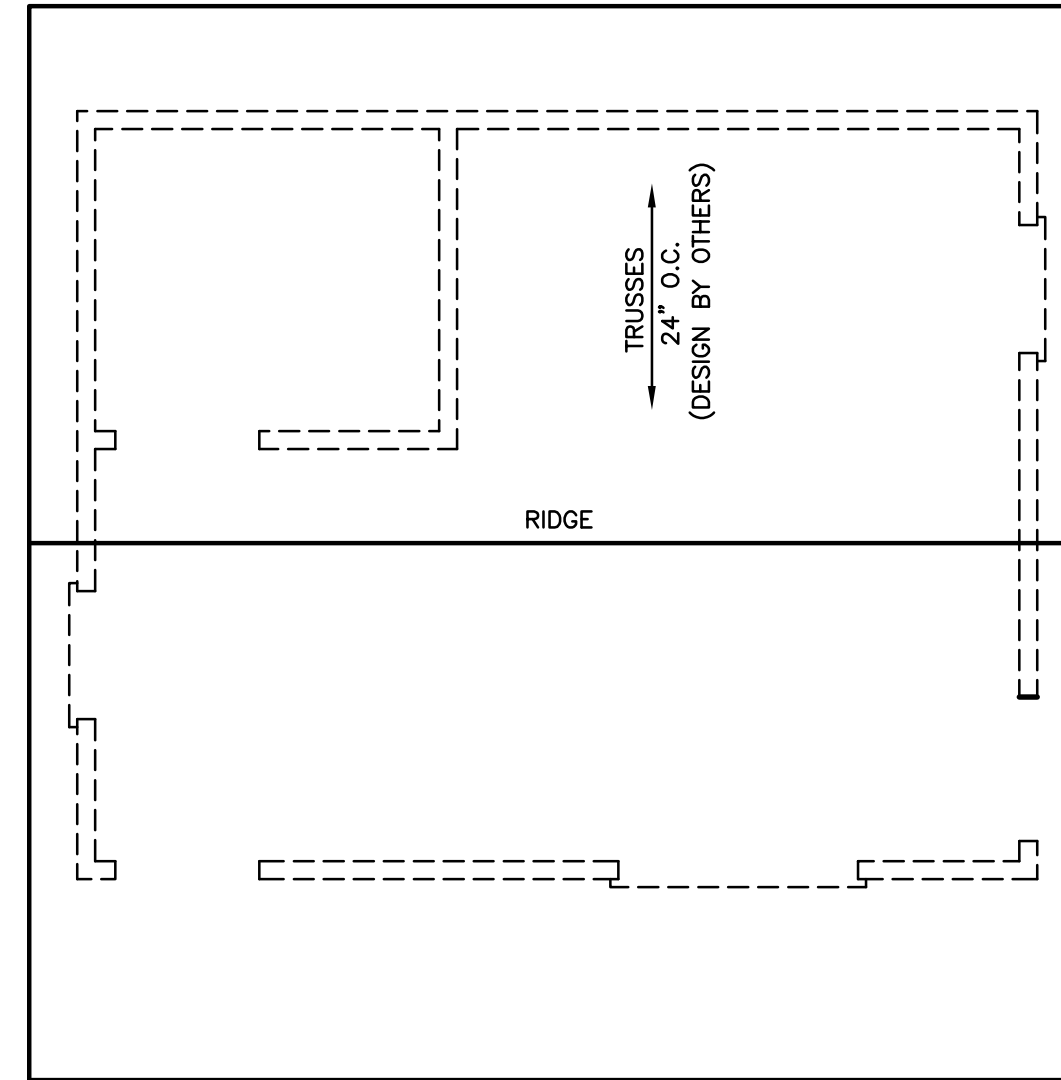
7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526 (919)552-5677

SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM



DESIGNED FOR	PLAN	NO.	MAT'L.	SHEET
ALLEN McNEILL	CUSTOM	2560	SID.	3 OF 5

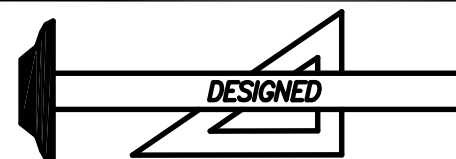
© 2020 STANDARD HOMES PLAN SERVICE, INC.



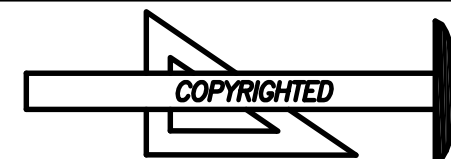
ROOF PLAN
SCALE : 1/4" = 1'-0"

ATTIC VENTILATION REQUIREMENTS :
320 SQ. FT. --- 150 = 2.13 SQ. FT. NET
FREE AREA REQUIRED

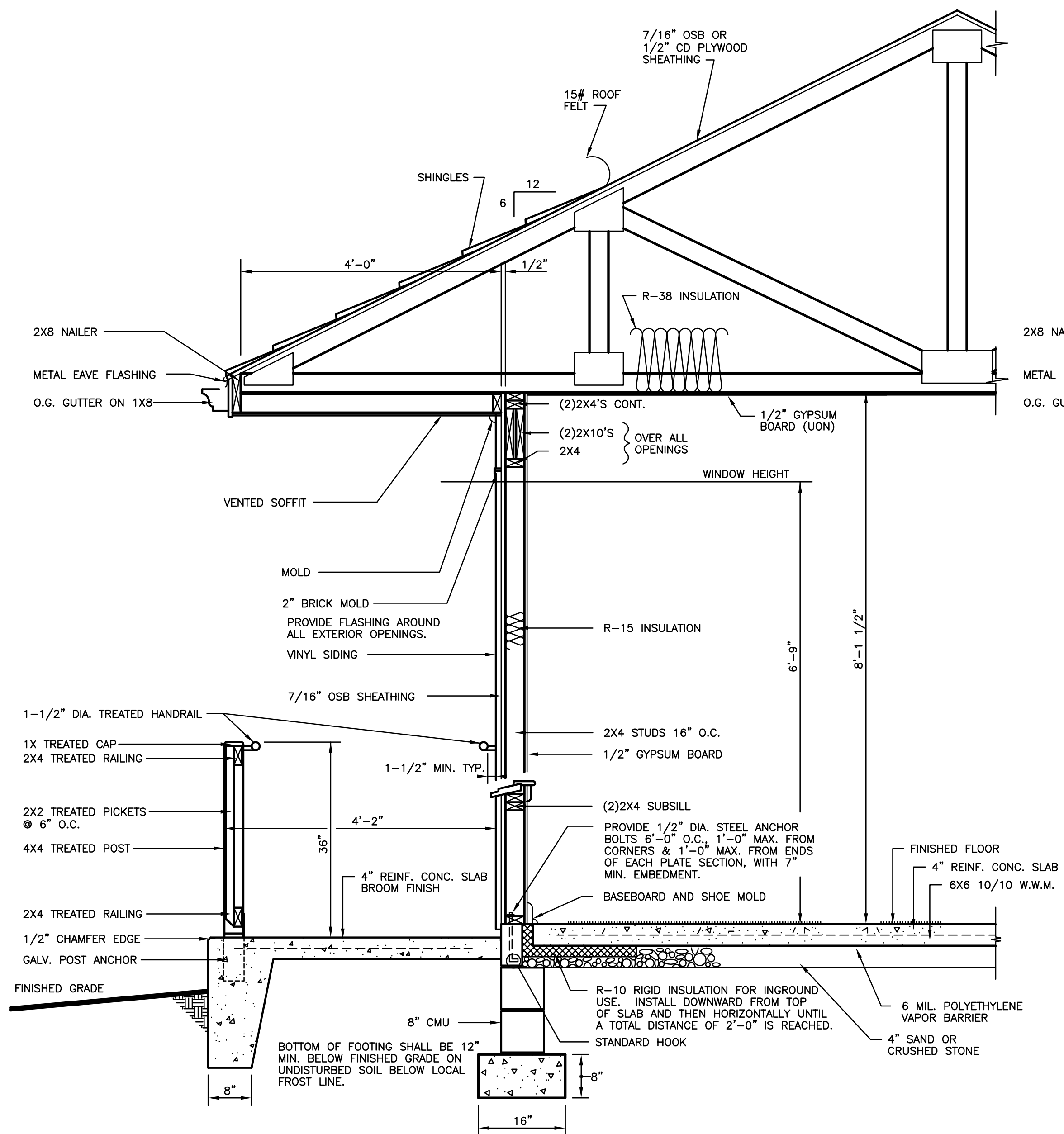
DRAWN 07-22-20



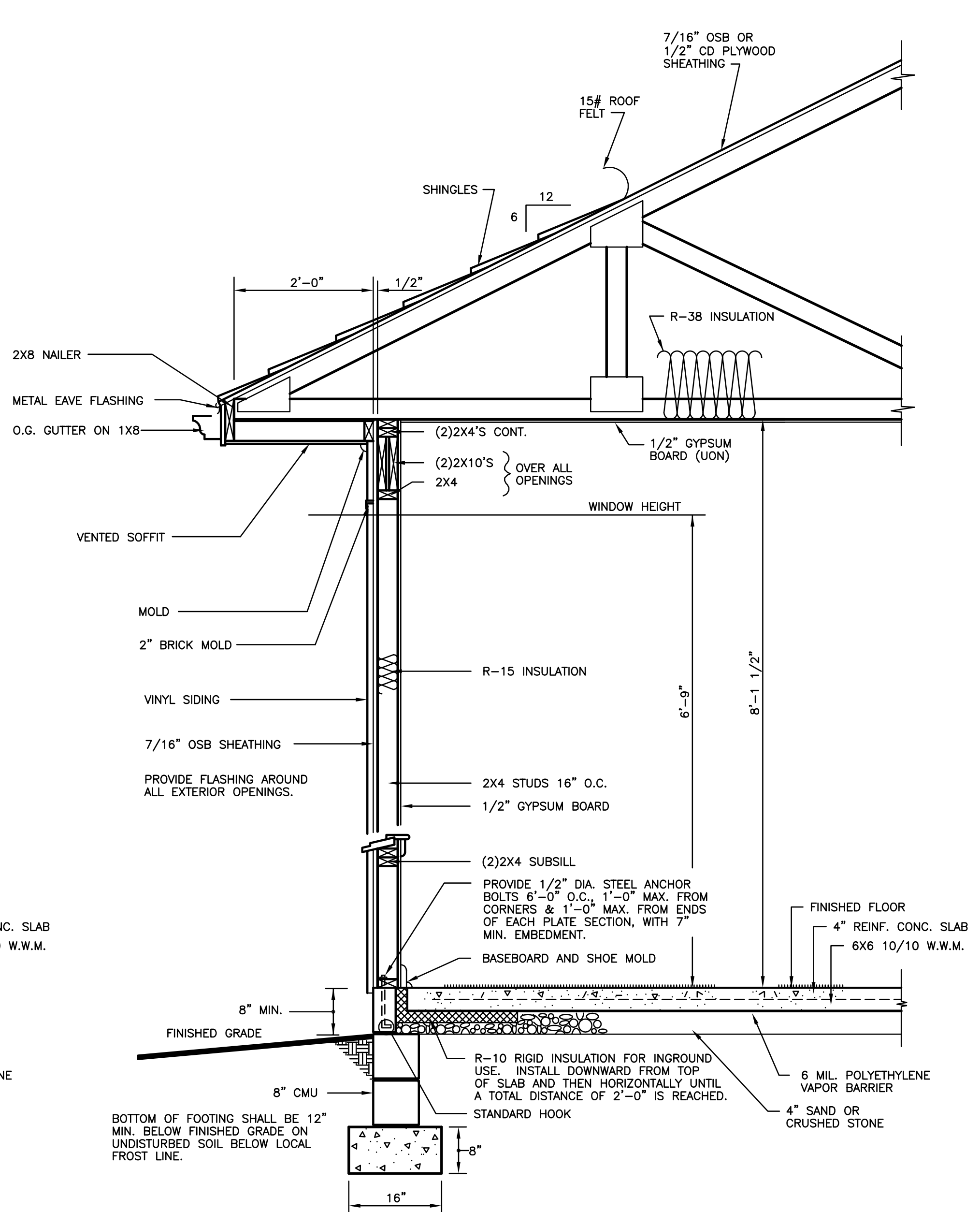
Standard Homes Plan Service, Inc.
7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526 (919)552-5677
SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM



DESIGNED FOR	PLAN	NO.	MAT'L.	SHEET
ALLEN McNEILL	CUSTOM	2560	SID.	4 OF 5

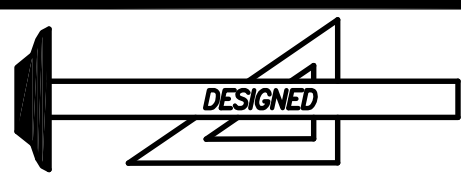


502 PORCH WALL SECTION
SCALE 3/4"=1'-0"

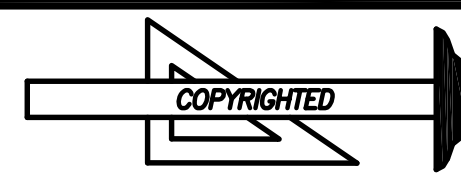


501 TYPICAL WALL SECTION
SCALE 3/4"=1'-0"

DRAWN 07-22-20



Standard Homes Plan Service, Inc.
7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526 (919)552-5677
SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM



DESIGNED FOR	PLAN	NO.	MAT'L.	SHEET
ALLEN McNEILL	CUSTOM	2560	SID.	5 OF 5

© 2020 STANDARD HOMES PLAN SERVICE, INC.