#### <u> 2018</u> **APPENDIX** $| \mathbf{w} |$ <u>BUILDING</u> COD m

## ACCESS BRACED WALL LINE BRACED WALL PANEL CASED OPENING

**ABBREVIATIONS** 

ACC.
BWP.
C.O.
CLOS. CEILING JOIST CLOSET

CONC. CONT. C.M.A. COL. CONTINUOUS
CARBON MONOXIDE ALARM
CONCRETE MASONRY UNIT
DOUBLE HUNG CONCRETE COMPOSITION

EXT. <u>P</u> DOWN FLOOR JOIST EXTERIOR **EXHAUST** DOUBLE JOIST D.H.

H.B. G.F.I. FIG. HOSE BIB GROUND FAULT INTERRUPTER FOOTING

**M**.0. 둗 LAMINATED VENEER LUMBER MASONRY OPENING

MAS. MAX. MAXIMUM MASONRY

M.C. ĭ Z MTL. METAL MEDICINE CABINET

MINIMUM

OSB 0.C. REC. PERF RECESSED PERFORATED ORIENTED STRAND BOARD ON CENTER

S.D. SCR. SEC. REINF SECOND SMOKE DETECTOR SCREENED REINFORCED

SUSP. S.P.F. S.Y.P. SUSPENDED SPRUCE/PINE/FIR SOUTHERN YELLOW PINE

SHWR

SHOWER

WASH. U.O.N. WASHER UNLESS OTHERWISE NOTED ₹.

TYPICAL

¥.P. **×** H. WEATHER PROOF WATER HEATER

₩.W.M. WDW. HT. WINDOW HEIGHT WELDED WIRE MESH

WOOD

#### **SYMBOLS**

**SWITCH** HOSE BIB

 $\diamondsuit$ LIGHT FIXTURE 3-WAY SWITCH

SMOKE DETECTOR EXHAUST FAN & LIGHT

Δ SHOWER HEAD

Φ CONVENIENCE OUTLET TELEPHONE JACK

GROUND FAULT INTERRUPTER 220 VOLT OUTLET

CARBON MONOXIDE ALARM

#### PROJECT

Name of Project: <u>Barber Shop</u>
Address: <u>S. Railroad Street, Coats, NC</u>
Owner: <u>Allen McNeill</u> Phone #: <u>919-894-8714</u> Email:
Owned By: <u>Private</u>
Code Enforcement Jurisdiction: County: <u>Harnett</u>

CONTACT

Architectural: Standard Homes Plan Service, In Name: <u>David Proctor</u>, License: <u>N. Telephone: 800—334—3153</u>
Email: <u>David@Standardhomes.com</u>

NC BUILDING CODE: New Building

### BASIC BUILDING DATA

Construction Type: <u>V—B</u>
Sprinklers: <u>No</u>
Standpipes: <u>No</u>
Fire District: <u>No</u>
Special Inspections Required: <u>No</u>

Gross Building Area: NEW 320 QS

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### ALLOWABLE AREA

Primary Occupancy Classification: <u>Business</u> Incidental Uses: <u>N/A</u>
Special Uses: <u>N/A</u>
Special Provisions: <u>N/A</u>
Mixed Occupancy: <u>No</u>

_	Story No.
BUSINESS BARBER SHOP	DESCRPTION AND USE
320 S.F.	(A) BLDG. AREA PER STORY (ACTUAL)
9000 S.F.	(B) IABLE 506.2 AREA
N/A	(C) AREA OF FRONTAGE INC.
9000 S.F.	(D) ALLOWABLE AREA

504.4	1	2	Bldg. Height in Stories (Table 504.4)
504.3	15 П.	40 П.	Bldg. Height in Feet (Table 504.3)
CODE REFERENCE	SHOWN ON PLANS	ALLOWABLE	

## FIRE PROTECTION REQUIREMENTS

Structural Frame: <u>O RATING</u>
Bearing Walls (Exterior): <u>N/A</u>
Nonbearing Walls (Exterior): <u>O RATING</u>
Nonbearing Walls (Interior): <u>O RATING</u>
Nonbearing Walls (Interior): <u>O RATING</u>
Nonbearing Walls (Interior): <u>O RATING</u>
Floor Construction: <u>O RATING</u>
Floor/Ceiling Assembly: <u>N/A</u>
Columns Supporting Floors: <u>N/A</u>
Roof Construction: <u>O RATING</u>
Columns Supporting Roof: <u>N/A</u>
Shaft Enclosures (Exit): <u>N/A</u>
Shaft Enclosures (Other): <u>N/A</u>
Corridor Separation: <u>N/A</u>
Occupancy/Fire Barrier Separation: <u>N/A</u>
Party/Fire Wall Separation: <u>N/A</u>
Smoke Barrier Separation: <u>N/A</u>
Smoke Partition: <u>N/A</u>
Tenant Sleeping Unit: <u>N/A</u>
Sleeping Unit Separation: <u>N/A</u>
Incidental Use Separation: <u>N/A</u> N/A

# PERCENTAGE OF WALL OPENING CALCULATIONS

8%	15%	UP, NS	12.2 FT.
0%	10%	UP, NS	8.7 FT.
ACTUAL SHOWN ON PLANS (%)	ALLOWABLE AREA (%)	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINE

## LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: <u>Yes</u> Exit Signs: <u>Yes</u> Fire Alarm: <u>No</u> Smoke Detection Systems: <u>No</u> Carbon Monoxide Detection: <u>No</u>

## LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: Sheet 1 of 5

Occupancy Use (for Occupant Load Calculation): <u>Yes</u>
Occupant Load for Each Area: <u>Yes</u>
Exit Sign Locations: <u>Yes</u>
Clear Exit Width for Each Exit Door: <u>Yes</u>
Max. Calculated Occupant Load for Each Exit Door: <u>Yes</u>
Actual Occupant Load for Each Exit Door: <u>Yes</u>

## ACCESSIBLE PARKING (SECTION 1106)

Lot or Parking Area: <u>2.231.58 SF</u>
Total # of Parking Spaces: Provided: <u>3</u>
# of Accessible Spaces Provided: 96' Space: <u>1</u>/132" Space: <u>0</u>
Total # of Accessible Provided: <u>1</u>

# PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

Drinking Fountains: 0

#### ENERGY SUMMARY

THERMAL ENVELOPE Roof/Ceiling Assembly

Description of Assembly: 4" Conc./Vapor Barrier/Sub-base U-Value of Total Assembly: 0.1Z R-Value of Insulation: 10 Horizontal/vertical Requirement: 24" Horizontal/8" Vertical Slab Heated: No

SUMMARY

Occupant Load Calculation): <u>Yes</u> Each Area: <u>Yes</u> <u>Yes</u>

Water Closet: <u>Unisex 1</u>
Urinals: <u>0</u>
Lavatories: <u>Unisex 1</u>
Shower/Tubs: <u>0</u>

Description of Assembly: <u>GWB/Batt Insulation/Attic/Sheathing/Shingles</u>
U-Value of Total Assembly: <u>U0.025</u>
R-Value of Insulation: <u>38</u>

Exterior Wall Assembly

Description of Assembly: <u>GWB/Batt Insulation/Sheathing/Siding</u> U-Value of Total Assembly: <u>0.059</u> R-Value of Insulation: <u>15</u> Openings (windows or doors with glazing)
U-Value of Assembly: <u>Door/Window: 0.3</u>
Solar Heat Gain Coefficient: <u>0.25</u>
Projection Factor: <u>Overhang: 0.52 / No Overhang: 0</u>
Door R-Value: <u>2.5</u>

Floor Slab on Gra

### **EXCAVATION**

EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTING SHALL EXTEND BELOW LOCAL FROST LINE AND TO A MINIMUM DEPTH OF 12" BELOW ADJACENT GRADE. (PRESUMED 2000 PSF SOIL BEARING CAPACITY).

EXPANSIVE, COMPRESSIVE OR SHIFTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

### FOUNDATION

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS 6'-0" O.C., 1'-0" MAX. FROM CORNERS AND 1'-0" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.

PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.

SLOPE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.

PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, AND ANY LUMBER IN CONTACT WITH MASONRY.

PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FUNGUS, TERMITES AND OTHER HARMFUL INSECTS.

#### FRAMING

ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

DESIGN SPECIFICATIONS FOR LAMINATED VENEER LUMBER (LVL)
BEAMS AND HEADERS: CPANE . 205055 2 05

GRADE: 2950Fb-2.0E BENDING Fb: 2950 MOE: 2.0 X 10<sup>6</sup> SHEAR Fv: 290

SUPPORT FOR HEADERS:
HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH BUILDING CODE (SEE PLAN). THE FULL—HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAILED TO EACH END OF THE HEADER WITH FOUR—16D NAILS. SEE TABLE BELOW. MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS:

16 FT	12 FT.	8 FT.	4 FT.	3 FEET OR LESS	(FEET)	HEADER SPAN
9	5	3	2	1	16	S DOLS MOMIXAM
4	3	2	1	1	24	MAXIMUM STUD SPACING (INCHES

### CLIMATIC DESIGN C CRITERIA **GEOGRAPHICAL**

ROOF LIVE LOAD (POUNDS PER SQUARE FOOT): 20 PS
ULTIMATE DESIGN WIND SPEED (MILES PER HOUR): 12C
NOMINAL DESIGN WIND SPEED: 93 MPH
EXPOSURE CATEGORY "B" UNLESS OTHERWISE NOTED
WINDOW DESIGN PRESSURE RATING: DP 25
COMPONENT AND CLADDING LOADS FOR A BUILDING WITH
A MEAN ROOF HEIGHT OF 30 FEET OR LESS: 20 PSF 120 MPH

DDECKLIDE JONE		ULTIMATE DESIGN V	ULTIMATE DESIGN WIND SPEED (MPH)	
FIXE330KE ZOINE	115	120	130	140
ZONE 1	13.1, -14.0	14.2, -15.0	16.7, -18.0	19.4, -21.0
ZONE 2	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 3	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 4	14.3, -15.0	15.5, -16.0	18.2, -19.0	21.2, -22.0
ZONE 5	14.3, -19.0	15.5, -20.0	18.2, -24.0	21.2, -28.0

ASSUMED MEAN ROOF HEIGHT: 16'-1"

SEISMIC CONDITION BY ZONE: ZONES A AND B
SUBJECT TO DAMAGE FROM WEATHERING: MODERATE
CLIMATE ZONES (UNLESS OTHERWISE NOTED): ZONES 3 AND 4
MINIMUM VALUES FOR ENERGY COMPLIANCE:
CEILING R-38; EXTERIOR WALLS R-15; FLOORS R-19
WINDOW U-FACTOR < 0.35; RECOMMENDED SHGC < 0.30

### MISCELLANEOUS

LOCATE ALL CONVENIENCE OUTLETS ABOVE BASE CABINETS 42" ABOVE FINISHED FLOOR.

MOLSNO	FLAN
2560	NO.
SID.	MAI L.
1 OF 5	SHEEI

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Standard 7200 SUNSET LAKE T

FUQUAY—VARINA, PREVIEWS ONLINE AT WWW.STI Plan 27526 OMES.COM Service

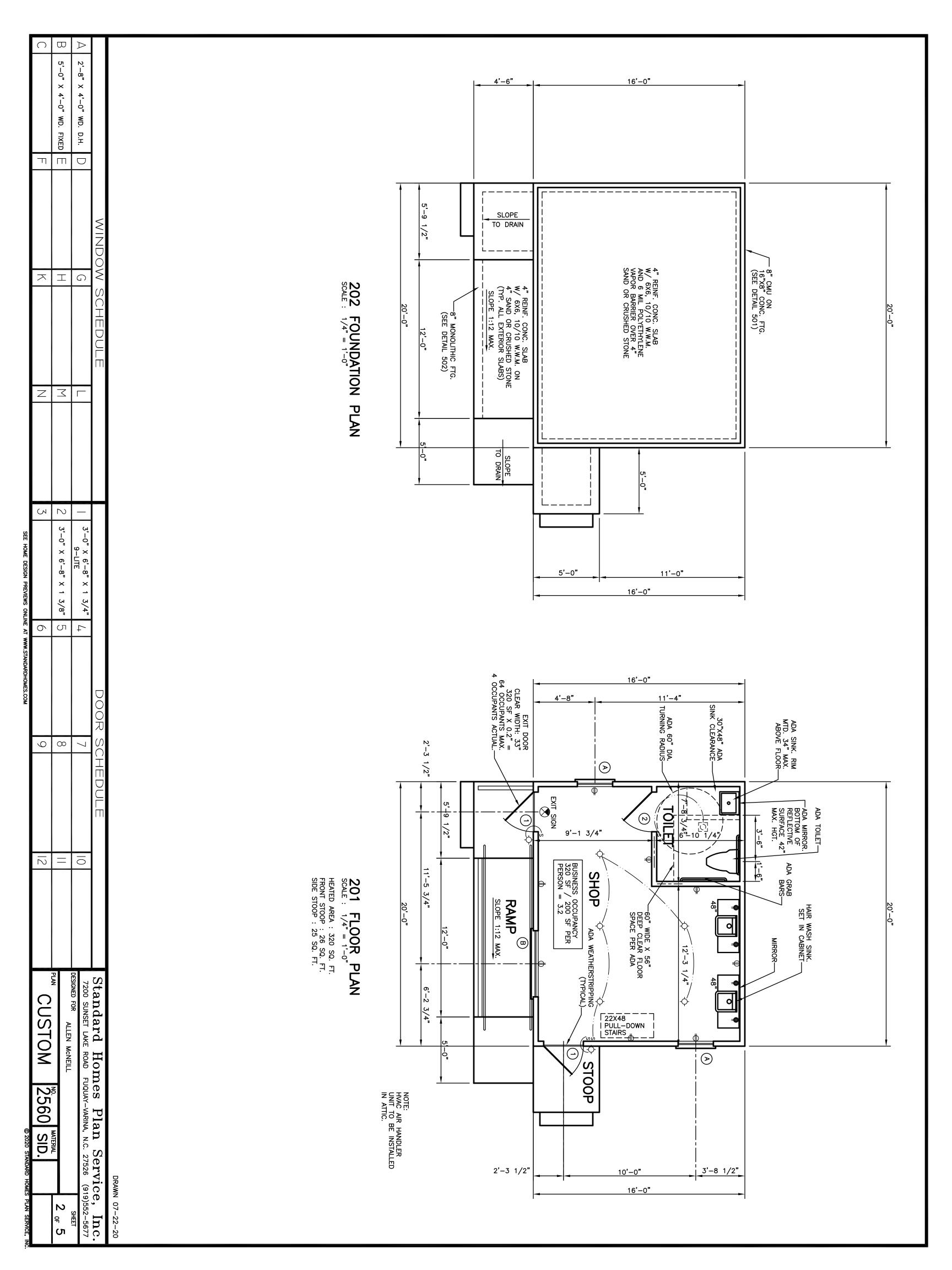
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SEE HOME DESIGN

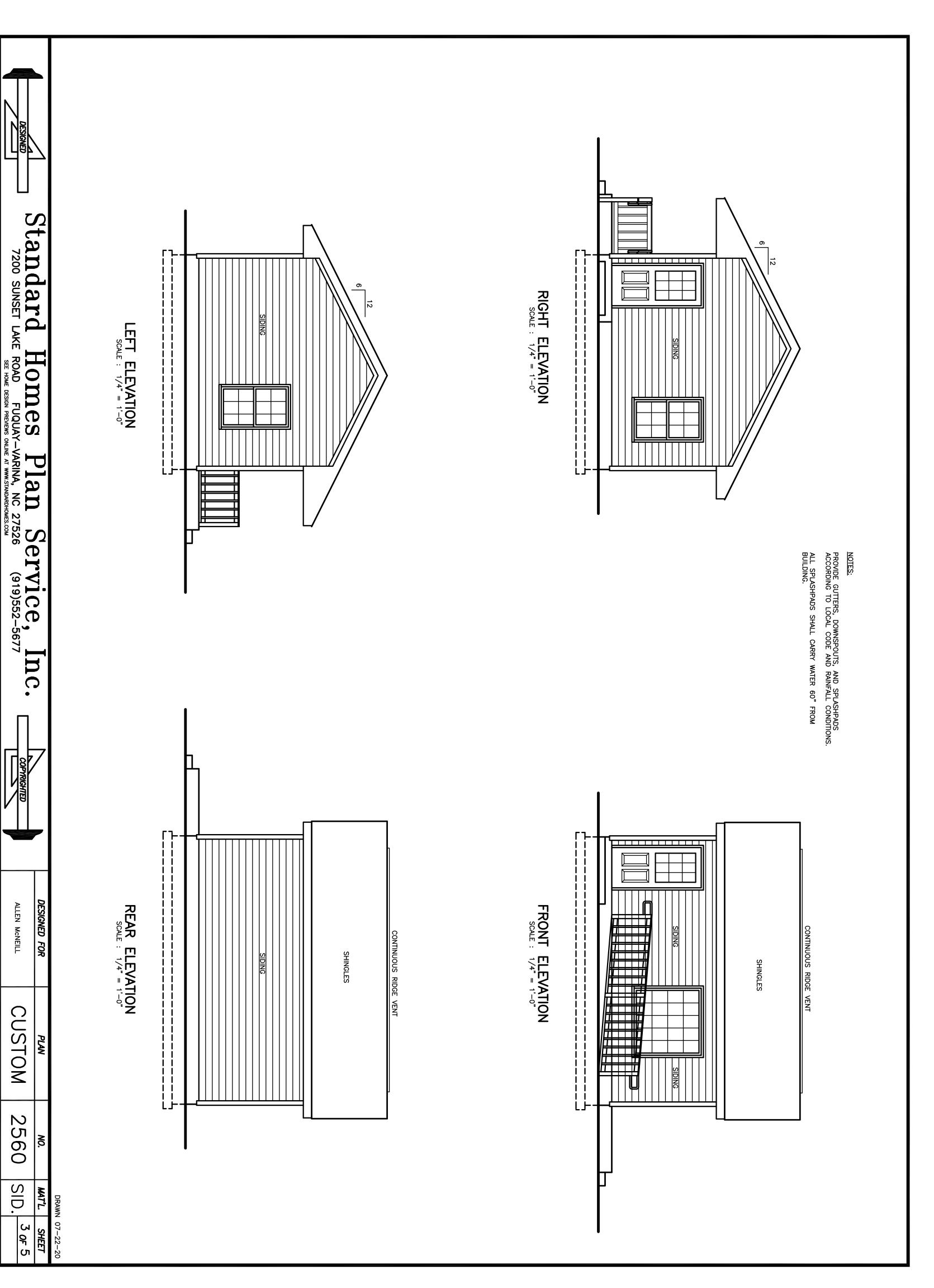
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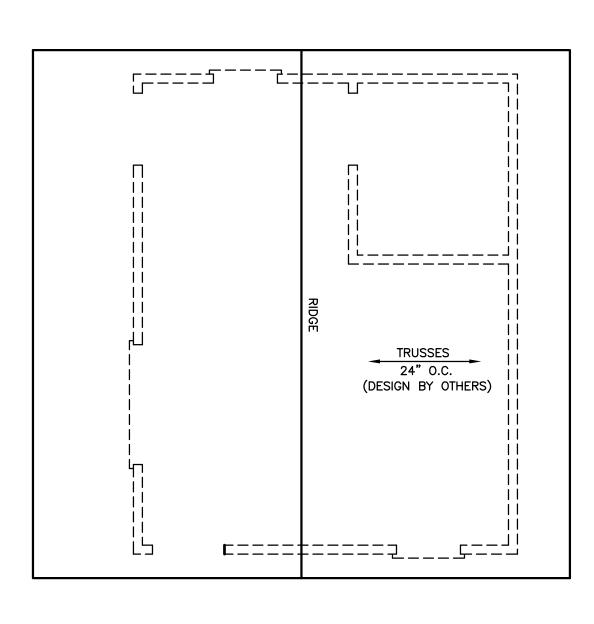
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DESIGNED FOR ALLEN McNEILL







### **ROOF PLAN** SCALE: 1/4" = 1'-0"

ATTIC VENTILATION REQUIREMENTS:
320 SQ. FT. -- 150 = 2.13 SQ. FT. NET
FREE AREA REQUIRED

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CUSTOM PLAN

2560

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MAT'L.

SHEET

SID. OF 5

