

Reviewed For Code Compliance By:
D. Banks Wallace
 Chief Deputy Fire Marshal
 02/04/2019 12:50:53 PM

OCCUPANCY CLASSIFICATION per TABLE 1004.1.2							
SPACE NUMBER	CURRENT SPACE USE	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	ROOM AREA (NET SF)	CALCULATED EGRESS OCCUPANCY TOTAL	ACTUAL BUILDING OCCUPANT TOTAL	
100	BUSINESS	BUSINESS	100 GROSS	1545	16	48	
101	VESTIBULE	ACCESSORY	300 GROSS	45	1	1*	
102	OFFICE	BUSINESS	100 GROSS	121	1	1	
103	WOMENS	BUSINESS	100 GROSS	78	1	1*	
104	MENS	BUSINESS	100 GROSS	59	1	1*	
TOTAL OCCUPANT COUNT FOR TENANT SPACE & EGRESS CAPACITY					1,848	20	49
TOTAL OCCUPANT COUNT FOR BUSINESS USE @100 SF NET (1891/100) THE EGRESS CAPACITY SHALL BE BASED UPON FIXED SEAT OCCUPANT LOAD OF 49 PERSONS (* DENOTES OCCUPANT NUMBER ACCOUNTED FOR IN OCCUPANT TOTAL)					49		

BUSINESS (B)

TYPE OF CONSTRUCTION: V-B
 SPACE IS TO BE USED AS A BUSINESS
 GROSS SQUARE FOOTAGE OF BUILDING 3,863 SQ. FT.
 GROSS SQUARE FOOTAGE OF TENANT SPACE 1,891 SQ. FT.

OCCUPANT LOAD FOR CALCULATING EGRESS CAPACITY:
 SPACE OCCUPANCY BY NET SF = (PER 1004.1.1 & TABLE 1004.1.2)
 (SEE TABLE ON THIS SHEET FOR INDIVIDUAL SPACE TOTALS)
 TOTAL OCCUPANT CALCULATED LOAD BY FIXED SEATS = 49 PERSONS
 TOTAL OCCUPANT LOAD BY BUSINESS USE = 1,891 / 100 = 19 PERSONS

GREATEST TRAVEL DISTANCE SHOWN: 54 FEET. (PER 1017)
 MAXIMUM ALLOWABLE TRAVEL DISTANCE: 200 FEET (PER TABLE 1017.2)
 THE COMMON PATH OF TRAVEL IS LESS THAN 75 FEET. (PER 1006.2.1)
 THERE ARE NO DEAD END CORRIDORS OVER 20 FEET. (PER 1020.4)

FLOOR EXIT WIDTH CALCULATIONS:
 49 PERSONS * 0.2"/OCCUPANT = 9.2" REQUIRED, 114 INCHES TOTAL PROVIDED (PER 1005.1)
 MIN. NO. OF EXITS REQUIRED: ONE (1) (PER TABLES 1006.2.1 & 1006.3.1)
 NUMBER OF EXITS PROVIDED: TWO (2) ACCESSIBLE

EGRESS DOORS DO NOT REQUIRE PANIC HARDWARE. (PER 1010.1.10)
 DOORS DO NOT HAVE DELAYED EGRESS LOCKS. (PER 1010.1.9.7)
 DOORS DO NOT HAVE ELECTROMAGNETIC EGRESS LOCKS. (PER 1010.1.9.9)
 EGRESS DOORS DO NOT HAVE HOLD OPEN DEVICES THAT WILL RELEASE THE DOOR UPON ACTIVATION OF FIRE ALARM.

THE FIRE AREA SQUARE FOOTAGE IS 1,891 SQUARE FEET (PER 901.7)

THERE ARE NO SLEEPING AREAS (SMOKE COMPARTMENTS) (PER 407.4)

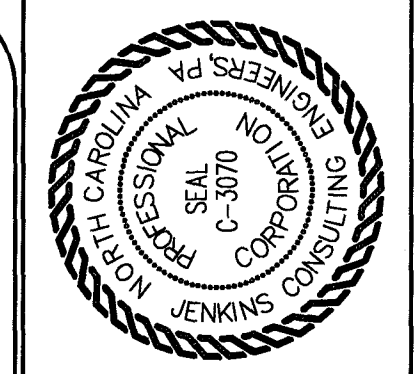
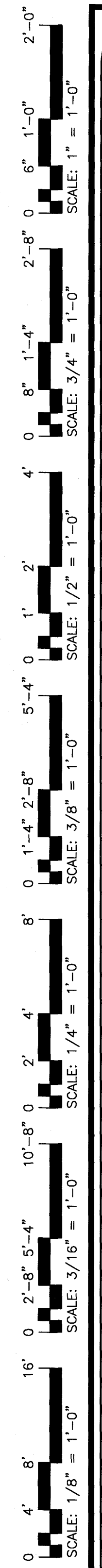
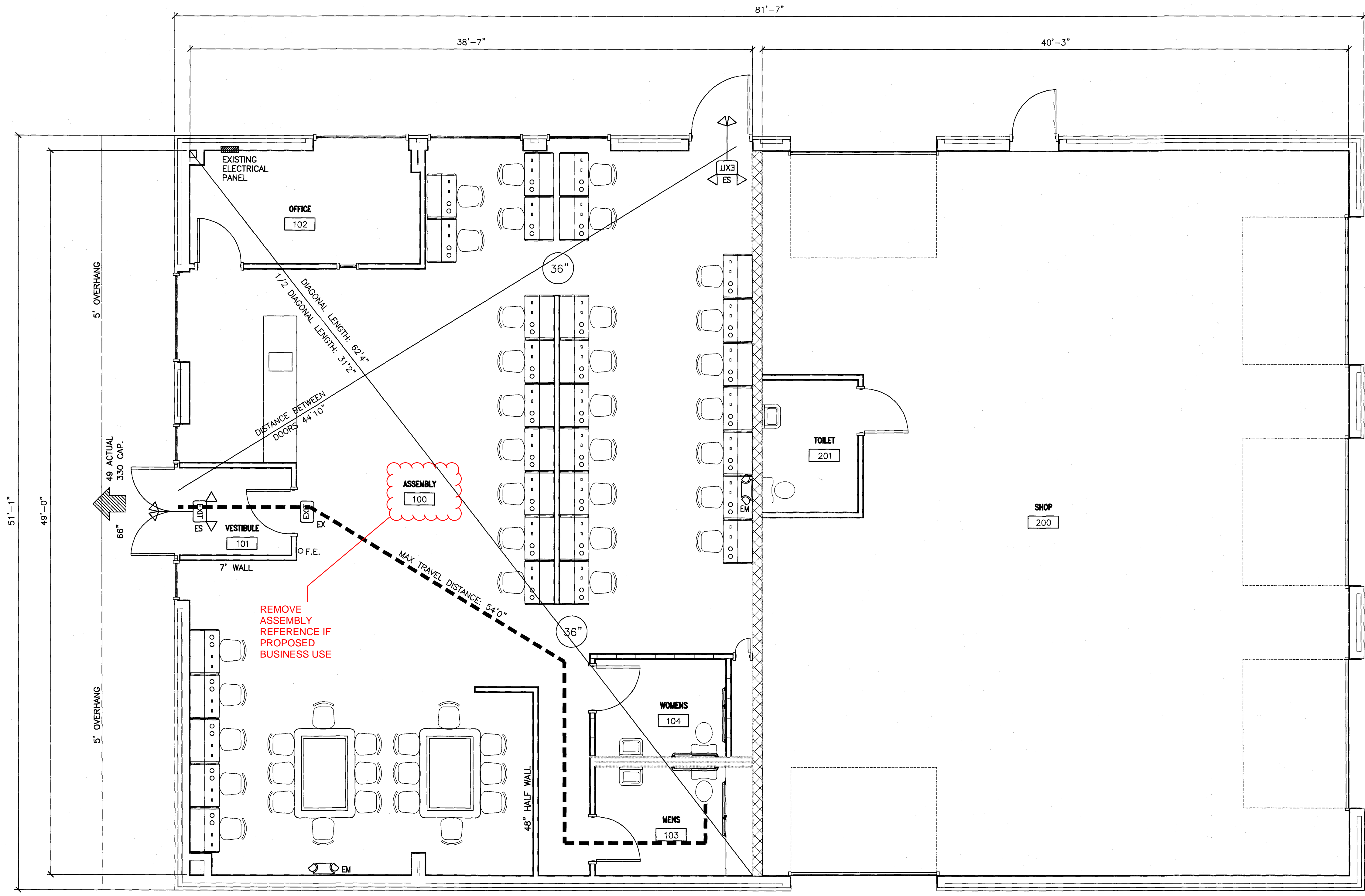
THIS BUILDING SPACE IS NOT PROTECTED BY FIRE SPRINKLERS

NO. OF FIRE EXTINGUISHERS PROVIDED: 1 ABC FIRE EXTINGUISHERS
 FIRE EXTINGUISHER FOR CLASS A FIRE HAZARDS REQUIRE NO GREATER THAN 75 FT OF MAXIMUM TRAVEL DISTANCE IN LOW, ORDINARY AND EXTRA HAZARD OCCUPANCY.

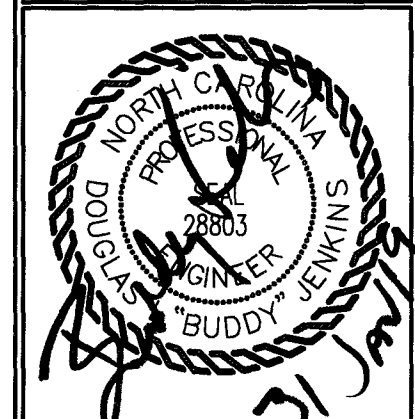
THERE IS NO FIRE ALARM SYSTEM.
 LOCK BOX FOR KEY IS INSTALLED AT FRONT ENTRANCE. (AS REQ'D.)
 DUCT DETECTORS ARE INSTALLED IN AHU. AN AUDIBLE AND VISIBLE DEVICE IS PROVIDED FOR UNIT. (AS REQ'D.)

THE CODE REFERENCES ABOVE WERE UPDATED FOR THE 2018 NORTH CAROLINA BUILDING CODE

LEGEND	
SYMBOL	DESCRIPTION
F.E. O	ABC FIRE EXTINGUISHER SUGGESTED LOCATION
EXIT ROUTE	EXIT ROUTE
GREATEST TRAVEL DISTANCE	GREATEST TRAVEL DISTANCE
33"	EXIT WIDTH, 36" - 3 = 33" CLEAR WIDTH. EXIT CAPACITY (NUMBER OF PERSONS)
165 CAP.	ACTUAL OCCUPANT LOAD FOR EXIT DOOR
22 ACTUAL	ACTUAL OCCUPANT LOAD FOR EXIT DOOR
EXIT SIGN	EXIT SIGN
EM	EMERGENCY EGRESS LIGHTING (SEE ELECTRICAL LIGHTING PLAN)
36"	aisle width where shown
EXIT SIGN WITH EMERGENCY LIGHTING	EXIT SIGN WITH EMERGENCY LIGHTING
ROOM LABEL	DESCRIPTION
10 RETAIL	OCCUPANT TOTAL
MERCANTILE	ROOM NAME
100 SF	ROOM NUMBER
	FUNCTION TYPE
	SPACE AREA



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 OFFICE IN EUREKA SPRINGS, NORTH CAROLINA, C-30710
 NORTH CAROLINA FIRM REGISTRATION NUMBER: C-30710
 PATENT REVIEW NUMBER: 910.832.5927
 910.832.5927



DESIGNED BY: B. JENKINS
 DRAWN BY: T.A.B.J.M.W.
 CHECKED BY: B. JENKINS
 DATE: 31 JAN 2019

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION
 OWNER/TENANT: SCOTT BAKER
 CONTRACTOR/BUILDER:

PROJECT: 210 BIZ CENTER - HONG SWEEPSTAKES
 35 ANDERSON CREEK SCHOOL ROAD BUNNLEVEL, NC 28323
 SHEET: LIFE SAFETY - EGRESS PLAN

LS1

2018 NC BUILDING CODE SUMMARY: APPENDIX B

Name of Project: **210 BIZ CENTER** PIN: 0417-48-0892
 Address: **35 ANDERSON CREEK SCHOOL RD, BUNNLEVEL, NC 28323** Zip Code: 28314
 Proposed Use: **SWEETSTAKES STYLE GAMING BUSINESS**
 Owner or Authorized Agent: **WON HONG** Phone: 910-922-7197 E-Mail: **WONHONG711@YAHOO.COM**
 Owned By: City/County Private **BAKER VIRGINIA** State
 Code Enforcement Jurisdiction: City County **HARNETT** State **NORTH CAROLINA**

CONTACT: **DOUGLAS L. JENKINS**

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	N/A	N/A	N/A		
Civil	N/A	N/A	N/A		
Electrical	N/A	N/A	N/A		
Fire Alarm	N/A	N/A	N/A		
Plumbing	N/A	N/A	N/A		
Mechanical	N/A	N/A	N/A		
Sprinkler-Standpipe	N/A	N/A	N/A	N/A	N/A
Structural	N/A	N/A	N/A	N/A	N/A
INTERIOR WALLS	JCE	DOUGLAS L. JENKINS	NC PE 28803	(910) 822-1724	buddy@jenkinspro.com
Retaining Walls >5' High	N/A	N/A	N/A	N/A	N/A
Building	JCE	DOUGLAS L. JENKINS	NC PE 28803	(910) 822-1724	buddy@jenkinspro.com

2018 NC BUILDING CODE: New Building Shell / Core First Time Interior Completions
 Addition Phased Construction - Shell Core

2018 NC EXISTING BUILDING CODE: Prescriptive Alteration Level I Historic Property
 Repair Alteration Level II Change of Use
 Chapter 14 Alteration Level III

CONSTRUCTED: (date) **2005** CURRENT USE (S) (Ch. 3): **VACANT**
 RENOVATED: (date) PROPOSED USE (S) (Ch. 3): **BUSINESS - SWEETSTAKES GAMING BUSINESS**
 OCCUPANCY RISK CATEGORY (Table 1604.5): Current: Proposed:

BASIC BUILDING DATA

Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B
 Sprinklers: No Partial NFPA 13 NFPA 13R NFPA 13D
 Standpipes: No Class I II III Wet Dry
 Primary Fire District: No Yes (APPENDIX D) Flood Hazard Area: No Yes
 Special Inspections Required: No Yes

GROSS BUILDING AREA TABLE

FLOOR	EXISTING (sq ft)	NEW (sq ft)	SUBTOTAL
AREA 1	1,891	NONE	1,891
AREA 2	1,972	NONE	1,972
TOTAL	3,863	NONE	3,863

ALLOWABLE AREA

Primary Occupancy Classification(s):
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory F-1 Moderate F-2 Low
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 I-2 I-3
 I-1 Condition 1 2
 I-2 Condition 1 2
 I-3 Condition 1 2 3 4 5
 Mercantile
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous

Accessory Occupancy Classification(s):

Incidental Uses (Table 509):
 This separation is not exempt as a Non-separated Use (see exceptions).
 Special Uses (Chapter 4): 402 403 404 405 406 407 408 409 410 411 412 413
 414 415 416 417 418 419 420 421 422 423 424 425
 426 427 428 429 430
 Special Provisions (Chapter 5): 510.2 510.3 510.4 510.5 510.6 510.7 510.8 510.9
 Mixed Occupancy: No Yes Separation: NONE Hr. Exception:
 Non-separated Use (508.3)
 Separated Use (508.4) -- See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area of each use shall not exceed 1.

Separated Use Formula 508.4.2:
$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$\frac{1,891}{9,000} + \frac{1,972}{9,000} = \leq 1.00$

STORY NUMBER	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1, 5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2, 3}
1	BUSINESS GAMING	1,891	9,000		9,000
1	SHOP (S-1)	1,972	9,000		6,000

1 Frontage area increases from Section 506.3 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = (P)
 b. Total Building Perimeter = (P)
 c. Ratio (F/P) = $\frac{(F/P)}{(P)}$
 d. W = Minimum width (weighted average) of public way = $\frac{(W)}{100 [F/P - 0.25] \times W/30}$ where $W = (L_1 X W_1 + L_2 X W_2) / F$ (Equation 5-4)
 e. Percent of frontage increase = $\frac{(F/P)}{100 [F/P - 0.25] \times W/30}$ (%) (Equation 5-5)

FRONTAGE INCREASE WORKSHEET FOR CALCULATIONS:

EXTERIOR WALL	(F) OPEN LENGTH (feet)	(P) TOTAL LENGTH (feet)	(W) (weighted average) WIDTH OF PUBLIC WAY OR OPEN SPACE (feet)	(%) FROM CALC. ABOVE	(%) FROM TABLE ABOVE	AREA INCREASE FOR COLUMN (C) ABOVE (% * TABLE AREA)
North						
South						
East						
West						
TOTAL						
EXAMPLE	75	100	25	42	23,500	(42*23,500 = 9,870)

2 Unimproved area applicable under conditions of Sections 507
 3 Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (Section 506.2).
 4 The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1
 5 Frontage increase is based on the unsprinklered area value in Table 506.2.

BUILDING CODE SUMMARY (continued)

	ALLOWABLE HEIGHT		
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	40	22	-
Building Height in Stories (Table 504.4)	1	1	-

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (feet)	RATING ** (TABLE 601)	REQ'D PROVIDED (w/ REDUCTION)	DETAIL AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses		0	0				
Bearing Walls		0	0				
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing walls and partitions							
Exterior walls							
North							
East							
West							
South							
Interior Non-Bearing Walls							
Floor construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof construction including supporting beams and joists							
Roof Ceiling Assembly		0	0				
Columns Supporting Roof							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy / Fire Barrier Separation							
Party/Fire Wall Separation		2	2	EXISTING			
Smoke Barrier Separation							
Smoke Partition							
Tenant/Dwelling Unit / Sleeping Unit Separation							
Incidental Use Separation							

EXTERIOR WALL	FIRE SEPARATION DISTANCE (feet) FROM PROPERTY LINE	DEGREE OF OPENINGS PROTECTION (TABLE 705.5)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
North				
South				
East				
West				

LIFE SAFETY SYSTEM REQUIREMENTS		
Emergency Lighting:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Exit Signs:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Fire Alarm:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Smoke Detection Systems:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Partial <input type="checkbox"/> Duct Detectors
Carbon Monoxide Detection:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Life Safety Systems Generator:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

LIFE SAFETY PLAN REQUIREMENTS		
Life Safety Plan Sheet #:	LS-1	
<input checked="" type="checkbox"/>	Fire and/or smoke rated wall locations (Chapter 7)	
<input type="checkbox"/>	Assumed and real property line locations (if not on the site plan)	
<input type="checkbox"/>	Exterior wall opening area with respect to distance to assumed property lines (705.8)	
<input checked="" type="checkbox"/>	Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)	
<input checked="" type="checkbox"/>	Occupant loads for each area	
<input checked="" type="checkbox"/>	Exit access travel distances (1017)	
<input checked="" type="checkbox"/>	Common path of travel distances (1006.2.1 & 1006.3.2(1))	
<input type="checkbox"/>	Dead end lengths (1020.4)	
<input checked="" type="checkbox"/>	Clear exit widths for each exit door	
<input checked="" type="checkbox"/>	Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.8)	
<input checked="" type="checkbox"/>	Actual occupant load for each exit door	
<input type="checkbox"/>	A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation	
<input checked="" type="checkbox"/>	Location of doors with panic hardware (1010.1.10)	
<input checked="" type="checkbox"/>	Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)	
<input checked="" type="checkbox"/>	Location of doors with electromagnetic egress locks (1010.1.9.9)	
<input checked="" type="checkbox"/>	Location of doors equipped with hold-open devices	
<input checked="" type="checkbox"/>	Location of emergency escape windows (1030)	
<input type="checkbox"/>	The square footage of each fire area (903)	
<input type="checkbox"/>	The square footage of each smoke compartment for Occupancy Classification I-II (407.5)	
<input type="checkbox"/>	Note any code exceptions or table notes that may have been utilized regarding the items above	

ACCESSIBLE DWELLING UNITS (SECTION 1107)						
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TOTAL ACCESSIBLE UNITS PROVIDED
NONE REQUIRED						

ACCESSIBLE PARKING (SECTION 1106)						
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES	# OF ACCESSIBLE SPACES PROVIDED	# OF ACCESSIBLE SPACES WITH			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	86" ACCESS AISLE	
EXISTING						
NEW						
TOTAL						

BUILDING CODE SUMMARY (continued)

USE	PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)						
	WATER CLOSETS MALE/FEMALE	URINALS UNISEX	LAVATORIES MALE/FEMALE/UNISEX	SHOWERS/TUBS	DRINKING FOUNTAINS REGULAR/ACCESSIBLE	SERVICE SINK	
BUSINESS GAMING	1	1	1	1	1	1	1
INSTALL NEW FIXTURES	1	1	1	1	1	1	1

SPECIAL APPROVALS:
 Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)
 NONE REQUIRED

ENERGY SUMMARY

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: (If checked, the remainder of this section is not applicable.)
 Exempt Building: Provide code or statutory reference:

Climate Zone: 3A 4A 5A CUMBERLAND COUNTY
 Method of Compliance:
 Energy Code: Performance Prescriptive
 ASHRAE 90.1: Performance Prescriptive
 Other: Performance (specify source) Value of total assembly:

THERMAL ENVELOPE: (Prescriptive method only)
 Roof/Ceiling Assembly (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Skylights in each assembly: _____
 U-Value of skylight: _____
 Total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Openings (windows or doors with glazing)
 U-Value of assembly: _____
 Solar heat gain coefficient: _____
 Projection factor: _____
 Door R-Values: _____

Walls below grade (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____

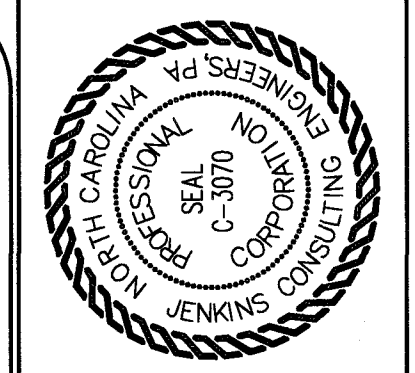
Floors over unconditioned space (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors slab on grade
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirement: _____
 slab heated: UNHEATED SLAB

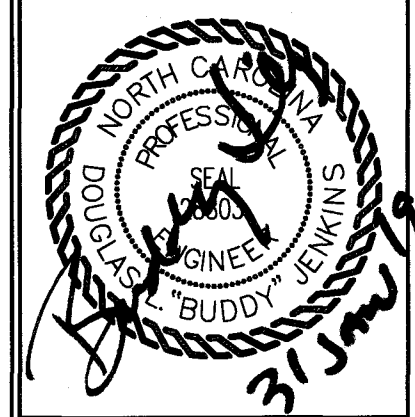
MECHANICAL SUMMARY (SEE DRAWING SHEET _____)
 ELECTRICAL SUMMARY (SEE DRAWING SHEET _____)

Harnett County
 BUILDING CODE SUMMARY
 for:

210 BIZ CENTER
 35 ANDERSON CREEK SCHOOL RD.
 BUNNLEVEL, NC 28323



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 CONSULTING ENGINEERS, P.A.
 OFFICE IN EUREKA SPRINGS, NORTH CAROLINA
 NORTH CAROLINA FIRM REGISTRATION NUMBER: 033070
 1701 TELETYPE CENTER RD.
 EUREKA SPRINGS, NC 28545
 910.835.5507



DESIGNED BY: **B. JENKINS**
 DRAWN BY: **T.A. BUJNOW**
 CHECKED BY: **B. JENKINS**
 DATE: **31 JAN 2019**

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION
 OWNER/TENANT: _____
 CONTRACTOR/BUILDER: _____

PROJECT: **210 BIZ CENTER - HONG SWEETSTAKES**
 35 ANDERSON CREEK SCHOOL ROAD BUNNLEVEL, NC 28323
 SHEET: _____
BUILDING CODE SUMMARY

BCS

Drawing File: H:\2019\Wong Hong Sweetstakes\WONG HONG PLAN-1.dwg
 Plotted by: MarkW
 Plotted Date: Jan 31, 2019 - 9:30am
 SCALE: 1/8" = 1'-0"
 SCALE: 3/16" = 1'-0"
 SCALE: 1/4" = 1'-0"
 SCALE: 3/8" = 1'-0"
 SCALE: 1/2" = 1'-0"
 SCALE: 3/4" = 1'-0"
 SCALE: 1" = 1'-0"
 SCALE: 1 1/4" = 1'-0"
 SCALE: 1 1/2" = 1'-0"
 SCALE: 1 3/4" = 1'-0"
 SCALE: 2" = 1'-0"
 SCALE: 3" = 1'-0"
 SCALE: 4" = 1'-0"
 SCALE: 6" = 1'-0"
 SCALE: 8" = 1'-0"
 SCALE: 12" = 1'-0"